PROJECT REVIEW

1. CASE 20.061, 59 WILLIAMS STREET, House, 1875-95 (COLLEGE HILL)

Victorian Cottage; 1 story; clapboard; gabled roof with bracket cornice; 4 bays wide with bracketed pediments above windows and doorway.

CONTRIBUTING



Arrow indicates 59 Williams Street.



Arrow indicates project location, looking north.

PHDC Staff Report March 8, 2021

Applicant: Joseph Furtado, 188 Pratt Street, Providence, RI 02906
Owner: College Hill Realty Trust, 188 Pratt Street, Providence, RI 02906
Architect: Friedrich St. Florian, FAIA, 146 Westminster Street, Providence, RI 02903

Proposal: The scope of work proposed consists of Major Alterations and includes: the modifications to the existing cottage to include the construction of a one-story addition on the garage footprint and the construction of a new addition to the north elevation of the garage footprint.

The following issues are relevant to this application:

- At the December 14, 2021 meeting the application was granted conceptual approval. The Commission commented that the new design is constrained and maintains hierarchy between old and new construction. Some comments regarding garage could be one bay or eliminated. Concerns about pitch of roof, could be lower, closer in pitch to cottage roof. Asphalt shingles would be more sympathetic and subordinate. Concerns regarding potential code implications of windows on property lines, should confirm with building/zoning that the proposed windows will meet code. Comments regarding proposed siding included suggestions of using horizontal clapboards instead of proposed vertical siding. Overall members stated that the design was a marked improvement and that the new mass is subservient to the cottage; and,
- Revised plan set has been submitted. The set incorporates or address the Commission's comments from the previous meeting.

Recommendations: The staff recommends the PHDC make the following findings of fact:

- a) 59 Williams Street is a structure of historical and architectural significance that contribute to the significance of the College Hill local historic district, having been recognized as a contributing structure to the College Hill National Historic Landmarks District;
- b) The application for Major Alterations is considered complete for approval; and,
- c) The work as proposed is in accord with PHDC Standards 8 & 9 as follows: as the proposed alterations are appropriate having determined that the proposed relocation and construction is architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district (8), and whenever possible, new additions or alterations to structures shall be done in such a manner that if removed in the future, the essential form and integrity of the structure and the site would be unimpaired (9).

Staff recommends a motion be made stating that: The application is considered complete. 59 Williams Street is a structure of historical and architectural significance that contribute to the significance of the College Hill local historic district, having been recognized as a contributing structure to the College Hill National Historic Landmarks District. The Commission grants approval of the proposal as submitted as the proposed alterations are appropriate having determined that the proposed alterations are architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district (8), and whenever possible, new additions or alterations to structures shall be done in such a manner that if removed in the future, the essential form and integrity of the structure and the site would be unimpaired (9), citing and agreeing to the recommendations in the staff report, with a sub-committee to formed to review construction details as they become available.



COTTAGE RESIDENCE 59 Williams Street, Providence, RI 02906

FRIEDRICH ST.FLORIAN ARCHITECT I 146 Westminster Street I Providence, RI 02903 I T: 401 831 8400 I F: 401 831 8688 I email: info@fstflorian.com

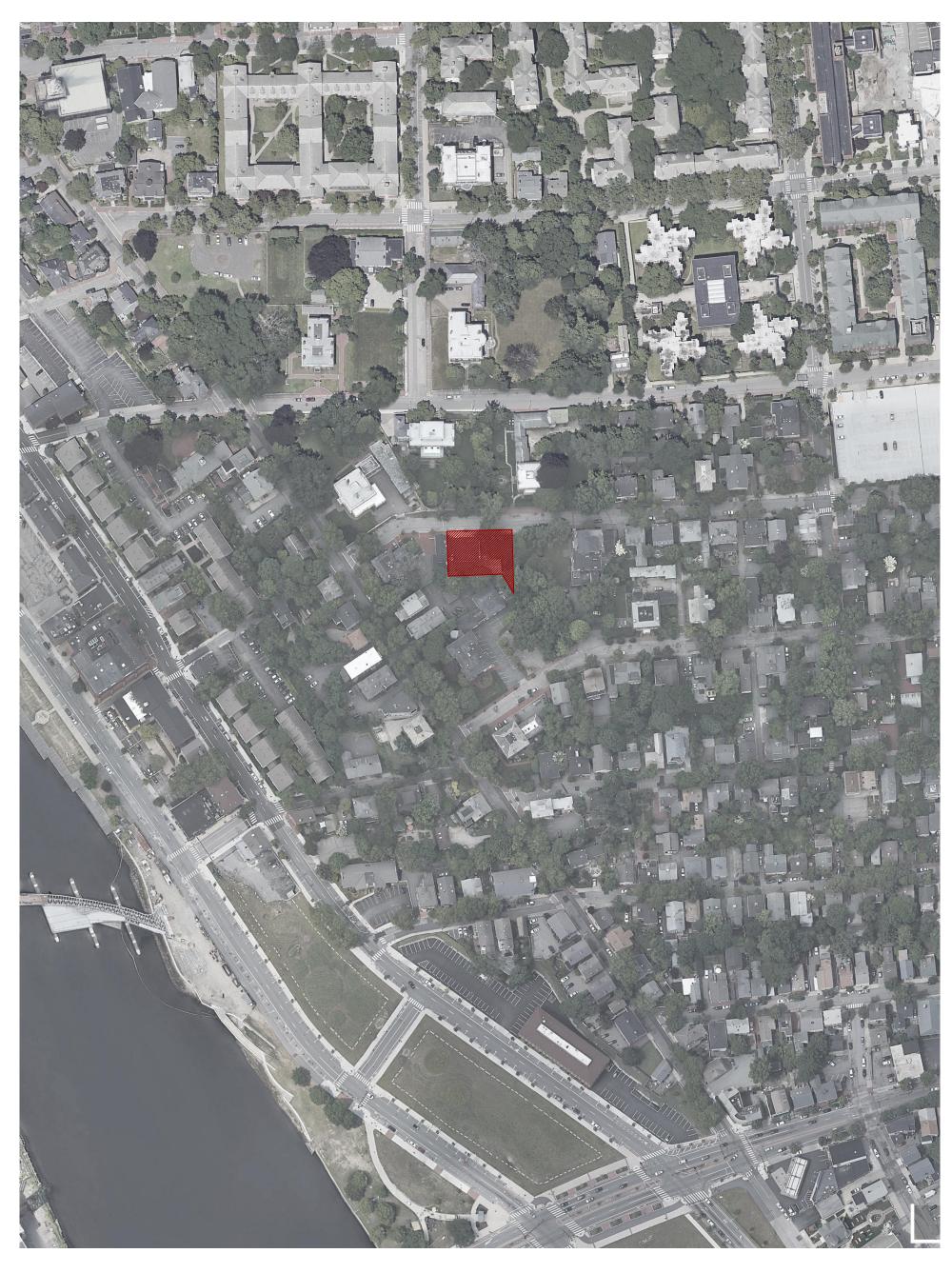
NORTH ELEVATION VIEW FROM WILLIAMS STREET

DRAWING INDEX:

DRAWING #	CONTENTS	SUBMISSIONS/ I	SUBMISSIONS/ REVISIONS					
		03.08.2021						
G0-1	COVER SHEET							
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A1-1d	MAIN FLOOR PLAN DIMENSIONED							
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A2-2	EAST ELEVATION - SECTION LOOKING WEST							
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A3-1	EXTERIOR WALL SECTIONS STAIR DETAILS							
A4-1								
A4-1 A4-2	INTERIOR ELEVATIONS							
A5-1	DOOR SCHEDULE & DETAILS							
A5-2	WINDOW SCHEDULE & DETAILS							
A5-3	FINISH SCHEDULE & WALL TYPES				<u> </u>			
A6-1	MAIN FLOOR RCP ELECTRICAL							
A6-1E	MAIN FLOOR RCP LIGHTING & SCHEDULE							



(Parcel A)



AREA PLAN N.T.S.

GENERAL NOTES:

1.1 Scope: work pertaining to the construction of single family residential building located at 59 Williams Street, Providence, Rhode Island.

1.2 All work shall confirm to the requirements of the Rhode Island State Building Code (SBC-1) 2019, the International Residential Code (SBC-2) 2018 Edition for one and two family dwelling regulation, The City of Providence Zoning Ordinance, Fire Department regulations, utility company requirements, and the current SBC Codes for all other trades.

1.3 Before commencing work, the general contractor shall file all required work certificates with the Building Department, obtain all required permits, and pay all the fees required by governing agencies.

1.4 Minor details not usually shown or specified, but required for proper construction

of any part of the work shall be included as if they were indicated in the drawings. 1.5 The general contractor shall coordinate all work procedures with the stipulations of the local authorities.

1.6 The general contractor shall be responsible for all conditions and materials with the proposed construction area. The general contractor shall install adequate shoring and bracing for all structural and removal tasks. The general contractor shall have sole responsibility for any damage or injuries caused by or during the execution of the work.

1.7 The general contractor shall lay out his own work, and shall provide all dimensions required for other trades: plumbing, electrical etc. 1.8 The general contractor shall coordinate information with all appropriate trades, and make sure

all work is performed by persons licensed in their trades. All trades shall arrange for and obtain inspections and required sign-offs.

1.9 Site dimensions must be verified in the field.

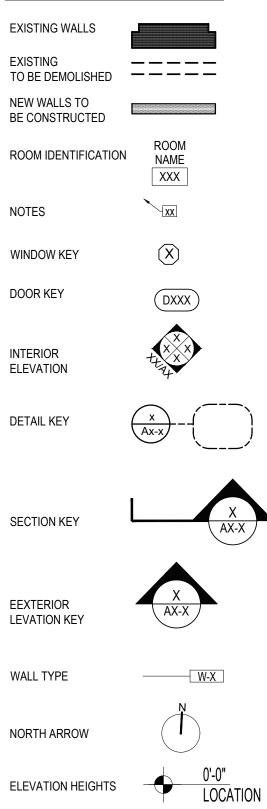
PERMITS AND INSPECTIONS:

The General Contractor (GC) shall obtain construction permits as required including but not limited to building, plumbing, and electrical permits and pay all the fees as required by the governing agencies. Required inspections will include but are not limited to rough framing, rough plumbing, finish plumbing, electrical, insulation and final inspection.

ABBREVIATIONS:

CC CLG CH C.L.	CENTER TO CENTER CEILING CEILING HEIGHT CENTER LINE	MTL M.O. NIC N	METAL MASONRY OPENING NOT IN CONTRACT NEW	59 WILLIAMS STREET PROVIDENCE, RI 02906 PARCEL A	
CONC DEMO	CONCERETE DEMOLITOIN	N.T.S. OPP.HAND	NOT TO SCALE OPPOSITE HAND PROPERTY LINE	RESIDENTIAL ZONE:	R1
DIA DIM	DIAMETER DIMENSION	P.L. PLY	PLYWOOD	LOT DEPTH:	76'-1 ¹ 2"
ELEC ELEV	ELECTRIC ELEVATION	REINF'G R.O.	REINFORCING ROUGH OPENING	LOT WIDTH:	110-0"
EQ E EXT	EQUAL EXISTING EXTERIOR	RTN'G SIM SF	RETAINING SIMILAR SQUARE FOOT	LOT SF:	8,623 SF
F.O. F.O.W.	FACE OF FINISH OPENING FACE OF WALL	SS STL	STAINLESS STEEL STEEL	LOT COVERAGE:	2,941 SF =34%
FLR GWB HT	FLOOR GYPSUM WALL BOARD HEIGHT	TMP TBD T.O.	TEMPORARY TO BE DETERMINED TOP OF	FRONT YARD:	46'-3"
INSUL INT	INSULATE	TYP U.N.O.	TYPICAL UNLESS NOTED OTHERWISE	REAR YARD:	1'-2"
		V.I.F.	VERIFY IN FIELD	SIDE YARD	
		W/	WITH	WEST: EAST:	1'-0" 17'-5"

SYMBOLS:



ZONING ANALYSIS:

ENCE, RI 02906 . A	
TIAL ZONE:	R1
ΓH:	76'-1
TH:	110-0
	8,623
ERAGE:	2,941 =34%
ARD:	46'-3
RD:	1'-2"
D	

59 WILLIAMS STREET PROVIDENCE, RI 02906

OWNER / DEVELOPER COLLEGE HILL REALTY TRUST 188 PRATT STREET PROVIDENCE, RI 02906

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PROVIDENCE, RI 02903

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DESCRIPTION:

DATE:

PROJECT NUMBER:

Full sheet size: 22" x 34" Scale: N/A

Drawn By: AL

Checked By: FSF

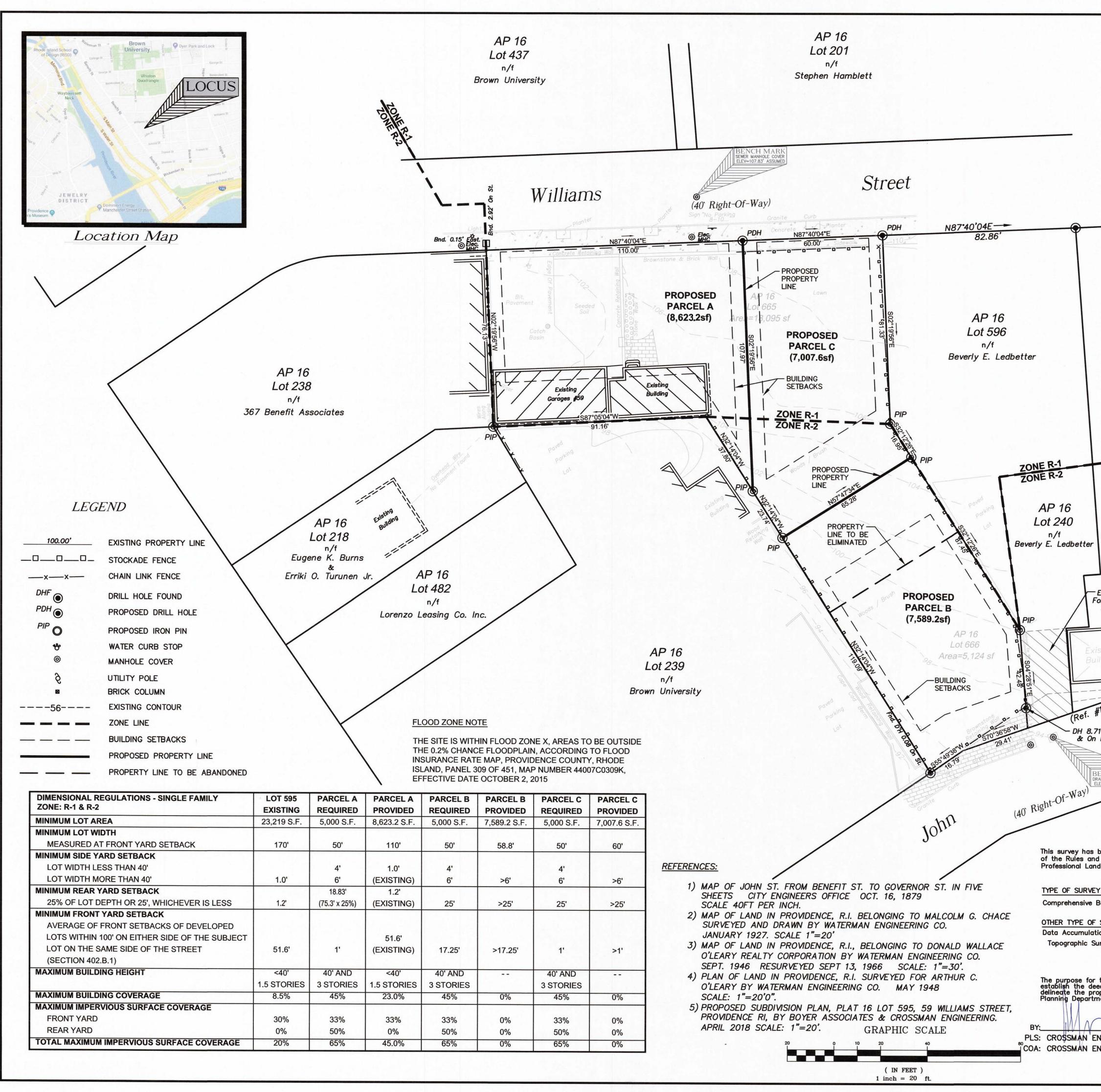
DRAWING TITLE:

