

Providence City Plan Commission

May 25, 2021



AGENDA ITEM 6 ■ 49 WESTFIELD STREET

• 1 PER 500 SF	3,017 SF / 500 = 14.0	• 1 PER 500 SHEDDING UNITS	43 / 5 = 10.6
• 14 SPACES REQUIRED		• 13 (10) REQUIRED	
• 100 SPACES		• 1 PER 5,000 SF	3,017 SF / 5,000 = 1.4
• 100 SPACES		• 2 REQUIRED (1) REQUIRED	
• 100 SPACES		• 10 REQUIRED (1) REQUIRED	



Proposed site plan



Aerial view of the site

OVERVIEW

OWNER/APPLICANT: 49 Westfield LLC c/o K&S Development

PROJECT DESCRIPTION: The applicant is proposing to add a third story to a former industrial building that will be redeveloped as a mixed-use building. The addition will measure approximately 10,690 SF and yield 12 dwelling units. Parking will be provided in adjacent lots which are also part of the application.

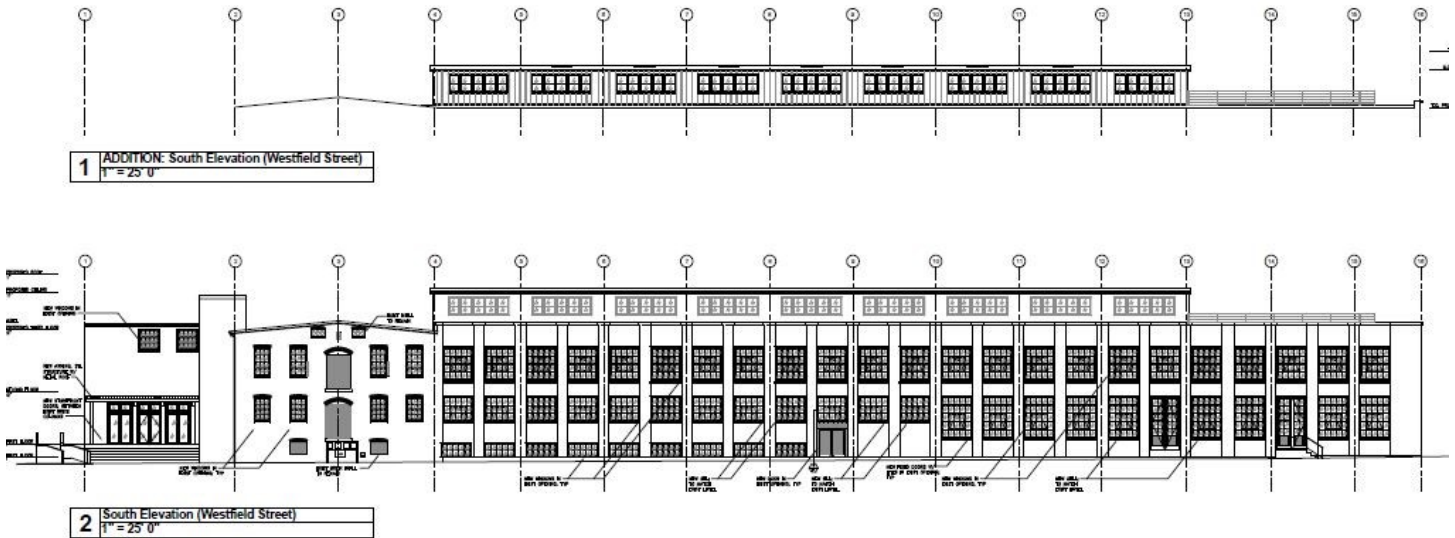
CASE NO. / PROJECT TYPE: 21-017MI Preliminary Plan Approval

PROJECT LOCATION: 49 Westfield Street
AP 30 Lots 284, 285, 307, 308, 334, 338, 339, 344, 355

RECOMMENDATION: Approval of the Preliminary Plan subject to the noted findings

NEIGHBORHOOD: West End

PROJECT PLANNER: Choyon Manjrekar



Westfield Street elevations

PROJECT OVERVIEW

The lots comprising the development are primarily zoned M-MU 75, except for lots 284 and 285 which are zoned R-3. Lot 355 is occupied by a former two story industrial building that the applicant is proposing to convert to a mixed use building with residential and commercial space. The applicant is also proposing to add a third story to the building which would provide 12 dwelling units and measure approximately 10,690 SF. A total of 63 units and commercial space will be provided through the building. Parking will be provided on adjacent landscaped lots.

ANALYSIS AND IDENTIFICATION OF POTENTIAL ISSUES

Use

Lot 355, which is occupied by the building is zoned M-MU 75 under the Historic District (HD) ICBP overlay, where multifamily and mixed use development is permitted by right. The other lots where parking will be provided are zoned M-MU 75 with the exception of lots 284 and 285 which are

zoned R-3.

Dimensions and site design

The former industrial building has been vacant for a number of years. It will be redeveloped to provide mixed use development. Windows and openings will be updated, but no significant changes to the brick exterior are proposed. A third story addition which will be set back from the roofline that is 8’ tall and providing approximately 10,690 SF and 12 dwelling units is proposed.

With the addition, the building will have a height of approximately 44’ which is within the 75’ height limit of the M-MU 75 zone. Entrances will be provided on Westfield and Warren Streets. The project is exempt from Historic District Commission (HDC) review.

Storage space for residents and some units will be provided in the basement. Commercial and residential space will be provided on the first and second floors and the third story addition will only provide apartments.

Parking

A total of 100 spaces are required but 104 will be provided to meet the parking requirement of one space per dwelling unit and one space for every 500 SF of commercial development. Sixty three dwelling units are proposed with approximately 17,200 SF of commercial development which includes a restaurant. Parking will be provided on a total of five lots with 49 spaces provided on three parking lots contiguous to the building. An additional 38 spaces will be provided in a lot to the north of the building on Warren Street and 10 spaces will be provided in a lot to the east on Fuller Street. The applicant will meet the bicycle parking requirement of one space per five dwelling units and one space for every 5,000 SF of commercial space for a total of 15 spaces, 11 of which will be located indoors.

Landscaping

Fifteen percent of canopy coverage is required to meet the landscaping requirement for the M-MU 75 zone. The building and parking lots collectively measure approximately 94,000 SF requiring 14,000 SF of canopy coverage. The applicant will meet this requirement by planting a mix of small, medium and large trees around the main building and within parking lots. Parking lot landscaping requires a five foot planting strip between the lot and street with internal plantings for lots that measure over 20,000 SF. The applicant largely meets these requirements, but is unable to provide a full planting strip for the parking area abutting Harrison Street. Other areas of landscaping make up for this deficit. The applicant is working with the City Forester to ensure compliance with the ordinance.

Drainage and erosion control

A stormwater management plan has been submitted. The plan will collect stormwater from impervious surfaces using a system of bioretention basins located in landscape strips. Runoff will be treated through the use of Best Management Practices (BMP) to aid removal of pollutants and treat stormwater.

The erosion control plan will employ swales and straw wattle to control sediment from flowing off the site.

FINDINGS

Section 806 of the Commission's *Development Review Regulations* requires that the City Plan Commission make the following findings as part of their approval of all land development project applications. Based on the analysis contained herein and subject to the conditions contained in this report, staff has prepared the following findings regarding the request for approval of the Preliminary Plan stage:

1. *Consistency—The proposed development is consistent with the Comprehensive Plan and/or has satisfactorily addressed the issues where there may be inconsistencies.*

The subject property is located in an area that the future land use map of *Providence Tomorrow: The Comprehensive Plan* designates for Business/Mixed Use development, where multifamily development is encouraged. The plan describes these areas as ones intended to foster the expansion of business and medium to high density residential uses into former manufacturing areas and mill buildings. The development conforms to this description.

Provision of housing would conform to objective H-2 of the plan which encourages creation of new housing in the City.

2. *Compliance with Zoning Ordinance—The proposed development is in compliance with the standards and provisions of the Zoning Ordinance.*

Use: Multifamily housing and mixed use development is permitted by right in the M-MU 75 zone.

Dimension: The development conforms to the dimensional and design requirements of the M-MU 75 zone and is exempt from review by the HDC.

Parking: The applicant will meet the vehicle and bicycle parking requirements.

Landscaping: The applicant will meet the canopy coverage requirement by planting trees around the site and parking areas. The final landscaping plan shall be subject to the City Forester's approval.

3. *Environmental Impact—There will be no significant environmental impacts from the proposed development as shown on the final plan, with all required conditions for approval.*

Stormwater management and erosion control plans have been provided.

No negative environmental impacts are expected as the applicant is expected to come into conformance with all applicable environmental regulations.

4. *Buildable Lot—The subdivision or development project, as proposed, will not result in the creation of individual lots with such physical constraints to development that building on those lots according to pertinent regulations and building standards would be impracticable.*

The applicant should merge the lots comprising the main building with the contiguous parking lots and the lots that comprise parking lot three on Warren Street. There are no physical constraints that impact development of this property as it will conform to the dimensional requirements of the zoning ordinance upon merging.

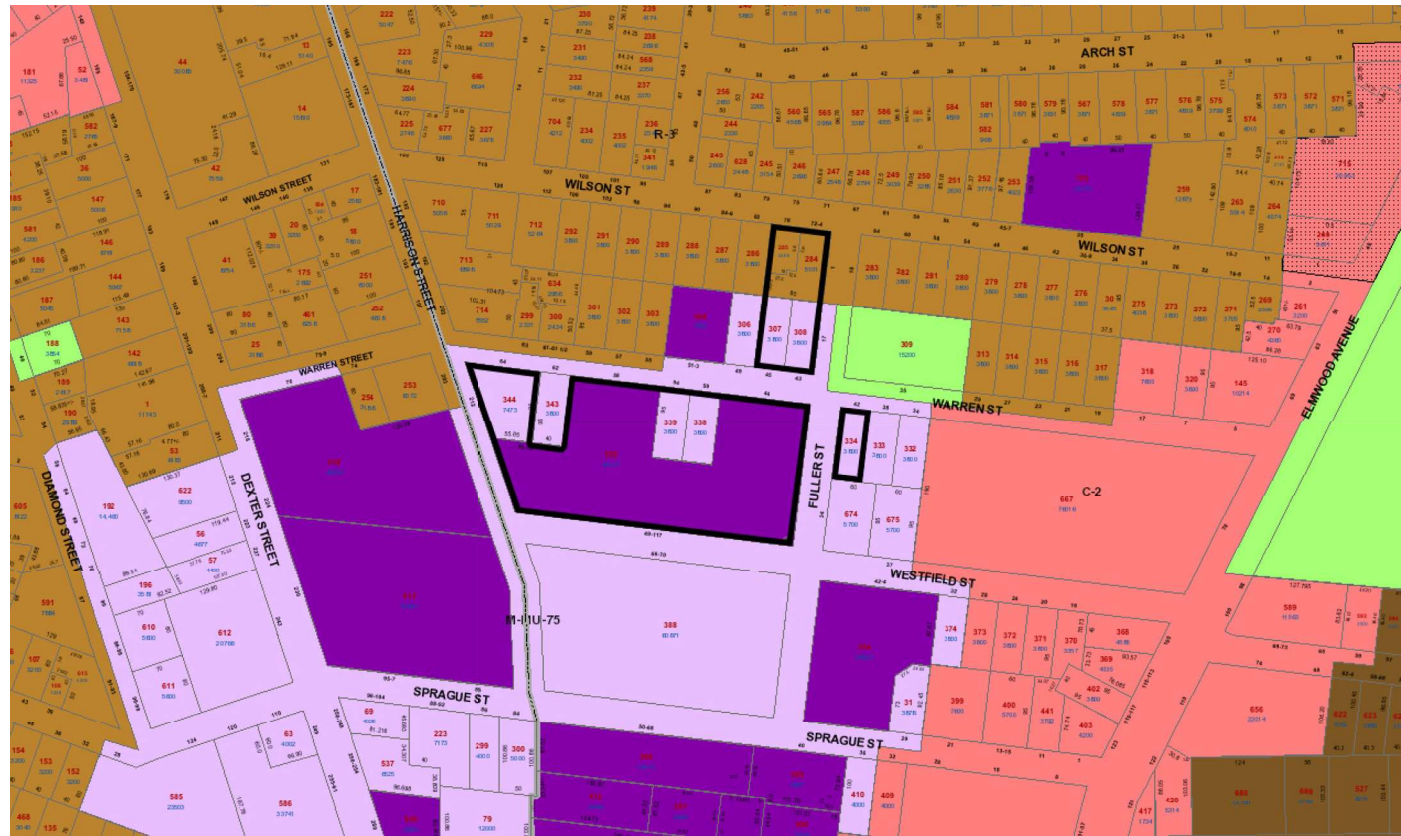
5. *Street Access—All proposed development projects and all subdivision lots shall have adequate and permanent physical access to a public street. Lot frontage on a public street without physical access shall not be considered compliance with this requirement.*

Adequate vehicular and pedestrian access is provided from Westfield, Warren and Fuller Streets.

RECOMMENDATION

The CPC should vote to approve the preliminary plan subject to the following conditions:

1. The final landscaping plan shall be subject to the City Forester's approval.
2. The validity of the preliminary plan should be extended to one year from the date of recording of the approval letter.
3. The applicant shall merge the lots comprising parking lot three and the contiguous lots comprising the building and adjacent parking.
4. Final plan approval should be delegated to DPD staff.



1 ZONING MAP & LEGEND
NTS

PROPOSED WeFAD ADAPITVE REUSE PROJECT OF HISTORIC PHILLIPS BAKER RUBBER CO. COMPLEX

49 WESTFEILD STREET, PROVIDENCE RI
PLAT 30: LOT 355, LOT 344, LOT 339, LOT 338
LOT 334, LOT 307, LOT 308, LOT 284, LOT 285



LEVEL	USE	QUANTITY	SQUARE FOOTAGE
BASEMENT:			
	Storage	63	22,050 SF
	Studios / Office	4	
	Bike Storage	1	
FIRST FLOOR:			
	Residential Units	19	
	Artist in Residence	1	
	Commercial / Restaurant	6	
	Offices	1	
SECOND FLOOR:			
	Residential Units	31	
	Offices	5	
THIRD FLOOR (ADDITION):			
	Residential Units	12	108,335 SF
TOTAL:			
	Storage	63	
	Studios / Office	10	
	Artist in Residence	1	
	Commercial / Restaurants	6	
	Residential Units	62	
	Bike Storage	1	

4 SQUARE FOOTAGE BREAKDOWN
NTS



2 EXISTING PHOTOGRAPH
NTS



3 PROPOSED
NTS



Legend
NOT ALL ITEMS SHOWN WILL APPEAR ON THE SURVEY

BUILDING		▲/△	NAIL FOUND/SET
AF	ASSESSOR'S PLAT	●/○	DRILL HOLE FOUND/SET
N/F	NOW OR FORMERLY	⊙/⊗	IRON ROD/PIPE FOUND/SET
(D)	DEED	⊠/⊡	BOUND FOUND/SET
(M)	MEASURED	⊕	SIGN
(CA)	CHORD ANGLE	⊙ CB	BOLLARD
RL	RECORD LOT	⊙ DCB	SOIL EVALUATION
	PROPERTY LINE	⊙ DMH	DOUBLE CATCH BASIN
	ASSESSORS LINE	⊕ FES	CATCH BASIN
	TREENLINE	⊕	FLARED END SECTION
	GUARDRAIL	⊕	CUT POLE
	FENCE	⊕	ELECTRIC MANHOLE/HANDHOLE
	RETAINING WALL	⊕	UTILITY/POWER POLE
	STONE WALL	⊕	LIGHTPOST
	MINOR CONTOUR LINE	⊕	SEWER/SEPTIC MANHOLE
	MAJOR CONTOUR LINE	⊕	SEWER VALVE
	WATER LINE	⊕	CLEANOUT
	SEWER LINE	⊕	HYDRANT
	SEWER FORCE MAIN	⊕	IRRIGATION VALVE
	GAS LINE	⊕	WATER VALVE
	ELECTRIC LINE	⊕	WELL
	OVERHEAD WIRES	⊕	MONITORING WELL
	DRAINAGE LINE	⊕	UNKNOWN MANHOLE
		⊕	GAS VALVE
		⊕	WETLAND FLAG
		⊕	BENCH MARK
		⊕	SHRUB
		⊕	TREE

Schedule A Description

PARCEL ONE: 49 WESTFIELD STREET, PROVIDENCE, RI - PLAT 30 LOT 355
 PARCEL TWO: 17 FULLER STREET, PROVIDENCE, RI - PLAT 30 LOT 308
 PARCEL THREE: 50 WARREN STREET, PROVIDENCE, RI - PLAT 30 LOT 338
 PARCEL FOUR: 44 WARREN STREET, PROVIDENCE, RI - PLAT 30 LOT 339
 PARCEL FIVE: 212 HARRISON STREET, PROVIDENCE, RI - PLAT 30 LOT 444

THOSE CERTAIN PARCELS OR TRACTS OF LAND TOGETHER WITH ALL BUILDINGS AND IMPROVEMENTS THEREON, SITUATED ON THE EASTERLY SIDE OF HARRISON STREET, THE NORTHERLY LINE OF WESTFIELD STREET, THE NORTHERLY AND SOUTHERLY LINES OF WARREN STREET AND THE WESTERLY LINE OF FULLER STREET IN THE CITY AND COUNTY OF PROVIDENCE, STATE OF RHODE ISLAND BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE WESTERLY LINE OF FULLER STREET AND THE SOUTHERLY LINE OF WILSON STREET, SAID POINT BEING THE NORTHEAST CORNER OF THE HEREIN DESCRIBED PARCEL; THENCE RUNNING WESTERLY ALONG THE SOUTHERLY LINE OF WILSON STREET, FORTY (40) FEET; THENCE TURNING AN ANGLE OF 89° 54' 20" AND RUNNING SOUTHERLY SIX AND 50/100 (6.50) FEET; THENCE TURNING AN ANGLE OF 270° 05' 40" AND RUNNING WESTERLY TWELVE AND 50/100 (12.50) FEET; THENCE TURNING AN ANGLE OF 89° 54' 20" AND RUNNING SOUTHERLY SIX AND 50/100 (6.50) FEET; THENCE TURNING AN ANGLE OF 270° 05' 40" AND RUNNING WESTERLY TWENTY-SEVEN AND 50/100 (27.50) FEET; THENCE TURNING AN ANGLE OF 89° 54' 20" AND RUNNING SOUTHERLY THIRTY AND 50/100 (30.50) FEET; THENCE TURNING AN ANGLE OF 90° 05' 40" AND RUNNING EASTERLY EIGHTY (80) FEET TO THE WESTERLY LINE OF FULLER STREET; THENCE TURNING AN ANGLE OF 89° 54' 20" AND RUNNING NORTHERLY ALONG THE WESTERLY LINE OF FULLER STREET NINETY-FIVE AND 00/100 (95.00) FEET TO THE SOUTHERLY LINE OF WILSON STREET AND THE POINT AND PLACE OF BEGINNING, SAID LAST COURSE FORMING AN INTERIOR ANGLE OF 90° 05' 40" WITH THE FIRST COURSE. BE ALL SAID MEASUREMENTS MORE OR LESS OR HOWEVER OTHERWISE THE SAME MAY BE BOUNDED AND DESCRIBED.

