

PROJECT REVIEW

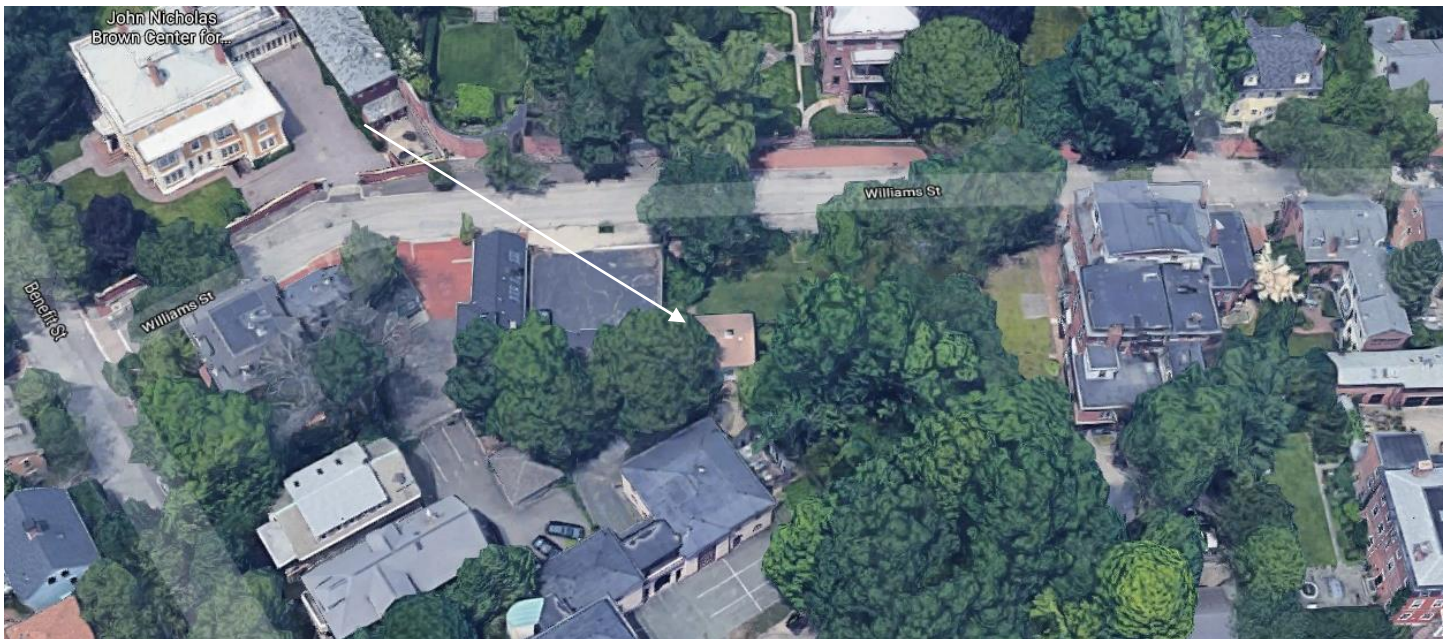
1. CASE 20.061, 59 WILLIAMS STREET, House, 1875-95 (COLLEGE HILL)

Victorian Cottage; 1 story; clapboard; gabled roof with bracket cornice; 4 bays wide with bracketed pediments above windows and doorway.

CONTRIBUTING



Arrow indicates 59 Williams Street.



Arrow indicates project location, looking north.

Applicant: Joseph Furtado, 188 Pratt Street, Providence, RI 02906

Owner: College Hill Realty Trust, 188 Pratt Street, Providence, RI 02906

Architect: Friedrich St. Florian, FAIA, 146 Westminster Street, Providence, RI 02903

Proposal: The scope of work proposed consists of Major Alterations and includes: the modifications to the existing cottage to include the construction of a one-story addition on the garage footprint and the construction of a new addition to the north elevation of the garage footprint.

The following issues are relevant to this application:

- At the December 14, 2021 meeting the application was granted conceptual approval. The Commission commented that the new design is constrained and maintains hierarchy between old and new construction. Some comments regarding garage could be one bay or eliminated. Concerns about pitch of roof, could be lower, closer in pitch to cottage roof. Asphalt shingles would be more sympathetic and subordinate. Concerns regarding potential code implications of windows on property lines, should confirm with building/zoning that the proposed windows will meet code. Comments regarding proposed siding included suggestions of using horizontal clapboards instead of proposed vertical siding. Overall members stated that the design was a marked improvement and that the new mass is subservient to the cottage; and,
- Revised plan set has been submitted. The set incorporates or address the Commission's comments from the previous meeting.

