

Providence City Plan Commission

November 17, 2020



AGENDA ITEM 3 ■ 47 MATILDA STREET



Proposed site plan



Rendering of rear view



Aerial view of the site

OVERVIEW

OWNER/APPLICANT: Matilda Pines LLC, Owner c/o Josh Chu

PROJECT DESCRIPTION:

The applicant is seeking a major change to an approved project to construct a rowhouse development providing seven units and a four story building with nine units with design waivers. The plan has been revised to switch the locations of the buildings and reconfigure the parking area, a major change.

CASE NO./PROJECT TYPE: 20-022MI—47 Matilda Street
Minor Land Development—Major Change

PROJECT LOCATION: 47 Matilda Street
AP 75 Lot 297

RECOMMENDATION:

Approve the major change subject to the noted findings and conditions.

C-2 zone, TOD overlay

NEIGHBORHOOD: Hope

PROJECT PLANNER:

Choyon Manjrekar

PROJECT OVERVIEW

The subject property is an irregularly shaped vacant lot with a sloping grade located between Nashua Street and Smithfield Ave. The site is zoned C-2 under the Transit Oriented Development (TOD) overlay. The applicant is seeking a major change to a plan approved in July 2020 for two residential buildings. A four story, 11 unit, multifamily dwelling initially proposed for the eastern portion of the lot adjacent to Nashua Street will be located at the rear. A rowhouse development with seven horizontally stacked units approved to be located at rear of the lot, is proposed to be located at the eastern portion of the site, closest to Matilda Street. The parking configuration has also changed from the preliminary plan submission. The approved design waivers from the front yard build-to percentage requirement, and to situate the multifamily dwelling outside the front yard build-to zone on Matilda Street are also requested with the submission.

ANALYSIS AND IDENTIFICATION OF POTENTIAL ISSUES

Use

Multifamily dwellings and multiple principal buildings, with no restriction on the number of dwelling units per lot, are permitted by right in the C-2 zone.

Dimensions and Site Design

Rowhouse building: The seven unit rowhouse development is proposed at the eastern portion of the lot adjacent to Matilda Street, which is designated as the front yard. Design waivers to situate the building outside the build-to zone, and for the front yard setback have been requested. Per the site plan, the building will be located off a driveway originating on Matilda Street. Based on provided elevations and renderings, the development will follow the gradient of the lot, sloping toward the rear. The rowhouses will conform to the design guidelines for rowhouses in section 1202.K of the ordinance. Every unit will be well under the height limit of the Each unit will provide one internal parking space and be accessible from a projecting stoop. The façade features changes in articulation with alternating recessed windows on stories two and three.

Per the applicant, design waivers from the build-to percentage requirement, and for situating the rowhouse building outside the build-to zone on Matilda Street are being requested due to the unique characteristics of the lot which make it difficult to meet the requirement. The entrance to the lot is located at an elevation above Matilda Street. In order to have the building front on the street, the applicant would be required to break a retaining wall, which could affect the integrity of the landscape and incur significant cost. As proposed, the site will be accessed from a driveway off the street and lead toward the building, which is at a lower grade from the entrance and set back from the front lot line. Given the irregular topography, the applicant will be unable to meet the design guidelines for the zone. The DPD recommends that the CPC grant the waiver as it is required due to the unique configuration of the site.

Multifamily dwelling: The four story, 38' building will have a footprint of 2,180 SF and provide a mix of one and two bedroom units. Originally proposed to front on Matilda Street, the building will be located at the rear of the development. The height is within the TOD's height limit of 70'. The building's design will incorporate a unifying architectural theme with a recessed entrance and balconies on the upper stories. A cornice will break up the roofline.

Building façade materials

The façade design of both buildings will follow a similar palette and employ building materials that are permitted in the C-2 zone. Per the applicant, these materials include fiber cement board and wood siding, hardi-plank and batten siding, with a smooth stucco finish.

Landscaping

Aproximately 3,300 SF of canopy coverage is required to meet the landscaping requirement. Based on a conceptual landscaping plan, the applicant is proposing to retain some existing trees and plant new ones to meet the canopy coverage requirement. A detailed plan developed in co-ordination with the City Forester should be submitted with the

final plan submission.

Parking

A total of 18 spaces are required for the development with one parking space needed for each dwelling unit. Twelve spaces will be provided in the parking area and one internal space will be provided for each rowhouse. The parking configuration is different from the initial plan with spaces provided in front of the multifamily building. The applicant meets the parking requirement as 19 parking spaces will be provided for 18 units and there is no minimum parking required for residential uses in the TOD overlay.

Drainage and Stormwater management

The initial plan had proposed use of a sediment forebay and bioretention pocket located at the western end of the development for stormwater management. The revised plan will employ a Cultec stormwater recharge system in approximately the same location. Stormwater will flow down the lot to be treated.

Waiver from submission of erosion control plan

The applicant has requested a waiver from submission of an erosion control plan, which is required at this stage. It appears that the waiver is being requested due to a change in the plan's configuration, as the best practices to prevent erosion cannot be identified without determining the location of each building. It is the DPD's opinion that the CPC grant the waiver, finding that it would be in the best interest of good planning practice, as it would permit review of the development to proceed. The applicant should submit the erosion control plan prior to applying for permits.

PRELIMINARY PLAN ACTION

Below are the DPD's recommended findings and actions on the Preliminary Plan

Findings—Preliminary Plan

Section 806 of the Commission's *Development Review Regulations* requires that the City Plan Commission make the following findings as part of their approval of all land development project applications. Based on the analysis contained herein and subject to the conditions contained in this report, staff has prepared the following findings regarding the request for approval of the Master Plan stage:

1. *Consistency—The proposed development is consistent with the Comprehensive Plan and/or has satisfactorily addressed the issues where there may be inconsistencies.*

Per the future land use map of Providence Tomorrow this area is one intended for Neighborhood Commercial use, where residential uses are encouraged. As the site is adjacent to the growth corridor of North Main Street, the proposed housing would conform to the intent of the plan. Provision of housing would also be in conformance with Objectives H-2 of the comprehensive plan, which encourages construction of new and diverse housing stock.

2. *Compliance with Zoning Ordinance—The proposed development is in compliance with the standards and provisions of the Zoning Ordinance.*

Use: Multifamily development is permitted by right in the C-2 zone.

Dimension: The development largely conforms to the dimensional requirements of the C-2 zone, as previously discussed. Design waivers are required to site the buildings as proposed. The DPD recommends that the CPC grant the waivers, finding that they are required due to the site's configuration.

Parking: As discussed, the applicant meets the parking requirement.

Landscaping: The prior conceptual landscaping plan was approved by the City Forester. A detailed landscaping plan developed under the supervision of the City Forester should be submitted with the final plan.

3. *Environmental Impact—There will be no significant environmental impacts from the proposed development as shown on the final plan, with all required conditions for approval.*

The applicant has submitted a stormwater management plan. An erosion and sediment control plan is required prior to final plan approval. As previously discussed, the applicant has requested a waiver from submission of an erosion control plan. The CPC should grant the waiver finding that it would be in the interest of good planning practice as it would allow the applicant to proceed with the project.

No negative environmental impacts are expected as the applicant is expected to come into conformance with all applicable environmental regulations.

4. *Buildable Lot—The subdivision or development project, as proposed, will not result in the creation of individual lots with such physical constraints to development that building on those lots according to pertinent regulations and building standards would be impracticable.*

Based on the above discussion, there are no physical constraints that impact development of this property.

5. *Street Access—All proposed development projects and all subdivision lots shall have adequate and permanent physical access to a public street. Lot frontage on a public street without physical access shall not be considered compliance with this requirement.*

Adequate vehicular and pedestrian access is provided from Matilda Street.

Recommendation—Preliminary Plan

Design Waiver

The CPC should grant the requested design waivers from the build-to percentage and build-to zone requirements, finding that they are required due to the site's configuration.

Waiver from submission of erosion control plan

The CPC should grant the requested waiver from submission of an erosion control plan, finding that it is in the interest of good planning practice. The applicant should submit an erosion control plan prior to applying for permits.

Preliminary Plan Approval

Upon approving the waivers, the CPC should approve the preliminary plan subject to the following conditions:

1. The validity of the preliminary plan should be extended to one year from the date of recording of the approval letter.
2. Final plan approval should be delegated to DPD staff.



PERSPECTIVE VIEWS

SCALE
N.T.S.

2

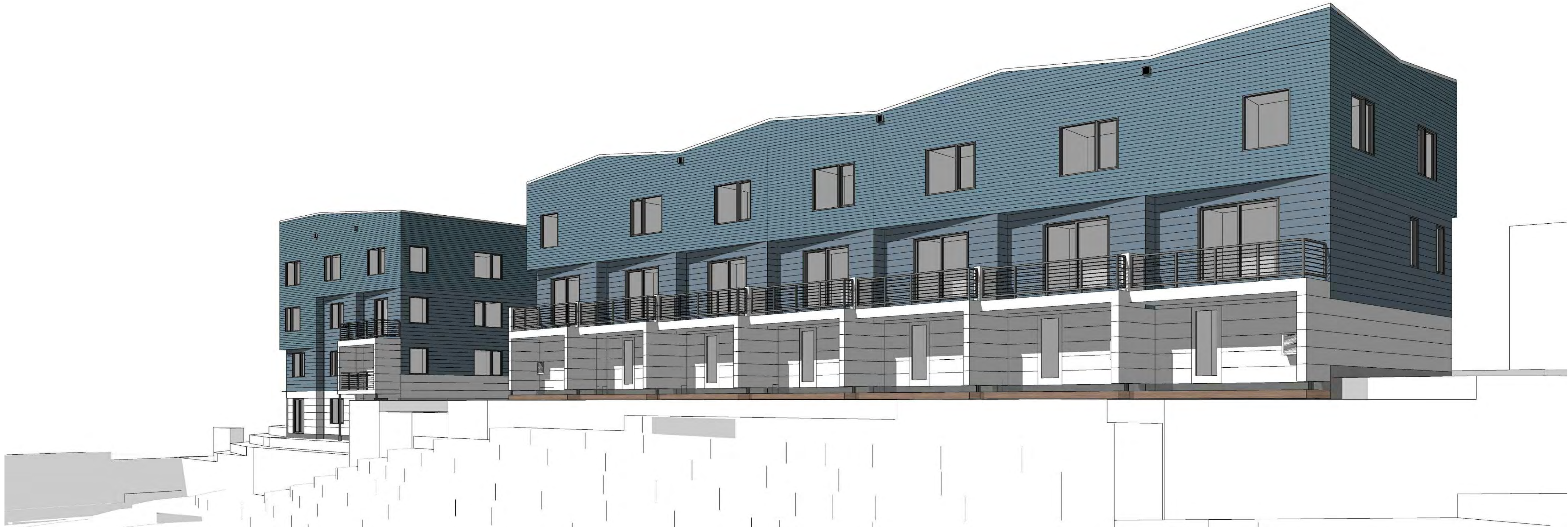


PERSPECTIVE VIEWS

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N.T.S.

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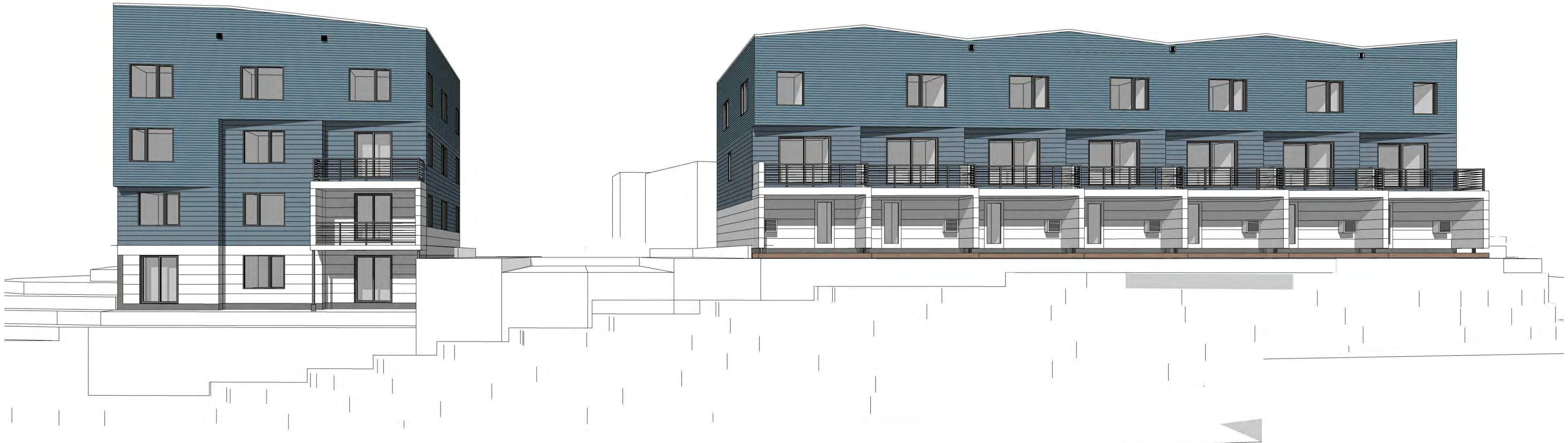
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					10-27-2020	CPC	RYAN / CLOUSE	
					10-29-2020		CKD BY :	A050
							RYAN	
		DATE :	SCALE :					
		10-27-2020	N.T.S.					