COVER SHEET

G0-1

23 SF 41 SF

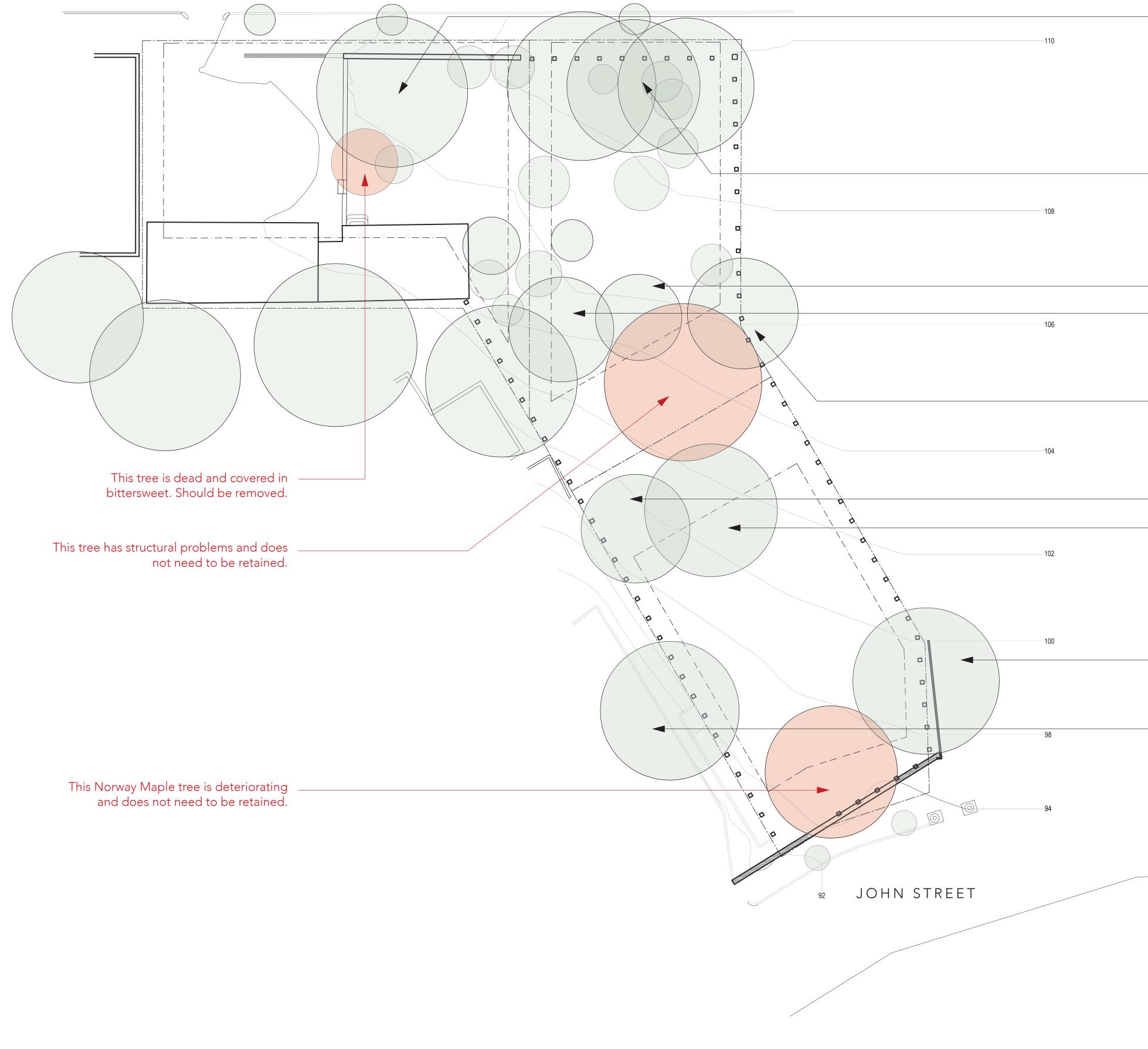
1% 3"



• Bhd. 263' On St. (Ref. 14)		RISPC	15 V Ph ENG FOI N	Rhode Isla 1 Centerville Varwick, RI (one: (401) 73 Em THESE DRAW SINEERING AND R A SPECIFIC OT TO BE CO	nd PRoad 02886 38-5660 aail: cei@cr NGS ARE TH D HAVE BEE SITE AND F PIED OR US	ENGINE Massac 103 Common North Attlebo Phone: (50 cossmaneng.co HE PROPERTY O N PREPARED FO ROJECT. THESE ED FOR ANY OT	e Architecture EERING chusetts wealth Avenue oro, MA 02763 8) 695-1700 om
Easement Benefitting Lot 595 For Vehicular & Pedestrian Traff LE Bk 1140 Page 269-270	City P Manor Subdivision Name: 59 Williams Street CPC Project # 19-014 MI Approved Pursuant in Article 4 of the City of Providence D on <u>5/5/20</u> and shall be recorded and filed with the Recon- unless extended. Administrative Officer/ Dept. of Planning & Development. Market Street	of Providence Ian Commission or Land Development Project development Review Regulations, as amended, and RIGL 45-23-30 for of Deeds no later than ninety (R0) days following this approval, 5/5/20 Date /20 Date +*** STAMPED ELECTRONICALLY ***		SUE PLAT (FO ONING RESII HIS 59 V	PROF BDIVIS 16, LOT RMERI DISTR DENTIA STORIC	POSED SION PL TS 665 an LY LOT 5 ICTS R-1 AL DISTRIC MS STRE CE, RI 02	nd 666 95) and R-2 RICTS CT EET
isting ilding Street Lin Ref. #2 #1) 71' North of Cor. Property Line Street	e By City Engineer's	Plan (Ref. #1) MARK D. BOYER NO. 1888 5.10520		59 V	VILLIA	ANN P MS STRE CE, RI 02	ET
BENCH MARK BRAIN MANHOLE COVER ELEV=94.05' ASSUMED	THIS PLAN IS TO BE INDEXE UNDER THE FOLLOWING STREE WILLIAMS STREET & JOHN STREET	PROFESSIONAL LAND SURVEYOR	DA DW	<i>TE:</i> APRIL 2 <i>IG. NAME:</i>	AL SU PL 2020	BDIVISI	=20'
been conducted and the plan ha ad Regulations adopted by the Rh nd Surveyors effective as of Nove	ode Island State Board of	Registration for	RE	TUMBER	REA	AARKS	DATE
EY : Boundary Survey	MEASUREMEN	T SPECIFICATION:	_				
<u>SURVEY</u> tion Survey Survey Accuracy		Ш Г—2					
The conduct of this survey and seded property lines, depict the e roposed property lines for a minor ment. S-1.202 ENGINEERING Mark D. Boy ENGINEERING # A257	0	e plan is to subject parcel and of Providence	DR	RAWING NUI SHE	C	0 <i>F</i> : <u>1</u>	-

UPDATED ON 08/12/20 AFTER MEETING WITH CITY FORESTER

WILLIAMS STREET



NOTES:

EXISTING WALL



Most prominent tree, but covered in old bittersweet that will need to be cut away or will kill the tree eventually. 20'-25'Ø snow fencing around tree trunk during construction. If retaining wall has to be

reconstructed, roots should not be exposed for long or will kill the tree.

This area of trees were not planted, but rather droppings from other trees. They have not been cultivated and are growing underneath each other. Should be assessed to choose which ones to keep. One tree has fallen over onto another one and may have compromised it.

22"Ø OAK TREE

25"Ø OAK TREE

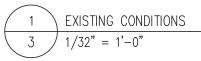
CHERRY TREE

22"Ø OAK TREE

23"Ø OAK TREE

RED MAPLE TREE

45"-50"Ø OAK TREE On adjacent property. More prefereable for driveway on this side so new foundation construction doesn't harm tree roots. Permeable driveway surface recommeded. Any work done near this tree should maintain serious caution.



PROVIDENCE, RI 02906

PARCEL A, B & C

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NOT FOR CONSTRUCTION



DESCRIPTION:

DATE:

PROJECT NUMBER:

DRAWING TITLE: EXISTING CONDITIONS PLAN

L0-1

Full sheet size: 11" x 17" Scale: 1/32" = 1'-0"

Drawn By: AL Checked By

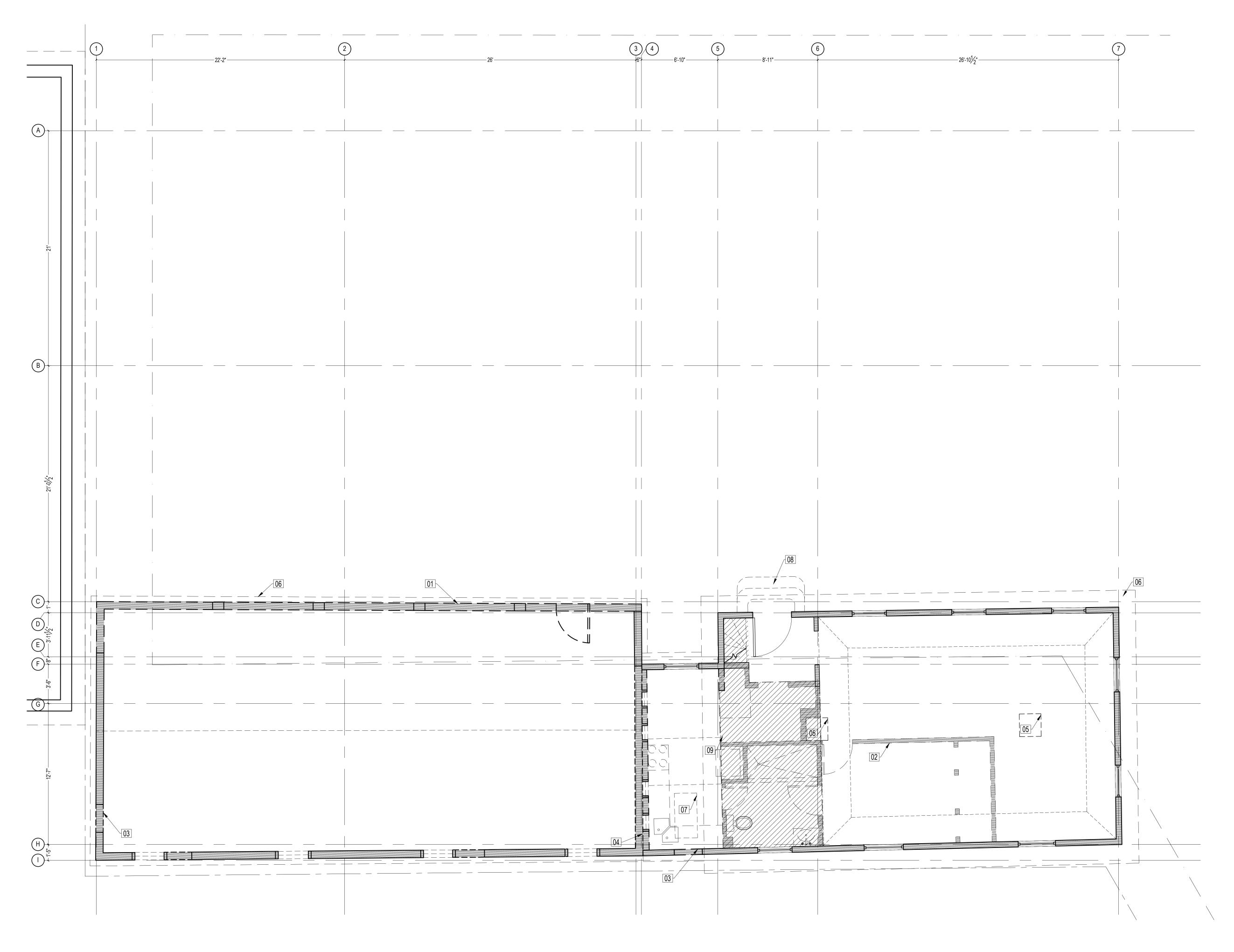
FSF Sheet:



EXISTING COTTAGE NORTH & EAST ELEVATIONS



EXISTING GARAGE NORTH ELEVATION



ALL DIMENSIONS TO BE CONFIRMED IN THE FIELD BY GENERAL CONTRACTOR

EXISTING WALL

NEW WALL

ALL EXISTING WINDOWS TO BE DEMOLISHED AND REPLACED UNO NOTE: REFER TO WINDOW SCHEDULE AX-X

- 01 EXISTING NORTH WALL TO BE DEMOLISHED TO BE RECONSTRUCTED FOR NEW ADDITION
- 02 INTERIOR WALLS, ENTRY, KITCHEN & BATHROOM TO BE DEMOLISHED
- 03 EXISTING WALL TO BE DEMOLISHED FOR NEW WINDOW
- 04
 ADJACENT GARAGE & KITCHEN WALLS TO BE DEMOLISHED AND REBUILT FOR NEW PENETRATIONS
 F: 401-831-8688 email: info@fstflori

 NOTE: REFER TO MAIN FLOOR PLAN A1-1, A1-1d
 F: 401-831-8688
- 05 EXISTING DECAYING CHIMNEYS ON ROOF TO BE DEMOLISHED AND RECONSTRUCTED
- 06 EXISTING ROOF OF COTTAGE & GARAGE TO BE DEMOLISHED AND RECONSTRUCTED
- 07 EXISTING SKYLIGHT TO BE RECONSTRUCTED IN NEW ROOF OVER KITCHEN
- 08 EXISTING FRONT STEPS TO BE DEMOLISHED AND RECONSTRUCTED
- 09 EXISTING ATTIC ADDITION AND STAIRS ABOVE TO BE DEMOLISHED

59 WILLIAMS STREET PROVIDENCE, RI 02906

OWNER / DEVELOPER COLLEGE HILL REALTY TRUST 188 PRATT STREET PROVIDENCE, RI 02906

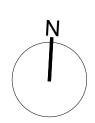
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NOT FOR CONSTRUCTION



DESCRIPTION:

DATE:

PROJECT NUMBER:

DRAWING TITLE: EXISTING CONDITIONS/DEMO

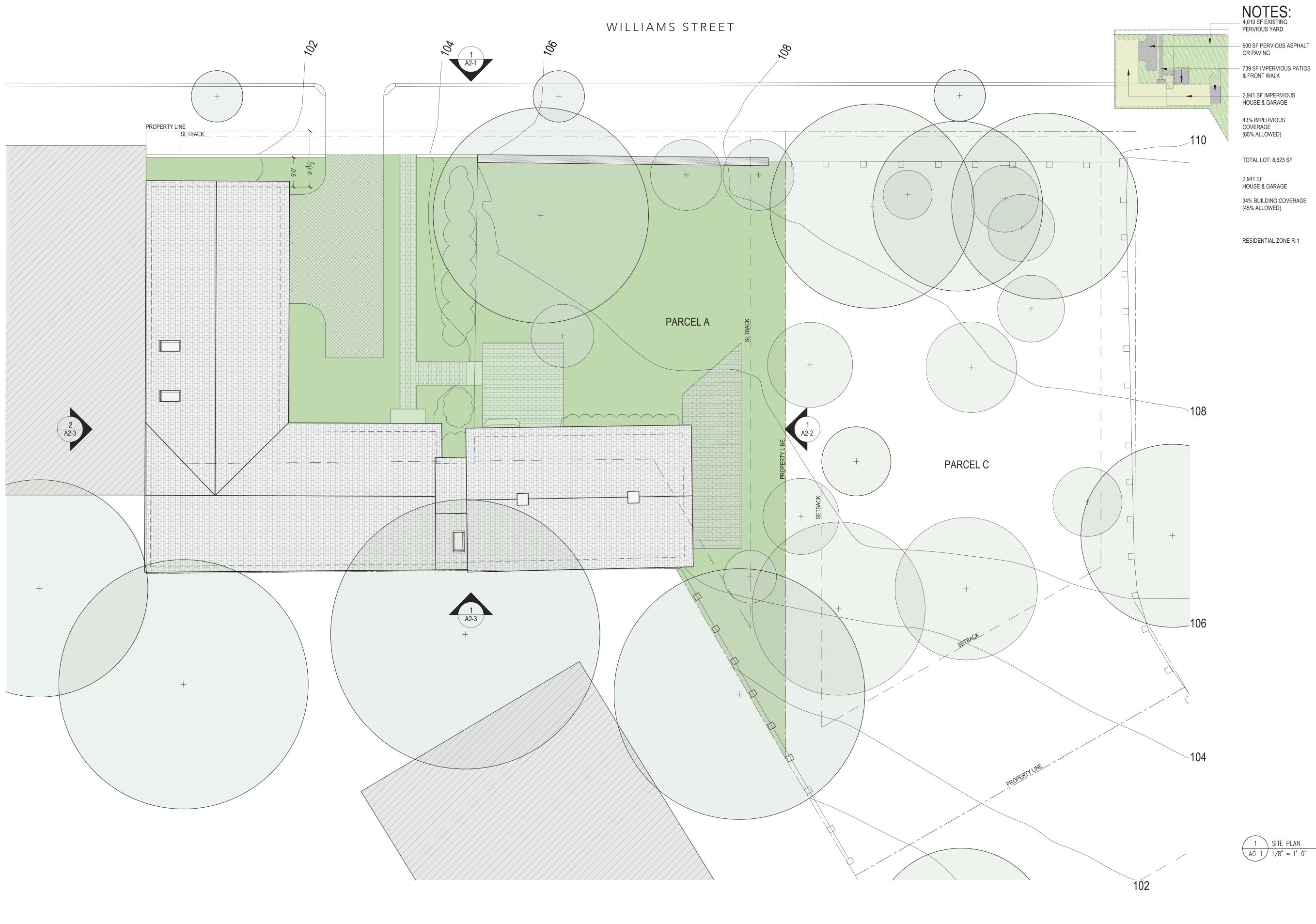
PLAN <u>Full sheet size: 22" x 34"</u> Scale: 1/4" = 1'-0"

