



CITY OF PROVIDENCE, RHODE ISLAND

**Department: Public Property**

**RFP Title: Elmwood Community Center Renovations**

**Procurement #: 34079**

**Opening Date: November 8, 2021**

**Addendum # 1**

**Issue Date: 10/13/2021**

The purpose of this addendum is to include the drawings related to this project. See drawing attached

Providence City Hall  
25 Dorrance Street  
Providence, RI 02903



# FIRE SERVICE CONNECTION PLANS

FOR

# ELMWOOD COMMUNITY CENTER

**A.P.52, LOT 563**  
**155 NIAGARA STREET**  
**PROVIDENCE, RHODE ISLAND**

OWNER / APPLICANT:

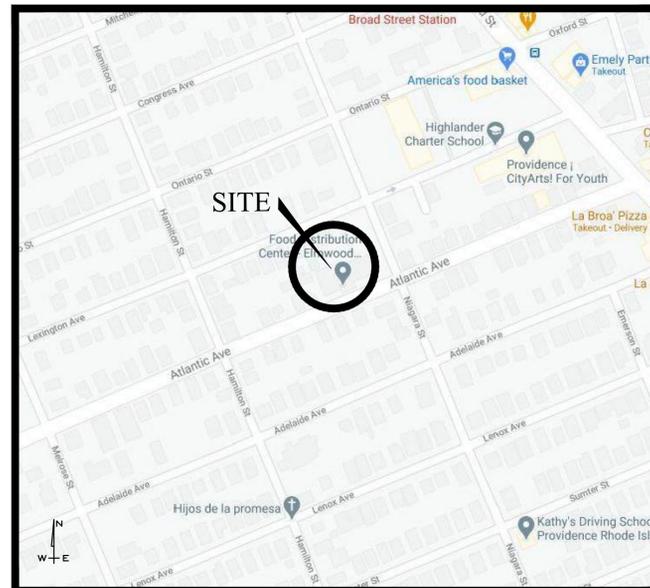
**STUDIO JAED**  
**42 WEYBOSSET STREET**  
**PROVIDENCE, RI 02903**

PREPARED BY:



**GAROFALO**  
 GAROFALO & ASSOCIATES, INC.  
 CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
 LAND PLANNERS/ENVIRONMENTAL SCIENTISTS  
 P.O. BOX 6145 PROVIDENCE, R.I. 02940  
 1-401-273-6000

JOB NO. 7286-00



LOCUS MAP  
 NOT TO SCALE

### SHEET INDEX

SHEET	PLAN TITLE	LATEST REVISION
	COVER SHEET	
C-1	SITE LAYOUT PLAN & NOTES	
C-2	CONSTRUCTION DETAILS-1	
C-3	CONSTRUCTION DETAILS-2	

**SITE LEGEND**

EXISTING	NEW	DESCRIPTION
—C—	—C—	CENTERLINE (LAYOUT)
—D—	—D—	STORM DRAIN
—E—	—E—	ELECTRIC (UNDERGROUND)
—F—	—F—	FIRE SERVICE
—FD—	—FD—	FOOTING DRAIN
—G—	—G—	GAS
—OHW—	—OHW—	OVERHEAD WIRE
—S—	—S—	PROPERTY LINE
—SL—	—SL—	SANITARY SEWER
—T—	—T—	SITE LIGHTING SERVICE
—W—	—W—	TELEPHONE
—W—	—W—	WATER
---	⊙ 64	CONTOUR
x 64.0	x 64.00	SPOT GRADE
x 64.0(BC)	x 64.00(BC)	SPOT GRADE (BOT. OF CURB)
x 64.5(TC)	x 64.50(TC)	SPOT GRADE (TOP OF CURB)
64.5(BW)	64.50(BW)	SPOT GRADE (BOT. OF WALL)
64.5(TW)	64.50(TW)	SPOT GRADE (TOP OF WALL)
====	====	PRECAST CONC. CURB
====	====	VERTICAL GRANITE CURB
VGC	VGC	VERTICAL GRANITE CURB
□ CB	⊙ CB#1	CATCH BASIN
□ CB(DG)	⊙ CBDG#1	DOUBLE GRATE CATCH BASIN
CTB	CTB	CONCRETE THRUST BLOCK
⊙ DMH	⊙ DMH	DRAIN MANHOLE
△ FES	△ FES	FLARED END STRUCTURE
⊙ SMH	⊙ SMH	SEWER MANHOLE
⊙	⊙	WATER SERVICE
⊙	⊙	UTILITY POLE
⊙	⊙	FIRE HYDRANT
⊙	⊙	GATE VALVE AND CURB BOX
⊙	⊙	HANDICAP SYMBOL (PRKG. SPACE)
⊙	⊙	SIGN
⊙	⊙	ELECTRIC MANHOLE (EMH)
⊙	⊙	TELEPHONE MANHOLE (TMH)
⊙ LP	⊙	SIGHT LIGHT POLE
	---	PAVEMENT SAWCUT & MATCH TO EXISTING

