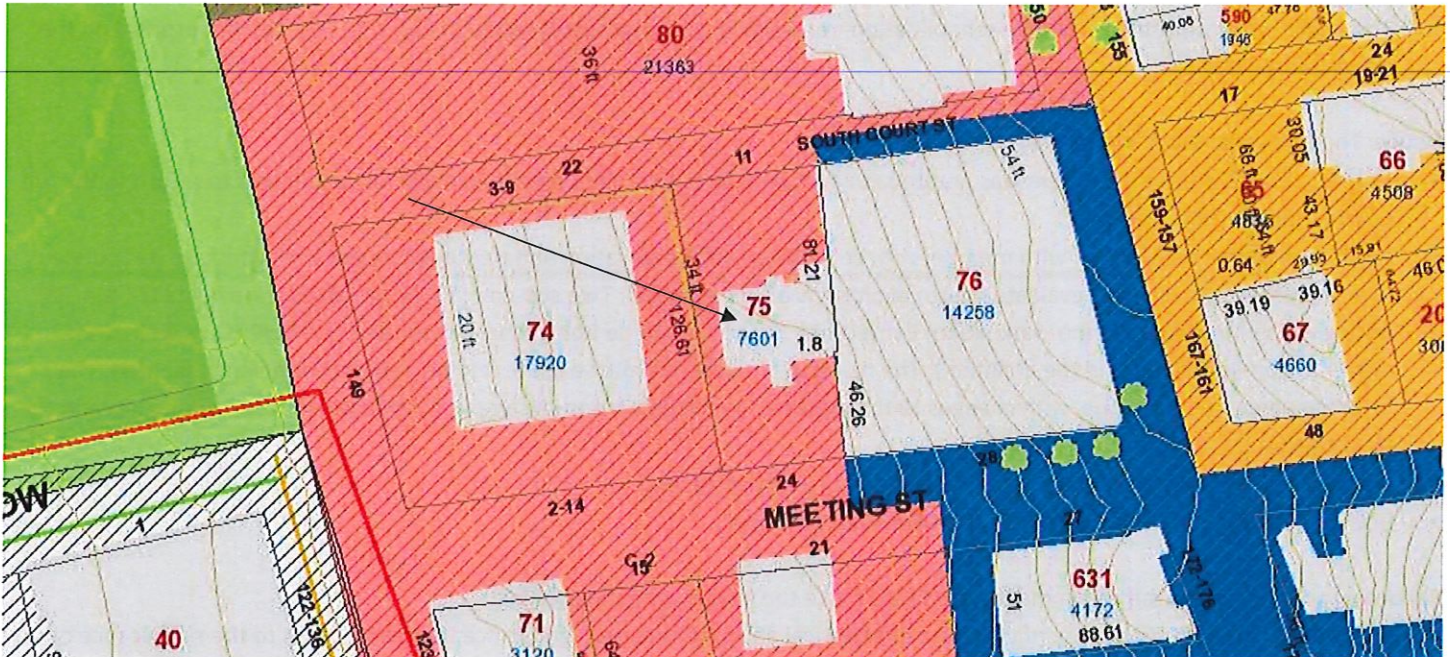


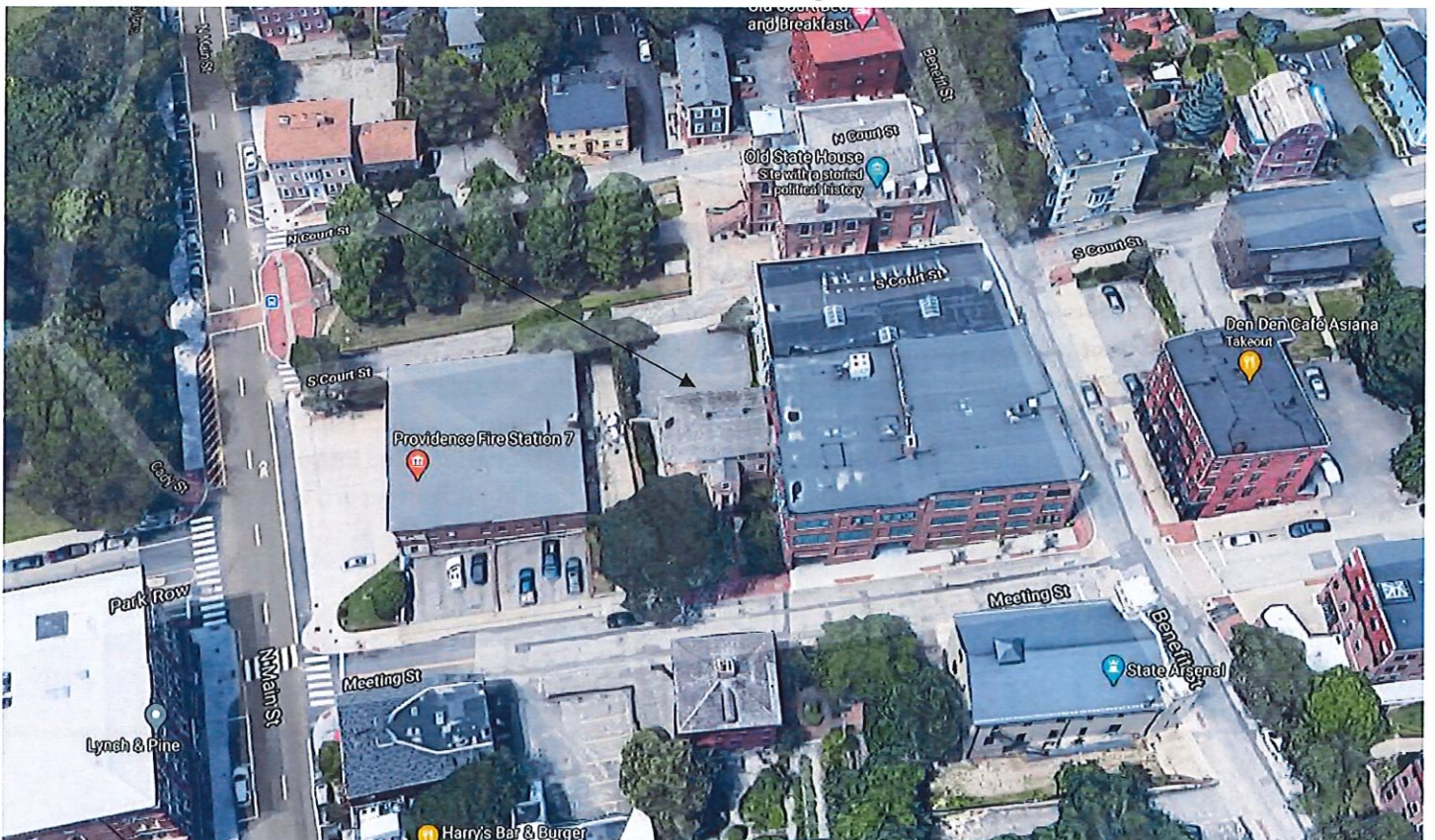
**PROJECT REVIEW**

**1. CASE 20.149, 24 MEETING STREET, Old Brick School House, 1767 (COLLEGE HILL)**

Colonial; 2 ½ stories; hip roof; brick; five-bay facade; center bay projects containing pedimented doorway flanked by pilasters.  
CONTRIBUTING



Arrow indicates 24 Meeting Street.