Drawn By: AL

FS Sheet:

 $\begin{array}{c|c} 1 & \text{EXIST. CONDTIONS/DEMO} \\ \hline A0-0 & 1/4" = 1'-0" \end{array}$

A0-0



59 WILLIAMS STREET PROVIDENCE, RI 02906

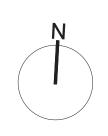
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DESCRIPTION:

DATE:

DRAWING TITLE:

PROJECT NUMBER:

SITE PLAN

Full sheet size: 22" x 34" Scale: 1/8" = 1'-0"

Drawn By: AL

Checked By: FSF

Sheet:

A0-1



ALL DIMENSIONS TO BE CONFIRMED IN THE FIELD BY GENERAL CONTRACTOR

EXISTING WALL

NEW WALL

01 REMOVE WALLS/JOISTS FOR STAIRS TO NEW ADDITION ABOVE

02 NEW STAIR FROM ADDITION TO EXISTING COTTAGE FLOOR ABOVE 03 REMOVE EXISTING DOOR & SEAL EXTERIOR ENTRY TO BASEMENT

04 WALLS TO BE DEMOLISHED FOR NEW ENTRY TO EXISTING BASEMENT

05 NEW WALLS & STAIR FROM ADDITION TO BASEMENT

06 EXCAVATE 4' BELOW FOR CRAWLSPACE

59 WILLIAMS STREET PROVIDENCE, RI 02906

OWNER / DEVELOPER COLLEGE HILL REALTY TRUST 188 PRATT STREET PROVIDENCE, RI 02906

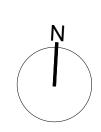
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 $\begin{array}{c|c} 1 & \text{BASEMENT DEMO PLAN} \\ \hline A1-0 & 1/4" = 1'-0" \end{array}$



DESCRIPTION:

DATE:

PROJECT NUMBER:

DRAWING TITLE: BASEMENT PLAN

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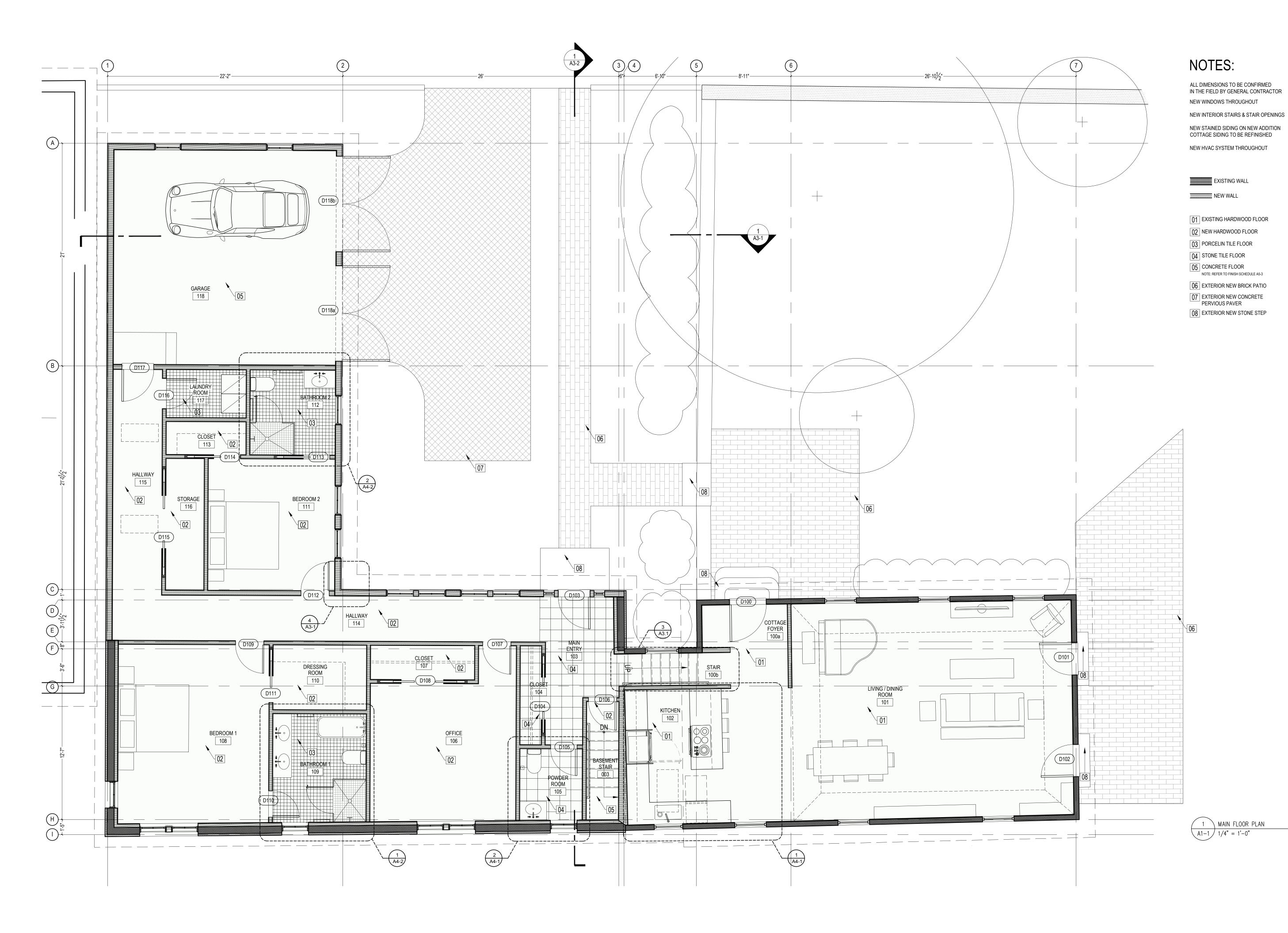
A1-0

Sheet:

Checked By: FSF

Drawn By: AL

2 BASEMENT PLAN A1-0 1/4" = 1'-0"



59 WILLIAMS STREET PROVIDENCE, RI 02906

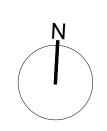
OWNER / DEVELOPER COLLEGE HILL REALTY TRUST 188 PRATT STREET PROVIDENCE, RI 02906

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DESCRIPTION:

DATE:

PROJECT NUMBER:

DRAWING TITLE: MAIN FLOOR PLAN

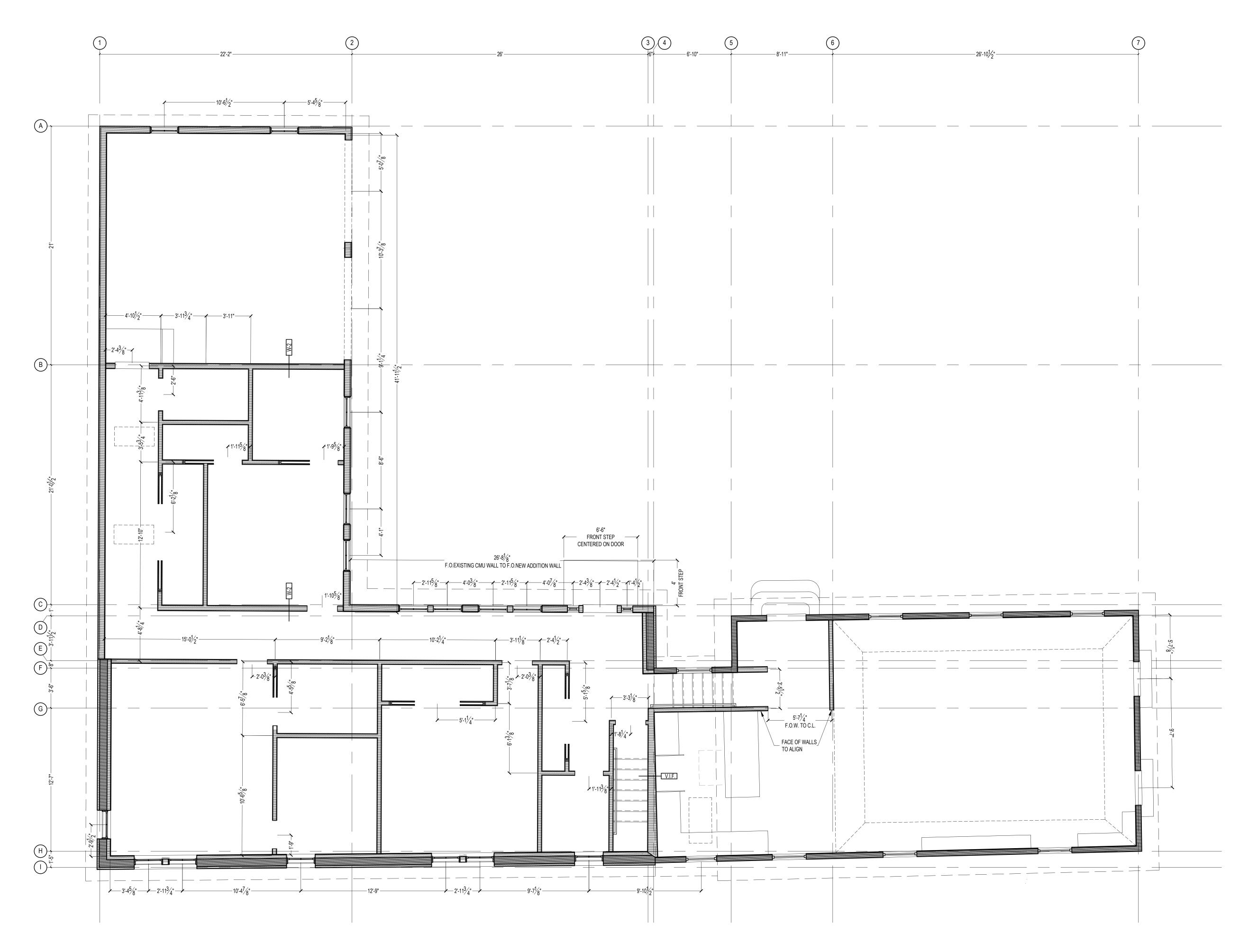
Full sheet size: 22" x 34" Scale: 1/4" = 1'-0"

Drawn By: AL

Sheet:

Checked By: FSF

A1-1



ALL DIMENSIONS TO BE CONFIRMED IN THE FIELD BY GENERAL CONTRACTOR.

EXISTING RETAINING WALLS, GARAGE & COTTAGE WALLS TO BE VERIFIED IN

EXISTING WALL NEW WALL

ALL DIMENSIONS TO C.L. OF FRAMING AT INTERIOR WALLS.

ALL INTERNAL DIMENSION TO INSIDE F.O. FRAMING AT EXTERIOR WALLS.

ALL DIMENSIONS TO C.L. OF WINDOW OPENINGS.

ALL DIMENSIONS TO C.L. OF DOOR OPENINGS.

----- W-1

ALL INTERIOR WALL FRAMING 2x4 w/ ⁵/₈ GWB U.N.O. NOTE: REFER TO WALL TYPES, A5-3

______W-2____ INTERIOR WALL FRAMING 2x6 w/ ⁵/₈" GWB

----- V.I.F.

DEMISING WALL FRAMING & THICKNESS TBD BY GENERAL CONTRACTOR IN FIELD.

59 WILLIAMS STREET PROVIDENCE, RI 02906

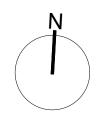
OWNER / DEVELOPER PLACEMENT & ADJACENCY TO EACH OTHER. COLLEGE HILL REALTY TRUST 188 PRATT STREET PROVIDENCE, RI 02906

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FRIEDRICH ST.FLORIAN ARCHITECT 146 WESTMINSTER STREET

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DESCRIPTION:

PROJECT NUMBER:

DRAWING TITLE:

Drawn By: AL

Checked By: FSF

DATE:

 $\begin{array}{c|c} \hline 1 & MAIN FLOOR PLAN \\ \hline A1-1d & 1/4" = 1'-0" \end{array}$



MAIN FLOOR PLAN

DIMENSIONED

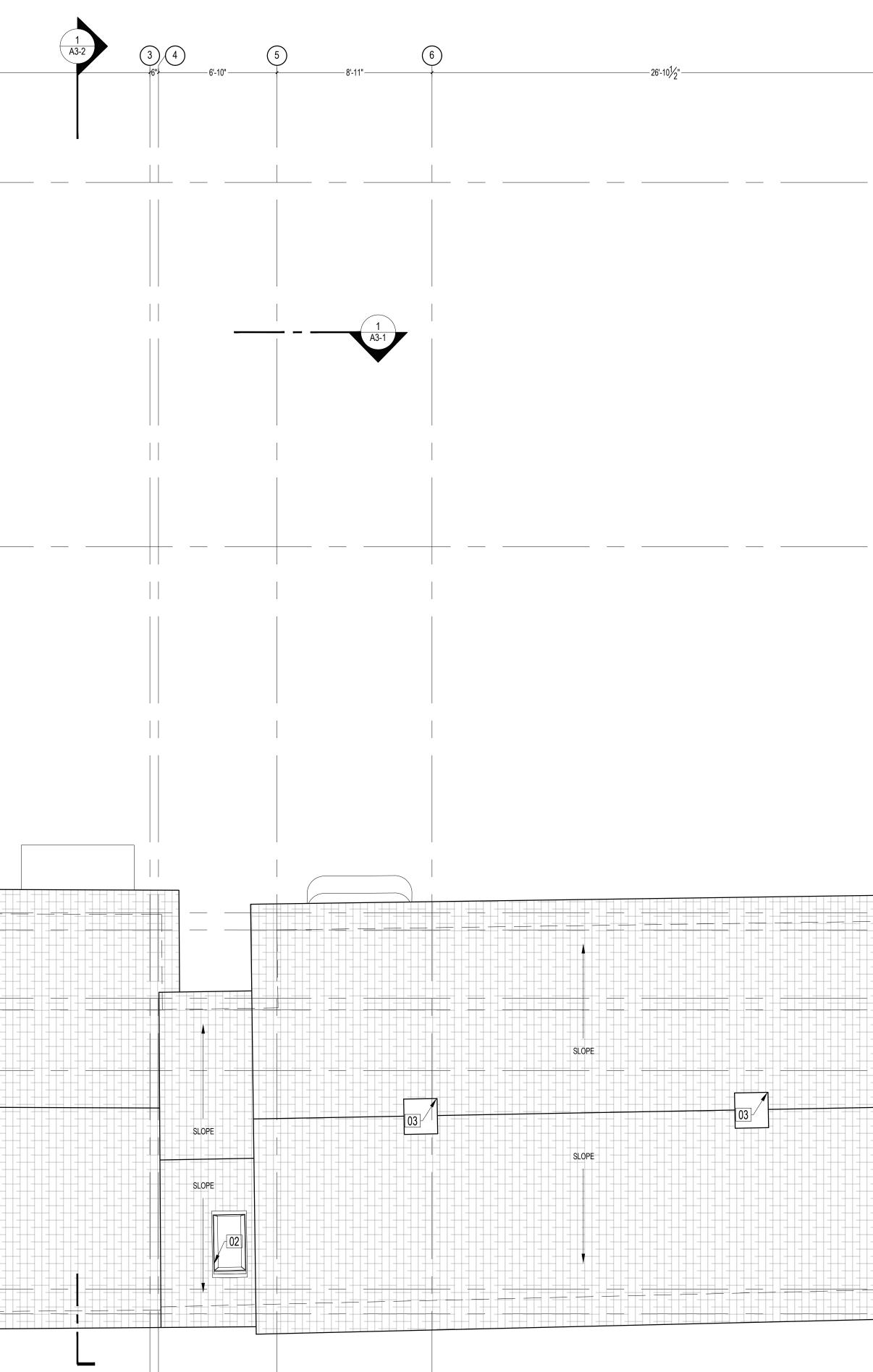
Full sheet size: 22" x 34" Scale: 1/4" = 1'-0"

B SLOPE SLOPE --04 01 _04 SLOPE G SLOPE

(2)

22'-2'

(1)



NOTES:

 $\overline{7}$

ALL DIMENSIONS TO BE CONFIRMED IN THE FIELD BY GENERAL CONTRACTOR

EXISTING WALL

NEW WALL

NOTE: REFER TO EXTERIOR ELEVATIONS A2-1, A2-2, A2-3 FOR ROOF & OVERHANG DIMENSIONS

PROVIDE NEW BLACK ARCHITECTURAL ASPHALT SHINGLES THROUGHOUT

NEW ADDITION RIDGE ELEVATION 15' ABOVE FINISHED GRADE AT DRIVEWAY

- 01 EXTERIOR EDGE OF WALL BELOW
- 02 REPLACE EXISTING SKYLIGHT OVER KITCHEN. TO BE CENTERED OVER KITCHEN SINK.
- 03 REBUILD DECAYING CHIMNEYS IN WOOD & STUCCO.
- 04 PROVIDE NEW SKYLIGHTS ON NEW ADDITION WEST-FACING ROOF.