**ABBREVIATIONS**

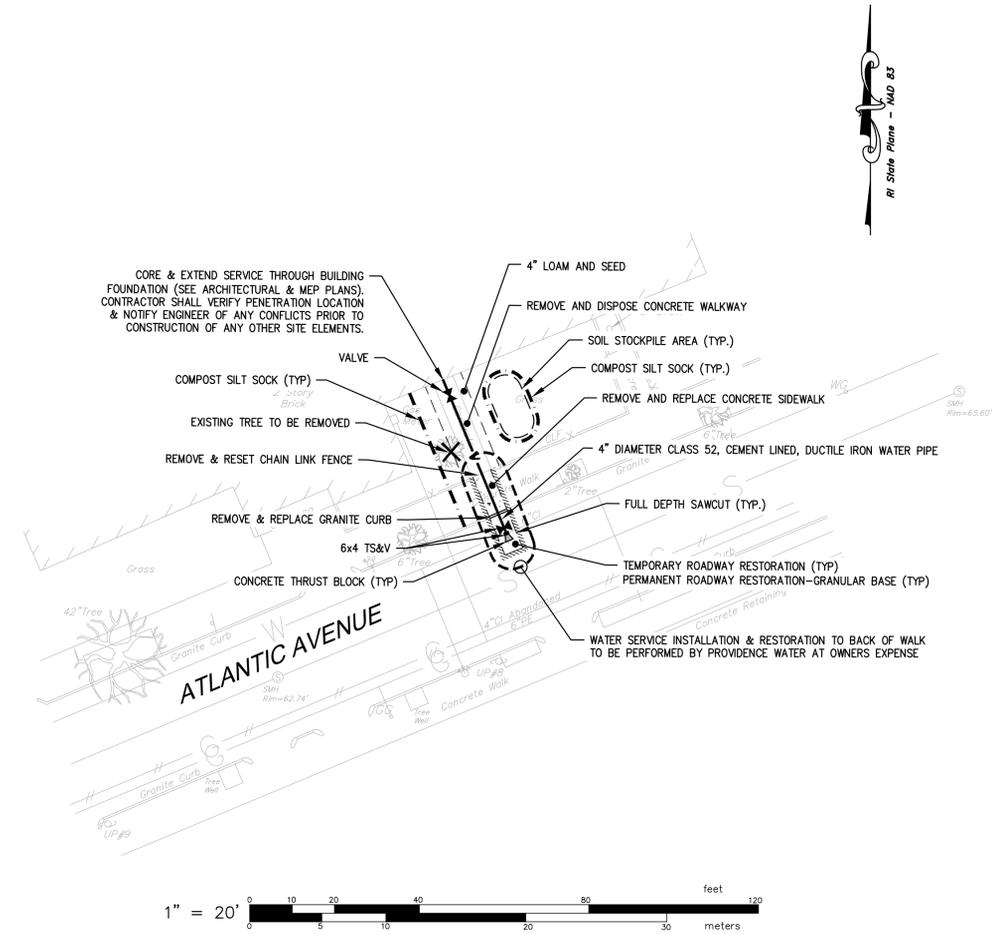
CI	CAST IRON PIPE
CLDI	CEMENT LINED DUCTILE IRON PIPE
CLF	CHAINLINK FENCE
D.I.	DUCTILE IRON PIPE
EX.	EXISTING
F&I	FURNISH AND INSTALL
INV.	INVERT ELEVATION
MTE	MATCH TO EXISTING
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PVC	POLYVINYL CHLORIDE PIPE
RPC	REINFORCED CONCRETE PIPE

**AERIAL IMAGE**

N.T.S.



L:\7286-00 Elmwood Community Center (Studio Jaed) - Providence, RI\7286-00-Base.dwg 11/24/2020 r14v37



**SURVEY NOTES**

1. THE PROJECT SITE IS LOCATED WITHIN ZONE "X" (AREAS OUTSIDE THE 0.2% ANNUAL FLOODPLAIN) AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP FOR THE TOWN OF PROVIDENCE, RHODE ISLAND, PROVIDENCE COUNTY, COMMUNITY PANEL NO. 44007C0316G, HAVING AN EFFECTIVE DATE OF MARCH 2nd, 2009.
2. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. (PLEASE CONTACT DIGSAFE PRIOR TO CONSTRUCTION @ 1-888-344-7233)
3. HORIZONTAL DATUM: RHODE ISLAND STATE PLANE - NAD 83  
VERTICAL DATUM: NAVD 88\*  
\* DATUM WAS DERIVED BY OBSERVED GPS ORTHOMETRIC HEIGHTS VARIATIONS BETWEEN LOCAL BENCHMARKS MAY APPLY.

**GENERAL CONSTRUCTION NOTES**

1. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE TRAILER AT ALL TIMES. DEVIATIONS OR CHANGES WILL NOT BE ALLOWED UNLESS BY WRITTEN APPROVAL FROM THE ENGINEER.
2. SITEMARK CONSTRUCTION SHALL NOT COMMENCE UNTIL ALL APPROVALS FROM THE PROVIDENCE WATER SUPPLY BOARD AND THE CITY OF PROVIDENCE HAVE BEEN SECURED. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS OBTAINED FOR ALL SITE WORK.
3. THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT WITH ITS RELATIONSHIP TO THE EXISTING SITE SURVEY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING, INSTALLING OR PROCEEDING WITH WORK.
4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TO TAKE WHATEVER NECESSARY MEASURES NEEDED TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING UNDERGROUND UTILITIES AND FACILITIES ON THE DRAWINGS; HOWEVER, THE INFORMATION SHOWN IS FOR THE CONTRACTORS CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE ANY EXISTING UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION, VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIALS. THE CONTRACTOR MUST CONTACT THE LOCAL UTILITY COMPANIES FOR EXACT LOCATION OF UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE START OF ANY WORK. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR.
5. THE CONTRACTOR MUST NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITIES IN THE AREA OF PROPOSED CONSTRUCTION, EXCAVATION OR BLASTING AT LEAST THREE WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION, EXCAVATION OR BLASTING. ALL WATER, SEWER, GAS AND ALL OTHER UTILITIES MUST BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
6. METHODS AND MATERIALS USED IN THE CONSTRUCTION OF IMPROVEMENTS MUST CONFORM TO THE CITY OF PROVIDENCE CURRENT CONSTRUCTION STANDARDS AND SPECIFICATIONS AND THE STATE OF RHODE ISLAND DEPARTMENT OF TRANSPORTATION. THE STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION, AS AMENDED, AND THE RHODE ISLAND STANDARD DETAILS ARE MADE A PART HEREOF, AS IF ATTACHED HERETO.
7. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY PAVEMENT, DRIVEWAYS, SIDEWALKS, WALL, CURBS, ETC. DAMAGED DURING CONSTRUCTION WITH MATCHING MATERIALS.
8. THE CONTRACTOR AGREES THAT HE WILL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE PROJECT SITE CONDITIONS THROUGHOUT CONSTRUCTION. INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONJUNCTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
9. ALL MATERIALS USED FOR CONSTRUCTION MUST BE NEW AND FREE OF DEFECTS. USED OR SALVAGED MATERIAL WILL NOT BE ALLOWED UNLESS WRITTEN APPROVAL FROM THE OWNER IS OBTAINED BY THE CONTRACTOR.
10. AT ALL TIMES THE CONTRACTOR MUST MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS. (I.E. IN TIMES OF RAIN OR SNOW, ROADS MUST BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR HAVING A CRUSHED STONE BASE, ETC.). WIDTH OF EMERGENCY VEHICLE ACCESS MUST BE A MINIMUM OF 20 FEET WIDE. ACCESS TO BUILDINGS THAT HAVE A FIRE SPRINKLER SYSTEM OR STANDPIPE MUST BE WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTION (FDC). NFPA 1141 3-1.
11. NECESSARY BARRICADES, LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC MUST BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR.
12. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR IS REQUIRED TO DEVELOP AND IMPLEMENT A PLAN FOR THE TEMPORARY CONTROL OF VEHICULAR AND PEDESTRIAN TRAFFIC FOR WORK WITHIN PUBLIC STREET RIGHT-OF-WAY AT THE SITE EGRESS. CONTRACTOR SHALL OBTAIN APPROVAL OF SAID PLAN FROM APPROPRIATE STATE AND COMMUNITY PUBLIC SAFETY OFFICIALS. ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2009 INCLUDING ALL REVISIONS.
13. REFER TO ARCHITECTURAL, STRUCTURAL AND MECHANICAL PLANS FOR ALL BUILDING INFORMATION.
14. ALL DISTURBED AREAS NOT SPECIFIED TO BE PAVED OR HARDCAPED SHALL RECEIVE 4 INCHES OF LOAM AND RESIDENTIAL SEED (TYPE 2).