Arrow indicates project location, looking north.

**Applicant:** Brent Runyon, Executive Director, Providence Preservation Society, 24 Meeting Street, Providence, RI 02903

**Owner:** Providence Preservation Society, 24 Meeting Street, Providence, RI 02903

**Architect:** Jonathan Bell. AIA, DUAL, 426 Washington Street, Providence, RI 02903

**Proposal:** The scope of work proposed consists of Major Alterations and includes:

- The applicant is requesting selective rehabilitation, renovation, and a two-story addition (12' x 17.75', 213 sf footprint) on the north (rear) elevation.

**Issues:** The following issues are relevant to this application:

- At the 12/07/20 meeting the item was granted conceptual approval by the Commission with the applicants to return to the full Commission for final approval.
- A sub-committee was formed with members of the RI Historical Preservation and Heritage Commission (who also has purview over the proposal) to jointly evaluate design evolutions of the proposal; Two sub-committee meetings were held (1/7 & 4/28, during which Members Marino, Sanderson, Fontecchio, Schoettle and de Boer, representatives from RIHPHC, as well as the owner's representatives and the architect); The result of the sub-committee is the revised design now being presented. The form has remained the same, with changes to the materials and fenestration. A sample of the color for the cladding used in the fenestration is available at the site;
- A letter from RIHPHC is expected to be presented at the meeting; and,
- Revised drawings, photos and renderings have been provided.

**Recommendations:** The staff recommends the PHDC make the following findings of fact:

- a) 24 Meeting Street is a structure of structure of historical and architectural significance that contributes to the significance of the College Hill local historic district having been recognized as a contributing structure to the College Hill National Historic Landmarks District;
- b) The application for Major Alterations is considered complete; and,
- c) The work as proposed is in accord with PHDC Standards 8 & 9 as follows: the proposal as submitted is architecturally and historically compatible with the property and district as the proposed alterations are reversible and will not have an adverse effect on the property or district (8); and, when possible alterations shall be done in a matter that if removed in the future the essential form and integrity of the structure and the site would remain unimpaired (9).

**Staff recommends a motion be made stating that: The application is considered incomplete. 24 Meeting Street is a structure of structure of historical and architectural significance that contributes to the significance of the College Hill local historic district having been recognized as a contributing structure to the College Hill National Historic Landmarks District. The Commission grants Final Approval of the proposal as submitted, as the proposed alterations are architecturally and historically compatible with the property and district, are reversible and will not have an adverse effect on the property or district (Standard 8), and when possible alterations shall be done in a matter that if removed in the future the essential form and integrity of the structure and the site would remain unimpaired (9), citing and agreeing to the recommendations in the staff report, with staff or a sub-committee to review any additional required details.**



# ADDITION AND INTERIOR RENOVATION FOR THE OLD BRICK SCHOOL HOUSE

PROVIDENCE PRESERVATION SOCIETY  
24 MEETING STREET  
PROVIDENCE RI 02903

## SCOPE OF WORK

Providence Preservation Society is proposing selective rehabilitation, renovation, and an addition to the Old Brick School House at 24 Meeting Street. The project will allow better public access, accommodate a growing staff, and address current structural, mechanical and accessibility deficiencies.

A major component of the project is a small (11.5' x 17', 200 sf footprint) two-story addition on the north (rear) elevation. The addition includes a new elevator and a vestibule. A mechanical room addition from the mid-20th century and a small wood and glass vestibule addition will be removed.

In the interior, a few new partitions will improve public interface and exhibit space, and make more efficient use of staff areas. The two existing restrooms will be altered to improve accessibility. Existing structural wood beams will be repaired and reinforced, and the mechanical system will be replaced. New electric service will be added to the building as part of the project, and site grading, planting, drainage will be improved in the rear parking lot.

