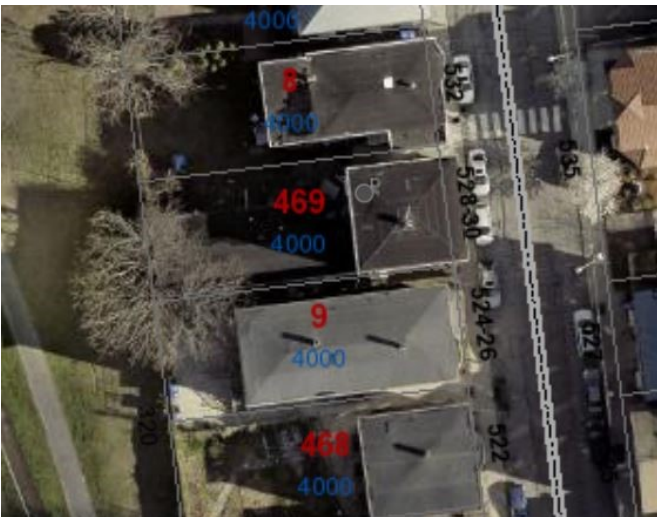


# Providence City Plan Commission

March 16, 2021



## AGENDA ITEM 2 ■ 528 CHARLES STREET



Aerial view of the site



View from Charles Street

### OVERVIEW

<b>OWNER/APPLICANT:</b>	Duran Real Estate Investments LLC, Owner	<b>PROJECT DESCRIPTION:</b>	The applicant is requesting a design waiver from the requirement that there be no housing within 20 feet of a main street
<b>CASE NO./ PROJECT TYPE:</b>	<b>2021-03 DPR</b> Development Plan Review		
<b>PROJECT LOCATION:</b>	528 Charles Street	<b>RECOMMENDATION:</b>	Grant the design waiver subject to the findings and conditions noted on page 2.
<b>NEIGHBORHOOD:</b>	Charles	<b>PROJECT PLANNER:</b>	Choyon Manjrekar

**ANALYSIS**

The subject property is a four story mixed use building with currently vacant space on the ground floor and apartments above. The applicant is proposing to convert the building to full residential use by converting the commercial space to apartments. A design waiver from Section 503.A.8 which prohibits residences and parking within 20 feet of Charles Street, which is a main street, is requested.

The waiver is being requested as the applicant is unable to find tenants for the commercial space. Based on a review of plans, it is the DPD's opinion that the Commission should grant the requested waiver as the requirement to conform to Section 503.A.8 could result in an economic hardship for the applicant. While mixed use is encouraged on main streets, this portion of Charles Street is primarily residential, with residences around the subject property. Granting of the waiver is not expected to have a negative effect on the neighborhood's character as it is residential in nature, which would be keeping in character with what is expected on this portion of the street. Provision of ground floor housing would be in conformance with objective H-2 of the comprehensive plan, which encourages creation of new housing.

**RECOMMENDATION**

Based on the foregoing discussion, the Commission should grant the requested design waiver.





LOCATION PLAN



EXISTING VIEW

## GENERAL NOTES AND SPECIFICATIONS

### GENERAL DATA:

1. THE ARCHITECT IS NOT CONTRACTED FOR SUPERVISION AND SO IS NOT RESPONSIBLE FOR METHODS OF CONSTRUCTION OR MATERIALS USED.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD, NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
3. ALL MATERIALS SHALL BE NEW AND OF THE BEST QUALITY.
4. CONTRACTOR, BY SUBMITTING HIS BID, OR STARTING WORK REPRESENTS THAT HE HAS VISITED THE PROJECT LOCATION AND AGREES WITH PLANS AND DETAILS AS REPRESENTING THE FULL EXTENT OF CONSTRUCTION. IF CONTRACTOR HAS FOUND THAT PLANS AND DETAILS ARE DIFFERENT WITH WHAT IS PHYSICALLY IN THE FIELD, CONTRACTOR SHALL NOTIFY IN WRITING THE ARCHITECT AND OWNER BEFORE SUBMITTING HIS BID. CLAIMS FOR EXTRA CHARGES BECAUSE OF ALLEGED INADEQUATE DRAWINGS OR SPECIFICATIONS WILL NOT BE ALLOWED UNLESS NOTIFICATION WAS MADE IN WRITING TO ARCHITECT PRIOR TO SUBMISSION OR BEGINNING.
5. PERMITS: OWNER SHALL SECURE AND PAY FOR BUILDING PERMIT, TESTS AND CERTIFICATES REQUIRED. ELECTRICAL AND PLUMBING CONTRACTORS SHALL APPLY FOR AND PAY FOR INDIVIDUAL PERMITS, INSPECTIONS AND APPROVALS AS REQUIRED. KEEP APPROVED PERMIT DRAWINGS ON JOB SITE.
6. CODES: ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE RULES, REGULATIONS AND CODES OF AGENCIES HAVING JURISDICTION. ASSENT OTHER STANDARDS NEW YORK STATE UNIFORM FIRE PREVENTION & BUILDING CODE SHALL GOVERN. PLANS CONFORM TO THE NEW YORK STATE, ENERGY CONSERVATION CONSTRUCTION CODE 2010 CHAPTER 3, TABLE E301.1 (1) USING 5750 DEGREE DAYS CRITERIA.
7. VERRIFICATION: VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE. REPORT DIFFERENCES FROM CONSTRUCTION DOCUMENTS TO ARCHITECT. CLAIMS FOR EXTRA PAYMENTS RESULTING FROM CONTRACTOR'S FAILURE TO DO SO WILL NOT BE APPROVED. ARCHITECT SHALL DECIDE ANY NECESSARY ADJUSTMENTS BETWEEN FIELD MEASUREMENTS AND DRAWINGS.
8. LICENSE: ALL WORK MUST BE DONE BY A CONTRACTOR LICENSED IN WESTCHESTER COUNTY. PROVIDE OWNER AND BUILDING DEPARTMENT A COPY OF CERTIFICATE NUMBER PRIOR TO STARTING WORK.
9. PRIOR TO STARTING WORK, CONTRACTOR SHALL MAINTAIN WORKMAN'S COMPENSATION AND LIABILITY INSURANCE FOR BODILY INJURY, PROPERTY DAMAGE, AUTOMOTIVE AND OTHER INSURANCES REQUIRED BY LAW OR BY OWNER IN ADEQUATE AMOUNTS AND TERMS SATISFACTORY TO THE OWNER, TO RENDER THE OWNER HARMLESS IN CASE OF AN ACCIDENT TO PERSON OR PROPERTY INVOLVED IN THIS PROJECT. MAINTAIN SUCH INSURANCE IN FULL FORCE DURING ENTIRE TIME OF CONTRACT.
10. CONTRACTOR SHALL PERFORM ALL WORK REQUIRED FOR THE TOTAL COMPLETION OF THE PROJECT, WEATHER OR NOT INDICATED ON THE DRAWINGS. THE INTENTION OF THE DRAWINGS IS TO PRODUCE A COMPLETE AND PROPER FUNCTIONING PROJECT.
11. ALL SECTIONS AND DETAILS SHALL BE CONSIDERED TYPICAL AND APPLY FOR THE SAME, AND SIMILAR CONDITIONS, UNLESS OTHERWISE SPECIFICALLY NOTED.
12. CONTRACTOR SHALL FURNISH AND BE SOLELY RESPONSIBLE FOR ALL TEMPORARY BRACING AND SHORING REQUIRED TO MAINTAIN STABILITY OF THE STRUCTURE DURING CONSTRUCTION.
13. ANY REQUIRED SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
14. IN SOME CASES, THE EXISTING STRUCTURE HAS BEEN ASSUMED IN SO FAR AS THE DIRECTIONS OF FRAMING, SIZE ETC. NEW STRUCTURE HAS BEEN DESIGNED BASED ON THIS ASSUMPTION. DURING DEMOLITION OR ANY OTHER PHASE OF WORK, IF THERE IS ANY DISCREPANCIES IN THE ASSUMED CONDITION, WHICH IS ACTUALLY IN PLACE, NOTIFY THE ARCHITECT AT ONCE.
15. USE OF PREMISES: - CONTRACTOR SHALL STORE MATERIALS, DISPOSE OF DEBRIS, COORDINATE AND SCHEDULE ALL WORK IN COOPERATION WITH OWNER FOR MINIMUM DISRUPTION. MAINTAIN SAFE ACCESS TO ALL AREAS AT ALL TIMES. ALL WORK SHALL BE DONE DURING NORMAL WORKING HOURS.
16. NO RESPONSIBILITY IS ASSUMED BY ARCHITECT FOR INFORMATION SUPPLIED BY OTHERS AND RELIED UPON BY ARCHITECT TO BE ACCURATE.
17. PROTECTION: PROTECT ALL STRUCTURES, FINISHES, UTILITIES, EQUIPMENT, APPLIANCES, ETC. AT THE SITE. MAINTAIN STRUCTURAL INTEGRITY OF ALL PARTS OF THE STRUCTURE DURING WORK. DO NOT CUT, WEAKEN OR LOAD ANY STRUCTURAL MEMBER WITHOUT PROPER SHORING AND BRACING. PROVIDE EXHAUST FANS TO MAINTAIN CONTROL OF DUST DURING DEMOLITION. DESIGNATE WALK OFF MATS AT ENTRANCE TO CONSTRUCTION AREAS.
17. CUTTING & PATCHING: CUTTING AND PATCHING SHALL BE BY CONTRACTOR REQUIRING SAME UNDER SUPERVISION OF CONSTRUCTION OPERATIONS. CUT AND PATCH WITH CARE TO AVOID DAMAGE TO WORK, SAFETY HAZARDS, VIOLATION OF WARRANTY REQUIREMENTS, BUILDING CODE VIOLATIONS OR MAINTENANCE PROBLEMS.
  - A. MATCH ALL MATERIALS WITH NEW MATERIALS SO THAT PATCH WORK IS UNDETECTABLE.
  - B. NOTIFY ARCHITECT OF WORK THAT MIGHT DISRUPT BUILDING OPERATIONS.
  - C. FOR CUTTING WORK, USE PROPER CUTTING TOOLS, NOT CHOPPING TOOLS. MAKE NEAT HOLES. MINIMIZE DAMAGE TO ADJACENT WORK. CHECK FOR CONCEALED UTILITIES AND STRUCTURE BEFORE CUTTING.
  - D. MAKE PATCHES, SEAMS, AND JOINTS DURABLE AND INCONSPICUOUS. TOLERANCES FOR PATCHING SHALL BE THE SAME AS FOR NEW WORK.
18. COOPERATION: CONTRACTORS AND SUB-CONTRACTORS SHALL COORDINATE THEIR WORK WITH ADJACENT WORK AND COOPERATE WITH OTHER TRADES TO FACILITATE PROGRESS OF WORK. EACH TRADE SHALL AFFORD OTHER TRADES REASONABLE OPPORTUNITY FOR INSTALLATION OF THEIR WORK AND FOR TEMPORARY STORAGE OF THEIR TOOLS AND MATERIALS.
19. SUBSTITUTIONS OF MATERIAL AND/OR METHODS OF CONSTRUCTION SHALL BE APPROVED BY ARCHITECT AND OWNER PRIOR TO SIGNING CONSTRUCTION CONTRACT.
20. ALL WORK SHALL BE GUARANTEED FOR ONE YEAR.
21. CONSTRUCTION NOT TO COMMENCE PENDING APPROVAL OF PLANS.
22. GENERAL NOTES TO BE STRICTLY ADHERED TO UNLESS OTHERWISE NOTED ON DRAWINGS.