**UTILITY NOTES**

1. THE CONTRACTOR SHALL NOTIFY DIG-SAFE (1-888-344-7233) AND ALL LOCAL AUTHORITIES & UTILITY COMPANIES TO VERIFY LOCATIONS OF UTILITIES WITHIN THE AREA 72 HOURS PRIOR TO BEGINNING ANY EXCAVATION OR DEMOLITION FOR THE PURPOSE OF COORDINATING THE MARKING OF UNDERGROUND UTILITIES. LOCATION AND DEPTHS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY, LOCATE AND PROTECT EXISTING UTILITIES IN THE FIELD WHETHER OR NOT SHOWN ON THE DRAWINGS.
2. ALL WORK SHALL BE IN COMPLETE ACCORDANCE WITH ALL APPLICABLE STATE, FEDERAL AND LOCAL CODES, AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER. THE CONTRACTOR SHALL REFER TO THE PROVIDENCE WATER SUPPLY BOARD RULES & REGULATIONS FOR INSTALLATION REQUIREMENTS OF WATER LINES AND APPURTENANCES.
3. THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBANCE OF CURBING, PAVING AND COMPACTED SUBGRADE. THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER & ALL LOCAL UTILITY COMPANIES 48 HOURS BEFORE EACH PHASE OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS DISCOVERED IN THE PLANS.
4. BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREA. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
5. THE CONTRACTOR SHALL REMOVE ANY ABANDONED FOUNDATIONS, UTILITY STRUCTURES, BURIED DEBRIS ETC. WHICH INTERFERE WITH THE INSTALLATION OF THE UTILITY WORK. ALL SUCH STRUCTURES SHALL BE COMPLETELY REMOVED AND THE EXCAVATED AREA SHALL BE BACKFILLED WITH COMPACTED GRAVEL IN 6" LIFTS TO 95% COMPACTION TO 6" BELOW THE BOTTOM OF THE UTILITY AND PIPE.
6. COMPACTION OF THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THE THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LIFTS NOT TO EXCEED ONE FOOT IN COMPACTED FILL THICKNESS. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF PROJECT APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
7. ALL PIPING LAYOUT INDICATED ON THESE PLANS IS DIAGRAMMATIC ONLY AND DOES NOT SHOW ALL THE REQUIRED FITTINGS FOR PROPER ALIGNMENT. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED FITTINGS TO OBTAIN PROPER ALIGNMENT AND FOR EXISTING UTILITY CONNECTIONS BASED UPON FIELD CONDITIONS.
8. IF DURING EXCAVATION THE TRENCH WIDTH EXCEEDS THE SUM OF THE PIPE O.D. PLUS 2'-0", PLACE AND COMPACT THE FILL TO 12" ABOVE THE PIPE AND RE-EXCAVATE TO REQUIRED GRADE.
9. PROPOSED WATER PIPING SHALL BE CLASS 52 DOUBLE CEMENT LINED DUCTILE IRON PIPE WITH TYTON JOINTS. ALL BENDS, TEES ETC. SHALL BE JOINT RESTRAINED BY THE USE OF CONCRETE THRUST BLOCKS AND "MEG-A-LUG". ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO PROVIDENCE WATER SUPPLY BOARD REGULATIONS, STANDARDS AND SPECIFICATIONS. NOTIFICATION SHALL BE PROVIDED TO SAID AUTHORITIES AT LEAST 72 HOURS PRIOR TO INITIATING CONSTRUCTION.
10. CONTRACTOR SHALL COORDINATE ALL WATER LINE CONSTRUCTION WITH PROVIDENCE WATER SUPPLY BOARD PRIOR TO INSTALLATION.
11. ALL FIRE AND PLUMBING FIXTURES MUST CONFORM TO LOCAL SPECIFICATIONS AND AS STIPULATED BY THE LOCAL FIRE MARSHALL AND/OR THE BUILDING OFFICIAL.

**SITE LAYOUT  
PLAN & NOTES**  
FOR  
ELMWOOD COMMUNITY CENTER  
SITUATED AT  
155 NIAGARA STREET  
PROVIDENCE, RI  
PREPARED FOR  
STUDIO JAED

NO.	REVISION	BY	DATE

**STUDIO JAED**

**GAROFALO**  
GAROFALO & ASSOCIATES, INC.  
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85 CORLISS STREET  
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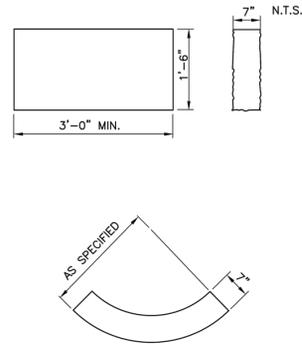
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These drawings are the property of Garofalo & Associates, Inc. and have been prepared for the owner; for this project at this site and are not to be used for any other purpose, location, or any other project, without the consent of this owner or one of its directors.

JOB NO. 7286-00	DRAWN BY R.A.S.
DWG. NO. 7286.00-Base.dwg	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: JUNE 15, 2021

SHEET

**C-1**

2 OF 4 SHEETS

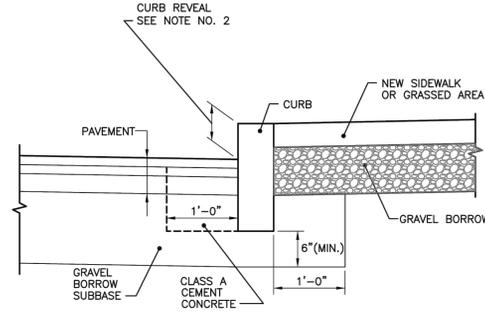


- NOTE:**
- SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE RI STANDARD SPECIFICATIONS.
  - TOP SURFACE TO BE DRESSED BY SAW. REMAINDER TO BE SAWCUT OR QUARRY SPLIT.
  - MINIMUM LENGTH OR CIRCULAR PIECES TO BE 3'-0".
  - CIRCULAR CURB IS REQUIRED ON CURVES AS INDICATED. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0" RADIUS.
  - CURB TO BE SET PER PROVIDENCE CURB SETTING DETAIL.