## DRAWING LIST:

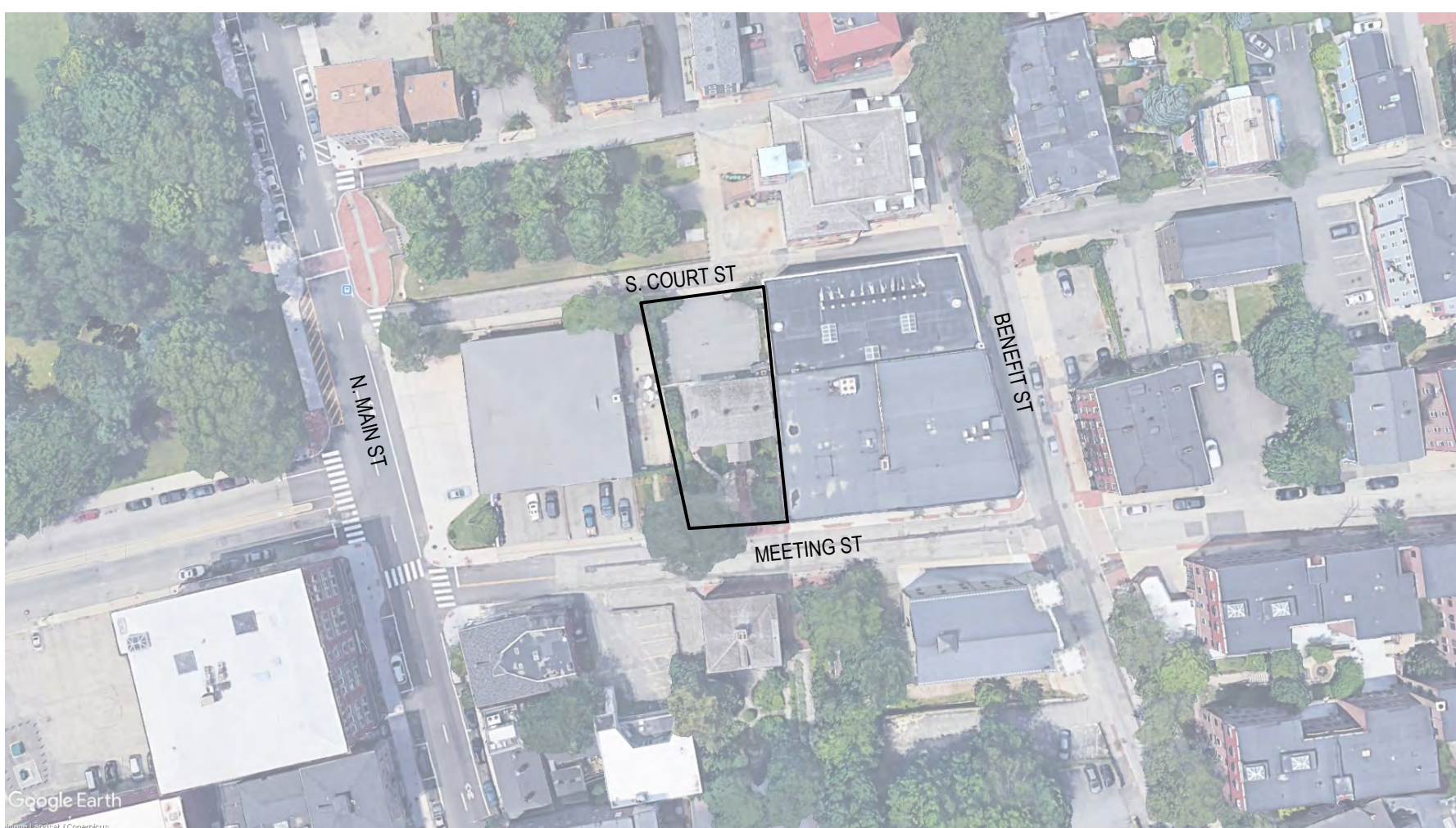
- G001 COVER SHEET
- G002 XC PHOTOS
  
- G004 SITE PLAN
  
- AD101 DEMOLITION - FIRST FLOOR PLAN
- AD102 DEMOLITION - SECOND FLOOR PLAN
- AD201 DEMOLITION - NORTH ELEVATION
  
- A101 FIRST FLOOR PLAN
- A102 SECOND FLOOR PLAN
- A103 ROOF PLAN
  
- A201 SOUTH ELEVATION
- A202 WEST ELEVATION
- A203 NORTH ELEVATION
- A204 EAST ELEVATION
  
- A303 DETAIL SECTION



PROPOSED ADDITION  
VIEWED FROM NORTHWEST (ABOVE)

VIEWED FROM SOUTH (LEFT)

PROJECT LOCATION (BELOW)



## PROJECT INFORMATION:

- OWNER: PROVIDENCE PRESERVATION SOCIETY  
24 Meeting Street  
Providence RI 02903
  
- ARCHITECT: JONATHAN F. BELL ARCHITECT  
426 Washington Street  
Providence RI 02903
  
- STRUCTURAL ENGINEER: ODEH ENGINEERS, INC.  
1223 Mineral Spring Avenue  
North Providence RI 02904
  
- MECHANICAL, ELECTRICAL & PLUMBING ENGINEERS: GARCIA, GALUSKA & DESOUZA, INC.  
375 Faunce Corner Road, Suite D  
Dartmouth, MA 02747
  
- LANDSCAPE ARCHITECT: SEARLE DESIGN GROUP  
50 Forest Street  
Providence RI 02906

Jonathan F. Bell Architect LLC  
426 Washington St, Providence, RI 02903  
info@jonathanbell.com  
401.830.0835 voice/text

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Providence Preservation Society  
Old Brick Schoolhouse  
24 Meeting Street Providence RI 02903

COVER SHEET

**G001**



① NW



② N



③ AREA OF WORK



④ W



⑤ S

KEY TO PHOTOGRAPHS

- 1 Existing conditions: view from northwest
- 2 Existing conditions: view from north
- 3 Existing conditions: view showing area of addition
- 4 Existing conditions: detail view showing west elevation
- 5 Existing conditions: view from south

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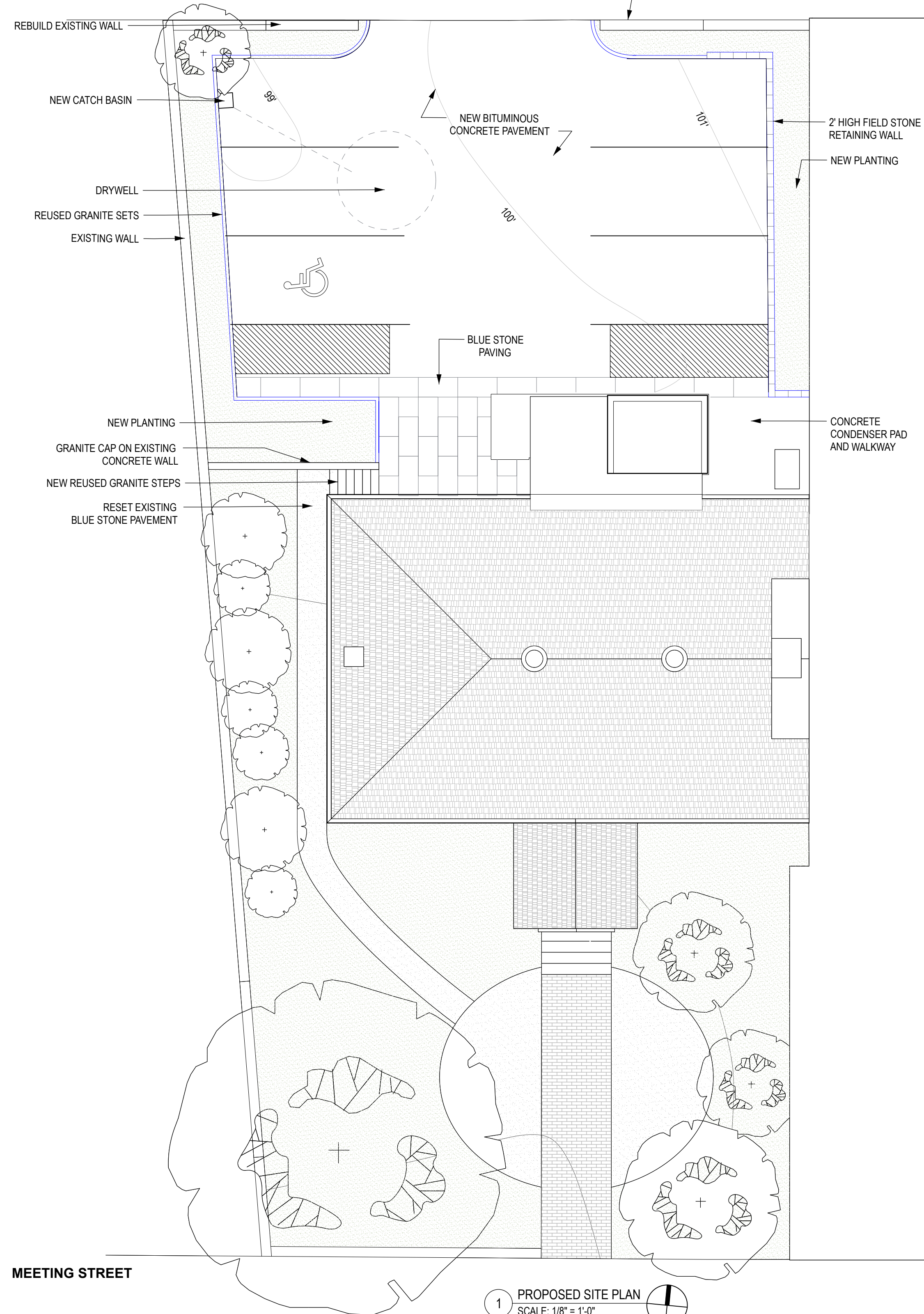
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EXISTING PHOTOGRAPHS

