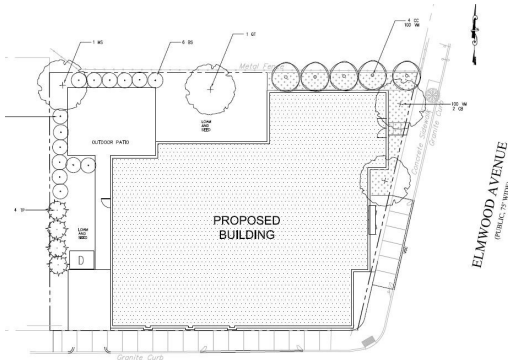


Providence City Plan Commission



July 21, 2020

AGENDA ITEM 4 ■ 327 ELMWOOD AVE



Proposed site plan



Aerial view of the site



Proposed elevations

OVERVIEW

**OWNER/
APPLICANT:** Caribbean Integration
Community Development,
Applicant

Providence Redevelopment
Agency, owner

**CASE NO./
PROJECT TYPE:** 20-021MI—327 Elmwood
Ave
Minor Land Development

**PROJECT
LOCATION:** 327 Elmwood Ave
AP 49 Lot 603, C-2 zone

NEIGHBORHOOD: West End

PROJECT DESCRIPTION: The applicant is proposing to construct a 39 unit, six story multifamily dwelling in the C-2 zone. A dimensional adjustment from the 50', four story height limit has been requested to accommodate a proposed height of 68' and six stories.

RECOMMENDATION: Approve the project and adjustment subject to the noted findings and conditions.

PROJECT PLANNER: Choyon Manjrekar

PROJECT OVERVIEW

The subject property is a vacant corner lot at the intersection of Elmwood Ave and Burnett Street. It is zoned C-2. The applicant is proposing to construct a 39 unit, six-story multifamily dwelling providing affordable housing . A dimensional adjustment from the 50', four story height limit of the C-2 zone is being requested to accommodate a proposed height of 68' and six stories.

ANALYSIS AND IDENTIFICATION OF POTENTIAL ISSUES

Use

Multifamily dwellings are permitted by right in the C-2 zone with no restriction on the number of dwelling units per lot.

Dimensions and Site Design

The building is sited at the corner of Elmwood Ave and Burnett Street, with Elmwood Ave designated as the front yard. The building addresses both frontages. The side frontage will meet and exceed the build-to percentage of 40 percent for the side yard with the building built to the lot line. There are some portions of the front façade— which features recesses and projections—that are located outside the 5' build to zone. However, the applicant meets the front setback and build-to percentage requirement, as over 60 percent of the front façade will be located within 5' of the lot line.

The building will be directly accessible from the Elmwood Ave sidewalk and exceed 50 percent transparency on the first floor. Over fifteen percent of transparency will be provided on the upper stories. As Elmwood Ave is defined by the Zoning Ordinance as a Main Street, no residential use is permitted on the ground floor within 20 feet of the street. Plans show that the building will meet this requirement with a community room, lobby and fitness center proposed for the first floor. The building's design follows the ordinance's guidelines for multifamily development as it employs building materials that are permitted in the zone and incorporates a unifying architectural theme. Fiber cement siding and panels will compose the majority of materials used on the façade with some masonry cladding used on the ground floor. The design employs articulations on the façade, projected and recessed entrances and a parapet along the roofline, which are design features encouraged in multifamily development. The lot abuts the R-3 zone to the rear, from which the building will maintain the required 20' setback.

A dimensional adjustment from the height limit is requested. The height limit of the C-2 zone is 50' and four stories. A height of 68' and six stories is proposed.

Landscaping

The approximately 1,500 SF of canopy coverage required to meet the landscaping requirement will be provided using a mix of small, medium and large trees with shrubs. The landscaping plan should be subject to the City Forester's approval.

Parking

The lot is exempt from providing parking as it measures less than 10,000 SF in the C-2 zone. One space for delivery vehicles, accessible from Burnett Street, will be located in the rear.

Dimensional Adjustment

The applicant is seeking a dimensional adjustment for height, proposing a height of approximately 68' and six stories where the maximum allowable height is 50' and four stories. Per the Zoning Ordinance, Section 1904.E.f, the CPC may grant a dimensional adjustment for up to 24' or two stories in height when housing for low and moderate income families is provided. Per the applicant, all units will be deed-restricted to be affordable between the income ranges of 30% and 80% of Area Median Income (AMI). Additionally, approximately 10% of the units will be designated with a preference for formerly homeless individuals. The DPD supports this adjustment because it is in accordance with the eligibility for adjustments.

PRELIMINARY PLAN ACTION

Below are the DPD's recommended findings and actions on the Preliminary Plan

Findings—Preliminary Plan

Section 806 of the Commission's *Development Review Regulations* requires that the City Plan Commission make the following findings as part of their approval of all land development project applications. Based on the analysis contained herein and subject to the conditions contained in this report, staff has prepared the following findings regarding the request for approval of the Preliminary Plan stage:

1. *Consistency—The proposed development is consistent with the Comprehensive Plan and/or has satisfactorily addressed the issues where there may be inconsistencies.*

Per the future land use map of Providence Tomorrow—which the comprehensive plan states is not intended for parcel level analysis—this area is one where Neighborhood Commercial uses are located adjacent to Medium Density Residential development. Elmwood Ave is also designated as a growth corridor intended to accommodate high density residential and commercial uses. The proposed development would conform to these land use objectives. Provision of housing would also be in conformance with Objectives H-2 and H-3 of the comprehensive plan, which encourage construction of new, diverse, and affordable housing stock.

2. *Compliance with Zoning Ordinance—The proposed development is in compliance with the standards and provisions of the Zoning Ordinance.*

Use: Multifamily development is permitted by right in the C-2 zone.