PERSPECTIVE VIEWS

SCALE
N.T.S.


2



PERSPECTIVE VIEWS

SCALE
N.T.S.

1

ARCHITECT :	JACK RYAN ARCHITECT, LLC 400 WASHINGTON STREET SUITE 2NB PROVIDENCE, RI 02903 401.749.1797 WWW.JACKRYANARCHITECT.COM		PROJECT : MATILDA PINES, LLC RESIDENTIAL DEVELOPMENT 47 AND 49 MATILDA STREET PROVIDENCE, RHODE ISLAND 02904	DRAWING : PERSPECTIVE VIEWS	ISSUE:	PERMIT	DWN BY:	DWG. NO. :
					10-27-2020	CPC	RYAN / CLOUSE	A051
					10-29-2020		CKD BY : RYAN	
							DATE : 10-27-2020	
							SCALE :	
							N.T.S.	



PERSPECTIVE VIEWS

SCALE
N.T.S.


2



PERSPECTIVE VIEWS

SCALE
N.T.S.

1

ARCHITECT :	JACK RYAN ARCHITECT, LLC 400 WASHINGTON STREET SUITE 2NB PROVIDENCE, RI 02903 401.749.1797 WWW.JACKRYANARCHITECT.COM		PROJECT : MATILDA PINES, LLC MATILDA RESIDENTIAL DEVELOPMENT 47 AND 49 MATILDA STREET PROVIDENCE, RHODE ISLAND 02904	DRAWING : PERSPECTIVE VIEWS	ISSUE:	PERMIT	DWN BY:	DWG. NO. :
					10-27-2020	CPC	RYAN / CLOUSE	
					10-29-2020		CKD BY : RYAN	A052
							DATE : 10-27-2020	
						SCALE : N.T.S.		



ARCHITECT :
JACK RYAN ARCHITECT, LLC
400 WASHINGTON STREET
SUITE 2NB
PROVIDENCE, RI 02903
401.749.1797
WWW.JACKRYANARCHITECT.COM



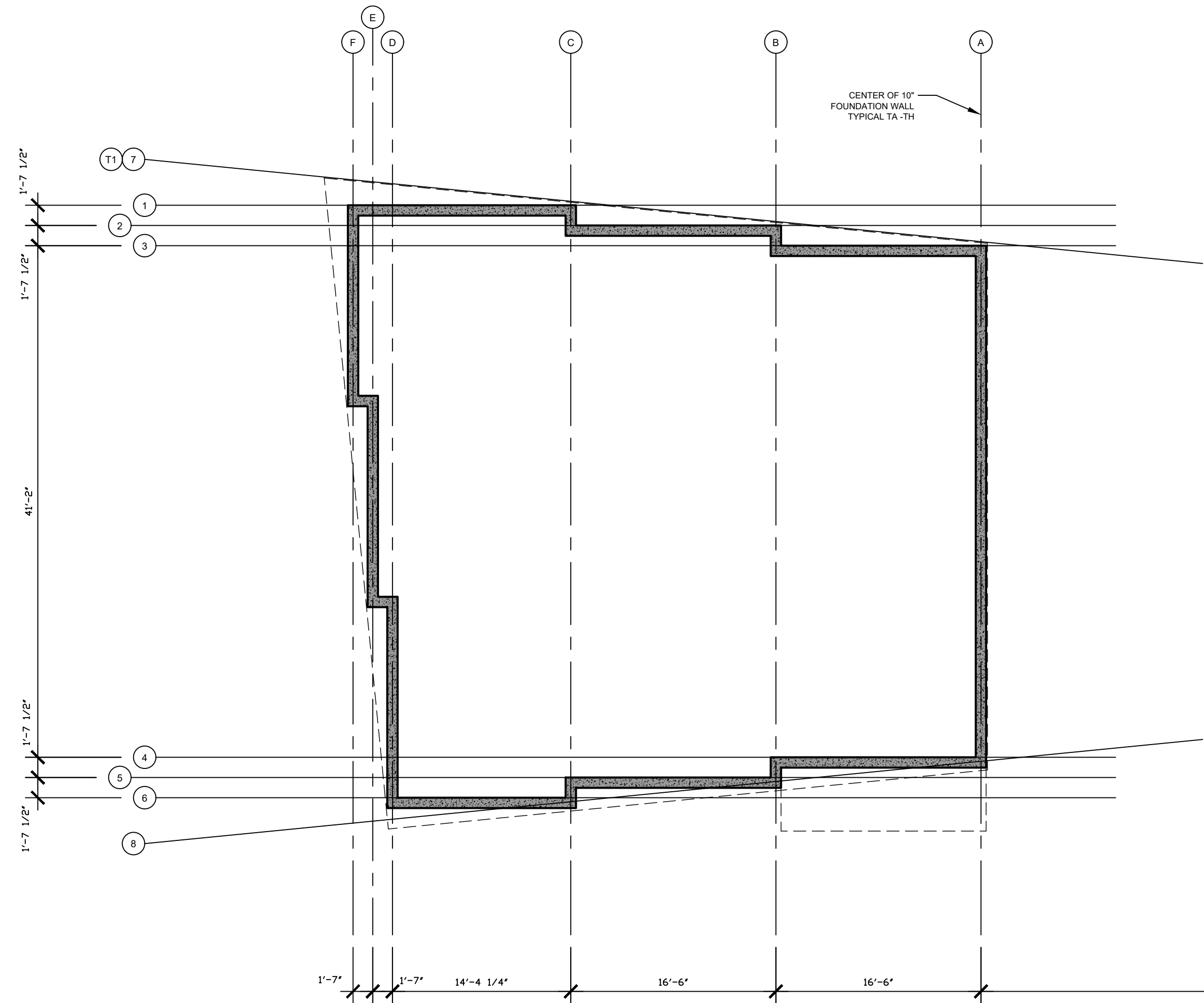
PROJECT :
MATILDA PINES, LLC
RESIDENTIAL DEVELOPMENT
47 AND 49 MATILDA STREET
PROVIDENCE, RHODE ISLAND 02904

DRAWING :
ARCHITECTURAL SITE PLAN

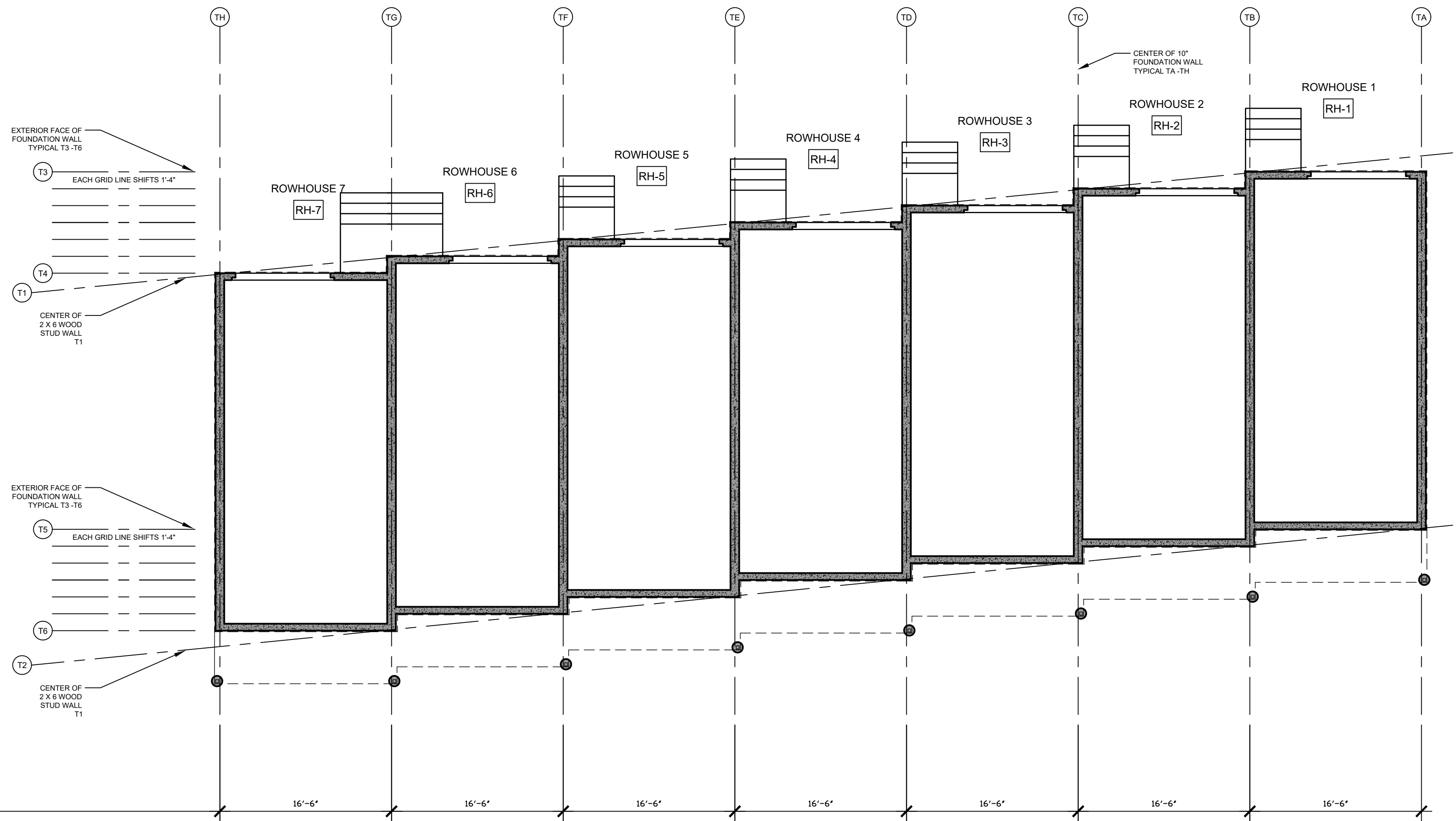
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RYAN / CLOUSE	RYAN

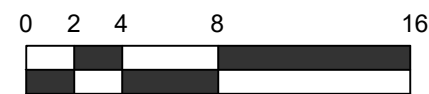
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BUILDING 49 - APARTMENTS