G002

**SOUTH COURT STREET**



**MEETING STREET**

1 PROPOSED SITE PLAN  
SCALE: 1/8" = 1'-0"

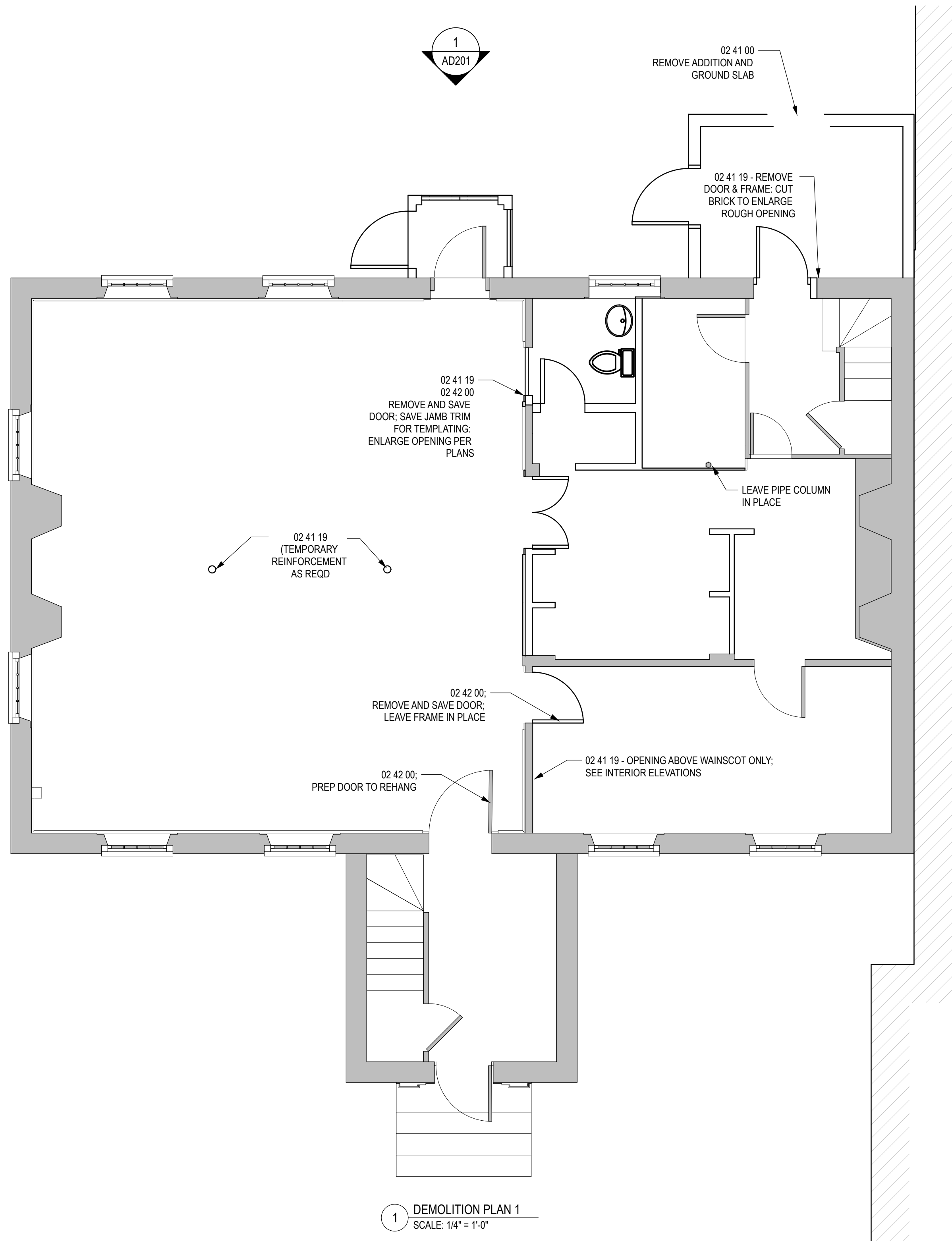
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SITE PLAN

**G004**



1 DEMOLITION PLAN 1  
SCALE: 1/4" = 1'-0"

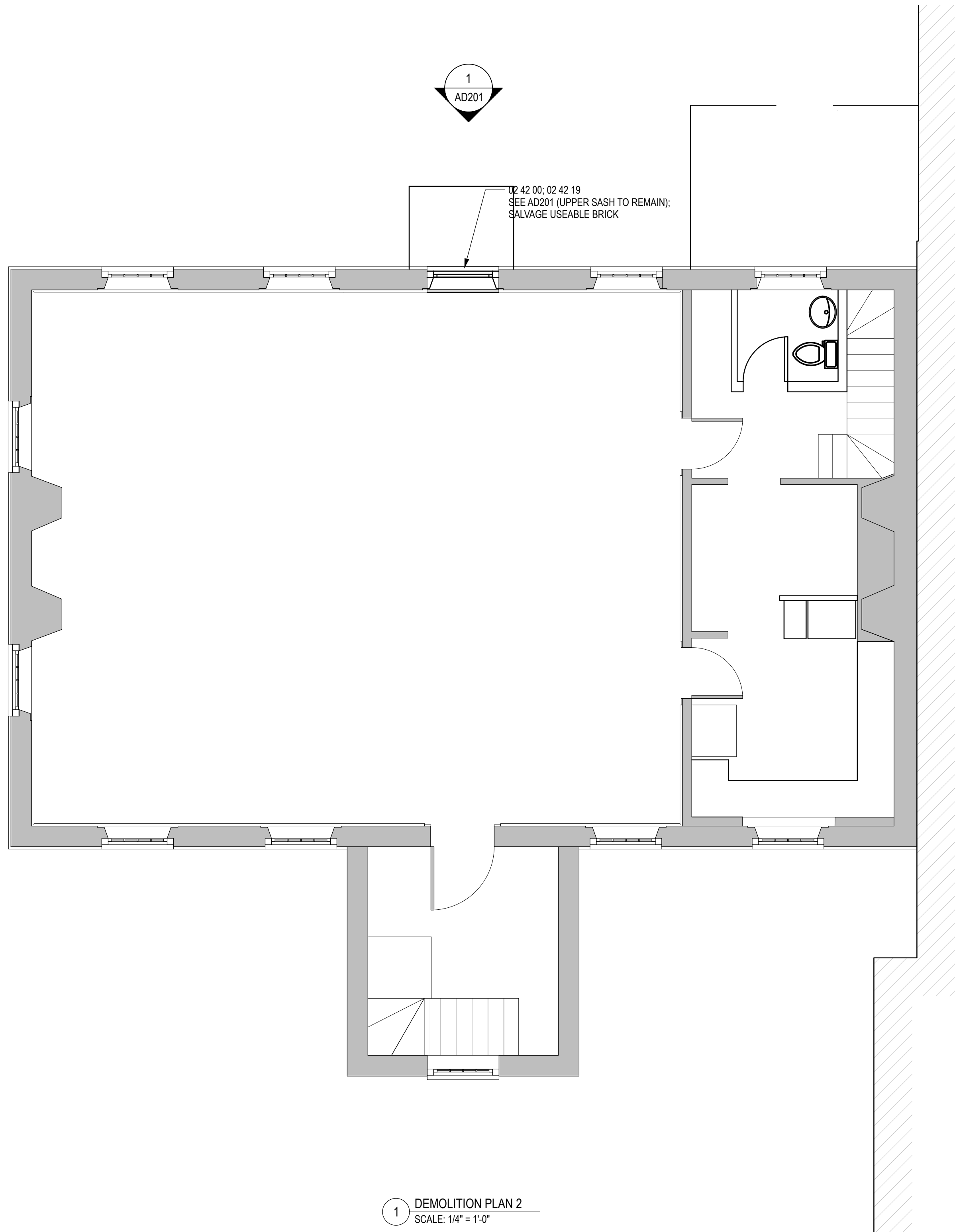
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DEMO PLAN  
FIRST FLOOR

