Providence City Plan Commission

September 15, 2020



AGENDA ITEM 2 • 200 GORDON AVE AND 445 PRAIRIE AVE



View from Oxford Street



Aerial view of the site

Proposed site plan

OVERVIEW

Partnership c/o Preservation APPLICANT:

of Affordable Housing

CASE NO./ **PROJECT TYPE:** 19-007MI-Minor Land Development project

reinstatement

200 Gordon Ave and 445 Prairie Ave (AP 48 Lot 1097

and 1099)

R-4 zone

PROJECT DESCRIPTION: Reinstatement of expired

preliminary plan with request

for design waiver and

adjustments

Preliminary Plan approval

RECOMMENDATION:

Recommend approval of the proposed reinstatement, preliminary plan, design waiver for building transparency and dimensional adjustments for front yard setback and parking.

PROJECT PLANNER: Choyon Manjrekar

Discussion

The subject property is composed of two lots, zoned R-4, and currently occupied by nine buildings with a total of 122 dwelling units. The City Plan Commission (CPC) granted preliminary plan approval for the applicant's proposal to construct a four story, 30 unit residential building in March 2019. A dimensional adjustment from provision of 29 parking spaces was also granted. Those approvals have since expired.

The applicant is requesting to reinstate the approval, which may be granted by the CPC subject to fulfillment of certain conditions outlined in Section 807 of their Development Review Regulations. Following reinstatement, the CPC may vote to re-approve the preliminary plan. The applicant is requesting a design waiver from the amount of transparency required on a building façade for a multifamily building with the preliminary approval. A minimum of 25% transparency is required for any façade that faces a street but 21.2% and 16.1% will be provided on the Oxford Street and Gordon Ave facades respectively. Dimensional adjustments from the front yard setback in the amount of approximately 8'8", and 12 parking spaces have also been requested.

Discussion—Reinstatement

Section 807 requires that the CPC make the following findings to reinstate applications. Based on the analysis contained herein and subject to the conditions contained in this report, staff has prepared the following findings regarding the request for reinstatement:

The subdivision or development project is consistent with the Comprehensive Plan, and the Comprehensive Plan has
not changed substantially since the time of the original application as it would apply to this subdivision or development project.

Based on the CPC's findings at the preliminary plan stage, the project is in conformance with the comprehensive plan which has not changed.

2. These Regulations, the Zoning Ordinance, and all applicable state and federal regulations are substantially the same as they were at the time of original application, as they would apply to this subdivision or development project.

The zoning ordinance, and any applicable state and federal regulations are the same as when preliminary plan approval was issued.

3. The Zoning Map designation for the subdivision or development project has not changed substantially since the time of original application.

The zoning designation of R-4 is unchanged.

4. No substantial change to the physical conditions of the subdivision or development project or the neighboring property has occurred since the time of original application.

The applicant applied for and received a minor change to the project in December 2019. The height of the building was reduced from four to three stories, resulting in a 9 % increase in the building envelope. The number of dwelling units remained unchanged. The changes were found to be minor as they did not result in an increase in the number of residential units or change streets, driveways, parking lots or public infrastructure. The 9 % change to the building envelope, is within the allowable 20 % threshold for a change to be considered minor. Therefore, no substantial changes to the physical conditions of the project or surroundings have occurred since the original application.

Recommendation—Reinstatement

Based on the foregoing discussion, the DPD recommends that the CPC reinstate the plan, finding it to be in conformance with the criteria for reinstatement.

Preliminary plan approval—Discussion

In approving the preliminary plan, which has changed since it was last reviewed by the CPC, the DPD makes the following findings.

Use

Multifamily development and more than one principal building per lot is permitted by right in the R-4 zone.

Dimensions

The R-4 zone requires 1,200 SF of lot area per dwelling unit for multifamily development. The applicant is proposing to merge the subject lots, which would result in a single lot of 224,807 SF (~ 5.1 acres) that could accommodate 187 units. Upon merging, the lot would have a width of approximately 400′, which meets the minimum requirement for this zone. The building will have height of 34′ which is within the 45′ height limit of the zone.

The proposed building will address the corner of Oxford Street and Gordon Ave. The front yard setback is calculated relative to the average setback maintained by neighboring property within 100' on either side of the building. The building is required to be located within the average setback of an existing multifamily dwelling to the east as there are no buildings the west. The existing building maintains a setback of approximately 21'8"feet. The build-to zone allows the building to be set back up to 16'8", but a front setback of 8' is proposed. The applicant has requested a dimensional adjustment of approximately 8'8" to maintain the proposed setback. The side yard setback will maintain the same dimension as the front. The rear yard setback is not applicable as the site comprises an entire city block in which each frontage is considered either a front yard or a corner side yard.

The development will conform to the density requirement with a total of 152 units on the site. Based on plans provided, 122,465 SF (54.5 %) of the site will be composed of impervious surface, which would be within the 65 % maximum impervious surface limit for multifamily development in this zone. A building height of 34' is proposed, which is within the 45' height limit of this zone. The limit for maximum building coverage in the R-4 zone is 55%, but only 20.7% of the development will be covered, including the new building.

Based on elevations provided, the building will conform to the design requirements for multifamily dwellings outlined in section 1202 K of the ordinance. The entrance of the building is oriented toward Oxford Street, where direct access from the street is provided per the CPC's suggestion at the preliminary plan stage. The façade will feature a recessed entrance with canopies providing three dimensional elements. The roofline will have a cornice running along the edge. The exterior will be surfaced with lap siding and hardi-plank which are materials permitted by right in this zone. Multifamily dwellings are required to provide at least 25% of transparency on the building façade. Approximately 21.1% and 16.1% of transparency will be provided on the Oxford Street and Gordon Ave facades. A design waiver to maintain the reduced transparency has been requested.

Parking

Currently, there are 106 spaces on site with 122 required, resulting in 16 grandfathered spaces. With the proposed development, the applicant will be required to provide 152 spaces, but only 18 new spaces will be created for a total of 124 spaces resulting in a deficiency of 28 spaces. Taking the grandfathered spaces into account, the applicant will have a shortfall of 12 spaces. A parking adjustment was granted when the plan was first before the CPC.

Design Waiver—Discussion

The applicant has requested a design waiver from the requirement that the street facing facades of multifamily dwellings provide at least 25% of transparency. Approximately 21.1% and 16.1% will be provided on the Oxford Street and Gordon Ave facades respectively. The building's design features recesses and projections, which are encouraged by the design regulations, but make installation of transparency difficult. Elevations provided indicate that there will be one window for each unit. Per the applicant, the reduction in height resulted in the elimination of some common space areas, which reduced the amount of provided transparency. The CPC had suggested that direct entrance from the street be provided on the façade during review of the preliminary plan. According to the applicant, the installation

of entrances further reduced the area available for provision of fenestration.

Although the amount of transparency will be less than what is required, the amount of fenestration provided is in character with what is expected for a multifamily development and equally distributed along the façade. As the provided fenestration is in character with multifamily development, the DPD does not object to granting the requested waiver.

Recommendation

The CPC should vote to grant a design waiver from the required amount of transparency on a street facing façade for a multifamily dwelling.

Dimensional adjustments—Front yard setback and parking

The applicant is seeking a dimensional adjustment for front yard setback in the amount of 8'8", where a front yard setback of 16'8" is permitted but a front setback of 8' is proposed. It appears that the adjustment is necessary due to the deep setback maintained by the neighboring building from which the average setback is calculated. Maintaining that setback would affect the parking configuration and site layout for the entire development.

As previously discussed, the CPC granted a dimensional adjustment for a shortfall of 12 parking spaces.

Per the Zoning Ordinance, Section 1904.E.f, the CPC may grant a dimensional adjustment for up to 10' of building setback and 50 % of parking spaces when housing for low and moderate income families is provided. Per the applicant, all units will be affordable. The DPD supports these adjustments because they are in accordance with the eligibility for adjustments.

Recommendation

- 1. The CPC should vote to grant a dimensional adjustment of approximately 8'8" from the front yard setback requirement, finding that the applicant will be providing low and moderate income housing.
- 2. The CPC should vote to grant a dimensional adjustment for 12 parking spaces finding that the applicant will be providing low and moderate income housing.

FINDINGS

Section 806 of the Commission's Development Review Regulations requires that the City Plan Commission make the following findings as part of their approval of all land development project applications. Based on the analysis contained herein and subject to the conditions contained in this report, staff has prepared the following findings regarding the request for approval of the Preliminary Plan stage:

1. Consistency—The proposed development is consistent with the Comprehensive Plan and/or has satisfactorily addressed the issues where there may be inconsistencies.

The subject property is located in an area that the future land use map of Providence Tommorow: The Comprehensive Plan intends for high density residential development. Multifamily housing is a use that is most appropriate for this designation. Provision of housing, particularly for low and moderate income families, would conform to objectives H-2 and H-3 which encourage creation of new and affordable housing opportunities in the City.

2. Compliance with Zoning Ordinance—The proposed development is in compliance with the standards and provisions of the Zoning Ordinance.

Use: Multifamily development and multiple buildings per lot are permitted by right in the R-4 zone.

Dimension: The applicant shall apply for an administrative subdivision to merge the lots prior to final plan approval to allow for the site to meet the density requirement. Upon subdivision, the development will conform to the dimensional and design requirements for multifamily residential development. Subject to the CPC granting a dimensional adjustment for front yard setback, and a design waiver from the transparency requirement, the building will conform to the dimensional and design regulations of the zone.

Parking: The applicant will meet the parking requirement subject to the CPC granting a dimensional adjustment for 12 parking spaces.

3. Environmental Impact—There will be no significant environmental impacts from the proposed development as shown on the final plan, with all required conditions for approval.

There do not appear to be any negative environmental impacts as a result of the development as the applicant is expected to come into conformance with all applicable environmental regulations.

4. Buildable Lot—The subdivision or development project, as proposed, will not result in the creation of individual lots with such physical constraints to development that building on those lots according to pertinent regulations and building standards would be impracticable.

The applicant shall merge the lots prior to applying for final plan approval. There are no physical constraints that impact development of this property as it will conform to the dimensional requirements of the zoning ordinance.

5. Street Access—All proposed development projects and all subdivision lots shall have adequate and permanent physical access to a public street. Lot frontage on a public street without physical access shall not be considered compliance with this requirement.

Adequate pedestrian access is provided from Oxford Street and Gordon Ave. The plan has been modified since it was last before the CPC to provide direct pedestrian access from Oxford Street.

Recommendation—Preliminary Plan Approval

The CPC found the development to be in compliance with the zoning ordinance and comprehensive plan in granting preliminary plan approval in March 2019. As the conditions surrounding the development have remained largely unchanged, the DPD recommends that the CPC adopt their original findings and grant preliminary plan approval for the reinstated plan.

The reinstated preliminary plan shall be subject to the following conditions of approval:

- 1. The applicant shall merge the subject lots prior to final plan submission.
- 2. Final plan approval should be delegated to DPD staff.
- 3. The validity of the re-instated preliminary plan approval is extended to one year from the date of recording of the approval letter.



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PROVIDENCE OFFICE:

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September 2, 2020

VIA E-MAIL:

Choyon Manjrekar
City Plan Commission
City of Providence
444 Westminster Street
Providence, RI 02903
cmanjrekar@providence.ri.gov

Re: Oxford Land Family Housing – Written Request for Waivers

Dear Mr. Manjrekar:

As you are aware, this office represents Preservation of Affordable Housing, Inc. ("POAH"), in connection with its minor land development project of the property located at 200 Gordon Avenue, Providence, RI 02905 (the "Project"). As you know, the City Plan Commission (CPC) issued preliminary plan approval for the Project in March 2019, which has since expired, and we have formally requested that the expired preliminary plan be reinstated by the CPC.

In addition, by this letter we are also requesting that the CPC provide this Project with waivers of the design standards set forth in Section 1202.K.3.b of the Zoning Ordinance, which requires that a Multi-Family Dwelling conform with a minimum 25% transparency requirement on any facade facing a street, as well as the standards set forth in Section 402.B. of the Zoning Ordinance concerning front yard setbacks.

As shown on the accompany plans, the building facades currently show transparencies of 21.2% and 16.1%, and show a front yard setback of 8 feet.

The building that was approved by the City Plan Commission was four stories tall, and included a significant amount of common area on the ground floor, with just one access point to the building along the streets themselves. In reducing the height of the building to better fit in with the surrounding neighborhood, we maintained the same number of units by concentrating common areas and facilities in other buildings already existing on the property. We also added additional access points on the street in response to feedback we received when the project was approved that the street facades did not engage the street as much as a residential building should.



Eliminating this common space and increasing the number of access points resulted in a reduction in transparency, as the greater concentration of residential uses on the ground floor of the building does not accommodate the large windows that previously looked into building common space, and some windows have now been replaced with doors.

Even though the project does not meet the transparency guidelines set forth in Section 1202 K.3.b, we feel the redesign is more appropriate to the surrounding residential context and the fact that we've added street-level access to the facades to help better engage the street is in keeping within the spirit of the ordinance.

With respect to the front yard setback, the only buildings located on the same side of the street as the proposed building are an 8-unit multi-family building set back, on average, approximately 21.8' from the property line. According to Section 402.B. of the Zoning Ordinance, the calculation of the appropriate build-to zone can be increased or decreased by 5 feet, resulting in a minimum permitted front yard setback of 16.8'. As set forth in Section 1904.E.2. of the Zoning Ordinance, the CPC has the authority to grant a modification of up to 10' from the required setback if, among other things, housing for low- and moderate-income families is provided. We are requesting a modification of 8.8', for a front yard setback of 8' for this building.

Please accept this letter as a formal request to have these waivers considered when the CPC considers reinstatement of Preliminary Plan for this Project at their upcoming meeting.

Thank you for your attention to this matter. Should you wish to discuss this matter in further detail please feel free to contact my office at (401)-453-1200.