Dimension: The development largely conforms to the dimensional requirements of the C-2 zone as previously discussed. The C-2 zone allows for buildings of up to four stories and 50', but a height of 68' and six stories is proposed. The DPD recommends that the CPC grant the adjustment, finding that the applicant is providing low income housing.

Parking: One space for deliveries, accessible from Burnett Street will be provided in the rear of the building. The development meets the parking requirement as no parking is required with the lot measuring less than 10,000 SF in the C-2 zone.

Landscaping: The landscaping plan appears to meet the canopy coverage requirement. However, the plan is subject to the City Forester's approval.

3. *Environmental Impact—There will be no significant environmental impacts from the proposed development as shown on the final plan, with all required conditions for approval.*

Per the City Engineer, a stormwater management plan is not required as the site is already paved and it is not large enough to trigger compliance with the City's stormwater ordinance.

No significant negative environmental impacts are expected as the applicant is expected to come into conformance with all applicable environmental regulations.

4. *Buildable Lot—The subdivision or development project, as proposed, will not result in the creation of individual lots with such physical constraints to development that building on those lots according to pertinent regulations and building standards would be impracticable.*

Based on the above discussion, there are no physical constraints that impact development of this property.

5. *Street Access—All proposed development projects and all subdivision lots shall have adequate and permanent physical access to a public street. Lot frontage on a public street without physical access shall not be considered compliance with this requirement.*

Adequate vehicular and pedestrian access is provided from Elmwood Ave and Burnett Street.

Recommendation—Preliminary Plan

Dimensional Adjustments

The CPC should grant the requested dimensional adjustment for height, finding that the applicant is providing low income housing.

Preliminary Plan Approval

Upon approving the adjustment, the CPC should approve the preliminary plan subject to the following conditions:

1. The validity of the preliminary plan should be extended to one year from the date of recording of the approval letter.
2. The landscaping plan shall be subject to the City Forester's approval.
3. Final plan approval should be delegated to DPD staff.

NEW AFFORDABLE ELDERLY HOUSING
327 ELMWOOD AVE
 PROVIDENCE RI



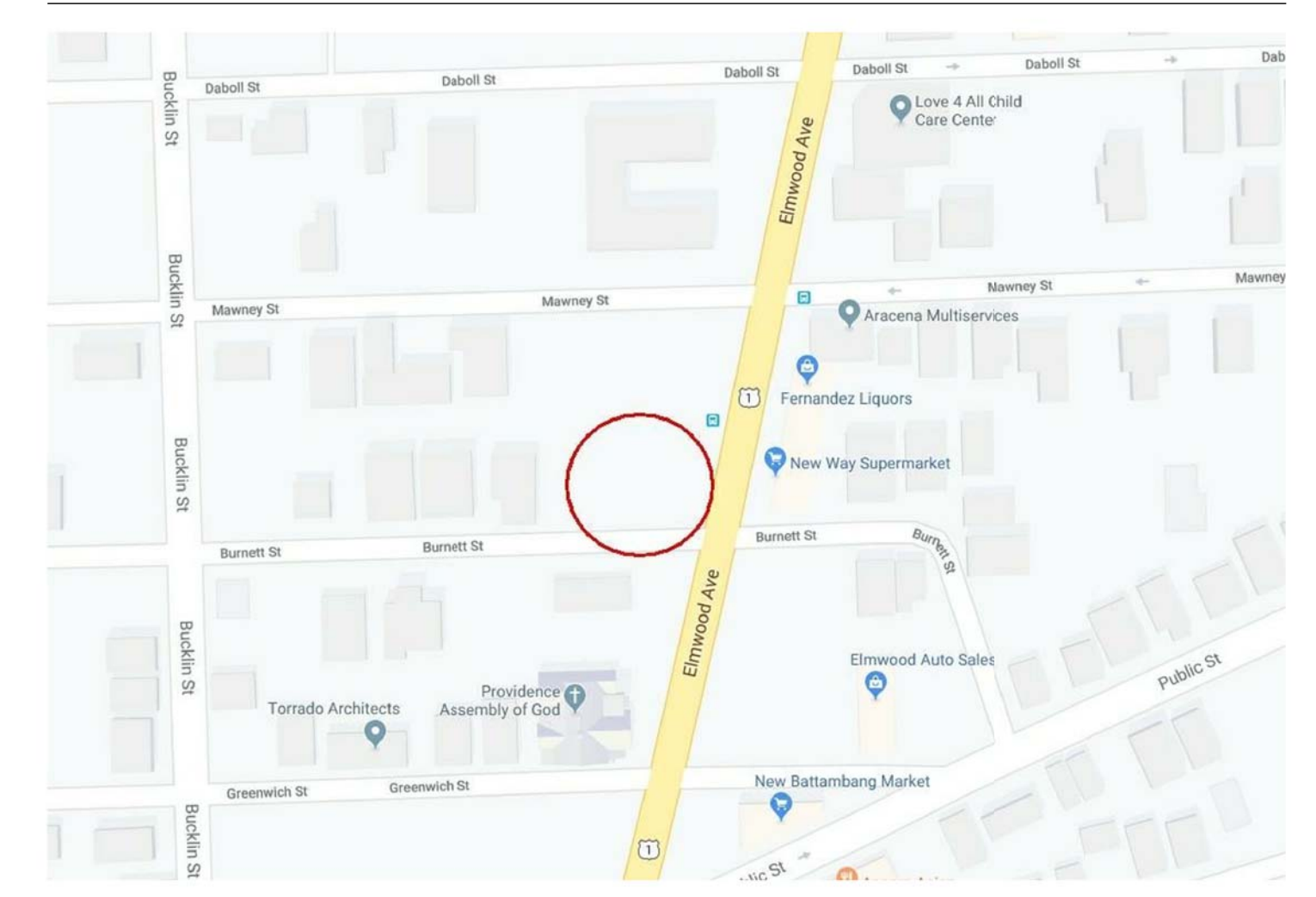
SHEET LIST

- 01 - CIVIL
 - 1 EXISTING CONDITIONS / PROPERTY SURVEY
 - C-1 LAYOUT AND MATERIALS PLAN
 - C-2 GRADING AND UTILITY PLAN
 - C-3 PLANTING PLAN
- 03 - ARCHITECTURAL
 - A100 LOCUS PLAN
 - A101 FLOOR PLANS
 - A202 BUILDING ELEVATIONS