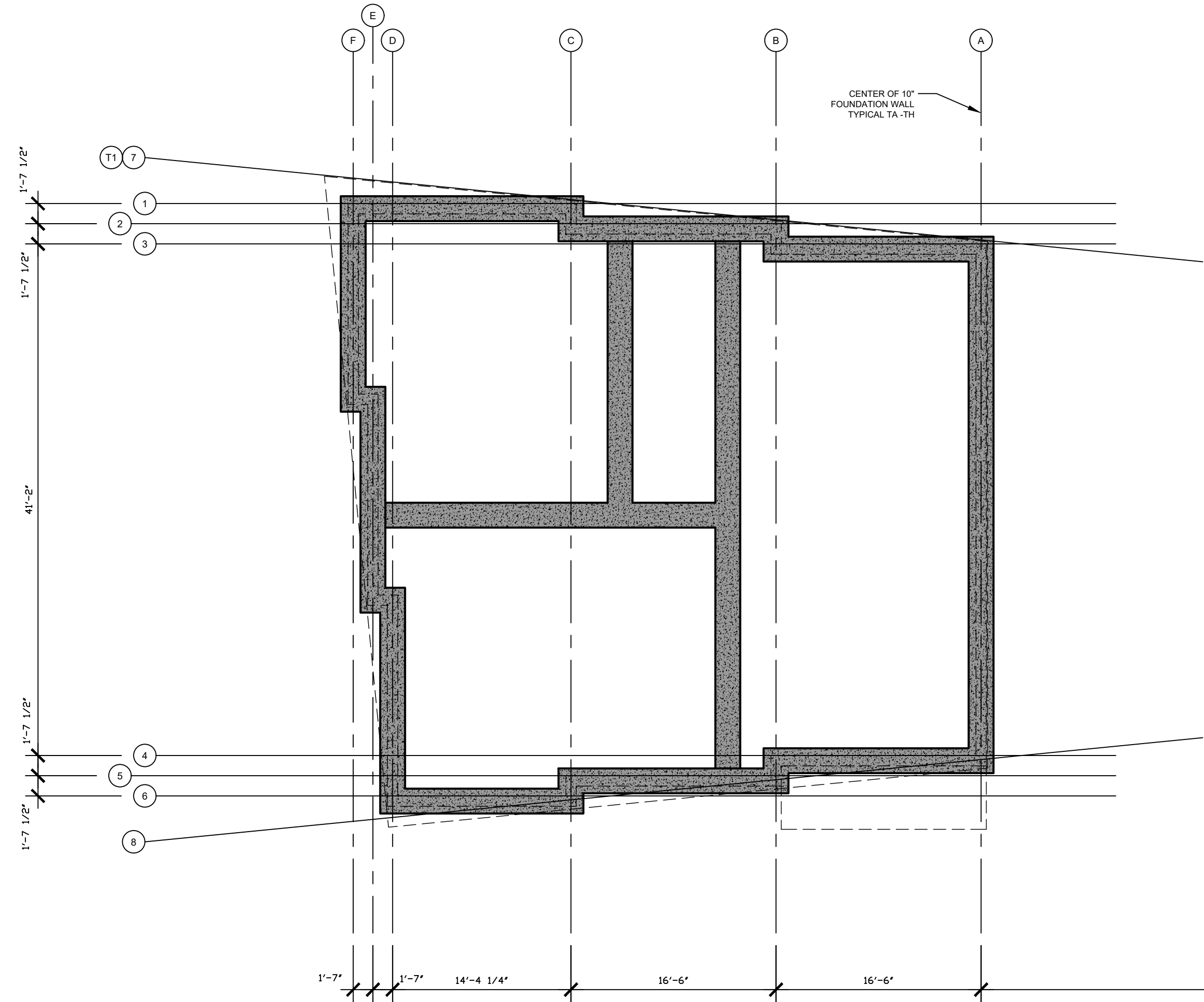
BUILDING 47 - ROWHOUSES



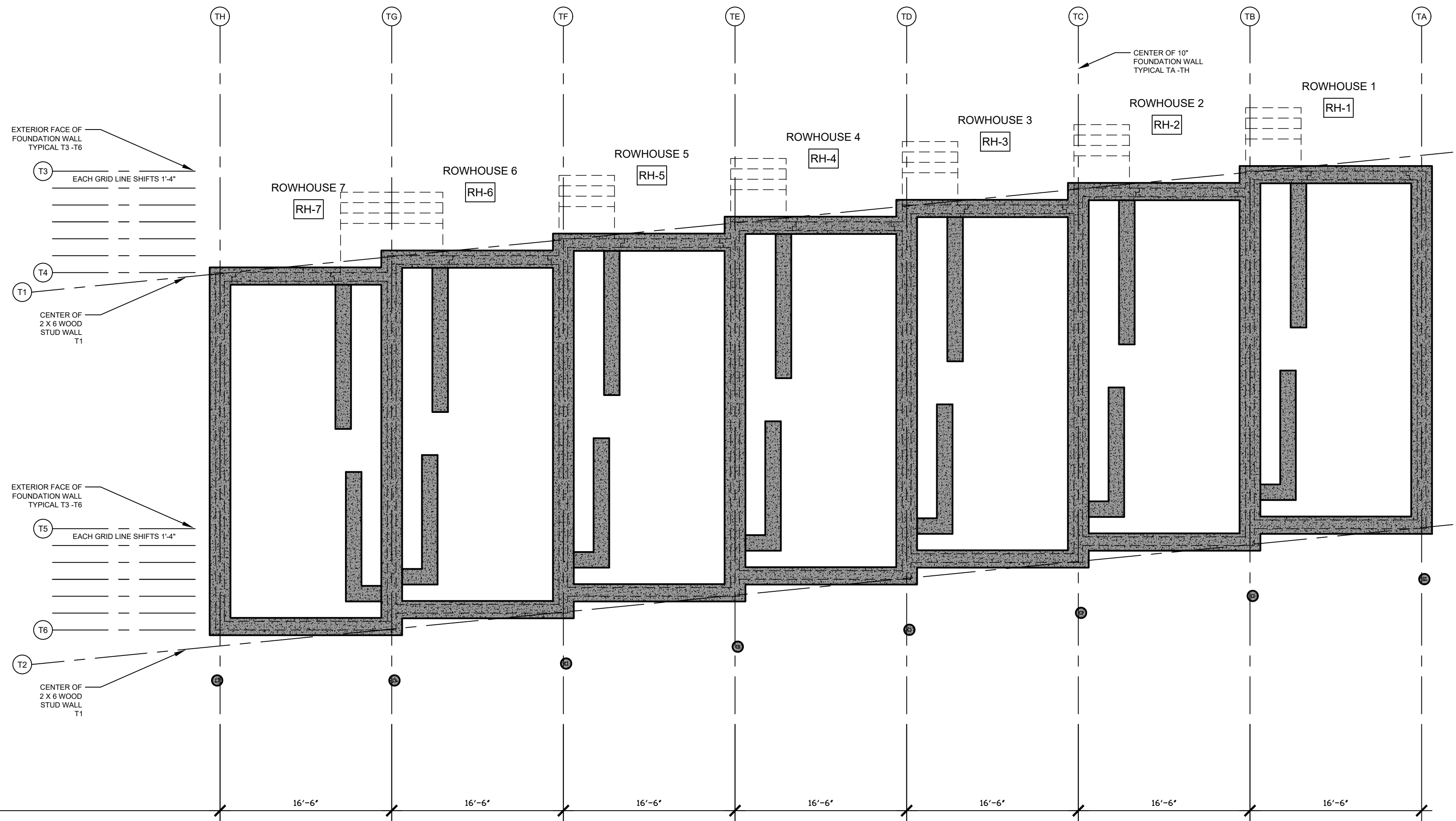
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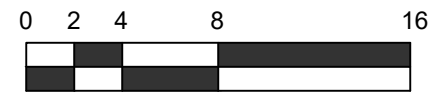
FOUNDATION LEVEL PLAN



BUILDING 49 - APARTMENTS



BUILDING 47 - ROWHOUSES

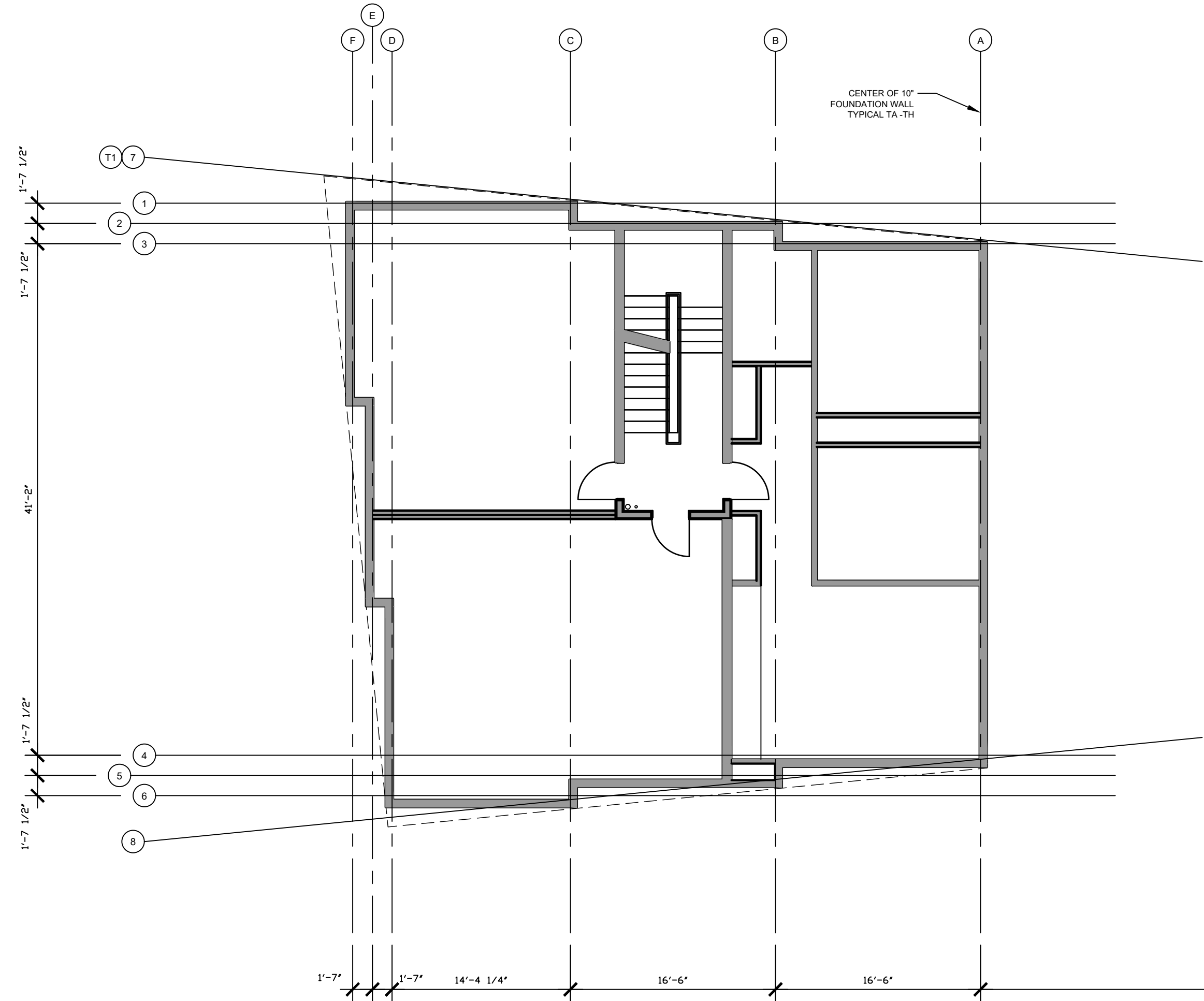


SCALE
1/8" = 1'-0"

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FOOTING LEVEL PLAN

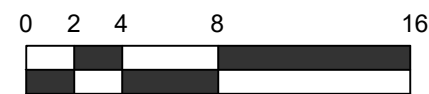
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DRAWING : OVERALL FOOTING AND FOUNDATION LEVEL FLOOR PLAN				
PROJECT : MATILDA PINES, LLC RESIDENTIAL DEVELOPMENT 47 AND 49 MATILDA STREET PROVIDENCE, RHODE ISLAND 02904				
ARCHITECT : JACK RYAN ARCHITECT, LLC 400 WASHINGTON STREET SUITE 2NB PROVIDENCE, RI 02903 401.749.1797 WWW.JACKRYANARCHITECT.COM				



