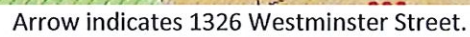


Currently a vacant lot within the Armory local historic district.





**Applicant/Architect:** Chris Bardt & Kyna Leski, 3six0 Architecture, 146 Westminster Street, Providence, RI 02903  
**Owners:** Community Music Works, 1392 Westminster Street, Providence, RI 02909

**Proposal:** The scope of work proposed consists of New Construction and includes:

- The applicant is requesting the construction of an approximately two-story, 23,000 sq. ft Music Education Center.

**Issues:** The following issues are relevant to this application:

- From the architects: "New Construction for a 23,000 square foot (gross area) Music Education Center. The building is planned as a two story plus basement, mass timber (CLT) construction. The ground floor will contain a cafe, administrative space, a gallery and performance hall. The second floor will be used for classes, lessons and practice for groups of students and performers and teachers ranging from 4 to 15 in number. Seven classrooms are dedicated for those purposes. The exterior of the building is to be built to the lot lines facing Westminster Street and Dexter Street. The facade as planned features several bay windows of various sizes reflecting the interior activity and the vital engagement with the street and city. Large storefront openings are combined with smaller operable windows to bring a mixed scale to the building and neighborhood. The cladding will be thermally treated wood rainscreen, arranged in modules of 2 feet wide by 6 feet high. The modules shift up and down depending on the smaller window openings. The base of the building will be clad in precast concrete panels. Entry will be at the corner under one of the bays. Another entry is planned directly in front of the performance hall, on Westminster Street, as a warm weather entry and performance portal, where public performances may take place on the sidewalk. In keeping with CMW's longstanding tradition of access for all and outreach to the community.

This is all new construction taking place on the full allowable footprint for the property, the building will be located on the lot lines to the east, west and northern perimeter of the site. The south edge of the building will set back 20 feet from its southern lot line."; and,

- Plans, elevations, streetscape and photos have been submitted.

**Recommendations:** The staff recommends the PHDC make the following findings of fact:

- a) 1326 Westminster Street is currently a vacant lot within the Armory local historic district;
- b) The application for New Construction is considered complete for conceptual review; and,
- c) The work as proposed is in accord with PHDC Standard 8 as follows: as the proposed construction is appropriate having determined that the proposed construction is architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district.

**Staff recommends a motion be made stating that:** The application is considered complete. 1326 Westminster Street is currently a vacant lot within the Armory local historic district. The Commission grants Conceptual Approval of the proposal as submitted as the proposed New Construction is appropriate having determined that the proposed construction is architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district, citing and agreeing to the recommendations in the staff report, with the applicant to return to a subsequent meeting for final approval.