59 WILLIAMS STREET PROVIDENCE, RI 02906

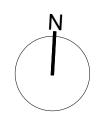
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DESCRIPTION:

DATE:

PROJECT NUMBER:

DRAWING TITLE: ROOF PLAN

Full sheet size: 22" x 34" Scale: 1/4" = 1'-0"

Drawn By: AL

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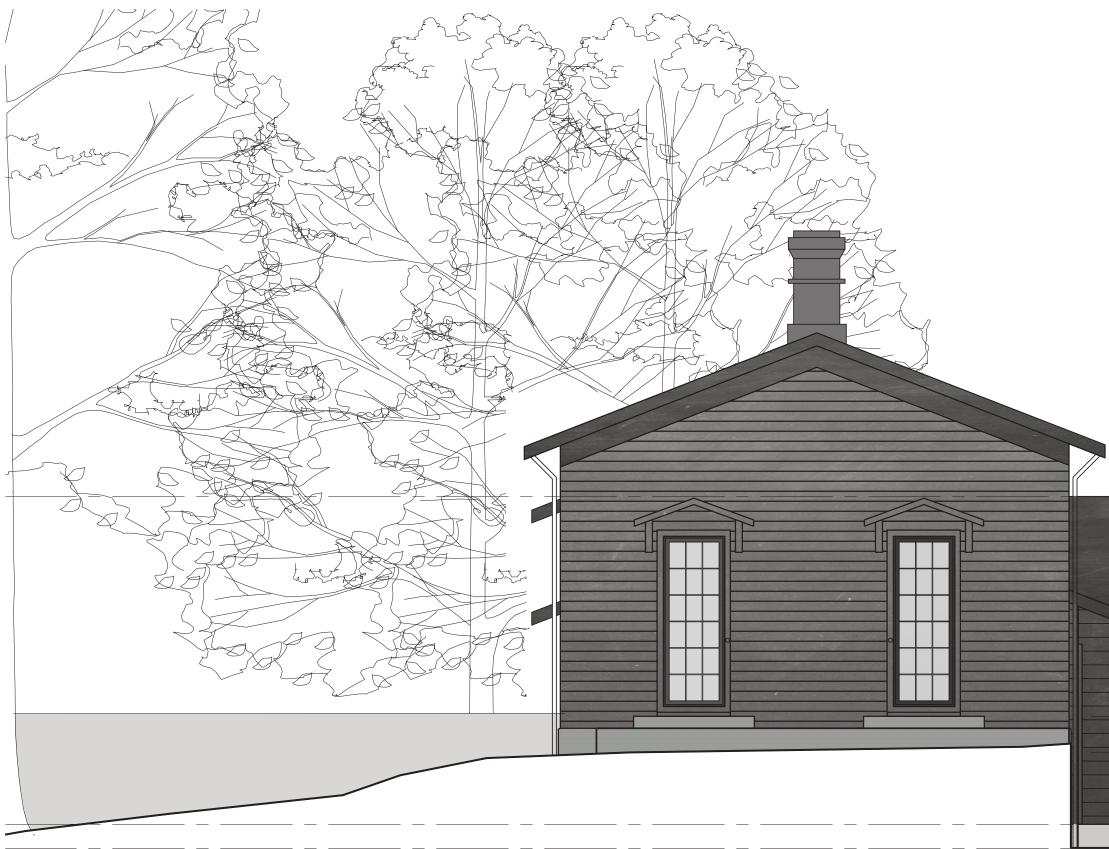




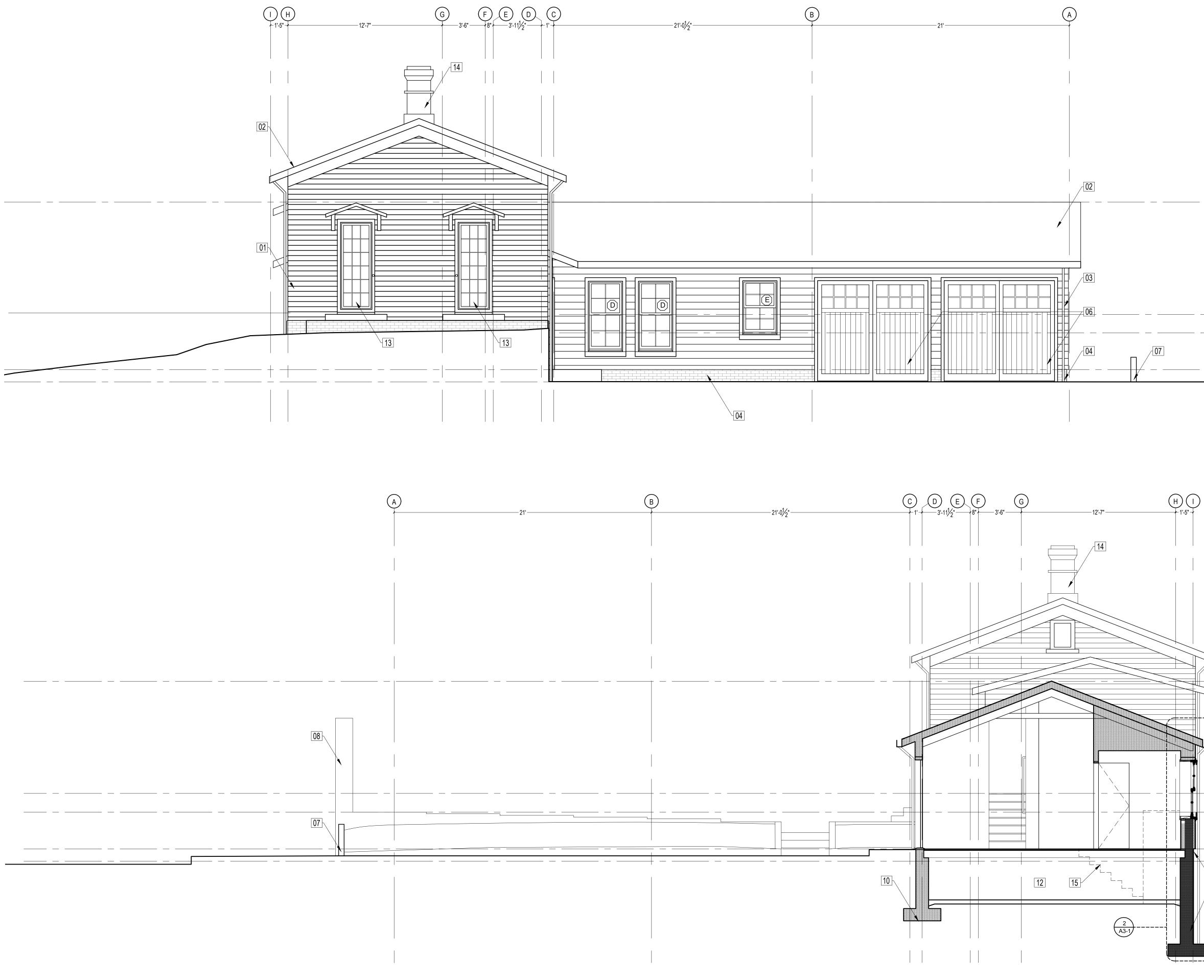


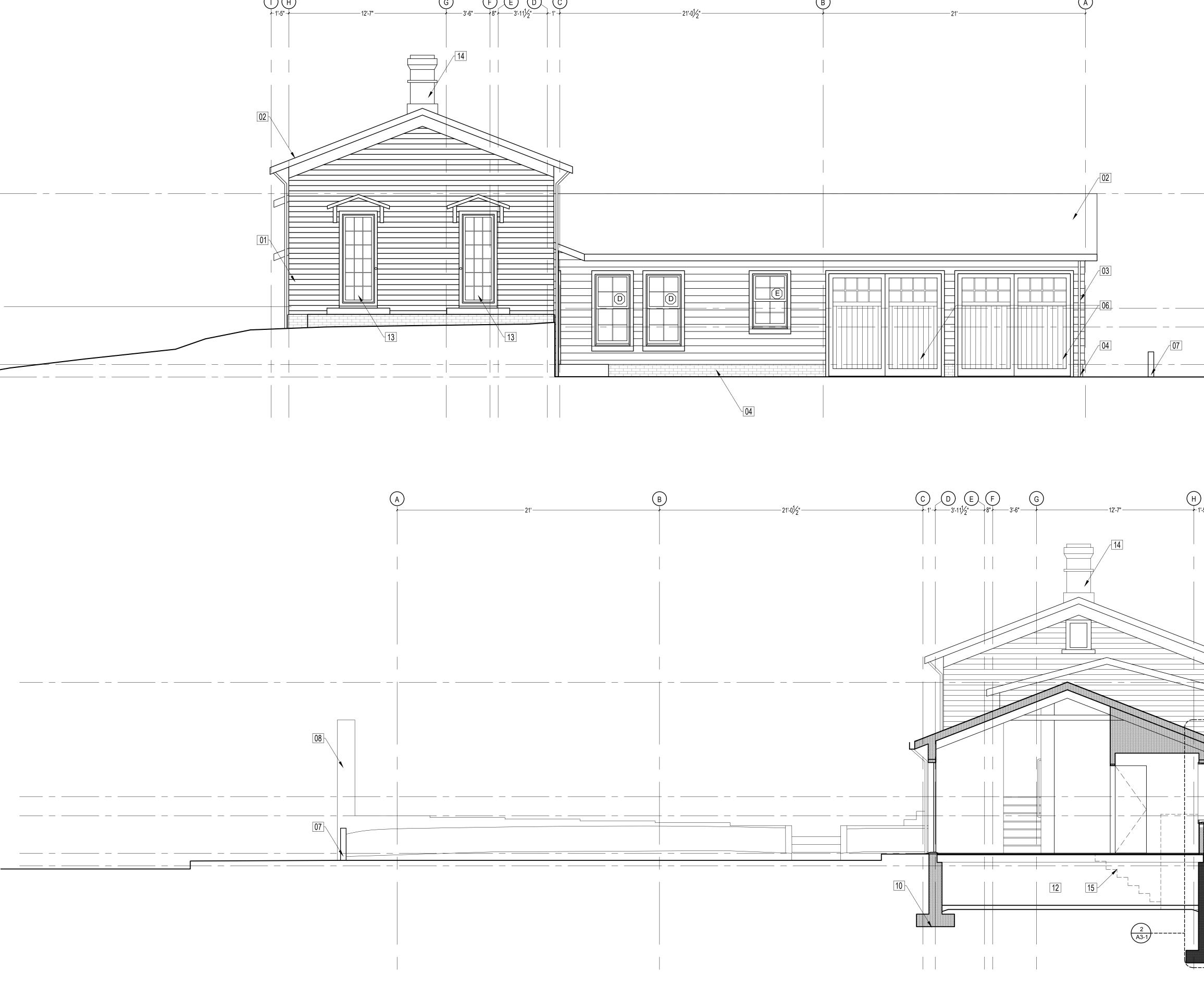












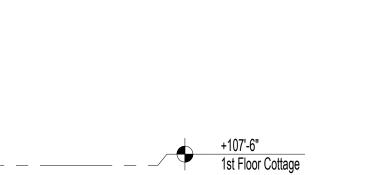


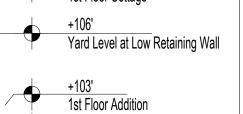
ALL DIMENSIONS TO BE CONFIRMED IN THE FIELD BY GENERAL CONTRACTOR

- 01 EXISTING SIDING TO BE REFINISHED & STAINED W/ CABOT DARK SLATE SOLID STAIN
- 02 NEW ARCHITECTURAL ASPHALT SHINGLES, BLACK
- 03 1x8 PINE SHIPLAP SIDING W/ CABOT SLATE GRAY SOLID STAIN
- 04 EXISTING CONCRETE RETAINING WALL & NEW FOUNDATION TO
- 05 EXISTING BRICK FOUNDATION TO BE REPOINTED & PAINTED TO MATCH OTHERS. MATCH WOOD STAIN.
- 06 GARAGE DOOR
- 07 NEW STONE RETAINING WALL
- 08 EXISTING BROWNSTONE & BRICK WALL
- 09 NEW ADDITION FRONT DOOR NOTE: REFER TO DOOR & WINDOW SCHEDULE A5-1

+117'

Roof Height-New Addition







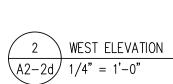
1 EAST ELEVATION A2-2d 1/4" = 1'-0"

- 10 EXISTING FOUNDATION WALLS TO BE VERIFIED IN FIELD BY GENERAL CONTRACTOR
- 11 NEW FOUNDATION WALL
- 12 CRAWLSPACE
- 13 NEW GLAZED DOORS TO REPLACE EXISTING COTTAGE WINDOWS
- 14
 NEW CHIMNEYS TO MATCH EXISTING TO BE CONSTRUCTED OF WOOD & STUCCO
 DESCRIPTION:
- 15 STAIRS & ENTRY INTO EXISTING BASEMENT BEYOND-DASHED

+117' Roof Height-New Addition

+107'-6" 1st Floor Cottage

+103' 1st Floor Addition +102' Driveway Level



59 WILLIAMS STREET PROVIDENCE, RI 02906

OWNER / DEVELOPER COLLEGE HILL REALTY TRUST 188 PRATT STREET PROVIDENCE, RI 02906

T: 401-683-88894 RECEIVE ¹/₂" BRICK VENEER TO MATCH OTHERS. MATCH WOOD STAIN. email: jmfurtadoinc@verizon.net

FRIEDRICH ST.FLORIAN ARCHITECT

146 WESTMINSTER STREET PROVIDENCE, RI 02903

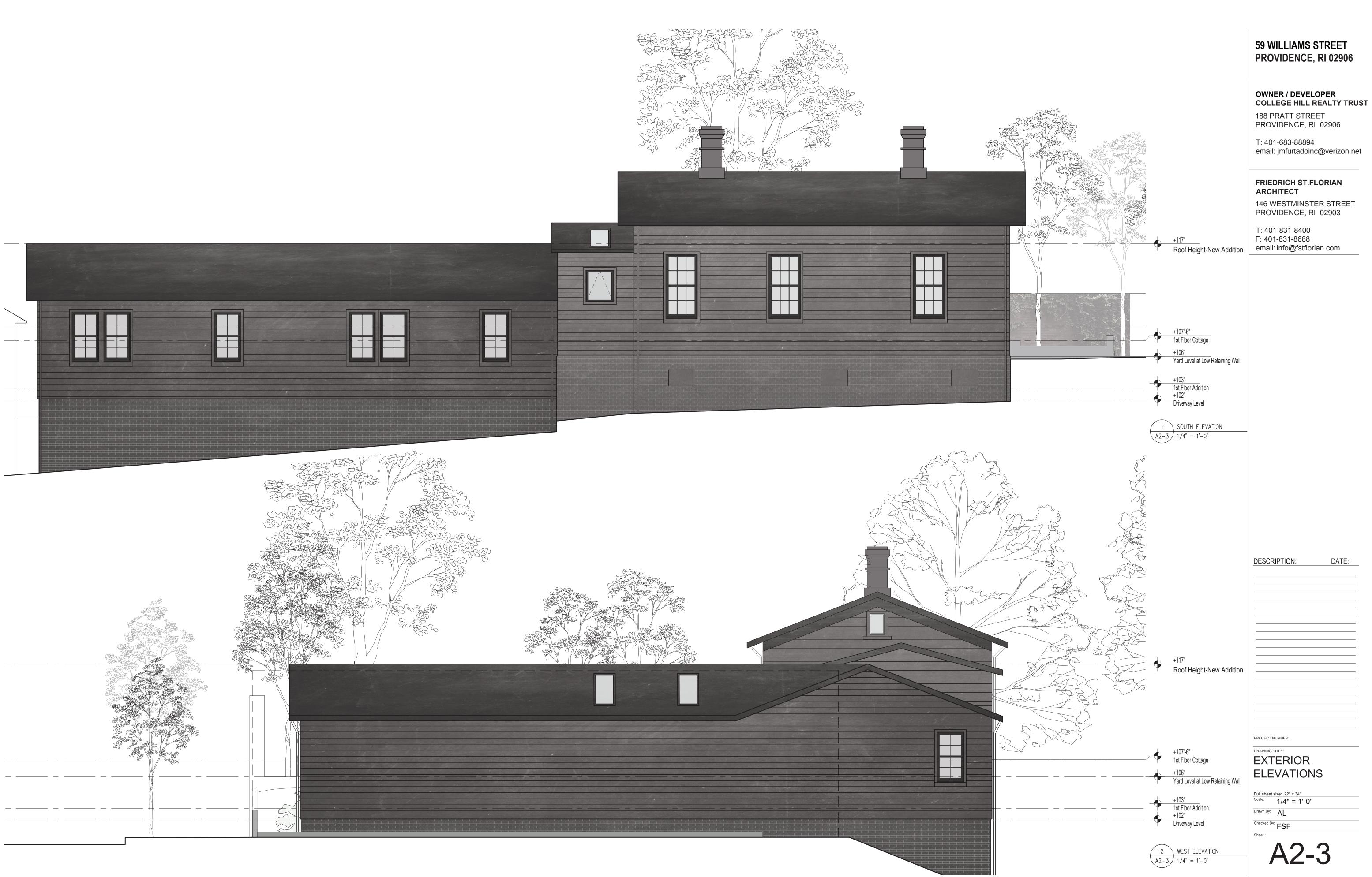
T: 401-831-8400 F: 401-831-8688 email: info@fstflorian.com