Recommendations: The staff recommends the PHDC make the following findings of fact:

- a) 59 Williams Street is a structure of historical and architectural significance that contribute to the significance of the College Hill local historic district, having been recognized as a contributing structure to the College Hill National Historic Landmarks District;
- b) The application for Major Alterations is considered complete for approval; and,
- c) The work as proposed is in accord with PHDC Standards 8 & 9 as follows: as the proposed alterations are appropriate having determined that the proposed relocation and construction is architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district (8), and whenever possible, new additions or alterations to structures shall be done in such a manner that if removed in the future, the essential form and integrity of the structure and the site would be unimpaired (9).

Staff recommends a motion be made stating that: The application is considered complete. 59 Williams Street is a structure of historical and architectural significance that contribute to the significance of the College Hill local historic district, having been recognized as a contributing structure to the College Hill National Historic Landmarks District. The Commission grants approval of the proposal as submitted as the proposed alterations are appropriate having determined that the proposed alterations are architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district (8), and whenever possible, new additions or alterations to structures shall be done in such a manner that if removed in the future, the essential form and integrity of the structure and the site would be unimpaired (9), citing and agreeing to the recommendations in the staff report, with a sub-committee to formed to review construction details as they become available.



NORTH ELEVATION
VIEW FROM WILLIAMS STREET

DRAWING INDEX:

DRAWING #	CONTENTS	SUBMISSIONS/ REVISIONS			
		03.08.2021			
G0-1	COVER SHEET				
G0-2	GENERAL SPECIFICATION NOTES				
C-1	CIVIL SURVEY				
L0-1	EXISTING TREE PLAN				
A0-0	EXISTING CONDITIONS/DEMO PLAN				
A0-1	SITE PLAN				
A1-0	BASEMENT PLAN				
A1-1	MAIN FLOOR PLAN				
A1-1d	MAIN FLOOR PLAN DIMENSIONED				
A1-2	ROOF PLAN				
A2-1	NORTH ELEVATION-SECTION LOOKING SOUTH				
A2-1d	NORTH ELEVATION SECTION LOOKING SOUTH DIMENSIONED				
A2-2	EAST ELEVATION - SECTION LOOKING WEST				
A2-2d	EAST ELEVATION SECTION LOOKING WEST DIMENSIONED				
A2-3	WEST & SOUTH ELEVATION				
A2-3d	WEST & SOUTH ELEVATION DIMENSIONED				
A3-1	EXTERIOR WALL SECTIONS STAIR DETAILS				
A4-1	INTERIOR ELEVATIONS				
A4-2	INTERIOR ELEVATIONS				
A5-1	DOOR SCHEDULE & DETAILS				
A5-2	WINDOW SCHEDULE & DETAILS				
A5-3	FINISH SCHEDULE & WALL TYPES				
A6-1	MAIN FLOOR RCP ELECTRICAL				
A6-1E	MAIN FLOOR RCP LIGHTING & SCHEDULE				