Very truly yours,

Jon M. Restivo, Esq.

cc: Robert Azar Alexis Thompson

OXFORD LAND FAMILY HOUSING

50% CONSTRUCTION DOCUMENTS

8/18/20







ARCHITECTURA	AL SYMBOLS LEGEND
SYMBOL	DESCRIPTION
- EL. 0' - 0"	DATUM POINT
	ELEVATION MARKER
1 A3.0 A3.0	BUILDING SECTION
(A4.0	AREA OF DETAIL
1 A3.0	DETAIL SECTION
1 A3.0	WALL SECTION
A A	MATCH LINE
A1 A204 A3	INTERIOR ELEVATION
A4.0	EXTERIOR ELEVATION
A1	WINDOW TYPE
108	DOOR NUMBER
KITCHEN 108	ROOM NAME AND NUMBER
1	KEYNOTE NUMBER
1	WALL TYPE
	NEW CONSTRUCTION
	REVISION NUMBER AND CLOUD REFERENCE
4 12	ROOF PITCH
ę	CENTERLINE

200 GORDON AVE.

PROVIDENCE, RI 02905



SITE	MAP

	PROJECT DATA
PROJECT NAME	OXFORD LAND FAMILY HOUSING
PROJECT ADDRESS	200 GORDON AVENUE PROVIDENCE, RI
PARCEL DATA	PLAT 48, LOTS 1099 & 1097
PARCEL AREA	+/- 144,071 SF
CLIENT NAME	PRESERVATION OF AFFORDABLE HOUSING, INC.
CLIENT ADDRESS	400 COURT STREET, SUITE 700, BOSTON, MA 02108
BUILDING TYPE	MULTI-FAMILY RESIDENTIAL
CONSTRUCTION TYPE	CONSTRUCTION TYPE VB
BUILDING SIZE	30,771 SF GROSS (1ST, 2ND, & 3RD FLOORS
DESCRIPTION OF WORK	CONSTRUCTION OF A 3-STORY, WALK-UP, AFFORDABLE MULTI-FAMILY APARTMENT BUILDING.

ZONING DATA					
ZONING ORDINANCE CITY OF P with AMEN			PROVIDENCE ZONING ORDINANCE, DECEMBER 24, 2014 NDMENTS		
ZONING DISTRICT R-4					
DATA	REFE	ERENCE	REQUIRED / ALLOWABLE	PROPOSED / EXISTING	
USE	SEC. 400.D		SF, 2-F, 3-F, MULTI-FAMILY	MULTI-FAMILY	
LOT FRONTAGE	SEC. 202.A		AVG WITHIN 100' EITHER SIDE		
LOT AREA	SEC. 202.I		3,500 SF		
LOT COVERAGE	SEC. 202.J		MAX 45% (RESIDENTIAL USE)		
BUILDING HEIGHT	HT SEC. 202.B		45'-0"		
PARKING	SEC. 1402.F		30	18, (60% OF REQUIRED)	
FRONT SETBACK	SEC. 402.B		AVG. OF ADJACENT LOTS w/i 100'	8'-0"	
SIDE SETBACK	SEC. 402.B		SAME AS FRONT	8'-0"	
REAR SETBACK	AR SETBACK SEC. 202.O, 402.B		LESSER OF 25% LOT DEPTH OR 25'		