AD101



1 DEMOLITION PLAN 2  
SCALE: 1/4" = 1'-0"

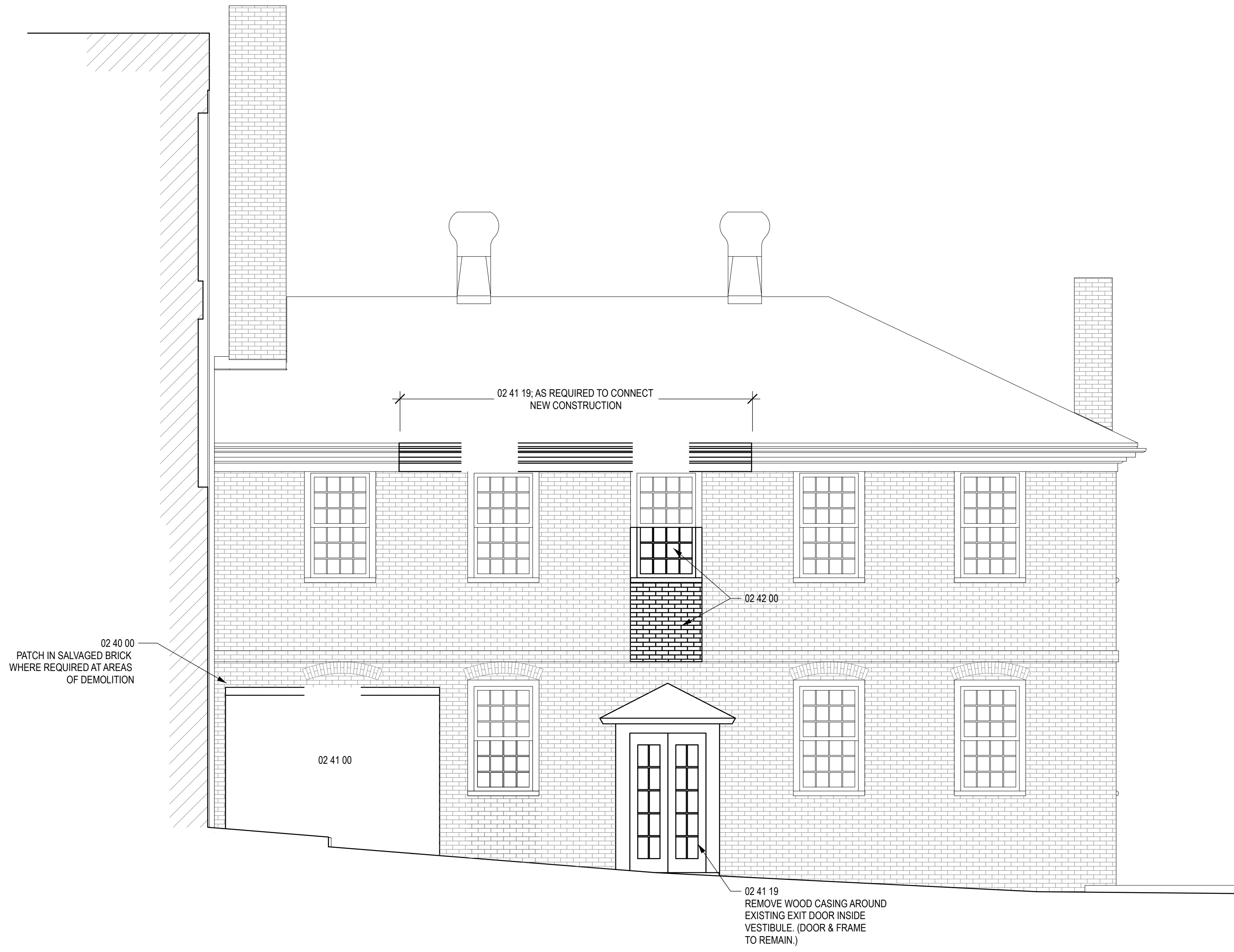
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DEMO PLAN  
SECOND FLOOR

AD102



1 DEMOLITION ELEVATION: NORTH  
SCALE: 1/4" = 1'-0"

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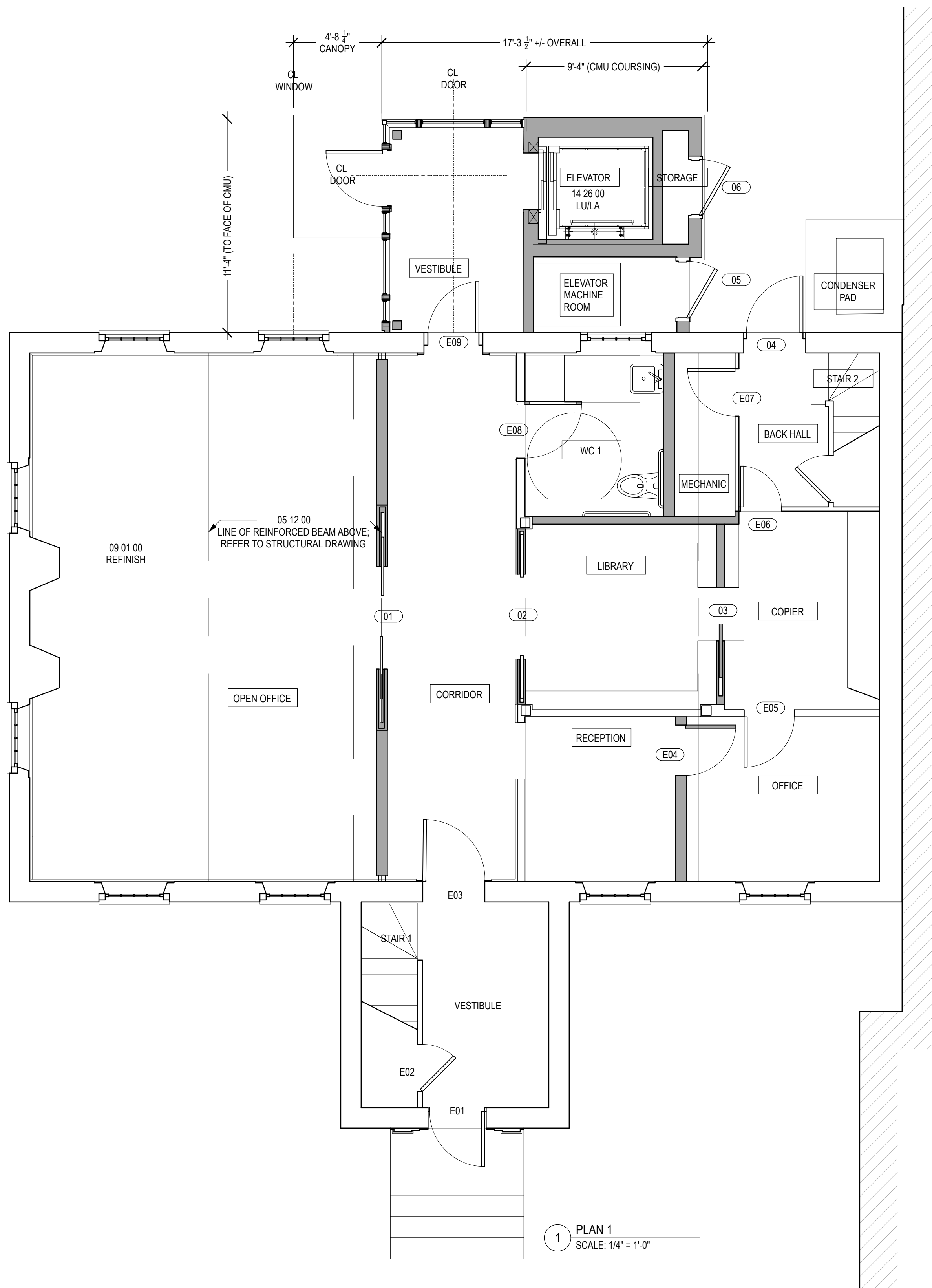
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DEMO  
NORTH ELEVATION