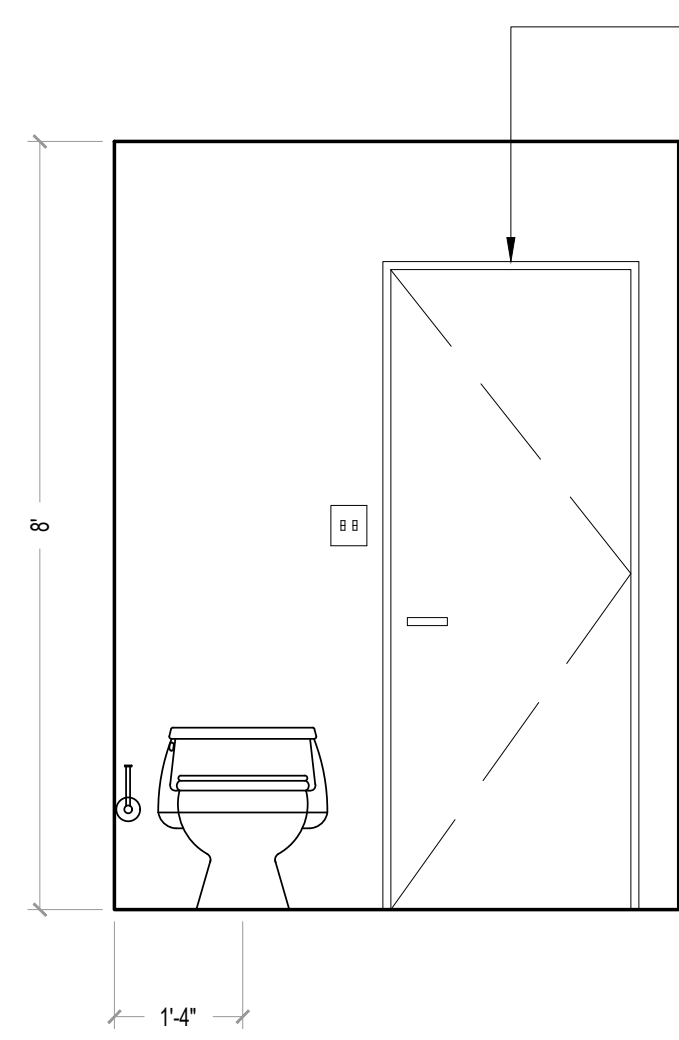
COTTAGE RESIDENCE 59 Williams Street, Providence, RI 02906 (Parcel A)



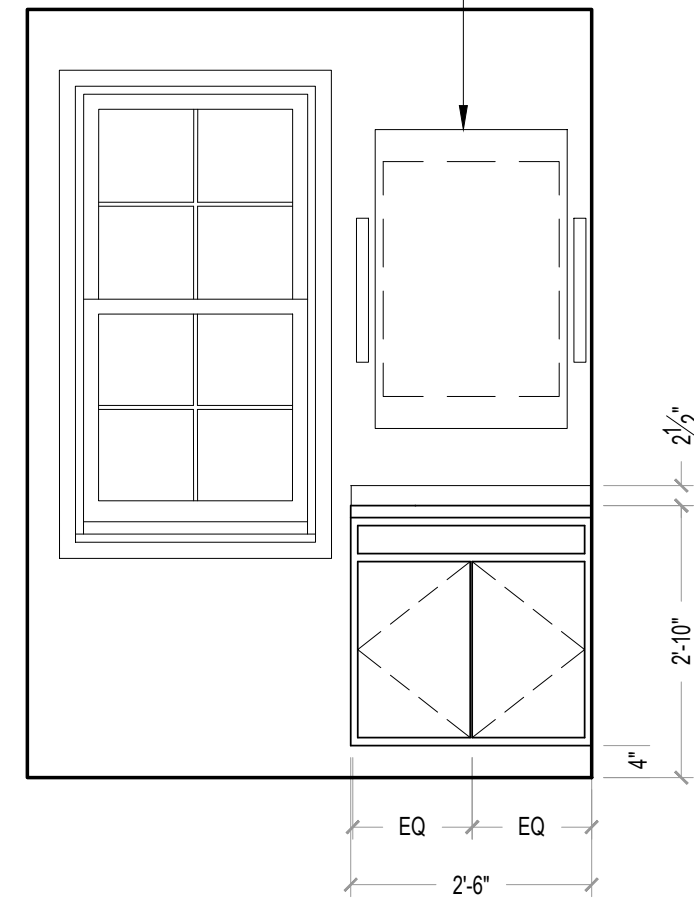
EXISTING COTTAGE
NORTH & EAST ELEVATIONS