0 - COVER	
G000	TITLE SHEET
G001 G002	GENERAL PROJECT INFORMATION PROJECT DATA
G002	FROJECI DATA
1 - CIVIL	
C001	EXISTING CONDITIONS PLAN
C002	OVERALL PROPOSED LAYOUT PLAN
C003	PROPOSED GRADING AND DRAINAGE PLAN
C004 C005	DETAIL SHEET 1 DETAIL SHEET 2
L.1	ALTA / ACSM LAND TITLE SURVEY PLAN
L.2	ALTA / ACSM LAND TITLE SURVEY PLAN
L.3	ALTA / ACSM LAND TITLE SURVEY PLAN
2 - STRUCTURAL	LUCTED.
\$000 \$101	NOTES FIRST FLOOR PLAN
S101	SECOND AND THIRD FLOOR PLAN
S103	ROOF FRAMING
S201	BUILDING SECTIONS
S202	BUILDING SECTIONS
S301	TYPICAL FOUNDATION DETAILS
S401 S402	TYPICAL WOOD FRAMING DETAILS TYPICAL WOOD FRAMING DETAILS
3402	TIFICAL WOOD I NAWING DETAILS
3 - ARCHITECTURAL	
A001	WALL, FLOOR, & CEILING TYPES
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A103 A104	THIRD FLOOR PLAN ROOF PLAN
A104 A105	FIRST FLOOR REFLECTED CEILING PLAN
A106	SECOND FLOOR REFLECTED CEILING PLAN
A107	THIRD FLOOR REFLECTED CEILING PLAN
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS
A203	ENLARGED PLANS
A204 A205	ENLARGED PLANS & INT ELEVATIONS - UNIT ENLARGED PLANS & INT ELEVATIONS - COMMON
A205 A301	BUILDING SECTIONS
A302	BUILDING SECTIONS
A303	TYPICAL WALL SECTIONS
A501	DOOR AND WINDOW DETAILS & SCHEDULES
A503	SCHEDULES
H102 H103	HVAC FIRST FLOOR PIPING PLAN HVAC SECOND FLOOR DUCTWORK PLAN
H104	HVAC SECOND FLOOR PIPING PLAN
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H106 H107 H201 H301 H302 5 - ELECTRICAL E001 E002 E003 E101 E102 E103 E104 E201 E202 E203 E204 E301 E401 E402 E501 E502 E503 E601	HVAC THIRD FLOOR PIPING PLAN HVAC ROOF PLAN HVAC SCHEDULES HVAC DETAILS HVAC DETAILS HVAC DETAILS HVAC DETAILS ELECTRICAL LEGEND AND NOTES ELECTRICAL SITE PLAN ELECTRICAL SITE PLAN ELECTRICAL SITE DETAILS ELECTRICAL FIRST FLOOR LIGHTING PLAN ELECTRICAL FIRST FLOOR LIGHTING PLAN ELECTRICAL THIRD FLOOR LIGHTING PLAN ELECTRICAL THIRD FLOOR LIGHTING PLAN ELECTRICAL FRIST FLOOR POWER PLAN ELECTRICAL FRIST FLOOR POWER PLAN ELECTRICAL SECOND FLOOR POWER PLAN ELECTRICAL THIRD FLOOR POWER PLAN ELECTRICAL THIRD FLOOR POWER PLAN ELECTRICAL TOOF POWER PLAN ELECTRICA
H106 H107 H201 H301 H302 5 - ELECTRICAL E001 E002 E003 E101 E102 E103 E104 E201 E202 E203 E204 E301 E401 E402 E501 E502 E503 E601 FA001	HVAC THIRD FLOOR PIPING PLAN HVAC ROOF PLAN HVAC SCHEDULES HVAC DETAILS HVAC DETAILS HVAC DETAILS ELECTRICAL LEGEND AND NOTES ELECTRICAL SITE PLAN ELECTRICAL SITE DETAILS ELECTRICAL FIRST FLOOR LIGHTING PLAN ELECTRICAL SECOND FLOOR LIGHTING PLAN ELECTRICAL THIRD FLOOR LIGHTING PLAN ELECTRICAL THIRD FLOOR LIGHTING PLAN ELECTRICAL ROOF LIGHTING PLAN ELECTRICAL FIRST FLOOR POWER PLAN ELECTRICAL FIRST FLOOR POWER PLAN ELECTRICAL SECOND FLOOR POWER PLAN ELECTRICAL SECOND FLOOR POWER PLAN ELECTRICAL THIRD FLOOR POWER PLAN ELECTRICAL THIRD FLOOR POWER PLAN ELECTRICAL TOOR POWER PLAN ELECTRICAL TYPICAL UNIT PART PLAN ELECTRICAL TYPICAL UNIT PART PLAN ELECTRICAL TELECOM RISER DIAGRAM ELECTRICAL TELECOM RISER DIAGRAM ELECTRICAL TELECOM RISER DIAGRAM ELECTRICAL THE SCHEDULES ELECTRICAL MECHANICAL EQUIPMENT SCHEDULES ELECTRICAL UNIT LOADCENTER SCHEDULE ELECTRICAL DETAILS FIRE ALARM LEGEND, NOTES, AND DETAILS
H106 H107 H201 H301 H302 5 - ELECTRICAL E001 E002 E003 E101 E102 E103 E104 E201 E202 E203 E204 E301 E401 E402 E501 E502 E503 E601 FA001 FA101	HVAC THIRD FLOOR PIPING PLAN HVAC ROOF PLAN HVAC SCHEDULES HVAC DETAILS HVAC DETAILS HVAC DETAILS HVAC DETAILS ELECTRICAL LEGEND AND NOTES ELECTRICAL SITE PLAN ELECTRICAL SITE PLAN ELECTRICAL SITE DETAILS ELECTRICAL FIRST FLOOR LIGHTING PLAN ELECTRICAL FIRST FLOOR LIGHTING PLAN ELECTRICAL THIRD FLOOR LIGHTING PLAN ELECTRICAL THIRD FLOOR LIGHTING PLAN ELECTRICAL FRIST FLOOR POWER PLAN ELECTRICAL FRIST FLOOR POWER PLAN ELECTRICAL SECOND FLOOR POWER PLAN ELECTRICAL THIRD FLOOR POWER PLAN ELECTRICAL THIRD FLOOR POWER PLAN ELECTRICAL TOOF POWER PLAN ELECTRICA
H106 H107 H201 H301 H302 5 - ELECTRICAL E001 E002 E003 E101 E102 E103 E104 E201 E202 E203 E204 E301 E401 E402 E501 E502 E503 E601 FA001	HVAC THIRD FLOOR PIPING PLAN HVAC ROOF PLAN HVAC SCHEDULES HVAC DETAILS HVAC DETAILS HVAC DETAILS HVAC DETAILS ELECTRICAL LEGEND AND NOTES ELECTRICAL SITE PLAN ELECTRICAL SITE DETAILS ELECTRICAL FIRST FLOOR LIGHTING PLAN ELECTRICAL SECOND FLOOR LIGHTING PLAN ELECTRICAL THIRD FLOOR LIGHTING PLAN ELECTRICAL THIRD FLOOR LIGHTING PLAN ELECTRICAL FIRST FLOOR POWER PLAN ELECTRICAL FIRST FLOOR POWER PLAN ELECTRICAL FIRST FLOOR POWER PLAN ELECTRICAL THIRD FLOOR PLAN ELECTRICAL THIRD FLOOR RISER DIAGRAM ELECTRICAL TELECOM RISER DIAGRAM ELECTRICAL SCHEDULES ELECTRICAL MECHANICAL EQUIPMENT SCHEDULES ELECTRICAL UNIT LOADCENTER SCHEDULE ELECTRICAL DETAILS FIRE ALARM LEGEND, NOTES, AND DETAILS FIRE ALARM LEGEND, NOTES, AND DETAILS
H106 H107 H201 H301 H302 5 - ELECTRICAL E001 E002 E003 E101 E102 E103 E104 E201 E202 E203 E204 E301 E401 E402 E501 E502 E503 E601 FA001 FA101 FA102 FA103 FA104	HVAC THIRD FLOOR PIPING PLAN HVAC ROOF PLAN HVAC SCHEDULES HVAC DETAILS HVAC DETAILS HVAC DETAILS HVAC DETAILS ELECTRICAL LEGEND AND NOTES ELECTRICAL SITE PLAN ELECTRICAL SITE DETAILS ELECTRICAL SITE DETAILS ELECTRICAL FIRST FLOOR LIGHTING PLAN ELECTRICAL FROOR LIGHTING PLAN ELECTRICAL FROOR LIGHTING PLAN ELECTRICAL FROOR LIGHTING PLAN ELECTRICAL FROOR DEVER PLAN ELECTRICAL FROOR POWER PLAN ELECTRICAL SECOND FLOOR POWER PLAN ELECTRICAL THIRD FLOOR POWER PLAN ELECTRICAL TOOF POWER PLAN ELECTRICAL TOOF POWER PLAN ELECTRICAL TYPICAL UNIT PART PLAN ELECTRICAL TELECOM RISER DIAGRAM ELECTRICAL TELECOM RISER DIAGRAM ELECTRICAL SCHEDULES ELECTRICAL DOWER RISER DIAGRAM ELECTRICAL SCHEDULES ELECTRICAL MECHANICAL EQUIPMENT SCHEDULES ELECTRICAL UNIT LOADCENTER SCHEDULE ELECTRICAL DETAILS FIRE ALARM LEGEND, NOTES, AND DETAILS FIRE ALARM SECOND FLOOR PLAN
H106 H107 H201 H301 H302 5 - ELECTRICAL E001 E002 E003 E101 E102 E103 E104 E201 E202 E203 E204 E301 E401 E402 E501 E502 E503 E601 FA001 FA101 FA102 FA103	HVAC THIRD FLOOR PIPING PLAN HVAC ROOF PLAN HVAC SCHEDULES HVAC DETAILS HVAC DETAILS HVAC DETAILS HVAC DETAILS ELECTRICAL LEGEND AND NOTES ELECTRICAL SITE PLAN ELECTRICAL SITE PLAN ELECTRICAL FIRST FLOOR LIGHTING PLAN ELECTRICAL SECOND FLOOR LIGHTING PLAN ELECTRICAL THIRD FLOOR LIGHTING PLAN ELECTRICAL THIRD FLOOR DOWER PLAN ELECTRICAL FIRST FLOOR POWER PLAN ELECTRICAL FIRST FLOOR POWER PLAN ELECTRICAL FIRST FLOOR POWER PLAN ELECTRICAL SECOND FLOOR POWER PLAN ELECTRICAL THIRD FLOOR POWER PLAN ELECTRICAL THIRD FLOOR POWER PLAN ELECTRICAL TOOR PLAN ELECTRICAL BECHANICAL EQUIPMENT SCHEDULES ELECTRICAL WITL LOADCENTER SCHEDULE ELECTRICAL DETAILS FIRE ALARM FIRST FLOOR PLAN FIRE ALARM SECOND FLOOR PLAN
H106 H107 H201 H301 H302 5 - ELECTRICAL E001 E002 E003 E101 E102 E103 E104 E201 E202 E203 E204 E301 E401 E402 E501 E502 E503 E601 FA001 FA101 FA102 FA103 FA104 FA104 FA201	HVAC THIRD FLOOR PIPING PLAN HVAC ROOF PLAN HVAC SCHEDULES HVAC DETAILS HVAC DETAILS HVAC DETAILS HVAC DETAILS ELECTRICAL LEGEND AND NOTES ELECTRICAL SITE PLAN ELECTRICAL SITE DETAILS ELECTRICAL SITE DETAILS ELECTRICAL FIRST FLOOR LIGHTING PLAN ELECTRICAL FROOR LIGHTING PLAN ELECTRICAL FROOR LIGHTING PLAN ELECTRICAL FROOR LIGHTING PLAN ELECTRICAL FROOR DEVER PLAN ELECTRICAL FROOR POWER PLAN ELECTRICAL SECOND FLOOR POWER PLAN ELECTRICAL THIRD FLOOR POWER PLAN ELECTRICAL TOOF POWER PLAN ELECTRICAL TOOF POWER PLAN ELECTRICAL TYPICAL UNIT PART PLAN ELECTRICAL TELECOM RISER DIAGRAM ELECTRICAL TELECOM RISER DIAGRAM ELECTRICAL SCHEDULES ELECTRICAL DOWER RISER DIAGRAM ELECTRICAL SCHEDULES ELECTRICAL MECHANICAL EQUIPMENT SCHEDULES ELECTRICAL UNIT LOADCENTER SCHEDULE ELECTRICAL DETAILS FIRE ALARM LEGEND, NOTES, AND DETAILS FIRE ALARM SECOND FLOOR PLAN
H106 H107 H201 H301 H302 5 - ELECTRICAL E001 E002 E003 E101 E102 E103 E104 E201 E202 E203 E204 E301 E401 E402 E501 E502 E503 E601 FA001 FA101 FA102 FA103 FA104 FA201	HVAC THIRD FLOOR PIPING PLAN HVAC ROOF PLAN HVAC SCHEDULES HVAC DETAILS HVAC DETAILS ELECTRICAL SITE PLAN ELECTRICAL SITE PLAN ELECTRICAL SITE PLAN ELECTRICAL SITE DETAILS ELECTRICAL SECOND FLOOR LIGHTING PLAN ELECTRICAL THIRD FLOOR LIGHTING PLAN ELECTRICAL FIRST FLOOR PLAN ELECTRICAL FIRST FLOOR POWER PLAN ELECTRICAL FIRST FLOOR POWER PLAN ELECTRICAL FIRST FLOOR POWER PLAN ELECTRICAL SECOND FLOOR POWER PLAN ELECTRICAL SECOND FLOOR POWER PLAN ELECTRICAL FIRST FLOOR POWER PLAN ELECTRICAL SECOND FLOOR POWER PLAN ELECTRICAL SECOND FLOOR POWER PLAN ELECTRICAL SECOND FLOOR POWER PLAN ELECTRICAL THIRD FLOOR POWER PLAN ELECTRICAL TYPICAL UNIT PART PLAN ELECTRICAL TYPICAL UNIT PART PLAN ELECTRICAL TELECOM RISER DIAGRAM ELECTRICAL SCHEDULES ELECTRICAL MECHANICAL EQUIPMENT SCHEDULES ELECTRICAL UNIT LOADCENTER SCHEDULE ELECTRICAL DETAILS FIRE ALARM LEGEND, NOTES, AND DETAILS FIRE ALARM FIRST FLOOR PLAN FIRE ALARM FIRST FLOOR PLAN FIRE ALARM SECOND FLOOR PLAN FIRE ALARM RISER DIAGRAM
H106 H107 H201 H301 H302 5 - ELECTRICAL E001 E002 E003 E101 E102 E103 E104 E201 E202 E203 E204 E301 E401 E402 E501 E502 E503 E601 FA001 FA101 FA102 FA103 FA104 FA104 FA201	HVAC THIRD FLOOR PIPING PLAN HVAC SCHEDULES HVAC DETAILS HVAC DETAILS HVAC DETAILS ELECTRICAL LEGEND AND NOTES ELECTRICAL SITE PLAN ELECTRICAL SITE DETAILS ELECTRICAL FIRST FLOOR LIGHTING PLAN ELECTRICAL FIRST FLOOR LIGHTING PLAN ELECTRICAL FIRST FLOOR LIGHTING PLAN ELECTRICAL FIRST FLOOR PLAN ELECTRICAL FOOF DETAILS ELECTRICAL FOOF POWER PLAN ELECTRICAL FOOF POWER PLAN ELECTRICAL SECOND FLOOR POWER PLAN ELECTRICAL THIRD FLOOR POWER PLAN ELECTRICAL THIRD FLOOR POWER PLAN ELECTRICAL THIRD FLOOR POWER PLAN ELECTRICAL TYPICAL UNIT PART PLAN ELECTRICAL TYPICAL UNIT PART PLAN ELECTRICAL TYPICAL UNIT PART PLAN ELECTRICAL SCHEDULES ELECTRICAL SCHEDULES ELECTRICAL SCHEDULES ELECTRICAL MECHANICAL EQUIPMENT SCHEDULES ELECTRICAL UNIT LOADCENTER SCHEDULE ELECTRICAL DETAILS FIRE ALARM FIRST FLOOR PLAN FIRE ALARM FIRST FLOOR PLAN FIRE ALARM SECOND FLOOR PLAN FIRE ALARM SECOND FLOOR PLAN FIRE ALARM RISER DIAGRAM
H106 H107 H201 H301 H302 5 - ELECTRICAL E001 E002 E003 E101 E102 E103 E104 E201 E202 E203 E204 E301 E401 E402 E501 E502 E503 E601 FA001 FA101 FA102 FA103 FA104 FA201 6 - PLUMBING P001	HVAC THIRD FLOOR PIPING PLAN HVAC ROOF PLAN HVAC SCHEDULES HVAC DETAILS HVAC DETAILS ELECTRICAL SITE PLAN ELECTRICAL SITE PLAN ELECTRICAL SITE PLAN ELECTRICAL SITE DETAILS ELECTRICAL SECOND FLOOR LIGHTING PLAN ELECTRICAL THIRD FLOOR LIGHTING PLAN ELECTRICAL FIRST FLOOR PLAN ELECTRICAL FIRST FLOOR POWER PLAN ELECTRICAL FIRST FLOOR POWER PLAN ELECTRICAL FIRST FLOOR POWER PLAN ELECTRICAL SECOND FLOOR POWER PLAN ELECTRICAL SECOND FLOOR POWER PLAN ELECTRICAL FIRST FLOOR POWER PLAN ELECTRICAL SECOND FLOOR POWER PLAN ELECTRICAL SECOND FLOOR POWER PLAN ELECTRICAL SECOND FLOOR POWER PLAN ELECTRICAL THIRD FLOOR POWER PLAN ELECTRICAL TYPICAL UNIT PART PLAN ELECTRICAL TYPICAL UNIT PART PLAN ELECTRICAL TELECOM RISER DIAGRAM ELECTRICAL SCHEDULES ELECTRICAL MECHANICAL EQUIPMENT SCHEDULES ELECTRICAL UNIT LOADCENTER SCHEDULE ELECTRICAL DETAILS FIRE ALARM LEGEND, NOTES, AND DETAILS FIRE ALARM FIRST FLOOR PLAN FIRE ALARM FIRST FLOOR PLAN FIRE ALARM SECOND FLOOR PLAN FIRE ALARM RISER DIAGRAM
H106 H107 H201 H301 H302 5 - ELECTRICAL E001 E002 E003 E101 E102 E103 E104 E201 E202 E203 E204 E301 E401 E402 E501 E502 E503 E601 FA001 FA101 FA102 FA103 FA104 FA201 6 - PLUMBING P001 P100	HVAC THIRD FLOOR PIPING PLAN HVAC ROOF PLAN HVAC SCHEDULES HVAC DETAILS HVAC DETAILS HVAC DETAILS ELECTRICAL LEGEND AND NOTES ELECTRICAL SITE PLAN ELECTRICAL SITE DETAILS ELECTRICAL FIRST FLOOR LIGHTING PLAN ELECTRICAL FIRST FLOOR LIGHTING PLAN ELECTRICAL SECOND FLOOR LIGHTING PLAN ELECTRICAL FIRST FLOOR POWER PLAN ELECTRICAL THIRD FLOOR POWER PLAN ELECTRICAL THOR FLOOR POWER PLAN ELECTRICAL THIRD FLOOR POWER PLAN ELECTRICAL THOR FLOOR POWER PLAN ELECTRICAL THOR FLOOR POWER PLAN ELECTRICAL TOPICAL UNIT PART PLAN ELECTRICAL TOPICAL UNIT PART PLAN ELECTRICAL TELECOM RISER DIAGRAM ELECTRICAL SCHEDULES ELECTRICAL MECHANICAL EQUIPMENT SCHEDULES ELECTRICAL UNIT LOADCENTER SCHEDULE ELECTRICAL UNIT LOADCENTER SCHEDULE ELECTRICAL UNIT LOADCENTER SCHEDULE FIRE ALARM FIRST FLOOR PLAN FIRE ALARM SECOND FLOOR PLAN FIRE ALARM SECOND FLOOR PLAN FIRE ALARM SECOND FLOOR PLAN FIRE ALARM RISER DIAGRAM PLUMBING BASIS OF DESIGN PLUMBING UNDERSLAB DESIGN
H106 H107 H201 H301 H302 5 - ELECTRICAL E001 E002 E003 E101 E102 E103 E104 E201 E202 E203 E204 E301 E401 E402 E501 E502 E503 E601 FA001 FA101 FA102 FA103 FA104 FA201 6 - PLUMBING P001 P100 P101 P102 P103	HVAC THIRD FLOOR PIPING PLAN HVAC ROOF PLAN HVAC SCHEDULES HVAC DETAILS HVAC DETAILS ELECTRICAL LEGEND AND NOTES ELECTRICAL SITE PLAN ELECTRICAL SITE PLAN ELECTRICAL SITE OETAILS ELECTRICAL FIRST FLOOR LIGHTING PLAN ELECTRICAL THIRD FLOOR LIGHTING PLAN ELECTRICAL THIRD FLOOR LIGHTING PLAN ELECTRICAL THIRD FLOOR POWER PLAN ELECTRICAL FROOF POWER PLAN ELECTRICAL FIRST FLOOR POWER PLAN ELECTRICAL THIRD FLOOR POWER PLAN ELECTRICAL THIRD FLOOR POWER PLAN ELECTRICAL THIRD FLOOR POWER PLAN ELECTRICAL TOOF POWER RISER DIAGRAM ELECTRICAL TELECOM RISER DIAGRAM ELECTRICAL SCHEDULES ELECTRICAL SCHEDULES ELECTRICAL MECHANICAL EQUIPMENT SCHEDULES ELECTRICAL DETAILS FIRE ALARM LEGEND, NOTES, AND DETAILS FIRE ALARM SECOND FLOOR PLAN FIRE ALARM SECOND FLOOR PLAN FIRE ALARM SECOND FLOOR PLAN FIRE ALARM RISER DIAGRAM PLUMBING BASIS OF DESIGN PLUMBING UNDERSLAB DESIGN PLUMBING SECOND FLOOR PLAN PLUMBING THIRD FLOOR PLAN
H106 H107 H201 H301 H302 5 - ELECTRICAL E001 E002 E003 E101 E102 E103 E104 E201 E202 E203 E204 E301 E401 E402 E501 E502 E503 E601 FA001 FA101 FA102 FA103 FA104 FA201 6 - PLUMBING P001 P100 P101 P102 P103 P104	HVAC THIRD FLOOR PIPING PLAN HVAC ROOF PLAN HVAC SCHEDULES HVAC DETAILS HVAC DETAILS ELECTRICAL LEGEND AND NOTES ELECTRICAL SITE PLAN ELECTRICAL SITE DETAILS ELECTRICAL SITE DETAILS ELECTRICAL FIRST FLOOR LIGHTING PLAN ELECTRICAL FIRST FLOOR LIGHTING PLAN ELECTRICAL THIRD FLOOR LIGHTING PLAN ELECTRICAL THIRD FLOOR LIGHTING PLAN ELECTRICAL TOOR POWER PLAN ELECTRICAL FOOR POWER PLAN ELECTRICAL FIRST FLOOR POWER PLAN ELECTRICAL THIRD FLOOR POWER PLAN ELECTRICAL TRIBD FLOOR POWER PLAN ELECTRICAL TOOR POWER PLAN ELECTRICAL TELECOM RISER DIAGRAM ELECTRICAL TELECOM RISER DIAGRAM ELECTRICAL SCHEDULES ELECTRICAL UNIT LOADCENTER SCHEDULE ELECTRICAL DETAILS FIRE ALARM LEGEND, NOTES, AND DETAILS FIRE ALARM FIRST FLOOR PLAN FIRE ALARM SECOND FLOOR PLAN FIRE ALARM RISER DIAGRAM PLUMBING BASIS OF DESIGN PLUMBING BASIS OF DESIGN PLUMBING BASIS OF DESIGN PLUMBING FIRST FLOOR PLAN FIRE ALARM RISER DIAGRAM PLUMBING FIRST FLOOR PLAN PLUMBING THIRD FLOOR PLAN
H106 H107 H201 H301 H302 5 - ELECTRICAL E001 E002 E003 E101 E102 E103 E104 E201 E202 E203 E204 E301 E401 E402 E501 E502 E503 E601 FA001 FA101 FA102 FA103 FA104 FA201 6 - PLUMBING P001 P100 P101 P102 P103	HVAC THIRD FLOOR PIPING PLAN HVAC ROOF PLAN HVAC SCHEDULES HVAC DETAILS HVAC DETAILS ELECTRICAL LEGEND AND NOTES ELECTRICAL SITE PLAN ELECTRICAL SITE PLAN ELECTRICAL SITE OETAILS ELECTRICAL FIRST FLOOR LIGHTING PLAN ELECTRICAL THIRD FLOOR LIGHTING PLAN ELECTRICAL THIRD FLOOR LIGHTING PLAN ELECTRICAL THIRD FLOOR POWER PLAN ELECTRICAL FROOF POWER PLAN ELECTRICAL FIRST FLOOR POWER PLAN ELECTRICAL THIRD FLOOR POWER PLAN ELECTRICAL THIRD FLOOR POWER PLAN ELECTRICAL THIRD FLOOR POWER PLAN ELECTRICAL TOOF POWER RISER DIAGRAM ELECTRICAL TELECOM RISER DIAGRAM ELECTRICAL SCHEDULES ELECTRICAL SCHEDULES ELECTRICAL MECHANICAL EQUIPMENT SCHEDULES ELECTRICAL DETAILS FIRE ALARM LEGEND, NOTES, AND DETAILS FIRE ALARM SECOND FLOOR PLAN FIRE ALARM SECOND FLOOR PLAN FIRE ALARM SECOND FLOOR PLAN FIRE ALARM RISER DIAGRAM PLUMBING BASIS OF DESIGN PLUMBING UNDERSLAB DESIGN PLUMBING SECOND FLOOR PLAN PLUMBING THIRD FLOOR PLAN
H106 H107 H201 H301 H302 5 - ELECTRICAL E001 E002 E003 E101 E102 E103 E104 E201 E202 E203 E204 E301 E401 E402 E501 E502 E503 E601 FA001 FA101 FA102 FA103 FA104 FA201 6 - PLUMBING P001 P100 P101 P102 P103 P104 P201	HVAC THIRD FLOOR PIPING PLAN HVAC ROOF PLAN HVAC SCHEDULES HVAC DETAILS HVAC DETAILS ELECTRICAL LEGEND AND NOTES ELECTRICAL SITE PLAN ELECTRICAL SITE PETAILS ELECTRICAL SITE DETAILS ELECTRICAL FIRST FLOOR LIGHTING PLAN ELECTRICAL FIRST FLOOR LIGHTING PLAN ELECTRICAL FIRST FLOOR LIGHTING PLAN ELECTRICAL FIRST FLOOR POWER PLAN ELECTRICAL FROOP LIGHTING PLAN ELECTRICAL FIRST FLOOR POWER PLAN ELECTRICAL FIRST FLOOR POWER PLAN ELECTRICAL FIRST FLOOR POWER PLAN ELECTRICAL THIRD FLOOR POWER PLAN ELECTRICAL TYPICAL UNIT PART PLAN ELECTRICAL TYPICAL UNIT PART PLAN ELECTRICAL TELECOM RISER DIAGRAM ELECTRICAL TELECOM RISER DIAGRAM ELECTRICAL SCHEDULES ELECTRICAL MECHANICAL EQUIPMENT SCHEDULES ELECTRICAL UNIT LOADCENTER SCHEDULE ELECTRICAL UNIT LOADCENTER SCHEDULE FIRE ALARM LEGEND, NOTES, AND DETAILS FIRE ALARM SECOND FLOOR PLAN FIRE ALARM SECOND FLOOR PLAN FIRE ALARM SISER DIAGRAM PLUMBING BASIS OF DESIGN PLUMBING BASIS OF DESIGN PLUMBING FIRST FLOOR PLAN PLUMBING STREST FLOOR PLAN PLUMBING STREST FLOOR PLAN PLUMBING FIRST FLOOR PLAN PLUMBING SCHEDULES
H106 H107 H201 H301 H302 5 - ELECTRICAL E001 E002 E003 E101 E102 E103 E104 E201 E202 E203 E204 E301 E401 E402 E501 E502 E503 E601 FA001 FA101 FA102 FA103 FA104 FA201 6 - PLUMBING P001 P100 P101 P102 P103 P104	HVAC THIRD FLOOR PIPING PLAN HVAC ROOF PLAN HVAC SCHEDULES HVAC DETAILS HVAC DETAILS HVAC DETAILS HVAC DETAILS ELECTRICAL LEGEND AND NOTES ELECTRICAL SITE PLAN ELECTRICAL SITE PLAN ELECTRICAL FIRST FLOOR LIGHTING PLAN ELECTRICAL FIRST FLOOR LIGHTING PLAN ELECTRICAL THIRD FLOOR LIGHTING PLAN ELECTRICAL THIRD FLOOR POWER PLAN ELECTRICAL THIRD FLOOR POWER PLAN ELECTRICAL FIRST FLOOR POWER PLAN ELECTRICAL THIRD FLOOR POWER PLAN ELECTRICAL TOOR POWER PLAN ELECTRICAL TOOR POWER PLAN ELECTRICAL TOOR POWER RIAN ELECTRICAL TOOR FOWER PLAN ELECTRICAL TOOR FOWER PLAN ELECTRICAL TOOR FOWER PLAN ELECTRICAL TELEOM RISER DIAGRAM ELECTRICAL TELEOM RISER DIAGRAM ELECTRICAL THIRD FLOOR PLAN ELECTRICAL MIT LOADCENTER SCHEDULE ELECTRICAL MIT LOADCENTER SCHEDULE ELECTRICAL MIT LOADCENTER SCHEDULE ELECTRICAL DETAILS FIRE ALARM HEGEND, NOTES, AND DETAILS FIRE ALARM FIRST FLOOR PLAN FIRE ALARM SECOND FLOOR PLAN FIRE ALARM SISER DIAGRAM PLUMBING BASIS OF DESIGN PLUMBING BASIS OF DESIGN PLUMBING FIRST FLOOR PLAN FIRE ALARM RISER DIAGRAM PLUMBING FIRST FLOOR PLAN PLUMBING THIRD FLOOR PLAN PLUMBING SCHEDULES
H106 H107 H201 H301 H302 5 - ELECTRICAL E001 E002 E003 E101 E102 E103 E104 E201 E202 E203 E204 E301 E401 E402 E501 E502 E503 E601 FA001 FA101 FA102 FA103 FA104 FA201 6 - PLUMBING P001 P100 P101 P102 P103 P104 P201 7 - FIRE PROTECTIC	HVAC THIRD FLOOR PIPING PLAN HVAC ROOF PLAN HVAC SCHEDULES HVAC DETAILS HVAC DETAILS ELECTRICAL LEGEND AND NOTES ELECTRICAL SITE PLAN ELECTRICAL SITE PETAILS ELECTRICAL SITE DETAILS ELECTRICAL FIRST FLOOR LIGHTING PLAN ELECTRICAL FIRST FLOOR LIGHTING PLAN ELECTRICAL FIRST FLOOR LIGHTING PLAN ELECTRICAL FIRST FLOOR POWER PLAN ELECTRICAL FROOP LIGHTING PLAN ELECTRICAL FIRST FLOOR POWER PLAN ELECTRICAL FIRST FLOOR POWER PLAN ELECTRICAL FIRST FLOOR POWER PLAN ELECTRICAL THIRD FLOOR POWER PLAN ELECTRICAL TYPICAL UNIT PART PLAN ELECTRICAL TYPICAL UNIT PART PLAN ELECTRICAL TELECOM RISER DIAGRAM ELECTRICAL TELECOM RISER DIAGRAM ELECTRICAL SCHEDULES ELECTRICAL MECHANICAL EQUIPMENT SCHEDULES ELECTRICAL UNIT LOADCENTER SCHEDULE ELECTRICAL UNIT LOADCENTER SCHEDULE FIRE ALARM LEGEND, NOTES, AND DETAILS FIRE ALARM SECOND FLOOR PLAN FIRE ALARM SECOND FLOOR PLAN FIRE ALARM SISER DIAGRAM PLUMBING BASIS OF DESIGN PLUMBING BASIS OF DESIGN PLUMBING FIRST FLOOR PLAN PLUMBING STREST FLOOR PLAN PLUMBING STREST FLOOR PLAN PLUMBING FIRST FLOOR PLAN PLUMBING SCHEDULES
H106 H107 H201 H301 H302 5 - ELECTRICAL E001 E002 E003 E101 E102 E103 E104 E201 E202 E203 E204 E301 E401 E402 E501 E502 E503 E601 FA001 FA101 FA102 FA103 FA104 FA201 6 - PLUMBING P100 P101 P102 P103 P104 P201 7 - FIRE PROTECTIC FP001 FP101 FP102	HVAC THIRD FLOOR PIPING PLAN HVAC ROOF PLAN HVAC SCHEDULES HVAC DETAILS HVAC DETAILS HVAC DETAILS ELECTRICAL LEGEND AND NOTES ELECTRICAL SITE PLAN ELECTRICAL SITE DETAILS ELECTRICAL SITE DETAILS ELECTRICAL SITE DETAILS ELECTRICAL FIRST FLOOR LIGHTING PLAN ELECTRICAL SECOND FLOOR LIGHTING PLAN ELECTRICAL FIRST FLOOR POWER PLAN ELECTRICAL THIRD FLOOR POWER PLAN ELECTRICAL TOOR POWER PLAN ELECTRICAL TOOR POWER PLAN ELECTRICAL TOOR POWER RIAN ELECTRICAL POWER RISER DIAGRAM ELECTRICAL POWER RISER DIAGRAM ELECTRICAL SCHEDULES ELECTRICAL SCHEDULES ELECTRICAL SCHEDULES ELECTRICAL MECHANICAL EQUIPMENT SCHEDULE ELECTRICAL UNIT LOADCENTER SCHEDULE ELECTRICAL UNIT LOADCENTER SCHEDULE ELECTRICAL UNIT LOADCENTER SCHEDULE FIRE ALARM LEGEND, NOTES, AND DETAILS FIRE ALARM FIRST FLOOR PLAN FIRE ALARM FIRST FLOOR PLAN FIRE ALARM RISER DIAGRAM PLUMBING BASIS OF DESIGN PLUMBING BASIS OF DESIGN PLUMBING FIRST FLOOR PLAN PLUMBING THIRD FLOOR PLAN PLUMBING THIRD FLOOR PLAN PLUMBING SCHEDULES FIRE PROTECTION BASIS OF DESIGN PLUMBING SCHEDULES FIRE PROTECTION BASIS OF DESIGN PLUMBING THIRD FLOOR PLAN PLIMBING THIRD FLOOR PLAN PLIMBING THIRD FLOOR PLAN PLIMBING THIRD FLOOR PLAN PLIMBING
H106 H107 H201 H301 H302 5 - ELECTRICAL E001 E002 E003 E101 E102 E103 E104 E201 E202 E203 E204 E301 E401 E402 E501 E502 E503 E601 FA001 FA101 FA102 FA103 FA104 FA201 6 - PLUMBING P100 P101 P102 P103 P104 P201 7 - FIRE PROTECTIC	HVAC THIRD FLOOR PIPING PLAN HVAC ROOF PLAN HVAC SCHEDULES HVAC DETAILS HVAC DETAILS HVAC DETAILS HVAC DETAILS ELECTRICAL LEGEND AND NOTES ELECTRICAL SITE PLAN ELECTRICAL SITE PLAN ELECTRICAL FIRST FLOOR LIGHTING PLAN ELECTRICAL THIRD FLOOR LIGHTING PLAN ELECTRICAL FIRST FLOOR PLAN ELECTRICAL FIRST FLOOR PLAN ELECTRICAL FOR UNITHING PLAN ELECTRICAL FOR PLAN ELECTRICAL ROOF LIGHTING PLAN ELECTRICAL ROOF LIGHTING PLAN ELECTRICAL FROOF POWER PLAN ELECTRICAL SECOND FLOOR POWER PLAN ELECTRICAL SECOND FLOOR POWER PLAN ELECTRICAL SECOND FLOOR POWER PLAN ELECTRICAL THIRD FLOOR POWER PLAN ELECTRICAL THIRD FLOOR POWER PLAN ELECTRICAL TOWER RISER DIAGRAM ELECTRICAL TOWER RISER DIAGRAM ELECTRICAL SECOND RISER DIAGRAM ELECTRICAL SECOND FLOOR PLAN FIRE ALARM FIRST FLOOR PLAN FIRE ALARM RISER DIAGRAM PLUMBING BASIS OF DESIGN PLUMBING FIRST FLOOR PLAN PLUMBING FIRST FLOOR PLAN PLUMBING SECOND FLOOR PLAN PLUMBING FIRST FLOOR PLAN PLUMBING SECOND FLOOR PLAN PLUMBING FIRST FLOOR PLAN PLUMBING SECOND FLOOR PLAN PLECTRICAL SECOND FLOOR P