PARCEL SEVEN: 78 WILSON STREET, PROVIDENCE, RI - AP 30 AL 285
 ALL THAT CERTAIN LOT OR PARCEL OF LAND, TOGETHER WITH ALL THE BUILDINGS AND IMPROVEMENTS THEREON, SITUATED ON THE SOUTHERLY LINE OF WILSON STREET IN THE CITY AND COUNTY OF PROVIDENCE, STATE OF RHODE ISLAND, BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE SOUTHERLY LINE OF WILSON STREET, FORTY (40) FEET WESTERLY FROM THE WESTERLY LINE OF FULLER STREET, SAID POINT BEING THE NORTHEAST CORNER OF THE HEREIN DESCRIBED PARCEL; THENCE RUNNING WESTERLY ALONG THE SOUTHERLY LINE OF WILSON STREET, 40 FEET; THENCE TURNING AN ANGLE TO THE RIGHT OF 89° 54' 20" AND RUNNING SOUTHERLY 64.50 FEET; THENCE TURNING AN INTERIOR ANGLE OF 90° 05' 40" AND RUNNING EASTERLY 27.50 FEET; THENCE TURNING AN ANGLE TO THE RIGHT OF 89° 54' 20" AND RUNNING NORTHERLY 6.50 FEET; THENCE TURNING AN ANGLE OF 270° 05' 40" AND RUNNING EASTERLY 12.50 FEET; THENCE TURNING AN ANGLE TO THE RIGHT OF 89° 54' 20" AND RUNNING NORTHERLY 58.00 FEET TO THE SOUTHERLY LINE OF WILSON STREET TO THE POINT AND PLACE OF BEGINNING, FORMING AN INTERIOR ANGLE OF 90° 05' 40" WITH THE FIRST COURSE, BEING THE NORTHERLY PORTION OF LOT NO. 60 ON THAT CERTAIN PLAT ENTITLED, "PLOT OF AN ESTATE BELONGING TO DANIEL FIELD SURVEYED & PLOTTED SEPT. 26TH 1845 BY ATWATER & SCHUBARTH", WHICH PLAT IS RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS IN THE CITY OF PROVIDENCE IN PLAT BOOK 3 PAGE 12 AND ON PLAT CARD 95.

PARCEL SEVEN: 78 WILSON STREET, PROVIDENCE, RI - AP 30 AL 285
 ALL THAT CERTAIN LOT OR PARCEL OF LAND, TOGETHER WITH ALL THE BUILDINGS AND IMPROVEMENTS THEREON, SITUATED ON THE SOUTHERLY LINE OF WILSON STREET IN THE CITY AND COUNTY OF PROVIDENCE, STATE OF RHODE ISLAND, BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE SOUTHERLY LINE OF WILSON STREET, FORTY (40) FEET WESTERLY FROM THE WESTERLY LINE OF FULLER STREET, SAID POINT BEING THE NORTHEAST CORNER OF THE HEREIN DESCRIBED PARCEL; THENCE RUNNING WESTERLY ALONG THE SOUTHERLY LINE OF WILSON STREET, 40 FEET; THENCE TURNING AN ANGLE TO THE RIGHT OF 89° 54' 20" AND RUNNING SOUTHERLY 64.50 FEET; THENCE TURNING AN INTERIOR ANGLE OF 90° 05' 40" AND RUNNING EASTERLY 27.50 FEET; THENCE TURNING AN ANGLE TO THE RIGHT OF 89° 54' 20" AND RUNNING NORTHERLY 6.50 FEET; THENCE TURNING AN ANGLE OF 270° 05' 40" AND RUNNING EASTERLY 12.50 FEET; THENCE TURNING AN ANGLE TO THE RIGHT OF 89° 54' 20" AND RUNNING NORTHERLY 58.00 FEET TO THE SOUTHERLY LINE OF WILSON STREET TO THE POINT AND PLACE OF BEGINNING, FORMING AN INTERIOR ANGLE OF 90° 05' 40" WITH THE FIRST COURSE, BEING THE NORTHERLY PORTION OF LOT NO. 60 ON THAT CERTAIN PLAT ENTITLED, "PLOT OF AN ESTATE BELONGING TO DANIEL FIELD SURVEYED & PLOTTED SEPT. 26TH 1845 BY ATWATER & SCHUBARTH", WHICH PLAT IS RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS IN THE CITY OF PROVIDENCE IN PLAT BOOK 3 PAGE 12 AND ON PLAT CARD 95.

50/100 (27.50) FEET; THENCE TURNING AN ANGLE OF 89° 54' 20" AND RUNNING SOUTHERLY THIRTY AND 50/100 (30.50) FEET; THENCE TURNING AN ANGLE OF 90° 05' 40" AND RUNNING EASTERLY EIGHTY (80) FEET TO THE WESTERLY LINE OF FULLER STREET; THENCE TURNING AN ANGLE OF 89° 54' 20" AND RUNNING NORTHERLY ALONG THE WESTERLY LINE OF FULLER STREET NINETY-FIVE AND 00/100 (95.00) FEET TO THE SOUTHERLY LINE OF WILSON STREET AND THE POINT AND PLACE OF BEGINNING, SAID LAST COURSE FORMING AN INTERIOR ANGLE OF 90° 05' 40" WITH THE FIRST COURSE. BE ALL SAID MEASUREMENTS MORE OR LESS OR HOWEVER OTHERWISE THE SAME MAY BE BOUNDED AND DESCRIBED.

PARCEL SEVEN: 78 WILSON STREET, PROVIDENCE, RI - AP 30 AL 285
 ALL THAT CERTAIN LOT OR PARCEL OF LAND, TOGETHER WITH ALL THE BUILDINGS AND IMPROVEMENTS THEREON, SITUATED ON THE SOUTHERLY LINE OF WILSON STREET IN THE CITY AND COUNTY OF PROVIDENCE, STATE OF RHODE ISLAND, BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE SOUTHERLY LINE OF WILSON STREET, FORTY (40) FEET WESTERLY FROM THE WESTERLY LINE OF FULLER STREET, SAID POINT BEING THE NORTHEAST CORNER OF THE HEREIN DESCRIBED PARCEL; THENCE RUNNING WESTERLY ALONG THE SOUTHERLY LINE OF WILSON STREET, 40 FEET; THENCE TURNING AN ANGLE TO THE RIGHT OF 89° 54' 20" AND RUNNING SOUTHERLY 64.50 FEET; THENCE TURNING AN INTERIOR ANGLE OF 90° 05' 40" AND RUNNING EASTERLY 27.50 FEET; THENCE TURNING AN ANGLE TO THE RIGHT OF 89° 54' 20" AND RUNNING NORTHERLY 6.50 FEET; THENCE TURNING AN ANGLE OF 270° 05' 40" AND RUNNING EASTERLY 12.50 FEET; THENCE TURNING AN ANGLE TO THE RIGHT OF 89° 54' 20" AND RUNNING NORTHERLY 58.00 FEET TO THE SOUTHERLY LINE OF WILSON STREET TO THE POINT AND PLACE OF BEGINNING, FORMING AN INTERIOR ANGLE OF 90° 05' 40" WITH THE FIRST COURSE, BEING THE NORTHERLY PORTION OF LOT NO. 60 ON THAT CERTAIN PLAT ENTITLED, "PLOT OF AN ESTATE BELONGING TO DANIEL FIELD SURVEYED & PLOTTED SEPT. 26TH 1845 BY ATWATER & SCHUBARTH", WHICH PLAT IS RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS IN THE CITY OF PROVIDENCE IN PLAT BOOK 3 PAGE 12 AND ON PLAT CARD 95.

WHICH PLAT IS RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS IN THE CITY OF PROVIDENCE IN PLAT BOOK 3 PAGE 12 AND ON PLAT CARD 95.

PARCEL EIGHT: 102 WILSON STREET, PROVIDENCE, RI - AP 30 AL 291
 NOT PART OF SURVEY

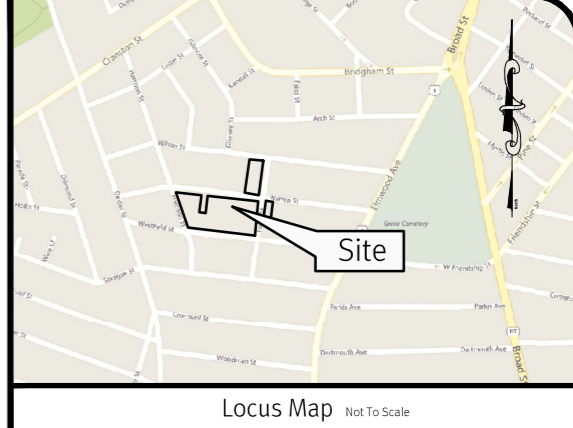
PARCEL NINE: 45 WARREN STREET, PROVIDENCE, RI - AP 30 AL 307
 ALL THAT CERTAIN LOT OR PARCEL OF LAND, TOGETHER WITH ALL THE BUILDINGS AND OTHER IMPROVEMENTS THEREON, SITUATED IN THE CITY AND COUNTY OF PROVIDENCE, STATE OF RHODE ISLAND, BEING LOT NO. 92 ON THAT CERTAIN PLAT ENTITLED, "PLOT OF AN ESTATE BELONGING TO DANIEL FIELD SURVEYED & PLOTTED SEPT. 26TH 1845 BY ATWATER & SCHUBARTH", WHICH PLAT IS RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS IN THE CITY OF PROVIDENCE IN PLAT BOOK 3 PAGE 12 AND ON PLAT CARD 95.

PARCEL TEN: 59 WARREN STREET, PROVIDENCE, RI - AP 30 AL 301
 NOT PART OF SURVEY

PARCEL ELEVEN: 42 WARREN STREET, PROVIDENCE, RI - AP 30 AL 334
 ALL THAT CERTAIN LOT OR PARCEL OF LAND, TOGETHER WITH ALL THE BUILDINGS AND OTHER IMPROVEMENTS THEREON, SITUATED IN THE CITY AND COUNTY OF PROVIDENCE, STATE OF RHODE ISLAND, BEING LOT NO. 114 ON THAT CERTAIN PLAT ENTITLED, "PLOT OF AN ESTATE BELONGING TO DANIEL FIELD SURVEYED & PLOTTED SEPT. 26TH 1845 BY ATWATER & SCHUBARTH", WHICH PLAT IS RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS IN THE CITY OF PROVIDENCE IN PLAT BOOK 3 PAGE 12 AND ON PLAT CARD 95.

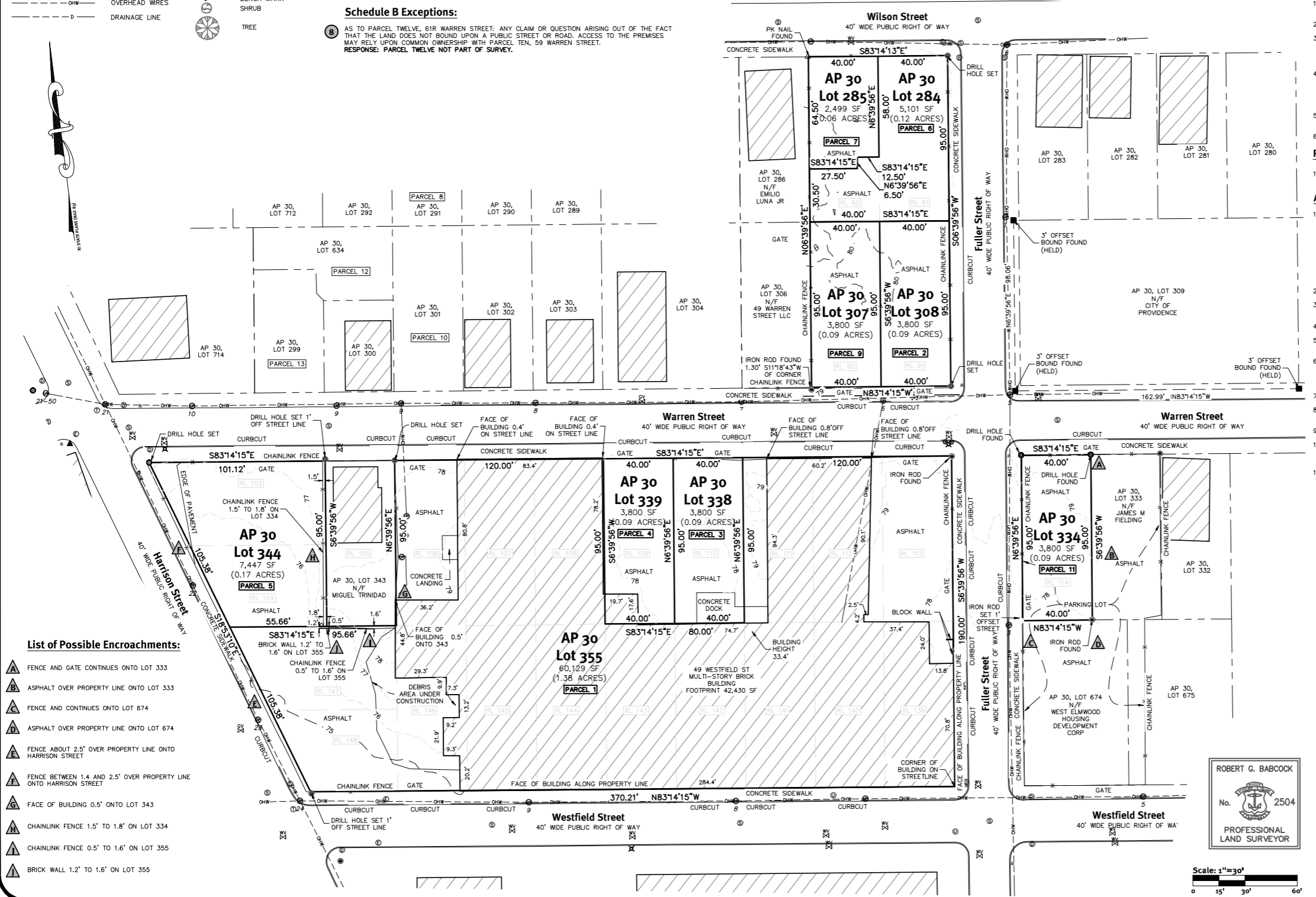
PARCEL TWELVE: 61 WARREN STREET, PROVIDENCE, RI - AP 30 AL 634
 NOT PART OF SURVEY

PARCEL THIRTEEN: 63 WARREN STREET, PROVIDENCE, RI - AP 30 AL 299
 NOT PART OF SURVEY



Schedule B Exceptions:

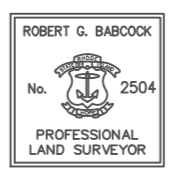
AS TO PARCEL TWELVE, 61 WARREN STREET: ANY CLAIM OR QUESTION ARISING OUT OF THE FACT THAT THE LAND DOES NOT BOUND UPON A PUBLIC STREET OR ROAD, ACCESS TO THE PREMISES MAY RELY UPON COMMON OWNERSHIP WITH PARCEL TEN, 59 WARREN STREET. RESPONSE: PARCEL TWELVE NOT PART OF SURVEY.



- General Notes**
- THE PARCEL IS FOUND ON ASSESSOR'S PLAT 30, LOTS 284, 285, 307, 308, 334, 338, 339 & 355 IN THE CITY OF PROVIDENCE, PROVIDENCE COUNTY, RHODE ISLAND.
 - THE OWNER PER DEED BOOK 12722, PAGE 234 IS PROVIDENCE REDEVELOPMENT AGENCY.
 - BASED ON GRAPHICAL PLOTTING ONLY, THE PARCEL IS LOCATED IN ZONE X PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 4407030316C, DATED MARCH 2, 2020. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
 - NO ZONING REPORT PROVIDED FOR REVIEW. BASED ONLY ON THE CITY OF PROVIDENCE'S GIS MAP PARCELS 307, 308, 334, 338, 339 & 355 ARE ZONED M-MU-75, PARCELS 284 AND 285 ARE ZONED R-3. LOT 355 FALLS WITH THE HISTORIC DISTRICT - PROVIDENCE LANDMARK OVERLAY DISTRICT. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
 - THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
 - FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON SEPTEMBER 22, 2020. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
- Plan References:**
- PLOT OF AN ESTATE BELONGING TO DANIEL FIELD SURVEYED & PLOTTED SEPT. 26TH 1845 BY ATWATER & SCHUBARTH, PLAT BOOK 3 PAGE 12 AND ON PLAT CARD 95.