**GRANITE CURB - STRAIGHT AND CIRCULAR**  
N.T.S.



ISSUE DATE: 1/6/17

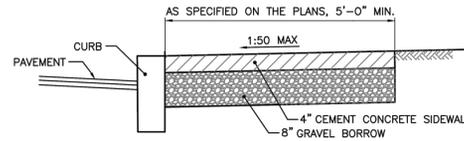


- NOTES:**
- SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
  - NEW CURBING CONSTRUCTION SHALL BE SET AT A 6 INCH REVEAL OR AS INDICATED ON PLANS OR DIRECTED BY PROVIDENCE DPW. NEW CURBING INSTALLED ADJACENT TO EXISTING CURBING SHALL MATCH THE EXISTING REVEAL OR A MINIMUM OF 4 INCHES, WHICHEVER IS GREATER. IF ADJACENT EXISTING REVEAL IS LESS THAN 4 INCHES, THE FIRST SECTION OF NEW CURB SHALL TRANSITION TO 4" REVEAL.

**CURB SETTING DETAIL**  
N.T.S.



ISSUE DATE: 1/6/17

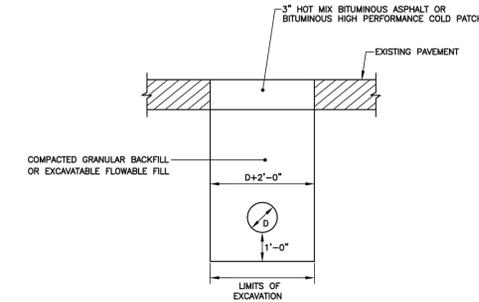


- NOTES:**
- SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
  - SEE CURB SETTING DETAIL WHERE APPLICABLE.
  - RUNNING SLOPE OF SIDEWALK SHALL NOT EXCEED 8.3% (1:12). TYPICALLY, RUNNING SLOPE SHALL MATCH ROAD SLOPE.
  - CROSS SLOPE OF SIDEWALK SHALL NOT EXCEED 2% (1:50).
  - SIDEWALK MAY BE SUBJECT TO GRASS STRIP INSTALLATION.
  - GRAVEL BORROW BASE SHALL COMPACT TO ACHIEVE SOIL DENSITY VALUES OF 95% MODIFIED PROCTOR DENSITY (AASHTO T180).
  - SIDEWALK REPAIRS TWENTY FEET OR LONGER ARE SUBJECT TO REQUIREMENTS HEREIN. SIDEWALK REPAIRS SHORTER THAN TWENTY FEET SHALL MAKE EVERY EFFORT TO MEET REQUIRED SLOPES.
  - CONTROL JOINTS SHALL BE INSTALLED EVERY 5 FEET IN EACH DIRECTION.
  - EXPANSION JOINTS SHALL BE INSTALLED EVERY 20 FEET IN EACH DIRECTION AT FOUNDATIONS AND WALLS AND IN A SQUARE PATTERN AROUND MANHOLE COVERS, HYDRANTS, SIGN POSTS AND UTILITY POLES. THE EXPANSION JOINT SHALL BE THE FULL DEPTH OF THE SIDEWALK AND FILLED WITH AN APPROVED TYPE OF PREMOULDED EXPANSION JOINT FILLER.

**CEMENT CONCRETE SIDEWALK**  
N.T.S.



ISSUE DATE: 1/6/17

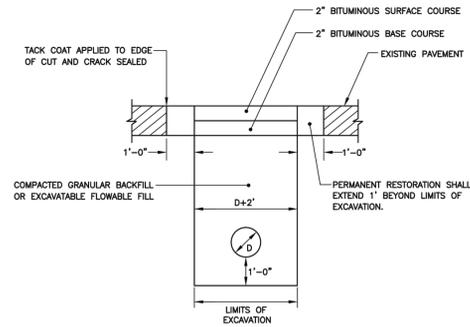


- NOTES:**
- BITUMINOUS CONCRETE SHALL ADHERE TO RIDOT STANDARD SPECIFICATIONS, SECTION 401.
  - GRANULAR BASE MATERIAL SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR DENSITY (AASHTO T180), AND SHALL ADHERE TO RIDOT STANDARD SPECIFICATIONS, SECTION 301.
  - EXCAVATABLE FLOWABLE FILL (CONTROLLED DENSITY FILL, CDF) SHALL ADHERE TO RIDOT STANDARD SPECIFICATIONS, SECTION 603.
  - ANY TEMPORARY PATCH INSTALLED PRIOR TO SEPTEMBER 1 IN ANY YEAR SHALL BE REPLACED WITH PERMANENT PATCH NO LATER THAN DECEMBER 1 OF THAT YEAR.
  - TEMPORARY PATCHES MADE BETWEEN SEPTEMBER 1 AND MARCH 30 SHALL BE MAINTAINED BY THE PERMITTEE UNTIL A PERMANENT PATCH CAN BE INSTALLED, NO LATER THAN JUNE 15.
  - IF TEMPORARY PATCH IS INSTALLED, PERMITTEE MAY ALLOW NO MORE THAN 45 DAYS FOR SETTLING BEFORE PERMANENT RESTORATION. THE PERMITTEE SHALL BE RESPONSIBLE TO MAINTAIN TEMPORARY ROADWAY RESTORATIONS IN A SAFE CONDITION FOR ALL TYPES OF TRAVEL UNTIL A PERMANENT PAVEMENT REPAIR HAS BEEN MADE. TO ENSURE PROPER MAINTENANCE, THE PERMITTEE SHALL PERFORM PERIODIC INSPECTION OF EACH TEMPORARY PATCH UNTIL IT IS REPLACED WITH A PERMANENT PATCH.