INTERPRETATION OF CONTRACT DOCUMENT	S
IN THE EVENT OF CONFLICTING PROVISIONS IN THE CONTRACT DOCUMENTS, TAKE PRECEDENCE OVER THE SPECIFICATIONS.	THE DRAWINGS WILL

IN THE EVENT OF CONFLICTING PROVISIONS WITHIN THE DRAWINGS, THE FOLLOWING ORDER OF PRECEDENCE FOR RESOLUTION OF THE CONFLICT SHALL APPLY: THE MORE SPECIFIC PROVISION WILL TAKE PRECEDENCE OVER THE LESS SPECIFIC; IF NOT RESOLVED, THE LESS STRINGENT WILL TAKE PRECEDENCE OVER THE MORE STRINGENT; IF NOT RESOLVED, THE LESS EXPENSIVE ITEM WILL TAKE PRECEDENCE OVER THE MORE EXPENSIVE. ON ALL DRAWINGS. FIGURES TAKE PRECEDENCE OVER SCALED DIMENSIONS.

IN THE EVENT OF CONFLICTING PROVISIONS WITHIN THE SPECIFICATIONS, THE FOLLOWING ORDER OF PRECEDENCE FOR RESOLUTION OF THE CONFLICT SHALL APPLY: THE MORE SPECIFIC PROVISION WILL TAKE PRECEDENCE OVER THE LESS SPECIFIC; IF NOT RESOLVED, THE LESS STRINGENT WILL TAKE PRECEDENCE OVER THE MORE STRINGENT; IF NOT RESOLVED, THE LESS EXPENSIVE ITEM WILL TAKE PRECEDENCE OVER THE MORE EXPENSIVE.