- ALTA/NSPS Land Title Survey Notes**
- THE ADDRESS OF PARCELS ARE:
 49 WESTFIELD STREET, PROVIDENCE, RI 02907
 17 FULLER STREET, PROVIDENCE, RI 02907
 50 WARREN STREET, PROVIDENCE, RI 02907
 44 WARREN STREET, PROVIDENCE, RI 02907
 212 HARRISON STREET, PROVIDENCE, RI 02907
 72 WILSON STREET, PROVIDENCE, RI 02907
 45 WARREN STREET, PROVIDENCE, RI 02907
 42 WARREN STREET, PROVIDENCE, RI 02907
 - THERE WERE NO STRIPPED PARKING SPACES OBSERVED AT THE TIME OF THE FIELD SURVEY.
 - THE PARCELS HAS DIRECT ACCESS TO WILSON STREET, FULLER STREET, WARREN STREET HARRISON STREET & WESTFIELD STREET, ALL PUBLIC RIGHT OF WAYS.
 - THERE ARE NO DIVIDING/PARTY WALLS LOCATED ALONG BOUNDARY OF THE PARCEL.
 - THERE WAS OBSERVED EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION AT THE TIME OF THE FIELD SURVEY.
 - THERE WAS NO OBVIOUS EVIDENCE OBSERVED OF A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL ON SITE AT THE TIME OF THE FIELD SURVEY. DIPRETE ENGINEERING IS NOT ACTING AS A EXPERT IN ENVIRONMENTAL MATTERS IN REGARDS TO THIS SURVEY AND IS NOT RESPONSIBLE FOR WHAT A PHASE ONE ENVIRONMENTAL ASSESSMENTS OF THE SUBJECT SITE WOULD REVEAL.
 - RIGHT OF WAY LINES ADJACENT TO SUBJECT PARCEL ARE AS SHOWN.
 - THERE WAS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED AT THE TIME OF THE FIELD SURVEY.
 - NO WETLAND FLAGS OBSERVED AT THE TIME OF THE FIELD SURVEY.
 - THE LAND DEPICTED ON THIS SURVEY IS THE SAME LAND AS SHOWN IN THE SCHEDULE A OF TITLE COMMITMENT #20R01060, EFFECTIVE DATE SEPTEMBER 10, 2020 AT 8:00AM BY CHICAGO TITLE INSURANCE COMPANY.
 - THE LEGAL DESCRIPTION DOES FORM A MATHEMATICALLY CLOSED FIGURE WITH NO GAPS, CORES, OR OVERLAPS.

- List of Possible Encroachments:**
- FENCE AND GATE CONTINUES ONTO LOT 333
 - ASPHALT OVER PROPERTY LINE ONTO LOT 333
 - FENCE AND CONTINUES ONTO LOT 674
 - ASPHALT OVER PROPERTY LINE ONTO LOT 674
 - FENCE ABOUT 2.5' OVER PROPERTY LINE ONTO HARRISON STREET
 - FENCE BETWEEN 1.4 AND 2.5' OVER PROPERTY LINE ONTO HARRISON STREET
 - FACE OF BUILDING 0.5' ONTO LOT 343
 - CHAINLINK FENCE 1.5' TO 1.8' ON LOT 334
 - CHAINLINK FENCE 0.5' TO 1.6' ON LOT 355
 - BRICK WALL 1.2' TO 1.6' ON LOT 355



Surveyor's Certificate

TO: K&S DEVELOPMENT, LLC & CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 6(B), 7(A), 7(B)(1), 7(C), 8, 9, 13, 14 & 16 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED BETWEEN SEPTEMBER 22, 2020.

DATE OF PLAT OR MAP: SEPTEMBER 30, 2020

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF SURVEY: COMPREHENSIVE BOUNDARY SURVEY TOPOGRAPHIC SURVEY
 MEASUREMENT SPECIFICATION: CLASS 1 CLASS T-4

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: ALTA SURVEY.

Scale: 1"=30'
 0 15' 30' 60'

ROBERT G. BABCOCK, RPLS #2504, COA #LS.000A160
 11/2/20

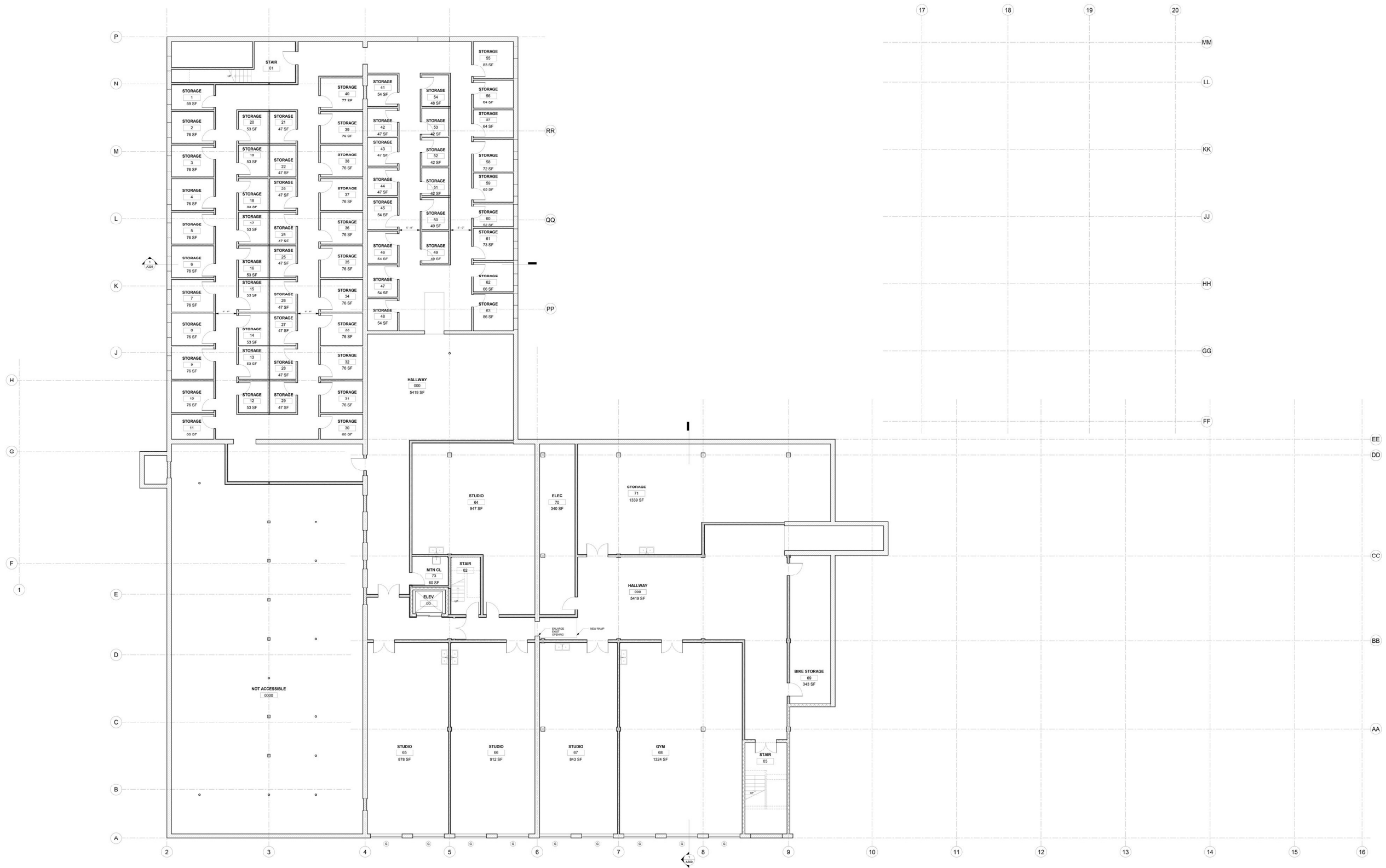
DiPrete Engineering
 Two Stafford Court, Cranston, RI 02930
 Tel: 401-949-1000, Fax: 401-949-6006, www.diprete-eng.com

ALTA/NSPS Land Title Survey
 Warren Street Survey

K&S Development LLC
 11 South Angell Street, #325, Providence, Rhode Island 02903

PROVIDENCE • BOSTON • NEWPORT

SHEET 1 OF 1



1 Basement Plan
1" = 25' 0"

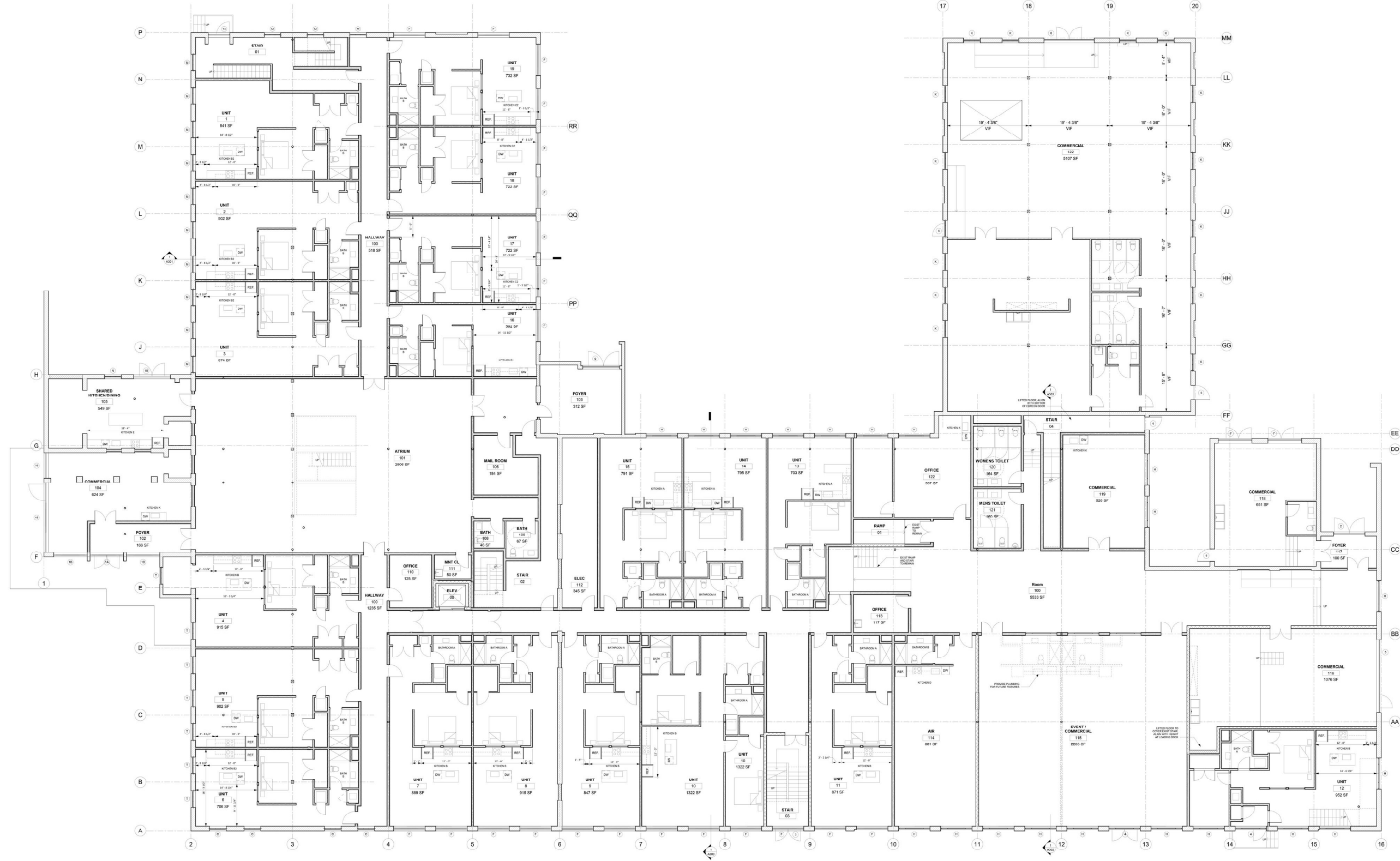
DWG. NO. **100**
 DWN BY: _____
 CND BY: _____
 DATE: 04/28/2021
 SCALE: 1" = 25' 0"

Basement Plan
 SUBMISSION TO CITY PLAN COMMISSION

Project: **WeFAD**
 MIXED USE BUILDING
 49 WESTFIELD STREET
 PROVIDENCE, RI 02907



Architect: **FREECCELL ARCHITECTURE**
 67 35TH ST
 BROOKLYN, NY 11232
 7186434180
 WWW.FRCLL.COM



1 First Floor Plan
1" = 25' 0"

Architect:

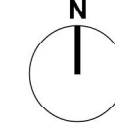
FREECCELL ARCHITECTURE

67 35TH ST
BROOKLYN, NY 11232
7186434180
WWW.FRCLL.COM



Project:
W&FAD

MIXED USE BUILDING
49 WESTFIELD STREET
PROVIDENCE, RI 02907



First Floor Plan

SUBMISSION TO CITY PLAN COMMISSION

DWN BY:
CND BY:
DATE: 04/28/2021
SCALE: 1" = 25' 0"

DWG. NO.

101



1 Second Floor Plan
1" = 25' 0"

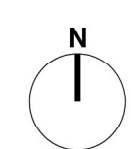
Architect:

FREECELL ARCHITECTURE

67 35TH ST
BROOKLYN, NY 11232
7186434180
WWW.FRCLL.COM



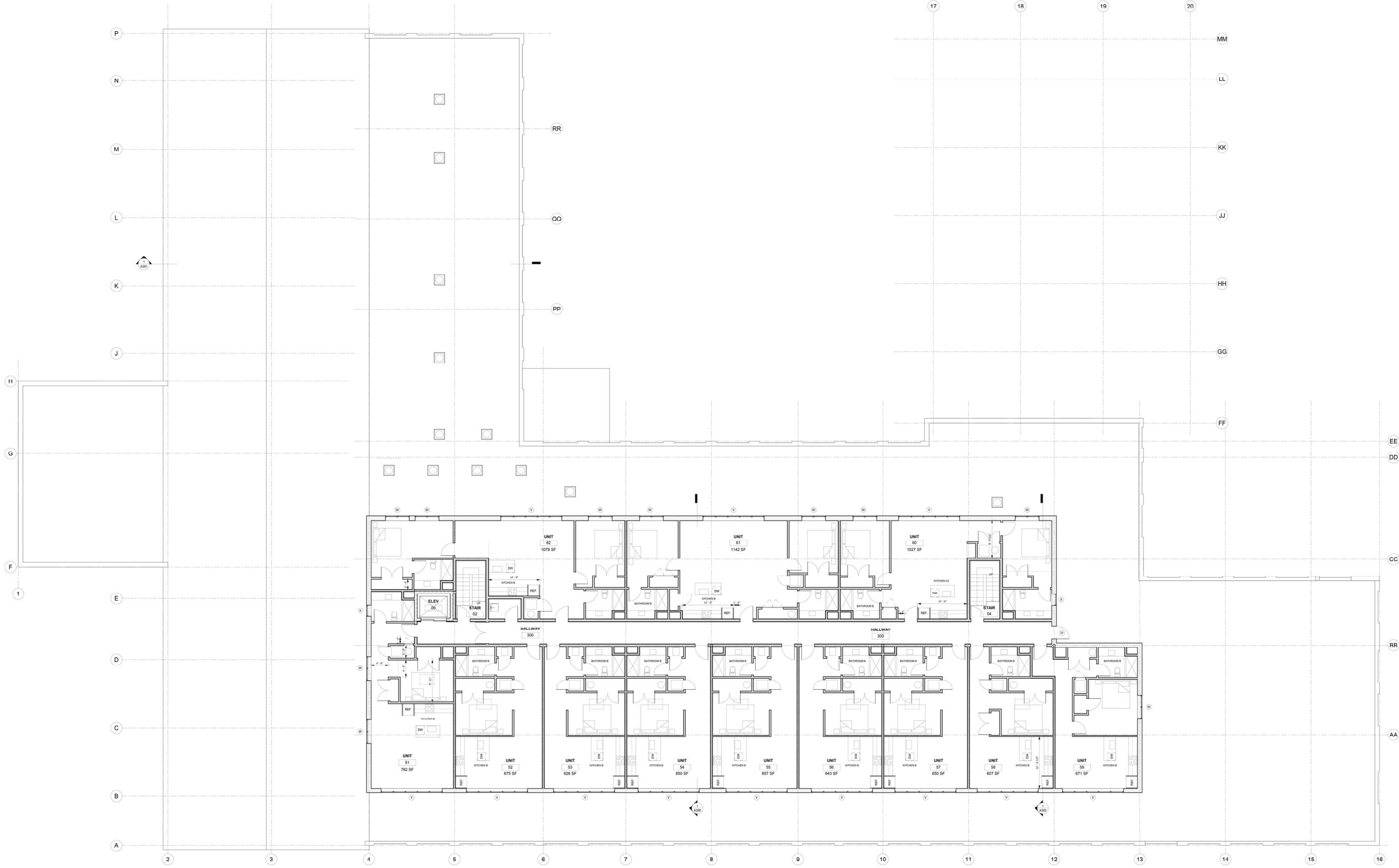
Project: **WeFAD**
MIXED USE BUILDING
49 WESTFIELD STREET
PROVIDENCE, RI 02907