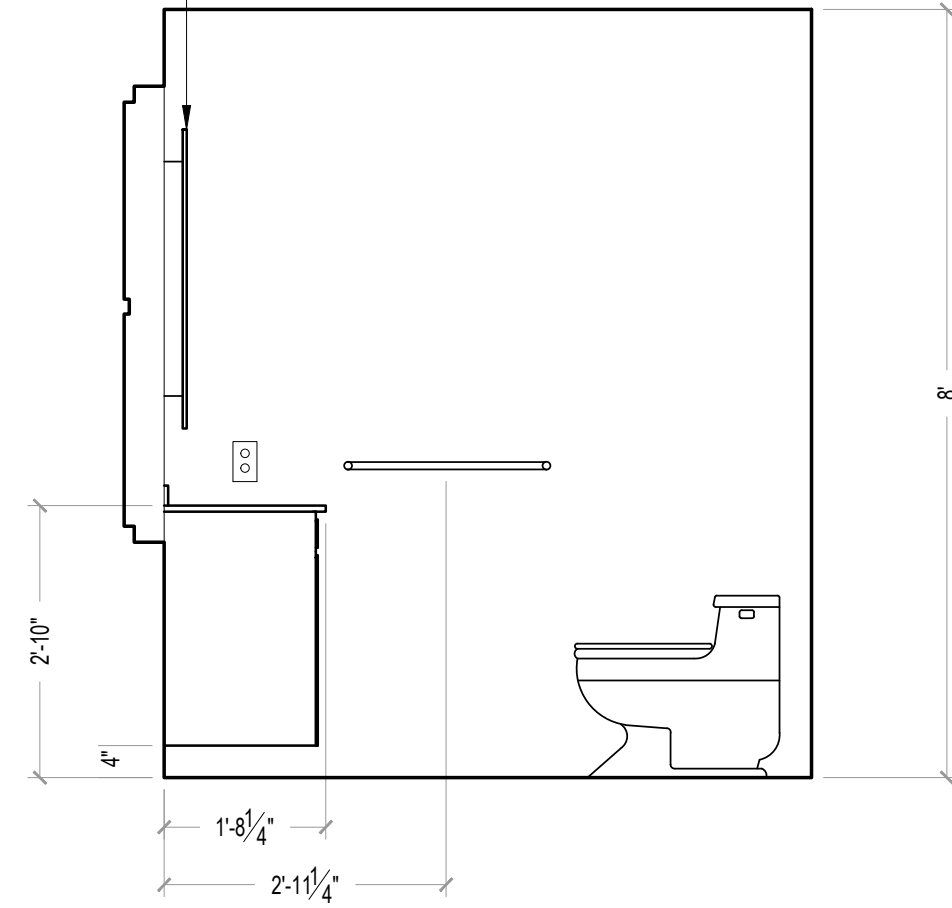
EXISTING GARAGE
NORTH ELEVATION