	DRAWING LIST	GENERAL PROJECT NOTES			
BER	NAME	1 GENERAL NOTES APPLY TO ALL DRAWINGS AI TRADES TO COORDINATE THE INSTALLATION			
		CONTRACTORS AND TRADES. 2 UNLESS NOTED OTHERWISE, THE GENERAL C			
)	TITLE SHEET	EQUIPMENT, TOOLS, CONSTRUCTION EQUIPM AND FACILITIES NECESSARY FOR PROPER AN	ENT, MACHINERY, PERMITS, TRANSPOF	RTATION AND OTHER SERVICES	
1 2	GENERAL PROJECT INFORMATION PROJECT DATA	3 THE GENERAL CONTRACTOR SHALL GUARAN	TEE ALL WORKMANSHIP AND MATERIAL		
		FROM THE DATE OF WRITTEN SUBSTANTIAL C 4 THE GENERAL CONTRACTOR WARRANTS TO		HAT ALL MATERIALS AND	
1	EXISTING CONDITIONS PLAN	EQUIPMENT FURNISHED AND INSTALLED UND ALL WORK WILL BE AS SPECIFIED AND FREE C			
<u>2</u> 3	OVERALL PROPOSED LAYOUT PLAN PROPOSED GRADING AND DRAINAGE PLAN	AND TO THE ARCHITECT, THAT ALL MATERIAL ARE NEW UNLESS OTHERWISE SPECIFIED, AN			
1	DETAIL SHEET 1	5 ALL FLOOR LEVELS ON ALL DRAWINGS ARE AS COORDINATE BUILDING SLAB ELEVATIONS WI	SSUMED TO BE AT ESTABLISHED DATU		
)	DETAIL SHEET 2 ALTA / ACSM LAND TITLE SURVEY PLAN	6 ALL WORK SHALL BE IN ACCORDANCE WITH A	LL APPLICABLE STATE AND LOCAL COD	ES WELL AS ANY REQUIREMEN	
	ALTA / ACSM LAND TITLE SURVEY PLAN ALTA / ACSM LAND TITLE SURVEY PLAN	SET FORTH BY ALL AUTHORITIES HAVING JUR 7 DISCREPANCIES: THE CONTRACTOR SHALL IN		ANY DISCREPANCIES OR	
RAL	NOTES	OMISSIONS NOTED ON THE DRAWINGS OR IN CONFORM TO CODE REQUIREMENTS, RULES, ARCHITECT WILL FORWARD WRITTEN INSTRU	AND REGULATIONS. UPON RECEIPT OF CTION TO ALL CONCERNED PARTIES. A	SUCH INFORMATION, THE NY SUCH DISCREPANCY,	
1	FIRST FLOOR PLAN	OMISSION OR VARIATION NOT REPORTED SHA PERFORMED IN A MANNER DIRECTED BY THE	ARCHITECT.		
<u>2</u> 3	SECOND AND THIRD FLOOR PLAN ROOF FRAMING	8 DRAWING SCALES: THESE DRAWINGS ARE PR BE DERIVED BY SCALING THE PLANS, SECTION		,	
1	BUILDING SECTIONS	WITH ANY QUESTIONS PERTAINING TO DIMEN 9 THE REQUIREMENTS OF THE DRAWINGS, GEN			
<u>2</u> 1	BUILDING SECTIONS TYPICAL FOUNDATION DETAILS	ARE EQUALLY BINDING ON ALL CONTRACTOR SETS OF THE CONTRACT DOCUMENTS FOR THE	S AND TRADES. EACH CONTRACTOR IS	REQUIRED TO MAINTAIN FULL	
1	TYPICAL WOOD FRAMING DETAILS TYPICAL WOOD FRAMING DETAILS	PROPERLY COORDINATED AND INSTALLED WI	TH THE WORK OF OTHER CONTRACTOR	RS AND TRADES.	
	THIOAL WOOD I INWING DETAILS	10 THE GENERAL CONTRACTOR SHALL BE RESPONDED TO REMAIN IN PLACE OR INTACT.			
CTURAL 1	WALL, FLOOR, & CEILING TYPES	OWNER'S SATISFACTION. 11 ALL FRAMING LUMBER INSTALLED IN CONTAC	T WITH CONCRETE, MASONRY OR STEE	L SHALL BE PRESSURE TREAT	
1	FIRST FLOOR PLAN SECOND FLOOR PLAN	12 THE GENERAL CONTRACTOR SHALL FURNISH EXTINGUISHERS. SUCH EXTINGUISHERS SHAL			
3	THIRD FLOOR PLAN	AUTHORITY HAVING JURISDICTION. 13 ALL DIMENSIONS ARE ACTUAL AND ARE TAKE			
<u> </u>	ROOF PLAN FIRST FLOOR REFLECTED CEILING PLAN	OR FACE OF FRAME, UNLESS NOTED OTHERW	/ISE.	,	
5	SECOND FLOOR REFLECTED CEILING PLAN	14 ALL INTERIOR WALLS AND PARTITIONS SHALL NOTED OTHERWISE.	EXTEND TO THE UNDERSIDE OF STRUC	CTURE OR DECK ABOVE, UNLES	
7 1	THIRD FLOOR REFLECTED CEILING PLAN EXTERIOR ELEVATIONS	15 ALL MANUFACTURED ARTICLES, MATERIALS A CONNECTED, ERECTED AND CLEANED IN ACC			
2	EXTERIOR ELEVATIONS ENLARGED PLANS	GUIDELINES AND INSTALLATION INSTRUCTION 16 ALL NEW WINDOWS, SIDELITES AND BORROW		SSS AND GLAZING SHALL COME	
1	ENLARGED PLANS & INT ELEVATIONS - UNIT	WITH ALL APPLICABLE CODES AND ORDINANC GLAZING AS REQUIRED BY CODE.			
5 1	ENLARGED PLANS & INT ELEVATIONS - COMMON BUILDING SECTIONS	17 ALL PENETRATIONS OF FIRE-RESISTIVE-RATE			
2	BUILDING SECTIONS	MATERIALS AND INSTALLATION DETAILS THAT FIRESTOP SYSTEMS. THE GENERAL CONTRAC	CTOR SHALL SUBMIT SHOP DRAWINGS,	SPECIFICATIONS AND DETAILS	
1	TYPICAL WALL SECTIONS DOOR AND WINDOW DETAILS & SCHEDULES	THAT SHOW COMPLETE CONFORMANCE TO T DRAWINGS, SPECIFICATIONS AND DETAILS SH	HALL BE MADE AVAILABLE TO THE LOCA	L AUTHORITY HAVING	
3	SCHEDULES	JURISDICTION AND SHALL BE SPECIFIC FOR E 18 SEAL AROUND ALL PENETRATIONS (DUCTS, P			
		PARTITION AND CEILING CONSTRUCTION. SEA CONCRETE OR MASONRY, SEAL OFF OPENING	AL SHALL NOT DIMINISH RATING OF THE	WALL, PARTITION OR CEILING.	
<u>1</u> 1	HVAC BASIS OF DESIGN HVAC FIRST FLOOR DUCTWORK PLAN	AND WALL VOIDS WITH U.L. APPROVED FIRE-F MANUFACTURER'S SPECIFICATIONS AND REC	RESISTIVE-RATED SEALANT OR PUTTY II	•	
2	HVAC FIRST FLOOR PIPING PLAN HVAC SECOND FLOOR DUCTWORK PLAN	19 LEVEL ALL FLOORS AS REQUIRED TO CONCEA		HAT WOULD OTHERWISE BE SE	
1	HVAC SECOND FLOOR PIPING PLAN	WITH THE SCHEDULED FLOOR FINISHES. 20 THE GENERAL CONTRACTOR SHALL BE RESPO			
5 3	HVAC THIRD FLOOR DUCTWORK PLAN HVAC THIRD FLOOR PIPING PLAN	FIRE/SMOKE STOPPING AT ALL PENETRATION ELEMENTS, AT ALL PENETRATIONS OR OPENII	NGS THROUGH FIRE-RESISTIVE RATED		
7	HVAC ROOF PLAN	AREAS WHERE FIRE AND SMOKE MAY PENETF 21 IT IS THE RESPONSIBILITY OF THE CONTRACT		ND BRACING TO SAFELY	
1 1	HVAC SCHEDULES HVAC DETAILS	SUPPORT THE STRUCTURE DURING CONSTRU 22 THE CONTRACTOR IS RESPONSIBLE FOR DUS		CONSTRUCTION	
2	HVAC DETAILS	23 THE GENERAL CONTRACTOR SHALL BE RESPO	ONSIBLE FOR THE PROTECTION OF PER	SONS USING THE SURROUNDI	
CAL	I	FACILITIES WHO COME INTO CONTACT WITH T PROPERLY BARRICADED TO PREVENT INTRUS			
1 2	ELECTRICAL LEGEND AND NOTES ELECTRICAL SITE PLAN	FACILITY. 24 THESE DOCUMENTS DO NOT INCLUDE THE NE	CESSARY COMPONENTS FOR CONSTR	UCTION SAFETY. SAFETY, CAR	
3	ELECTRICAL SITE DETAILS ELECTRICAL FIRST FLOOR LIGHTING PLAN	OF ADJACENT PROPERTIES DURING CONSTRU REGARDING SAFETY SHALL BE THE CONTRAC	JCTION AND COMPLIANCE WITH STATE		
2	ELECTRICAL SECOND FLOOR LIGHTING PLAN	25 REFER TO THE PROJECT MANUAL, WRITTEN S SECTION BELOW FOR ADDITIONAL INFORMATI	PECIFICATIONS AND INTERPRETATION	OF CONTRACT DOCUMENTS	
3 4	ELECTRICAL THIRD FLOOR LIGHTING PLAN ELECTRICAL ROOF LIGHTING PLAN	CESTION BELOW FOR ADDITIONAL INFORMATI	S IND TREASON LINEITIO.		
1	ELECTRICAL FIRST FLOOR POWER PLAN				
3	ELECTRICAL SECOND FLOOR POWER PLAN ELECTRICAL THIRD FLOOR POWER PLAN	SOUNDE FOOT	AGE BREAKDOW	 NI (QITE)	
1	ELECTRICAL ROOF POWER PLAN ELECTRICAL TYPICAL UNIT PART PLAN	SQUARE FOOT	AGE DREANDOW	N (SITE)	
1	ELECTRICAL POWER RISER DIAGRAM	TRACT OCCUPIED	SF (GROSS)	PERCENT OF TOTAL	
<u>2</u> 1	ELECTRICAL TELECOM RISER DIAGRAM ELECTRICAL SCHEDULES		, ,		
2	ELECTRICAL MECHANICAL EQUIPMENT SCHEDULES	BUILDING	SEE CIVIL DRAWINGS		
1	ELECTRICAL UNIT LOADCENTER SCHEDULE ELECTRICAL DETAILS	PARKING	SEE CIVIL DRAWINGS		
1	FIRE ALARM LEGEND, NOTES, AND DETAILS FIRE ALARM FIRST FLOOR PLAN	PAVED WALKS	SEE CIVIL DRAWINGS		
2	FIRE ALARM SECOND FLOOR PLAN	IMPREVIOUS / STORM WATER	SEE CIVIL DRAWINGS		
კ 4	FIRE ALARM THIRD FLOOR PLAN FIRE ALARM ROOF PLAN	LANDSCAPE / OPEN AREA	SEE CIVIL DRAWINGS		
1	FIRE ALARM RISER DIAGRAM	LANDSOAFE / OPEN AREA	OLL CIVIL DRAWINGS		
3 1	PLUMBING BASIS OF DESIGN	SQUARE FOOTAGE I	BREAKDOWN (O)	/FRAIL GSF\	
1	PLUMBING UNDERSLAB DESIGN PLUMBING FIRST FLOOR PLAN	- GOARL TOOTAGET			
2	PLUMBING SECOND FLOOR PLAN	FLOOR		GROSS SF	
3 4	PLUMBING THIRD FLOOR PLAN PLUMBING ROOF PLAN	FIRST FLOOR		10,711 GSF	
1	PLUMBING SCHEDULES	SECOND FLOOR		10,030 GSF	
TECTION					
1	FIRE PROTECTION BASIS OF DESIGN FIRE PROTECTION FIRST FLOOR PLAN	THIRD FLOOR		10,030 GSF	
2	FIRE PROTECTION SECOND FLOOR PLAN	TOTAL BUILDING GROSS SF		30,771 TOTAL GSF	