**community musicworks**

HISTORIC DISTRICT COMMISSION



APRIL 19, 2021





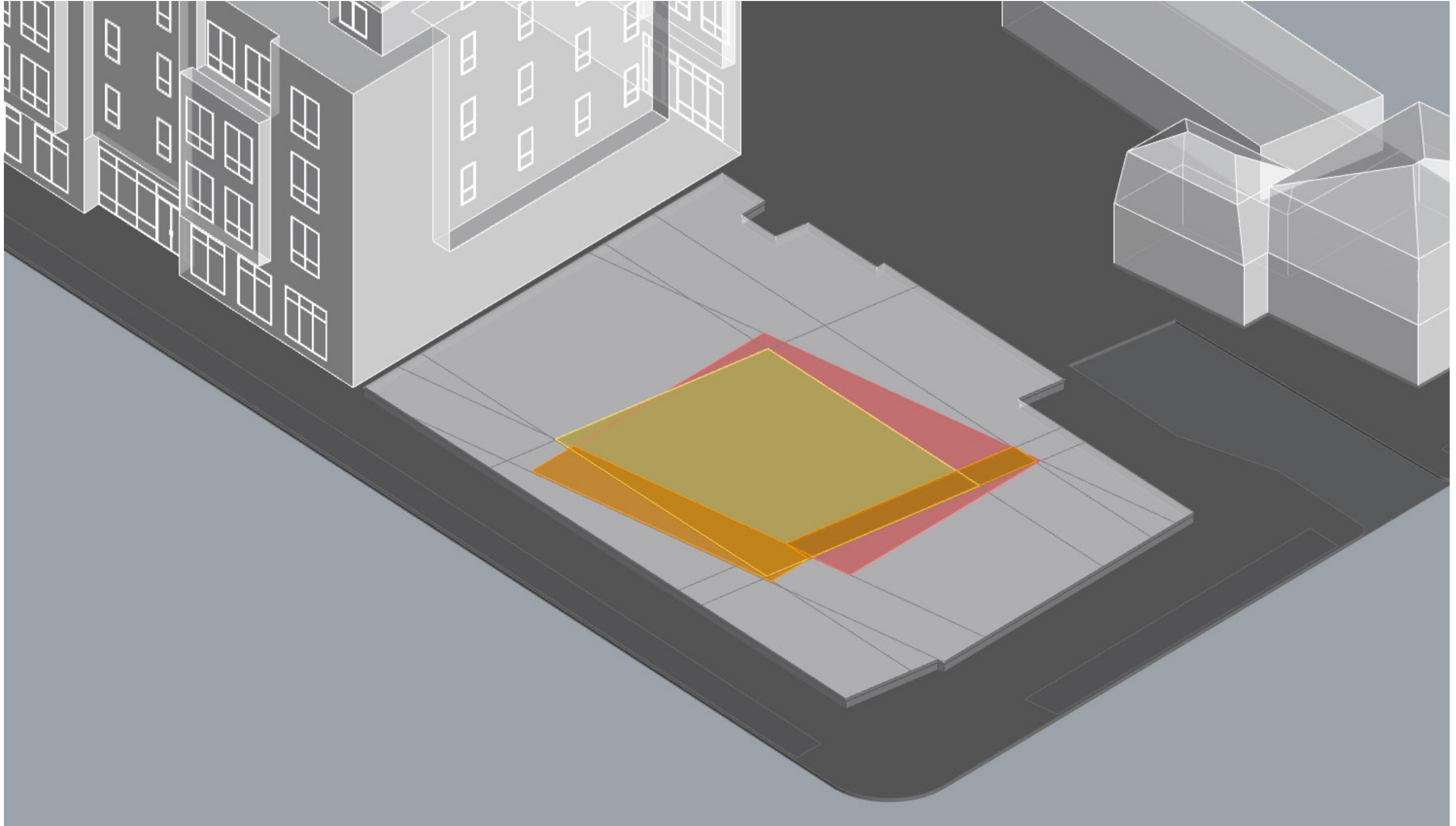




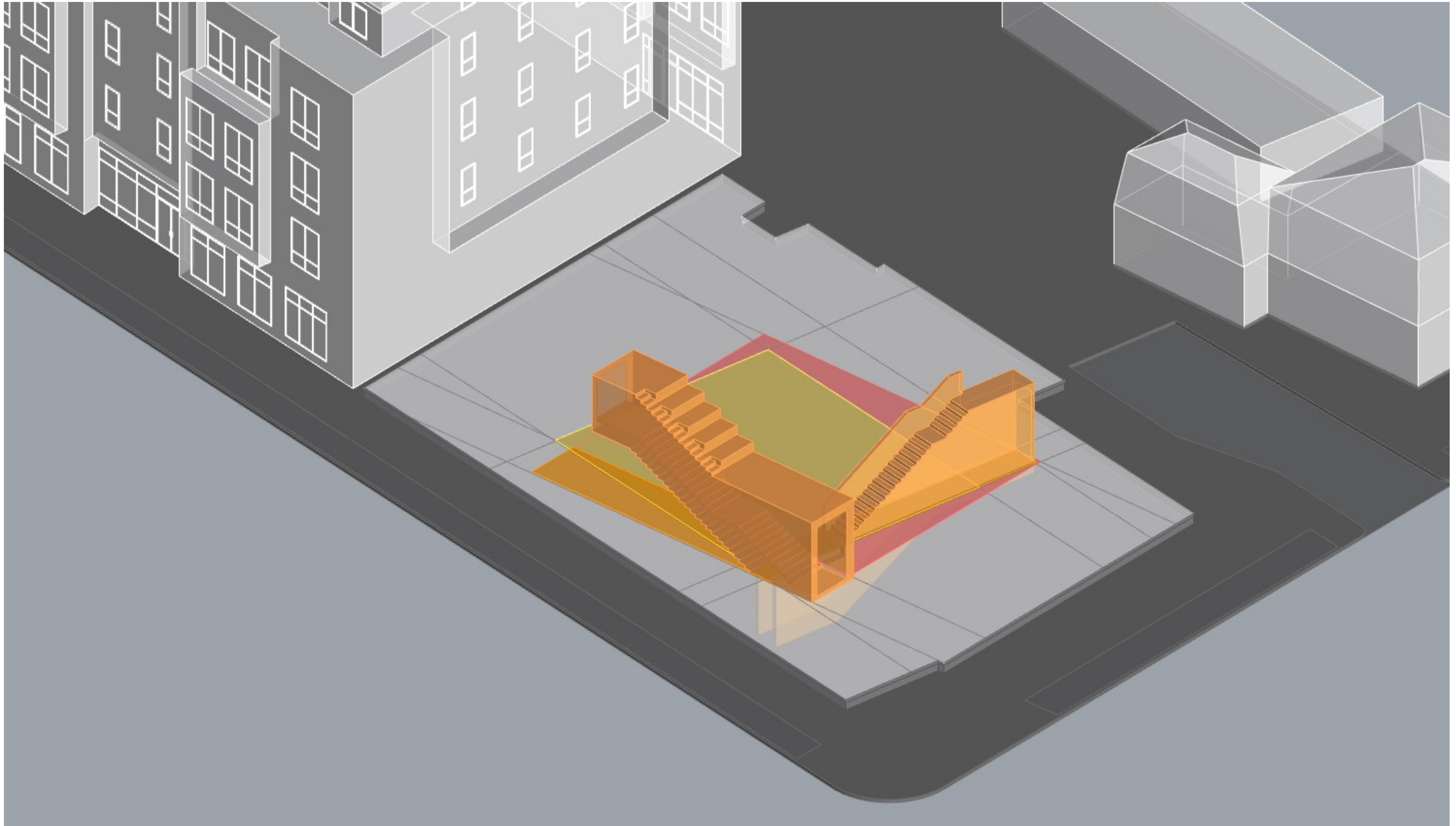




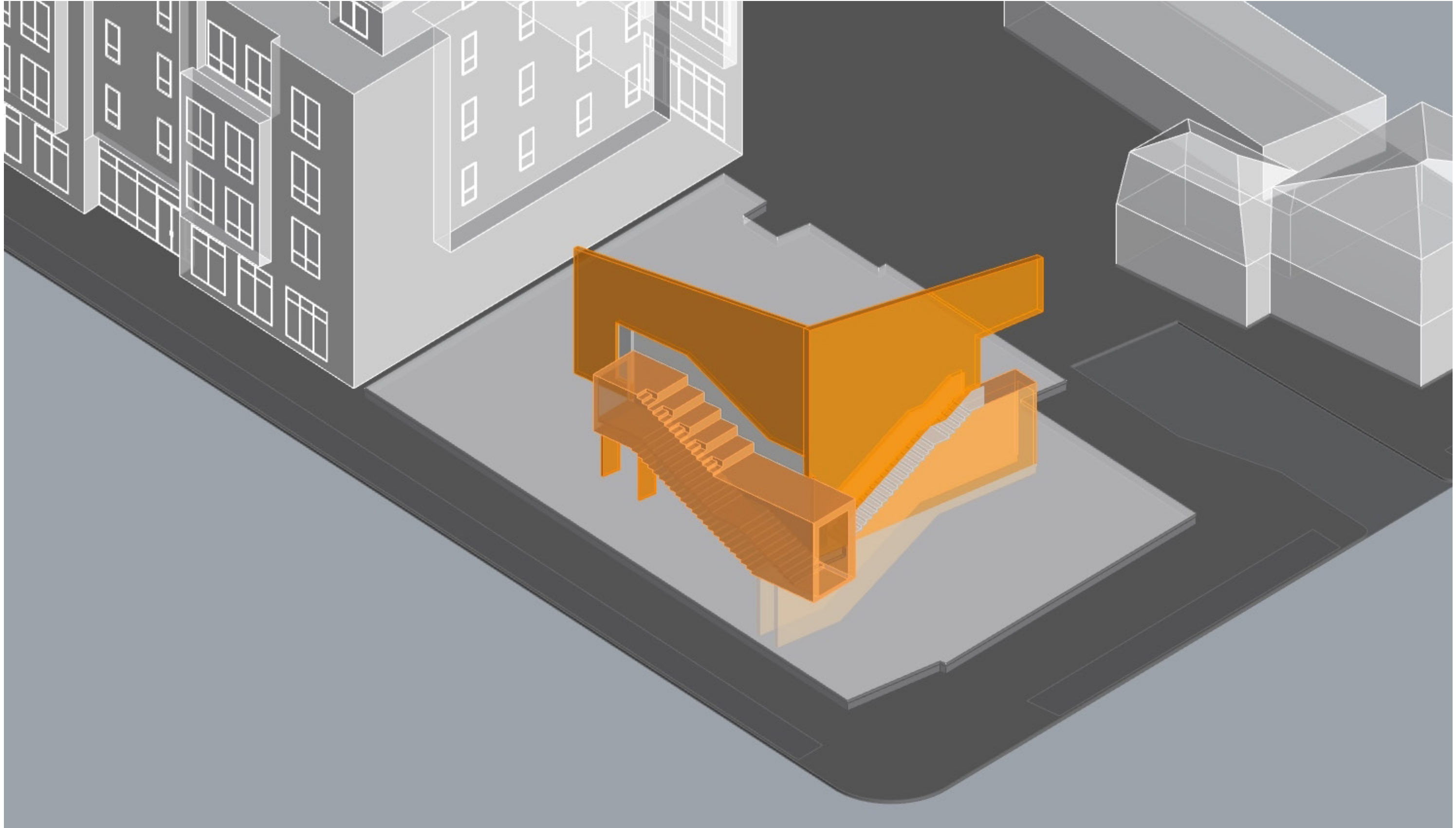