### DEMOLITION:

1. PRIOR TO DEMOLITION DISCONNECT AND CAP ALL EXISTING UTILITIES AS REQUIRED. COORDINATE SHUT OFF AND REMOVALS WITH UTILITY COMPANIES.
  - A. ELECTRICAL: PARTIALY DISCONNECT, RELOCATE AND RECONFIGURE.
  - B. PHONE: PARTIALLY DISCONNECT, RELOCATE AND RECONFIGURE.
  - C. CABLE: PARTIALLY DISCONNECT, RELOCATE, AND RECONFIGURE.
  - D. MECHANICAL: PARTIALLY DISCONNECT, RELOCATE, AND RECONFIGURE.
2. ALL ELECTRICAL DISCONNECTS AND REMOVALS MUST BE DONE BY A ELECTRICAL CONTRACTOR LICENSED IN WESTCHESTER COUNTY.
3. ALL PLUMBING DISCONNECTS AND REMOVALS MUST BE DONE BY A PLUMBING CONTRACTOR LICENSED IN WESTCHESTER COUNTY.
4. REMOVE ALL DEBRIS FROM SITE TO A LEGAL DISPOSAL FACILITY. CONTRACTOR SHALL PAY FOR ALL NECESSARY DUMPSTERS AND CARTING FEES.

### WOOD FRAMING:

1. ALL LUMBER SHALL BE DOUGLAS FIR GRADE #2 OR STRESS GRADE OF 1,250 PSI.
2. LUMBER EXPOSED TO EXTERIOR SHALL BE PRESSURE TREATED.
3. MIN. BEARING OF ALL FRAMING MEMBERS TO BE 3 1/2".
4. ALL FRAMING TO BE ERECTED PLUMB, LEVEL AND TRUE.
5. ALL JOISTS TO RECEIVE SOLID BRIDGING AT MD SPAN, 8'-0" MAX. SPACING.
6. USE DOUBLE JACK STUDS AT ALL OPENINGS GREATER THAN 5'-0" AND AT ALL CORNERS.
7. VENT ALL RAFTERS AND ATTICS AS REQUIRED AND DETAILED.
8. USE METAL JOIST HANGERS AT ALL DISCONTINUOUS OR FLUSH FRAMING.
9. ALL HEADERS TO BE 2-ZOYES UNLESS OTHERWISE NOTED.
10. ALL EXTERIOR METAL FASTENERS SHALL BE GALVANIZED.
11. PROVIDE DOUBLE FLOOR JOISTS UNDER PARALLEL PARTITIONS.
12. WOOD JOISTS AND ENGINEERED LUMBER SHALL BE INSTALLED AS PER MANUFACTURES DETAILS AND RECOMMENDATIONS.
13. CONNECTIONS:
  - A) WALL ASSEMBLY:
    - TOP PLATE TO TOP PLATE CONNECTION 2-16D COMMONS PER FT.
    - TOP PLATE INTERSECTION CONNECTION 4 - 16D COMMONS EACH SIDE JOINT
    - STUD TO STUD CONNECTION 2 - 16D COMMONS 24" O.C.
    - HEADER TO HEADER CONNECTION 16D COMMONS 16" O.C. - EDGES
    - CHOOSE TOP OR BOTTOM PLATE TO STUD CONNECTION 2-16D COMMONS PER 2 X 4 STUD
  - B) WALL ASSEMBLY TO FLOOR ASSEMBLY:
    - SOLID BRIDGING TO FLOOR JOIST 2-8D COMMONS EACH END
    - BLOCKING TO FLOOR JOIST CONNECTION 2-8D COMMONS EACH END
    - BAND JOIST TO FLOOR JOIST CONNECTION 3-16D COMMONS PER JOIST
  - C) FLOOR ASSEMBLY TO WALL ASSEMBLY:
    - FLOOR JOIST TO TOP PLATE CONNECTION 4-8D COMMONS PER JOIST
    - BLOCKING TO SILL OR TOP PLATE CONNECTION 2-6D COMMONS PER FOOT
14. DOUBLE AND TRIPLE LVL HEADERS AND GIRDERS TO BE CONNECTED USING 3 ROWS OF 16D (3 1/2") COMMON WIRE NAILS @ 12" O.C., 2" FROM TOP AND BOTTOM AND IN CENTER FULL LENGTH OF BEAM.

### WINDOW AND EXTERIOR DOORS:

1. WINDOWS AND EXTERIOR DOORS TO BE INSTALLED AS PER DETAILS AND SPECS. ON WINDOW SCHEDULE, PLANS AND ELEVATIONS.
2. ALL UNITS SHALL HAVE CODE COMPLIANT INSULATION AND AIR INFILTRATION REQUIREMENTS.
3. SLEEPING ROOMS TO BE PROVIDED WITH WINDOWS MEETING MIN. EMERGENCY EGRESS REQUIREMENTS AS PER SECTION R310 OF THE NYS BUILDING CODE.
4. NEW WINDOWS TO BE "ANDERSEN" WITH INSULATING GLASS, INSECT SCREENS, HARDWARE TO MATCH EXISTING, WHITE EXTERIOR COLOR TO MATCH EXISTING AS BEST AS POSSIBLE, SEE WINDOW SCHEDULE FOR MODEL NUMBERS.

### INSULATION:

1. THE FOLLOWING MINIMUM INSULATION REQUIREMENTS SHALL APPLY.
  - A. MAXIMUM U-FACTOR FOR GLAZING - .35
  - B. MINIMUM R VALUES:
    - CEILING - R 38
    - WALLS - R 21
    - FLOOR - R30
2. ALL BATHROOM WALLS SHALL RECEIVE SOUND ATTENUATION BLANKET.

### INTERIOR FINISHES:

1. ALL AREAS TO RECEIVE 5/8" GYP. BOARD THROUGHOUT, UNLESS NOTED OTHERWISE. USE 5/8" GREEN BOARD IN BATHROOMS AND 5/8" CEMENT BOARD IN ANY WALLS DESIGNATED TO RECEIVE TILE.
2. GYP. BOARD TO RECEIVE MIN. TWO COATS TAPING COMPOUND, SANDED SMOOTH TO RECEIVE PAINT OR WALL COVERING.
3. WALLS TO RECEIVE ONE COAT PRIMER AND TWO COATS FINISH PAINT MIN. ENSURE PROPER COVERAGE.