PROJECT DIRECTORY

- OWNER:
 Caribbean Integration Community Development
 19 Tesla Street Mattapan MA 02126
 (617) 942-3591 www.cicdofboston.org
- ARCHITECT:
 DAVIS SQUARE ARCHITECTS
 240A ELM STREET, SOMERVILLE, MA 02144
 617.628.5700 (T) davissquarearchitects
- CIVIL ENGINEER
 DEVELLIS ZREIN INC.
 PO Box 307 Foxborough, MA 02035
 508.473.4114

LOCATION MAP



ZONING SUBMISSION
 06/19/2020



PROJECT NO.
 2020001.00

Area Schedule (Ground coverage)		
Name	Area	COVERAGE
BUILDING FOOTPRINT	5819 SF	61%
OPEN SPACE	3653 SF	39%
PARCEL TOTAL APROX.	9472 SF	

UNIT COUNT	
Level	Count
Level 1	4
Level 2	7
Level 3	7
Level 4	7
Level 5	7
Level 6	7
39	

PRELIMINARY ZONING ANALYSIS

327 ELMWOOD AVE (PROPOSED NEW CONSTRUCTION)
 DISTRICT C-2

	Proposed	Allowed/ Required	Status
Lot Size SF*	9,472 sf	n/a	conforms
Total Number of Units	39	n/a	conforms
Total SF (Excluding Basement)	34, 914 sf	n/a	conforms
Maximum Building Height	68 ft (6 stories)	50 ft (not to exceed 4 stories)	variance required
Building Coverage SF	5,819 sf	none	conforms
Open Space SF	3,653 sf	none	conforms
Minimum Front Setback	0 ft	0-5 ft	conforms
Minimum Corner Side Setback	0 ft	0-5 ft	conforms
Minimum Interior Side Setback	5.8 ft	none	conforms
Minimum Rear Setback	20.1 ft	20 ft	conforms
Parking	0	0	conforms

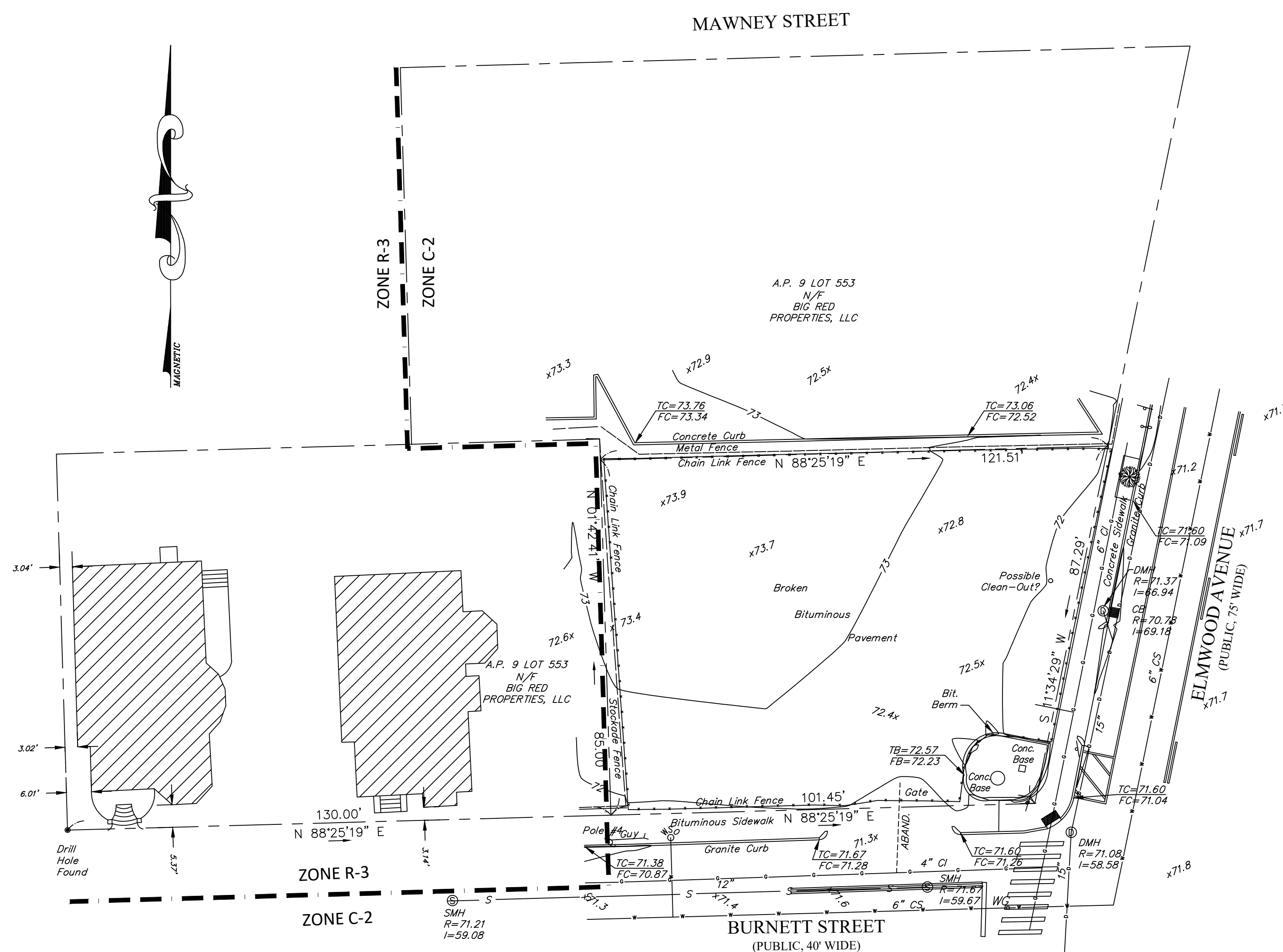


LOCUS

LOCUS MAP
N.T.S.