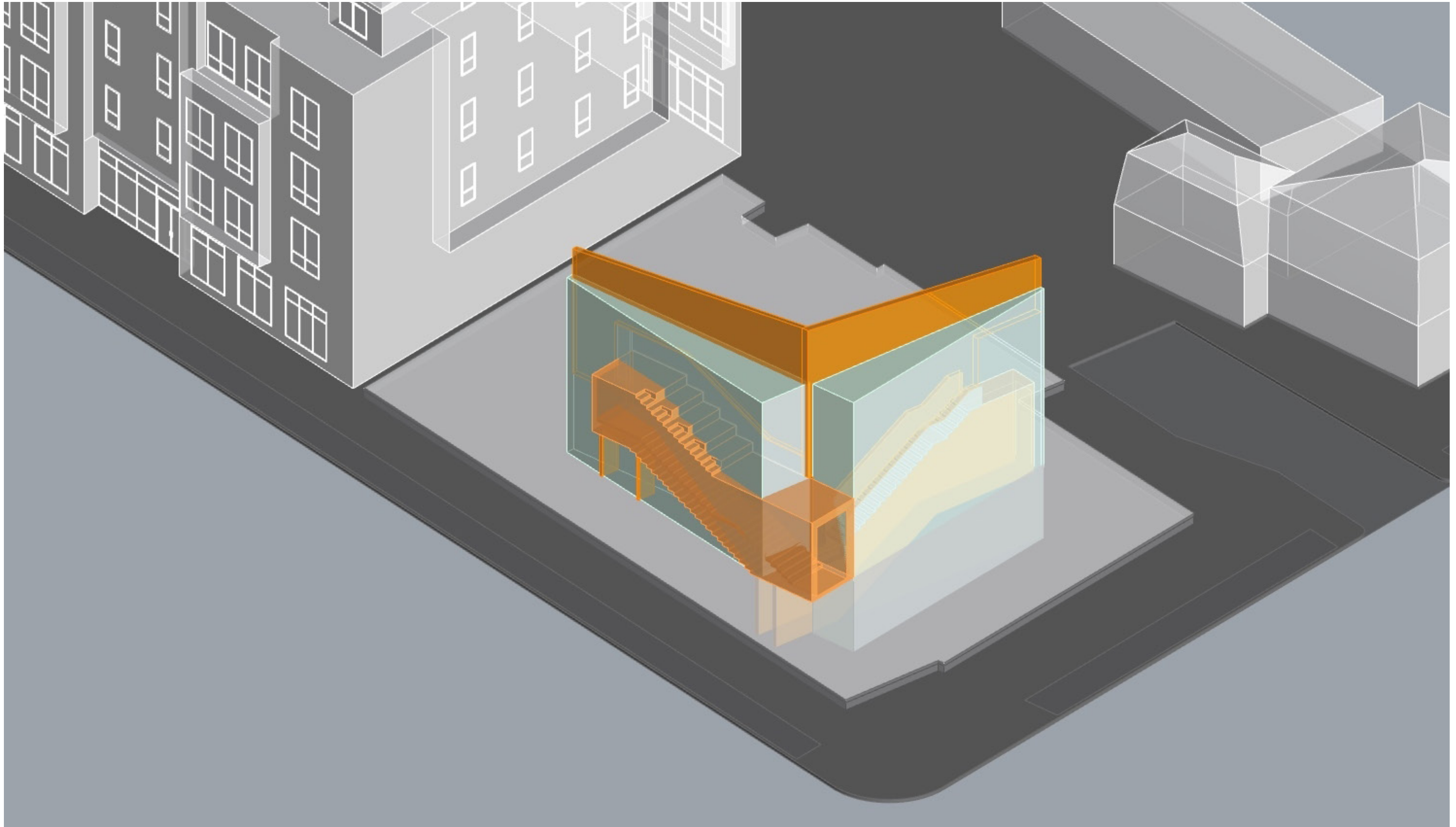




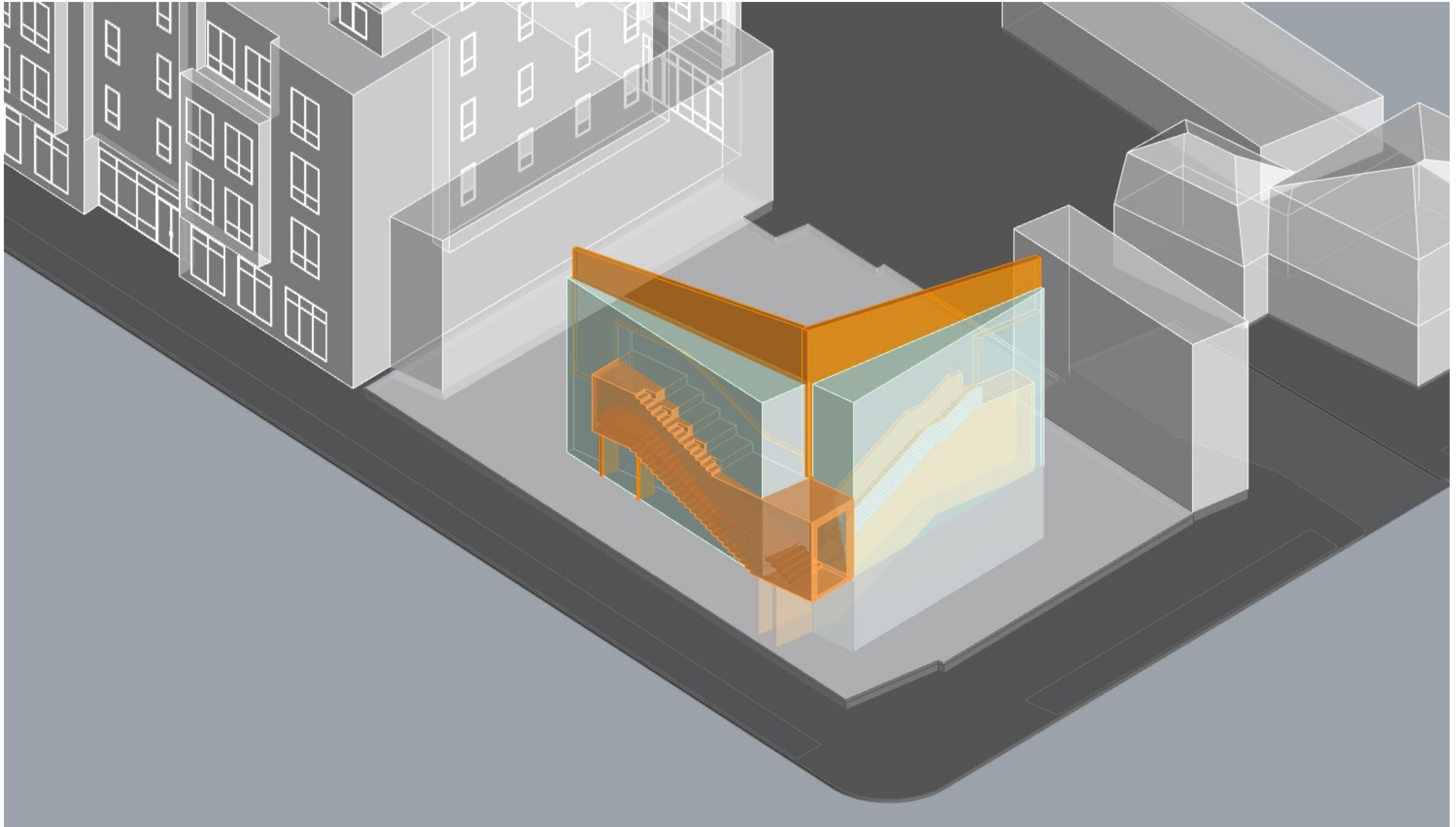




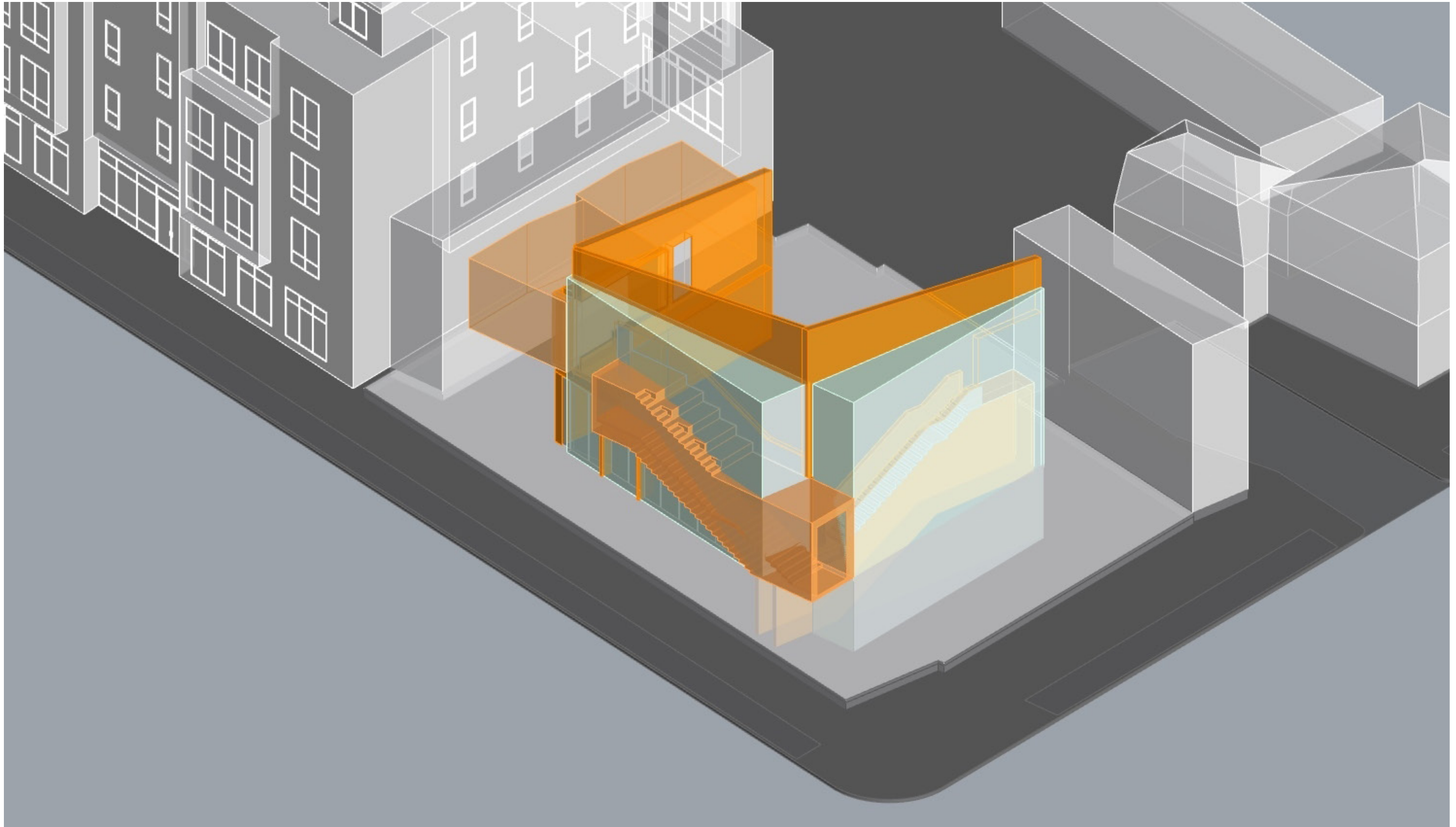




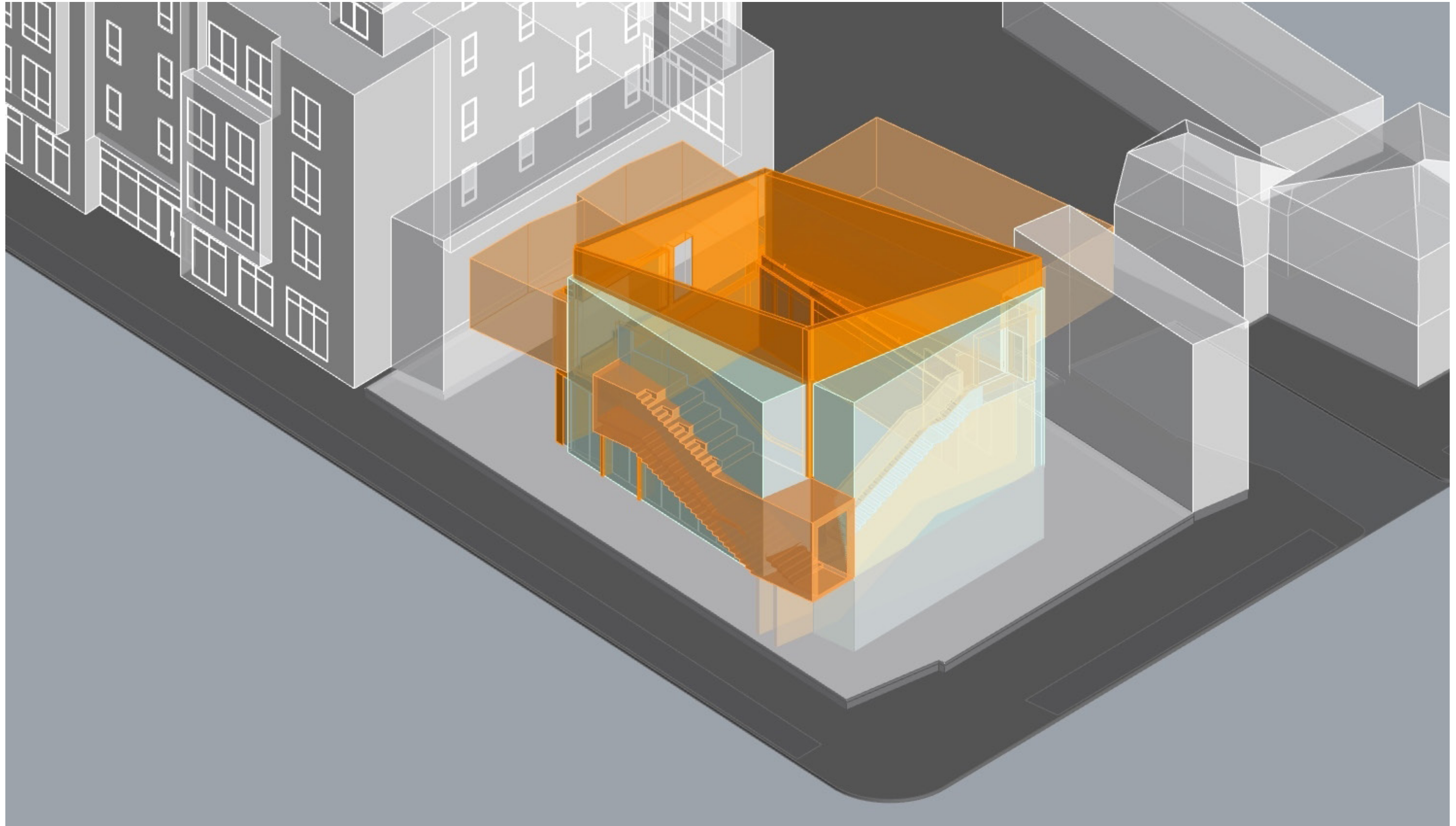