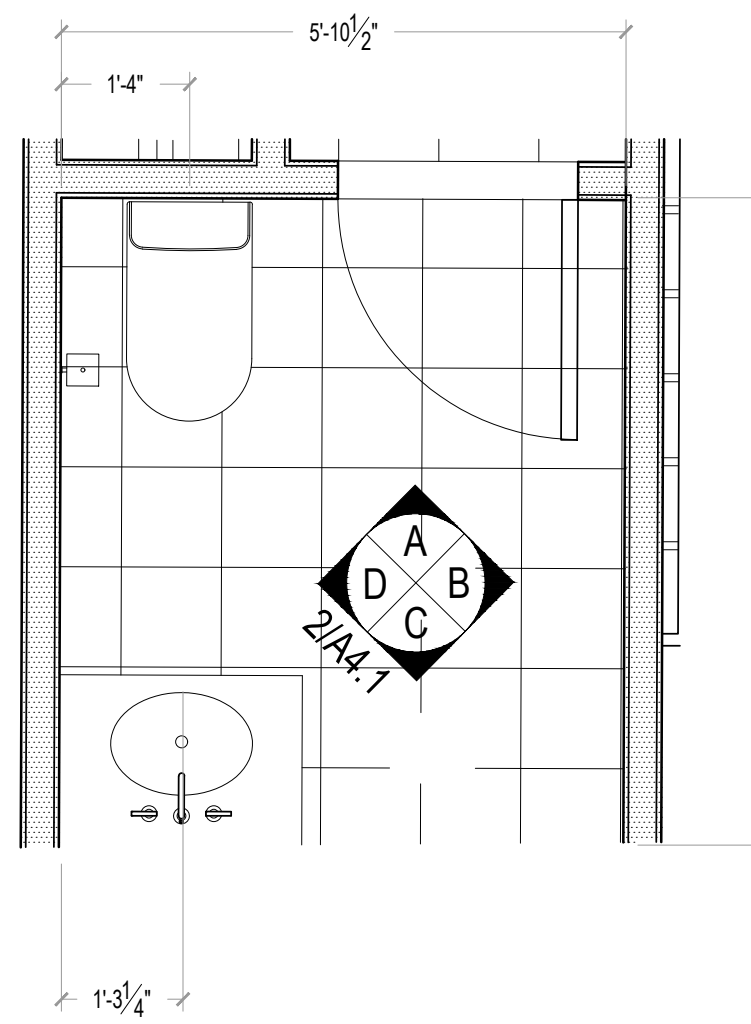
A BATHROOM 112



C BATHROOM 112



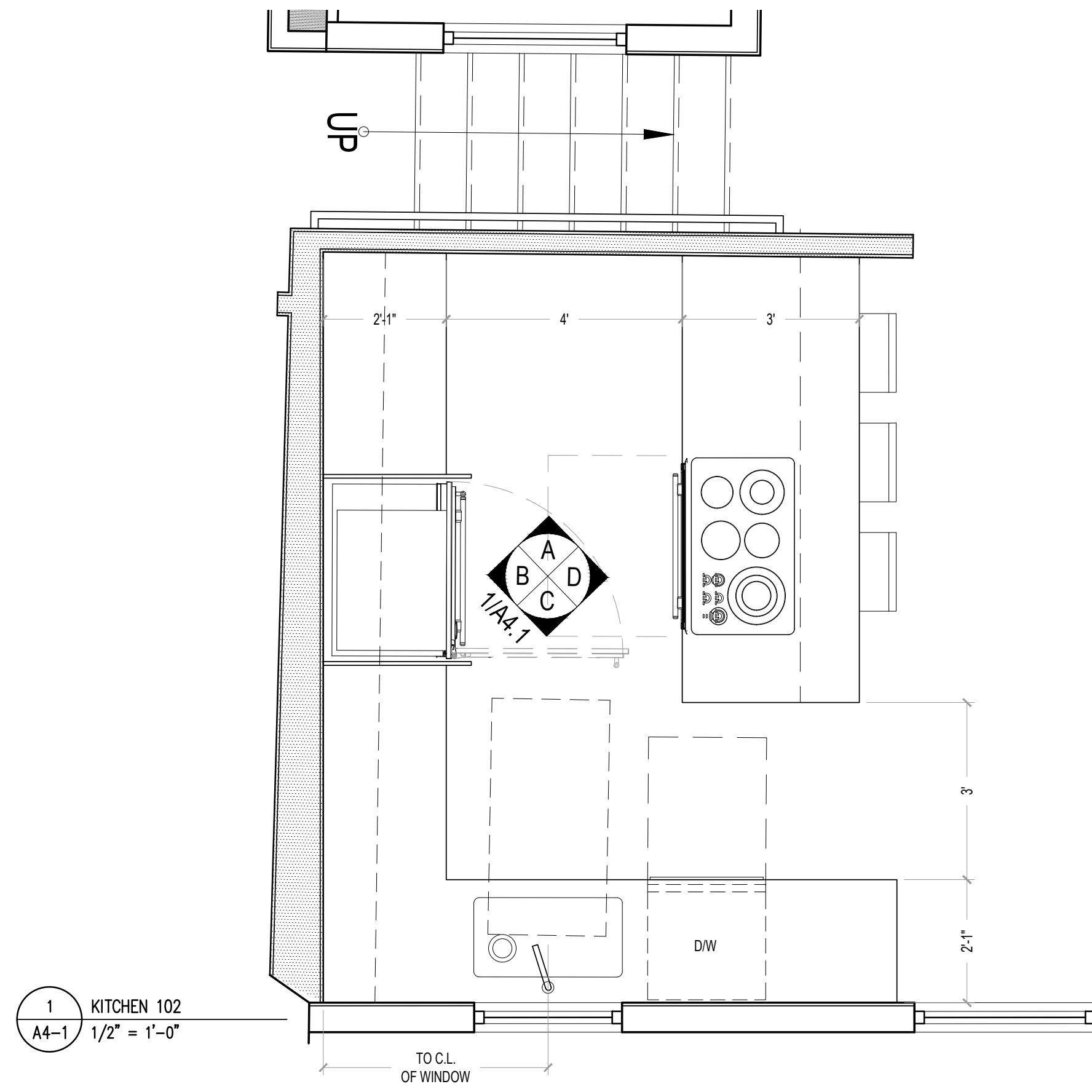