PARCEL DATA
A.P. 49, LOT 603 N/F PROVIDENCE REDEVELOPMENT AGENCY DEED BK. 8186/ PG. 96 #327 ELMWOOD AVENUE LOT AREA: 9476 S.F. ± OR 0.22 ACRES ±

ZONING DATA
C-2 GENERAL COMMERCIAL DISTRICT MIN. LOT SIZE: 000 SF. MAX. LOT COVERAGE: 00 FRONT SETBACK: 0'-5' SEE 503A' INTERIOR SIDE SETBACK: NONE UNLESS ABUTTING RESIDENTIAL DISTRICT THEN 10' CORNER SIDE SETBACK: BUILD TO ZONE OF 0'-5' SEE 503A' REAR SETBACK: NONE UNLESS ABUTTING RESIDENTIAL DISTRICT THEN 20' MIN BUILDING HEIGHT: 16 FT * PLEASE REFER TO ZONING REGS. FOR ADDITIONAL INFORMATION.



NOTES:

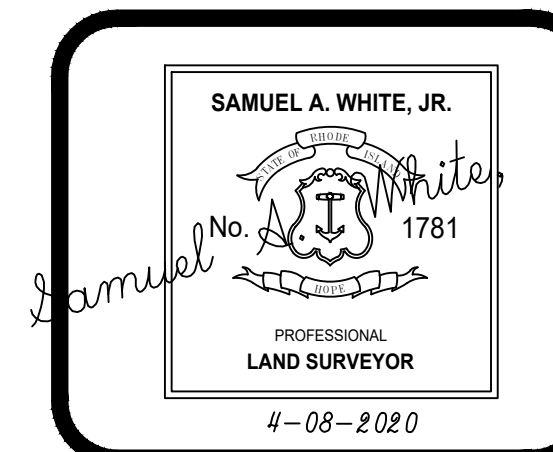
1. THE PROJECT SITE IS LOCATED WITHIN ZONE "X" (AREAS OUTSIDE THE 0.2% ANNUAL FLOODPLAIN) AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP FOR THE CITY OF PROVIDENCE, STATE OF RHODE ISLAND, PROVIDENCE COUNTY, COMMUNITY PANEL NO. 44007C0316G, HAVING AN EFFECTIVE DATE OF DATE OF MARCH 2, 2009.
2. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. (PLEASE CONTACT DIGSAFE PRIOR TO CONSTRUCTION @ 1-888-344-7233)
- 3 HORIZONTAL DATUM: RHODE ISLAND STATE PLANE - NAD 83
VERTICAL DATUM: NAVD 88*
* DATUM WAS DERIVED BY OBSERVED GPS ORTHOMETRIC HEIGHTS VARIATIONS BETWEEN LOCAL BENCHMARKS MAY APPLY.

PLAN REFERENCES:

1. "BOUNDARY SURVEY PLAN" ASSESSORS PLAT 49 LOT 452 #59 & #65 BURNETT STREET PROVIDENCE, RI BY WATERMAN ENGINEERING CO. DATED SEPT 4 2001.
2. "MINOR SUBDIVISION PLAN" JOHNSON & WALES A.P. 49 LOT 473 PROVIDENCE RI BY WATERMAN ENGINEERING CO. JULY 10, 2000.
3. "PLAT OF BURNETT" STREET FROM GREENWICH STREET (NOW ELMWOOD AVE) TO BUCKLIN STREET SCALE 1"=40'.
4. "PLAT OF TIMOTHY WIGGINS LAND BY MB LOCKWOOD 1842 COPIED BY SCHUBARTH & HAINES JULY, 1852" RECORDED ON PLAT CARD #55 CITY OF PROVIDENCE RI.
5. CITY OF PROVIDENCE STREET LINE PLANS FOR BURNETT STREET, MAWNEY STREET, ELMWOOD AVE (GREENWICH AVE) BUCKLIN STREET ON FILE IN THE CITY ENGINEERING OFFICE.

EXISTING CONDITIONS / PROPERTY
SURVEY
FOR
ASSESSOR'S PLAT 49 LOT 603
SITUATED AT
327 ELMWOOD AVENUE
PROVIDENCE RHODE ISLAND
PREPARED FOR
CARIBBEAN INTEGRATION COMMUNITY
DEVELOPMENT

NO.	REVISION	BY	DATE



GAROFALO
GAROFALO & ASSOCIATES, INC.
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

Garofalo & Associates ©
These drawings are the property of
the engineer/surveyor and have been
prepared for the specific project
indicated on this drawing and are not
to be used for any other purpose,
location or owner without written
consent of this owner or one of its
directors.

85 CORLISS STREET
P.O. BOX 6145
PROVIDENCE, R.I. 02940
TEL. 401-273-6000

CERTIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY	MEASUREMENT SPECIFICATION
COMPREHENSIVE BOUNDARY SURVEY	CLASS I
DATA ACCUMULATION SURVEY	CLASS III
TOPOGRAPHIC SURVEY	CLASS T-2

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: TO PROVIDE AN EXISTING CONDITIONS/PROPERTY SURVEY FOR 327 ELMWOOD AVE A.P. 49 LOT 603 IN THE CITY OF PROVIDENCE, RHODE ISLAND.