GENERAL PROJECT NOTES

- NOTES APPLY TO ALL DRAWINGS AND ALL TRADES. IT THE RESPONSIBILITY OF ALL CONTRACTORS AND TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER
- OTED OTHERWISE, THE GENERAL CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, NT, TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY, PERMITS, TRANSPORTATION AND OTHER SERVICES ILITIES NECESSARY FOR PROPER AND TIMELY EXECUTION OF THE REQUIRED WORK UNDER THIS CONTRACT ERAL CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAF
- DATE OF WRITTEN SUBSTANTIAL COMPLETION. ERAL CONTRACTOR WARRANTS TO THE OWNER AND TO THE ARCHITECT, THAT ALL MATERIALS AND IT FURNISHED AND INSTALLED UNDER THE CONTRACT ARE NEW UNLESS OTHERWISE SPECIFIED, AND THA WILL BE AS SPECIFIED AND FREE OF DEFECTS. THE GENERAL CONTRACTOR WARRANTS TO THE OWNER HE ARCHITECT. THAT ALL MATERIALS AND EQUIPMENT FURNISHED AND INSTALLED UNDER THE CONTRACT UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE AS SPECIFIED AND FREE OF DEFECTS.
- R LEVELS ON ALL DRAWINGS ARE ASSUMED TO BE AT ESTABLISHED DATUM UNLESS NOTED OTHERWISE ATE BUILDING SLAB ELEVATIONS WITH CIVIL DRAWINGS. K SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES WELL AS ANY REQUIREMENTS
- TH BY ALL AUTHORITIES HAVING JURISDICTION. ANCIES: THE CONTRACTOR SHALL INFORM THE ARCHITECT IN WRITING OF ANY DISCREPANCIES OR IS NOTED ON THE DRAWINGS OR IN THE SPECIFICATIONS OR OF ANY VARIATIONS REQUIRED IN ORDER TO ITO CODE REQUIREMENTS. RULES AND REGULATIONS. UPON RECEIPT OF SUCH INFORMATION. THE T WILL FORWARD WRITTEN INSTRUCTION TO ALL CONCERNED PARTIES, ANY SLICH DISCREPANCY I OR VARIATION NOT REPORTED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND WORK SHALL BI IED IN A MANNER DIRECTED BY THE ARCHITECT.
- S SCALES: THESE DRAWINGS ARE PREPARED TO THE SCALES NOTED. HOWEVER, DIMENSIONS ARE NOT TO FOR BY SCALING THE PLANS. SECTIONS OR DETAILS: THE CONTRACTOR SHALL CONTACT THE ARCHITECT.
- / QUESTIONS PERTAINING TO DIMENSIONS OR DETAILS PRIOR TO COMMENCING ANY WORK. JIREMENTS OF THE DRAWINGS, GENERAL REQUIREMENTS AND ALL ITEMS OF THE CONTRACT DOCUMENTS ALLY BINDING ON ALL CONTRACTORS AND TRADES. EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL THE CONTRACT DOCUMENTS FOR THEIR EMPLOYEES USE ON THE PROJECT TO ENSURE THAT ALL WORK IS Y COORDINATED AND INSTALLED WITH THE WORK OF OTHER CONTRACTORS AND TRADES.
- ED TO REMAIN IN PLACE OR INTACT. ANY DAMAGE INCURRED TO SUCH ITEMS SHALL BE REPAIRED TO TH ING LUMBER INSTALLED IN CONTACT WITH CONCRETE, MASONRY OR STEEL SHALL BE PRESSURE TREATED.
- ERAL CONTRACTOR SHALL FURNISH. LOCATE AND INSTALL APPROVED. CODE COMPLIANT FIRE ISHERS. SUCH EXTINGUISHERS SHALL BE FULLY COORDINATED WITH AND APPROVED BY THE LOCAL TY HAVING JURISDICTION.
- NSIONS ARE ACTUAL AND ARE TAKEN TO THE FACE OF STUD, FACE OF CONCRETE WALL, FACE OF CMU WAL OF FRAME, UNLESS NOTED OTHERWISE.
- JFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE CONDITIONED, USED, APPLIED, INSTALLED, ED, ERECTED AND CLEANED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS, ES AND INSTALLATION INSTRUCTIONS.
- WINDOWS. SIDELITES AND BORROWED LITES AS WELL AS ASSOCIATED GLASS AND GLAZING SHALL COMPLY APPLICABLE CODES AND ORDINANCES IN PLACE WITHIN THE JURISDICTION OF THE WORK, PROVIDE SAFET
- TRATIONS OF FIRE-RESISTIVE-RATED FLOORS, WALLS, PARTITIONS AND SHAFTS SHALL BE PROTECTED BY S AND INSTALLATION DETAILS THAT CONFORM TO U.L. DESIGN STANDARDS FOR THROUGH PENETRATION P SYSTEMS. THE GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS. SPECIFICATIONS AND DETAILS DW COMPLETE CONFORMANCE TO THE U.L. LISTING TO THE ARCHITECT FOR REVIEW AND APPROVAL. SUCH S SPECIFICATIONS AND DETAILS SHALL BE MADE AVAILABLE TO THE LOCAL AUTHORITY HAVING
- TION AND SHALL BE SPECIFIC FOR EACH PENETRATION WITH ANY AND ALL VARIABLES DEFINED. DUND ALL PENETRATIONS (DUCTS, PIPES, CONDUIT, ETC.) AT NEW AND EXISTING FIRE-RATED WALL N AND CEILING CONSTRUCTION. SEAL SHALL NOT DIMINISH RATING OF THE WALL. PARTITION OR CEILING. A E OR MASONRY, SEAL OFF OPENINGS WITH CONCRETE GROUT. AT PLASTER OR DRYWALL, DAM UP GAPS L VOIDS WITH U.L. APPROVED FIRE-RESISTIVE-RATED SEALANT OR PUTTY IN ACCORDANCE WITH THE TURER'S SPECIFICATIONS AND RECOMMENDATIONS
- L FLOORS AS REQUIRED TO CONCEAL ANY DROPS OR RISERS IN FLOORS THAT WOULD OTHERWISE BE SEE
- ERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND PROPERLY INSTALLING ALL FIRESAFING. S, AT ALL PENETRATIONS OR OPENINGS THROUGH FIRE-RESISTIVE RATED WALLS AND AT ANY OTHER
- HERE FIRE AND SMOKE MAY PENETRATE. RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ADEQUATE SHORING AND BRACING TO SAFELY
- THE STRUCTURE DURING CONSTRUCTION. TRACTOR IS RESPONSIBLE FOR DUST AND WEATHER PROTECTION DURING CONSTRUCTION. ERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF PERSONS USING THE SURROUNDING S WHO COME INTO CONTACT WITH THE AREA OF CONSTRUCTION. THE CONSTRUCTION AREA SHALL BE BARRICADED TO PREVENT INTRUSION BY PERSONS NOT ASSOCIATED WITH THE CONSTRUCTION OF THIS
- CUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE ENT PROPERTIES DURING CONSTRUCTION AND COMPLIANCE WITH STATE AND FEDERAL REGULATIONS NG SAFETY SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- O THE PROJECT MANUAL, WRITTEN SPECIFICATIONS AND INTERPRETATION OF CONTRACT DOCUMENTS BELOW FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

SQUARE FOOTAGE BREAKDOWN (SITE)

0 Q 07 (1 (E 1 0 0 17 (0 E B) (E 7 (1 (B 0 7))) (0 1 1 E)				
TRACT OCCUPIED	SF (GROSS)	PERCENT OF TOTAL		
BUILDING	SEE CIVIL DRAWINGS			
PARKING	SEE CIVIL DRAWINGS			
PAVED WALKS	SEE CIVIL DRAWINGS			
IMPREVIOUS / STORM WATER	SEE CIVIL DRAWINGS			
LANDSCAPE / OPEN AREA	SEE CIVIL DRAWINGS			

ARE FOOTAGE BREAKDOWN (OVERALL GSF)

FLOOR	GROSS SF
FIRST FLOOR	10,711 GSF
SECOND FLOOR	10,030 GSF
THIRD FLOOR	10,030 GSF
TOTAL BUILDING GROSS SF	30,771 TOTAL GSF

SQUARE FOOTAGE BREAKDOWN (BUILDING)

USE	FLOOR	TOTAL SF	SF (NET RENTABLE)
MULTI-PURPOSE	FLOOR 1	606 NSF	NA
STAIR / CIRCULATION	FLOOR 1, 2, 3	2,500 NSF	NA
RESIDENTIAL (APARTMENTS)	FLOOR 1, 2, 3	23,969 NSF	23,969 NSF
LAUNDRY	FLOOR 1	192 NSF	NA
OTHER (UTILITY, MECH, ETC)			
WATER / FP	FLOOR 1	109 NSF	NA
ELEC / TEL DATA	FLOOR 1	246 NSF	NA
MULTI-PURPOSE	FLOOR 1	594 NSF	NA



CLIENT: PRESERVATION OF AFFORDABLE HOUSING 40 COURT STREET, SUITE 700 BOSTON, MA 02108

ARCHITECT:

UNION STUDIO ARCHITECTURE & **COMMUNITY DESIGN** 140 UNION STREET PROVIDENCE, RI 02903 TEL: 401.272.4724 FAX: 401.272.4825

CONTACT: JOE HASKETT CONTRACTOR:

PEZZUCO CONSTRUCTION, INC. 28 KENWOOD STREET TEL: 401.942.2244

STRUCTURAL:

STRUCTURES WORKSHOP 18 IMPERIAL PLACE, COURTYARD PROVIDENCE, RI 02903 TEL: 401.383.8988 FAX: 401.351.8788

MECHANICAL, ELECTRICAL &

PLUMBING:

PETERSEN ENGINEERING, INC 335 MAPLEWOOD AVENUE PORTSMOUTH, NH 03801 TEL: 603.436.4233

FIRE PROTECTION:

PETERSEN ENGINEERING, INC 335 MAPLEWOOD AVENUE PORTSMOUTH, NH 03801 TEL: 603.436.4233

CIVIL:

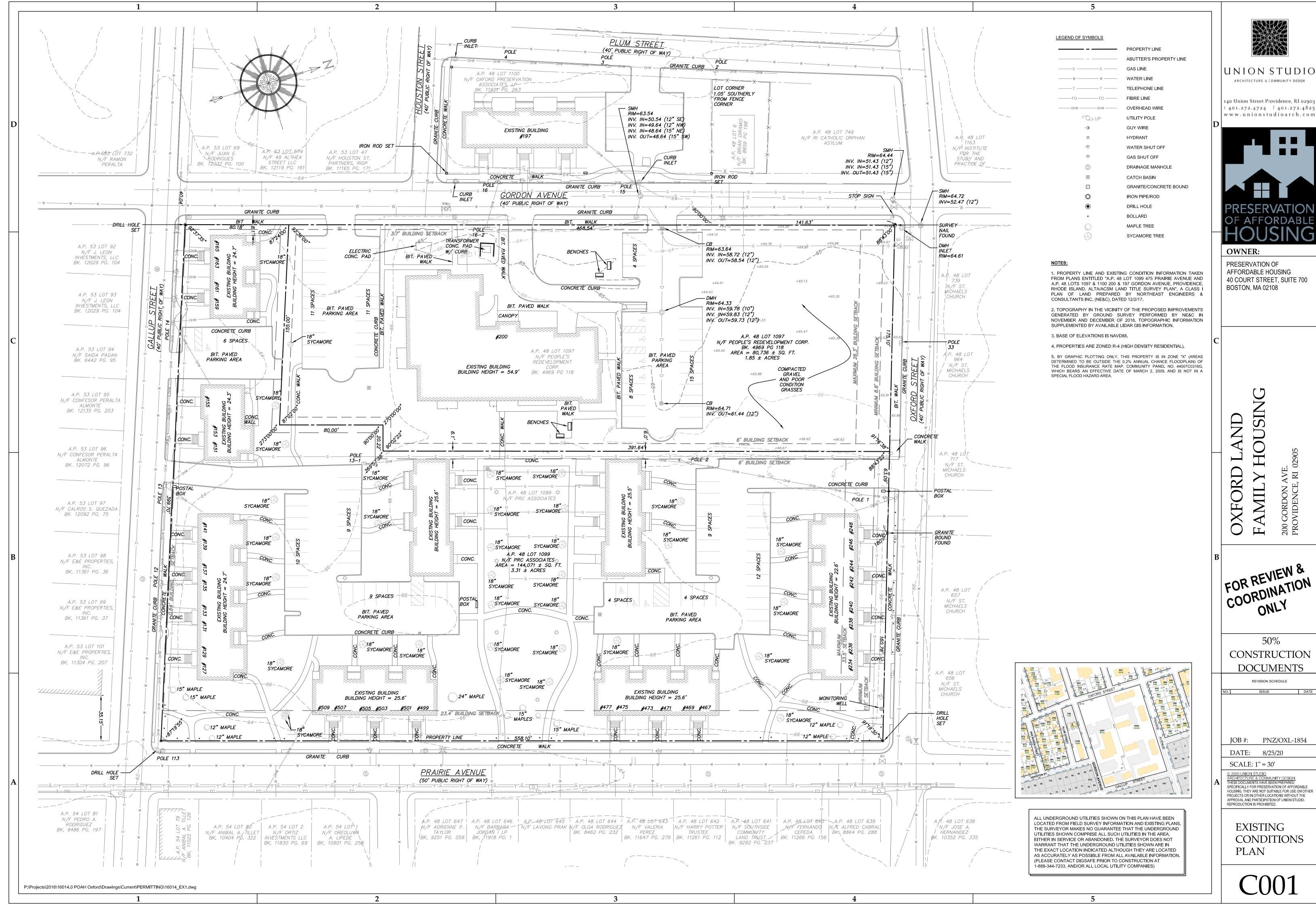
NORTHEAST ENGINEERING 55 JOHN CLARK ROAD MIDDLETOWN, RI 02842 TEL: 401.849.0810

LANDSCAPE:

DESIGN + HORTICULTURE 89 DR MARCUS WHEATLAND NEWPORT, RI 02840 TEL: 401.619.0562

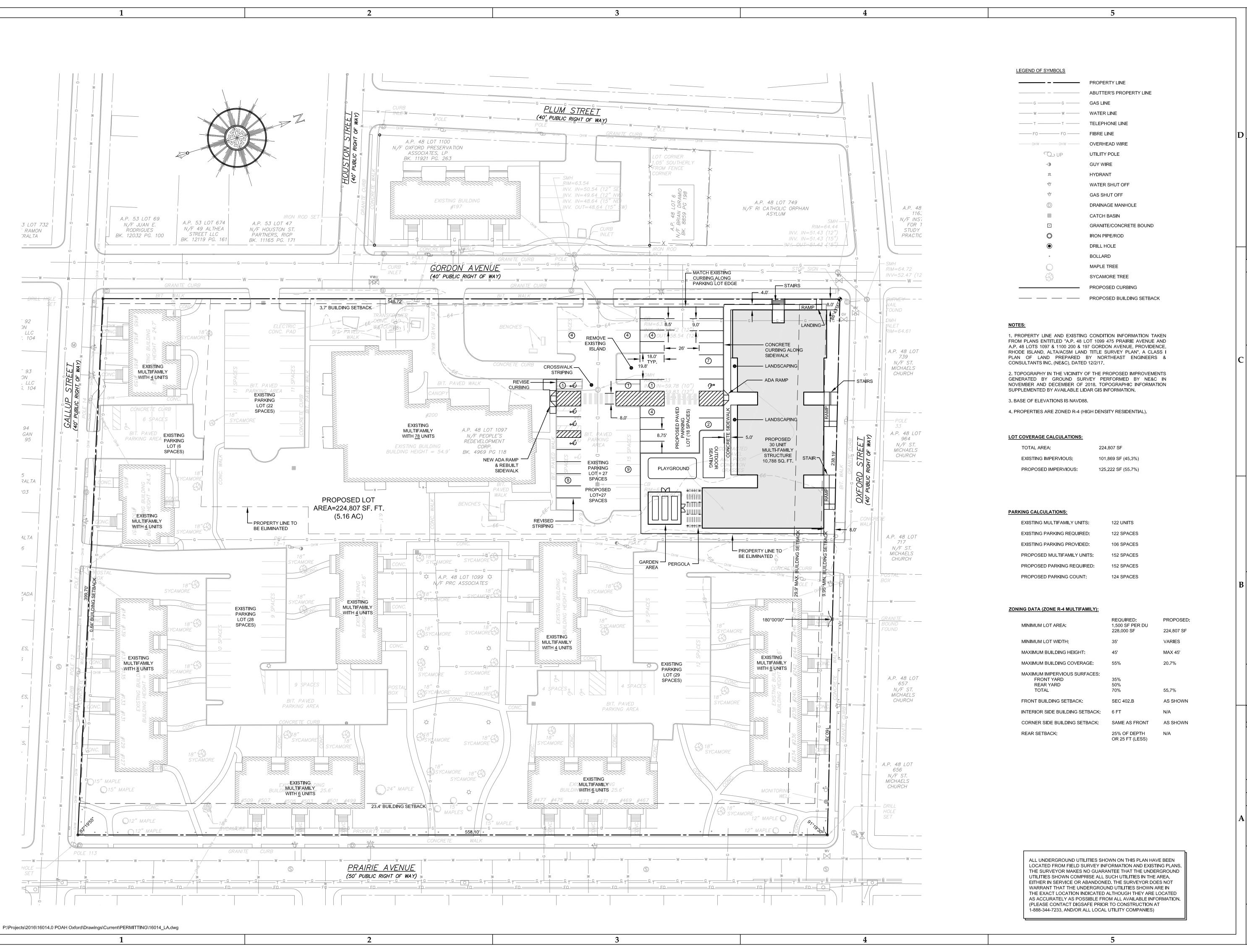
OXFORD LAND FAMILY

HOUSING



140 Union Street Providence, RI 02903 t 401.272.4724 f 401.272.4825





UNION STUDIO

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OWNER:

PRESERVATION OF AFFORDABLE HOUSING 40 COURT STREET, SUITE 700 BOSTON, MA 02108

USIN

PROPOSED LAYOUT PLAN

50%

CONSTRUCTION

DOCUMENTS

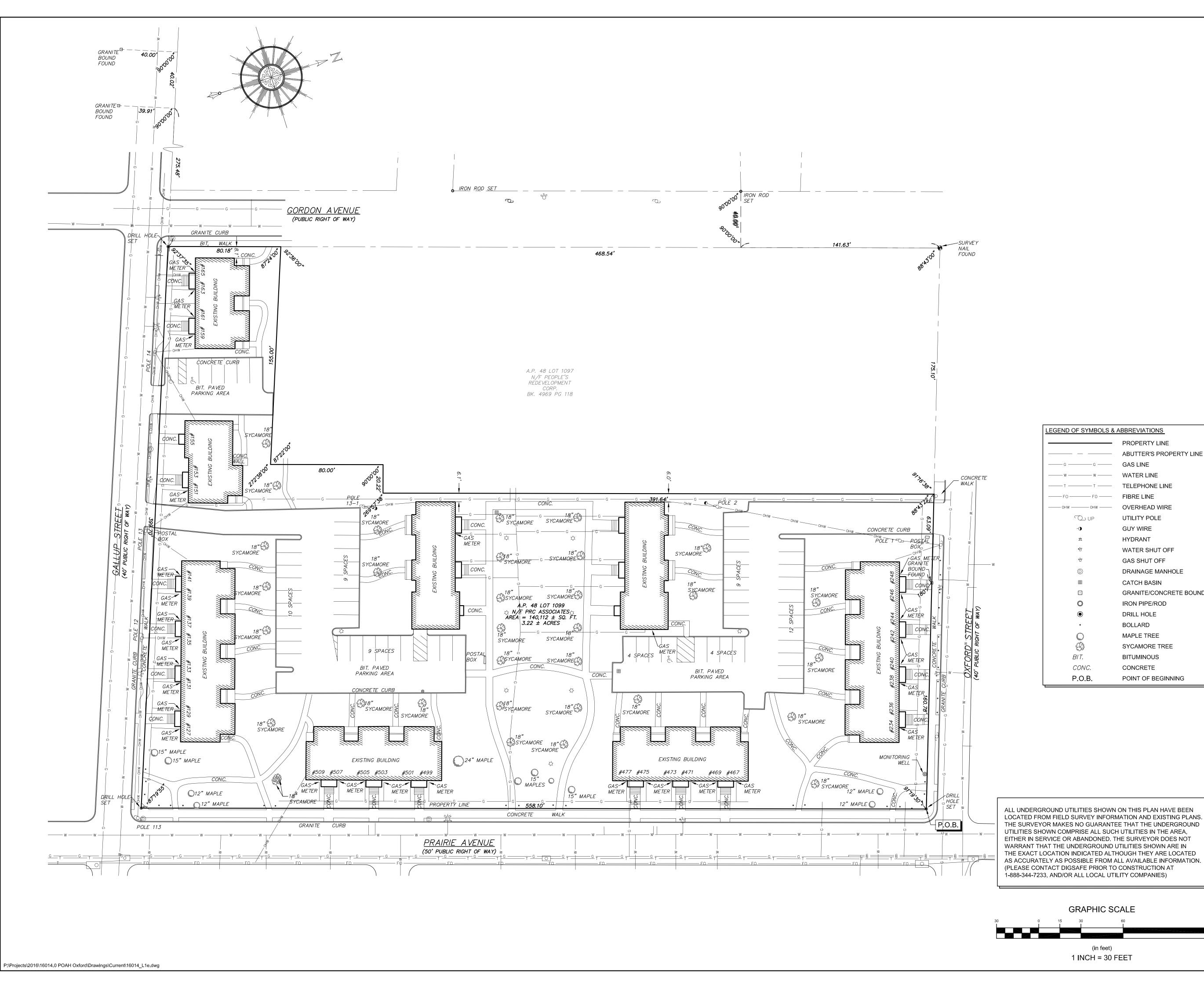
REVISION SCHEDULE

JOB #: PNZ/OXL-1854

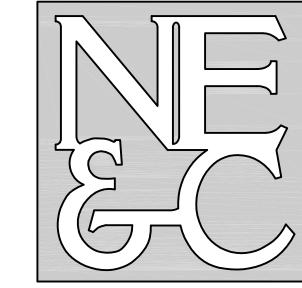
DATE: 8/25/20

SCALE: 1'' = 30'

C002



NORTHEAST ENGINEERS & CONSULTANTS, INC.

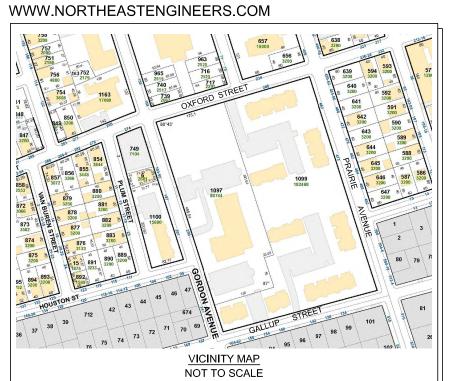


LAND PLANNING WATERFRONT SURVEYING GEOTECHNICAL ENVIRONMENTAL TRANSPORTATION STRUCTURAL MATERIALS TESTING

SITE/CIVIL

A KNOWLEDGE CORPORATION

55 JOHN CLARKE ROAD MIDDLETOWN RHODE ISLAND 02842 PHONE (401) 849-0810 FAX (401) 846-4169



LEGEND OF SYMBOLS & ABBREVIATIONS				
	PROPERTY LINE			
	ABUTTER'S PROPERTY LINE			
G G	GAS LINE			
ww	WATER LINE			
тт	TELEPHONE LINE			
F0F0	FIBRE LINE			
—— онш —— онш ——	OVERHEAD WIRE			
◯ UP	UTILITY POLE			
-•	GUY WIRE			
数	HYDRANT			
*8	WATER SHUT OFF			
Ÿ	GAS SHUT OFF			
0	DRAINAGE MANHOLE			
=	CATCH BASIN			
⊡	GRANITE/CONCRETE BOUND			
0	IRON PIPE/ROD			
•	DRILL HOLE			
•	BOLLARD			
0	MAPLE TREE			
£33	SYCAMORE TREE			
BIT.	BITUMINOUS			
CONC.	CONCRETE			
P.O.B.	POINT OF BEGINNING			

	T					
No.		Revision			Date	Арр.
Design	ed By:	Drawn by:	JDC/VAL	Ch	ecked by:	RF
Scale:	: 1"=30' Date: 08NOV		VSEP1			
Project	: Title:					
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	PROV	IDENCE,	RHODE IS	SLA	ND	

Client/Owner:

PRESERVATION OF AFFORDABLE HOUSING, INC. 40 COURT STREET SUITE 700 BOSTON, MA 02108

Issued for:

ALTA / ACSM LAND TITLE SURVEY PLAN

> Drawing Number: Sheet 2 of 3Project Number 16014.0 Survey Index: 29 - 48 - 1099

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(in feet) 1 INCH = 30 FEET

GENERAL

AND CONSTRUCTION.

CONSTRUCTION.

DRAWINGS.

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6. ALL WELDED WIRE FABRIC (W.W.F.) SHALL CONFORM TO ASTM A185. LAP 2 SQUARES AT ALL JOINTS AND TIE @ 3'-0" O.C. 7. ALL REINFORCING STEEL SHALL BE PLACED TO PROVIDE THE FOLLOWING MINIMUM

CONCRETE COVER: A. BEAMS TO STIRRUPS: 1 ½" – INTERIOR | 2 ½" – EXTERIOR

B. COLUMNS: 1 ½" TO TIES

C. FOOTINGS: 3" D. FOUNDATION WALLS/GRADE BEAMS: 2"

E. FRAMED SLABS: 1" – TOP | ¾" – BOTTOM | 1½" – EXTERIOR F. PIERS AND PILASTERS: 2" TO TIES

G. SLABS-ON-GRADE: 1 ½" – TOP (U.O.N.) H. SLABS ON STEEL DECK: 1" – TOP

DRAWINGS HAVE BEEN REVIEWED BY THE ENGINEER.

D. ELEVATED SLABS: LW CONC: 3500 PSI

A. FOOTINGS: 3000 PSI

DIRECTLY BELOW)

C. WALLS: 4000 PSI

GRADE 60.

2. ALL CONCRETE SHALL BE NORMAL WEIGHT (U.O.N.)

3. 28 DAY COMPRESSIVE STRENGTH FOR CONCRETE SHALL BE:

CONCRETE

8. NO BARS SHALL BE CUT OR OMITTED IN THE FIELD BECAUSE OF SLEEVES, DUCT OPENINGS, OR RECESSES. BARS MAY BE MOVED ASIDE WITHOUT CHANGE IN LEVEL WITH THE ENGINEER'S APPROVAL.

1. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS SHOWING ALL REBAR LOCATIONS,

CONTROL JOINTS, CONSTRUCTION JOINTS, AND ISOLATION JOINTS FOR SLABS ON GRADE

B. SLAB ON GRADE: 3500 PSI & 0.45 MAX. W/C RATIO (SINCE VAPOR BARRIER

4. ALL REINFORCING BARS SHALL BE OF NEW BILLET STEEL CONFORMING TO ASTM A615,

5. ALL CONTINUOUS REINFORCING BARS SHALL BE LAPPED IN ACCORDANCE WITH THE

"DEVELOPMENT LENGTH AND SPLICE TABLE" OR 48 BAR DIAMETERS (MINIMUM).

PRIOR TO CONCRETE PLACEMENT. CONCRETE PLACEMENT SHALL NOT BEGIN UNTIL THESE

9. ENGINEER'S APPROVAL IS REQUIRED FOR ALL PIPE PENETRATIONS THROUGH CONCRETE THAT DO NOT CONFORM TO THE TYPICAL DETAILS SHOWN ON THE TYPICAL DETAIL SHEETS. SLEEVES SHALL NOT BE PLACED IN CONCRETE BEAMS WITHOUT WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER.

10. ALL KEYS SHALL BE 2" x 4" WITH BEVELED SIDES (U.O.N.).

11. ALL REBAR LAP SPLICES SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF THE ACI

12. DETAILS NOT SHOWN ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE ACI DETAILING MANUAL 315.

13. FOR AREAS OF EXPOSED CONC WALL, PROVIDE PROPER FORMWORK/LINER SUCH THAT FINISH IS CLEAN AND OF ARCHITECTURAL QUALITY. COORDINATE WITH ARCH DETAILS WHERE WALL IS EXPOSED AND WHERE FINISH IS DESIRED.

BUILDING CODES & DESIGN

CONTRACTOR AS REQUIRED BY CODE.

BE TYPICAL FOR ALL SIMILAR CONDITIONS (U.O.N.)