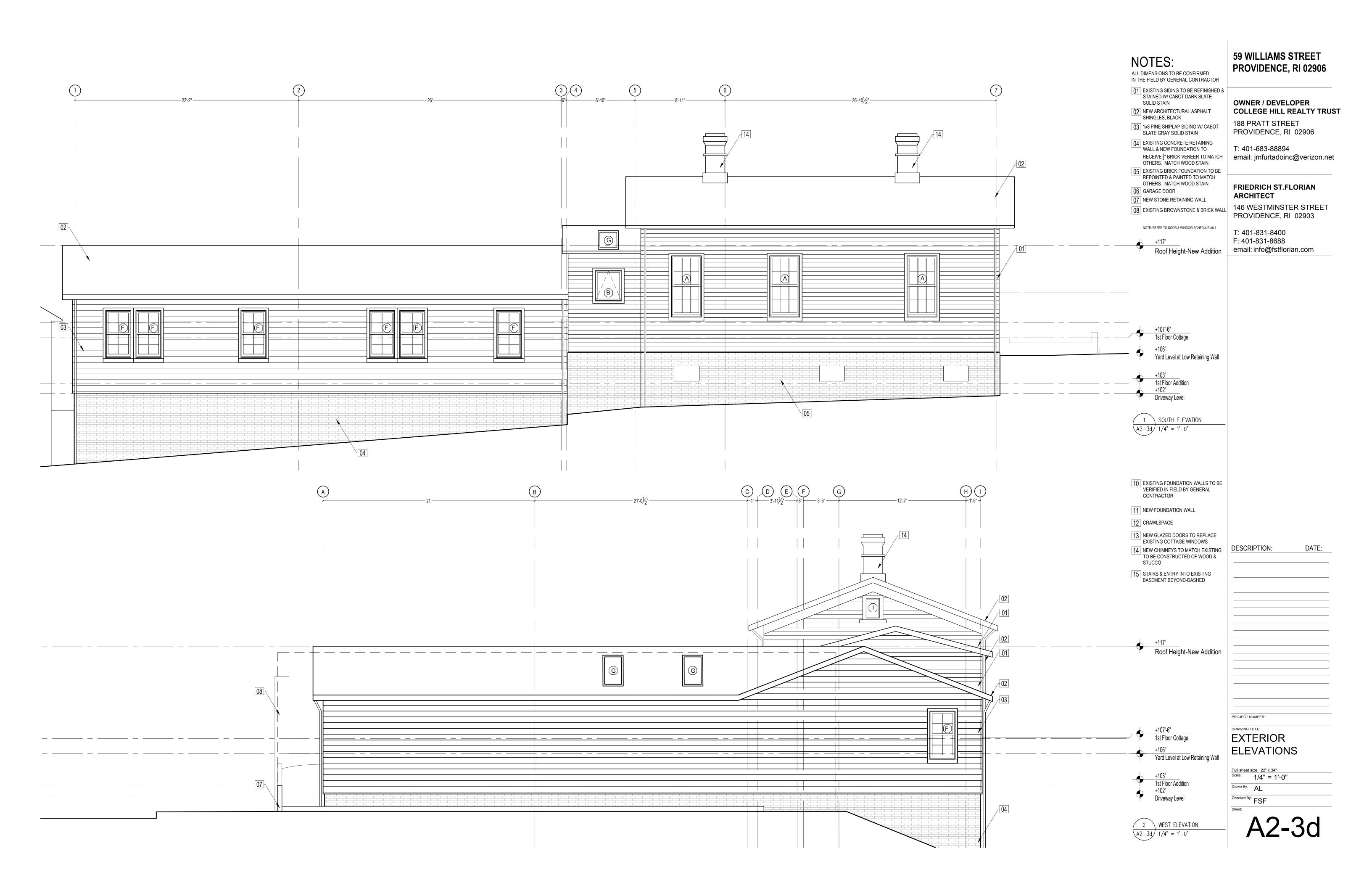
PROJECT NUMBER: DRAWING TITLE: EXT. ELEVATIONS +106' Yard Level at Low Retaining Wall
 Full sheet size:
 22" x 34"

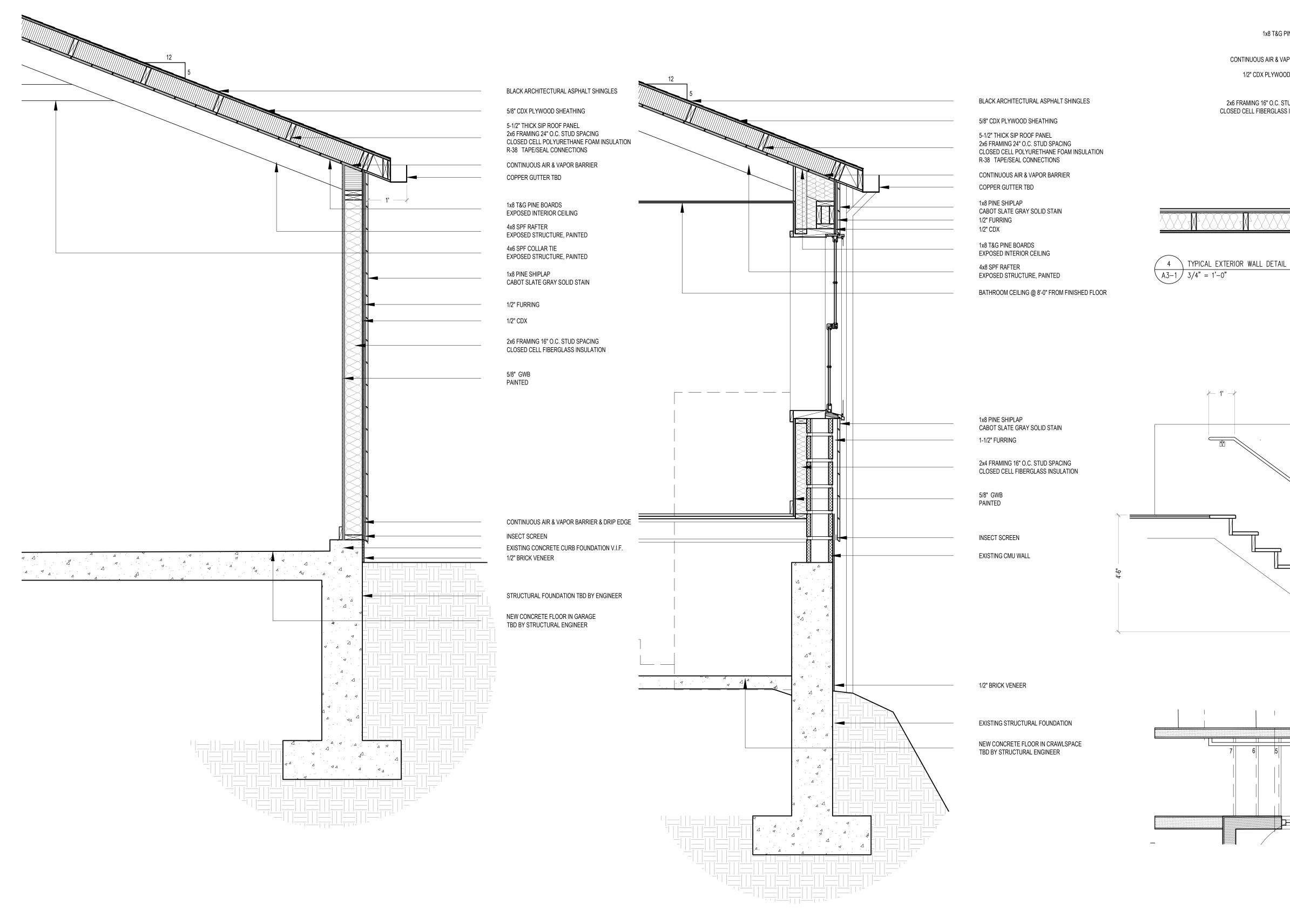
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 1/4" = 1'-0"
 Drawn By: AL Checked By: FSF

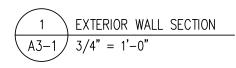
DATE:





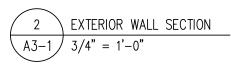


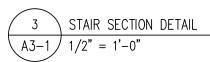


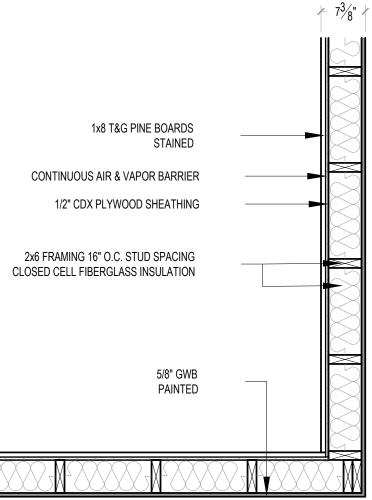




/ 1' /

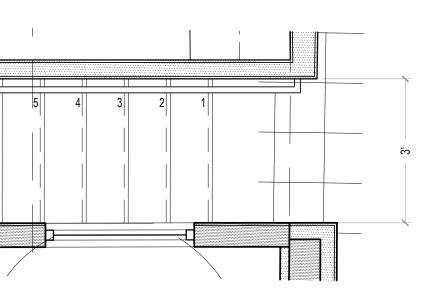






/ 1'-4" -KITCHEN KNEEWALL ā 1¹/₂" X 12" TREAD 73/1 1' _____ 2'-2" _____

7 TREADS @ 7 ³/₄" RISE



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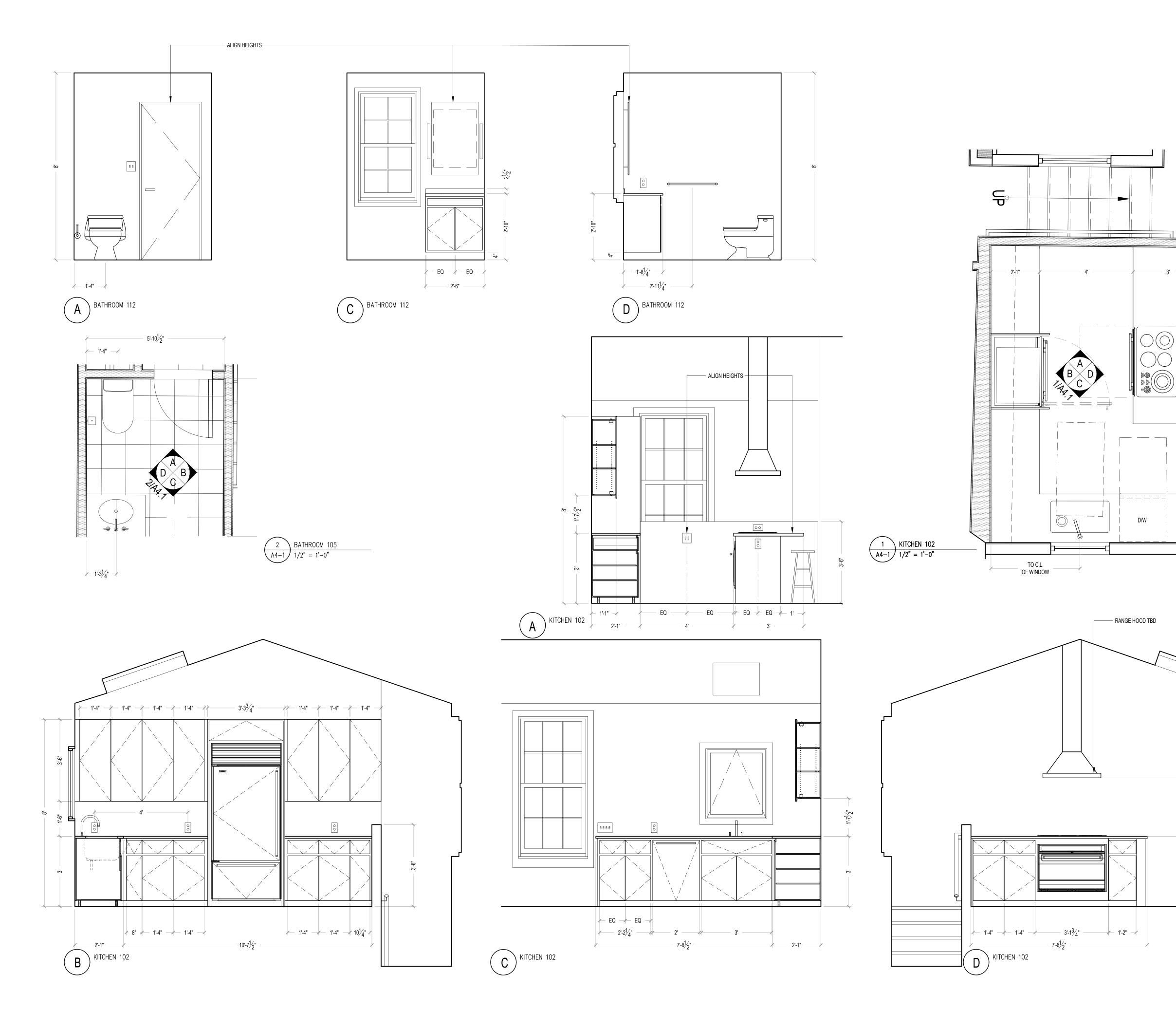
FRIEDRICH ST.FLORIAN ARCHITECT 146 WESTMINSTER STREET

PROVIDENCE, RI 02903

T: 401-831-8400 F: 401-831-8688 email: info@fstflorian.com

DESCRIPTION: DATE: PROJECT NUMBER: DRAWING TITLE: WALL SECTIONS STAIR DETAIL
 Full sheet size:
 22" x 34"

 Scale:
 AS NOTED
 Drawn By: AL Checked By: FSF Sheet: A3-1





ALL LIGHT SWITCHES AT 4'-0" TO C.L. OF FIXTURE U.N.O.

ALL ELECTRICAL OUTLETS AT 11-1/2" FROM MIDPOINT OF FIXTURE U.N.O.