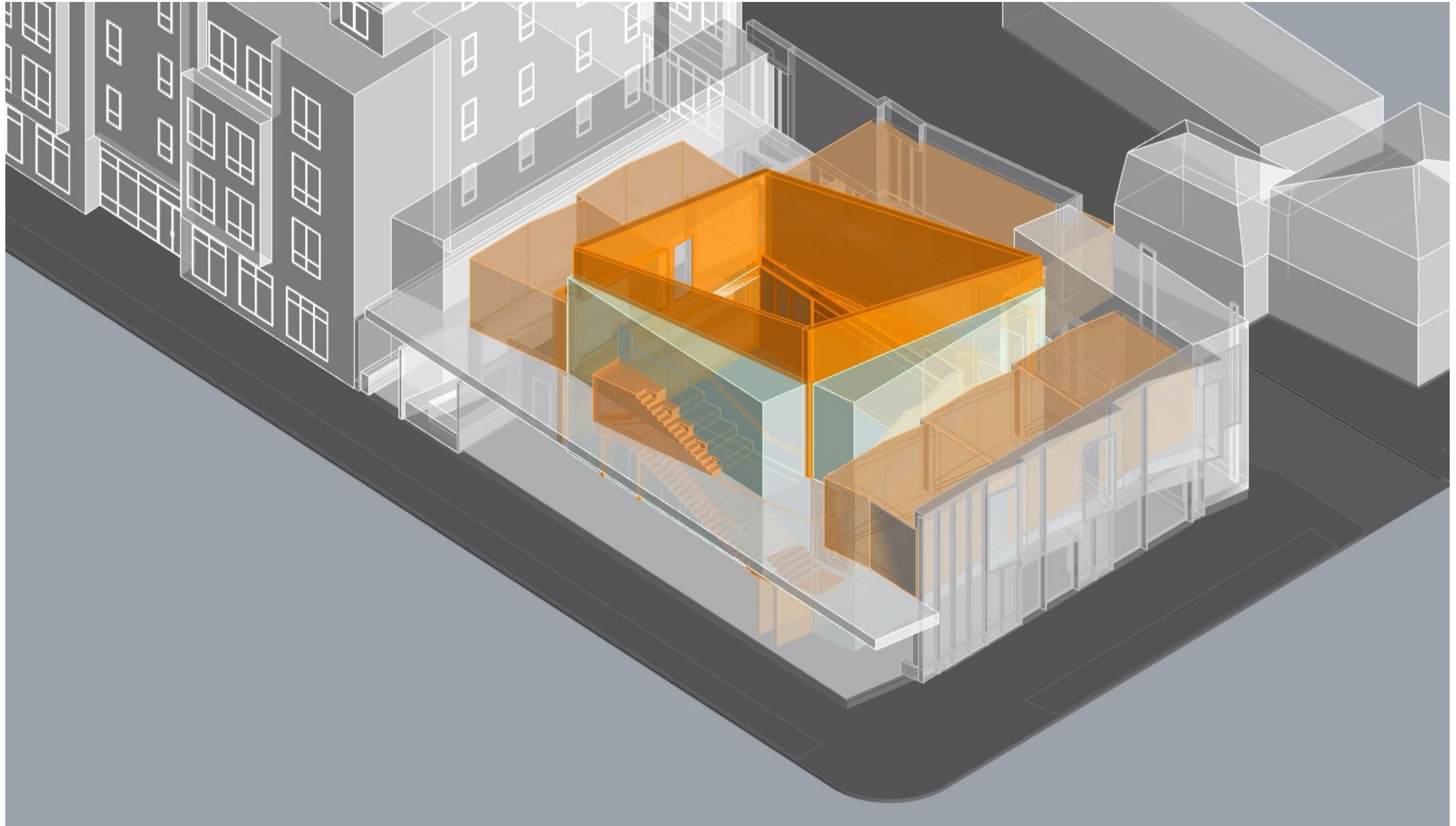




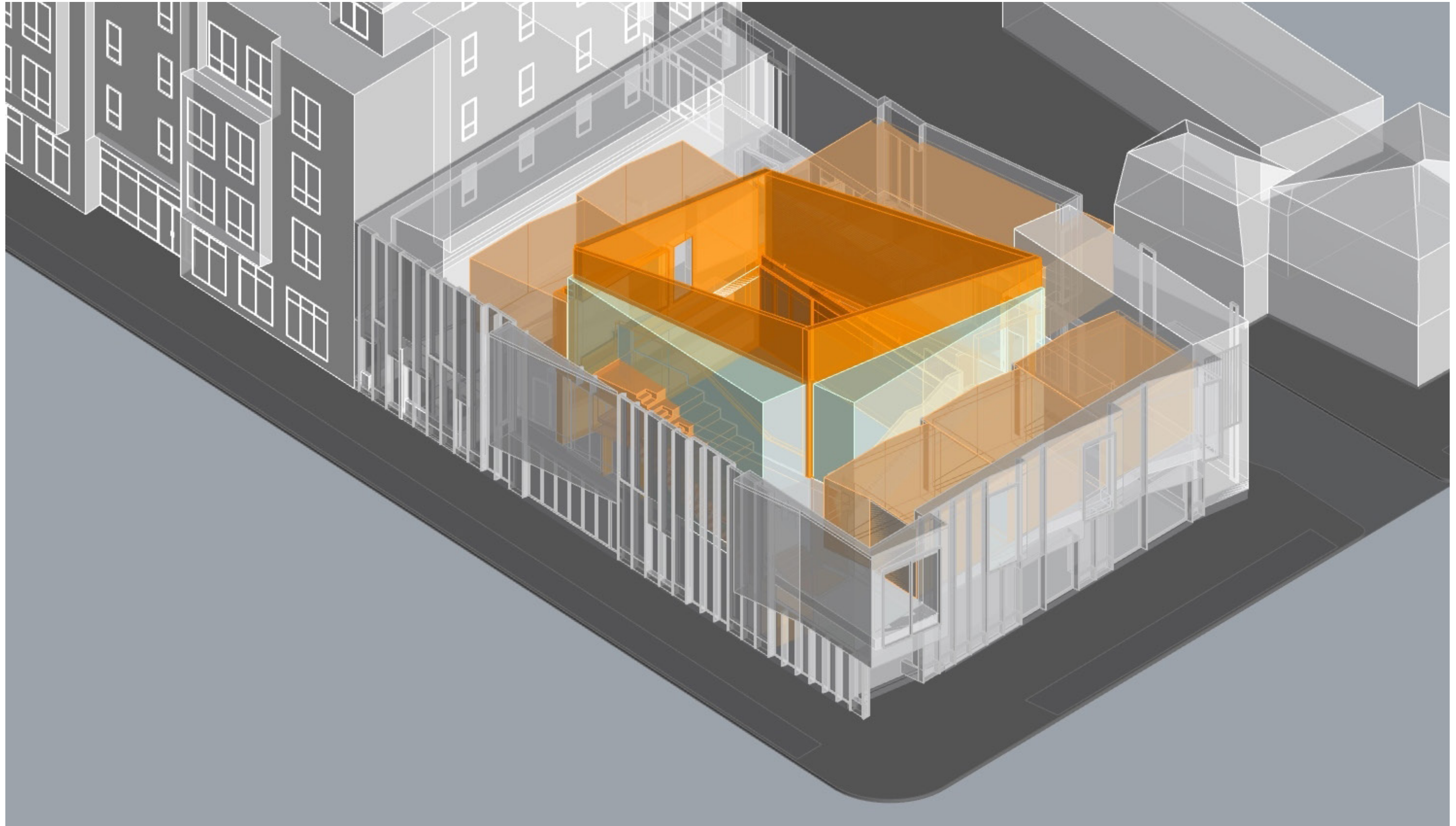




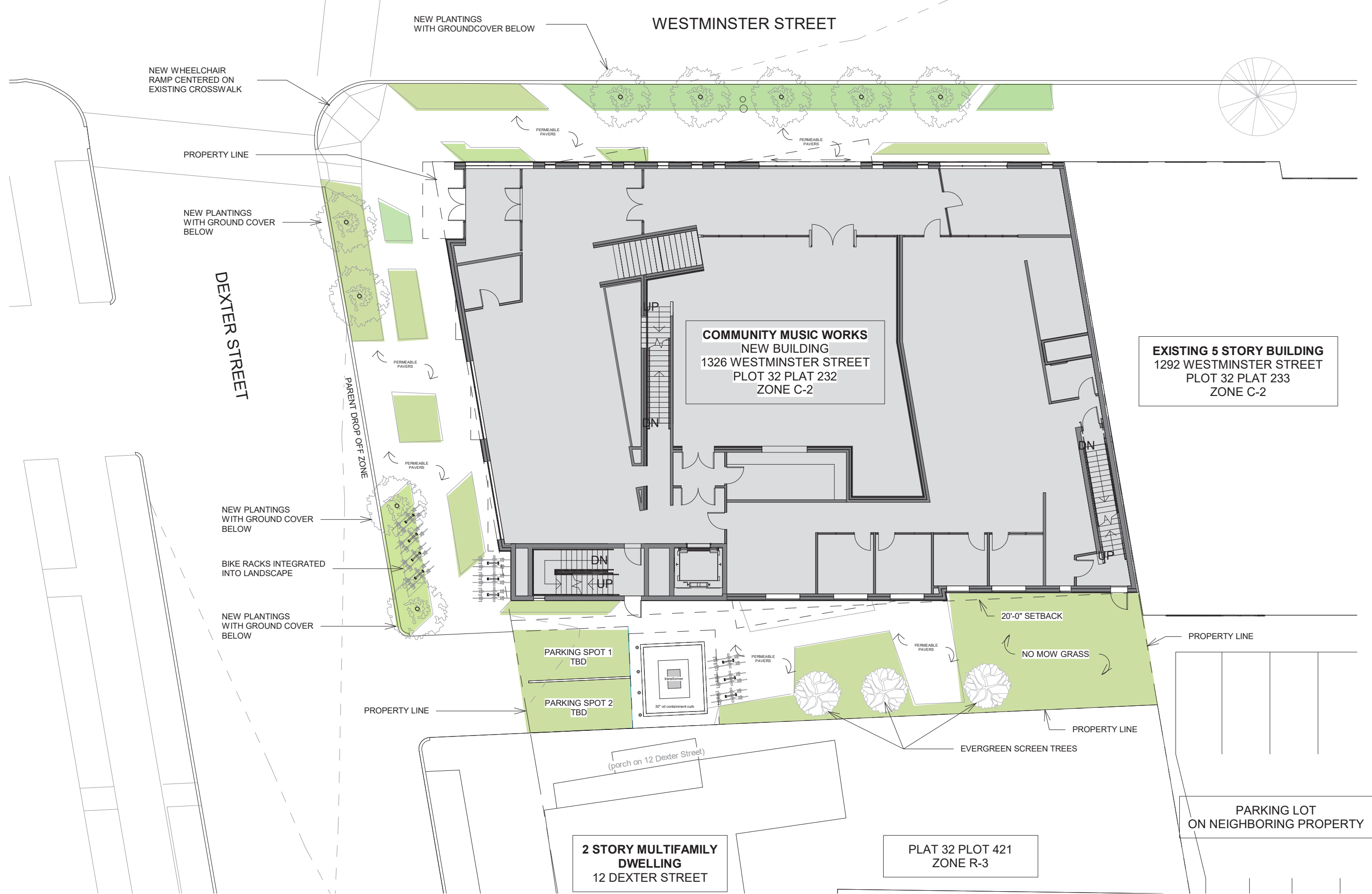








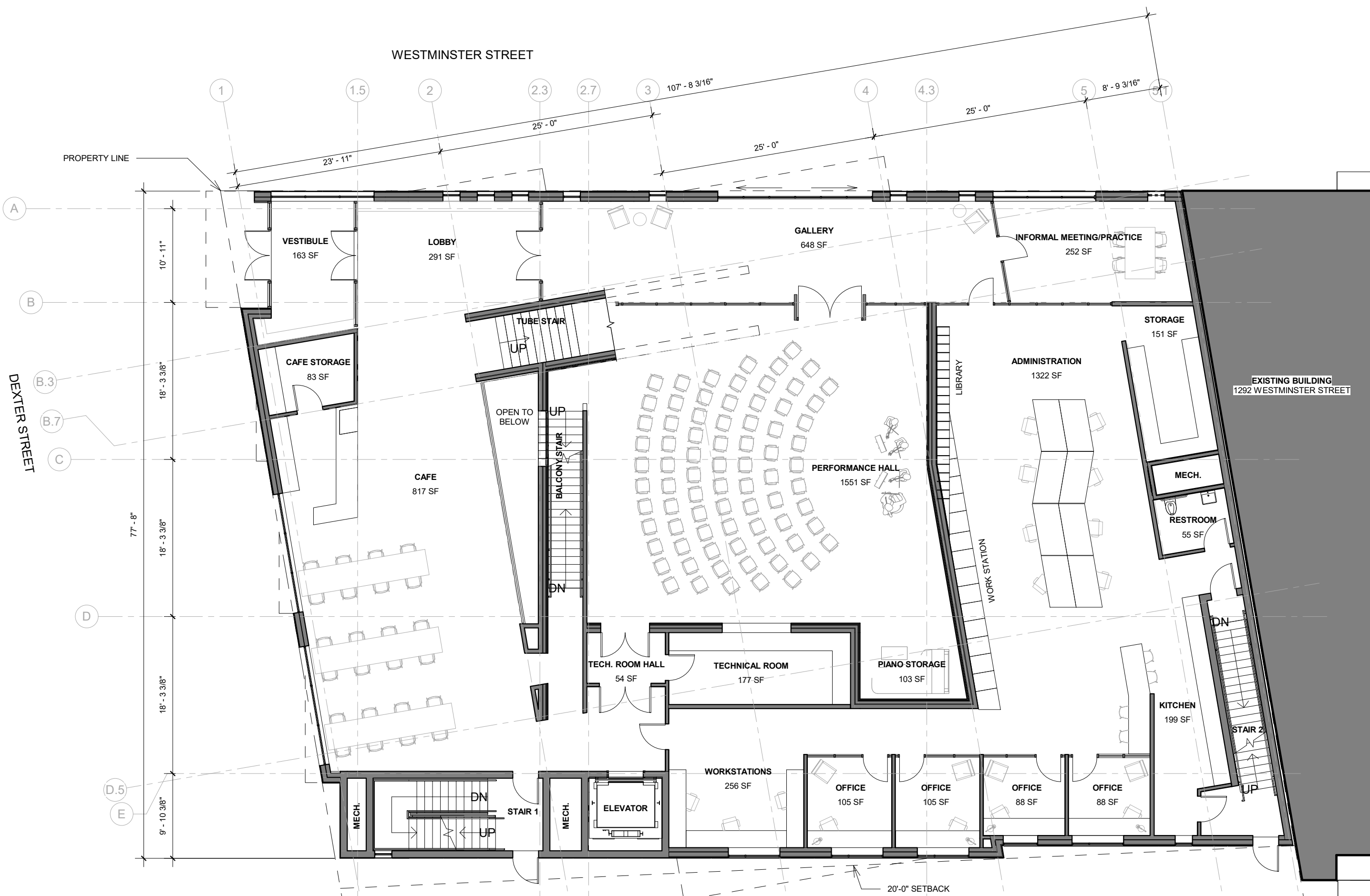