1. THIS STRUCTURAL DRAWING SET HAS BEEN PREPARED IN ACCORDANCE WITH THE RHODE ISLAND STATE BUILDING CODE (SBC-1 2015) AND ITS APPLICABLE REFERENCED

1. THE GENERAL CONTRACTOR SHALL PROVIDE ANY NEW FIELD INFORMATION AS THE

CONTRUCTION WORK PROGRESSES AND SHALL FOLLOW ANY MODIFICATIONS TO THE

DIMENSIONS AS THEY RELATE TO NEW CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT AND/OR ENGINEER PRIOR TO THE PREPARATION OF SHOP DRAWINGS

3. ALL WORK SHALL BE COORDINATED WITH THE ARCHITECTURAL, ELECTRICAL AND

MECHANICAL DRAWINGS. ANY INTERFERENCES OR CONFLICTS IN DIMESIONS SHALL BE

4. THE GENERAL CONTRACTOR SHALL REVIEW SHOP DRAWINGS FOR ALL APPLICABLE

DELIVERED TO THE CONSTRUTION SITE UNTIL THE ENGINEER HAS REVIEWED THE SHOP

5. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE ALL NECESSARY

6. DETAILS, SECTIONS AND NOTES CONTAINED IN THESE STRUCTURAL DRAWINGS SHALL

CHAPTER 17 AND CMR. OWNER SHALL HIRE SPECIAL INSPECTION COORDINATOR, TESTING

LAB AND INSPECTION FIRM TO COMPLETE REPORTS REQUIRED BY CODE AND COORDINATE

TIMES TO REVIEW INSPECTION WITH CONTRACTOR. SPECIAL INSPECTION COORDINATOR

SHALL CREATE DOCUMENT LISTING ALL REQUIREMENTS OF GEOTECH, TESTING LAB, AND

INSPECTION AGENCY AND SHALL FILE SAID REPORTS WITH BUILDING OFFICIAL AND

7. SPECIAL INSPECTION REQUIRED FOR SUBGRADE, CONCRETE AND STEEL PER IBC

SHORING OR TEMPORARY SUPPORT OF THE STRUCTURE FOR EACH CONSTRUCTION PHASE.

ENGINEER REVIEW AND COMMENT. MATERIAL SHALL NOT BE FABRICATED NOR

TRADES AND COORDINATE THEM BETWEEN DISCIPLINES PRIOR TO SUBMITTING THEM FOR

2. THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND

REPORTED TO THE ARCHITECT AND/OR ENGINEER PRIOR TO THE START OF

DESIGN AS A RESULT OF UNANTICIPATED FIELD CONDITIONS.

STANDARDS INCLUDING THE INTERNATIONAL BUILDING CODE 2015 (IBC 2015). ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THIS CODE AND ANY ADDITIONAL FEDERAL, STATE AND LOCAL REQUIREMENTS.

DESIGN LOADS A. FLOOR LIVE LOADS SLAB ON GRADE: 100 PSF

CORRIDORS: 100 PSF STAIRS: 100 PSF RESIDENTIAL ROOMS; 40 PSF

ROOF SNOW LOAD: 30 PSF (SEE DWG FOR SNOW DRIFT LOAD)

WIND LOAD (PER 780 CMR, SECTION 1609.0) BASIC WIND SPEED (TABLE 1604.1), V: 133 MPH OCCUPANCY CATERORY: II WIND EXPOSURE: B

1. ALL WORK SHALL BE IN CONFORMANCE WITH THE AFPA STANDARDS AND SPECIFICATIONS.

2. DIMENSIONAL LUMBER USED IN A STRUCTURAL CAPACITY SHALL BE SPRUCE PINE FIR #2 OR BETTER WITH THE FOLLOWING MINIMUM PROPERTIES: Fb = 775 PSI, Fv = 135 PSI, E = 1,100,000 PSI

3. DIMENSIONAL LUMBER USED IN AN EXTERIOR STRUCTURAL CAPACITY SHALL BE SOUTHERN YELLOW PINE #2 OR BETTER WITH THE FOLLOWING MINIMUM PROPERTIES:

Fb = 1,300 PSI, Fv = 175 PSI, E = 1,400,000 PSI 3. PARALLAM PSL HEADERS AND BEAMS OR ANTHONY POWER BEAMS SHALL HAVE

THE FOLLOWING MINIMUM PROPERTIES: Fb = 3,100 PSI, Fv = 290 PSI, E = 2,000,000 PSI

Fb = 2,400 PSI, Fc = 2,500 PSI, E = 1,800,000 PSI 5. LAMINATED VENEER LUMBER (LVL) MEMBERS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb = 3,100 PSI, Fv = 300 PSI, E = 2,000,000 PSI

4. PARALLAM PSL COLUMNS OR ANOTHY POWER COLUMNS SHALL HAVE THE

6. OAK MEMBERS SHALL BE SELECT NO. 1 GRADE AND HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb = 825 PSI, Fv = 170 PSI, E = 1,300,000 PSI, Emin = 470,000 PSI

6. DOUGLAS FIR (SOUTH) MEMBERS SHALL BE SELECT NO. 1 GRADE AND HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb = 600 PSI, Fv = 180 PSI, E = 1,300,000 PSI, Emin = 470,000 PSI 6. ANY WOOD IN DIRECT CONTACT WITH CONCRETE, EXPOSED TO UNHEATED

BASEMENT AND CRAWL SPACES, OR EXPOSED TO THE EXTERIOR SHALL BE PRESSURE 7. ALL FASTENERS SHALL BE IN CONFORMANCE WITH THE FASTENING SCHEDULE IN IBC

LATEST EDITION. SEE TABLE 2304.9.1 FOR MIN FASTENING SCHEDULE. 8. ALL NAILS ARE TO BE COMMON NAILS.

FOLLOWING MINIMUM PROPERTIES:

9. FASTENERS EXPOSED TO THE WEATHER SHALL BE GALVANIZED OR STAINLESS STEEL. ALL WOOD POST CAPS AND BASE CONNECTIONS SHALL BE APPROVED GALV. "SIMPSON'S" POST CAP AND BASE PREFABRICATED ASSEMBLIES, UNLESS OTHERWISE NOTED. SUBMIT SHOP DRAWINGS FOR REVIEW.

10. BORED OR CUT HOLES SHALL NOT BE CUT OR BORED MORE THAN 1/3 OF THE DEPTH OF ANY LOAD BEARING STUD WITHOUT REINFORCEMENT. EDGES OF ANY HOLES SHALL BE LOCATED AT A MINIMUM OF 5/8" FROM THE STUD EDGE. BORED HOLES SHALL NOT BE LOCATED AT A CUT OR NOTCH IN THE STUD. ALL SLEEVES SHALL BE IN ONE PIECE, WITH A MINIMUM EXTENSION OF FOUR INCHES ABOVE AND BELOW THE HOLE ON THE WIDE FACE OF THE STUD.

11. ALL WALLS SHALL BE CAPPED WITH DOUBLE TOP PLATES INSTALLED TO PROVIDE OVERLAPPING CORNERS AND INTERSECTIONS. TOP PLATE JOINTS SHALL BE OFFSET NOT LESS THAN 48 INCHES.

CONSTRUCTION **DOCUMENTS**

REVISION SCHEDULE

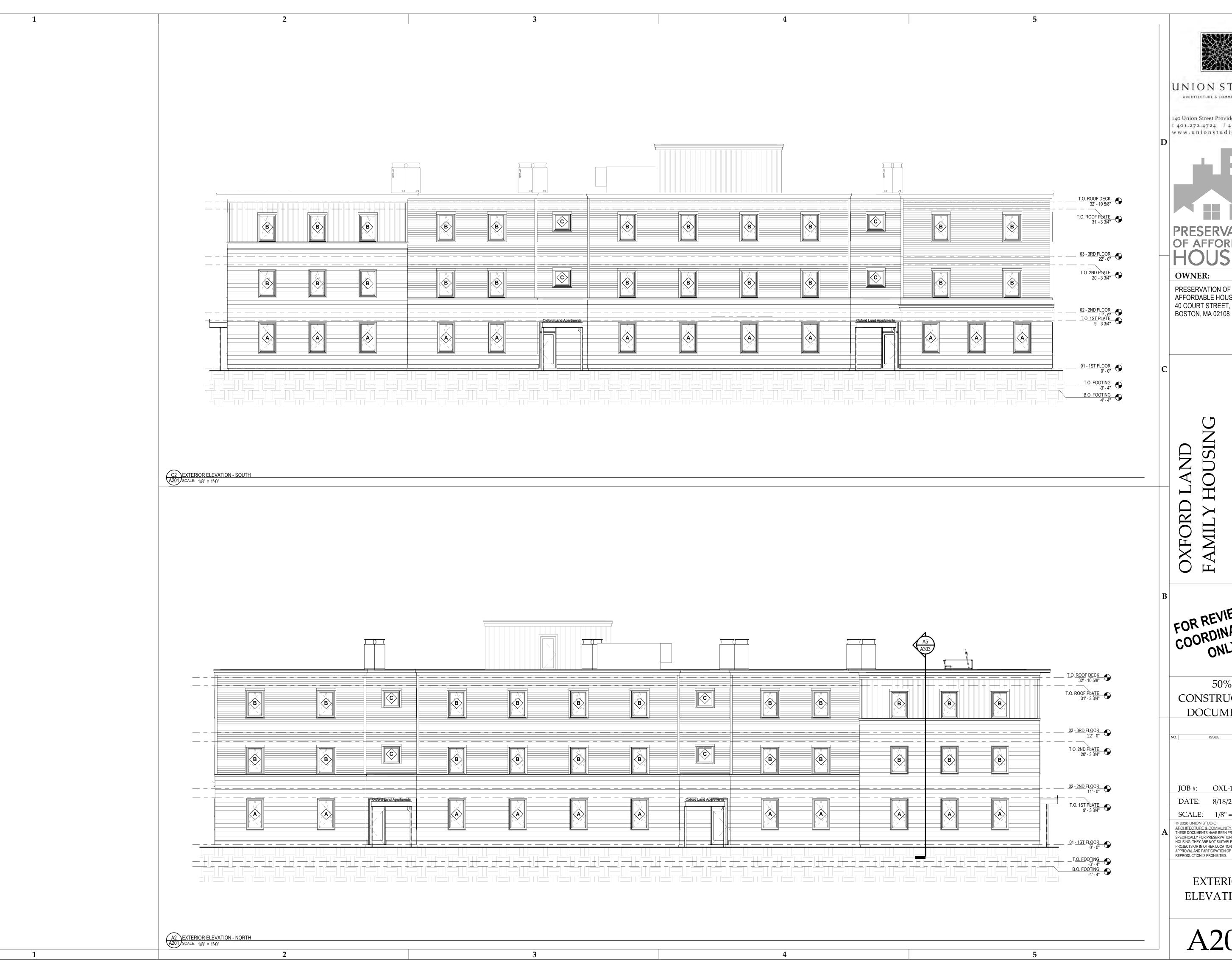
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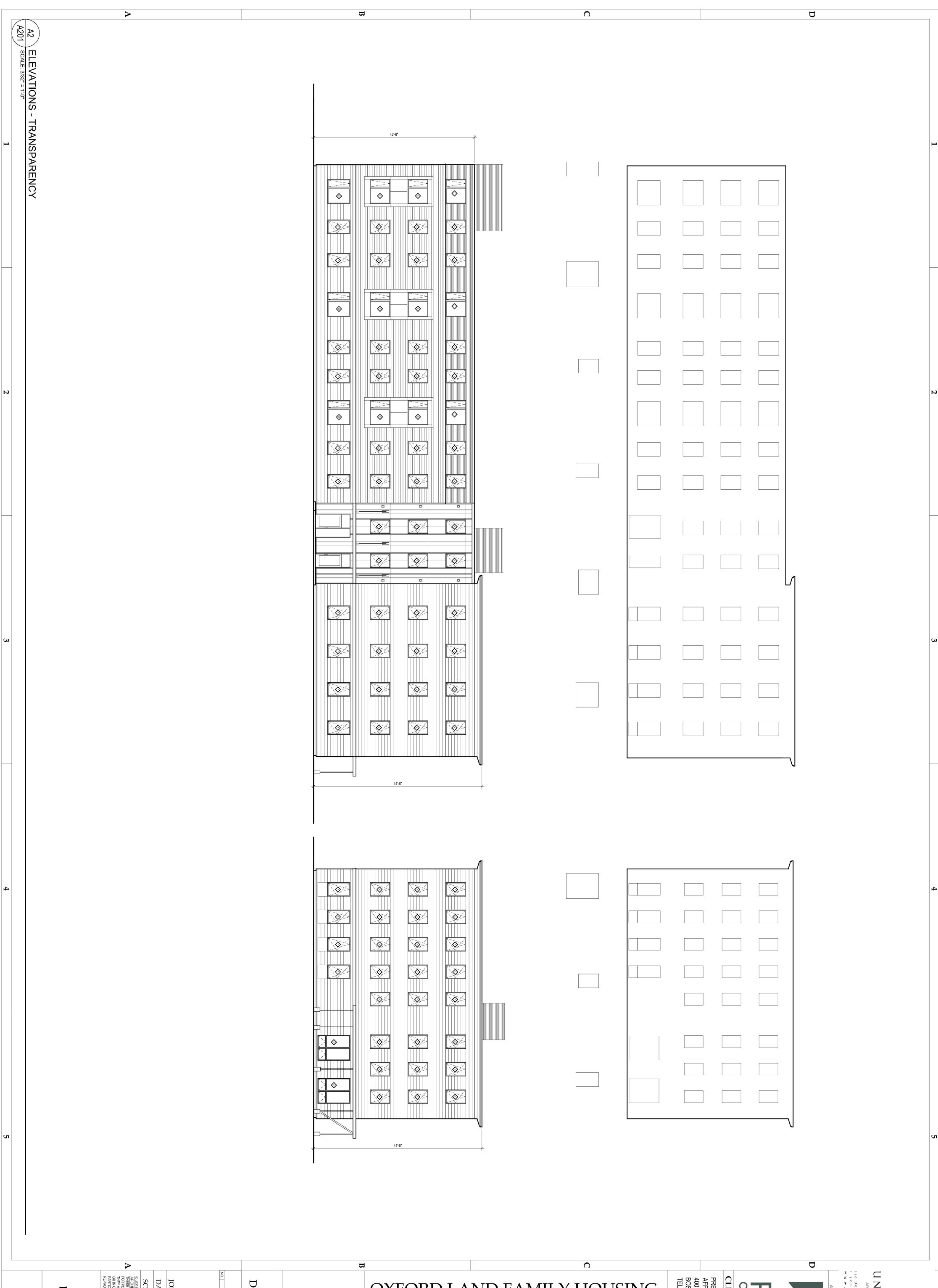
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> **EXTERIOR ELEVATIONS**





A201

EXTERIOR ELEVATIONS

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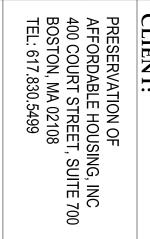
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