By: Samuel A. White, Jr. 1781 4-08-2020
SAMUEL A. WHITE LICENSE NO. 1781
LS A59-COA

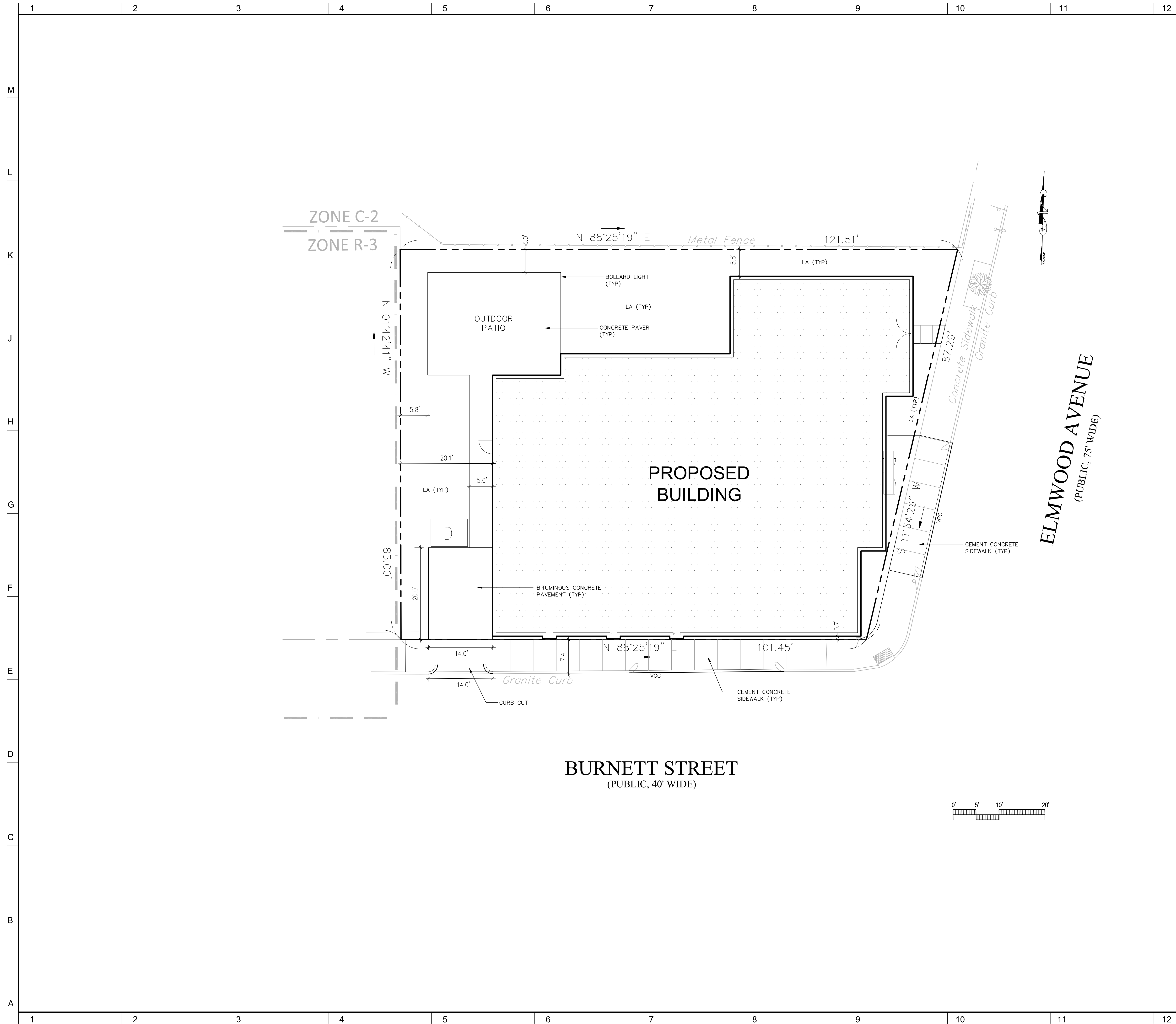


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DWG. NO. 7260-ECS.dwg	CALCS BY SAW
SCALE: 1" = 20'	APPROVED SAW
	DATE: MARCH, 2020

SHEET

1

OF X SHEETS



327 ELMWOOD AVE

PROVIDENCE RI

NOTES

DO NOT SCALE DRAWINGS.

No.	REVISIONS/SUBMISSIONS	Date



**DAVIS
SQUARE**
ARCHITECTS

240A Elm St.,
Somerville, MA 02144
617.628.5700
www.davissquarearchitects.com

Consultant



Site Planning, Civil Engineering, Landscape Architecture
Po Box 307
Foxborough, MA
508.472.4114 phone
develliszrein.com

DeVellis Zrein Inc.