59 WILLIAMS STREET PROVIDENCE, RI 02906

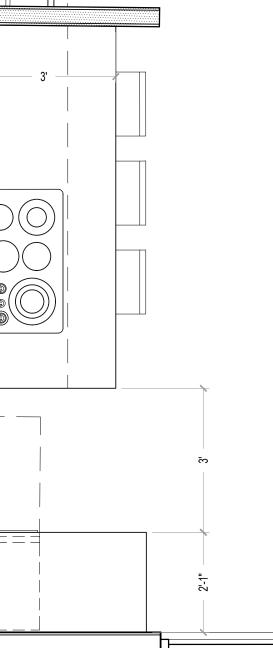
OWNER / DEVELOPER COLLEGE HILL REALTY TRUST 188 PRATT STREET PROVIDENCE, RI 02906

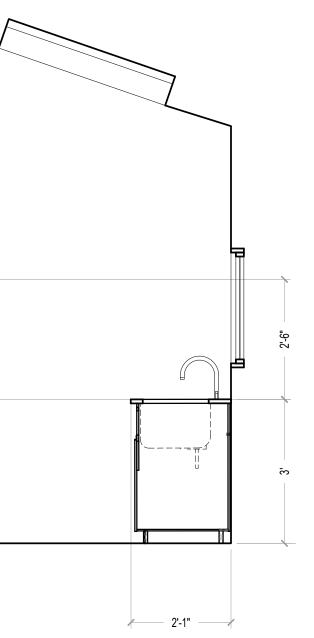
T: 401-683-88894 email: jmfurtadoinc@verizon.net

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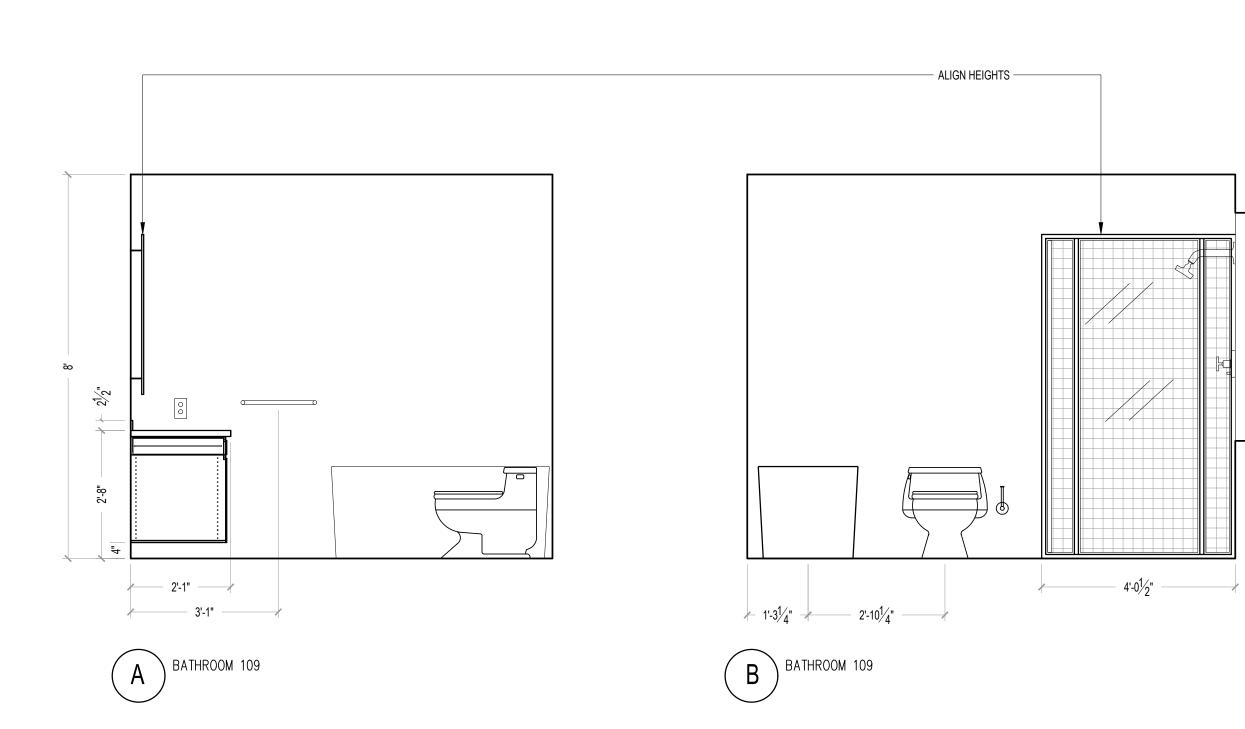
146 WESTMINSTER STREET PROVIDENCE, RI 02903

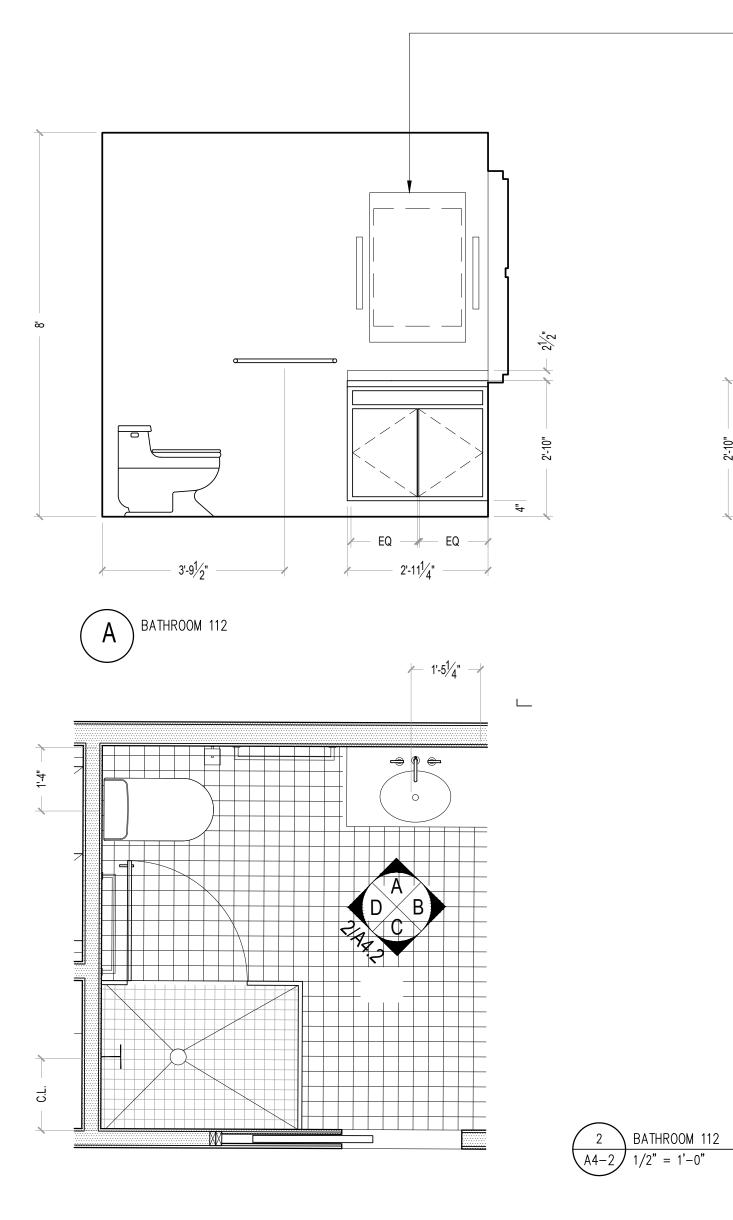
T: 401-831-8400 F: 401-831-8688 email: info@fstflorian.com

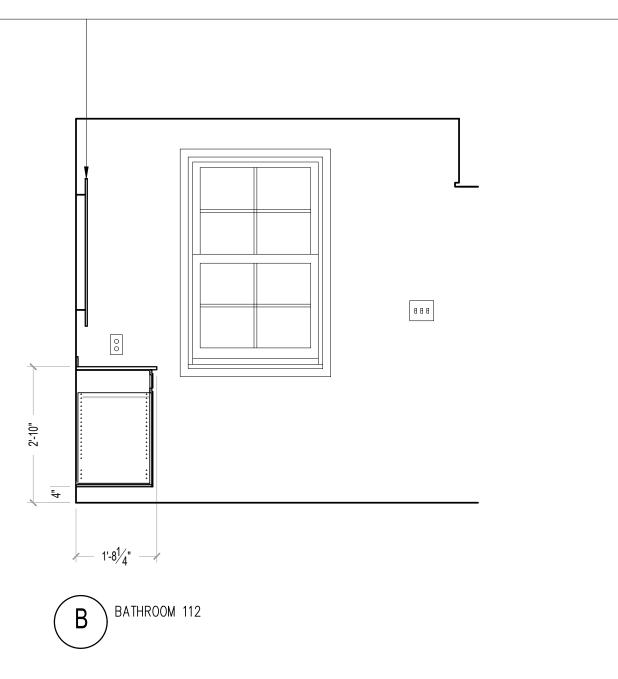


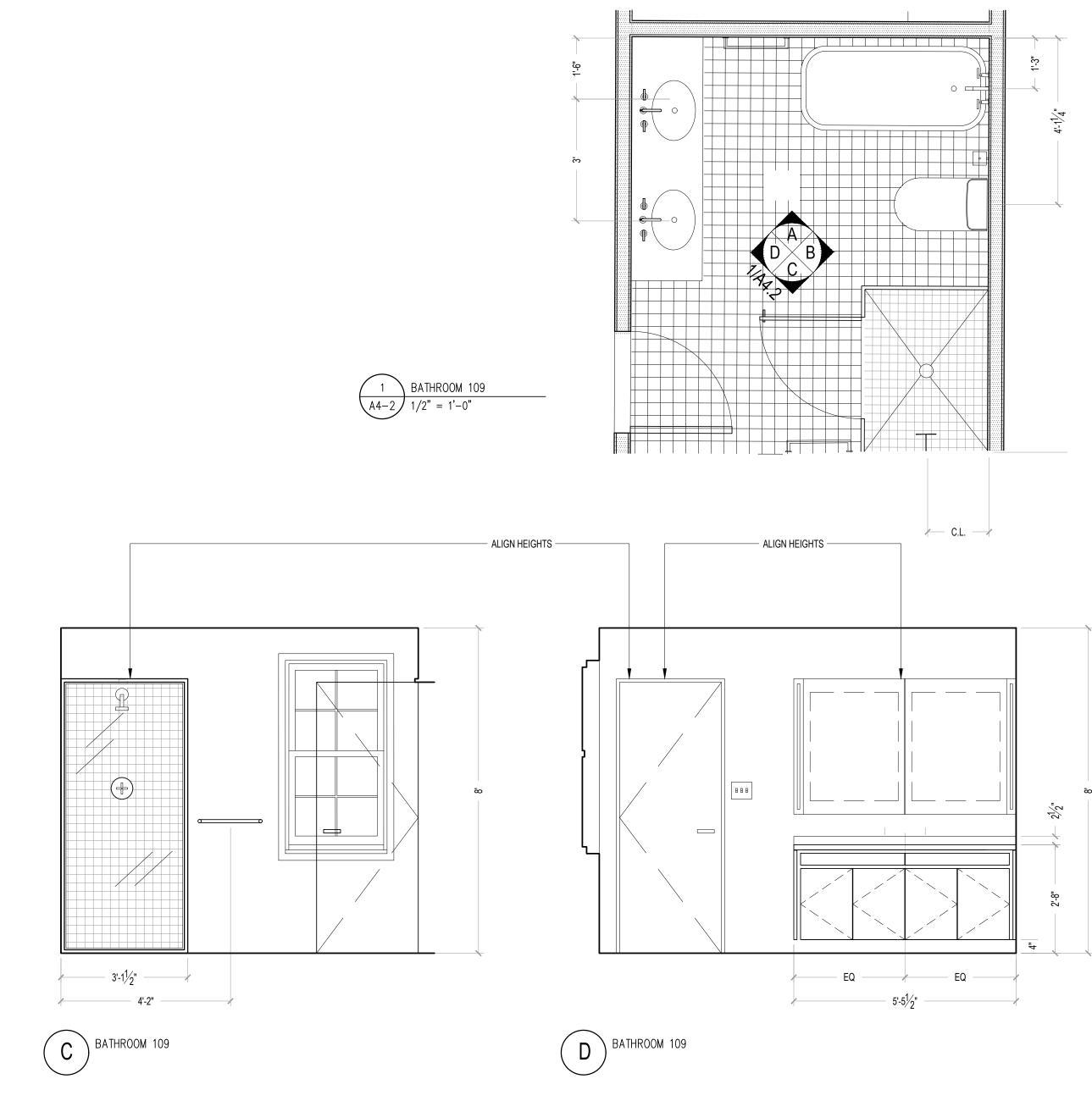


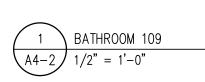
DESCRIPTION:	DATE:
PROJECT NUMBER:	
DRAWING TITLE:	02
BATHROOM	
D/ (11 II (0 01	
Full sheet size: 22" x 34" Scale: 1/2" = 1'-0"	
Drawn By: AL	
Checked By: FSF	

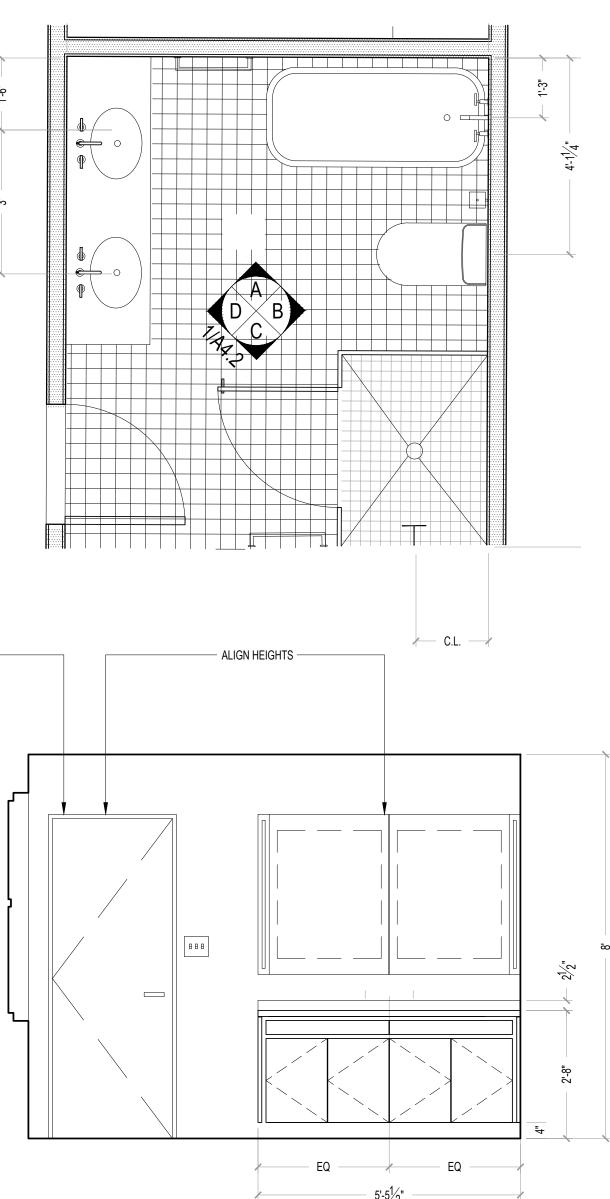






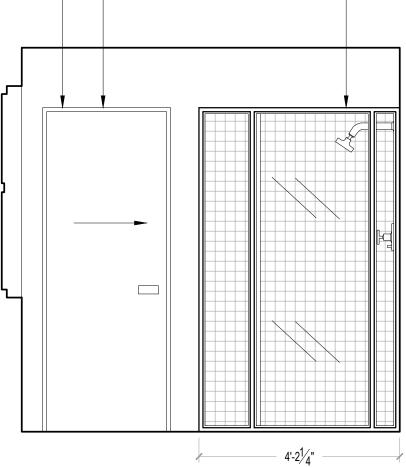




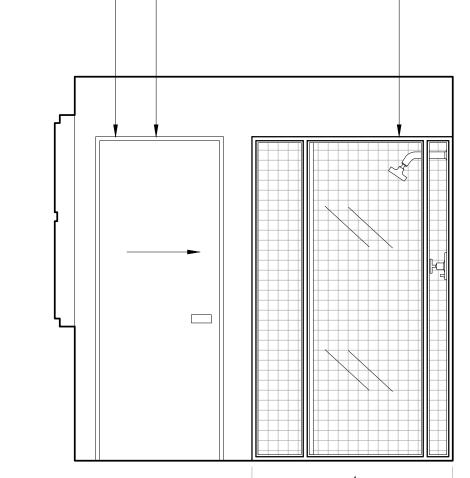


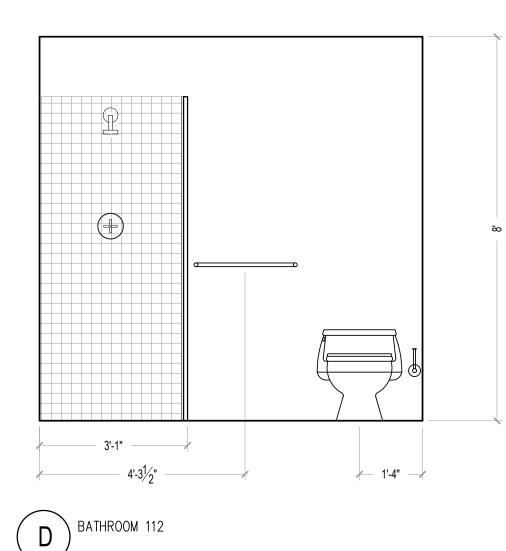


- ALIGN HEIGHTS —



- ALIGN HEIGHTS -





NOTES:

ALL LIGHT SWITCHES AT 4'-0" TO C.L. OF FIXTURE U.N.O.