BUILDING 49 - APARTMENTS



BUILDING 47 - ROWHOUSES



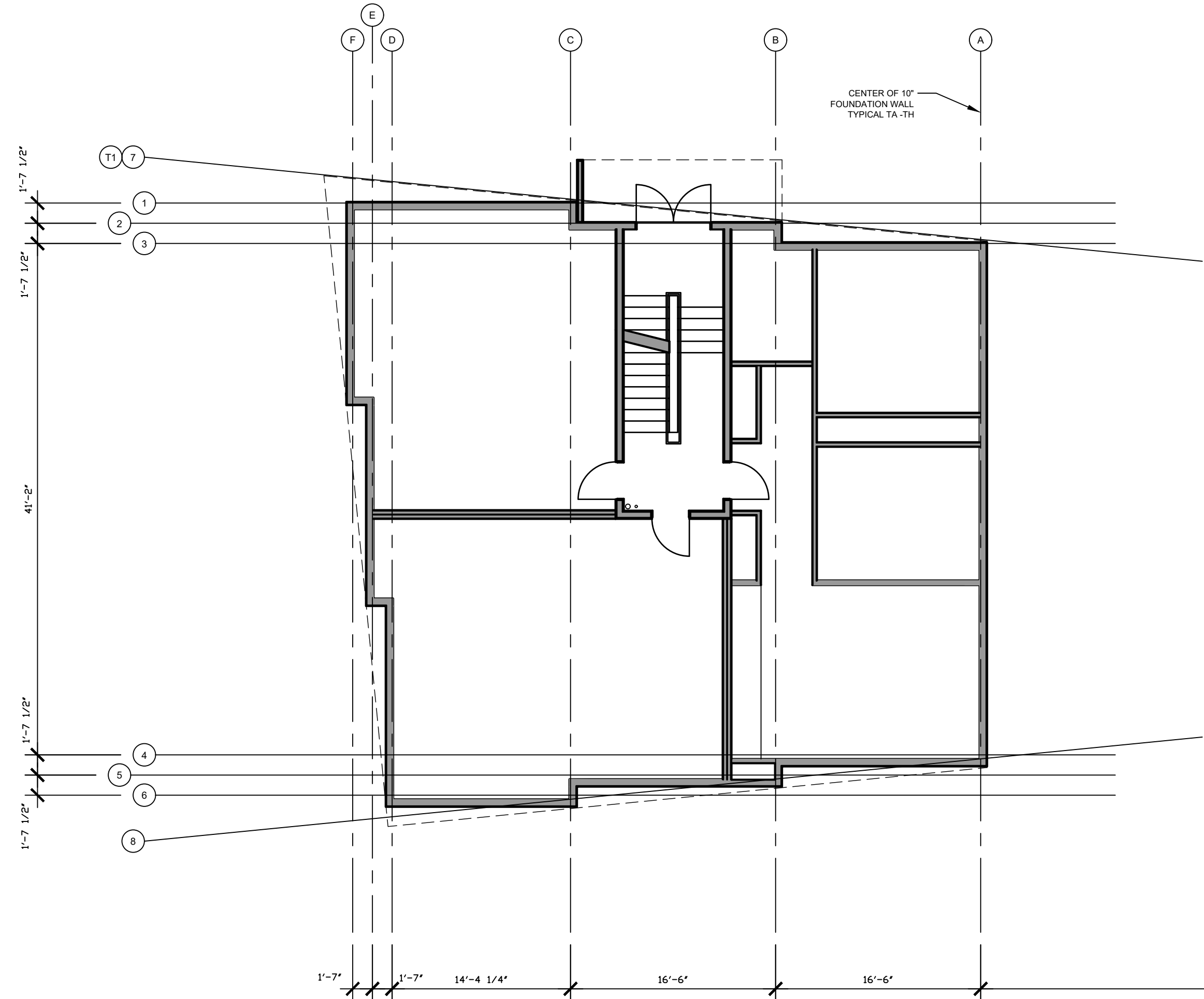
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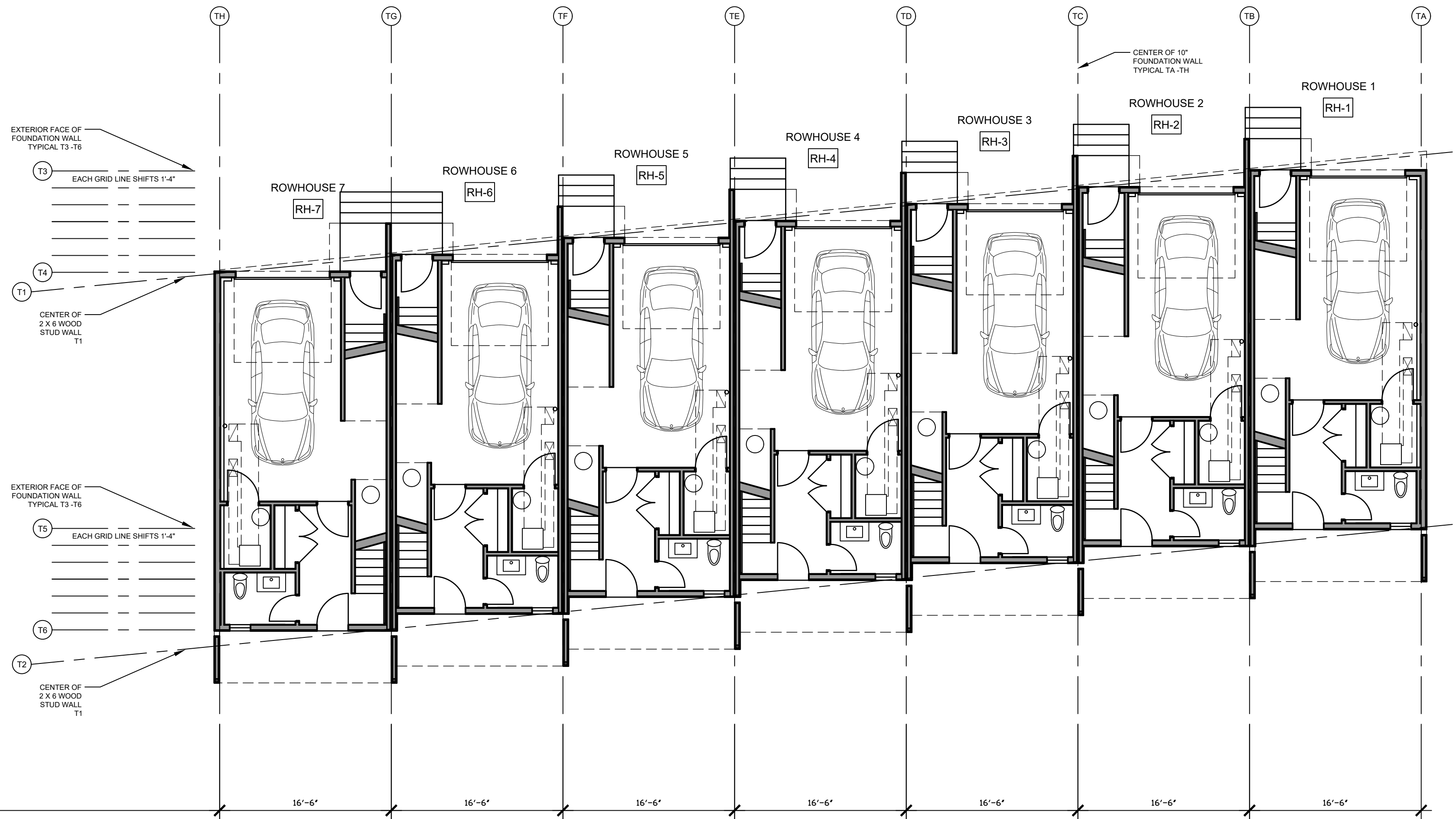
SECOND LEVEL PLAN

DRAWING :

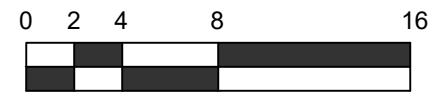
OVERALL FIRST AND SECOND
LEVEL FLOOR PLAN



BUILDING 49 - APARTMENTS



BUILDING 47 - ROWHOUSES



SCALE
1/8" = 1'-0"

1

FIRST LEVEL PLAN

PROJECT :

MATILDA PINES, LLC
RESIDENTIAL DEVELOPMENT
47 AND 49 MATILDA STREET
PROVIDENCE, RHODE ISLAND 02904

ARCHITECT :

JACK RYAN ARCHITECT, LLC
400 WASHINGTON STREET
SUITE 2NB
PROVIDENCE, RI 02903
401.749.1797
WWW.JACKRYANARCHITECT.COM



DWG. NO. :

A151

DWN BY :

RYAN / CLOUSE

ISSUE:

PERMIT

CPC

CKD BY :

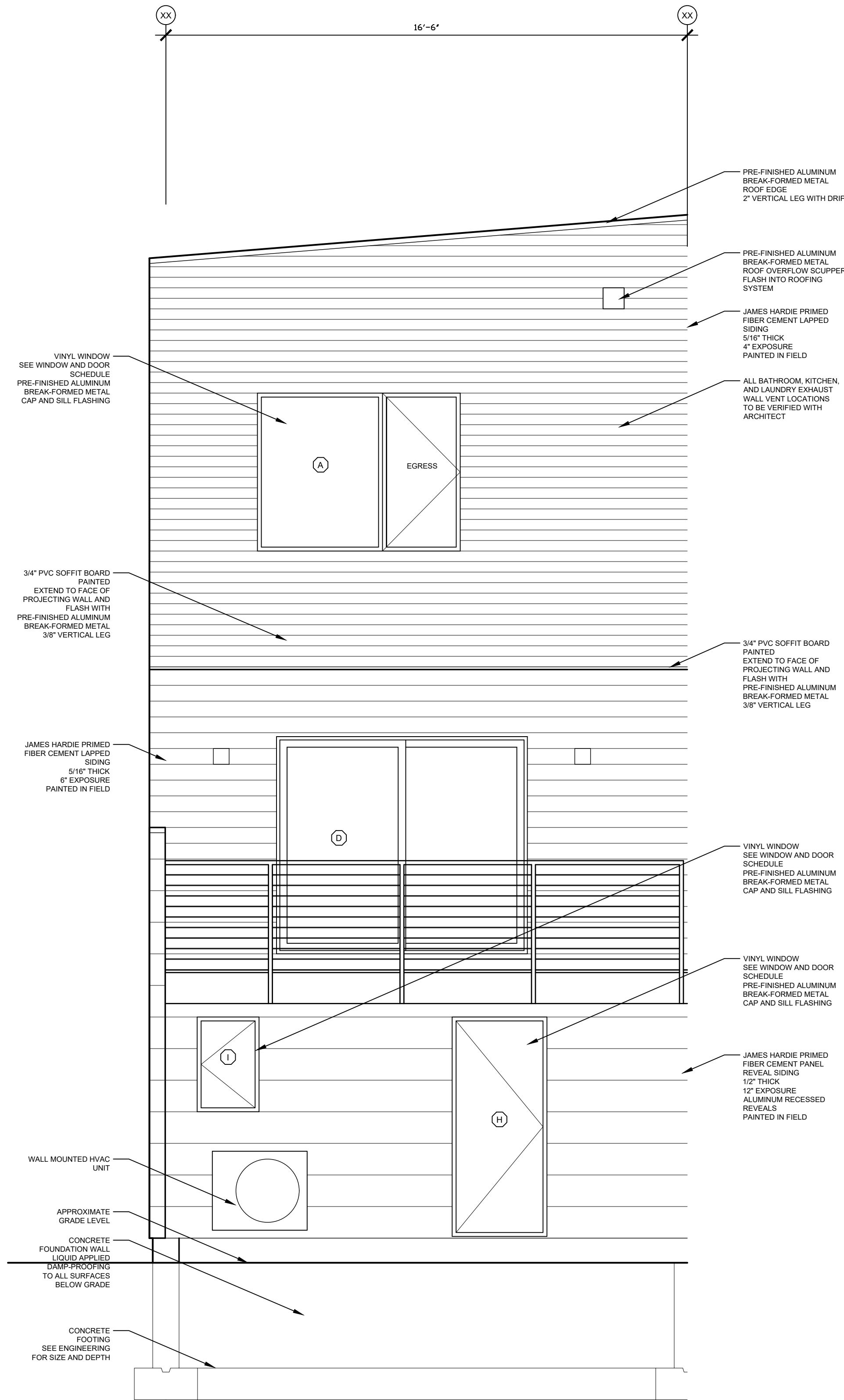
RYAN

DATE :

10-27-2020

SCALE :

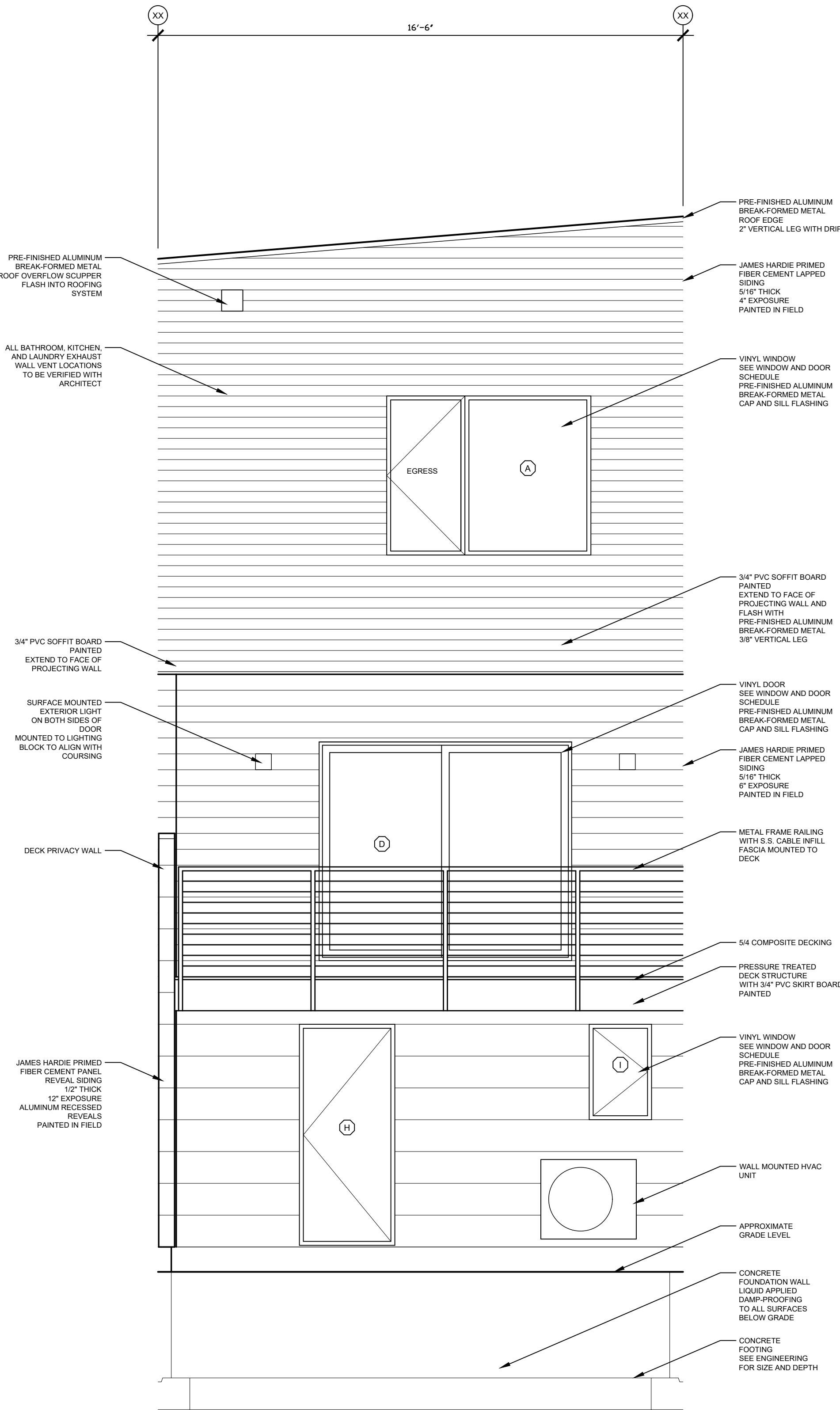
1/8" = 1'-0"