### PAINTING:

- A. PAINT PRODUCTS SHALL BE BY BENJAMIN MOORE & CO. OR APPROVED EQUAL, COLORS AS SELECTED BY OWNER.
  - B. BEFORE PAINTING REMOVE HARDWARE, LIGHTING FIXTURES AND SIMILAR ITEMS THAT ARE NOT TO BE PAINTED. MASK ITEMS THAT CANNOT BE REMOVED. REINSTALL ITEMS IN EACH AREA AFTER PAINT IS COMPLETE.
  - C. CLEAN AND PREPARE ALL SURFACES IN AN AREA BEFORE BEGINNING PAINTING IN THAT AREA. SCHEDULE PAINTING SO CLEANING OPERATIONS WILL NOT DAMAGE NEWLY PAINTED SURFACES.
  - D. APPLY COATINGS BY BRUSH, ROLLER, SPRAY OR OTHER APPLICATORS ACCORDING TO COATING MANUFACTURER'S WRITTEN INSTRUCTIONS.
  - E. PIGMENTED (OPAQUE) FINISHES: COMPLETELY COVER SURFACES TO PROVIDE A SMOOTH, OPAQUE SURFACE OF UNIFORM APPEARANCE. PROVIDE FINISH FREE OF CLOUDINESS, SPOTTING, LAPS, BRUSH MARKS, RUNS, SACS, OR OTHER SURFACE IMPERFECTIONS.
  - F. TRANSPARENT (CLEAR) FINISHES: USE MULTIPLE COATS TO PRODUCE A GLASS-SMOOTH SURFACE FILM OF EVEN LUSTER, PROVIDE A FINISH FREE OF ANY SURFACE IMPERFECTIONS.
  - G. WALLS TO RECEIVE ONE COAT PRIMER AND TWO COATS FINISH PAINT MIN. ENSURE PROPER COVERAGE.
5. ALL TRIM SHALL BE SELECTED BY OWNER PROVIDE ALLOWANCE TO MATCH EXISTING.
  6. INTERIOR DOORS TO BE 1 3/8" THICK, CONTRACTOR TO SUPPLY SAMPLE FOR CLIENT APPROVAL, PRIOR TO SIGNING OF CONTRACT, PROVIDE ALLOWANCE TO MATCH EXISTING.
  7. DOOR HARDWARE TO BE SPECIFIED BY OWNER. PROVIDE ALLOWANCE FOR SCHLAGE RESIDENTIAL LOCK SET KNOB, FINISH TO BE SELECTED BY OWNER.
  8. BATHROOM ACCESSORIES (TOWEL BARS, MIRRORS ETC.) TO BE SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR.
  9. CLOSETS TO RECEIVE WOOD SHELVING / HANG ROD COMBO.
  10. FINISH FLOORING AS INDICATED ON PLANS.
  11. CERAMIC TILE FLOORS TO BE INSTALLED OVER 5/8" CEMENT BOARD UNDERLAYMENT GLUED AND SCREWED TO PLYWOOD SUBFLOOR.
  12. TILE MANUFACTURED BY "DALE" TILE INC. OR EQUAL. INCLUDE ALL TRIM AND ACCESSORIES INCLUDE SETTING MATERIALS AND GROUT.

### THERMAL AND MOISTURE PROTECTION:

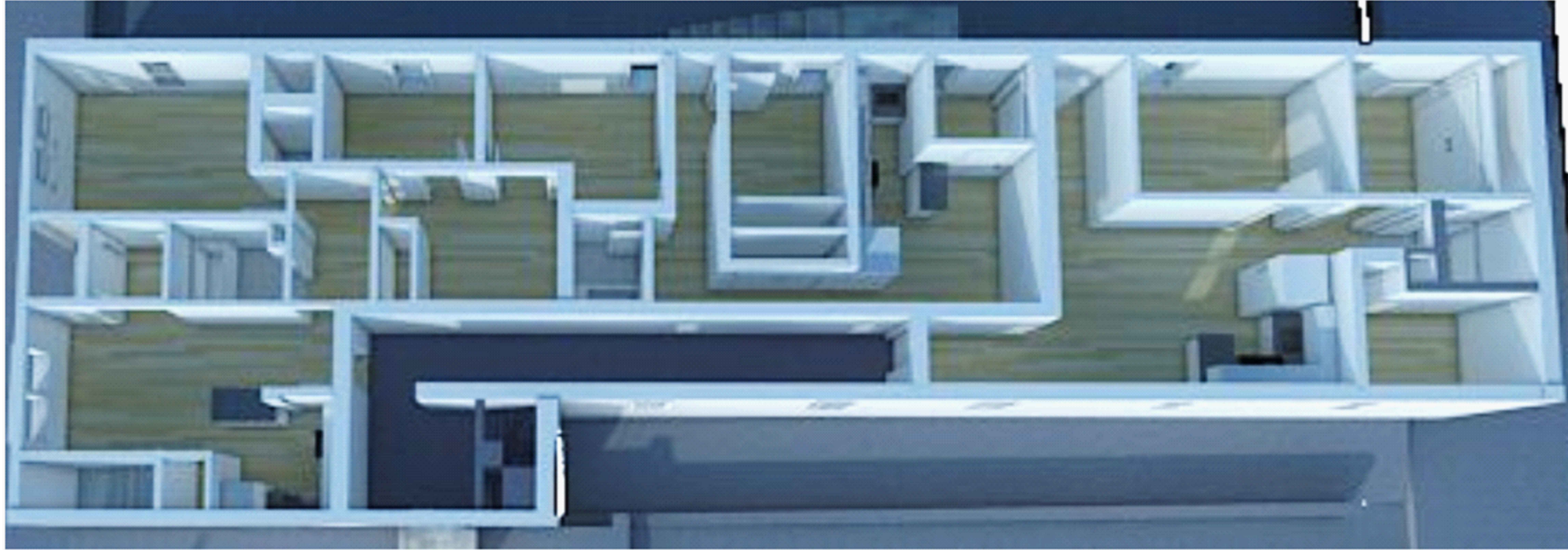
1. ALL WINDOWS AND DOORS TO BE WEATHER-STRIPPED AND CAULKED.
2. ALL SEALANTS TO BE SILICONE, COLORED TO MATCH SURROUNDING MATERIAL.
3. ALL FLASHING SHALL BE NONFERROUS METAL (UNLESS OTHERWISE NOTED). FABRIC FLASHING MAY ONLY BE USED WITH WRITTEN APPROVAL OF THE ARCHITECT.
4. ALL ROOF TO ROOF, AND ROOF TO WALL JOINTS SHALL BE CONTINUOUSLY FLASHED.
5. SILL SEALER TO BE 1" COMPRESSIBLE FIBERGLASS.
6. ATTIC RAFTER VENTS SHALL BE EXTRUDED POLYSTYRENE VENTS INSTALL AS REQUIRED TO MAINTAIN 1" MINIMUM AIRSPACE.

### HEATING AND AIR CONDITIONING:

1. EXISTING HEATING AND COOLING SYSTEMS SHALL BE CHECKED AND UPGRADED AND OR REPLACED TO MAINTAIN 68°F DEGREES INSIDE TEMPERATURE WITH 70°F DEGREE OUTSIDE TEMPERATURE.
2. CONTRACTOR SHALL COORDINATE WITH OWNER TO PROVIDE SYSTEM OPTIONS AND PRICES TO PRESENT TO OWNER FOR FINAL APPROVAL.
3. ALL HEATING AND AIR CONDITIONING, ACCESSORIES AND APPURTENANCES SHALL BE U.L. LISTED AND INSTALLED IN ACCORDANCE WITH SAME.
4. BATHROOM SHALL BE EXHAUSTED TO OUTDOORS IN ACCORDANCE WITH THE RESIDENTIAL CODE OF NEW YORK STATE.

### EXTERIOR FINISHES:

1. PROVIDE TYVEC HOUSE WRAP OR APPROVED EQUAL, ON ALL EXTERIOR WALLS.
2. PROVIDE FLASHING AND WATER PROOFING ENTIRE EXTERIOR AS REQUIRED.
3. WOOD TRIM TO BE SHOP PRIMED.
4. ALL FASTENERS, NAILS, SCREWS ETC. SHALL BE COATED TO PREVENT RUSTING.
5. PREPARE ALL SURFACES FOR PAINTING AND / OR STAINING AS REQUIRED.
6. EXTERIOR SIDING SHALL BE HORIZONTAL HARDIE PLANK AND VERTICAL HARDIE PANEL AS INDICATED ON ELEVATIONS.