Second Floor Plan

SUBMISSION TO CITY PLAN COMMISSION

DWG NO. **102**
DWN BY:
CND BY:
DATE: 04/28/2021
SCALE: 1" = 25' 0"



1 Third Floor Plan
1" = 25' 0"

Architect:

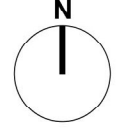
FREECCELL ARCHITECTURE

67 35TH ST
BROOKLYN, NY 11232
7186434180
WWW.FRCLL.COM



Project:
WeFAD

MIXED USE BUILDING
49 WESTFIELD STREET
PROVIDENCE, RI 02907



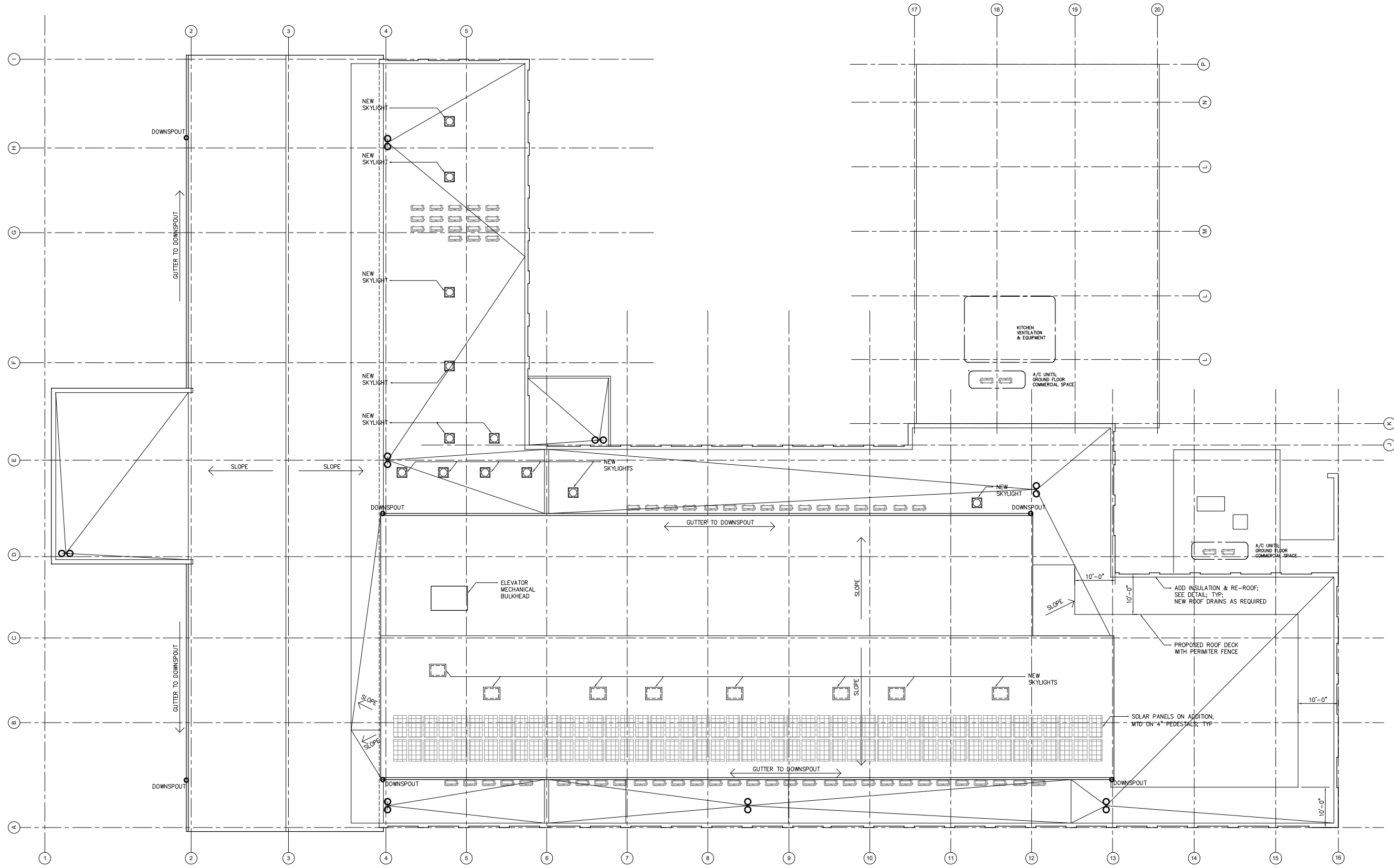
Third Floor Plan

SUBMISSION TO CITY PLAN COMMISSION

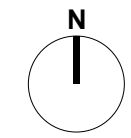
DWN BY:
CHK BY:
DATE: 04/28/2021
SCALE: 1" = 25' 0"

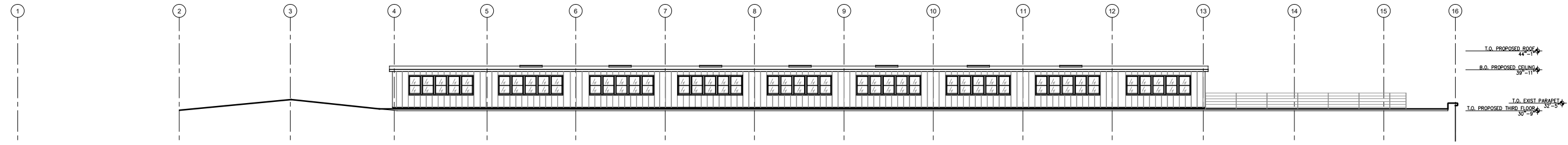
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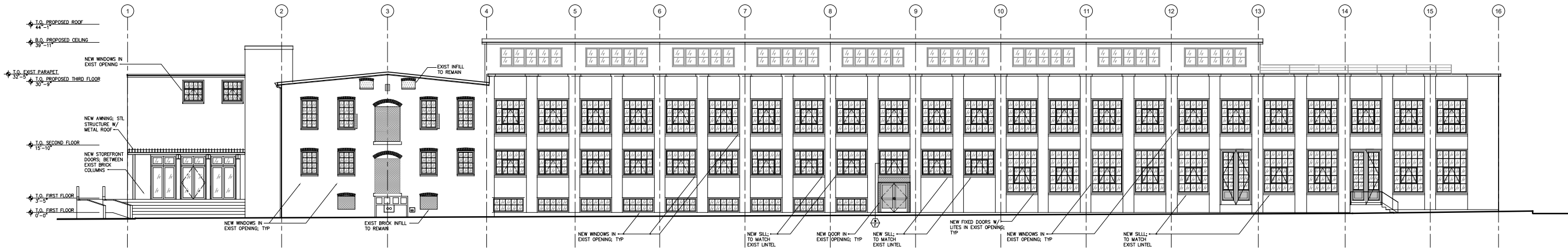


1 Roof Plan
1" = 25' 0"





1 ADDITION: South Elevation (Westfield Street)
1" = 25' 0"



2 South Elevation (Westfield Street)
1" = 25' 0"

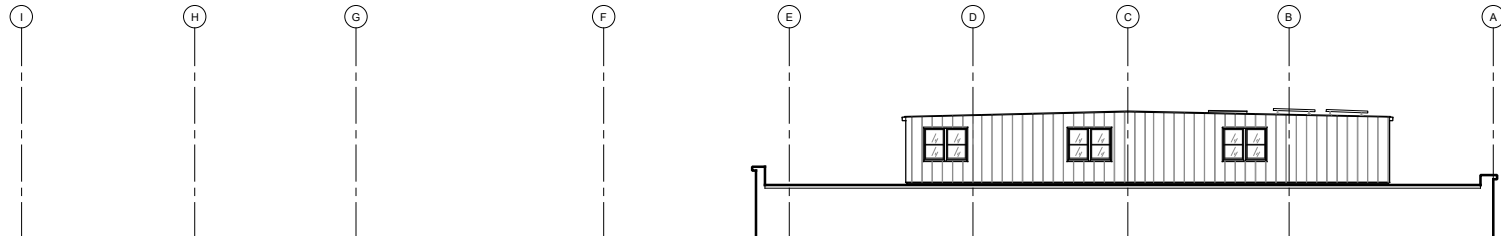
SOUTH ELEVATIONS

SUBMISSION TO CITY PLAN COMMISSION

Project: **WeFAD**
 MIXED USE BUILDING
 49 WESTFIELD STREET
 PROVIDENCE, RI 02907

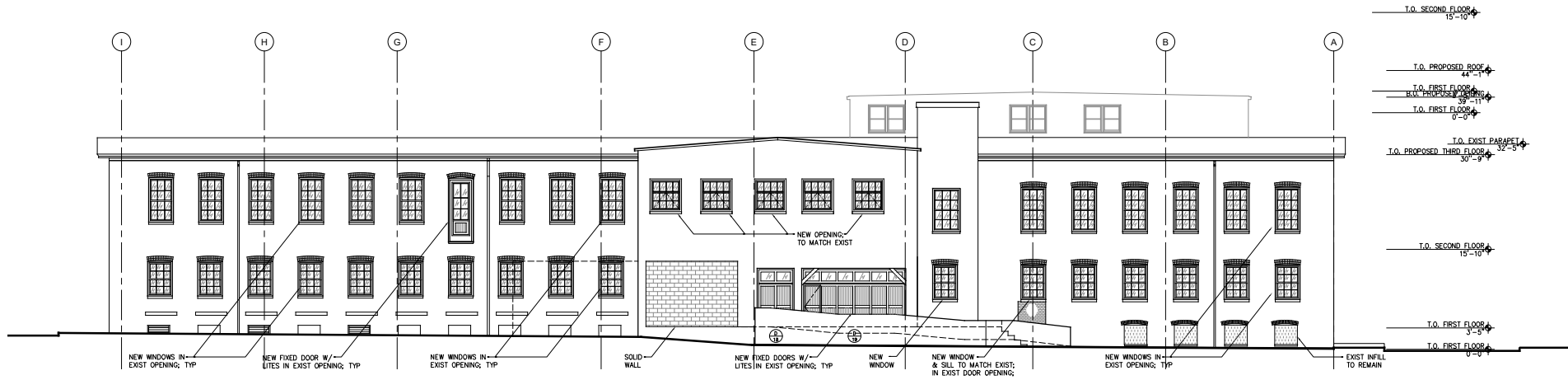


Architect: **FREECCELL ARCHITECTURE**
 67 35TH ST
 BROOKLYN, NY 11232
 7186434180
 WWW.FRCELL.COM



T.O. PROPOSED ROOF 44'-11"
 B.O. PROPOSED CEILING 39'-11"
 T.O. EXIST PARAPET 32'-3"
 T.O. PROPOSED THIRD FLOOR 30'-9"

1 ADDITION: West Elevation (Harrison Street)
 1" = 25' 0"



2 West Elevation (Harrison Street)
 1" = 25' 0"

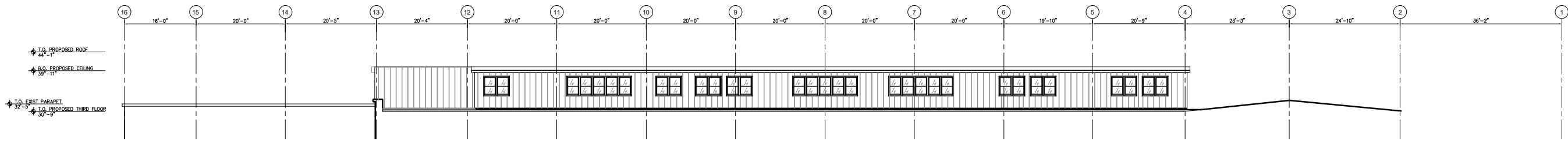
WEST ELEVATIONS

SUBMISSION TO CITY PLAN COMMISSION

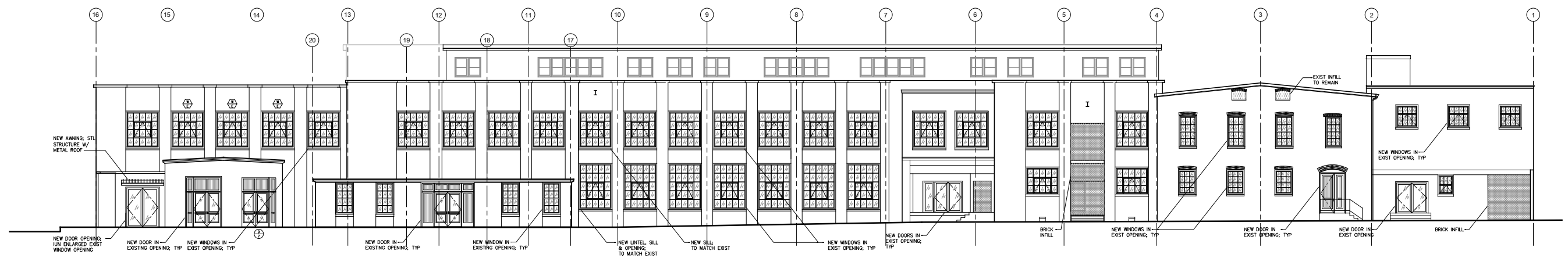
Project: **WeFAD**
 MIXED USE BUILDING
 49 WESTFIELD STREET
 PROVIDENCE, RI 02907