D BATHROOM 112



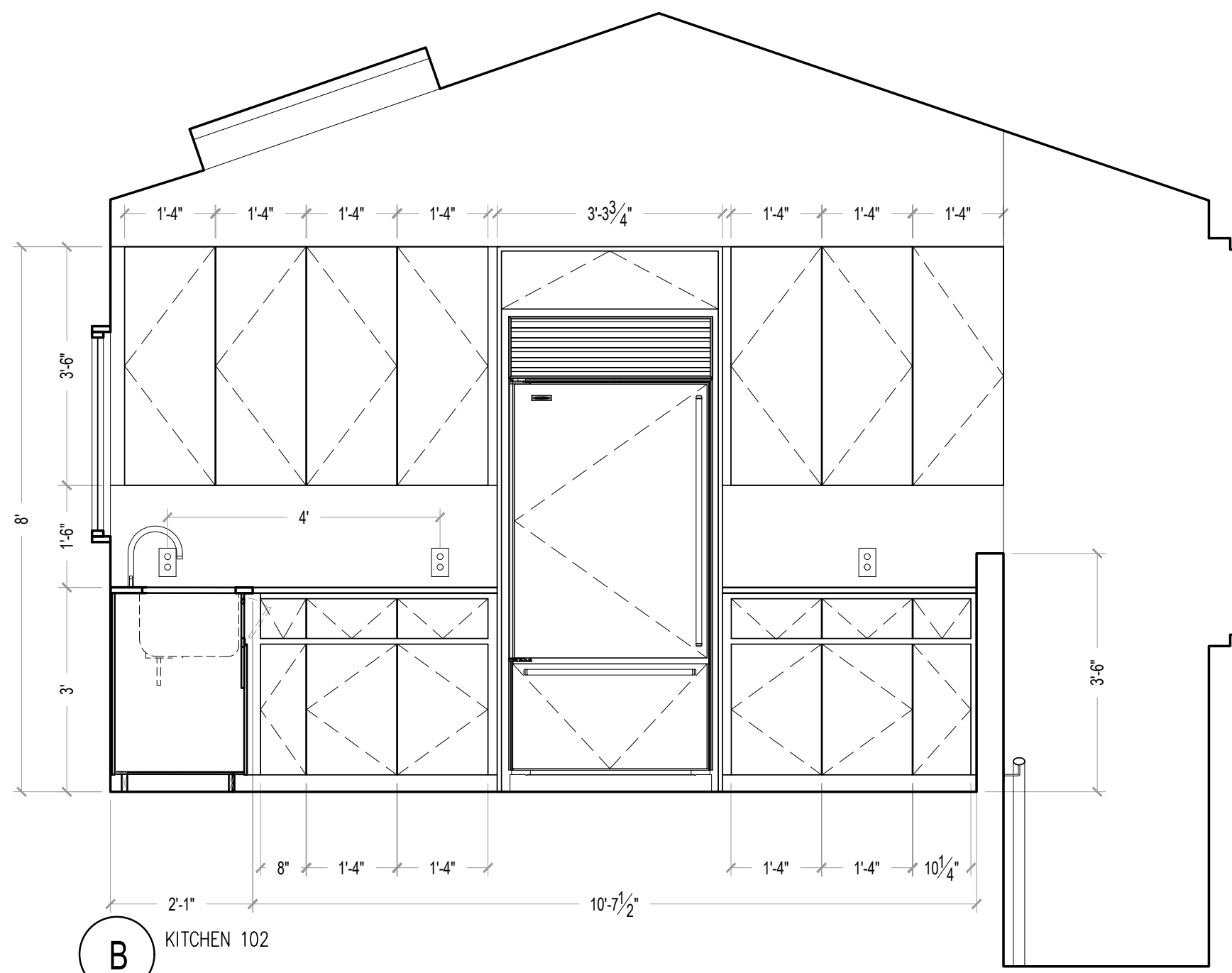
2 BATHROOM 105
A4-1 1/2" = 1'-0"