AD201





1 PLAN 1  
SCALE: 1/4" = 1'-0"

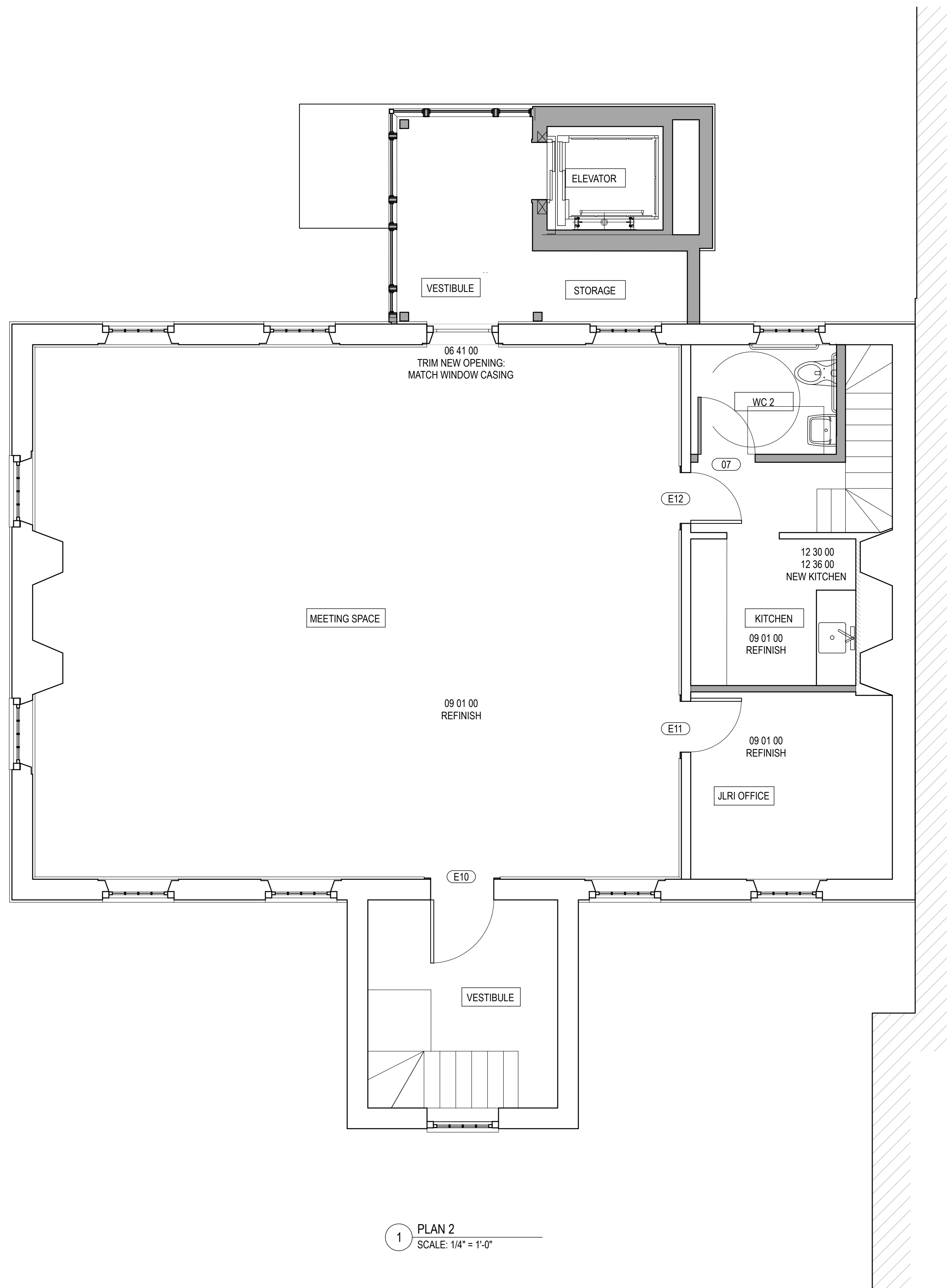
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FIRST FLOOR PLAN

A101



1 PLAN 2  
SCALE: 1/4" = 1'-0"

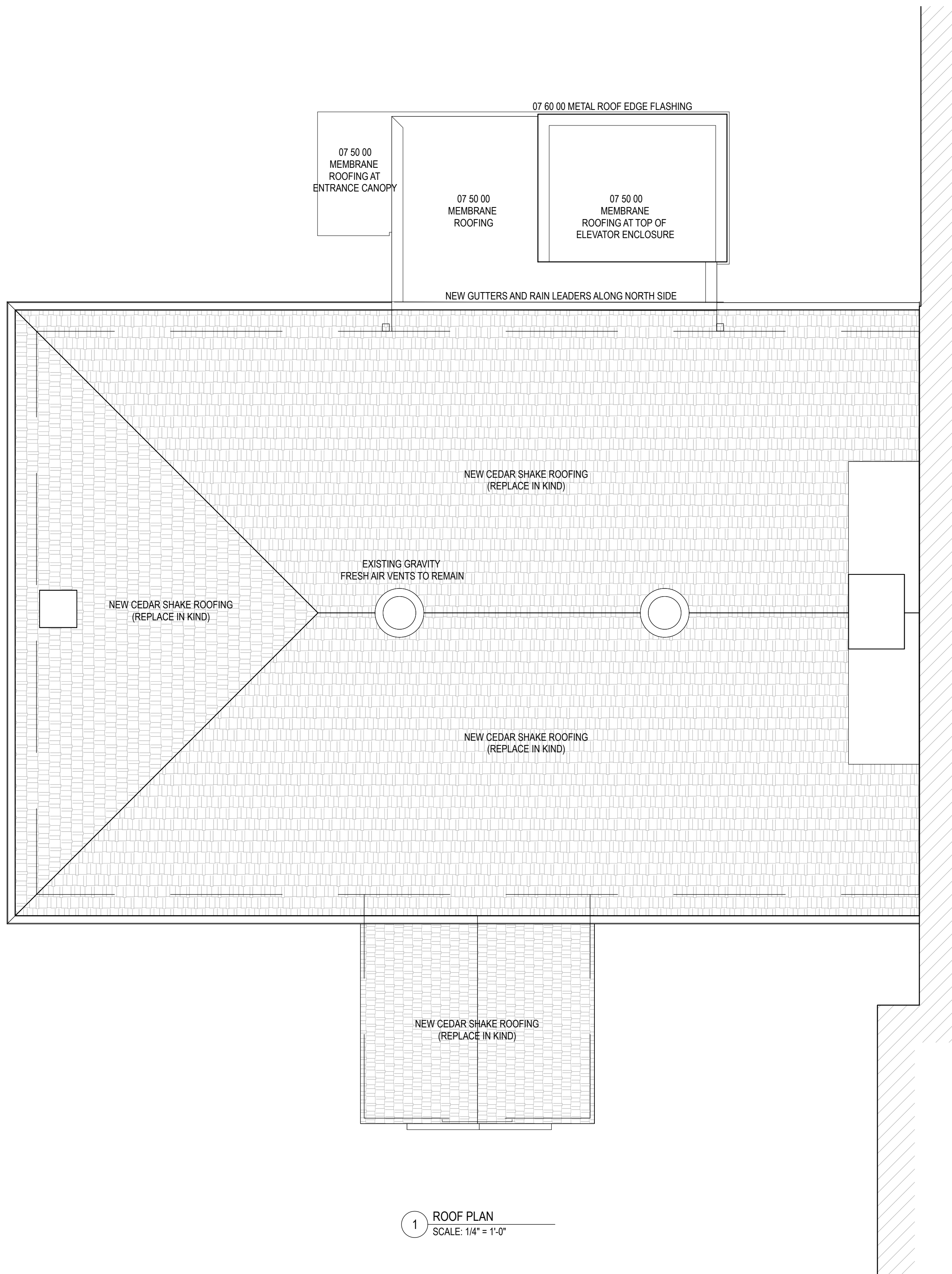
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SECOND FLOOR PLAN