ALL ELECTRICAL OUTLETS AT 11-1/2" FROM MIDPOINT OF FIXTURE U.N.O.

ALL TOWEL RODS AT 3'-0"

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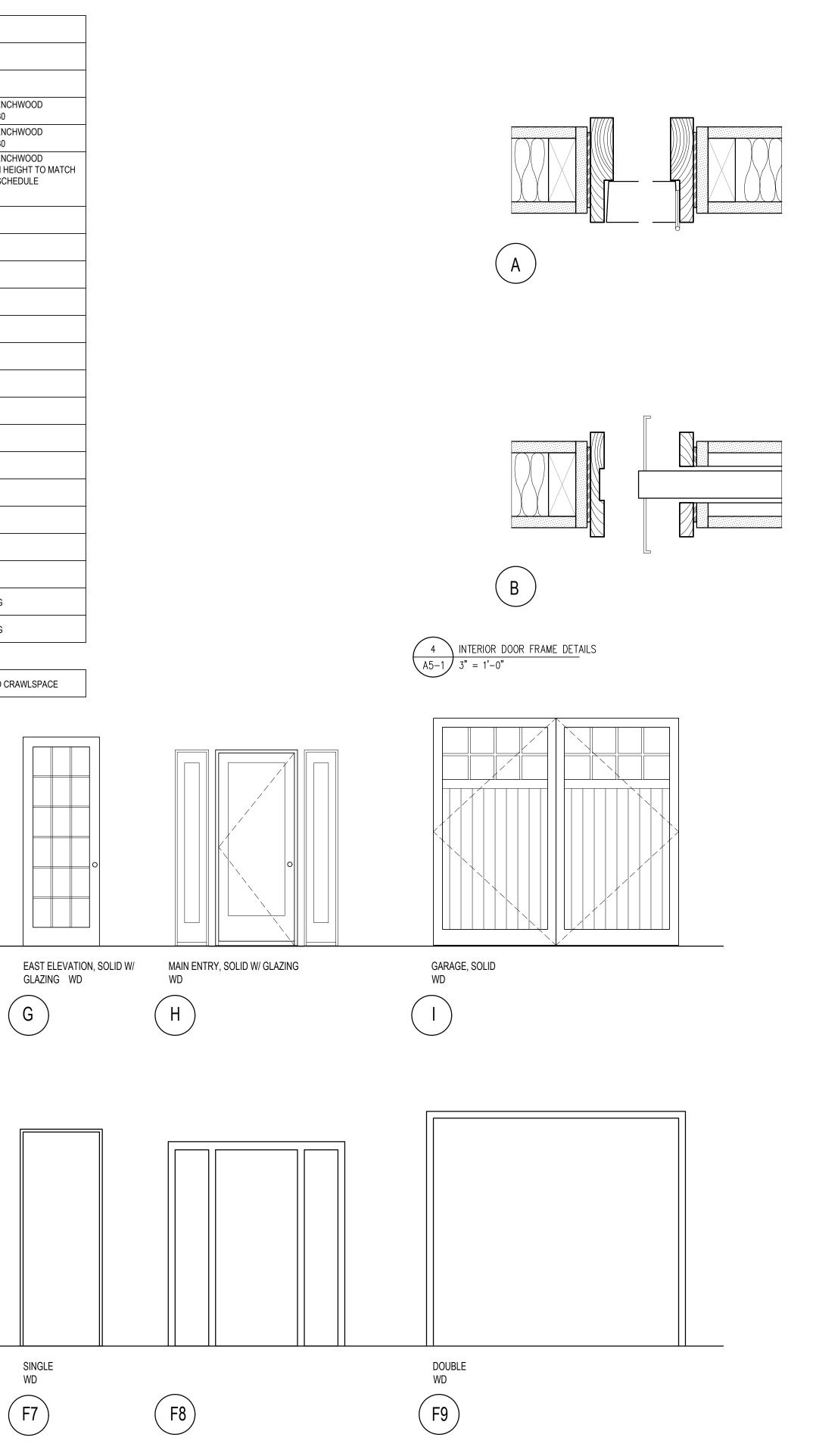
FRIEDRICH ST.FLORIAN ARCHITECT 146 WESTMINSTER STREET

PROVIDENCE, RI 02903

T: 401-831-8400 F: 401-831-8688 email: info@fstflorian.com

DESCRIPTION:	DATE:
PROJECT NUMBER:	
DRAWING TITLE:	S
109 & 112	•
Full sheet size: 22" x 34"	
Scale: 1/2" = 1'-0"	
Drawn By: AL Checked By: FSF	
Sheet:	-
A4-2	2

					014/11/0	EDANE		
	NO.	LOCATION & RM NUMBER	TYPE	DOOR SIZE	SWING	FRAME DETAIL	HARDWARE	REMARKS
	100	COTTAGE FOYER - RM100		EXISTING TO REMAIN	RH		TBD	ANDERSEN 400 SERIES FRENCH
	101	LIVING/DINING ROOM - RM101	G	3'-0"X 8'-0"	RH	7	TBD	HINGED-INSWING FWHID3180
	102	LIVING/DINING ROOM - RM101	G	3'-0" X 8'-0"	LH	7	TBD	ANDERSEN 400 SERIES FRENCH HINGED-INSWING FWHID3180 ANDERSEN 400 SERIES FRENCH
	103	MAIN ENTRY- RM103	Н	3'-0 ¹ / ₈ " X 7'-2 ¹ / ₂ "	LH	8	TBD	HINGED-INSWING - CUSTOM HEIG SIDELIGHTS SEE WINDOW SCHE REFER TO A2.1d
	104	CLOSET- RM104	D	3'-0" X 6'-8"	POCKET	4	TBD	
	105	POWDER ROOM - RM105	В	2'-6" X 6'-8"	LH	2	TBD	
	106	TO BASEMENT	A	2'-8" X 6'-8"	LH	1	TBD	
	107	OFFICE- RM106	A	2'-8" X 6'-8"	LH	1	TBD	
	108	CLOSET- RM107	В	(2) 2'-0" X 6'-8"	POCKET	2	TBD	
	109	BEDROOM 1- RM108	A	2'-8" X 6'-8"	LH	1	TBD	
	110	BATHROOM 1- RM109	В	2'-6" X 6'-8"	RH	2	TBD	
	111	DRESSING ROOM - RM110	с	2'-6" X 6'-8"	POCKET	3	TBD	
	112	BEDROOM 2- RM111	A	2'-8" X 6'-8"	RH	1	TBD	
	113	BATHROOM 2 - RM112	с	2'-6" X 6'-8"	POCKET	3	TBD	
	114	CLOSET - RM113	с	2'-6" X 6'-8"	POCKET	3	TBD	
	115	STORAGE - RM116	E	(2) 2'-6" X 6'-8"	POCKET	5	TBD	
	116	LAUNDRY ROOM - RM117	E	2'-10" X 6'-8"	LH	5	TBD	
	117	GARAGE - RM118	F	3'-0" X 6'-8"	RH	6	TBD	
	118a	GARAGE - RM118		(2) 4'-6" X 8'-2 ¹ / ₄ "	RH/LH	9	TBD	CUSTOM WOOD W/ GLAZING
	118b	GARAGE - RM118		$(2) 4 - 6" \times 8 - 2\frac{1}{4}$ $(2) 4' - 6" \times 8' - 2\frac{1}{4}"$	RH/LH	9	TBD	CUSTOM WOOD W/ GLAZING
	1100					9		
DOOR SCHEDULE	001	BASEMENT STAIR 003	TBD	TBD	LH	TBD	TBD	CUSTOM DOOR/PANEL INTO CRA
-								
	SOLID CORE WD	SOLID CORE SC WD W	DLID CORE D	DOUBLE SOLID COF WD	RE DOUE WD	ILE SOLID COR	E	SOLID CORE WD
	(A)							
DOOR TYPES 3/8" = 1'-0"					E)	((F) (





REFER WINDOW SCHEDULE A5.2 FOR SIDELIGHT COORDINATION W/ NEW ADDITION MAIN ENTRY DOOR

59 WILLIAMS STREET PROVIDENCE, RI 02906

OWNER / DEVELOPER COLLEGE HILL REALTY TRUST 188 PRATT STREET PROVIDENCE, RI 02906

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FRIEDRICH ST.FLORIAN ARCHITECT

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T: 401-831-8400 F: 401-831-8688 email: info@fstflorian.com

DESCRIPTION:

DATE:

PROJECT NUMBER: DOOR SCHEDULE & DETAILS

DRAWING TITLE:

Full sheet size: 22" x 34"
Scale:
AS NOTED

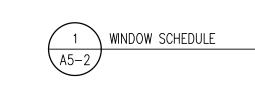
A5-1

Drawn By: AL

Sheet:

Checked By: FSF

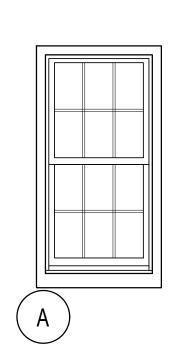
WINDOW SCHEDUL	E: COTTAGE RE	SIDENCE				DETAILS		NOTES
WINDOW TYPE	QTY	LOCATION	MANUFACTURER	MODEL	TYPE	ROUGH OPENING (WxH)	FRAME TYPE	
Α	3	LIVING / DINING ROOM - RM101	ANDERSEN 400 SERIES WOODRIGHT	WDH210510	OPERABLE, DH	$3'-0\frac{1}{8}" \times 6'-0\frac{7}{8}"$		NEW WINDOWS TO MATCH EXISTING
А	1	KITCHEN - RM102	ANDERSEN 400 SERIES WOODRIGHT	WDH210510	OPERABLE, DH	3'-0 ¹ / ₈ " x 6'-0 ⁷ / ₈ "		NEW WINDOWS TO MATCH EXISTING
А	2	LIVING / DINING ROOM - RM101	ANDERSEN 400 SERIES WOODRIGHT	WDH210510	OPERABLE, DH	3'-0 ¹ ₈ " × 6'-0 ⁷ ₈ "		NEW WINDOWS TO MATCH EXISTING
А	1	KITCHEN - RM102	ANDERSEN 400 SERIES WOODRIGHT	WDH210510	OPERABLE, DH	3'-0 ¹ / ₈ " x 6'-0 ⁷ / ₈ "		NEW WINDOWS TO MATCH EXISTING
В	1	KITCHEN - RM102	ANDERSEN 400 SERIES WOODRIGHT	AXW281	OPERABLE, A	2'-8" x 3'-0 ¹ / ₂ "		CENTERED OVER SINK & WITH SKYLIGHT
С	4	HALLWAY 114	ANDERSEN 400 SERIES WOODRIGHT	WDH2662	OPERABLE, DH	2'-8 ¹ / ₈ " x 6'-4 ⁷ / ₈ "		
D	2	BEDROOM 2 - RM111	ANDERSEN 400 SERIES WOODRIGHT	WDH2856	OPERABLE, DH	2'-10 ¹ / ₈ " x 5'-8 ⁷ / ₈ "		
Е	1	BATHROOM 2 - RM112	ANDERSEN 400 SERIES WOODRIGHT	WDH2842	OPERABLE, DH	2'-10 ¹ / ₈ " x 4'-4 ⁷ / ₈ "		
F	3	BEDROOM 1 - RM108	ANDERSEN 400 SERIES WOODRIGHT	WDH2446	OPERABLE, DH	2'-6 ¹ / ₈ " x 4'-8 ⁷ / ₈ "		
	1	BATHROOM 1 - RM109	ANDERSEN 400 SERIES WOODRIGHT	WDH2446	OPERABLE, DH	2'-6 ¹ / ₈ " x 4'-8 ⁷ / ₈ "		
	2	OFFICE - RM108	ANDERSEN 400 SERIES WOODRIGHT	WDH2446	OPERABLE, DH	2'-6 ¹ / ₈ " x 4'-8 ⁷ / ₈ "		
	1	POWDER ROOM - RM105	ANDERSEN 400 SERIES WOODRIGHT	WDH2446	OPERABLE, DH	2'-6 ¹ / ₈ " x 4'-8 ⁷ / ₈ "		
	1	HALLWAY - RM114	ANDERSEN 400 SERIES WOODRIGHT	WDH2446	OPERABLE, DH	2'-6 ¹ / ₈ " x 4'-8 ⁷ / ₈ "		
	2	GARAGE - RM118	ANDERSEN 400 SERIES WOODRIGHT	WDH2446	OPERABLE, DH	2'-6 ¹ / ₈ " x 4'-8 ⁷ / ₈ "		
G	3	KITCHEN - RM102, HALLWAY - RM 115	VELUX RESIDENTIAL SKYLIGHT	C04 EPM	OPERABLE VSS/VSE	21 <u>1</u> " x 37 <u>7</u> "		DECK-MOUNTED SKYLIGHT
Н	1	ATTIC		EXISTING/ CUSTOM	FIXED	V.I.F.		EXISTING ATTIC WINDOW TO BE REPLACED
I	1	ABOVE COTTAGE FRONT DOOR	ANDERSEN 400 SERIES WOODRIGHT	CUSTOM	FIXED	V.I.F.		TRANSOM TO MATCH EXISTING
J	2	MAIN ENTRY SIDELIGHTS	ANDERSEN 400 SERIES WOODRIGHT	CUSTOM	FIXED	V.I.F.		ANDERSEN 400 SERIES FRENCHWOOD PATH DOOR SIDELIGHT-CUSTOM HEIGHT TO MATC MAIN ENTRY DOOR SEE DOOR SCHEDULE REFER TO A2.1d

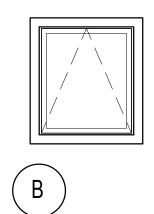


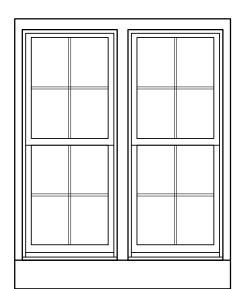
DH = DOUBLE HUNG TRUE DIVIDED LIGHT A = AWNING

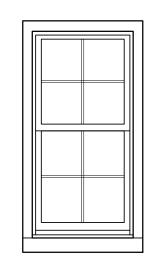
V.I.F.=VERIFY IN FIELD

ALL WINDOWS DOUBLE PANE INSULATED

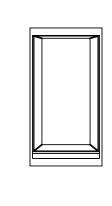




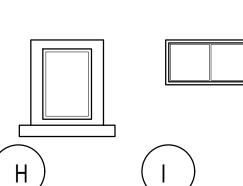




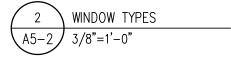
C



(G)



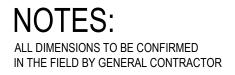
(D)



F







REFER TO ACCOMPANYING DATA FOR VELUX SKYLIGHT INSTALLATION & ANDERSEN WINDOW 400 SERIES

59 WILLIAMS STREET PROVIDENCE, RI 02906

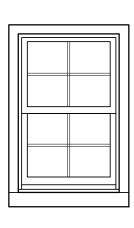
OWNER / DEVELOPER COLLEGE HILL REALTY TRUST 188 PRATT STREET PROVIDENCE, RI 02906

T: 401-683-88894 email: jmfurtadoinc@verizon.net

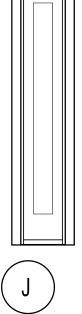
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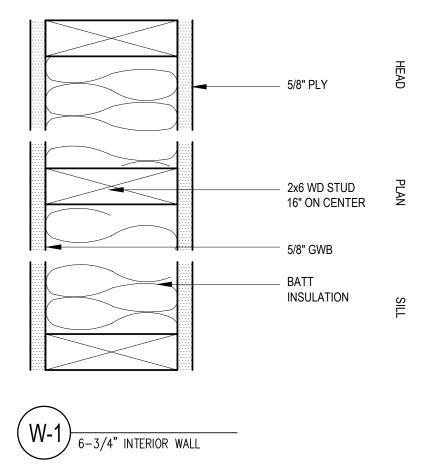


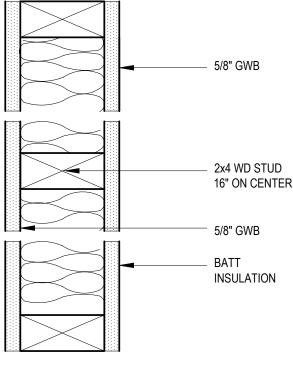


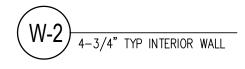
DESCRIPTION:	DATE:
PROJECT NUMBER:	
WINDOW TY SCHEDULE	PES &
Full sheet size: 22" x 34" Scale: AS NOTED Drawn By: AL Checked By: FSF Obstation Checked By:	
A5-2	2