### WORK DESCRIPTION:

PROPOSED RENOVATION AND CHANGE OF USE 2,455 SQ. FT. OF FIRST FLOOR SPACE TO ACCOMMODATE 3- APARTMENTS

SCOPE OF WORK INCLUDE:

- 1- NEW INTERIOR LAYOUT, BATHROOMS, KITCHENS ETC.
- 2- NEW MECHANICAL, ELECTRICAL AND PLUMBING
- 3- NEW AUTOMATIC SPRINKLER AND FIRE ALARM SYSTEMS
- 4- NEW INTERIOR FINISH

### CODE INFORMATION & ANALYSIS

1- CODES → R.I. REHAB SRC-1 / 2002

2- EXISTING TYPE OF CONSTRUCTION = VB

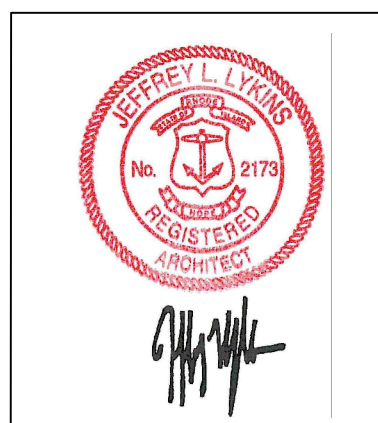
3- EXISTING USE: MIXED USE (FIRST FLOOR BUSINESS AND 3- APARTMENTS ONE PER STORY ABOVE)  
PROPOSED USE: R-2 (NEW 3- APARTMENTS AT FIRST FLOOR AND EXISTING APARTMENTS ABOVE TO REMAIN)

4- TOTAL GROSS AREA 2,4950 SQ. FT.  
APARTMENT #1 = 1,079 GROSS/200 = 6 OCCUPANTS  
APARTMENT #2 = 790 GROSS/200 = 4 OCCUPANTS  
APARTMENT #3 = 1,066 GROSS/200 = 6 OCCUPANTS  
FIRST FLOOR TOTAL OCCUPANT LOAD = 16 OCCUPANTS.

5- TWO EXITS PROVIDED PER APARTMENTS→ OK.

6- 30 MINUTE FIRE SEPARATION REQUIRED BETWEEN APARTMENTS AND CORRIDOR

ARCHITECT  
JEFFREY LYKINS  
110-1/2 SOUTH KILLINGLY ROAD  
FOSTER RI 02825  
TEL 401-474-9901  
JEFFREY.LYKINS@GMAIL.COM



528 CHARLES ST – PROVIDENCE RI –02908

JOB TITLE

CHANGING OCCUPANCY  
AND REMODELING ON FIRST FLOOR

SHEET TITLE

COVER SHEET

DRAWN

MB

DATE

JANUARY 19/21

SCALE

AS SHOWN

REVISED

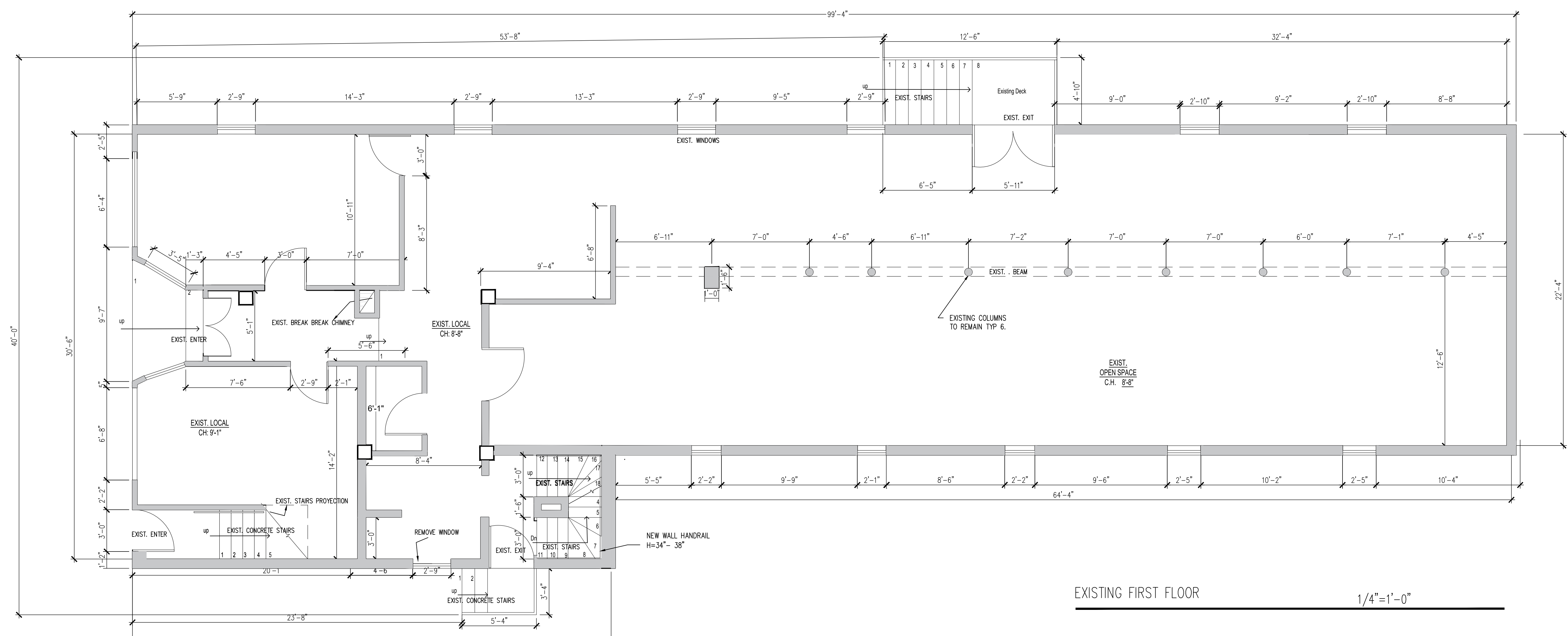
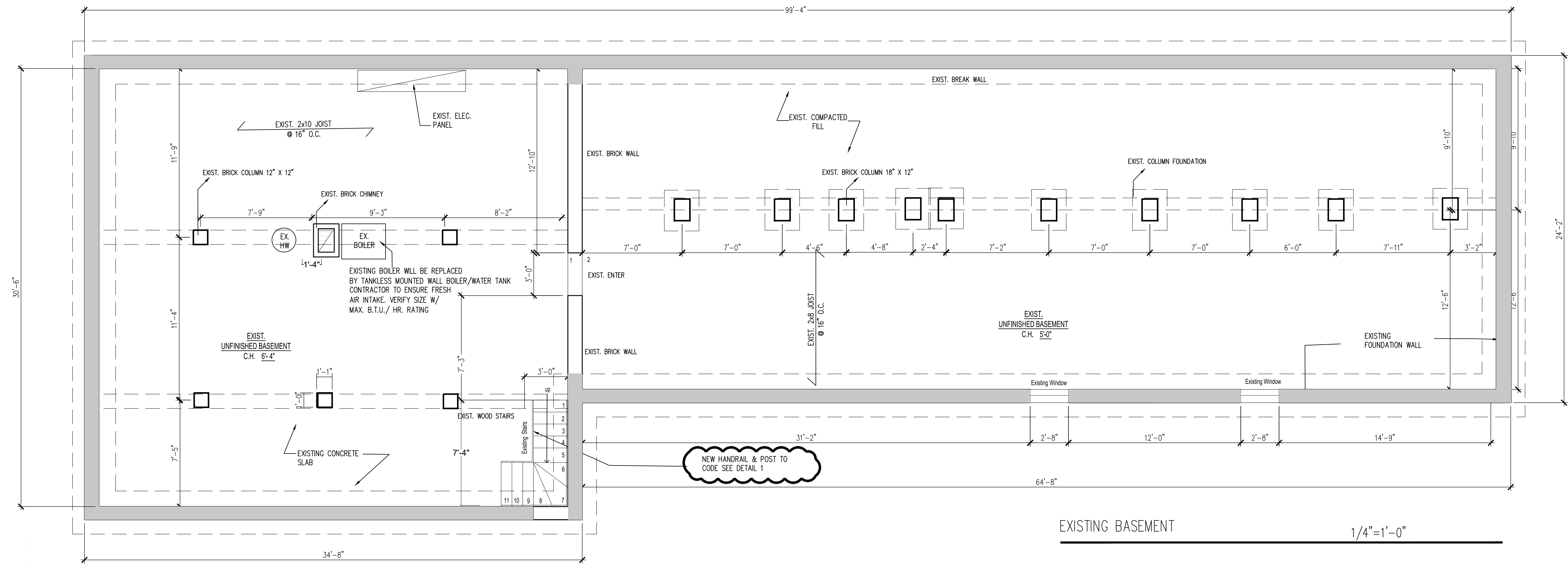
JOB NO.