A102



1 ROOF PLAN  
SCALE: 1/4" = 1'-0"

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Old Brick Schoolhouse  
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ROOF PLAN

A103



1 ELEVATION: SOUTH  
SCALE: 1/4" = 1'-0"

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SOUTH ELEVATION

A201



**NEW WINDOW NOTES**

NEW WINDOWS TO BE PELLA "ARCHITECT SERIES" CONTEMPORARY CLAD WOOD WINDOWS. PAINTED PINE INTERIOR.

GLASS UNITS: INTERIOR GLAZED 1" INSULATED GLASS.

1 ELEVATION: WEST  
SCALE: 1/4" = 1'-0"

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WEST ELEVATION

A202



**NEW WINDOW NOTES**

NEW WINDOWS TO BE PELLA "ARCHITECT SERIES" CONTEMPORARY CLAD WOOD WINDOWS. PAINTED PINE INTERIOR.

GLASS UNITS: INTERIOR GLAZED 1" INSULATED GLASS.

1 ELEVATION: NORTH  
SCALE: 1/4" = 1'-0"

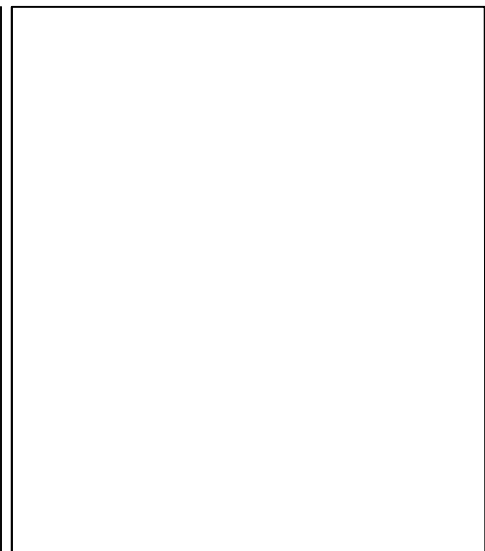
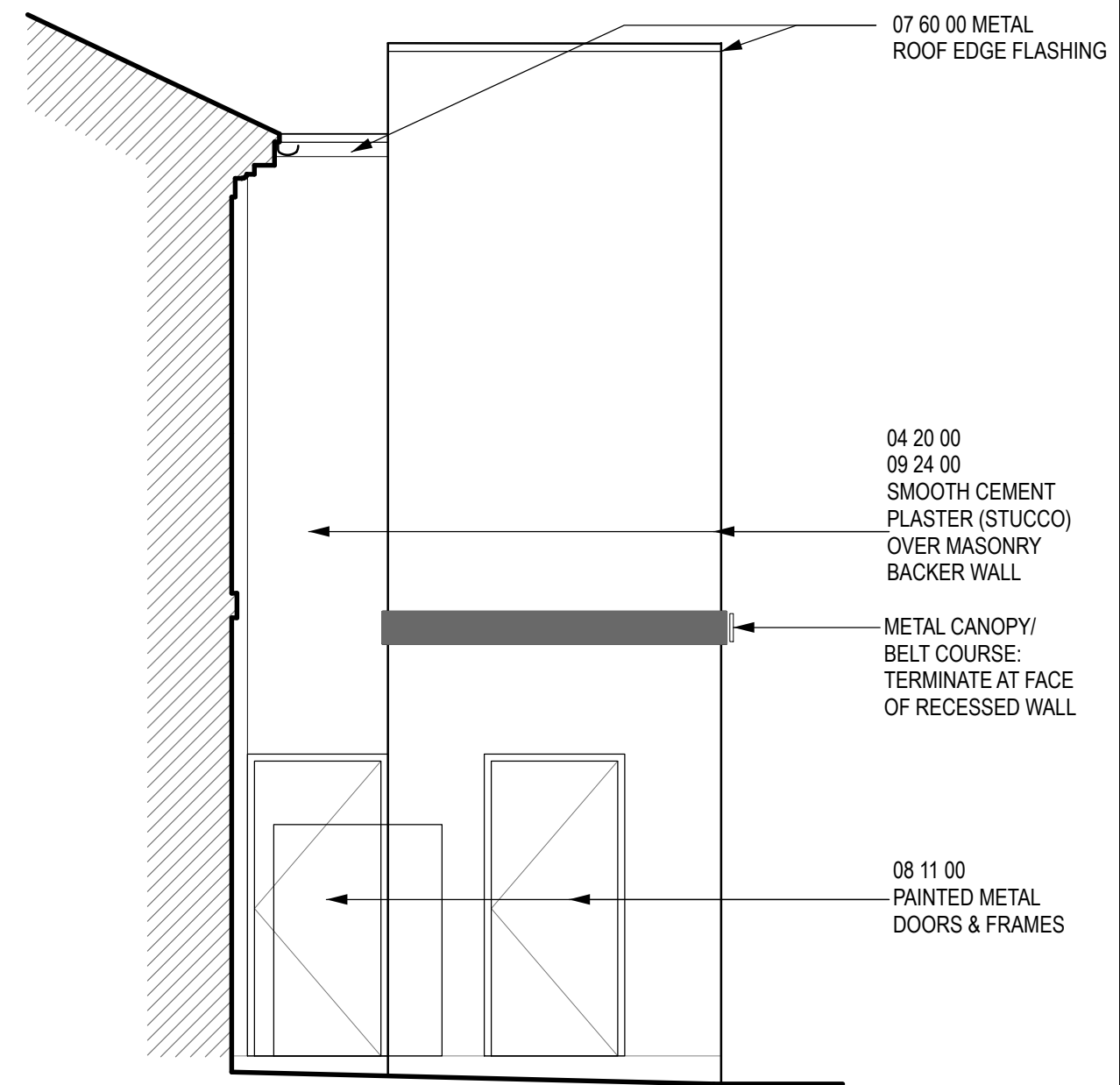
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Providence Preservation Society  
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NORTH ELEVATION