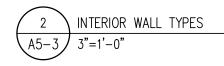
FINISH SCHEDULE: COTTAGE	RESIDENCE							
	FLOOR	BASE		WALLS			CEILING	REMARKS
RM NAME/ NUMBER			NORTH	SOUTH	EAST	WEST		
								*WALL/CEILING PAINT BENJAMIN MOORE DISTANT GRAY U.N.O.
COTTAGE FOYER 100a	STRIP WOOD	SURFACE PTD. WD	PTD GYP BD BM EGGSHELL	PTD WD BM FLAT	EXISTING WOOD FLOOR TO BE REFINISHED			
STAIR 100b	WOOD TREAD	N/A						
LIVING/DINING ROOM 101			PTD GYP BD BM EGGSHELL	PTD GYP BD BM FLAT				
KITCHEN 102	STRIP WOOD	SURFACE PTD. WD	PTD GYP BD BM EGGSHELL	PTD GYP BD BM FLAT	EXISTING WOOD FLOOR TO BE REFINISHED			
MAIN ENTRY 103	STONE TILE	SURFACE PTD. WD	PTD GYP BD BM EGGSHELL	PTD WD BM FLAT				
CLOSET 104	STONE TILE	SURFACE PTD. WD	PTD GYP BD BM EGGSHELL	PTD GYP BD BM FLAT				
POWDER ROOM 105	STONE TILE	SURFACE PTD. WD	PTD GYP BD BM EGGSHELL	PTD GYP BD BM FLAT				
OFFICE 106	STRIP WOOD	SURFACE PTD. WD	PTD GYP BD BM EGGSHELL	PTD WD BM FLAT				
CLOSET 107	STRIP WOOD	SURFACE PTD. WD	PTD GYP BD BM EGGSHELL	PTD GYP BD BM FLAT				
BEDROOM 1 108	STRIP WOOD	SURFACE PTD. WD	PTD GYP BD BM EGGSHELL	PTD WD BM FLAT				
BATHROOM 1 109	PORCELIN	SURFACE PTD. WD	PTD GYP BD BM EGGSHELL	PTD GYP BD BM FLAT				
DRESSING ROOM 110	STRIP WOOD	SURFACE PTD. WD	PTD GYP BD BM EGGSHELL	PTD GYP BD BM FLAT				
BEDROOM 2 111	STRIP WOOD	SURFACE PTD. WD	PTD GYP BD BM EGGSHELL	PTD WD BM FLAT				
BATHROOM 2 112	PORCELIN	SURFACE PTD. WD	PTD GYP BD BM EGGSHELL	PTD GYP BD BM FLAT				
CLOSET 113	STRIP WOOD	SURFACE PTD. WD	PTD GYP BD BM EGGSHELL	PTD GYP BD BM FLAT				
HALLWAY 114	STRIP WOOD	SURFACE PTD. WD	PTD GYP BD BM EGGSHELL	PTD WD BM FLAT				
HALLWAY 115	STRIP WOOD	SURFACE PTD. WD	PTD GYP BD BM EGGSHELL	PTD WD BM FLAT				
STORAGE 116	STRIP WOOD	SURFACE PTD. WD	PTD GYP BD BM EGGSHELL	PTD GYP BD BM FLAT				
LAUNDRY ROOM 117	PORCELIN	SURFACE PTD. WD	PTD GYP BD BM EGGSHELL	PTD GYP BD BM FLAT				
GARAGE 118	CONCRETE	SURFACE PTD. WD	PTD GYP BD BM EGGSHELL	PTD WD BM FLAT				
BASEMENT STAIR 001	WOOD TREAD	N/A	PTD GYP BD BM EGGSHELL	PTD GYP BD BM FLAT				
BASEMENT 002	CONCRETE	N/A	N/A	N/A	N/A	N/A	N/A	

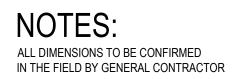












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146 WESTMINSTER STREET PROVIDENCE, RI 02903

T: 401-831-8400 F: 401-831-8688 email: info@fstflorian.com

GWB	HEAD
WD STUD DN CENTER	PLAN

SILL

DESCRIPTION:

DATE:

DRAWING TITLE: FINISH SCHEDULE WALL TYPES

PROJECT NUMBER:

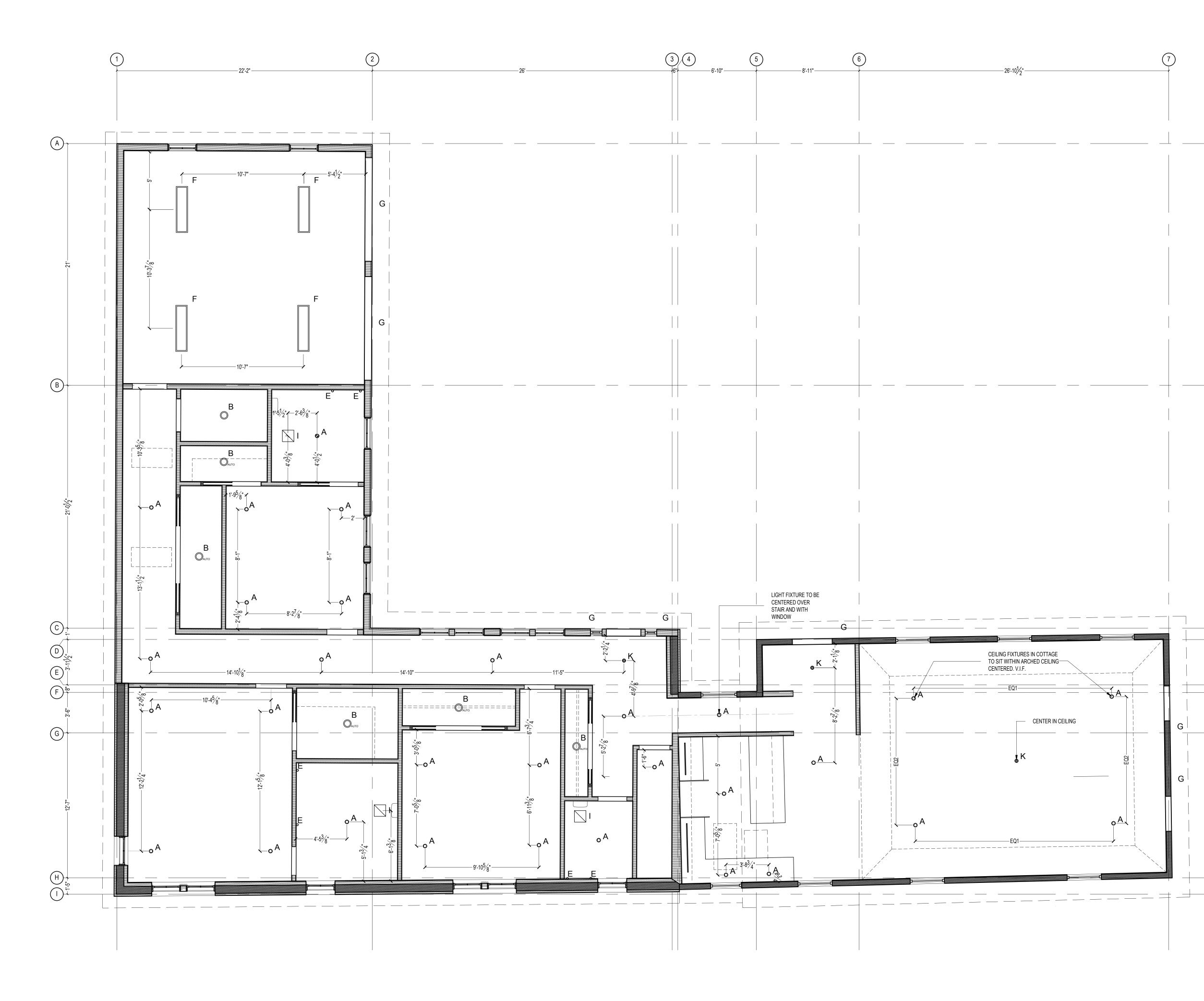
Full sheet size: 22" x 34" Scale: AS NOTED

A5-3

Drawn By: AL

Sheet:

Checked By: FSF



ALL DIMENSIONS TO BE CONFIRMED IN THE FIELD BY GENERAL CONTRACTOR

EXISTING WALL NEW WALL A 3" RECESSED CEILING LED LIGHT FIXTURE B 5" RECESSED CEILING LED LIGHT FIXTURE B1^{5"} RECESSED CEILING LED LIGHT FIXTURE DIRECTIONAL RECESSED LED LIGHT FIXTURE D OUTDOOR RECESSED LIGHT FIXTURE • E VANITY LIGHT FIXTURE **F** 1' X 4' LED FIXTURE ------ H LINEAR LED FIXTURE OVER & UNDER COUNTER L EXHAUST FAN K PENDANT FIXTURE

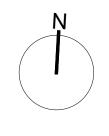
59 WILLIAMS STREET PROVIDENCE, RI 02906

OWNER / DEVELOPER COLLEGE HILL REALTY TRUST 188 PRATT STREET PROVIDENCE, RI 02906

T: 401-683-88894 email: jmfurtadoinc@verizon.net

FRIEDRICH ST.FLORIAN ARCHITECT 146 WESTMINSTER STREET PROVIDENCE, RI 02903

T: 401-831-8400 F: 401-831-8688 email: info@fstflorian.com



DESCRIPTION:

DATE:

MAIN FLOOR

Full sheet size: 22" x 34" Scale: 1/4" = 1'-0"

A6-1

DRAWING TITLE:

RCP

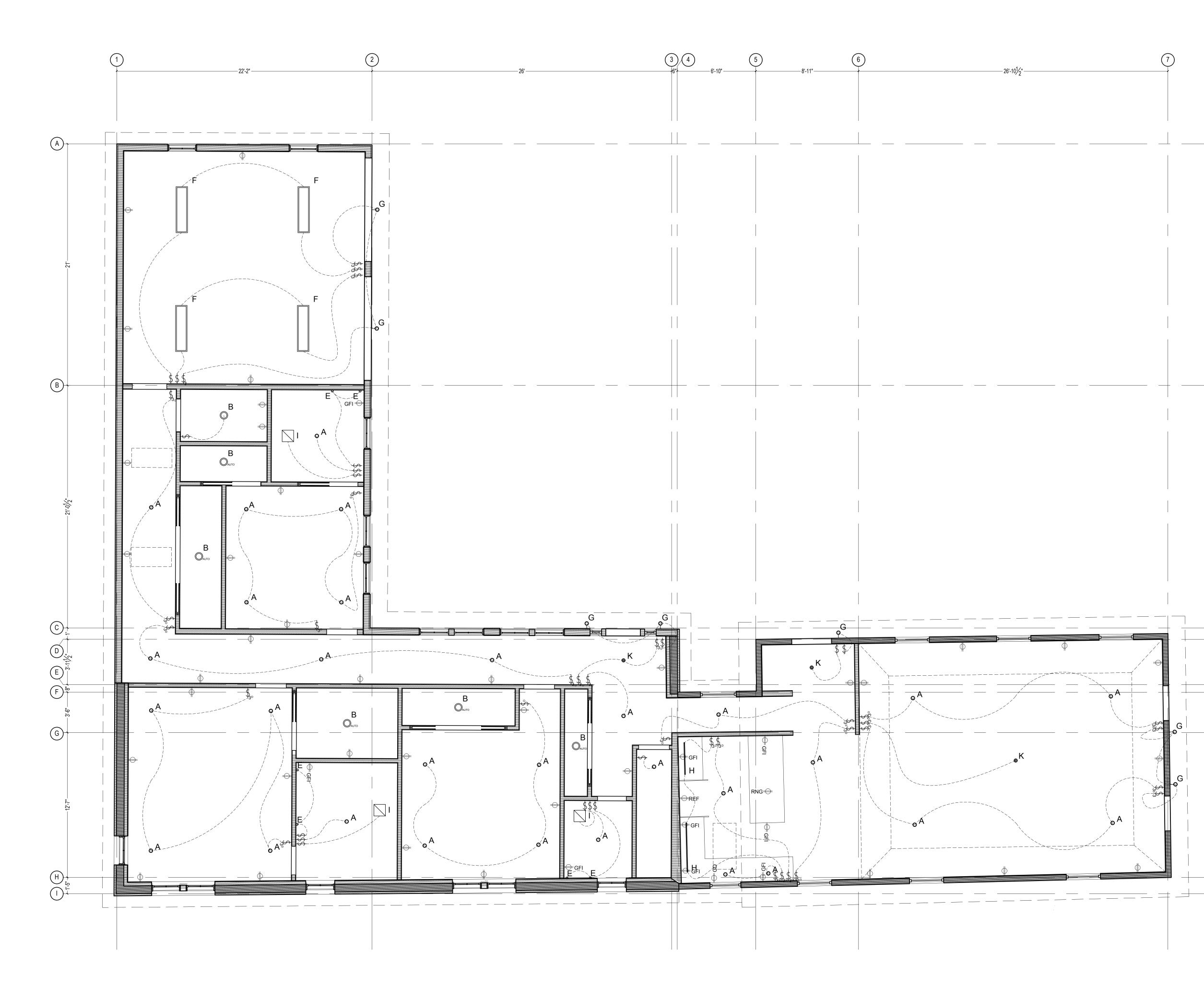
Drawn By: AL

Sheet:

Checked By: FSF

 $\begin{array}{c|c} 1 & \text{MAIN FLOOR RCP} \\ \hline A6-1 & 1/4" = 1'-0" \end{array}$

PROJECT NUMBER:



ALL DIMENSIONS TO BE CONFIRMED IN THE FIELD BY GENERAL CONTRACTOR REFER TO A4.1, A4.2 FOR OUTLET & SWITCH HEIGHTS

	EXISTING WALL
	NEW WALL
	3" RECESSED CEILING LED LIGHT FIXTURE
B	5" RECESSED CEILING LED LIGHT FIXTURE
© B1	5" RECESSED CEILING LED LIGHT FIXTURE
© C	DIRECTIONAL RECESSED LED LIGHT FIXTURE
D	OUTDOOR RECESSED LIGHT FIXTURE
• E	VANITY LIGHT FIXTURE
F	1' X 4' LED FIXTURE
⊢⊖ G	EXTERIOR WALL MOUNT LIGHT FIXTURE
— Н	LINEAR LED FIXTURE OVER & UNDER COUNTER
	EXHAUST FAN
⊕ K	PENDANT FIXTURE
\$	LIGHT SWITCH
s_3	3-WAY LIGHT SWITCH
\$ _{DIM}	LIGHT SWITCH W/ DIMMER
ф	DUPLEX OUTLET
	RANGE DUPLEX OUTLET
↔wp	WATER PROOF DUPLEX DUTLET
	REFRIDGERATOR DUPLEX DUTLET
€GD	WIRING FOR GARBAGE DISPOSAL IN SINK
←GFI	GROUND FAULT INTERUPTOR OUTLET
₿	GROUND DUPLEX OUTLET WITH STAINLESS STEEL COVERPLATE
∂DB	DOOR BELL CHIME
ĒĄ	CABLE TV
$\bigtriangledown lacksquare$	TELEPHONE & DSL JACKS
S	SMOKE DETECTOR 120 VOLT AC W/ BACKUP
GENERA	L NOTES:
1.PROVIDE S DETECTORS	MOKE AND CO PER CODE
	ETS TO BE 14" ABOVE R UNLESS OTHERWISE NOTED
	ER POSSIBLE, OUTLETS ARE TO D ON WALL, UNLESS
OTHERWISE	
	SH FLOOR UNLESS OTHERWISE
INSTALLED E CONNECTIO	COUNTER OUTLETS TO BE ENEATH COUNTER FOR N TO GROMMET
FIX I URE MO	UNTED INTO COUNTERTOP.
	NMAIN FLOOR FLEC. LIGH

59 WILLIAMS STREET PROVIDENCE, RI 02906

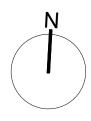
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DESCRIPTION:	DATE:
PROJECT NUMBER:	
DRAWING TITLE:	
MAIN FLOOR	
ELEC. LIGHTING	

Full sheet size: 22" x 34" Scale: 1/4" = 1'-0"

1 MAIN FLOOR ELEC. LIGHTING = 1'-0" 1/4" = 1'-0" 1/4" = 1'-0" 1/4" = 1'-0" 1/4" = 1'-0" 1/4" = 1'-0"