DRAWING

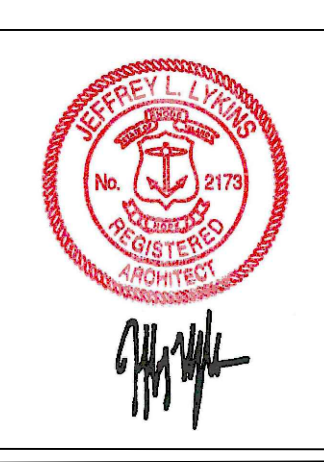
1

OF 4





ARCHITECT  
JEFFREY LYKINS  
110-1/2 SOUTH KILLINGLY ROAD  
FOSTER RI 02825  
TEL 401-474-9901  
JEFFREY.LYKINS@GMAIL.COM



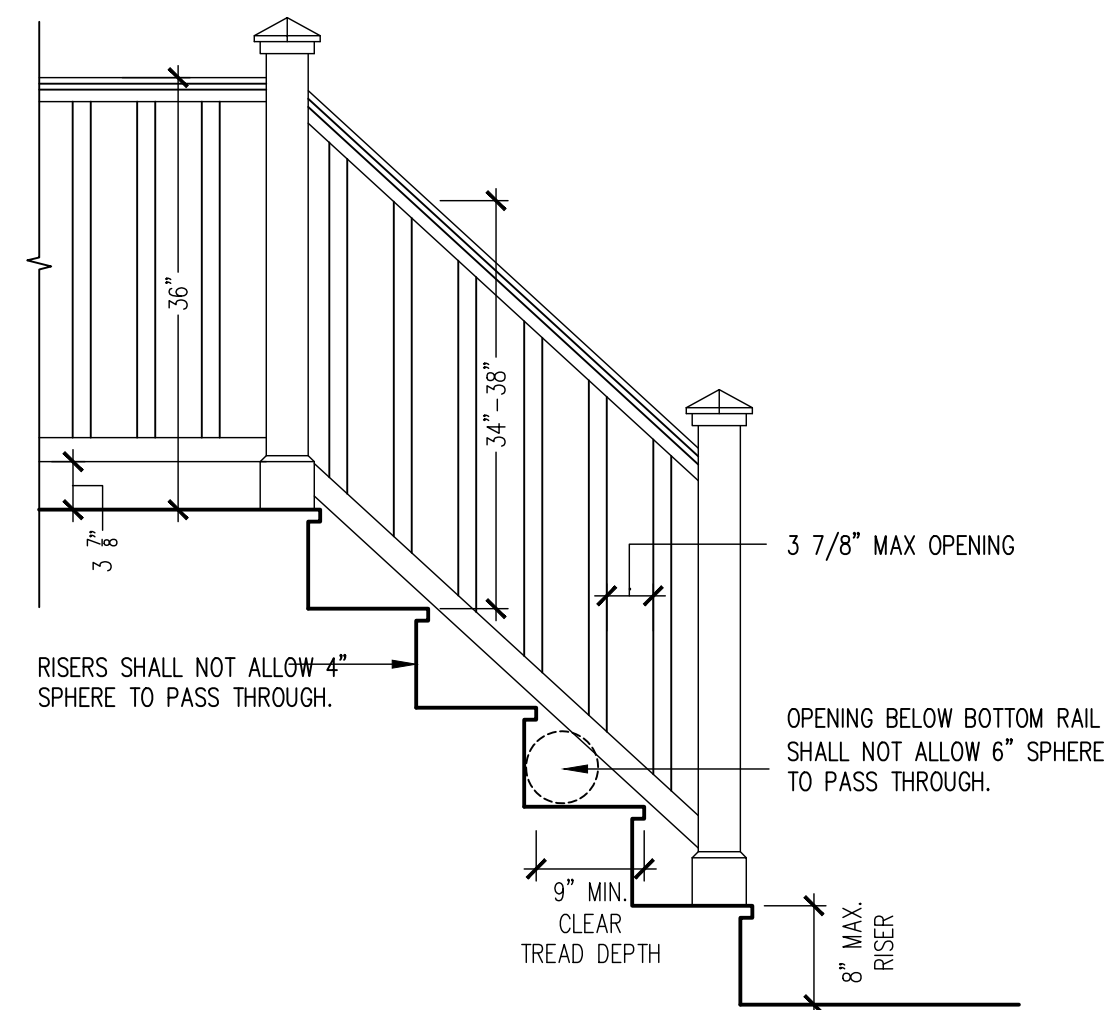
528 CHARLES ST – PROVIDENCE RI –02908

JOB TITLE  
CHANGING OCCUPANCY  
AND REMODELING ON FIRST FLOOR

SHEET TITLE  
EXISTING PLAN  
DRAWN MB DATE JANUARY 19/21

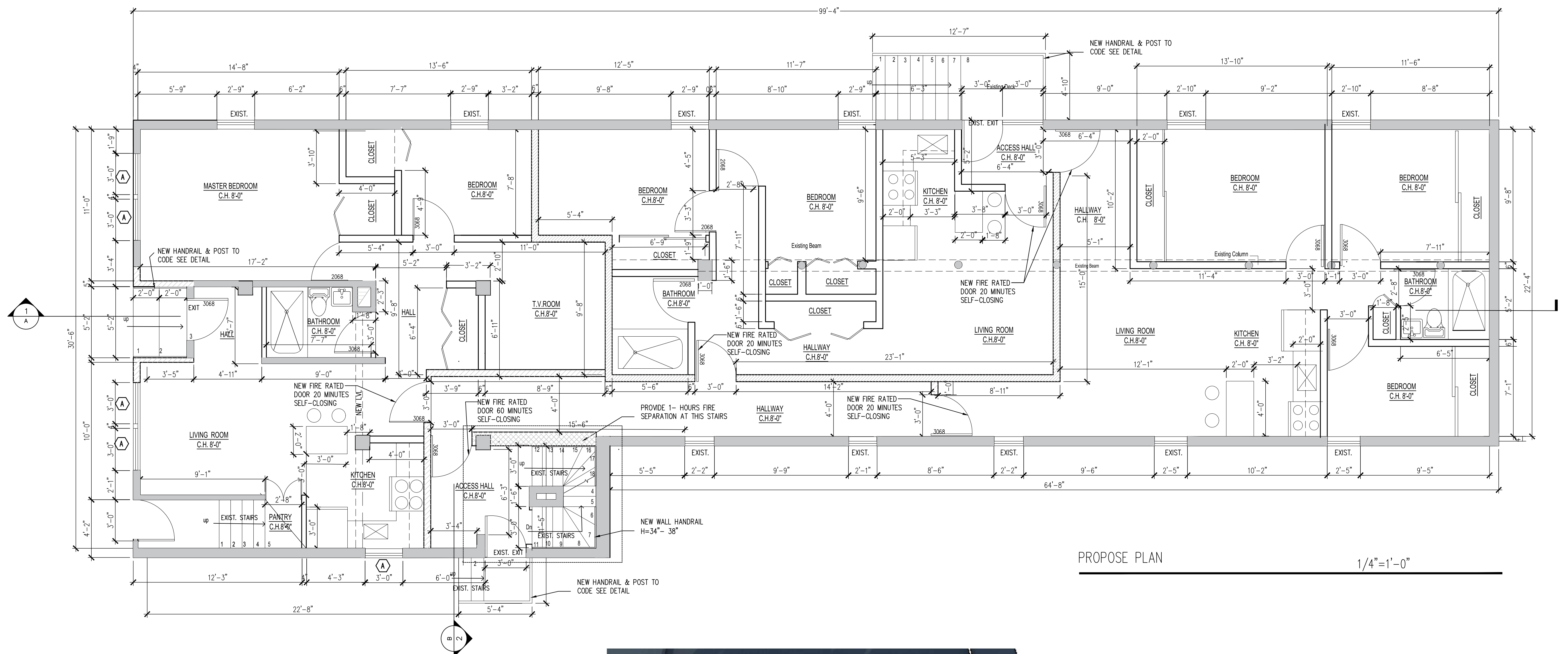
SCALE AS SHOWN  
JOB NO.  
DRAWING 2 OF 4





STAIR DETAIL

3/4"=1'-0"