Architect: **FREECCELL ARCHITECTURE**
 67 35TH ST
 BROOKLYN, NY 11232
 7186434180
 WWW.FRCELL.COM

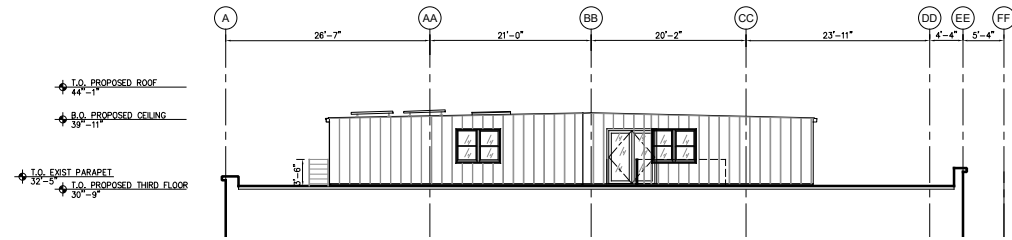


1 ADDITION: North Elevation (Warren Street)
1" = 25' 0"

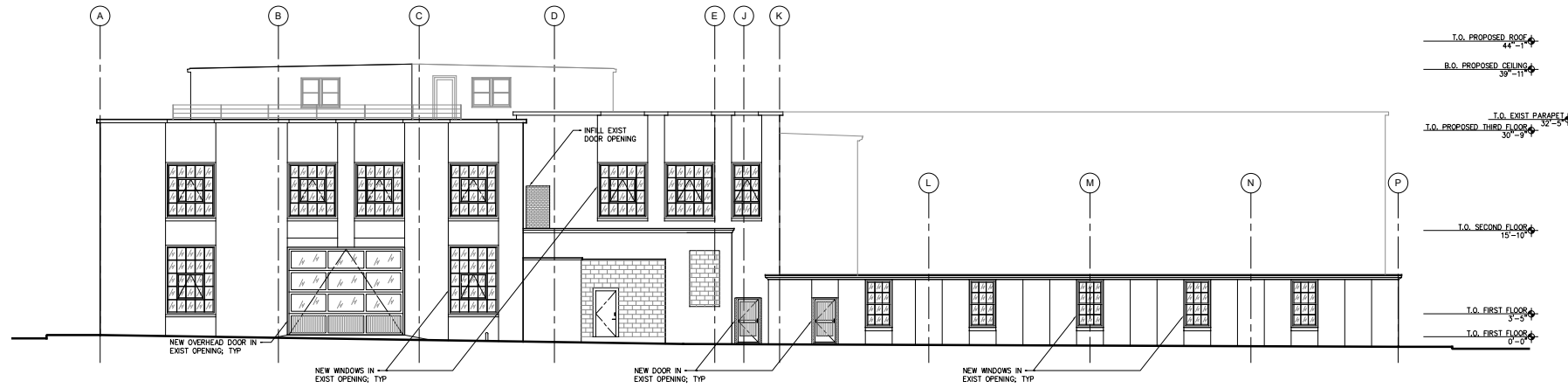


2 North Elevation (Warren Street)
1" = 25' 0"

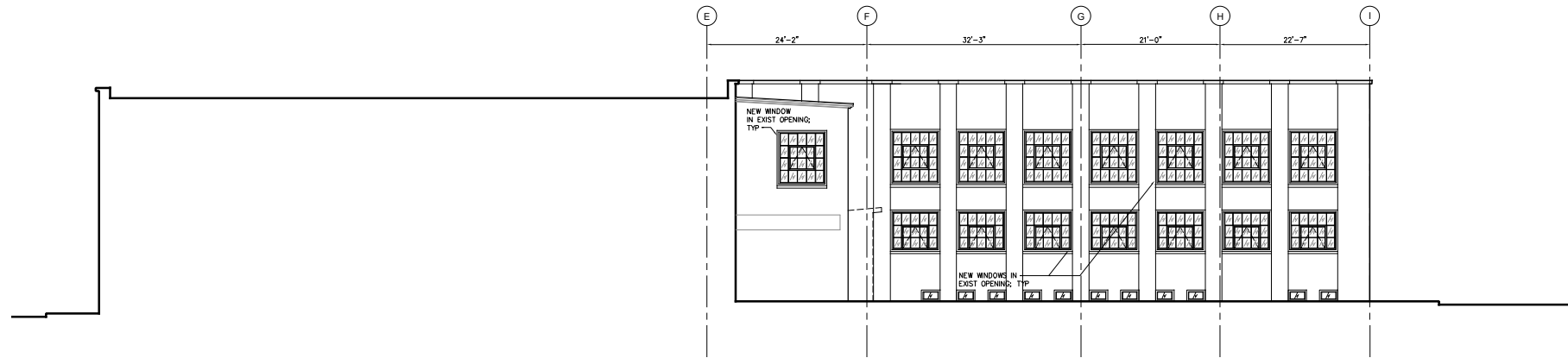




1 ADDITION: East Elevation (Fuller Street)
1" = 25' 0"



2 East Elevation (Fuller Street)
1" = 25' 0"



3 East Elevation (Courtyard)
1" = 25' 0"

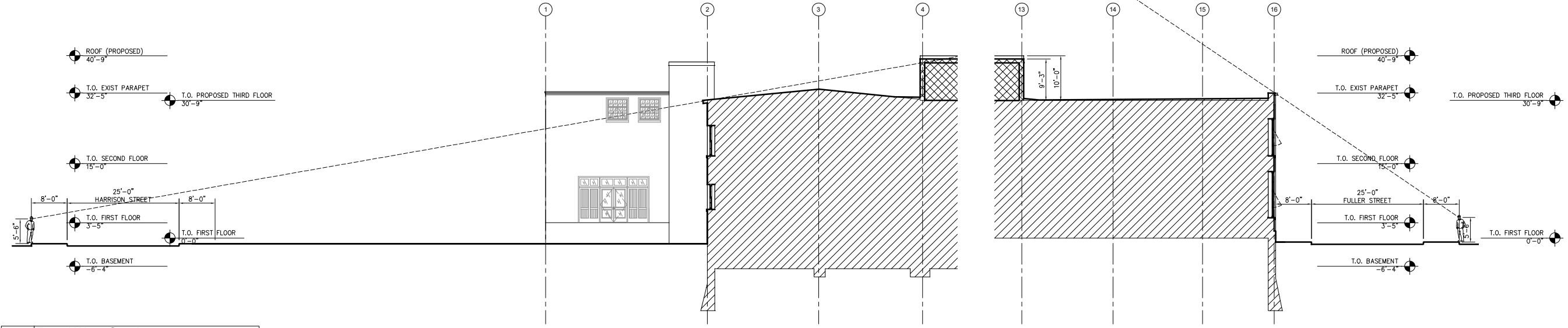
EAST ELEVATIONS

SUBMISSION TO CITY PLAN COMMISSION

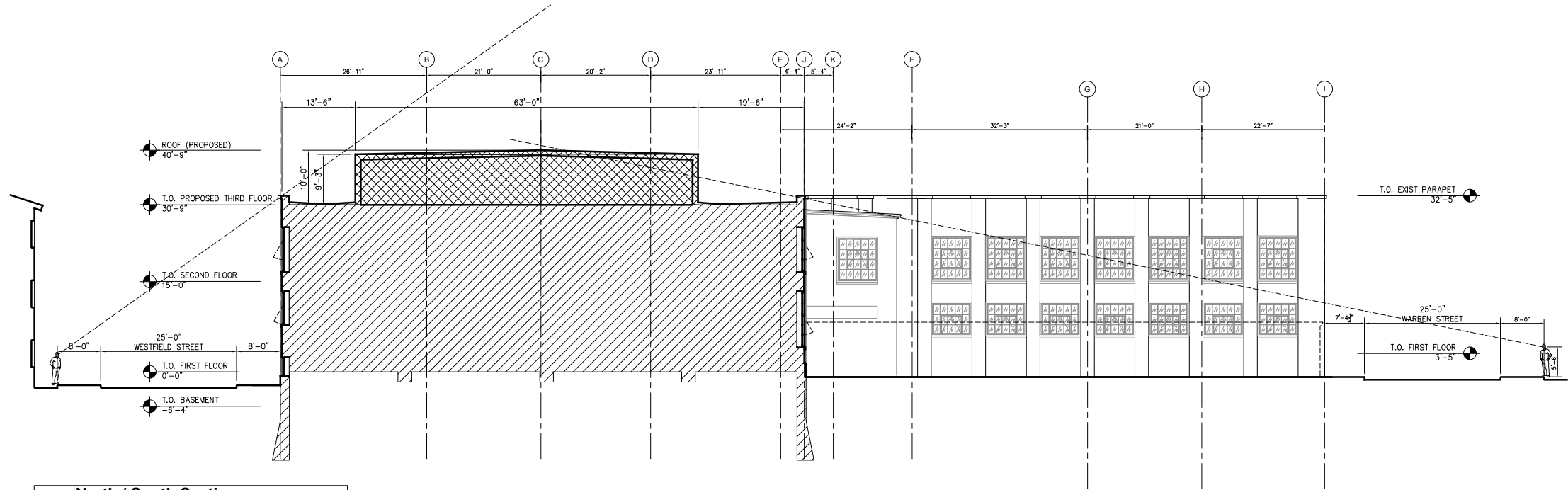
Project: **WeFAD**
MIXED USE BUILDING
49 WESTFIELD STREET
PROVIDENCE, RI 02907



Architect: **FREECCELL ARCHITECTURE**
67 35TH ST
BROOKLYN, NY 11232
7186434180
WWW.FRCELL.COM

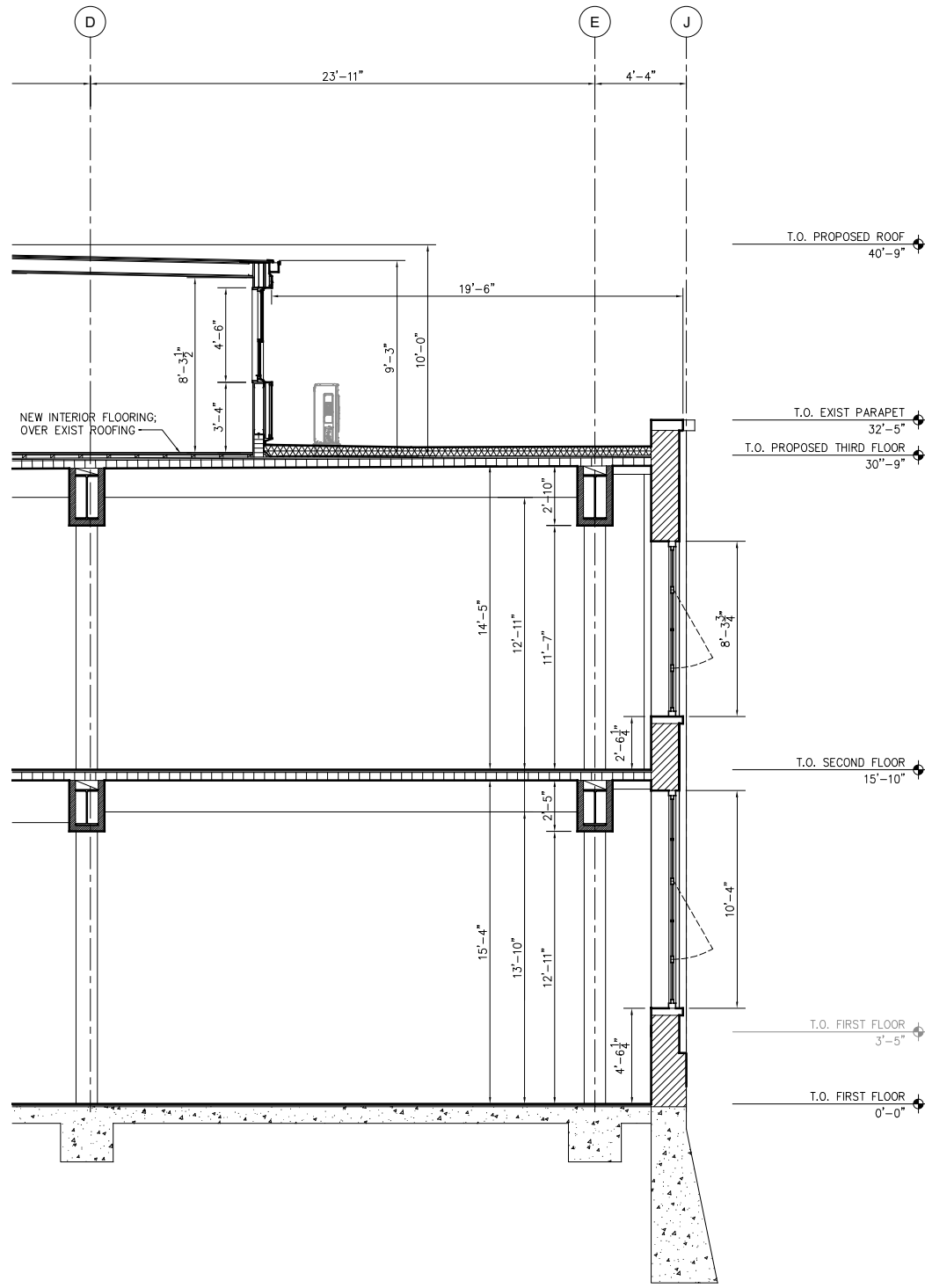
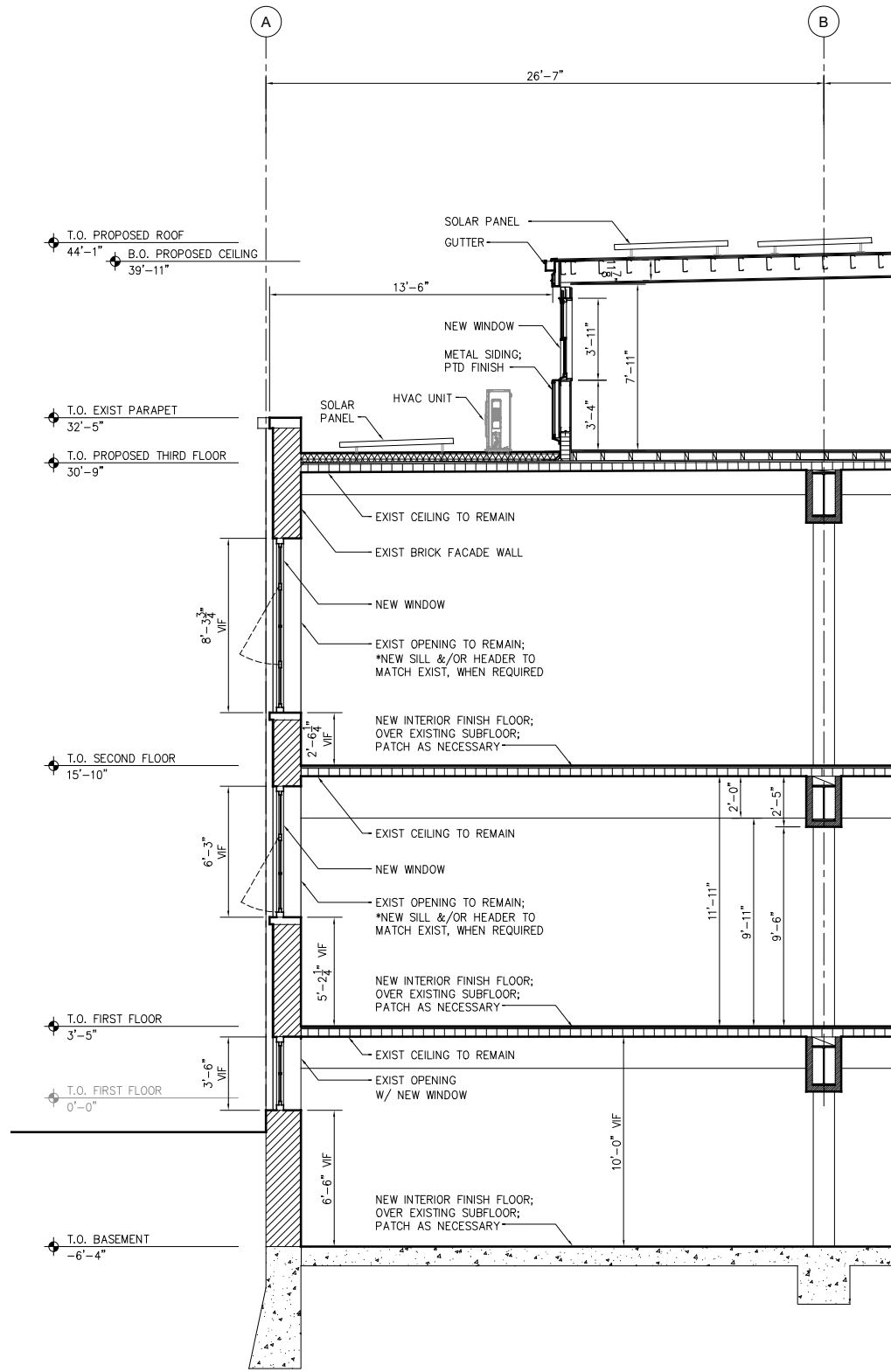


1 East / West Section
1" = 25' 0"



2 North / South Section
1" = 25' 0"





1 Building Section
1/8" = 1' 0"

BUILDING SECTION
 SUBMISSION TO CITY PLAN COMMISSION

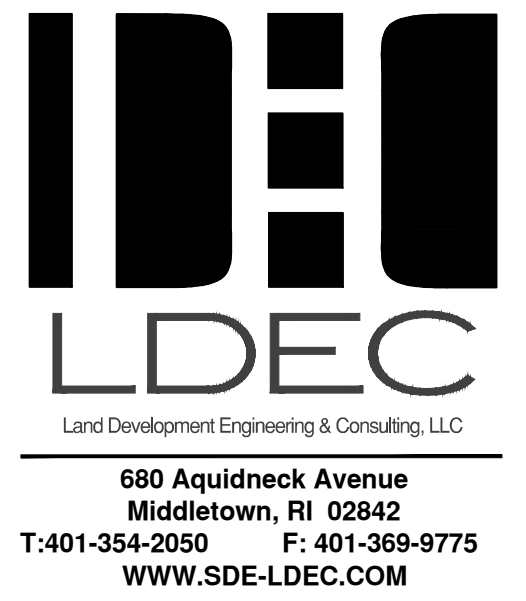
Project: **WeFAD**
 MIXED USE BUILDING
 49 WESTFIELD STREET
 PROVIDENCE, RI 02907



Architect: **FREECCELL ARCHITECTURE**
 67 35TH ST
 BROOKLYN, NY 11232
 7186434180
 WWW.FRCELL.COM

SITE REDEVELOPMENT PLANS

49 Westfield Street
 Assessors Map 30, Parcel 355
 Providence, Rhode Island
 MARCH 19, 2021



NO.	DATE	DESCRIPTION	APPROVED

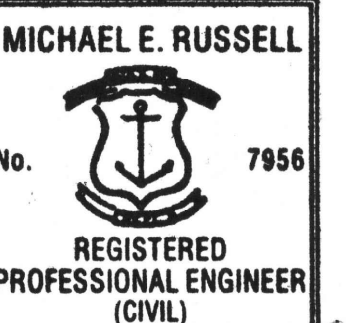
PLAN REVISIONS

DATE: MARCH 19, 2025

DRAWN BY: SJE DESIGN BY: SJE CHECK BY: MER

PROJECT NO. 20021

ISSUED FOR: PERMITTING



Michael E. Russell

SITE REDEVELOPMENT PLANS
 49 WESTFIELD STREET
 ASSESSOR'S MAP 30, PARCEL 355
 PROVIDENCE, RHODE ISLAND
 PREPARED FOR K&S DEVELOPMENT, LLC.

DRAWING TITLE:

COVER

SCALE: NOT TO SCALE

SHEET NO.