47 SOUTH ELEVATION WEST END

SCALE
3/8" = 1'-0"

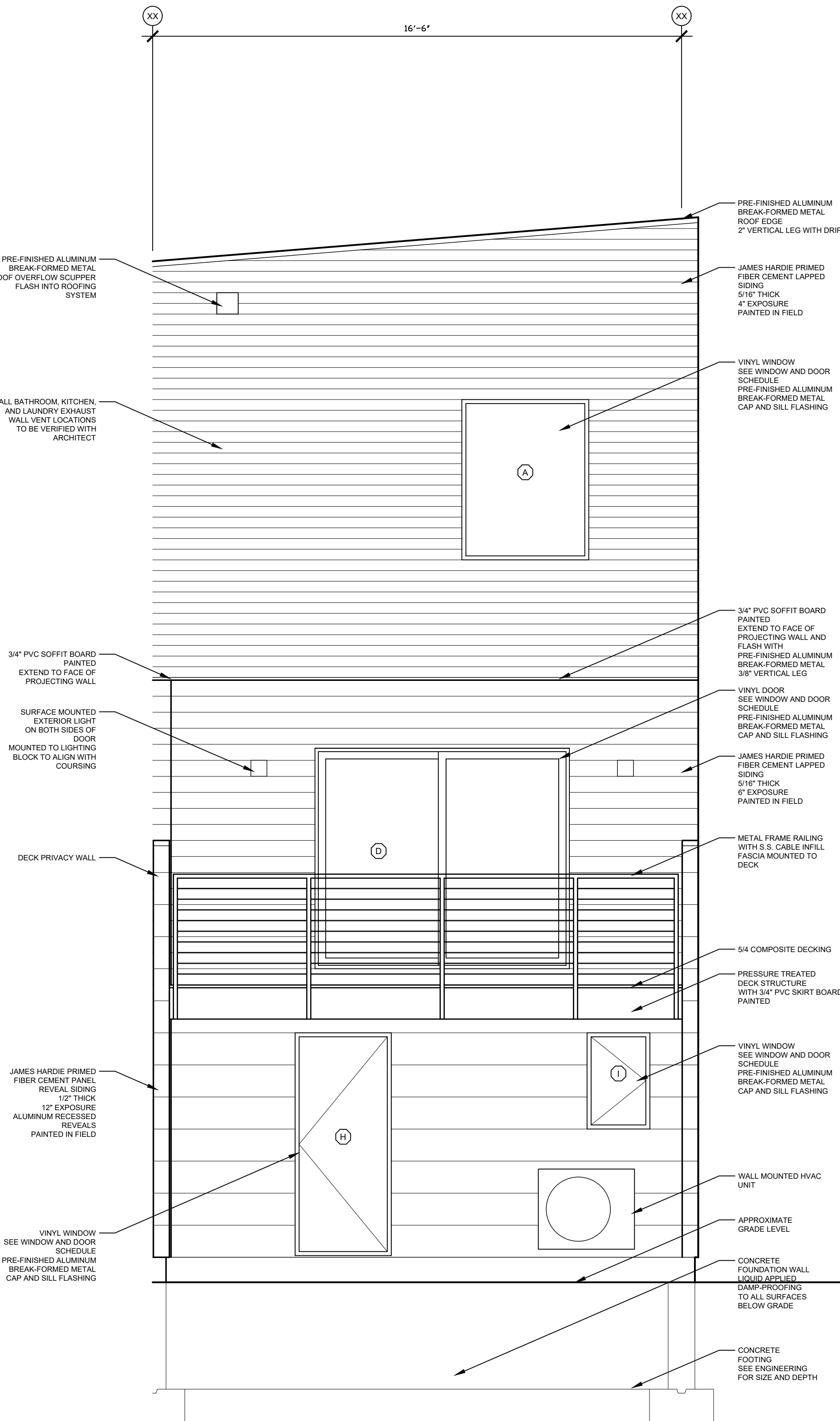
3



47 SOUTH ELEVATION TYPICAL

SCALE
3/8" = 1'-0"

2



47 SOUTH ELEVATION EAST END

SCALE
3/8" = 1'-0"

1

DRAWING :
SOUTH ELEVATION

PROJECT :
MATILDA PINES, LLC
RESIDENTIAL DEVELOPMENT
47 AND 49 MATILDA STREET
PROVIDENCE, RHODE ISLAND 02904



ARCHITECT :
JACK RYAN ARCHITECT, LLC
400 WASHINGTON STREET
SUITE 2NB
PROVIDENCE, RI 02903
401 749 1797
WWW.JACKRYANARCHITECT.COM

ISSUE:

10-27-2020

10-29-2020

PERMIT

CPC

CKD BY :

RYAN

DATE :

10-27-2020

SCALE :

3/8" = 1'-0"

DWG. NO. :

47

A302

PRE-FINISHED ALUMINUM
BREAK-FORMED METAL
ROOF EDGE
2" VERTICAL LEG WITH DRIP

VINYL WINDOW
SEE WINDOW AND DOOR
SCHEDULE
PRE-FINISHED ALUMINUM
BREAK-FORMED METAL
CAP AND SILL FLASHING

JAMES HARDIE PRIMED
FIBER CEMENT LAPPED
SIDING
5/16" THICK
4" EXPOSURE
PAINTED IN FIELD

BREAK-FORMED METAL
CORNER EDGE
AT ALL OUTSIDE CORNERS

3/4" PVC SOFFIT BOARD
PAINTED
EXTEND TO FACE OF
PROJECTING WALL AND
FLASH WITH
PRE-FINISHED ALUMINUM
BREAK-FORMED METAL
3/8" VERTICAL LEG

JAMES HARDIE PRIMED
FIBER CEMENT LAPPED
SIDING
5/16" THICK
6" EXPOSURE
PAINTED IN FIELD

METAL FRAME RAILING
WITH 5/8" CABLE INFILL
FASCIA MOUNTED TO
DECK

5/4 COMPOSITE DECKING

PRESSURE TREATED
DECK STRUCTURE
WITH 3/4" PVC SKIRT BOARD
PAINTED

JAMES HARDIE PRIMED
FIBER CEMENT PANEL
REVEAL SIDING
1/2" THICK
12" EXPOSURE
ALUMINUM RECESSED
REVEALS
PAINTED IN FIELD

CONCRETE
FOUNDATION WALL
LIQUID APPLIED
DAMP-PROOFING
TO ALL SURFACES
BELOW GRADE

APPROXIMATE
GRADE LEVEL

CONCRETE
FOOTING
SEE ENGINEERING
FOR SIZE AND DEPTH

ALL BATHROOM, KITCHEN,
AND LAUNDRY EXHAUST
WALL VENT LOCATIONS
TO BE VERIFIED WITH
ARCHITECT

PRE-FINISHED ALUMINUM
BREAK-FORMED METAL
CORNER EDGE
AT ALL OUTSIDE CORNERS

3/4" PVC SOFFIT BOARD
PAINTED
EXTEND TO FACE OF
PROJECTING WALL AND
FLASH WITH
PRE-FINISHED ALUMINUM
BREAK-FORMED METAL
3/8" VERTICAL LEG

PRE-FINISHED ALUMINUM
BREAK-FORMED METAL
CORNER EDGE
AT ALL OUTSIDE CORNERS

ROOF OVERHANG
WITH MEMBRANE ROOFING AND
PRE-FINISHED ALUMINUM
BREAK-FORMED METAL
ROOF EDGE
2" VERTICAL LEG WITH DRIP

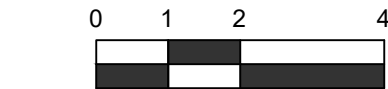
JAMES HARDIE PRIMED
FIBER CEMENT PANEL
REVEAL SIDING
1/2" THICK
ON OVERHANG AND SOFFIT
PAINTED IN FIELD
RECESSED LIGHT

JAMES HARDIE PRIMED
FIBER CEMENT PANEL
REVEAL SIDING
1/2" THICK
12" EXPOSURE
ALUMINUM RECESSED
REVEALS
PAINTED IN FIELD

CAST IN PLACE
CONCRETE STEPS
METAL GUARDRAIL AS
REQUIRED

APPROXIMATE
GRADE LEVEL

CONCRETE
FOOTING
SEE ENGINEERING
FOR SIZE AND DEPTH



ROOF LEVEL
T.O. DECK

THIRD FLOOR LEVEL
T.O. SUB FLOOR

SECOND FLOOR LEVEL
T.O. SUB FLOOR

TOP OF WALL

ARCHITECT :

JACK RYAN ARCHITECT, LLC

400 WASHINGTON STREET

SUITE 2NB

PROVIDENCE, RI 02903

401.749.1797

WWW.JACKRYANARCHITECT.COM

PROJECT :

MATILDA PINES, LLC

RESIDENTIAL DEVELOPMENT

47 AND 49 MATILDA STREET

PROVIDENCE, RHODE ISLAND 02904

DRAWING :

EAST ELEVATION

DWG. NO. :

47

A303

DWN BY :

RYAN / CLOUSE

PERMIT

CPC

ISSUE:

10-27-2020

10-29-2020

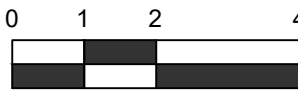
10-27-2020

10-27-2020

1/4" = 1'-0"



ARCHITECT : JACK RYAN ARCHITECT, LLC 400 WASHINGTON STREET SUITE 2NB PROVIDENCE, RI 02903 401.749.1797 WWW.JACKRYANARCHITECT.COM		PROJECT : MATILDA PINES, LLC RESIDENTIAL DEVELOPMENT 47 AND 49 MATILDA STREET PROVIDENCE, RHODE ISLAND 02904	DRAWING : WEST ELEVATION	ISSUE:	PERMIT	DWN BY:	DWG. NO. :
				10-27-2020	CPC	RYAN / CLOUSE	47
						CKD BY : RYAN	A304
						DATE : 10-27-2020	
				SCALE : 1/4" = 1'-0"			



DRAWING :
NORTH ELEVATION

PROJECT :
MATILDA PINES, LLC
RESIDENTIAL DEVELOPMENT
47 AND 49 MATILDA STREET
PROVIDENCE, RHODE ISLAND 02904



ARCHITECT :
JACK RYAN ARCHITECT, LLC
400 WASHINGTON STREET
SUITE 2NB
PROVIDENCE, RI 02903
401.749.1797
WWW.JACKRYANARCHITECT.COM

DWG. NO. :

DWN BY :
RYAN / CLOUSE

PERMIT
CPC

ISSUE:

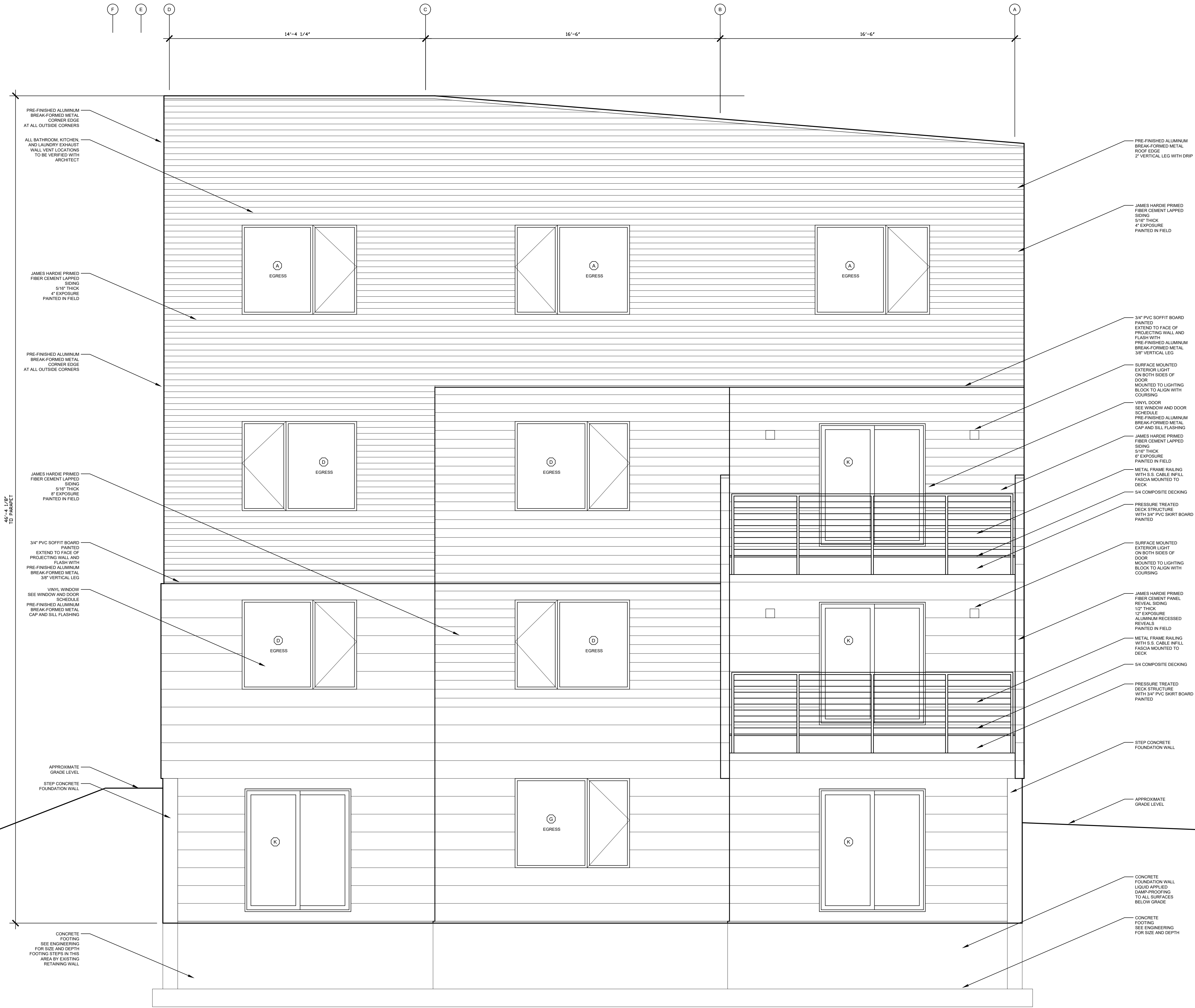
10-27-2020

CKD BY :
RYAN

DATE :
10-27-2020

SCALE :
3/8" = 1'-0"

49
A301



DRAWING :
SOUTH ELEVATION

PROJECT :
MATILDA PINES, LLC
RESIDENTIAL DEVELOPMENT
47 AND 49 MATILDA STREET
PROVIDENCE, RHODE ISLAND 02904



ARCHITECT :
JACK RYAN ARCHITECT, LLC
400 WASHINGTON STREET
SUITE 2NB
PROVIDENCE, RI 02903
401 749 1797
WWW.JACKRYANARCHITECT.COM

DWN BY :

RYAN / CLOUSE

PERMIT

CPC

ISSUE:

10-27-2020

10-29-2020

CKD BY :

RYAN

DATE :

10-27-2020

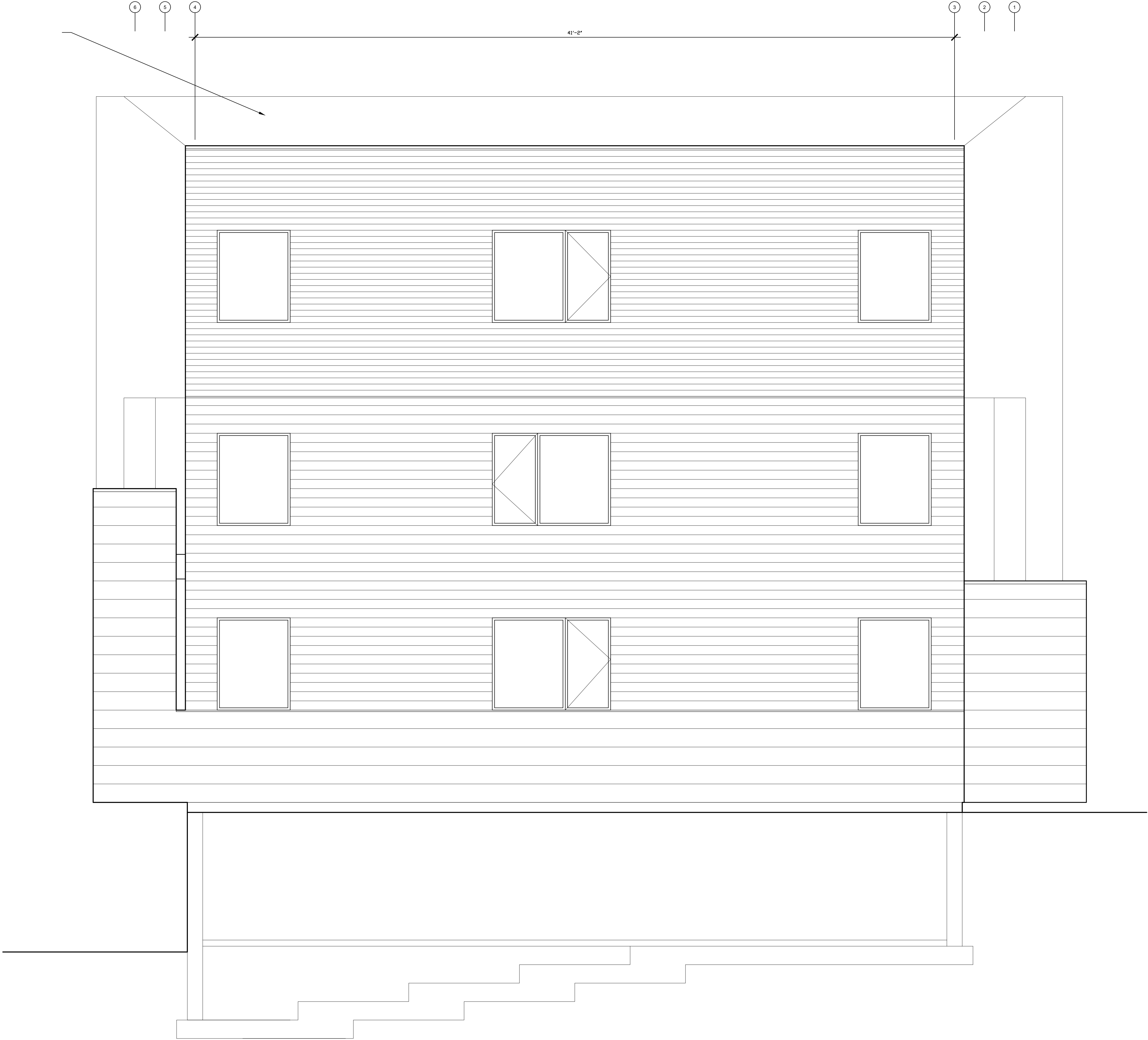
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DWG. NO. :

49

A302



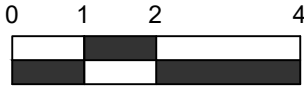
ARCHITECT :
JACK RYAN ARCHITECT, LLC
400 WASHINGTON STREET
SUITE 2NB
PROVIDENCE, RI 02903
401.749.1797
WWW.JACKRYANARCHITECT.COM



PROJECT :
MATILDA PINES, LLC
RESIDENTIAL DEVELOPMENT
47 AND 49 MATILDA STREET
PROVIDENCE, RHODE ISLAND 02904

DRAWING :
EAST ELEVATION

ISSUE:	PERMIT	DWN BY:	DWG. NO. :
10-27-2020	CPC	RYAN / CLOUSE	49 A303
10-29-2020		CKD BY : RYAN	
		DATE : 10-27-2020	
		SCALE : 3/8" = 1'-0"	



SCALE
3/8" = 1'-0"



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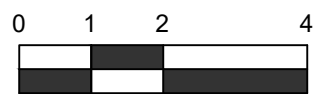
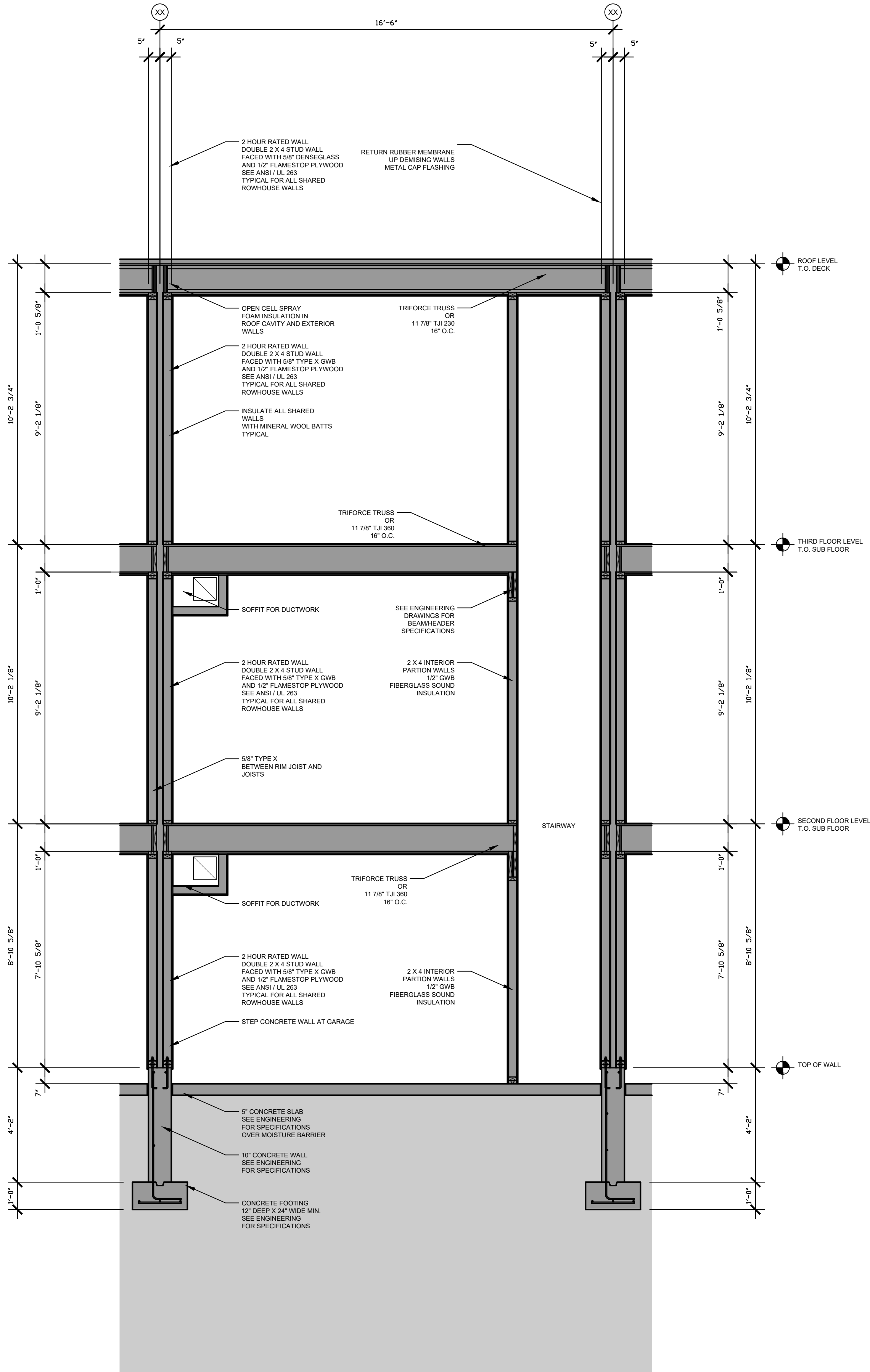
PROJECT :
MATILDA PINES, LLC
RESIDENTIAL DEVELOPMENT
47 AND 49 MATILDA STREET
PROVIDENCE, RHODE ISLAND 02904

DRAWING :
WEST ELEVATION

ISSUE:	PERMIT	DWN BY:
10-27-2020	CPC	RYAN / CLOUSE
10-29-2020		CKD BY : RYAN
		DATE : 10-27-2020
		SCALE : 3/8" = 1'-0"