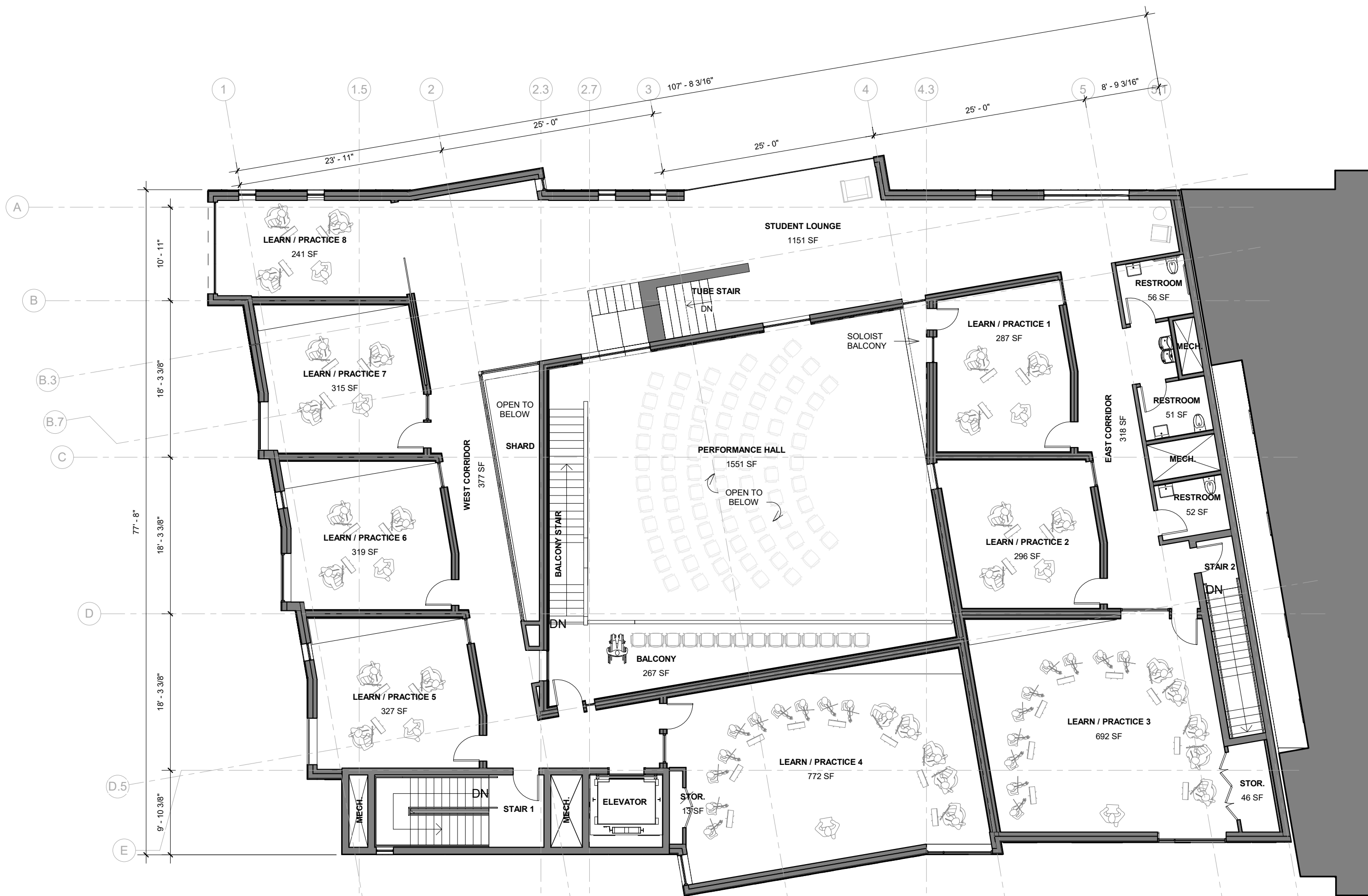




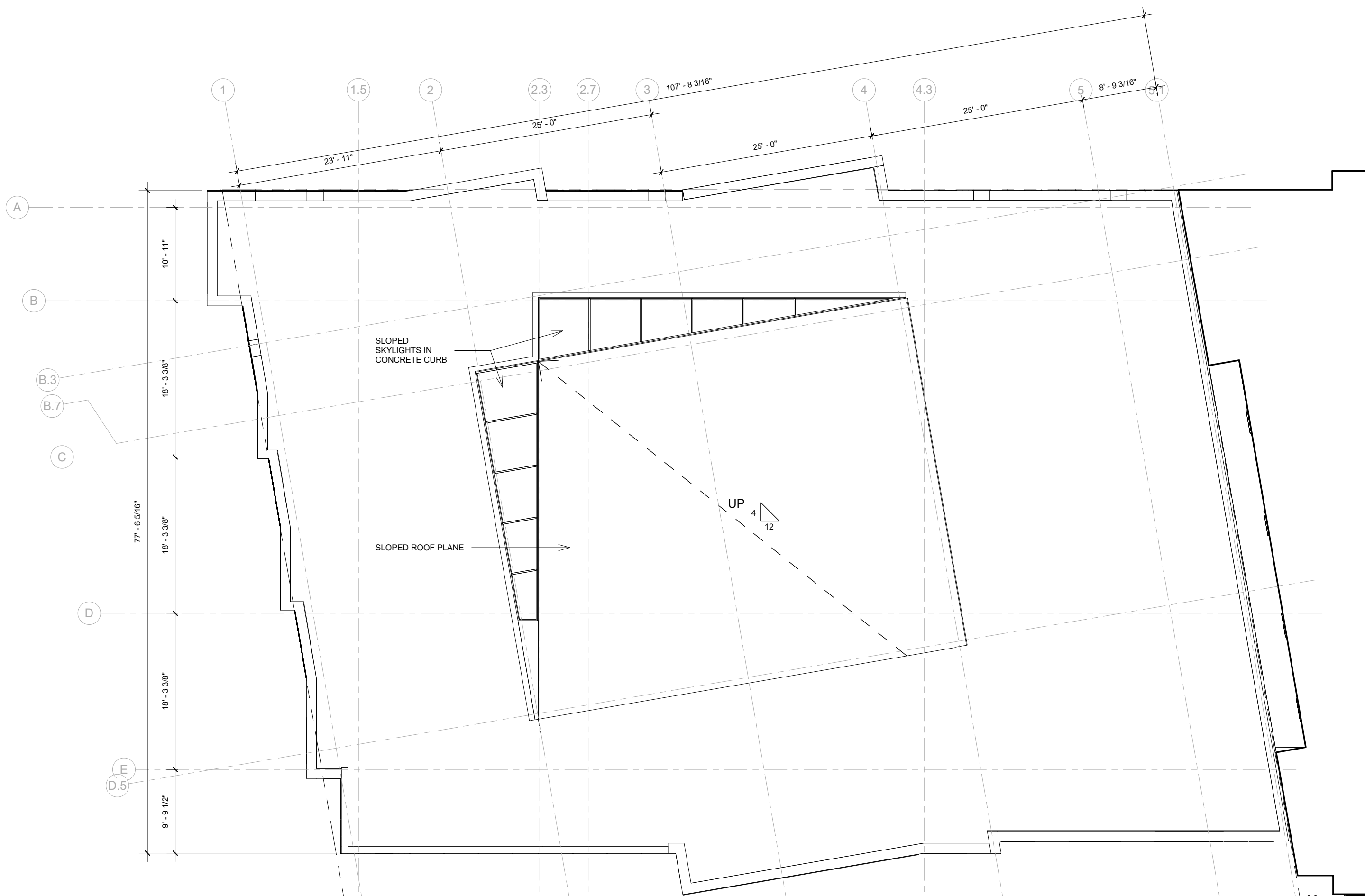




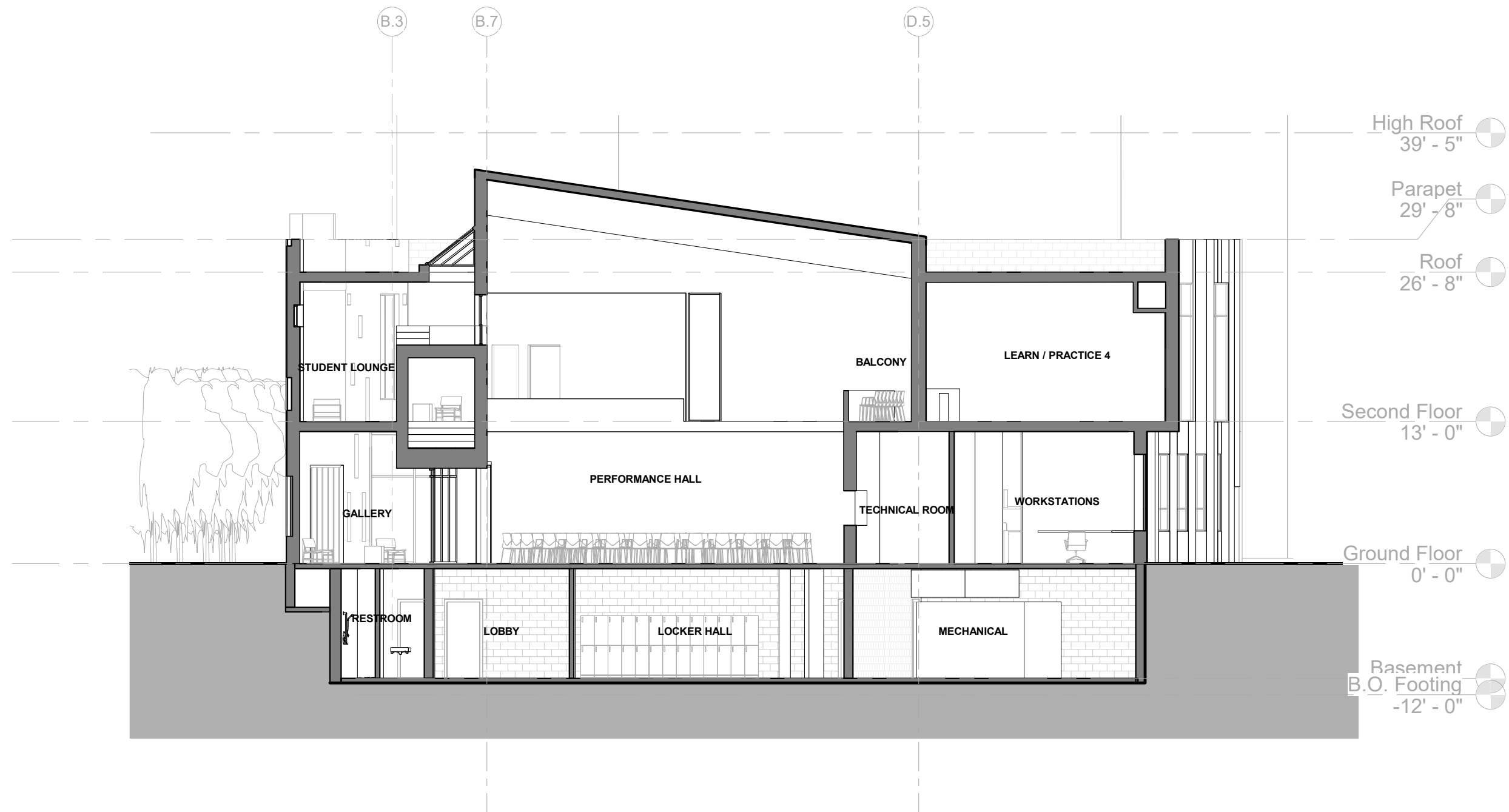




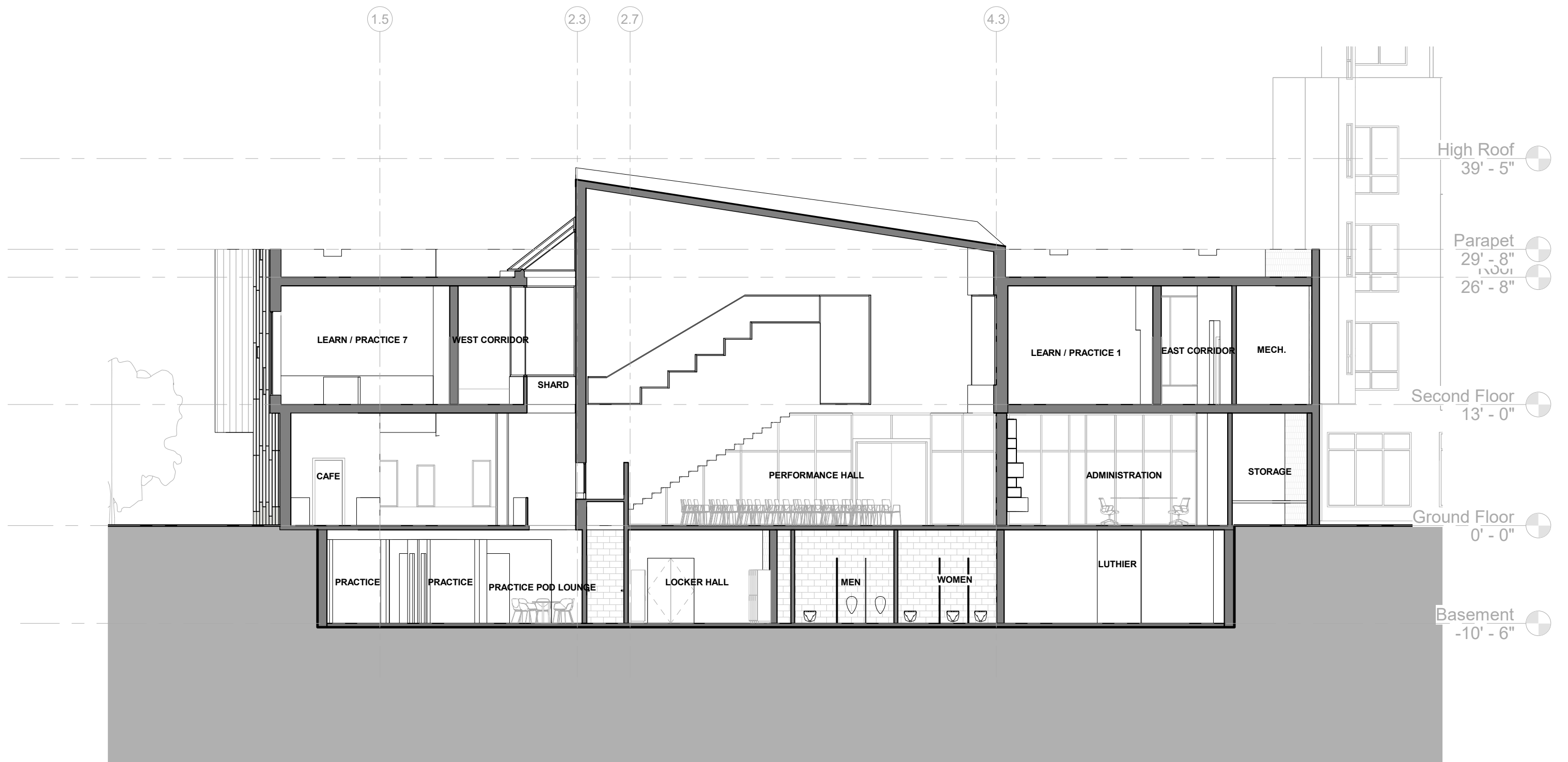




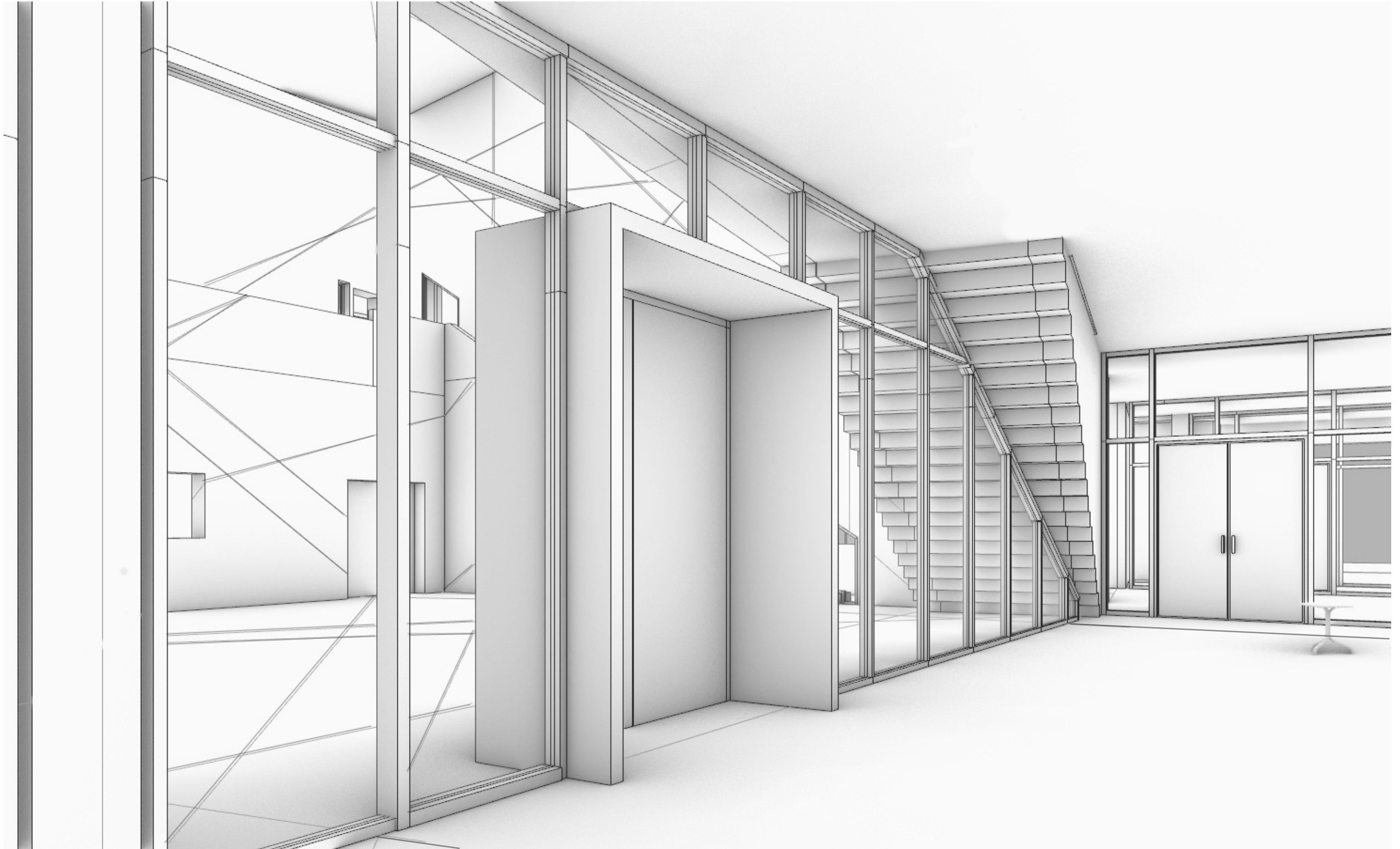