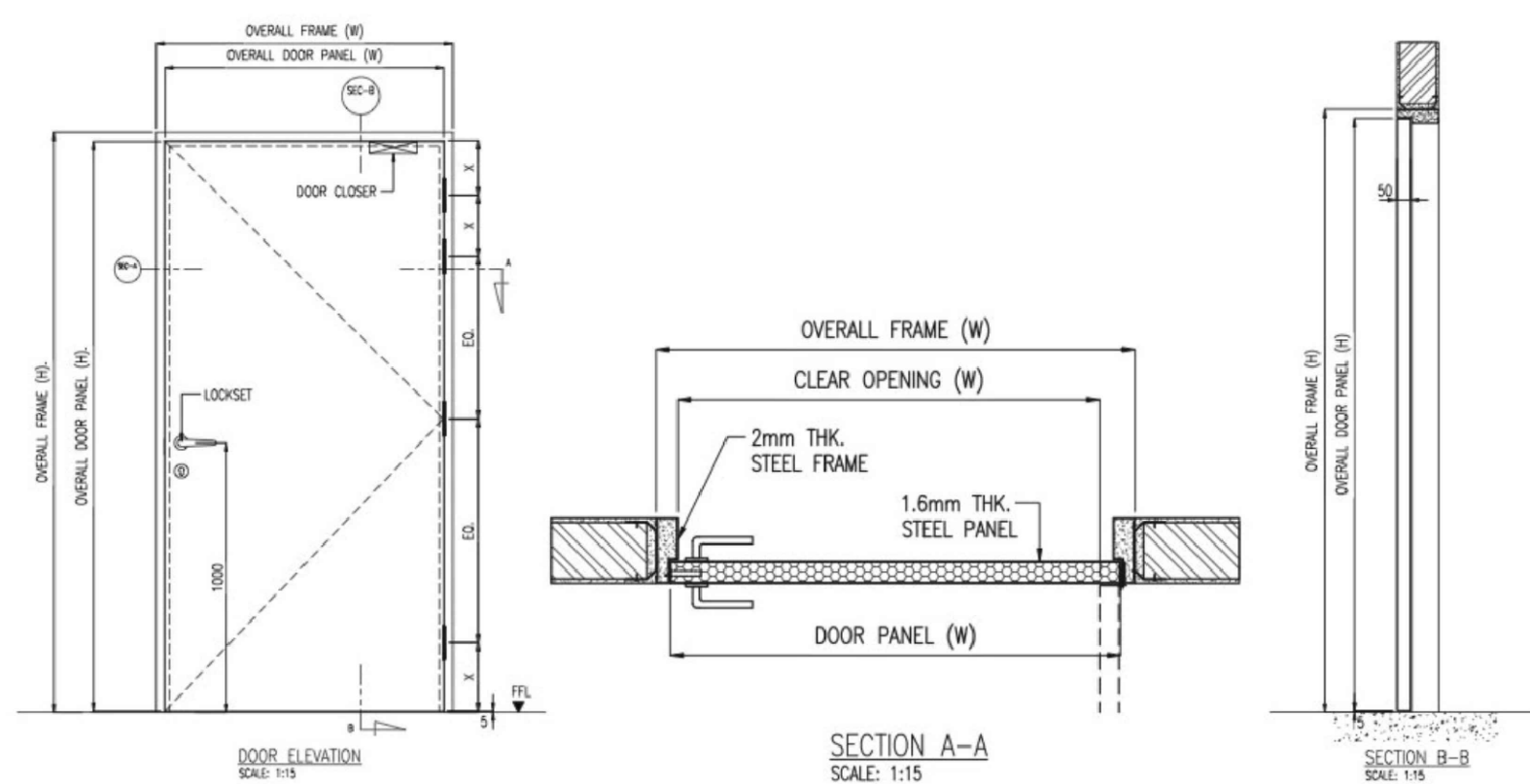
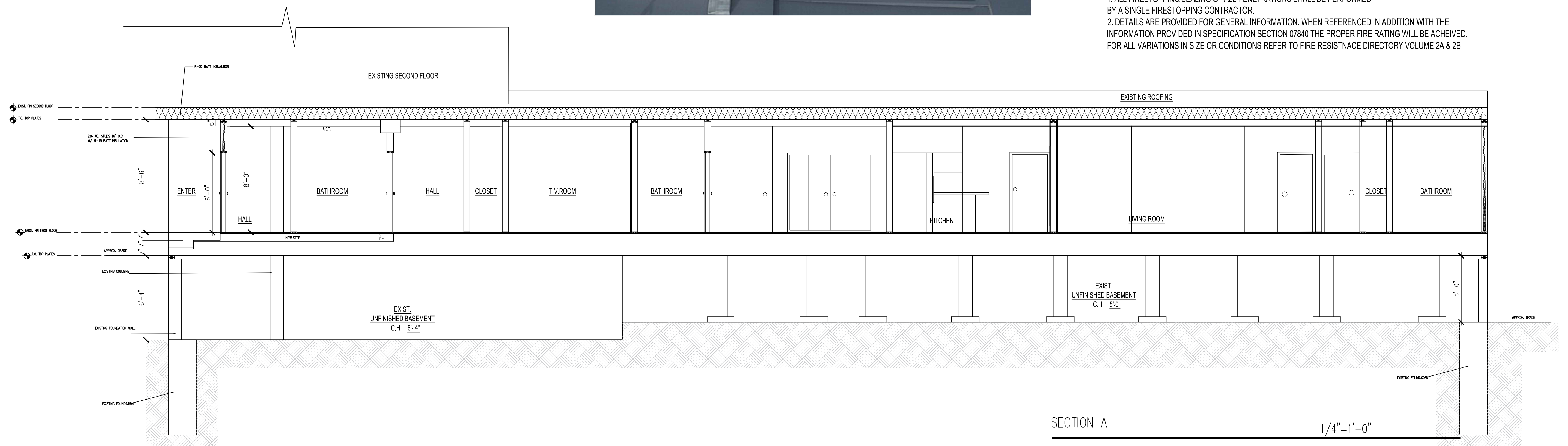


GENERAL PARTITION TYPE NOTES

1. CONSTRUCTION OF RATED PARTITIONS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS TO MEET ALL REQUIREMENTS OF THE LISTING AGENCY REFERENCED IN THE DRAWINGS AND SPECIFICATIONS.
2. PROVIDE WATER RESISTANT GYPSUM WALLBOARD AT ALL "WET" ROOMS.
3. USE FIRE RATED GYPSUM WALL BOARD AS RECOMMENDED BY LISTING AGENCY AT ALL SMOKE AND FIRE RATED PARTITIONS.

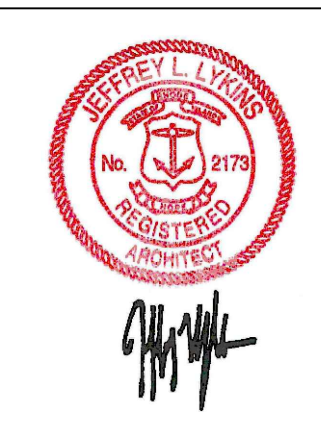
GENERAL FIRESTOPPING NOTES

1. ALL FIRESTOPPING/SEALING OF ALL PENETRATIONS SHALL BE PERFORMED BY A SINGLE FIRESTOPPING CONTRACTOR.
2. DETAILS ARE PROVIDED FOR GENERAL INFORMATION. WHEN REFERENCED IN ADDITION WITH THE INFORMATION PROVIDED IN SPECIFICATION SECTION 07840 THE PROPER FIRE RATING WILL BE ACHIEVED. FOR ALL VARIATIONS IN SIZE OR CONDITIONS REFER TO FIRE RESISTANCE DIRECTORY VOLUME 2A & 2B



FIRE RATED DOOR DETAIL

ARCHITECT  
JEFFREY LYKINS  
110-1/2 SOUTH KILLINGLY ROAD  
FOSTER RI 02825  
TEL 401-474-9901  
JEFFREY.LYKINS@GMAIL.COM