**TEMPORARY ROADWAY RESTORATION**  
N.T.S.



ISSUE DATE: 1/6/17

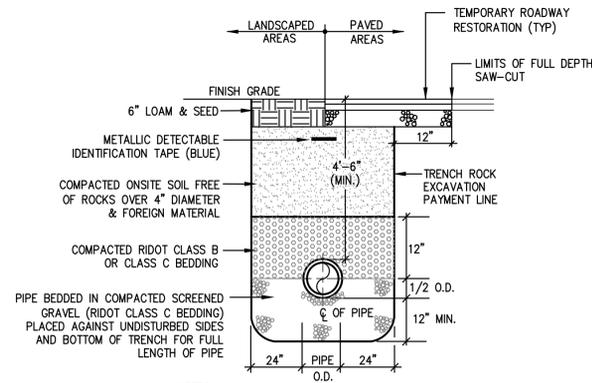


- NOTES:**
- BITUMINOUS CONCRETE SHALL ADHERE TO RIDOT SPECIFICATIONS, SECTION 401.
  - GRANULAR BASE MATERIAL SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR DENSITY (AASHTO T180). GRAVEL BASE COURSE SHALL ADHERE TO RIDOT SPECIFICATIONS, SECTION 301.
  - EXCAVATABLE FLOWABLE FILL (CONTROLLED DENSITY FILL, CDF) SHALL ADHERE TO 95% OF THE MODIFIED PROCTOR DENSITY (AASHTO T180), ADHERING TO RIDOT SPECIFICATIONS, SECTION 603.
  - PRIOR TO PERMANENT RESTORATION, ALL EDGES OF THE EXCAVATED AREA AND ONE FOOT BEYOND SHALL BE SAWCUT TO A CLEAN, SQUARE EDGE.
  - IF EXCAVATION IS ON A PROTECTED STREET, THE REMAINING ROADWAY OUTSIDE THE TRENCH TO THE NEAREST CURB SHALL BE MILLED 1.5 INCHES WITH 1.5 INCH BITUMINOUS CONCRETE SURFACE OVERLAY. THE JOINTS SHALL BE SEALED USING INFRARED TECHNOLOGY. THE LENGTH OF THE NEW PAVED AREA MUST BE A MINIMUM OF 10 FEET TO ALLOW FOR PROPER ROLLING.
  - IF EXCAVATION IS ON A NON-PROTECTED STREET, AND THE DISTANCE FROM EDGE OF EXCAVATION TO EDGE OF ROADWAY IS TWO FEET OR LESS, THE REMAINING AREA TO EDGE OF ROADWAY SHALL BE REMOVED AND REPLACED IN CONJUNCTION WITH THE PERMANENT PAVEMENT RESTORATION.

**PERMANENT ROADWAY RESTORATION - GRANULAR BASE**  
N.T.S.



ISSUE DATE: 1/6/17



- NOTES:**
- METALLIZED 2" WIDE DETECTABLE IDENTIFICATION TAPE SHALL BE INSTALLED OVER WATER LINES 12" BELOW FINISH GRADE.
  - CONTRACTOR SHALL SUBMIT SIEVE ANALYSIS OF ON-SITE MATERIAL TO ENGINEER FOR REVIEW IF ON-SITE MATERIAL IS TO BE REUSED AS BEDDING.

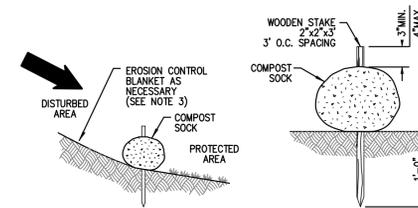
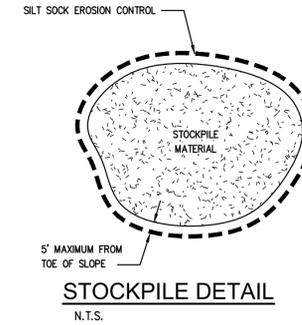
**TRENCH SECTION WATER**  
N.T.S.

**SEQUENCE AND STAGING OF LAND DISTURBING ACTIVITIES:**

- SURVEY AND STAKE THE SEDIMENTATION BARRIERS.
- PLACE SEDIMENTATION BARRIERS (SILT SOCK) AS SHOWN ON THE PLANS AND STAKED OUT IN THE FIELD. IN NO CASE IS THE LIMIT OF WORK TO EXTEND BEYOND THE SEDIMENTATION BARRIERS.
- PERFORM TRENCHING AND UTILITY INSTALLATION OPERATIONS. TOP SOIL TO BE STRIPPED AND STOCKPILED IN APPROVED AREAS. THE STOCKPILES ARE TO BE PROTECTED BY A ROW OF SEDIMENTATION BARRIER AND COVERED OR TEMPORARILY SEEDED.
- COMPLETE PERMANENT STABILIZATION. SWEEP THE ROADWAY/PAVED AREAS TO REMOVE ALL SEDIMENTS.
- REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES FOLLOWING VEGETATIVE ESTABLISHMENT OF ALL DISTURBED AREAS.

**EROSION CONTROL & SOIL STABILIZATION PROGRAM:**

- DENUDED SLOPES SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME.
- ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15, SHALL BE SEEDED OR PROTECTED BY THAT DATE FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION YEAR.
- TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
- HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 2000 LBS/ACRE.
- ALL TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
- THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS.
- THE SEED MIX SHALL BE INOCULATED WITHIN TWENTY FOUR (24) HOURS, BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
- THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE (1) YEAR, AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE.
- THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1ST THROUGH OCTOBER 15TH.
- STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN FIFTEEN (15) DAYS OF FINAL GRADING.
- STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS OR FLOOD PLAINS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN THIRTY PERCENT (30%) AND STOCKPILES SHALL ALSO BE SEEDED AND/OR STABILIZED AND COMPLETELY ENCIERCLED WITH A CONTINUOUS LINE OF SILT SOCK. (SEE DETAIL)



- NOTES:**
- COMPOST SOCK SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS. COMPOST SOCK SHALL BE A MINIMUM OF 8" IN DIAMETER.
  - COMPOST MATERIAL TO BE DISPersed ON SITE, AS DETERMINED BY THE ENGINEER.
  - WHEN PLACING COMPOST SOCK ON SLOPES, USE EROSION CONTROL BLANKET IF SPECIFIED ON PLANS.
  - ALWAYS INSTALL COMPOST SOCK PERPENDICULAR TO SLOPE AND ALONG CONTOUR LINES.
  - REMOVE SEDIMENT FROM THE UP SLOPE SIDE OF THE COMPOST SOCK WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE COMPOST SOCK.

**COMPOST SILT SOCK DETAIL**  
N.T.S.

**SEDIMENTATION CONTROL PROGRAM:**

- EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY SEDIMENTS FROM ENTERING THE CITY HIGHWAY OR ADJOINING PROPERTIES.
- BANKS OR SLOPES OVER 5% SHALL BE SEEDED AS SOON AS POSSIBLE AND SHALL BE PROTECTED WITH A HAY, STRAW OR FIBER MULCH.
- DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
- SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.
- CARE SHALL BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECTED TO STORM WATER FLOW.
- ADDITIONAL SILT SOCKS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.