Project 327 ELMWOOD AVE

Title **LAYOUT AND MATERIALS PLAN**

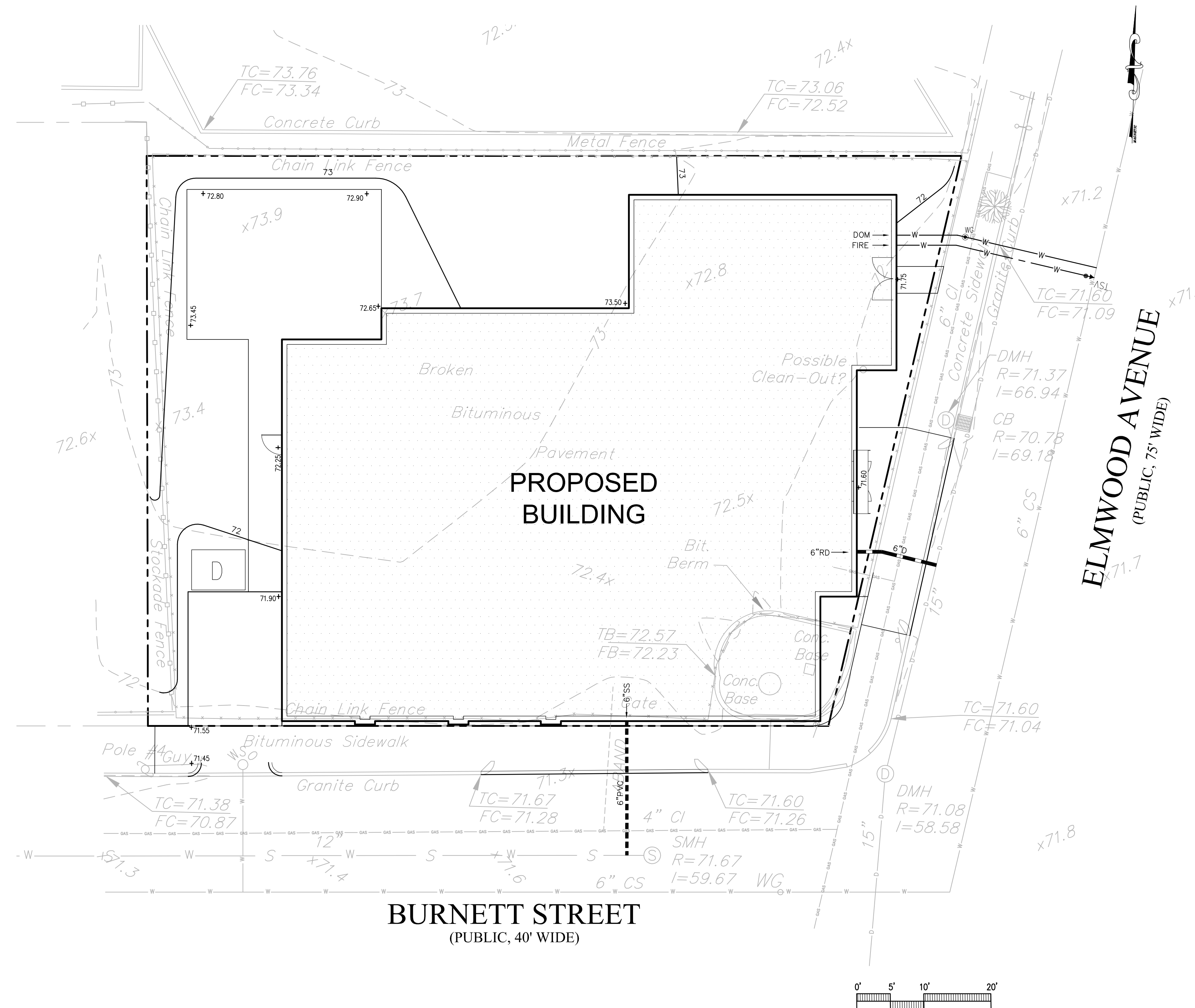
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Checked	
Project No. 2020001	Drawing No.
Scale 1" = 10'	C-1
Date 05.15.20	

327 ELMWOOD AVE

PROVIDENCE RI

NOTES

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No.	REVISIONS/SUBMISSIONS	Date

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Consultant
DZI Site Planning, Civil Engineering, Landscape Architecture
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 Foxborough, MA
 508.473.4114 phone
 dzirein.com
DeVellis Zrein Inc.

Project 327 ELMWOOD AVE

Title GRADING AND UTILITY PLAN

Designed IAZ	Building No.
Checked	
Project No. 2020001	Drawing No.
Scale 1" = 10'	C-2
Date 05.15.20	