528 CHARLES ST - PROVIDENCE RI -02908

JOB TITLE  
CHANGING OCCUPANCY  
AND REMODELING ON FIRST FLOOR

SHEET TITLE  
PROPOSED IN FIRST FLOOR

DRAWN  
MB

DATE  
JANUARY 19/21

SCALE  
AS SHOWN

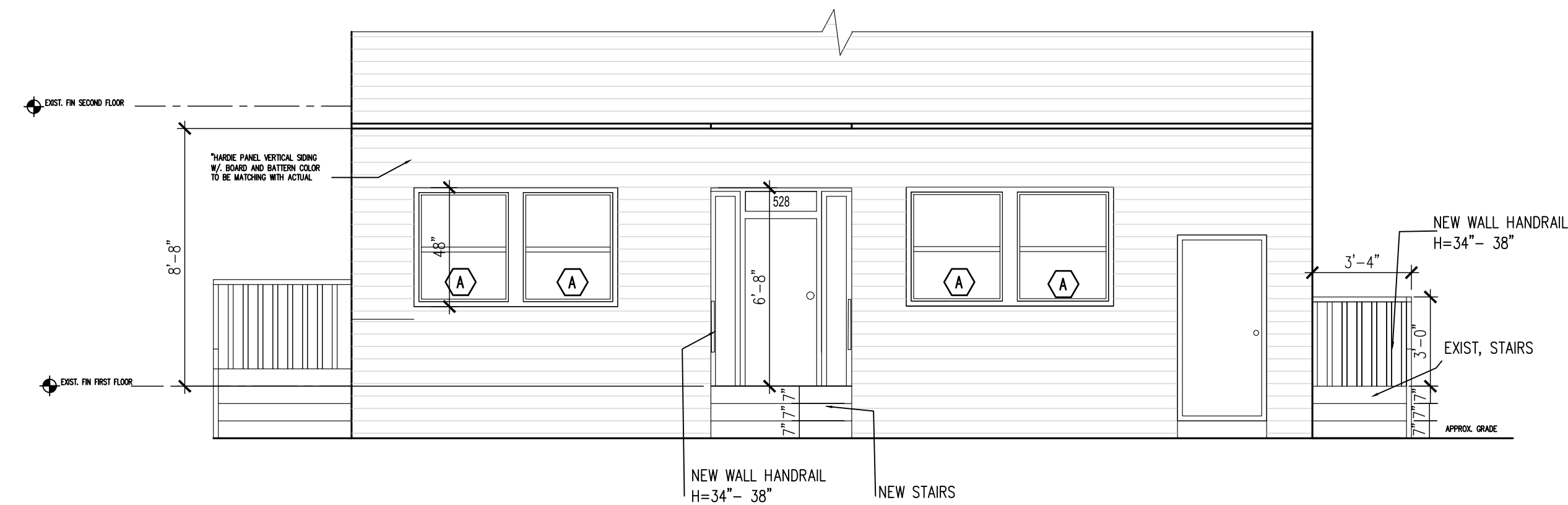
REVISIONS

DRAWING  
3  
OF 4

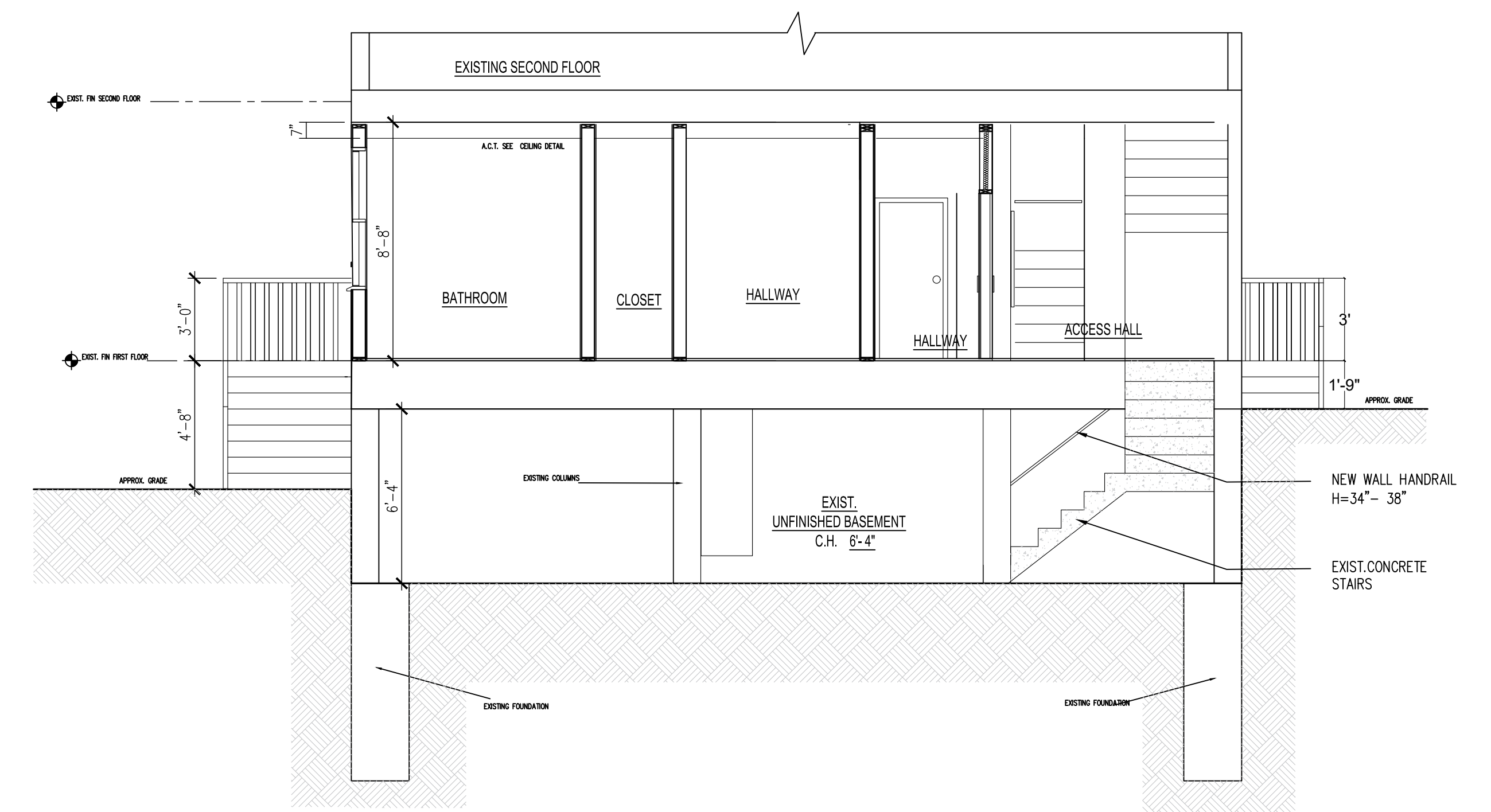




EXISTING LEFT ELEVATION  
1/4"=1'-0"



PROPOSED FRONT ELEVATION  
1/4"=1'-0"



SECTION B  
1/4"=1'-0"

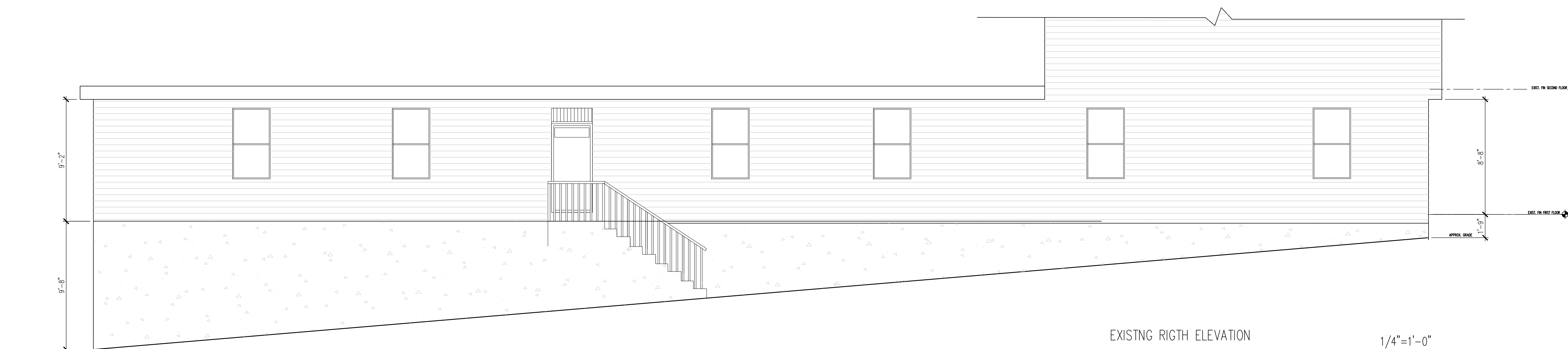
### WINDOW SCHEDULE:

#	WINDOW TYPE	SIZE	COMMENTS
A	400 SERIES TILT/WASH DOUBLE HUNG	3' X 4'	MEETS EGRESS REQUIREMENTS
B	400 SERIES TILT/WASH DOUBLE HUNG	2'-9" X 5'-2"	

EGRESS REQUIREMENTS: AS PER RCNYS, SECTION R 310.1 MINIMUM OPENING AREA SHALL BE 5.7 SQ. FT. WITH A MINIMUM HEIGHT OF 24" AND MINIMUM WIDTH OF 20".

### WINDOW GENERAL NOTES:

- ALL NEW WINDOWS SHALL HAVE ALL REQUIRED HARDWARE INCLUDING INSECT SCREENS FOR A COMPLETE INSTALLATION.
- CONTRACTOR SHALL COORDINATE ALL ROUGH OPENING REQUIREMENTS FOR ALL WINDOWS WITH WINDOW MANUFACTURER PRIOR TO FRAMING.
- CONTRACTOR SHALL COORDINATE ALL WINDOWS, WHERE GLASS IS LESS THAN 18" ABOVE FINISH FLOOR SAFETY GLASS SHALL BE PROVIDED.
- CONTRACTOR SHALL COORDINATE ALL JAMB DEPTHS AND SHALL PROVIDE JAMB EXTENSIONS AS REQUIRED.
- CONTRACTOR SHALL COORDINATE WITH OWNER ALL OPTIONS (STYLE, FINISHES, ETC.) FOR ALL WINDOW HARDWARE, COMPONENTS AND SCREENING PRIOR TO ORDERING WINDOWS.