**CONSTRUCTION**  
**DETAILS-1**  
FOR  
ELMWOOD COMMUNITY CENTER  
SITUATED AT  
155 NIAGARA STREET  
PROVIDENCE, RI  
PREPARED FOR  
STUDIO JAED

NO.	REVISION	BY	DATE



**GAROFALO**  
GAROFALO & ASSOCIATES, INC.  
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

85 CORLISS STREET  
P.O. BOX 6145  
PROVIDENCE, RI 02940  
TEL. 401-273-6000

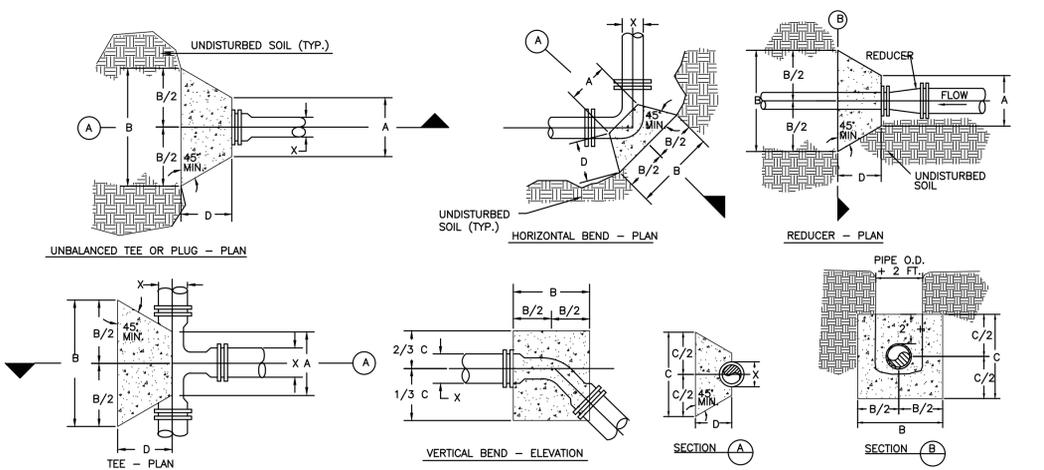
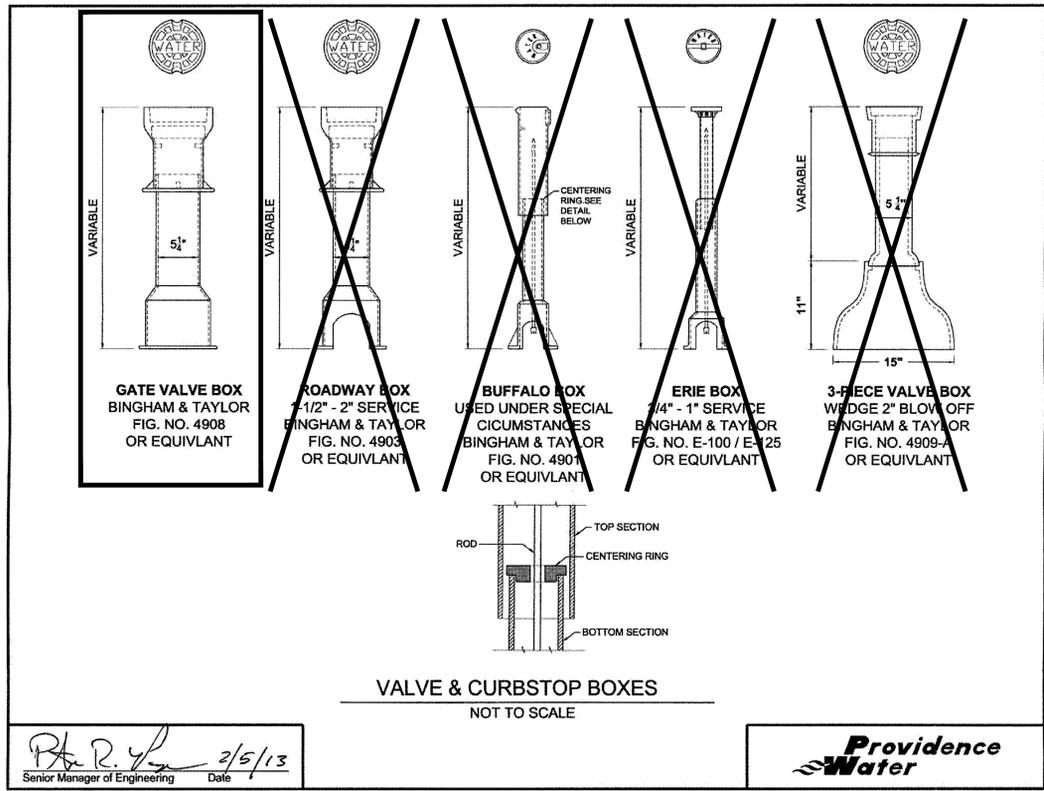
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JOB NO. 7286-00	DRAWN BY R.A.S.
DWG. NO. 7286.00-Base.dwg	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: JUNE 15, 2021