A203



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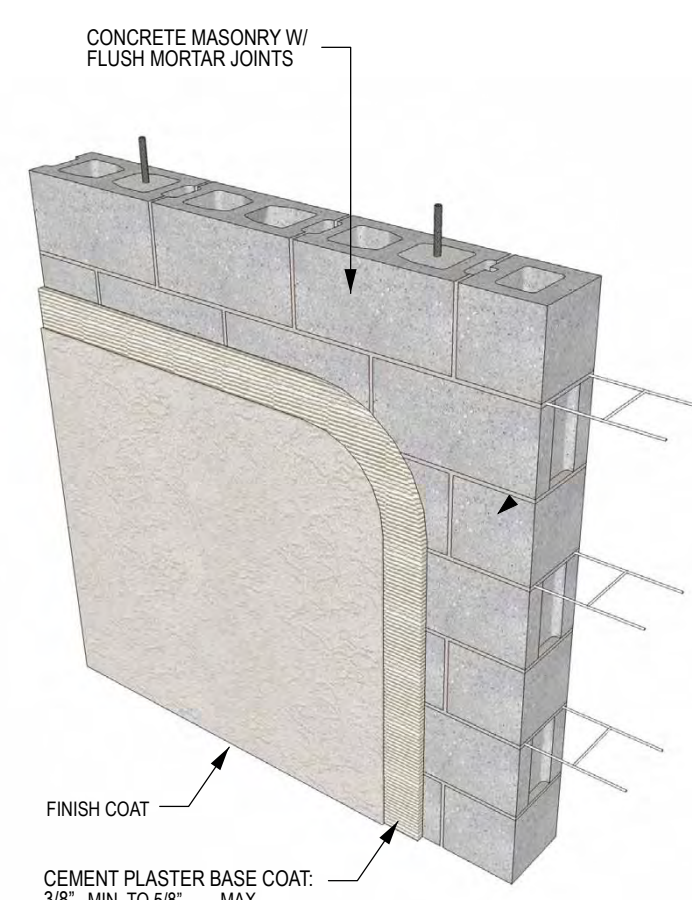
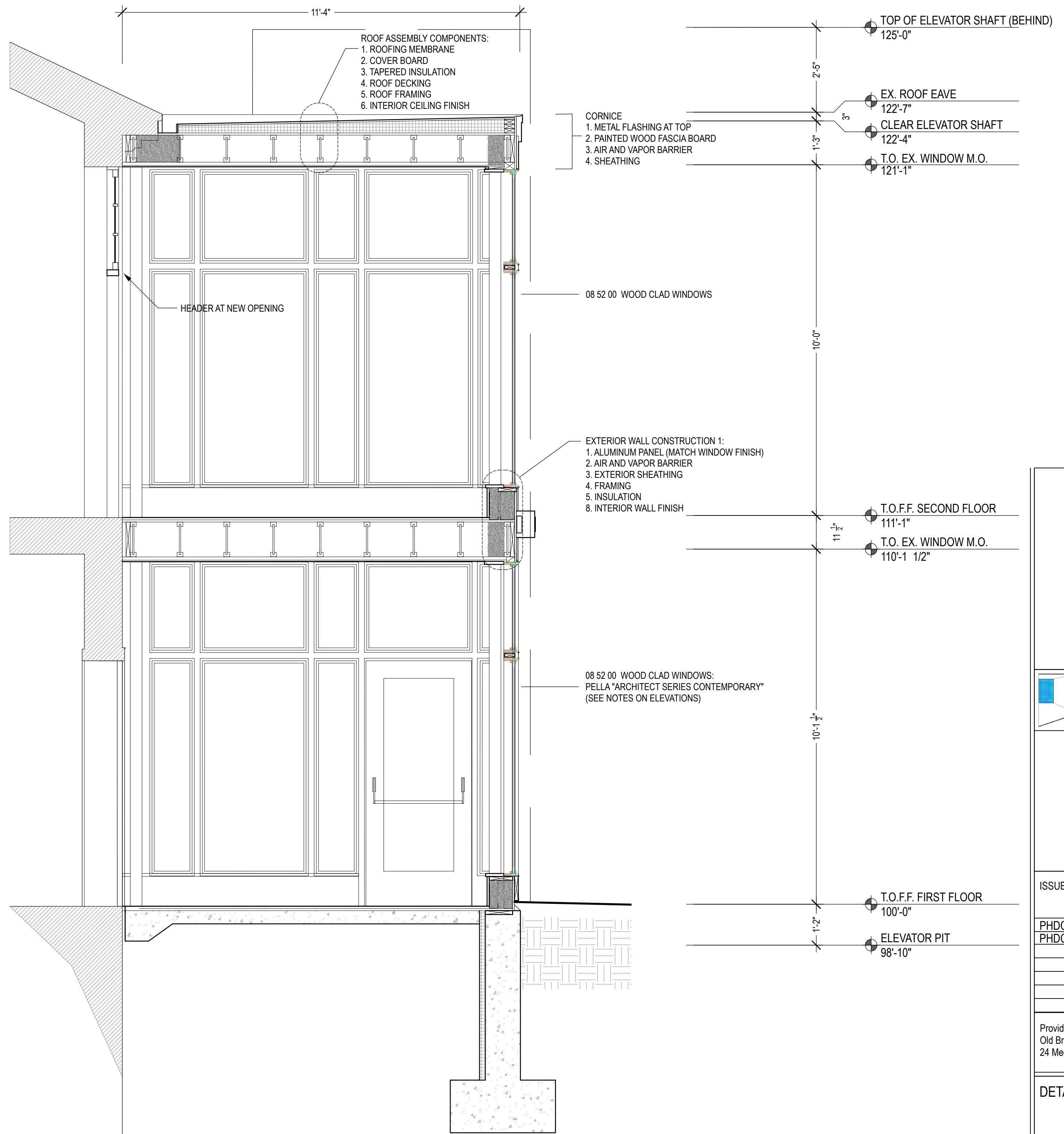
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Providence Preservation Society  
 Old Brick Schoolhouse  
 24 Meeting Street Providence RI 02903

EAST ELEVATION

**A204**

1 ELEVATION: EAST  
 SCALE: 1/4" = 1'-0"



EXTERIOR WALL CONSTRUCTION 2 (AT ELEVATOR SHAFT):  
 1. CLEAR PROTECTIVE COATING (ANTI-GRAFFITI)  
 2. BUILT-UP PORTLAND CEMENT STUCCO, SMOOTH FINISH  
 3. UNIT MASONRY: 8" CMU  
 4. INSULATION  
 5. INTERIOR FINISH AS OCCURS

2 STUCCO OVER MASONRY WALL (IMI DETAIL 09.070.0101)  
 AT ELEVATOR SHAFT NOT TO SCALE

1 DETAIL SECTION: ADDITION WALL CONSTRUCTION  
 AT GLASS VESTIBULE SCALE: 1/2" = 1'-0"

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DETAIL SECTION  
**A303**





PROVIDENCE PRESERVATION SOCIETY