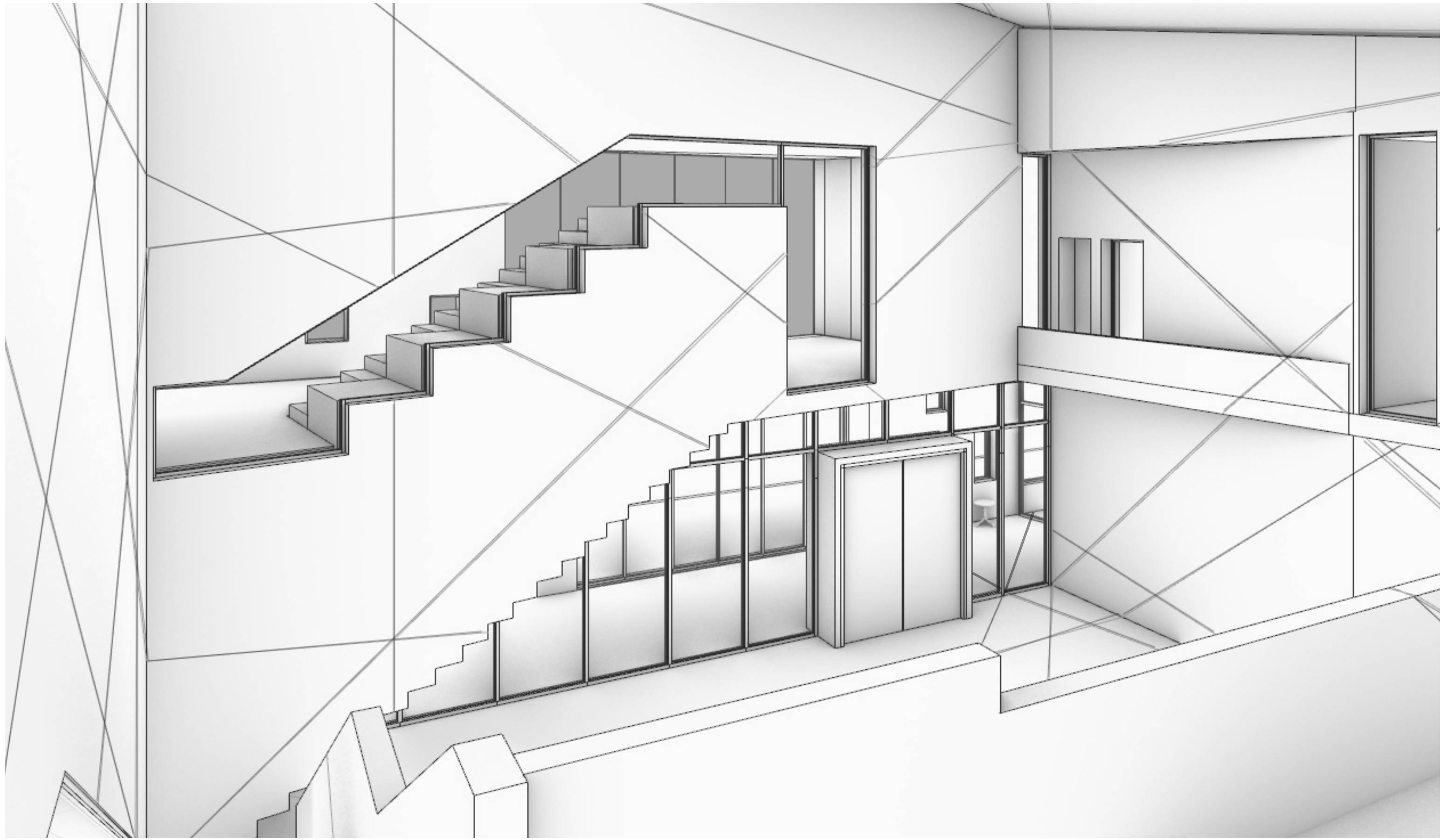




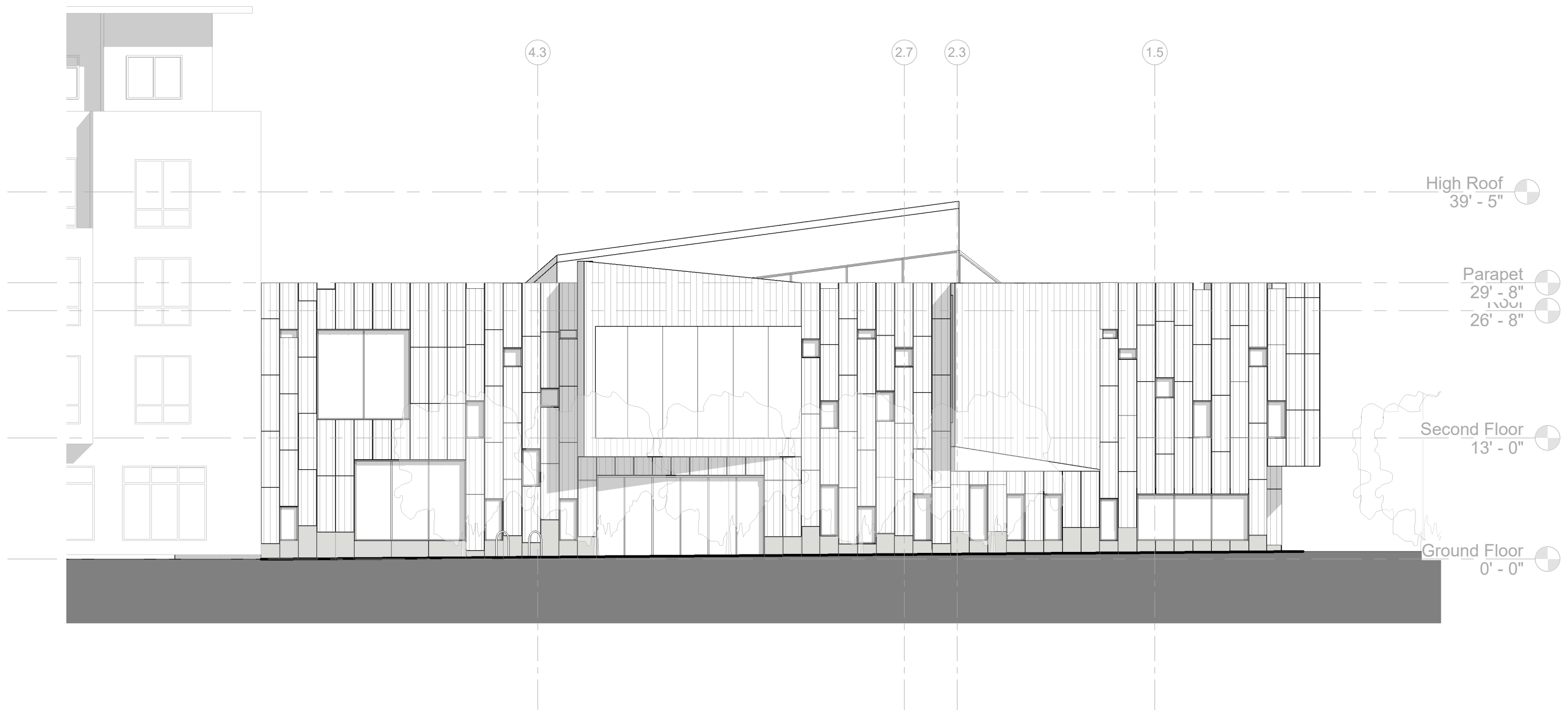


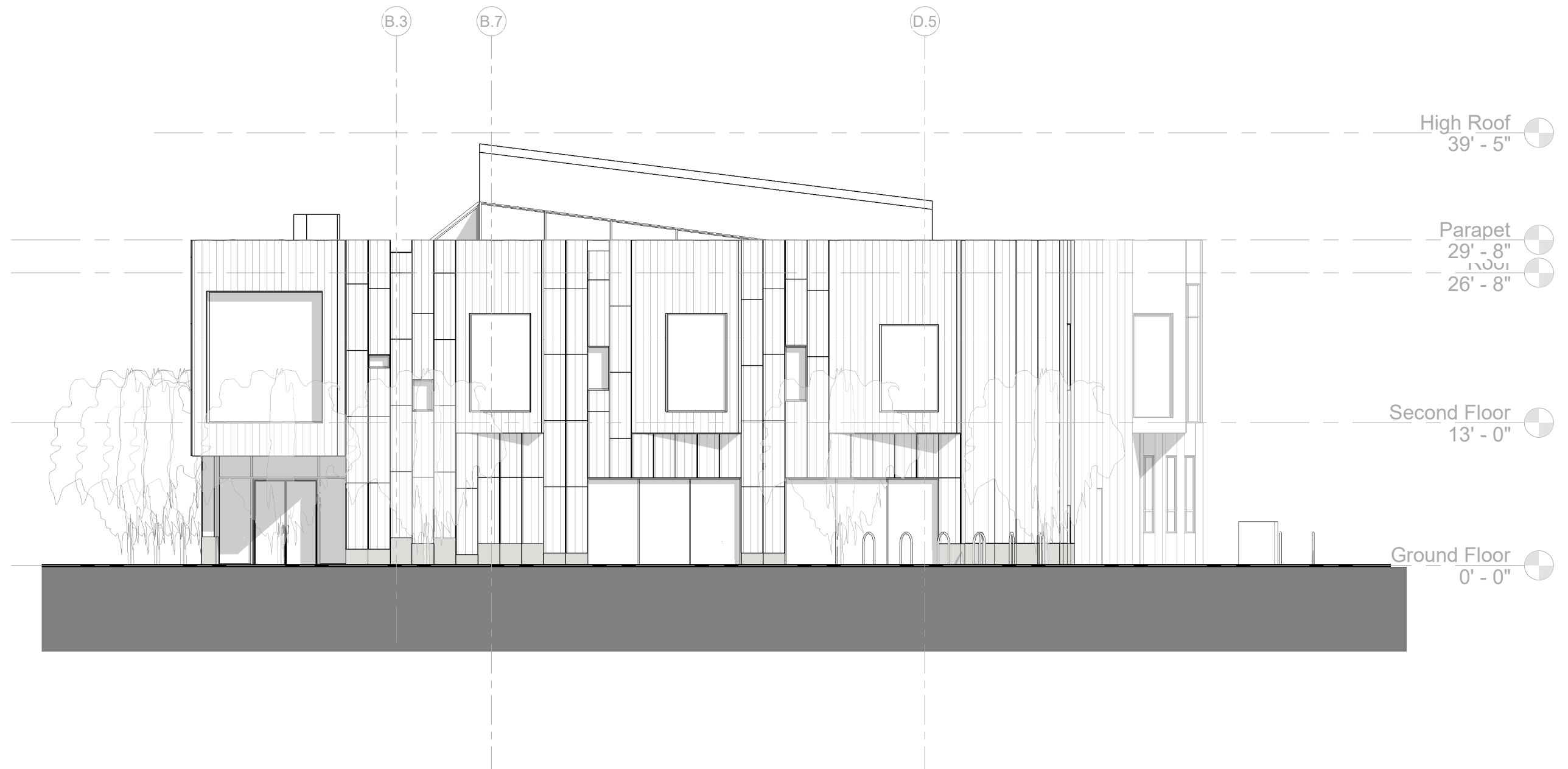


























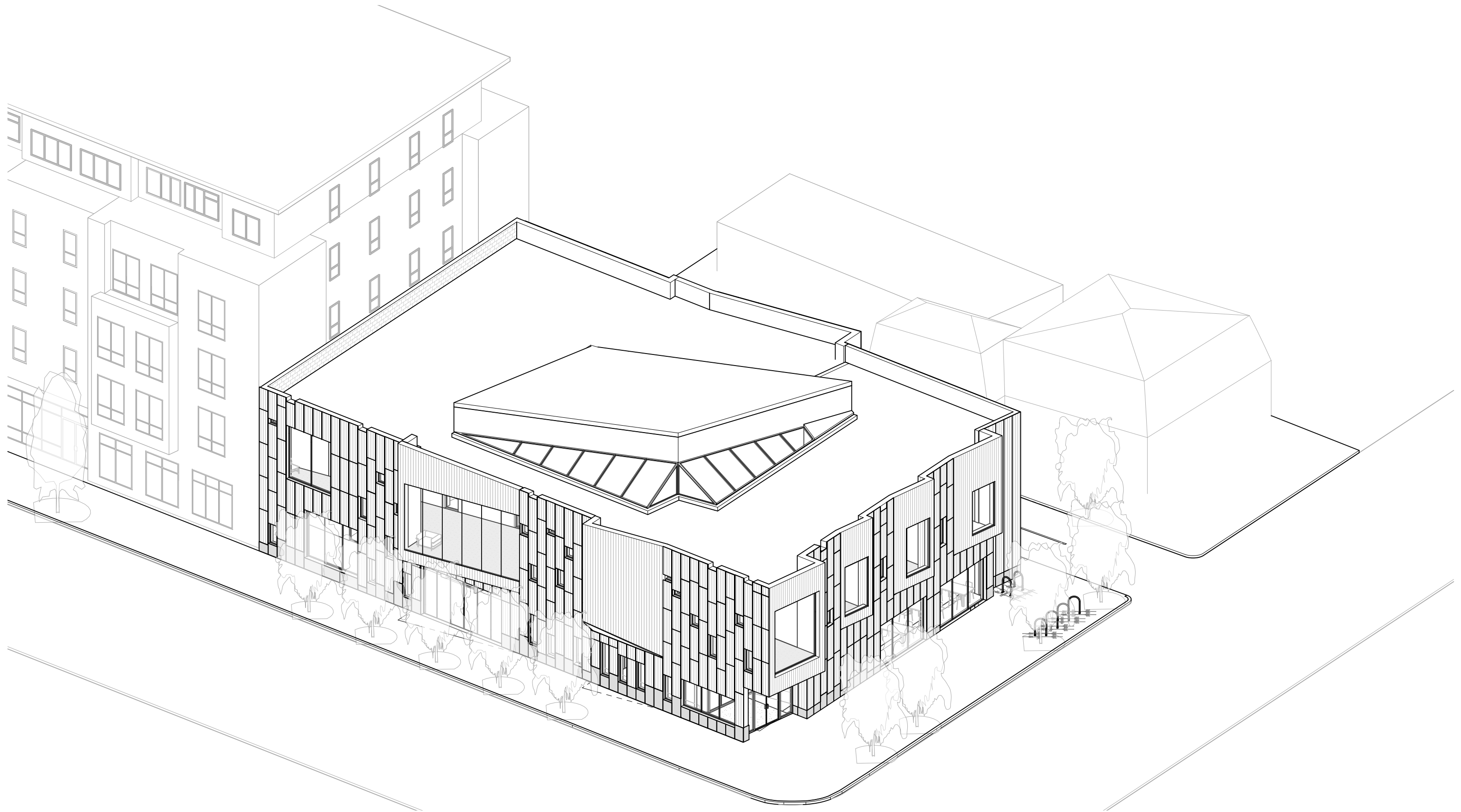