327 ELMWOOD AVE

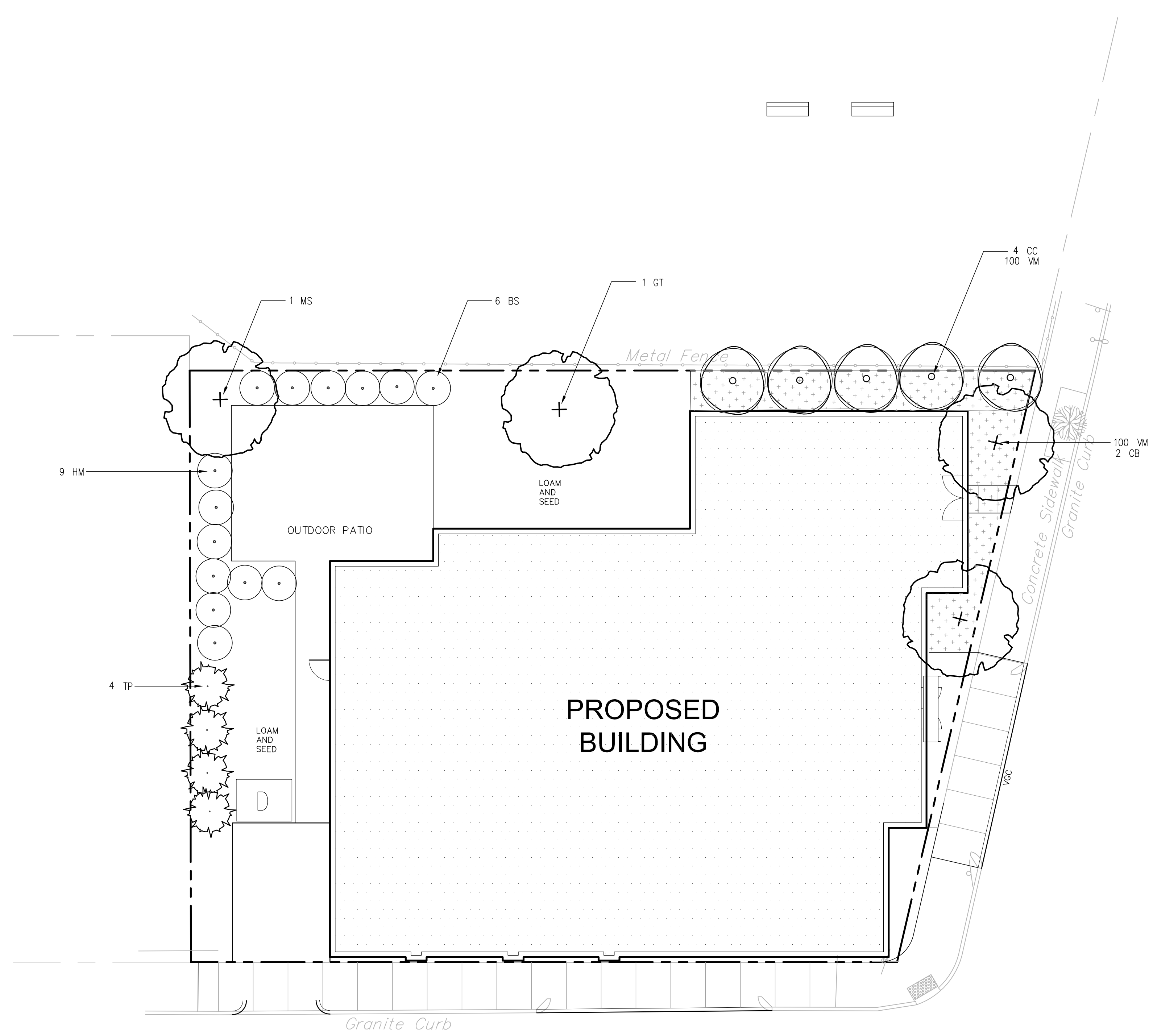
PROVIDENCE RI

NOTES

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PLANTING LEGEND

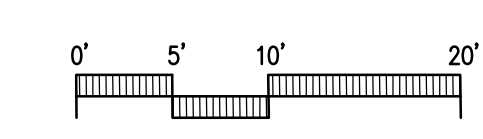
- PROPERTY LINE
- GROUNDCOVER / PERENNIAL PLANTING
- SHRUB PLANTING
- ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS TREE



ELMWOOD AVENUE
(PUBLIC, 75' WIDE)

PROPOSED BUILDING

BURNETT STREET
(PUBLIC, 40' WIDE)



PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	COMMENT
DECIDUOUS TREES					
CB	CARPINUS BETULUS	EASTERN HONRBEAM	2	3-3 1/2" CAL.	
GT	GLEDITSIA TRIACANTHOS 'INERMIS'	THORNLESS HONEYLOCUST	1	3-3 1/2" CAL.	
ORNAMENTAL TREES					
CC	CERCIS CANADENSIS	EASTERN RED BUD	4	8-10' HT.	TRIPLE CLUMP
MS	MAGNOLIA STELLATA	STAR MAGNOLIA	1	8-10' HT.	TRIPLE CLUMP
EVERGREEN TREES					
TP	THUJA PLICATUM	AUSTRIAN PINE	4	6-8' HT.	
SHRUBS					
BS	BUXUS SEMPERVIRENS	BOXWOOD	6	24-36" HT.	
HM	HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER'	ENDLESS SUMMER HYDRANGEA	9	24-36" HT.	
PERENNIALS AND GROUNDCOVER					
VM	VINCA MINOR	COMMON MYRTLE	9	4" POTS	

No.	REVISIONS/SUBMISSIONS	Date



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devellis@zrein.com

DeVellis Zrein Inc.

Project **327 ELMWOOD AVE**

Title **PLANTING PLAN**

Designed IAZ	Building No.
Checked	
Project No. 2020001	Drawing No. C-3
Scale 1" = 10'	
Date 05.15.20	

1 2 3 4 5 6 7 8 9 10 11 12

M
L
K
J
H
G
F
E
D
C
B



UNIT COUNT	
Level	Count
Level 1	4
Level 2	7
Level 3	7
Level 4	7
Level 5	7
Level 6	7
	39

NOTES

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Project **NEW AFFORDABLE ELDERLY HOUSING**
327 ELMWOOD AVE
 PROVIDENCE RI