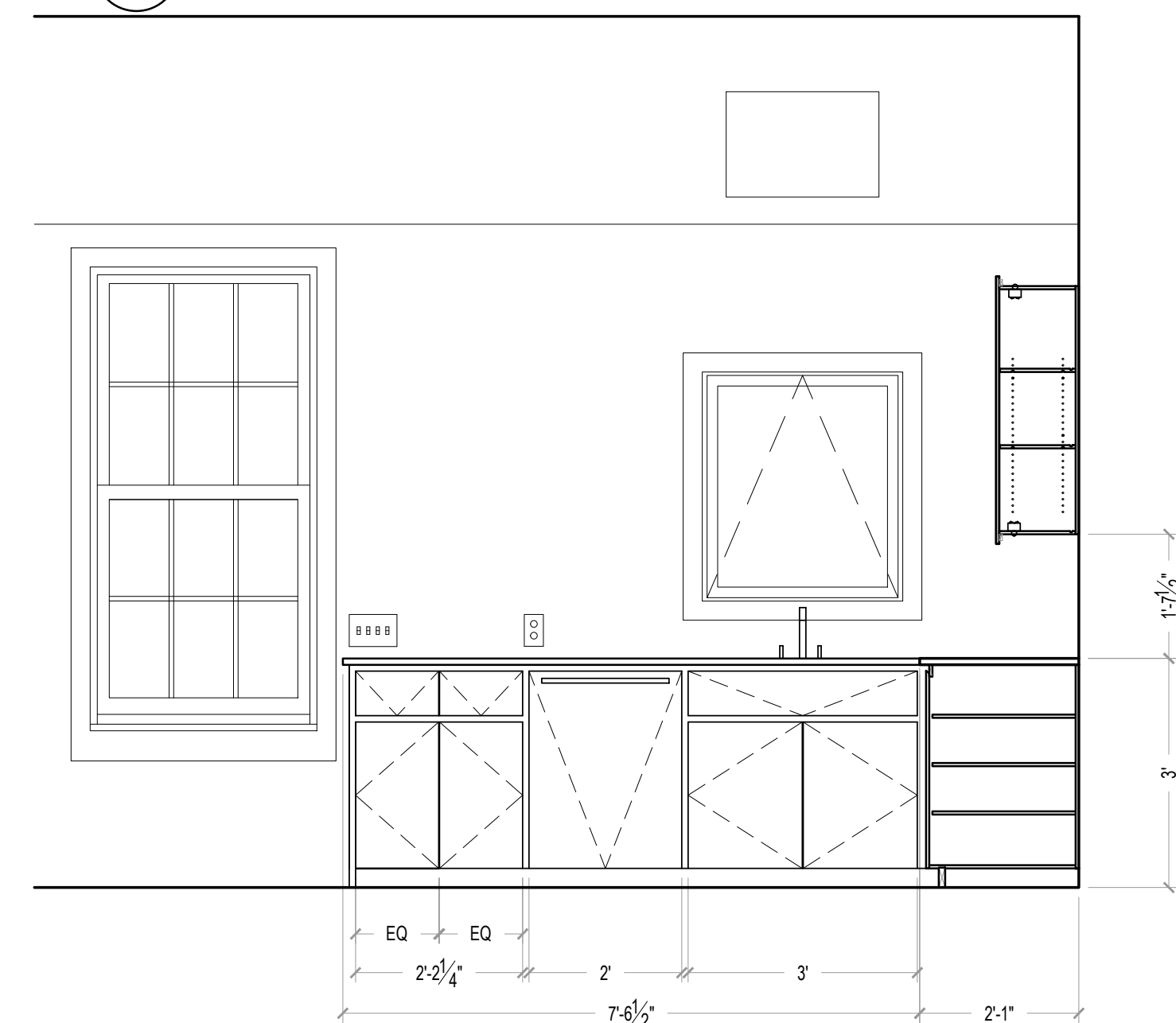
A KITCHEN 102



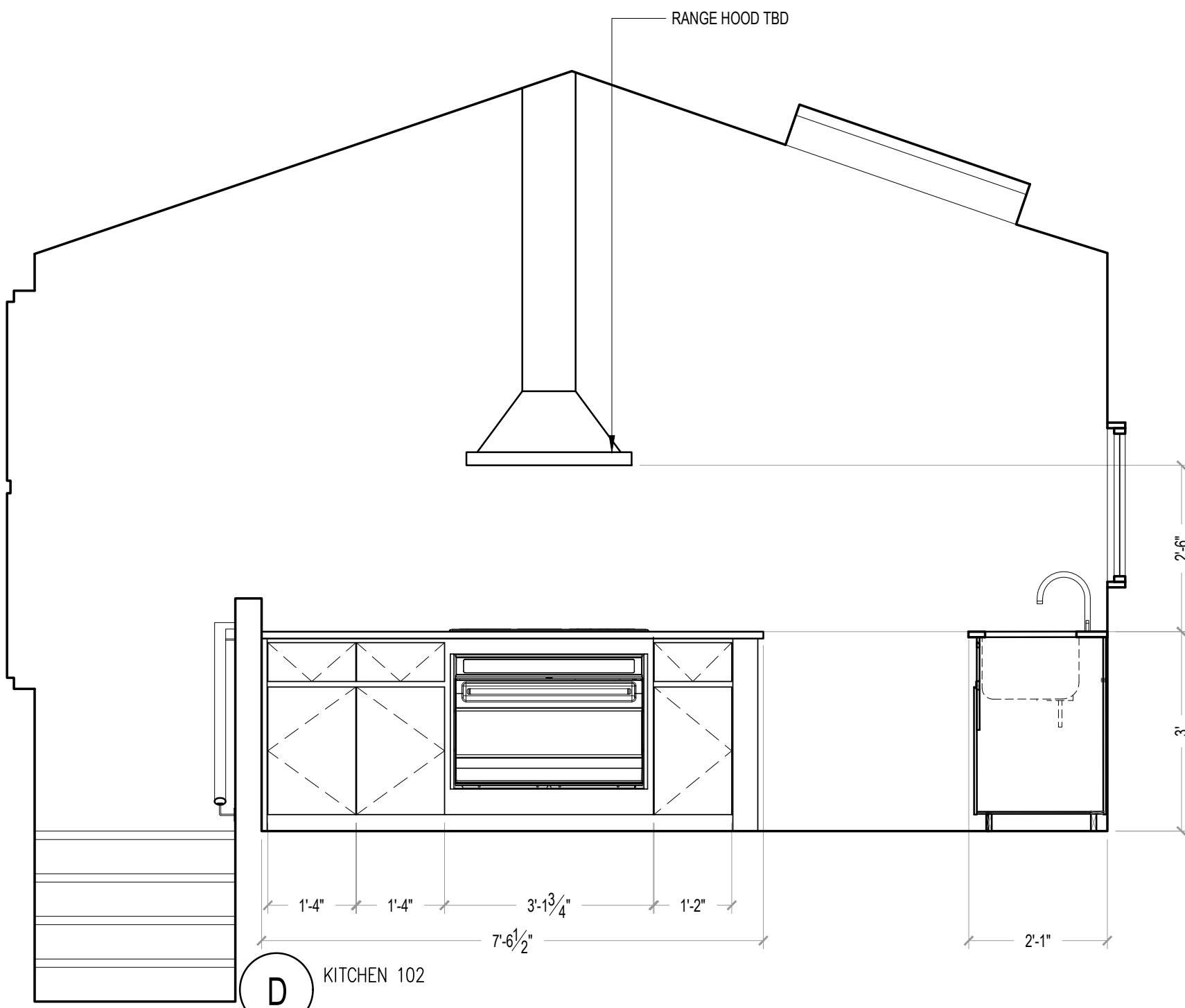
1 KITCHEN 102
A4-1 1/2" = 1'-0"



B KITCHEN 102



C KITCHEN 102



D KITCHEN 102

NOTES:

ALL LIGHT SWITCHES AT 4'-0" TO C.L. OF FIXTURE U.N.O.

ALL ELECTRICAL OUTLETS AT 11'-1/2" FROM MIDPOINT OF FIXTURE U.N.O.

**59 WILLIAMS STREET
PROVIDENCE, RI 02906**

**OWNER / DEVELOPER
COLLEGE HILL REALTY TRUST
188 PRATT STREET
PROVIDENCE, RI 02906**

T: 401-683-8884
email: jmfurtadoinc@verizon.net

**FRIEDRICH ST.FLORIAN
ARCHITECT
146 WESTMINSTER STREET
PROVIDENCE, RI 02903**

T: 401-831-8400
F: 401-831-8688
email: info@fstflorian.com

DESCRIPTION: DATE:

PROJECT NUMBER:

DRAWING TITLE:
**KITCHEN 102
BATHROOM 105**

Full sheet size: 22" x 34"

Scale: 1/2" = 1'-0"

Drawn By: AL

Checked By: FSF

Sheet:

A4-1