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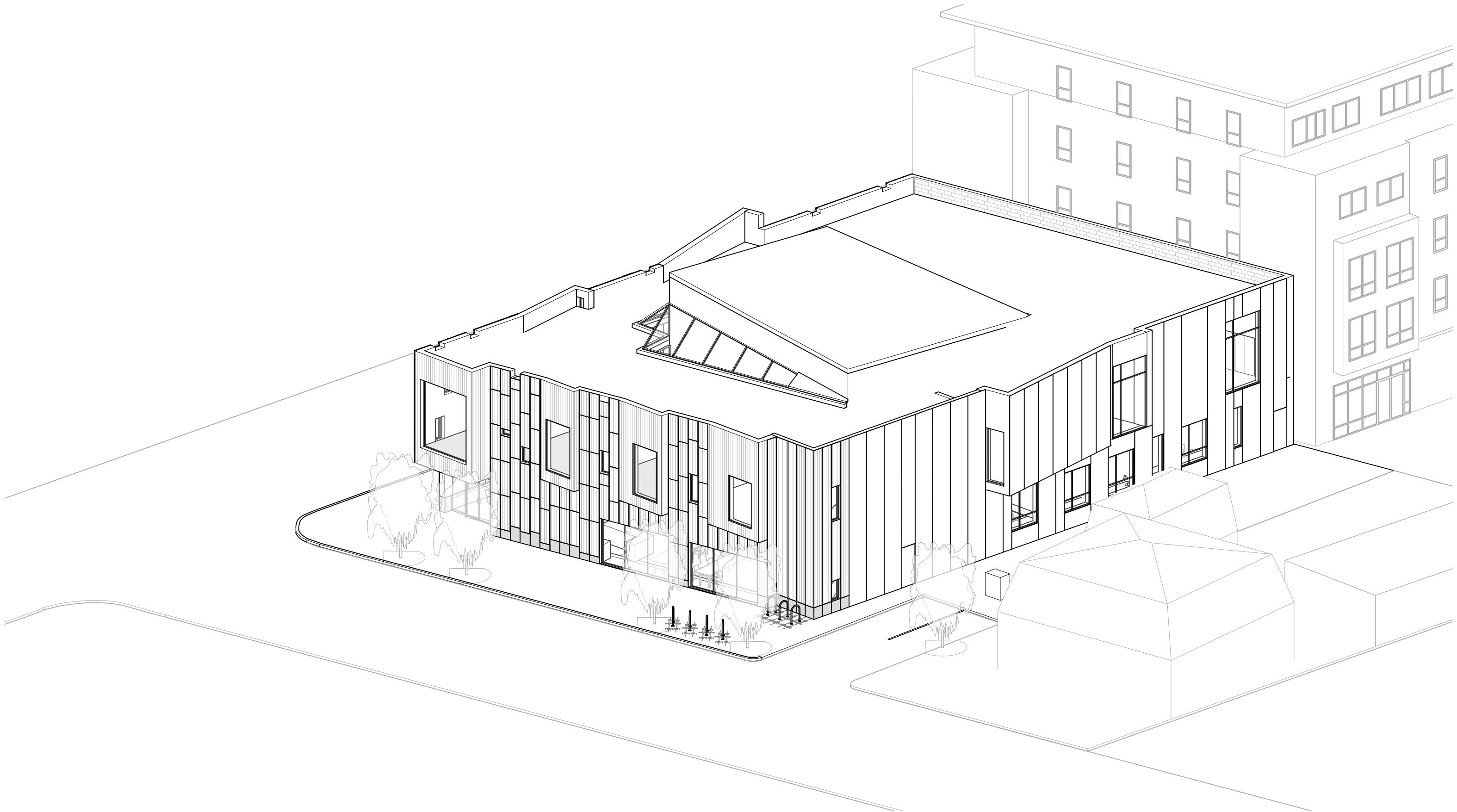
Mike Lemoi  
1290 Westminster LLC  
334 Carpenter Street  
Providence, RI 02909