Title **LOCUS PLAN**

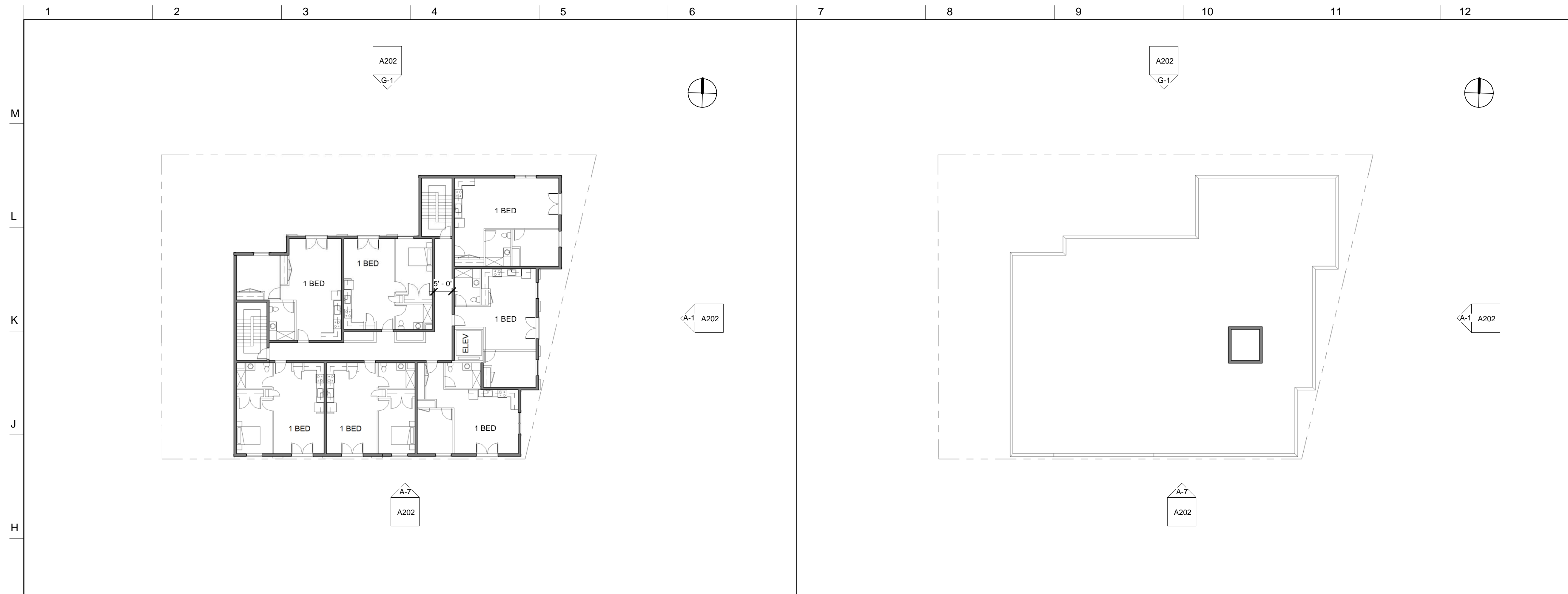
ZONING PERMITS

Designer	Drawing No.
Checked	
Project No.	
Scale	
Date	

A100

A-1 LOCUS PLAN
 1" = 20'-0"

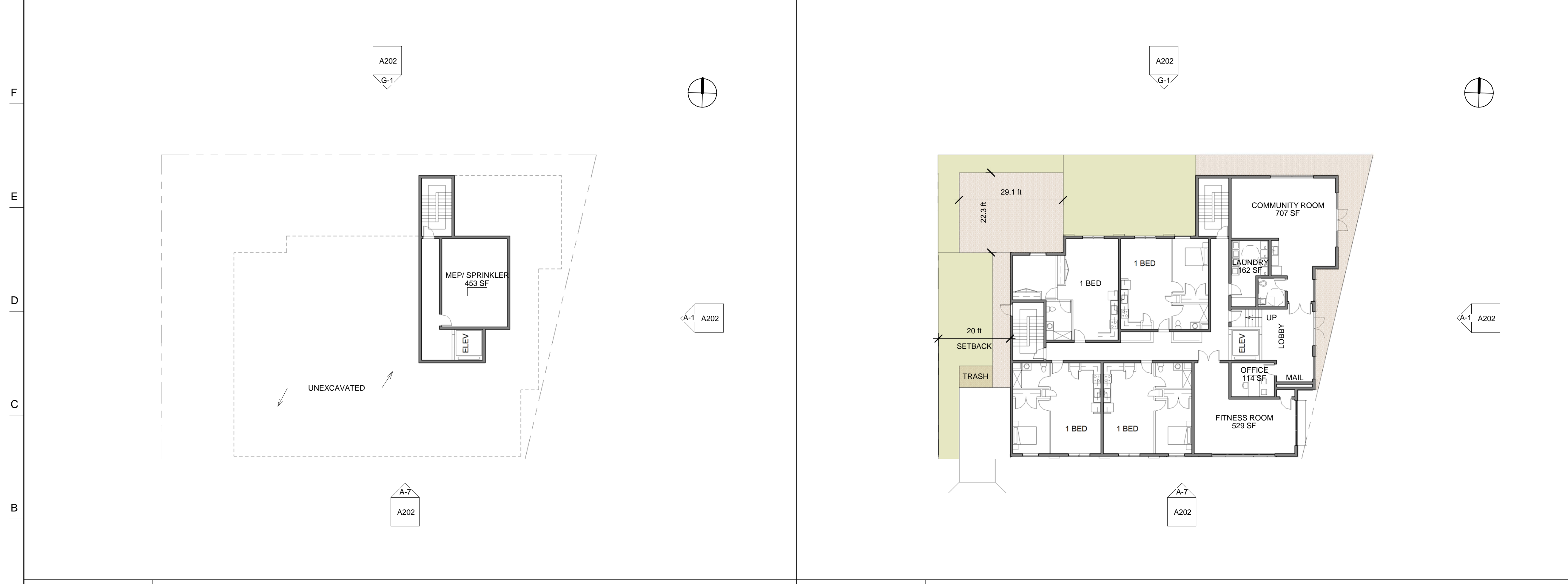
1 2 3 4 5 6 7 8 9 10 11 12



NOTES

DO NOT SCALE DRAWINGS.

	G-1	SECOND - SIXTH FLOOR PLANS		G-7	ROOF PLAN	
G	1/16" = 1'-0"			1/16" = 1'-0"		



	A-1	BASEMENT PLAN		A-7	FIRST FLOOR PLAN	
A	1/16" = 1'-0"			1/16" = 1'-0"		

DAVIS SQUARE ARCHITECTS

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Project **NEW AFFORDABLE ELDERLY HOUSING**
327 ELMWOOD AVE
PROVIDENCE RI

Title **FLOOR PLANS**

Version	Designer	Drawing No.
Checked	Author	
Project No.	2020001.00	
Scale	1/16" = 1'-0"	
Date	06/19/2020	

ZONING
PERMISSION

A101



G-1 EAST ELEVATION

1/8" = 1'-0"



A-1 ELMWOOD AVE ELEVATION

1/8" = 1'-0"



A-7 BURNETT ST ELEVATION

1/8" = 1'-0"

NOTES

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Project NEW AFFORDABLE ELDERLY HOUSING
327 ELMWOOD AVE
PROVIDENCE RI

Title BUILDING ELEVATIONS

Revised	Drawing No.
Designer	
Checked	
Approved	
Project No.	2020001.00
Scale	1/8" = 1'-0"
Date	06/19/2020

A202