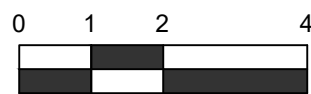
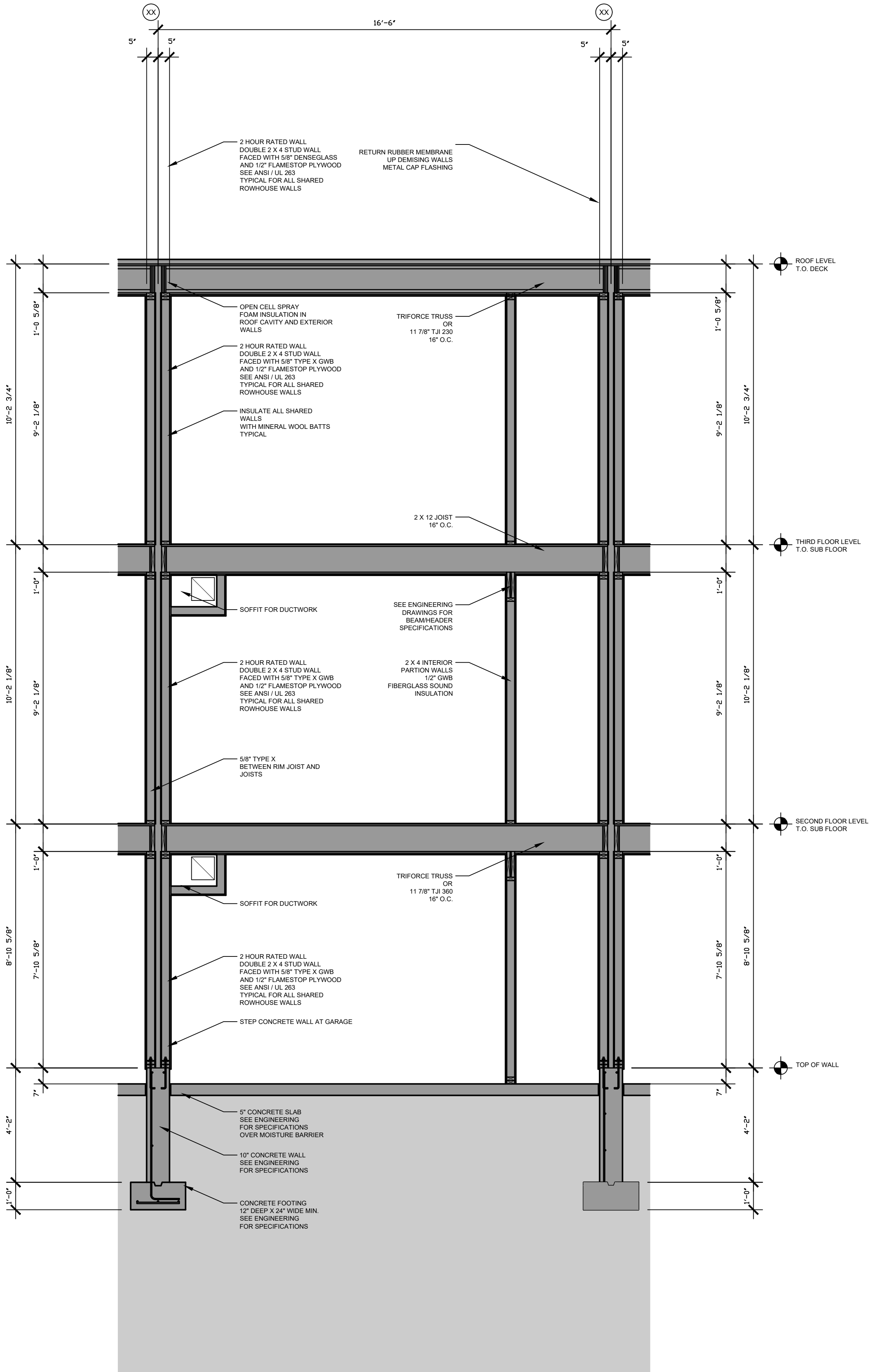
DWG. NO. :

49
A304



SCALE
3/8" = 1'-0"

2



SCALE
3/8" = 1'-0"

1

47 TRANSVERSE SECTION

47 TRANSVERSE SECTION

ARCHITECT :
JACK RYAN ARCHITECT, LLC
400 WASHINGTON STREET
SUITE 2NB
PROVIDENCE, RI 02903
401.749.1797
WWW.JACKRYANARCHITECT.COM



PROJECT :
MATILDA PINES, LLC
RESIDENTIAL DEVELOPMENT
47 AND 49 MATILDA STREET
PROVIDENCE, RHODE ISLAND 02904

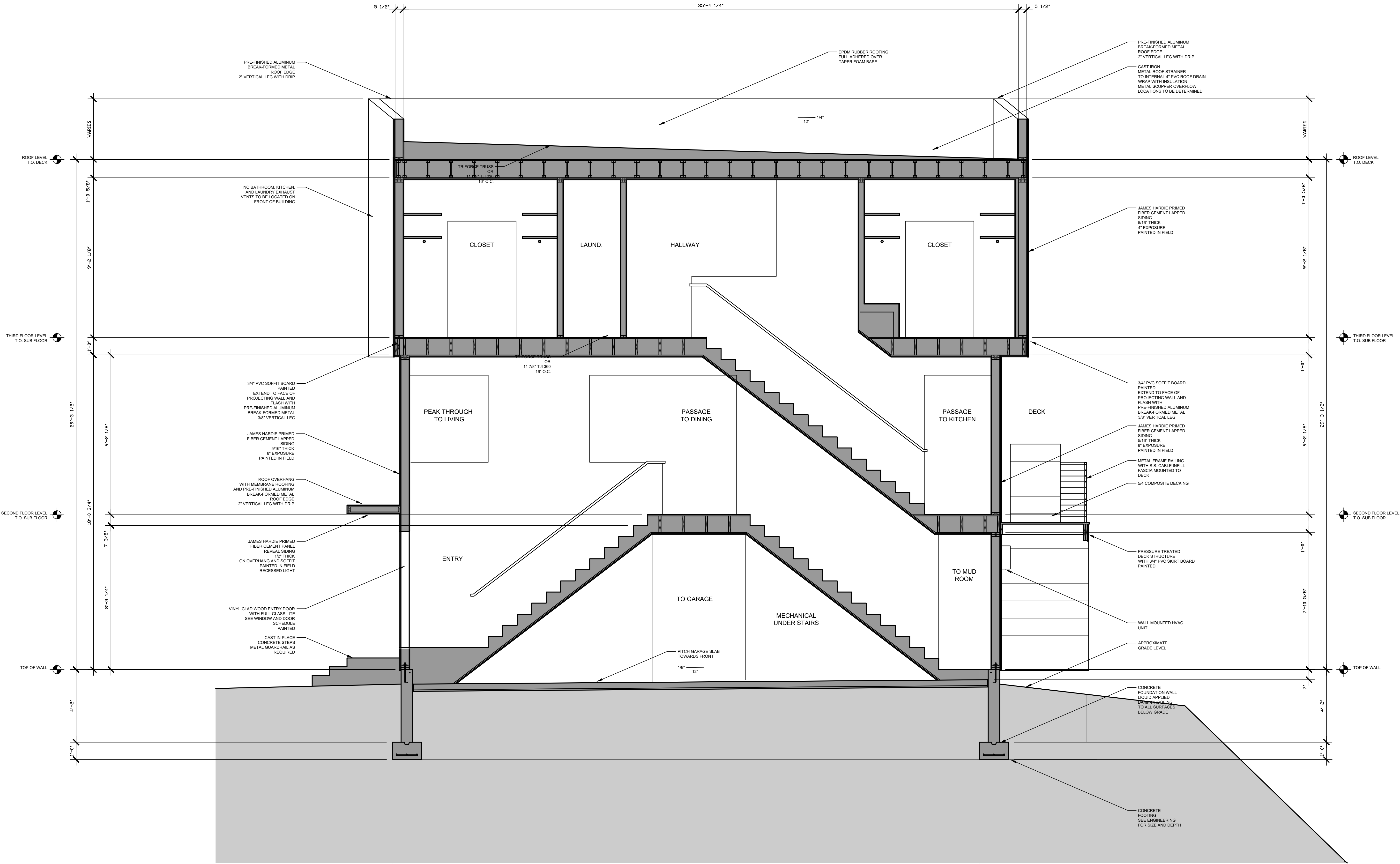
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TRANSVERSE SECTION

ISSUE:	PERMIT	CPC	DATE:	SCALE :
10-27-2020			10-27-2020	1/4" = 1'-0"
10-29-2020				

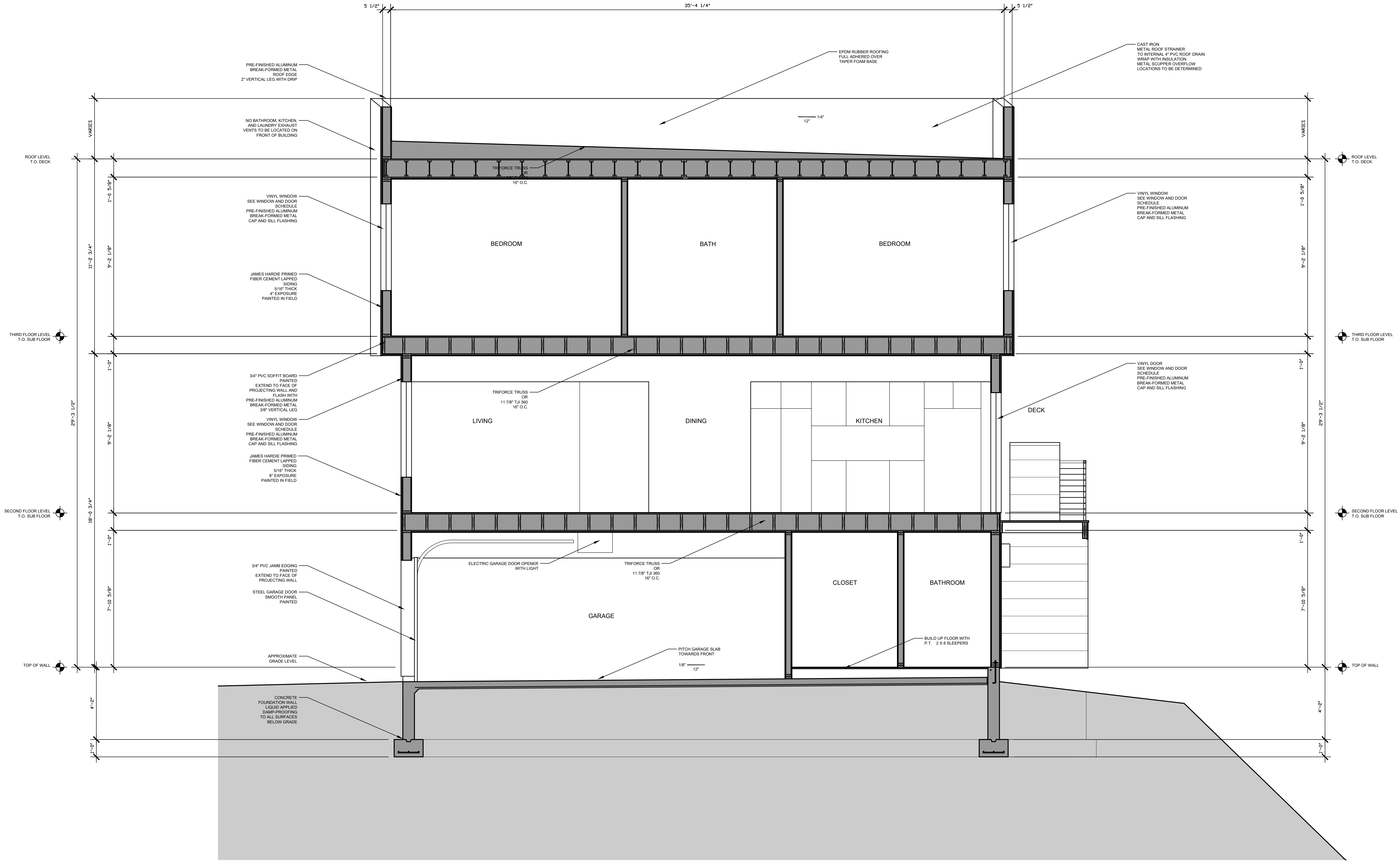
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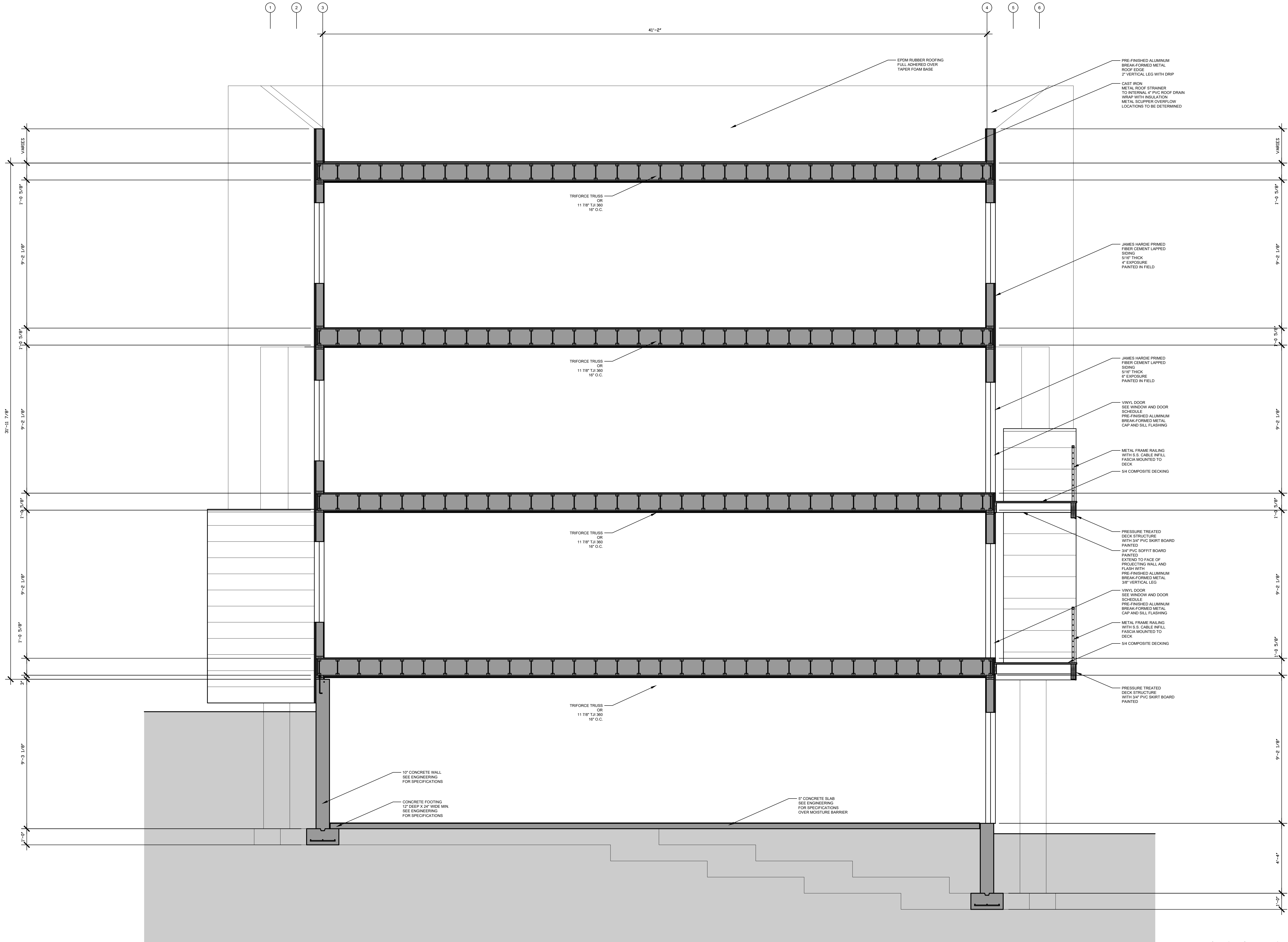
47
A401