1 of 10



LOCUS MAP

PLAN INDEX

TITLE	SHEET NO.
COVER SHEET	1
EXISTING CONDITIONS PLAN	2
SITE LAYOUT PLAN	3
SITE LAYOUT PLAN BLOW-UP	4
GRADING & DRAINAGE PLAN	5
GRADING & DRAINAGE PLAN BLOW-UP	6
EROSION CONTROL PLAN	7
LIGHTING & UTILITIES PLAN	8
LANDSCAPE PLAN	9
CONSTRUCTION DETAILS	10

CIVIL ENGINEER
 LAND DEVELOPMENT ENGINEERING
 & CONSULTING, LLC.
 1700 WEST MAIN ROAD, SUITE 8
 MIDDLETOWN, RI 02842
 (401) 354-2050

LAND SURVEYOR
 DIPRETE ENGINEERING
 TWO STAFFORD COURT
 CRANSTON, RI 02920
 (401) 943-1000

ARCHITECT
 FREECELL ARCHITECTURE, LLC.
 67 35TH STREET UNIT B525
 BROOKLYN NY, 11232
 (718) 643-4180

Legend	
AP	ASSESSOR'S PLAT
N/F	NOW OR FORMERLY DEED
(M)	MEASURED
(CA)	CHORD ANGLE
RL	RECORD LOT
---	PROPERTY LINE
---	ASSESSOR'S LINE
---	TREELINE
---	GUARDRAIL
---	FENCE
---	RETAINING WALL
---	STONE WALL
---	MINOR CONTOUR LINE
---	MAJOR CONTOUR LINE
---	WATER LINE
---	SEWER LINE
---	SEWER FORCE MAIN
---	GAS LINE
---	ELECTRIC LINE
---	OVERHEAD WIRES
---	DRAINAGE LINE
▲/△	NAIL FOUND/SET
●/◎	DRILL HOLE FOUND/SET
⊙/⊗	IRON ROD/PIPE FOUND/SET
■/□	BOUND FOUND/SET
+	SIGN
⊙	BOLLARD
⊙	SOIL EVALUATION
⊙	CATCH BASIN
⊙	DOUBLE CATCH BASIN
⊙	DRAINAGE MANHOLE
⊙	FLARED END SECTION
⊙	GUY POLE
⊙	ELECTRIC MANHOLE/HANDLE
⊙	UTILITY/POWER POLE
⊙	LIGHTPOST
⊙	SEWER/SEPTIC MANHOLE
⊙	SEWER VALVE
⊙	CLEANOUT
⊙	HYDRANT
⊙	IRRIGATION VALVE
⊙	WATER VALVE
⊙	WELL
⊙	MONITORING WELL
⊙	UNKNOWN MANHOLE
⊙	GAS VALVE
⊙	ELECTRIC FLAG
⊙	BENCH MARK
⊙	SHRUB
⊙	TREE

Schedule A Description

PARCEL ONE: 49 WESTFIELD STREET, PROVIDENCE, RI - PLAT 30 LOT 355
 PARCEL TWO: 17 FULLER STREET, PROVIDENCE, RI - PLAT 30 LOT 308
 PARCEL THREE: 50 WARREN STREET, PROVIDENCE, RI - PLAT 30 LOT 338
 PARCEL FOUR: 44 WARREN STREET, PROVIDENCE, RI - PLAT 30 LOTS 339
 PARCEL FIVE: 212 HARRISON STREET, PROVIDENCE, RI - PLAT 30 LOT 444

THOSE CERTAIN PARCELS OR TRACTS OF LAND TOGETHER WITH ALL BUILDINGS AND IMPROVEMENTS THEREON, SITUATED ON THE EASTERLY SIDE OF HARRISON STREET, THE NORTHERLY LINE OF WESTFIELD STREET, THE NORTHERLY AND SOUTHERLY LINES OF WARREN STREET AND THE WESTERLY LINE OF FULLER STREET IN THE CITY AND COUNTY OF PROVIDENCE, STATE OF RHODE ISLAND BOUNDED AND DESCRIBED AS FOLLOWS: SAID PARCELS ARE LAID OUT AND DELINEATED AS LOTS NO. 103, 104, 106, 107, 108, 109, 110, 111, 112, 113, 139, 140, 141, 142, 143, 144, 145, 148, 147, 148 AND 91 ON THAT PLAT ENTITLED, 'PLOT OF AN ESTATE BELONGING TO DANIEL FIELD SURVEYED & PLOTTED SEPT. 26TH 1845 BY ATWATER & SCHUBARTH' WHICH PLAT IS RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS IN THE CITY OF PROVIDENCE IN PLAT BOOK 3 AT PAGE 12 AND ON PLAT CARD 95.

PARCEL SIX: 72 WILSON STREET, PROVIDENCE, RI - AP 30 AL 284
 ALL THAT CERTAIN LOT OR PARCEL OF LAND, TOGETHER WITH ALL THE BUILDINGS AND IMPROVEMENTS THEREON, SITUATED AT THE SOUTHWEST CORNER OF FULLER AND WILSON STREETS, IN THE CITY AND COUNTY OF PROVIDENCE, STATE OF RHODE ISLAND, BOUNDED AND DESCRIBED AS FOLLOWS:
 BEGINNING AT A POINT ON THE SOUTHERLY LINE OF WILSON STREET, SAID POINT BEING THE NORTHEAST CORNER OF THE HEREIN DESCRIBED PARCEL;
 THENCE RUNNING WESTERLY ALONG THE SOUTHERLY LINE OF WILSON STREET, FORTY (40) FEET;
 THENCE TURNING AN ANGLE OF 89° 54' 20" AND RUNNING SOUTHERLY FIFTY-EIGHT (58) FEET;
 THENCE TURNING AN ANGLE OF 270° 05' 40" AND RUNNING WESTERLY TWENTY-SEVEN AND 50/100 (6.50) FEET;
 THENCE TURNING AN ANGLE OF 89° 54' 20" AND RUNNING SOUTHERLY SIX AND 50/100 (6.50) FEET;
 THENCE TURNING AN ANGLE OF 270° 05' 40" AND RUNNING WESTERLY TWENTY-SEVEN AND 50/100 (27.50) FEET;
 THENCE TURNING AN ANGLE OF 89° 54' 20" AND RUNNING SOUTHERLY THIRTY AND 50/100 (30.50) FEET;
 THENCE TURNING AN ANGLE OF 90° 05' 40" AND RUNNING EASTERLY EIGHTY (80) FEET TO THE WESTERLY LINE OF FULLER STREET;
 THENCE TURNING AN ANGLE OF 89° 54' 20" AND RUNNING NORTHERLY ALONG THE WESTERLY LINE OF FULLER STREET NINETY-FIVE AND 00/100 (95.00) FEET TO THE SOUTHERLY LINE OF WILSON STREET AND THE POINT AND PLACE OF BEGINNING, SAID LAST COURSE FORMING AN INTERIOR ANGLE OF 90° 05' 40" WITH THE FIRST COURSE.
 BE ALL SAID MEASUREMENTS MORE OR LESS OR HOWEVER OTHERWISE THE SAME MAY BE BOUNDED AND DESCRIBED.
 BEING ALL OF LOT NO. 61 AND A SOUTHERLY PORTION OF LOT NO. 60 ON THAT CERTAIN PLAT ENTITLED, 'PLOT OF AN ESTATE BELONGING TO DANIEL FIELD SURVEYED & PLOTTED SEPT. 26TH 1845 BY ATWATER & SCHUBARTH' WHICH PLAT IS RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS IN THE CITY OF PROVIDENCE IN PLAT BOOK 3 PAGE 12 AND ON PLAT CARD 95.

PARCEL SEVEN: 78 WILSON STREET, PROVIDENCE, RI - AP 30 AL 285
 ALL THAT CERTAIN LOT OR PARCEL OF LAND, TOGETHER WITH ALL THE BUILDINGS AND IMPROVEMENTS THEREON, SITUATED ON THE SOUTHERLY LINE OF WILSON STREET IN THE CITY AND COUNTY OF PROVIDENCE, STATE OF RHODE ISLAND, BOUNDED AND DESCRIBED AS FOLLOWS:
 BEGINNING AT A POINT ON THE SOUTHERLY LINE OF WILSON STREET, FORTY (40) FEET WESTERLY FROM THE WESTERLY LINE OF FULLER STREET, SAID POINT BEING THE NORTHEAST CORNER OF THE HEREIN DESCRIBED PARCEL;
 THENCE RUNNING WESTERLY ALONG THE SOUTHERLY LINE OF WILSON STREET, 40 FEET;
 THENCE TURNING AN ANGLE TO THE RIGHT OF 89° 54' 20" AND RUNNING NORTHERLY, 64.50 FEET;
 THENCE TURNING AN INTERIOR ANGLE OF 90° 05' 40" AND RUNNING EASTERLY, 27.50 FEET;
 THENCE TURNING AN ANGLE TO THE RIGHT OF 89° 54' 20" AND RUNNING NORTHERLY 6.50 FEET;
 THENCE TURNING AN ANGLE OF 270° 05' 40" AND RUNNING EASTERLY, 12.50 FEET;
 THENCE TURNING AN ANGLE TO THE RIGHT OF 89° 54' 20" AND RUNNING NORTHERLY 58.00 FEET TO THE SOUTHERLY LINE OF WILSON STREET TO THE POINT AND PLACE OF BEGINNING, FORMING AN INTERIOR ANGLE OF 90° 05' 40" WITH THE FIRST COURSE, BEING THE NORTHERLY PORTION OF LOT NO. 60 ON THAT CERTAIN PLAT ENTITLED, 'PLOT OF AN ESTATE BELONGING TO DANIEL FIELD SURVEYED & PLOTTED SEPT. 26TH 1845 BY ATWATER & SCHUBARTH',

Schedule B Exceptions:

AS TO PARCEL TWELVE, 61R WARREN STREET: ANY CLAIM OR QUESTION ARISING OUT OF THE FACT THAT THE LAND DOES NOT BOUND UPON A PUBLIC STREET OR ROAD, ACCESS TO THE PREMISES MAY RELY UPON COMMON OWNERSHIP WITH PARCEL TEN, 59 WARREN STREET.
 RESPONSE: PARCEL TWELVE NOT PART OF SURVEY.

WHICH PLAT IS RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS IN THE CITY OF PROVIDENCE IN PLAT BOOK 3 PAGE 12 AND ON PLAT CARD 95.

PARCEL EIGHT: 102 WILSON STREET, PROVIDENCE, RI - AP 30 AL 291
 NOT PART OF SURVEY.

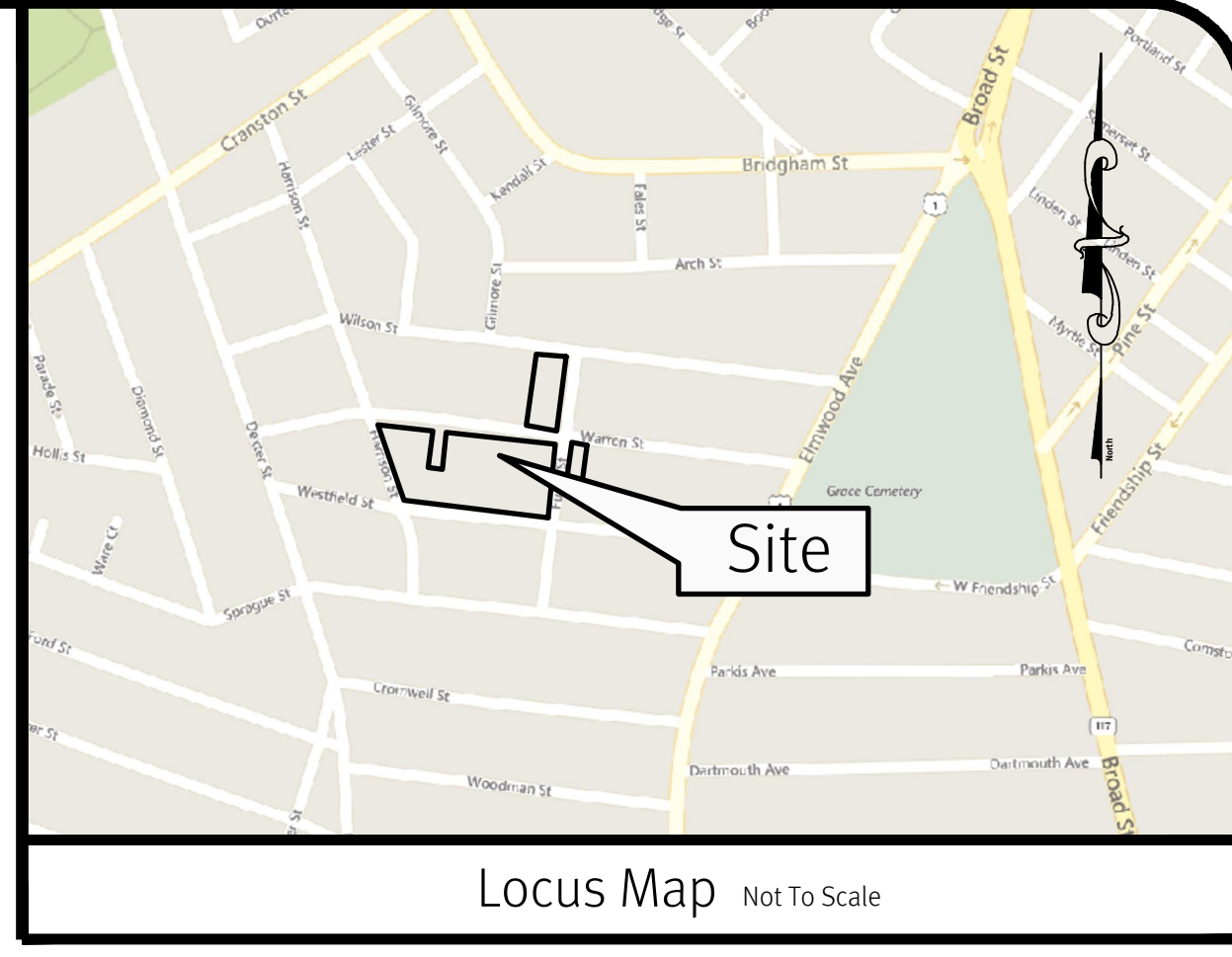
PARCEL NINE: 45 WARREN STREET, PROVIDENCE, RI - AP 30 AL 307
 ALL THAT CERTAIN LOT OR PARCEL OF LAND, TOGETHER WITH ALL THE BUILDINGS AND OTHER IMPROVEMENTS THEREON, SITUATED IN THE CITY AND COUNTY OF PROVIDENCE, STATE OF RHODE ISLAND, BEING LOT NO. 92 ON THAT CERTAIN PLAT ENTITLED, 'PLOT OF AN ESTATE BELONGING TO DANIEL FIELD SURVEYED & PLOTTED SEPT. 26TH 1845 BY ATWATER & SCHUBARTH' WHICH PLAT IS RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS IN THE CITY OF PROVIDENCE IN PLAT BOOK 3 PAGE 12 AND ON PLAT CARD 95.

PARCEL TEN: 59 WARREN STREET, PROVIDENCE, RI - AP 30 AL 301
 NOT PART OF SURVEY.

PARCEL ELEVEN: 42 WARREN STREET, PROVIDENCE, RI - AP 30 AL 334
 ALL THAT CERTAIN LOT OR PARCEL OF LAND, TOGETHER WITH ALL THE BUILDINGS AND OTHER IMPROVEMENTS THEREON, SITUATED IN THE CITY AND COUNTY OF PROVIDENCE, STATE OF RHODE ISLAND, BEING LOT NO. 114 ON THAT CERTAIN PLAT ENTITLED, 'PLOT OF AN ESTATE BELONGING TO DANIEL FIELD SURVEYED & PLOTTED SEPT. 26TH 1845 BY ATWATER & SCHUBARTH' WHICH PLAT IS RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS IN THE CITY OF PROVIDENCE IN PLAT BOOK 3 PAGE 12 AND ON PLAT CARD 95.

PARCEL TWELVE: 61R WARREN STREET, PROVIDENCE, RI - AP 30 AL 634
 NOT PART OF SURVEY.

PARCEL THIRTEEN: 63 WARREN STREET, PROVIDENCE, RI - AP 30 AL 299
 NOT PART OF SURVEY.



Locus Map Not To Scale

- General Notes**
- THE PARCEL IS FOUND ON ASSESSOR'S PLAT 30, LOTS 284, 285, 307, 308, 334, 338, 339 & 355 IN THE CITY OF PROVIDENCE, PROVIDENCE COUNTY, RHODE ISLAND.
 - THE OWNER PER DEED BOOK 12722, PAGE 234 IS PROVIDENCE REDEVELOPMENT AGENCY.
 - BASED ON GRAPHICAL PLOTTING ONLY, THE PARCEL IS LOCATED IN ZONE X PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 44007C0316G, DATED MARCH 2, 2020. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
 - NO ZONING REPORT PROVIDED FOR REVIEW. BASED ONLY ON THE CITY OF PROVIDENCE'S GIS MAP PARCELS 307, 308, 334, 338, 339 & 355 ARE ZONED M-JU-75. PARCELS 284 AND 285 ARE ZONED R-3. LOT 355 FALLS WITH THE HISTORIC DISTRICT - PROVIDENCE LANDMARK OVERLAY DISTRICT. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
 - THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
 - FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON SEPTEMBER 22, 2020. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.

- Plan References:**
- PLOT OF AN ESTATE BELONGING TO DANIEL FIELD SURVEYED & PLOTTED SEPT. 26TH 1845 BY ATWATER & SCHUBARTH', PLAT BOOK 3 PAGE 12 AND ON PLAT CARD 95.

ALTA/NSPS Land Title Survey Notes

- THE ADDRESS OF PARCELS ARE:
 49 WESTFIELD STREET, PROVIDENCE, RI 02907
 17 FULLER STREET, PROVIDENCE, RI 02907
 50 WARREN STREET, PROVIDENCE, RI 02907
 44 WARREN STREET, PROVIDENCE, RI 02907
 212 HARRISON STREET, PROVIDENCE, RI 02907
 72 WILSON STREET, PROVIDENCE, RI 02907
 78 WILSON STREET, PROVIDENCE, RI 02907
 45 WARREN STREET, PROVIDENCE, RI 02907
 42 WARREN STREET, PROVIDENCE, RI 02907
- THERE WERE NO STRIPED PARKING SPACES OBSERVED AT THE TIME OF THE FIELD SURVEY.
- THE PARCELS HAS DIRECT ACCESS TO WILSON STREET, FULLER STREET, WARREN STREET HARRISON STREET & WESTFIELD STREET, ALL PUBLIC RIGHT OF WAYS.
- THERE ARE NO DIVIDING/PARTY WALLS LOCATED ALONG BOUNDARY OF THE PARCEL.
- THERE WAS OBSERVED EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION AT THE TIME OF THE FIELD SURVEY.
- THERE WAS NO OBVIOUS EVIDENCE OBSERVED OF A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL ON SITE AT THE TIME OF THE FIELD SURVEY. DIPRETE ENGINEERING IS NOT ACTING AS AN EXPERT IN ENVIRONMENTAL MATTERS IN REGARDS TO THIS SURVEY AND IS NOT RESPONSIBLE FOR WHAT A PHASE ONE ENVIRONMENTAL ASSESSMENTS OF THE SUBJECT SITE WOULD REVEAL.
- RIGHT OF WAY LINES ADJACENT TO SUBJECT PARCEL ARE AS SHOWN.
- THERE WAS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED AT THE TIME OF THE FIELD SURVEY.
- NO WETLAND FLAGS OBSERVED AT THE TIME OF THE FIELD SURVEY.
- THE LAND DEPICTED ON THIS SURVEY IS THE SAME LAND AS SHOWN IN THE SCHEDULE A OF TITLE COMMITMENT #2010060, EFFECTIVE DATE SEPTEMBER 10, 2020 AT 8:00AM BY CHICAGO TITLE INSURANCE COMPANY.
- THE LEGAL DESCRIPTION DOES FORM A MATHEMATICALLY CLOSED FIGURE WITH NO GAPS, CORES, OR OVERLAPS.