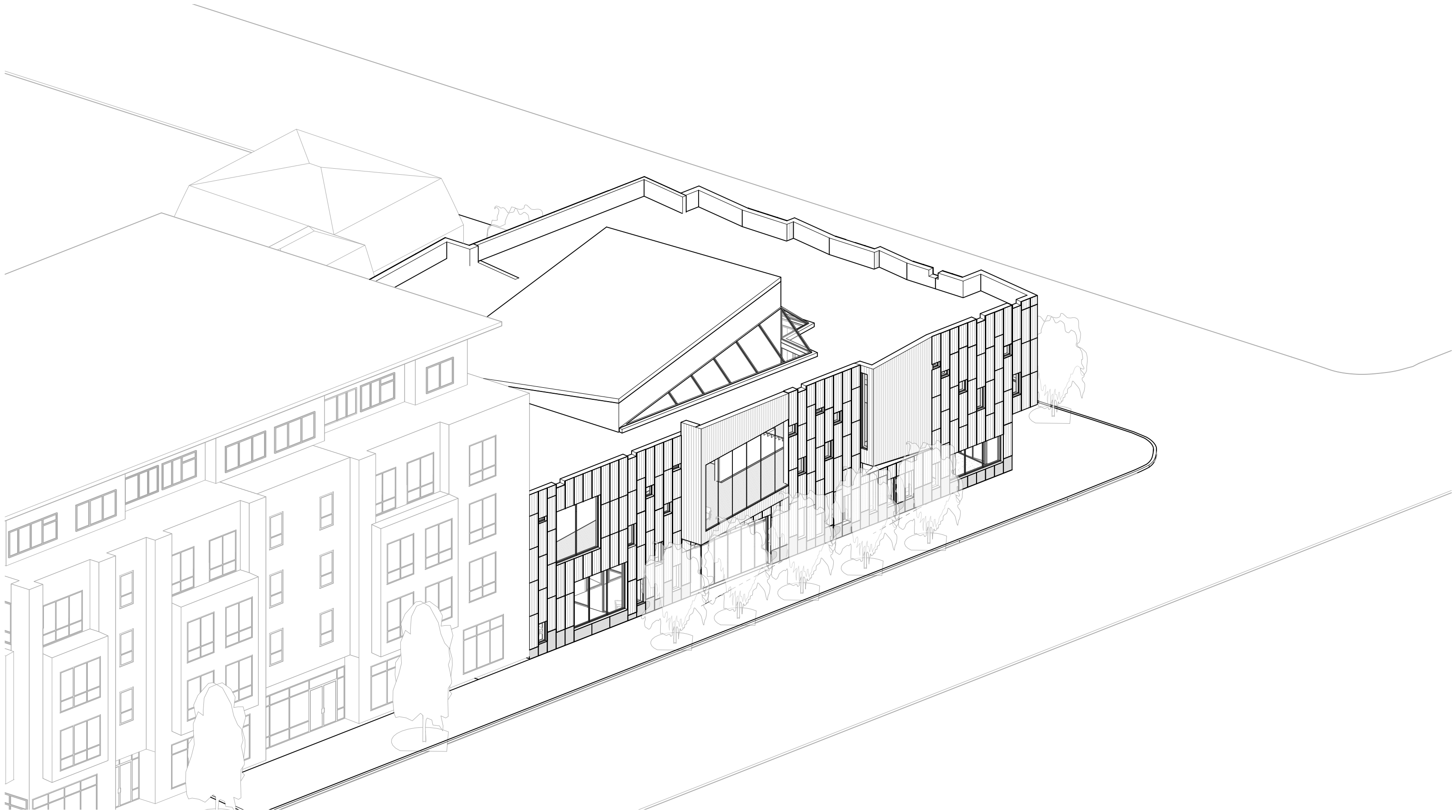
Abutter #2  
12 Dexter Street

Mike Lemoi  
1290 Westminster LLC  
334 Carpenter Street  
Providence, RI 02909

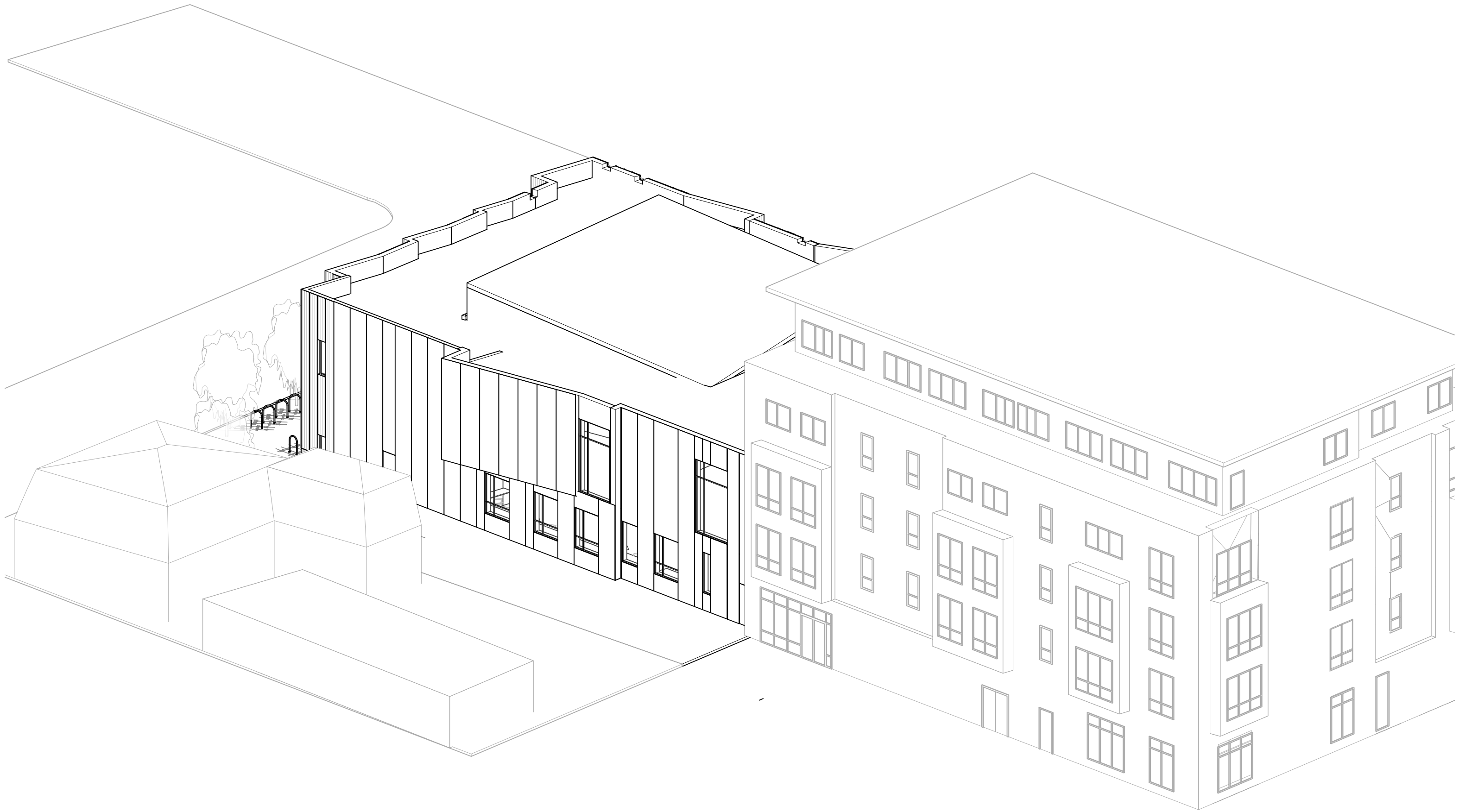














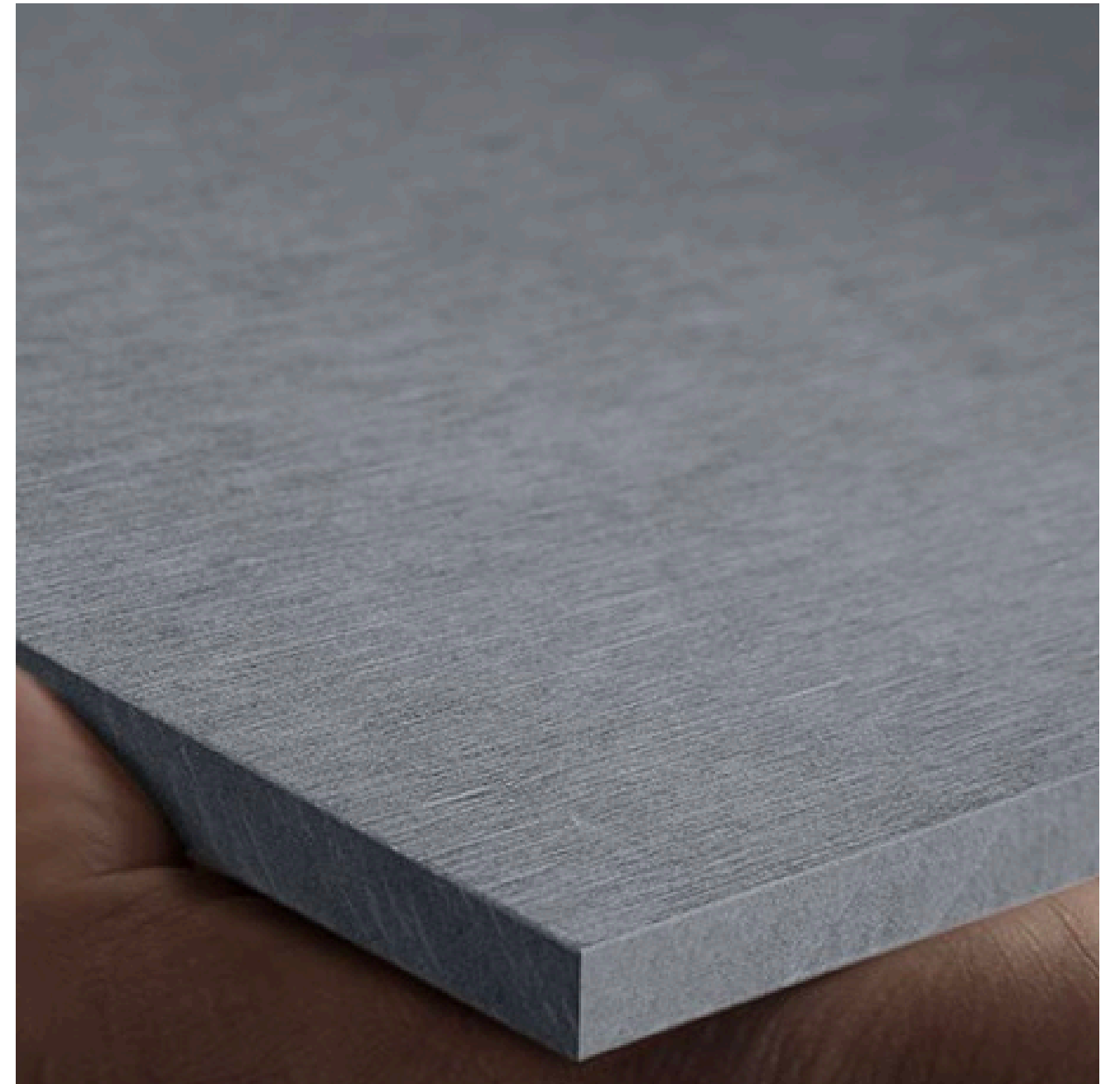




















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