ARCHITECT : JACK RYAN ARCHITECT, LLC 400 WASHINGTON STREET SUITE 2NB PROVIDENCE, RI 02903 401.749.1797 WWW.JACKRYANARCHITECT.COM		PROJECT : MATILDA PINES, LLC RESIDENTIAL DEVELOPMENT 47 AND 49 MATILDA STREET PROVIDENCE, RHODE ISLAND 02904	DRAWING : SECTION	ISSUE: 10-27-2020 10-29-2020	PERMIT CPC	DWN BY: RYAN / CLOUSE	DWG. NO. : 47 A402
				SCALE : 1/4" = 1'-0"			



PROJECT :	MATILDA PINES, LLC RESIDENTIAL DEVELOPMENT 47 AND 49 MATILDA STREET PROVIDENCE, RHODE ISLAND 02904			
	ARCHITECT : JACK RYAN ARCHITECT, LLC 400 WASHINGTON STREET SUITE 2NB PROVIDENCE, RI 02903 401 749 1797 WWW.JACKRYANARCHITECT.COM			
	DRAWING : SECTION			
ISSUE:	10-27-2020	PERMIT	DWN BY:	DWG. NO. :
	10-29-2020	CPC	RYAN / CLOUSE	47
			CKD BY :	A403
			RYAN	
		DATE :		
		10-27-2020		
		SCALE :		
		1/4" = 1'-0"		



ARCHITECT :
JACK RYAN ARCHITECT, LLC
400 WASHINGTON STREET
SUITE 2NB
PROVIDENCE, RI 02903
401.749.1797
WWW.JACKRYANARCHITECT.COM



PROJECT :
MATILDA PINES, LLC
RESIDENTIAL DEVELOPMENT
47 AND 49 MATILDA STREET
PROVIDENCE, RHODE ISLAND 02904

DRAWING :
TRANSVERSE SECTION

ISSUE:	PERMIT	DWN BY:	DWG. NO. :
10-27-2020	CPC	RYAN / CLOUSE	49 A401
10-29-2020		CKD BY : RYAN	
		DATE : 10-27-2020	
		SCALE : 1/4" = 1'-0"	

COLLYER STREET

SMITHFIELD ROAD

MATILDA STREET

LEGEND

124

125

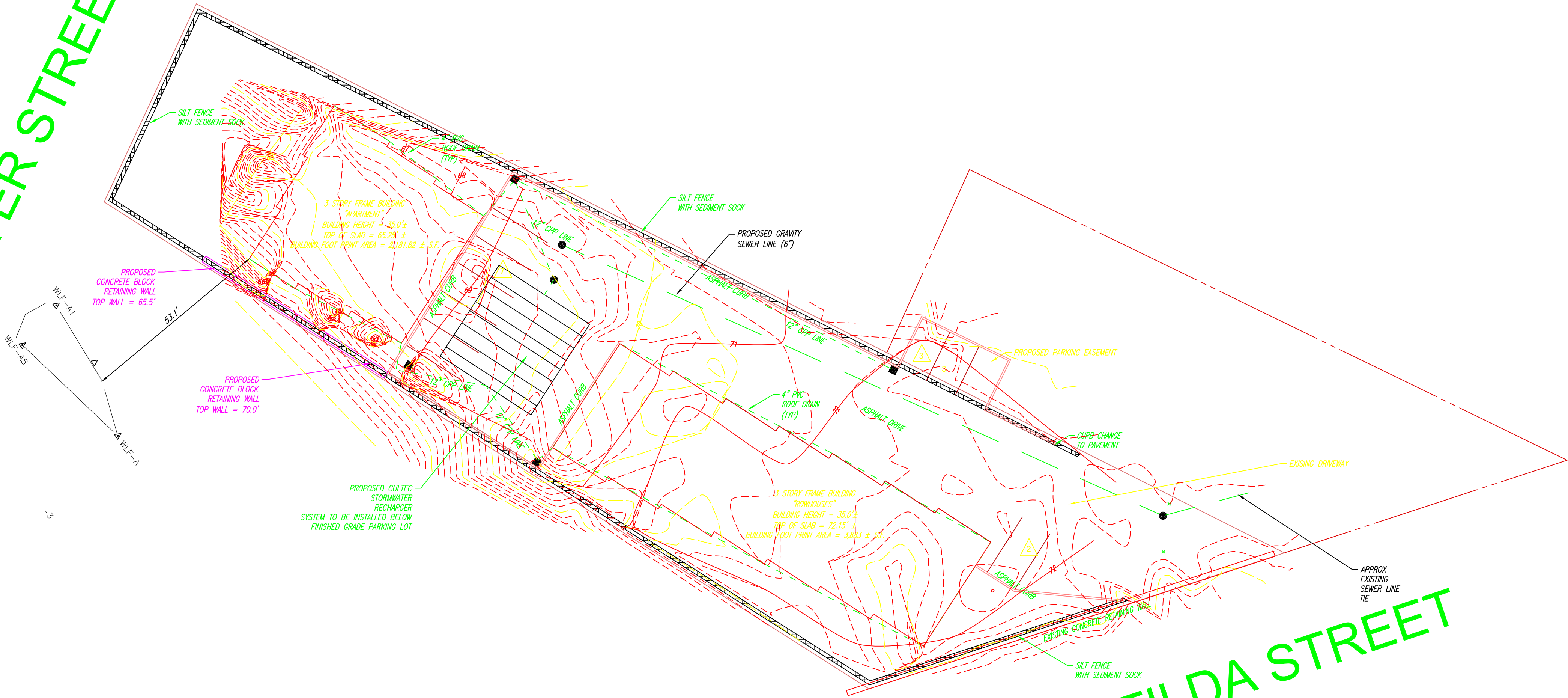
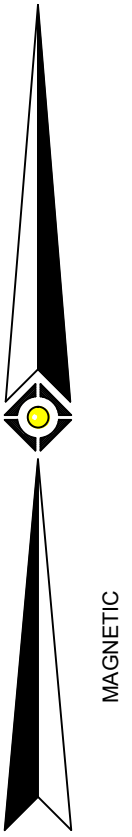
DMH

SMH

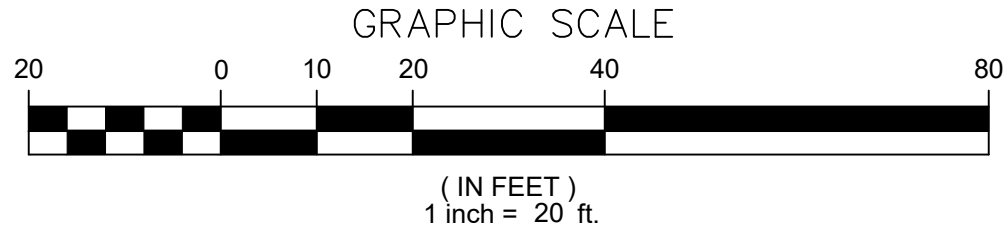
EXISTING CONTOUR

DRAINAGE/STORM MANHOLE

SANITARY/SEWER MANHOLE



INTENT OF THIS PLAN IS TO
SHOW THE RECONFIGURATION
OF PARKING AND BUILDINGS
AS PREVIOUSLY SUBMITTED.
AND TO SHOW THE NEW
PROPOSED STORM-WATER
MANAGEMENT SYSTEM.



SHEETS PREPARED BY

MAPWORX, LLC.

1109 S MAIN STREET

FALL RIVER, MA 02724

ANTHONY A. ESPOSITO

PE STAMP

No. 8925

REGISTERED PROFESSIONAL ENGINEER

CIVIL

REV	DESCRIPTION	DATE	CHANGED BY	CHECKED BY	APPROVED BY

DESIGN BY:	DRAWN BY:	CHECKED BY:	APPROVED BY:
---	---	---	---

PREPARED FOR

JOSH CHU

37 OGDEN STREET

PROVIDENCE, RI 02907

MATILDA PINES

PROVIDENCE, RI

2020-108

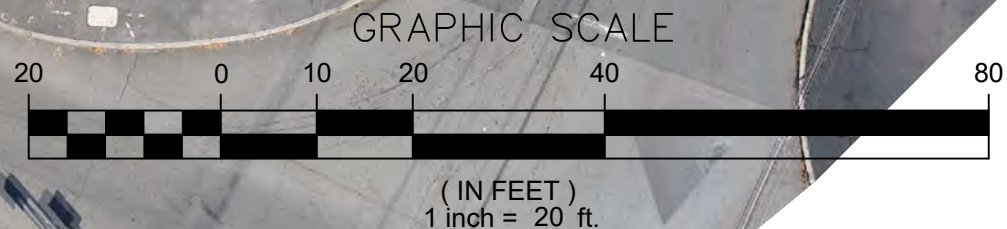
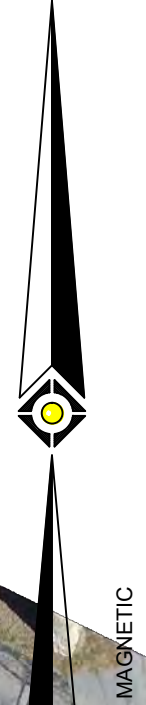
PRO-SITE-PLAN



INTENT OF THIS PLAN IS TO
SHOW THE RECONFIGURATION
OF PARKING AND BUILDINGS
AS PREVIOUSLY SUBMITTED.
AND TO SHOW THE NEW
PROPOSED STORM-WATER
MANAGEMENT SYSTEM.



- LEGEND
- 124 --- EXISTING CONTOUR
 - 125 --- EXISTING CONTOUR
 - DMH DRAINAGE/STORM MANHOLE
 - SMH SANITARY/SEWER MANHOLE



SHEETS PREPARED BY		MAPWORX, LLC. 1109 S MAIN STREET FALL RIVER, MA 02724																	
<div>ANTHONY A. ESPOSITO</div> <div><div>PE STAMP</div><div>No. 8925</div></div> <div>REGISTERED PROFESSIONAL ENGINEER CIVIL</div>																			
REVISIONS																			
PREPARED FOR JOSH CHU 37 OGDEN STREET PROVIDENCE, RI 02907 MATILDA PINES PROVIDENCE, RI		DESIGN BY: --		DRAWN BY: --		CHECKED BY: --		APPROVED BY: --		REV. DESCRIPTION		DATE		CHANGED BY		CHECKED BY		APPROVED BY	
2020-108																			
		PRO-SITE-PLAN																	