EXISTING RIGHT ELEVATION  
1/4"=1'-0"

**CLOSET NOTE:**  
CONTRACTOR TO PROVIDE AND INSTALL ONE CLOTHES ROD AND 12" DEEP WOOD SHELF MOUNTED AT 64" A.F.F. IN ALL CLOSETS EXCEPT LINEN CLOSET AND MASTER BEDROOM CLOSETS.  
PROVIDE AND INSTALL (4) 12" DEEP WOOD SHELVES ON ADJUSTABLE STANDARDS IN LINEN CLOSET, MASTER BEDROOM CLOSET TO HAVE CUSTOM SHELVING/ STORAGE SYSTEM INSTALLED (TO BE PROVIDED BY OWNER)

**WINDOW NOTE:**  
CONTRACTOR SHALL COORDINATE ALL ROUGH OPENING REQUIREMENTS FOR ALL WINDOWS WITH WINDOW MANUFACTURER. PRIOR TO FRAMING. CONTRACTOR SHALL COORDINATE ALL WINDOWS, WHERE GLASS IS 18" ABOVE FINISH FLOOR SAFETY GLASS SHALL BE PROVIDED.

**TRUSS JOIST SUBSTITUTION:**  
CONTRACTOR SHALL SUBMIT TO ARCHITECT WRITTEN PROOF THAT ANY SUBSTITUTIONS OF TRUSS JOIST MANUFACTURER INDICATED ON THESE DRAWINGS SHALL BE OF EQUAL STRUCTURAL CAPACITY PRIOR TO ORDERING.

ARCHITECT  
JEFFREY LYKINS  
110-1/2 SOUTH KILLINGLY ROAD  
FOSTER RI 02825  
TEL 401-474-9901  
JEFFREY.LYKINS@GMAIL.COM

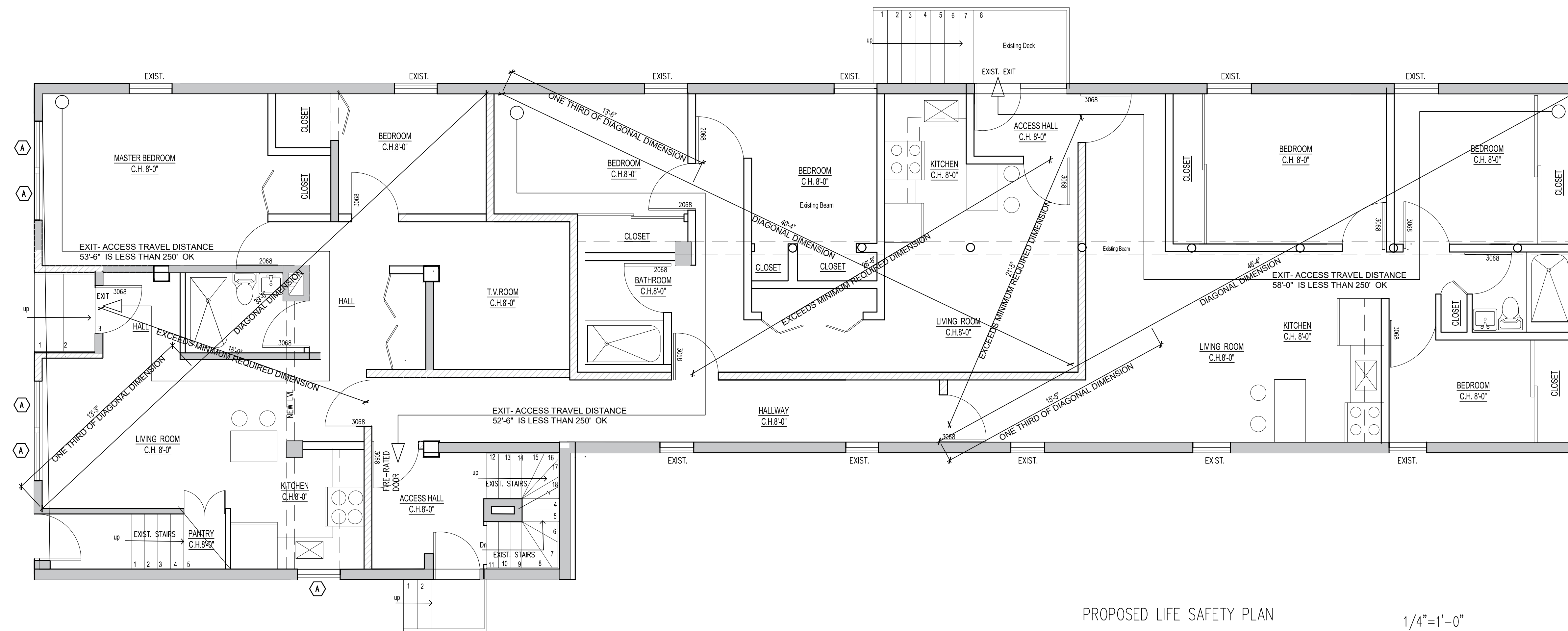


528 CHARLES ST – PROVIDENCE RI –02908

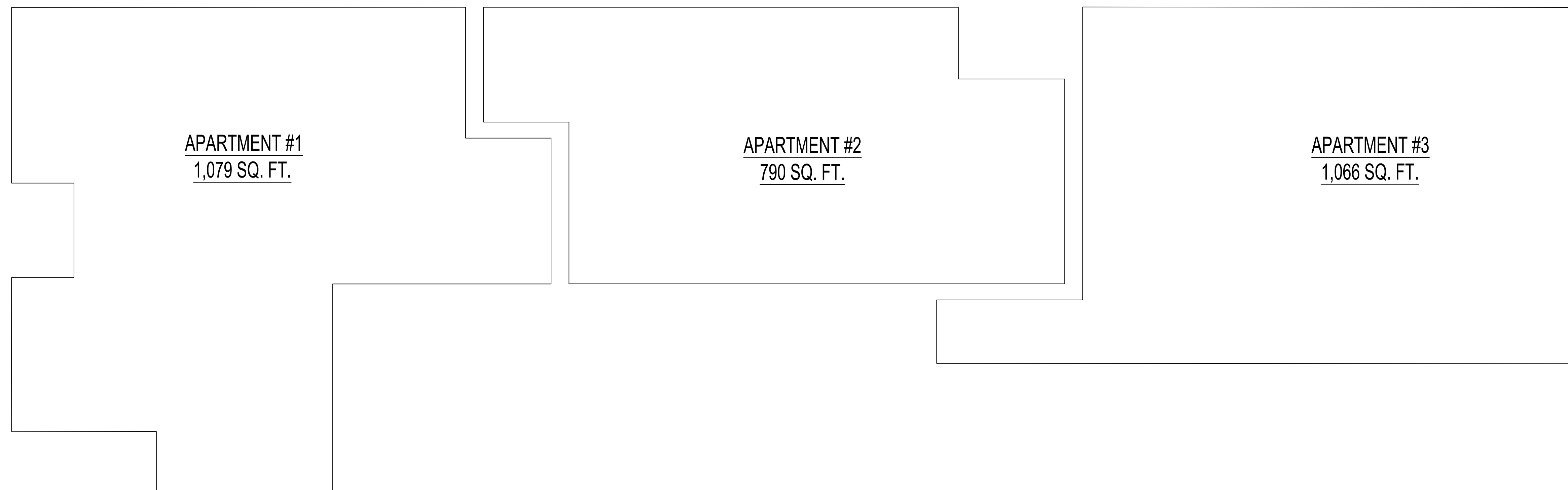
JOB TITLE  
CHANGING OCCUPANCY  
AND REMODELING ON FIRST FLOOR

SHEET TITLE  
ELEVATIONS  
DATE  
JANUARY 19/21

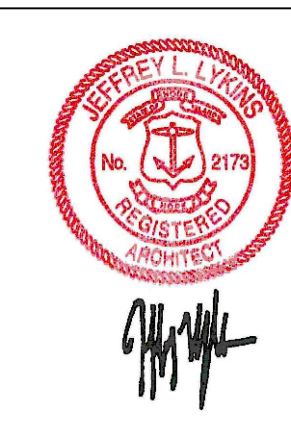
SCALE  
AS SHOWN  
JOB NO.  
DRAWING  
4  
OF 4



PROPOSED LIFE SAFETY PLAN 1/4"=1'-0"



ARCHITECT  
JEFFREY LYKINS  
110-1/2 SOUTH KILLINGLY ROAD  
FOSTER RI 02825  
TEL 401-474-9901  
JEFFREY.LYKINS@GMAIL.COM



528 CHARLES ST - PROVIDENCE RI -02908

JOB TITLE  
CHANGING OCCUPANCY  
AND REMODELING ON FIRST FLOOR

SHEET TITLE  
PROPOSED  
DRAWN MB  
DATE JANUARY 19/21

SCALE AS SHOWN  
JOB NO.  
DRAWING 5  
OF 4