SHEET

**C-2**

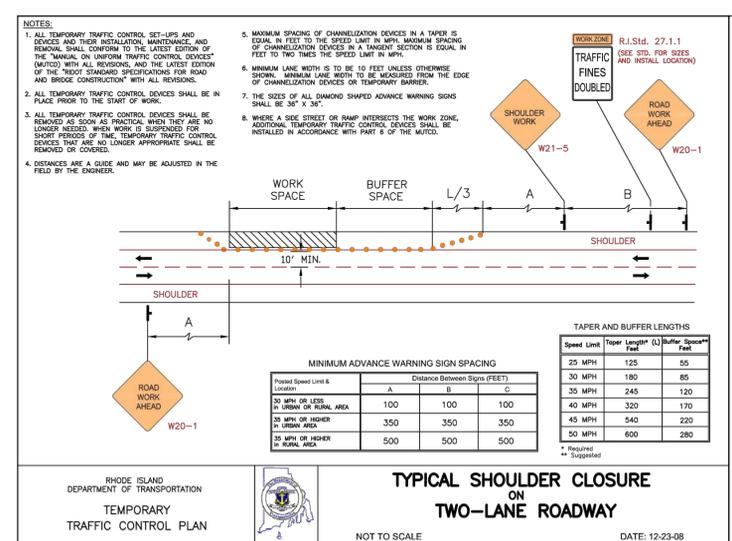
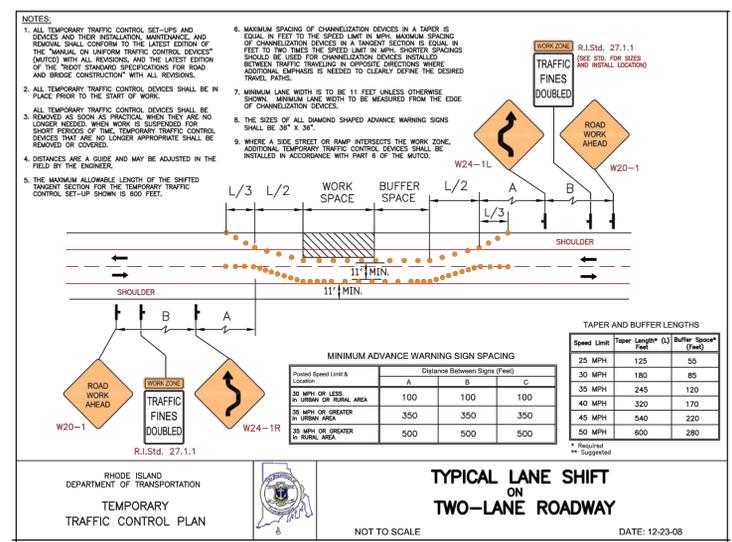
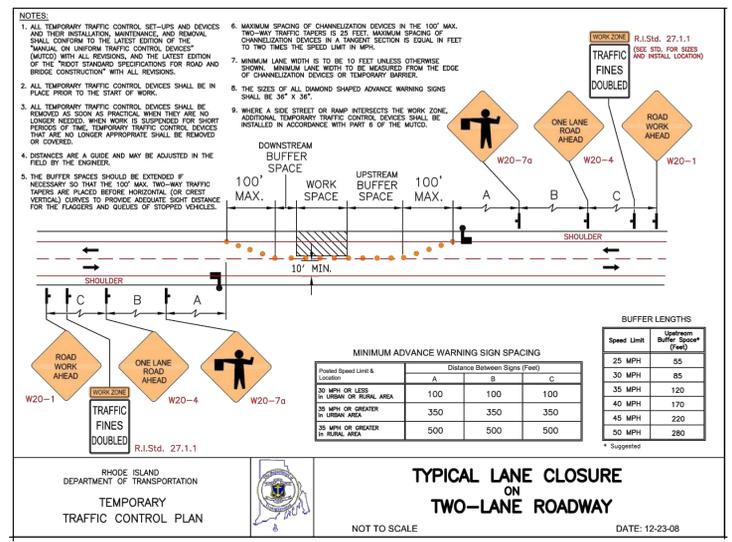
3 OF 4 SHEETS



Pipe Size	Line Pressure = 150 PSI Soil Pressure = 2000 PSF				VOL. CONC.
	A	B	C	D	
90 DEGREE BEND					
6"	0'-10"	1'-11"	1'-11"	1'-6"	4± CF
45 DEGREE BEND					
6"	0'-10"	1'-6"	1'-6"	1'-0"	2± CF
22-1/2 DEGREE BEND					
6"	0'-10"	1'-0"	1'-0"	1'-0"	1± CF
11-1/4 DEGREE BEND					
6"	0'-10"	0'-10"	0'-10"	1'-0"	0.7± CF

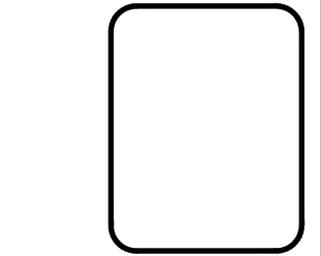
**NOTES :**

- BLOCKING SHALL BE RIDOT CLASS "B" CONCRETE. "SACRETE" WILL NOT BE ALLOWED.
- SOLID FELT PAPER TO BE PLACED BETWEEN CONCRETE AND ALL PIPE SURFACES.
- THE WATER LINE MUST BE LOWERED IN ORDER TO HAVE 4.5 FEET OF COVER AT THE BEND, TEE, REDUCER OR PLUG AT ALL LOCATIONS WHERE THESE FITTINGS ARE UTILIZED.



**CONSTRUCTION DETAILS-2**  
FOR  
ELMWOOD COMMUNITY CENTER  
SITUATED AT  
155 NIAGARA STREET  
PROVIDENCE, RI  
PREPARED FOR  
STUDIO JAED

NO.	REVISION	BY	DATE



**GAROFALO**  
GAROFALO & ASSOCIATES, INC.  
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85 CORLISS STREET  
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PROVIDENCE, RI 02940  
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DWG. NO. 7286.00-Base.dwg	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: JUNE 15, 2021