Surveyor's Certificate

TO: K&S DEVELOPMENT, LLC & CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 6(B), 7(A), 7(B)(1), 7(C), 8, 9, 13, 14 & 16 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED BETWEEN SEPTEMBER 22, 2020.

DATE OF PLAT OR MAP: SEPTEMBER 30, 2020

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

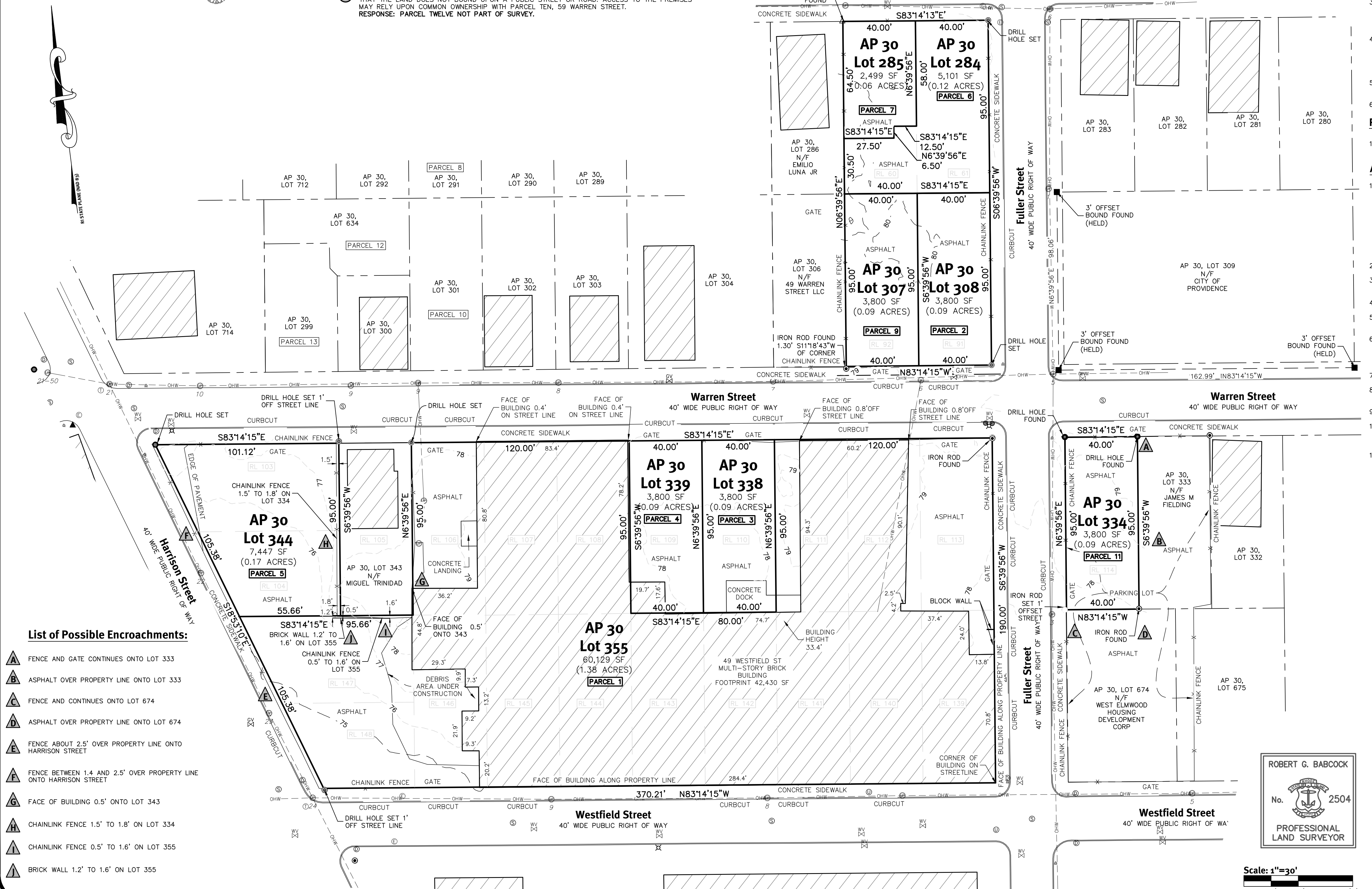
TYPE OF SURVEY: COMPREHENSIVE BOUNDARY SURVEY
 MEASUREMENT SPECIFICATION: CLASS 1
 CLASS 1
 CLASS T-4

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: ALTA SURVEY.

ROBERT G. BABCOCK
 No. 2504
 PROFESSIONAL LAND SURVEYOR

Scale: 1"=30'

11/12/20
 ROBERT G. BABCOCK, RIPLS #2504, COA #S.000160



- List of Possible Encroachments:**
- FENCE AND GATE CONTINUES ONTO LOT 333
 - ASPHALT OVER PROPERTY LINE ONTO LOT 333
 - FENCE AND CONTINUES ONTO LOT 674
 - ASPHALT OVER PROPERTY LINE ONTO LOT 674
 - FENCE ABOUT 2.5' OVER PROPERTY LINE ONTO HARRISON STREET
 - FENCE BETWEEN 1.4 AND 2.5' OVER PROPERTY LINE ONTO HARRISON STREET
 - FACE OF BUILDING 0.5' ONTO LOT 343
 - CHAINLINK FENCE 1.5' TO 1.8' ON LOT 334
 - CHAINLINK FENCE 0.5' TO 1.6' ON LOT 355
 - BRICK WALL 1.2' TO 1.6' ON LOT 355

Diprete Engineering
 Two Stafford Court Cranston, RI 02920
 Tel: 401-943-1000 Fax: 401-641-6006 www.diprete-eng.com

Boston • Providence • Newport

ALTA/NSPS Land Title Survey
Warren Street Survey

PROVIDENCE, RHODE ISLAND

CLIENT: K&S DEVELOPMENT LLC
 11 South Angell Street, #325
 Providence, Rhode Island 02906

DATE: 11/12/20
 DRAWN BY: MTL

ALTA/NSPS Land Title Survey
Warren Street Survey

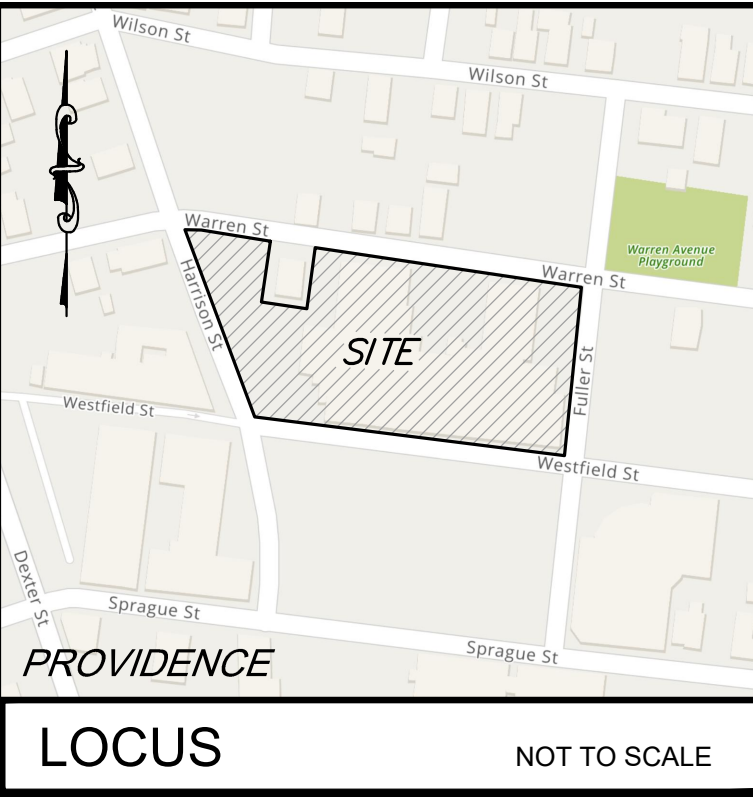
PROVIDENCE, RHODE ISLAND

CLIENT: K&S DEVELOPMENT LLC
 11 South Angell Street, #325
 Providence, Rhode Island 02906

DATE: 11/12/20
 DRAWN BY: MTL

SHEET 1 OF 1

z:\deman\projects\2576-001_warren_street\ancosa drawings\2576-001_alta.dwg Plotdate: 11/12/2020



LEGEND

⊙	DRAIN MANHOLE	+ [88.88]	PROPOSED GRADE
⊕	FIRE HYDRANT	[88]	PROPOSED CONTOUR
Ⓜ	MAIL BOX	—12" D—	PROPOSED DRAIN LINE
⊙	SEWER MANHOLE	G	PROPOSED GAS LINE
⊙	SPOT ELEVATION	ECT	PROPOSED ELECTRIC/TELEPHONE/CABLE
○	STONE WALL	—FM—	LOW PRESSURE SEWER
—	TREE LINE		
UP	UTILITY POLE		
WG	WATER GATE		
W	WATER LINE		
G	UNDERGROUND GAS		
Δ A10	WETLAND FLAG		
▨	WETLANDS		

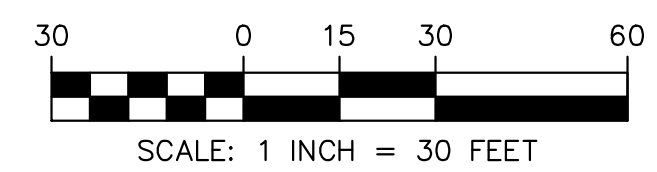
PROVIDENCE
LOCUS NOT TO SCALE



HARRISON STREET PARKING LOT
SCALE: 1"=20'



FULLER & WARREN STREET PARKING LOTS
SCALE: 1"=20'



680 Aquidneck Avenue
Middletown, RI 02842
T: 401-354-2050 F: 401-369-9775
WWW.SDE-LDEC.COM

NO.	DATE	DESCRIPTION	APPROVED

PLAN REVISIONS

DATE: MARCH 19, 2021

DRAWN BY: SJE DESIGN BY: SJE CHECK BY: MER

PROJECT NO. 20021

ISSUED FOR: PERMITTING



SITE REDEVELOPMENT PLANS

49 WESTFIELD STREET
ASSESSOR'S MAP 30, PARCEL 355
PROVIDENCE, RHODE ISLAND

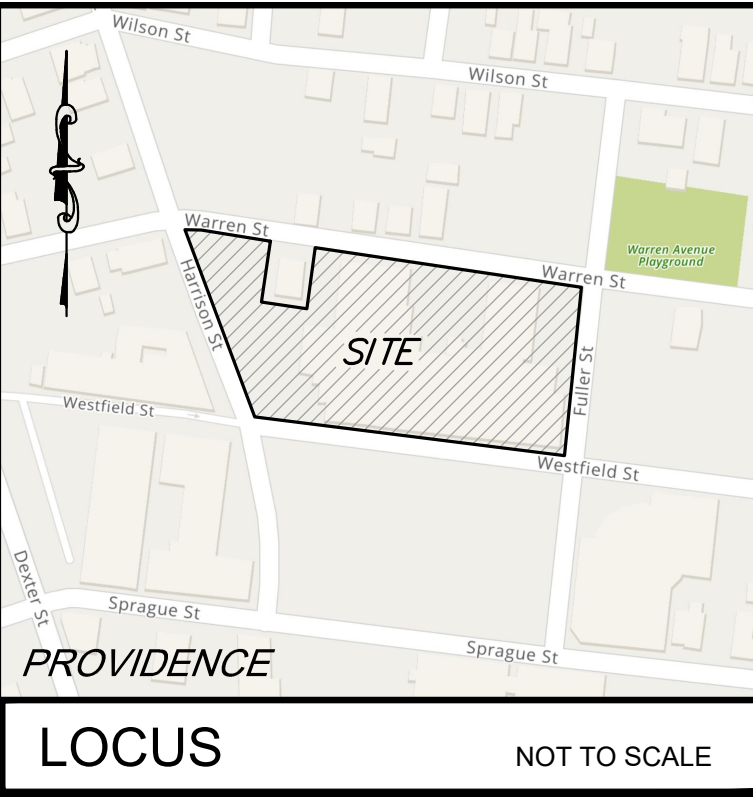
PREPARED FOR K&S DEVELOPMENT, LLC.

DRAWING TITLE:

SITE PLAN BLOW-UP

SCALE: 1" = 30'

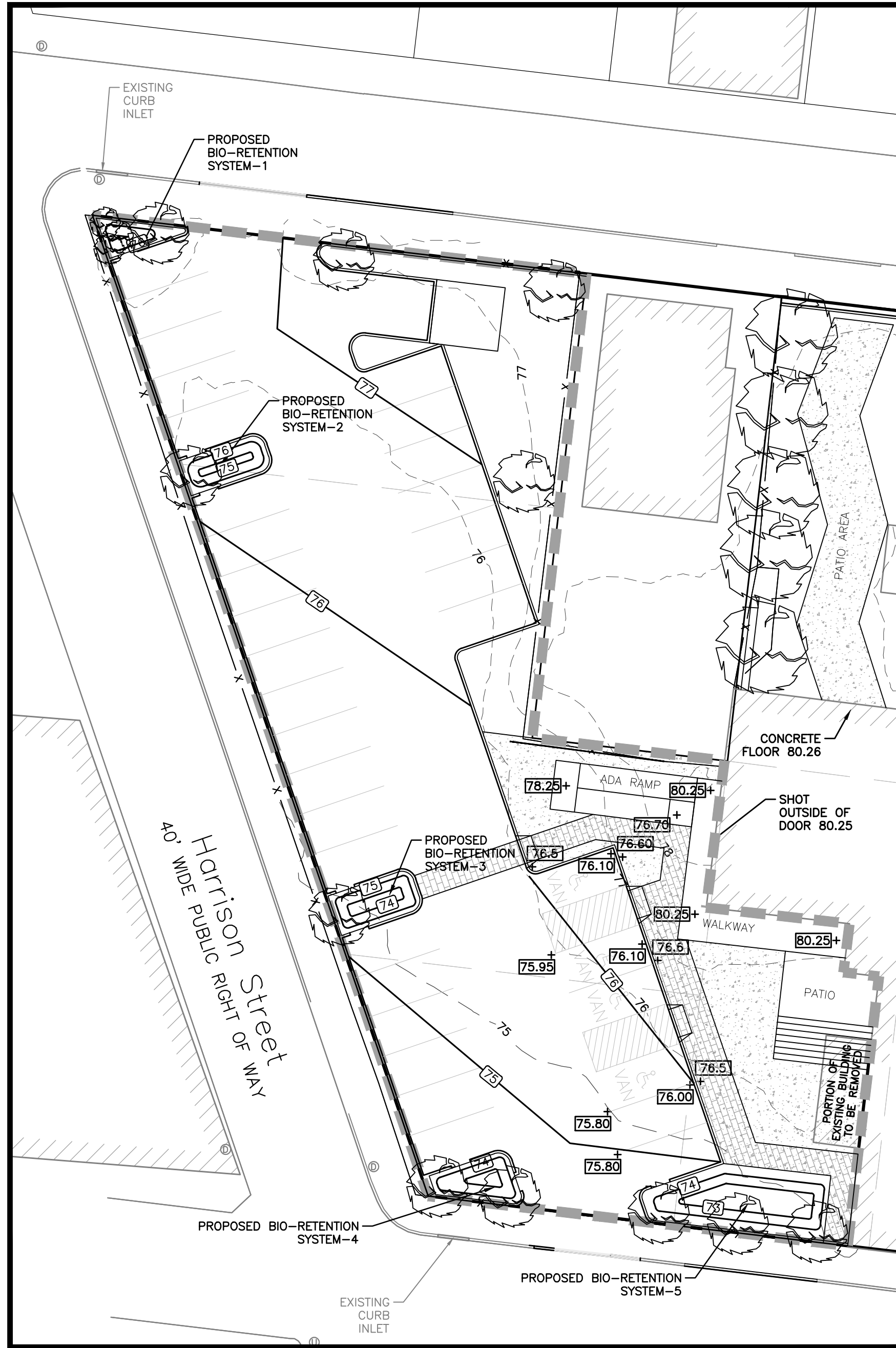
SHEET NO.



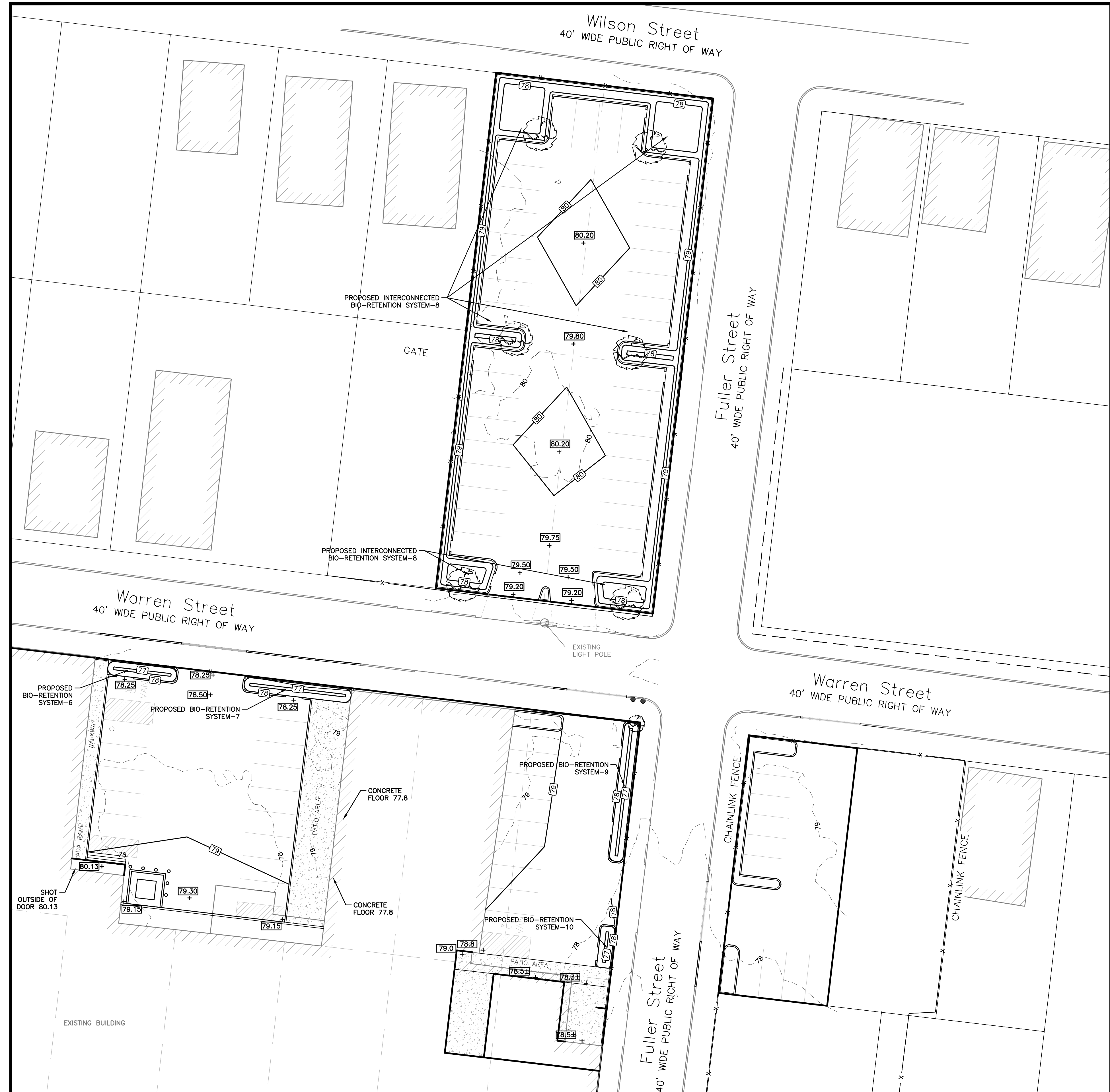
LEGEND

⊙	DRAIN MANHOLE	+ [88.88]	PROPOSED GRADE
⊕	FIRE HYDRANT	[88]	PROPOSED CONTOUR
⊖	MAIL BOX	-12"Ø	PROPOSED DRAIN LINE
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⊙	SPOT ELEVATION	ECT	PROPOSED ELECTRIC/ TELEPHONE/CABLE
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—	TREE LINE		
UP	UTILITY POLE		
WG	WATER GATE		
W	WATER LINE		
G	UNDERGROUND GAS		
Δ A10	WETLAND FLAG		
▨	WETLANDS		

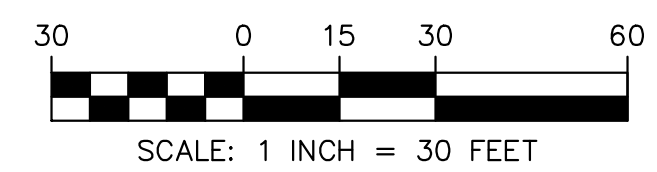
PROVIDENCE
LOCUS NOT TO SCALE



HARRISON STREET PARKING LOT
SCALE: 1"=20'



FULLER & WARREN STREET PARKING LOTS
SCALE: 1"=20'



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SITE REDEVELOPMENT PLANS

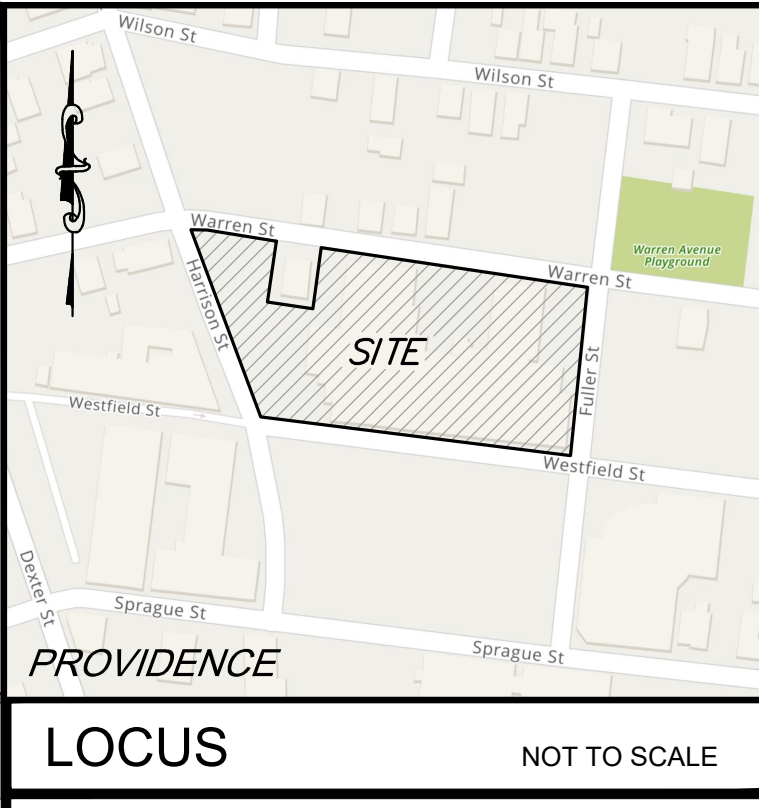
49 WESTFIELD STREET
ASSESSOR'S MAP 30, PARCEL 355
PROVIDENCE, RHODE ISLAND

PREPARED FOR K&S DEVELOPMENT, LLC.

DRAWING TITLE:
GRADING & DRAINAGE PLAN BLOW-UP

SCALE: AS SHOWN

SHEET NO.



LEGEND

⊕	DRAIN MANHOLE	+ [88.88]	PROPOSED GRADE
⊕	FIRE HYDRANT	[88]	PROPOSED CONTOUR
⊕	MAIL BOX	-12"	PROPOSED DRAIN LINE
⊕	SEWER MANHOLE	G	PROPOSED GAS LINE
⊕	SPOT ELEVATION	ECT	PROPOSED ELECTRIC/TELEPHONE/CABLE
—	STONE WALL	FM	LOW PRESSURE SEWER
—	TREE LINE		
UP	UTILITY POLE		
WG	WATER GATE		
W	WATER LINE		
G	UNDERGROUND GAS		
Δ A10	WETLAND FLAG		
⊕	WETLANDS		

PROVIDENCE
LOCUS NOT TO SCALE

3110C LED
IMPACT RESISTANT
ROUND BOLLARD
DOME TOP

LED IP65

Specifications

LEAD	
Dia:	229 mm
Dia ^h :	8"
H:	204 mm
H ^h :	80"
H ^l :	1016 mm
HL:	36"
Weight	9.15 mm

MOUNTING

HYDREL 9144 Deering Avenue, Second Floor • Chatsworth, CA 91311 • www.hydrrel.com
Phone: 866.533.9901 • Fax: 866.533.5291

TYPICAL BOLLARD LIGHTING DETAIL
NOT TO SCALE

MAXIMUM WEIGHT - 28 LBS.

HOLOPHANE LEADER IN LIGHTING SOLUTIONS AN ACULITY BRANDS COMPANY

INFRASTRUCTURE OUTDOOR

WALLPACK® IV
GLASS LED

- NOTE:**
- LAMP DESIGN SHALL BE IN COMPLIANT WITH THE TOWN ZONING BYLAW REGARDING SITE'S ZONING USE RECOMMENDED LIGHTING.
 - REFER TO LIGHTING PLAN FOR SPECIFIC LIGHTING TYPE, CLASS, MATERIAL AND CONSTRUCTION.
 - FINAL LAMP SELECTION SHALL BE REVIEWED BY THE DESIGN ENGINEER, TOWN REPRESENTATIVE, ARCHITECT AND PROJECT OWNER.

NUMBER OF LIGHT FIXTURES VARIES (SEE PLAN)

NO LIGHT AT OR ABOVE 90°

10° DEFLECTION FROM HORIZONTAL PLANE REDUCES GLARE

FULL CUT OFF SHIELD OR REFLECTOR IN ACCORDANCE TO DARK SKY COMPLIANT FIXTURES

LAMP SHALL BE DARK SKY COMPLIANT BY HOLOPHANE CO. OR EQUIVALENT

90° 80°

LIGHT POLE

GROUND TO POLE

COORDINATE WITH POLE MANUFACTURER FOR BOLT PATTERN

4 #5 VERT. W/#3 TIES @ 12"

F.G.

3"

48"

CONDUIT BY ELECTRICAL CONTRACTOR CONCRETE BY GENERAL CONTRACTOR

3" MIN.

1.3" MIN. (TYP.)

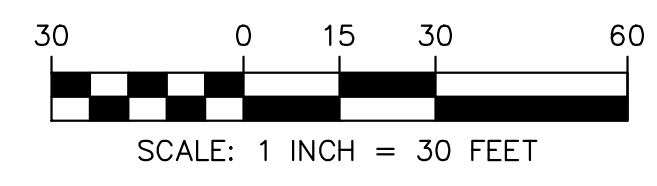
12"

12"

CONNECT #8 GROUND WIRE W/ CADWELL CO. CONNECTION TO 3/4" DIA. X 8' L.G. GROUND ROD

TYPICAL STREET LIGHT DETAIL
NOT TO SCALE

- NOTE:**
- LAMP DESIGN SHALL BE IN COMPLIANT WITH THE TOWN STANDARD STREET LIGHT AND "DARK SKY" BYLAW.
 - FINAL LAMP SELECTION SHALL BE REVIEWED BY THE DESIGN ENGINEER, TOWN REPRESENTATIVE, ARCHITECT AND PROJECT OWNER.



LDEC
Land Development Engineering & Consulting, LLC

680 Aquidneck Avenue
Middletown, RI 02842
T: 401-354-2050 F: 401-369-9775
WWW.SDE-LDEC.COM

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PLAN REVISIONS

DATE: MARCH 19, 2021

DRAWN BY: SJE DESIGN BY: SJE CHECK BY: MER

PROJECT NO: 20021

ISSUED FOR: PERMITTING

MICHAEL E. RUSSELL
No. 7956
REGISTERED PROFESSIONAL ENGINEER (CIVIL)

SITE REDEVELOPMENT PLANS

49 WESTFIELD STREET
ASSESSOR'S MAP 30, PARCEL 355
PROVIDENCE, RHODE ISLAND

PREPARED FOR K&S DEVELOPMENT, LLC.

DRAWING TITLE:
LIGHTING & UTILITY PLAN

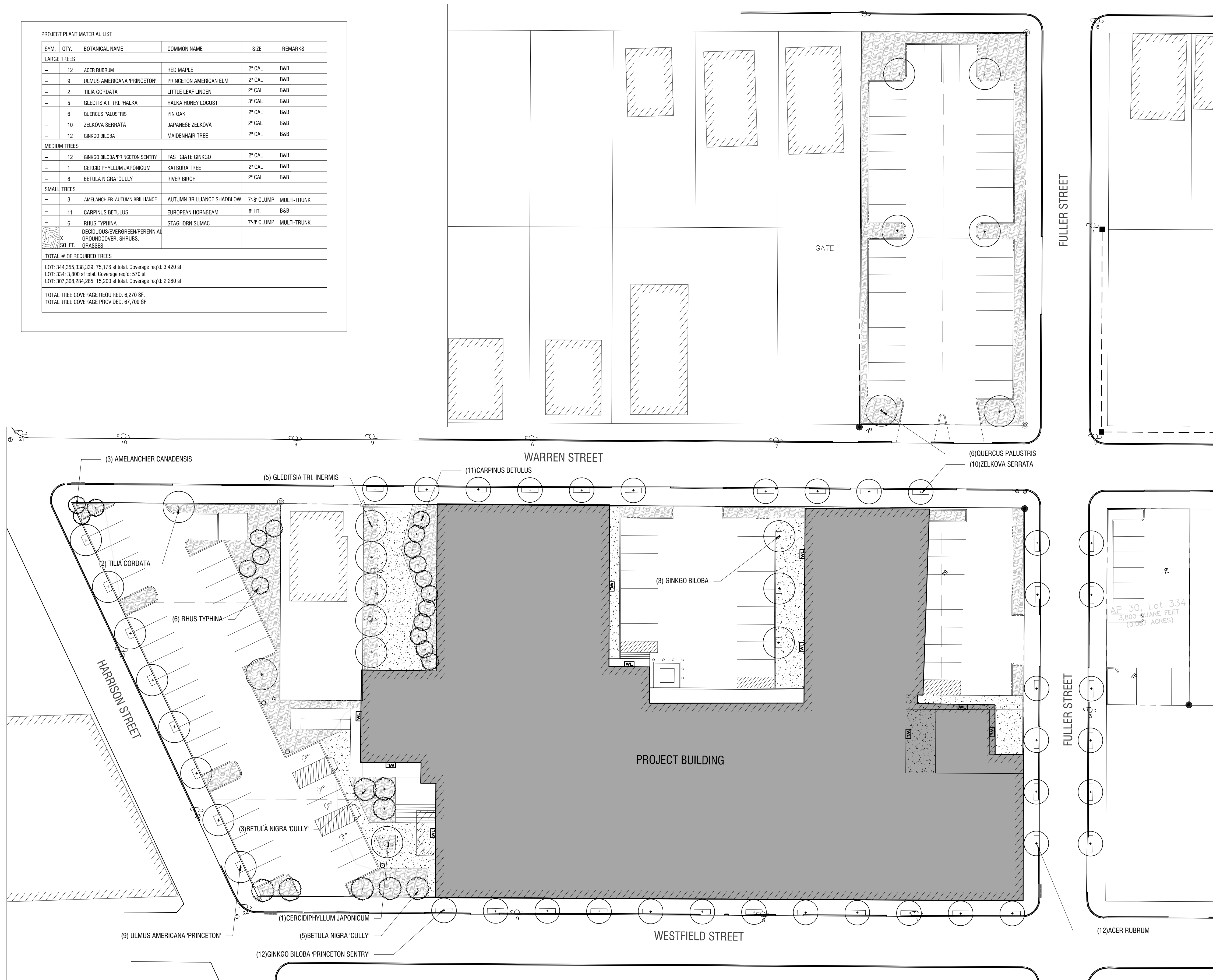
SCALE: **1" = 30'**

SHEET NO.
8 of 10

NO.	DATE	DESCRIPTION
1	08/14/2024	CONCEPTUAL LANDSCAPE PLAN

THIS DRAWING IS THE PROPERTY OF DESIGN UNDER SKY. UNAUTHORIZED USE OF ANY KIND, INCLUDING USE ON OTHER PROJECTS, IS PROHIBITED.

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
LARGE TREES					
--	12	ACER RUBRUM	RED MAPLE	2" CAL	B&B
--	9	ULMUS AMERICANA 'PRINCETON'	PRINCETON AMERICAN ELM	2" CAL	B&B
--	2	TILIA CORDATA	LITTLE LEAF LINDEN	2" CAL	B&B
--	5	GLEDTISIA TRI. 'HALKA'	HALKA HONEY LOCUST	3" CAL	B&B
--	6	QUERCUS PALUSTRIS	PIN OAK	2" CAL	B&B
--	10	ZELKOVA SERRATA	JAPANESE ZELKOVA	2" CAL	B&B
--	12	GINKGO BILOBA	MAIDENHAIR TREE	2" CAL	B&B
MEDIUM TREES					
--	12	GINKGO BILOBA 'PRINCETON SENTRY'	FASTIGIATE GINKGO	2" CAL	B&B
--	1	CERCIDIPHYLLUM JAPONICUM	KATSURA TREE	2" CAL	B&B
--	8	BETULA NIGRA 'CULLY'	RIVER BIRCH	2" CAL	B&B
SMALL TREES					
--	3	AMELANCHIER AUTUMN BRILLIANCE	AUTUMN BRILLIANCE SHADBLOW	7"-8" CLUMP	MULTI-TRUNK
--	11	CARPINUS BETULUS	EUROPEAN HORNBEAM	8" HT.	B&B
--	6	RHUS TYPHINA	STAGHORN SUMAC	7"-8" CLUMP	MULTI-TRUNK
GROUNDCOVER, SHRUBS, GRASSES					
TOTAL # OF REQUIRED TREES					
LOT: 344.355.338.339: 75,176 sf total. Coverage req'd: 3,420 sf					
LOT: 334: 3,800 sf total. Coverage req'd: 570 sf					
LOT: 307.308.284.285: 15,200 sf total. Coverage req'd: 2,280 sf					
TOTAL TREE COVERAGE REQUIRED: 6,270 SF.					
TOTAL TREE COVERAGE PROVIDED: 67,700 SF.					



1 LANDSCAPE PLAN
SCALE: 1"=20'