SHEET  
**C-3**  
4 OF 4 SHEETS



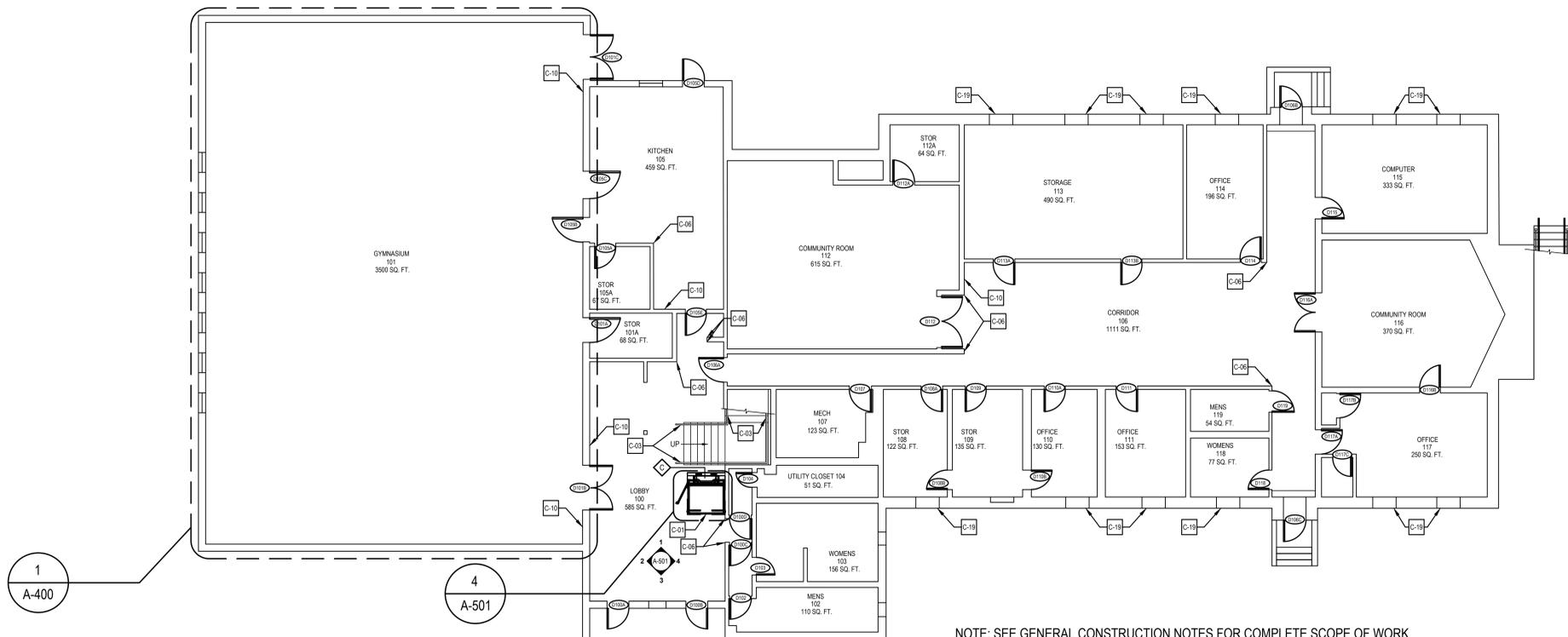








THE REGISTERED PROFESSIONAL ENGINEER HAS REVIEWED THE DRAWINGS AND SPECIFICATIONS AND HAS FOUND THEM TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL ENGINEERING ACT AND THE REGULATIONS THEREUNDER. THE REGISTERED PROFESSIONAL ENGINEER HAS REVIEWED THE DRAWINGS AND SPECIFICATIONS AND HAS FOUND THEM TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL ENGINEERING ACT AND THE REGULATIONS THEREUNDER. THE REGISTERED PROFESSIONAL ENGINEER HAS REVIEWED THE DRAWINGS AND SPECIFICATIONS AND HAS FOUND THEM TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL ENGINEERING ACT AND THE REGULATIONS THEREUNDER.



**1**  
**AC100** FIRST FLOOR CONSTRUCTION PLAN  
 SCALE: 1/8" = 1'-0"

NOTE: SEE GENERAL CONSTRUCTION NOTES FOR COMPLETE SCOPE OF WORK

CONSTRUCTION KEY NOTES	
C-01	FURNISH AND INSTALL NEW 42" x 34" APEX WHEELCHAIR LIFT AND ALL ASSOCIATED HARDWARE IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO, ALL ELECTRICAL FIXTURES, WIRING, MECHANICAL DEVICES, FASTENERS, AND SEALANTS.
C-02	(NOT IN USE)
C-03	FURNISH AND INSTALL NEW ADA COMPLIANT RAILING.
C-04	FURNISH AND INSTALL NEW PLUMBING FIXTURE. SEE PLUMBING PLANS AND TYPICAL MOUNTING HEIGHTS FOR MORE INFORMATION.
C-05	FURNISH AND INSTALL NEW 16'-0" +/- LADDER. FASTEN TO EXISTING MASONRY WALL.
C-06	FURNISH AND INSTALL NEW WALL CORNER GUARD.
C-07	FURNISH AND INSTALL NEW HM FRAME WITH NEW 1-1/2 HOUR FIRE-RATED DOOR AND ASSOCIATED HARDWARE. SEE DOOR SCHEDULE FOR MORE INFORMATION. CONTRACTOR TO VERIFY ALL DIMENSION IN FIELD PRIOR TO FABRICATION.
C-08	FURNISH AND INSTALL GYP. BD. AND 3/8" CMF WALL. CONTRACTOR TO VERIFY WALL THICKNESS IN FIELD WHERE INFILL IS REQUIRED.
C-09	(NOT IN USE)
C-10	FURNISH AND INSTALL NEW FEC (FIRE EXTINGUISHER CABINET).
C-11	FURNISH AND INSTALL NEW STAIR FINISH AND STEEL RISER.
C-12	FURNISH AND INSTALL NEW FROSTED GLAZING SYSTEM. REFER TO SHEET A-651 - WINDOW TYPES AND A-653 - WINDOW DETAILS FOR MORE INFORMATION.
C-13	FURNISH AND INSTALL NEW NEVCO SCOREBOARD - MODEL 2700. LOCATION TO MATCH EXISTING.
C-14	PATCH DAMAGED WALL, CMU OR GYP. BD TO BE REPLACED IF NECESSARY.
C-15	FURNISH AND INSTALL NEW 6' x 2' WALL PADDING.
C-16	APPLY ELASTOMERIC FLUID ROOF COATING TO EXISTING MEMBRANE.
C-17	REPOINT BRICK. REPOINTING AREA TO NEVER EXCEED 5 FEET WIDE TO PRESERVE STRUCTURAL INTEGRITY OF THE WALL. FOR MORE INFORMATION SEE SHEETS A-202 & A-203.
C-18	FURNISH AND INSTALL NEW 3/4" MARINE GRADE PLYWOOD SHEATHING. CONTRACTOR TO VERIFY ALL DIMENSION IN FIELD PRIOR TO FABRICATION. REFER TO SHEET A-651 - WINDOW TYPES AND A-653 - WINDOW DETAILS FOR MORE INFORMATION.
C-19	FURNISH AND INSTALL NEW STORM WINDOW. REFER TO SHEET A-651 - WINDOW TYPES AND A-653 - WINDOW DETAILS FOR MORE INFORMATION.
C-20	FURNISH AND INSTALL NEW CHAIN-LINK FENCE OR GATE. VERIFY DIMENSIONS IN FIELD PRIOR TO FABRICATION.
C-21	FURNISH AND INSTALL NEW SIGNAGE. FOR MORE INFORMATION SEE SPECIFICATIONS.
C-22	MILL AND OVERLAY ASPHALT WHERE SHOWN HATCHED.
C-23	REFURBISH EXISTING WINDOW. REFER TO SHEET A-651 - WINDOW TYPES AND A-653 - WINDOW DETAILS FOR MORE INFORMATION.
C-24	AREA TO BE SEEDED WITH NEW GRASS SEED.
C-25	FURNISH AND INSTALL NEW 8'-0" HIGH CHAIN-LINK FENCE. VERIFY DIMENSIONS IN FIELD PRIOR TO FABRICATION.
C-26	PROVIDE 1/8" x 10" ABOVE EXISTING STEEL FRAMING IN ATTIC SPACE TO BRACE TOP OF IHS 4 x 4 x 3/8 LIFT COLLUMNS. BOLT TO EXISTING STRUCTURAL STEEL AND CANTILEVER TO COLUMN CONNECTION POINTS.

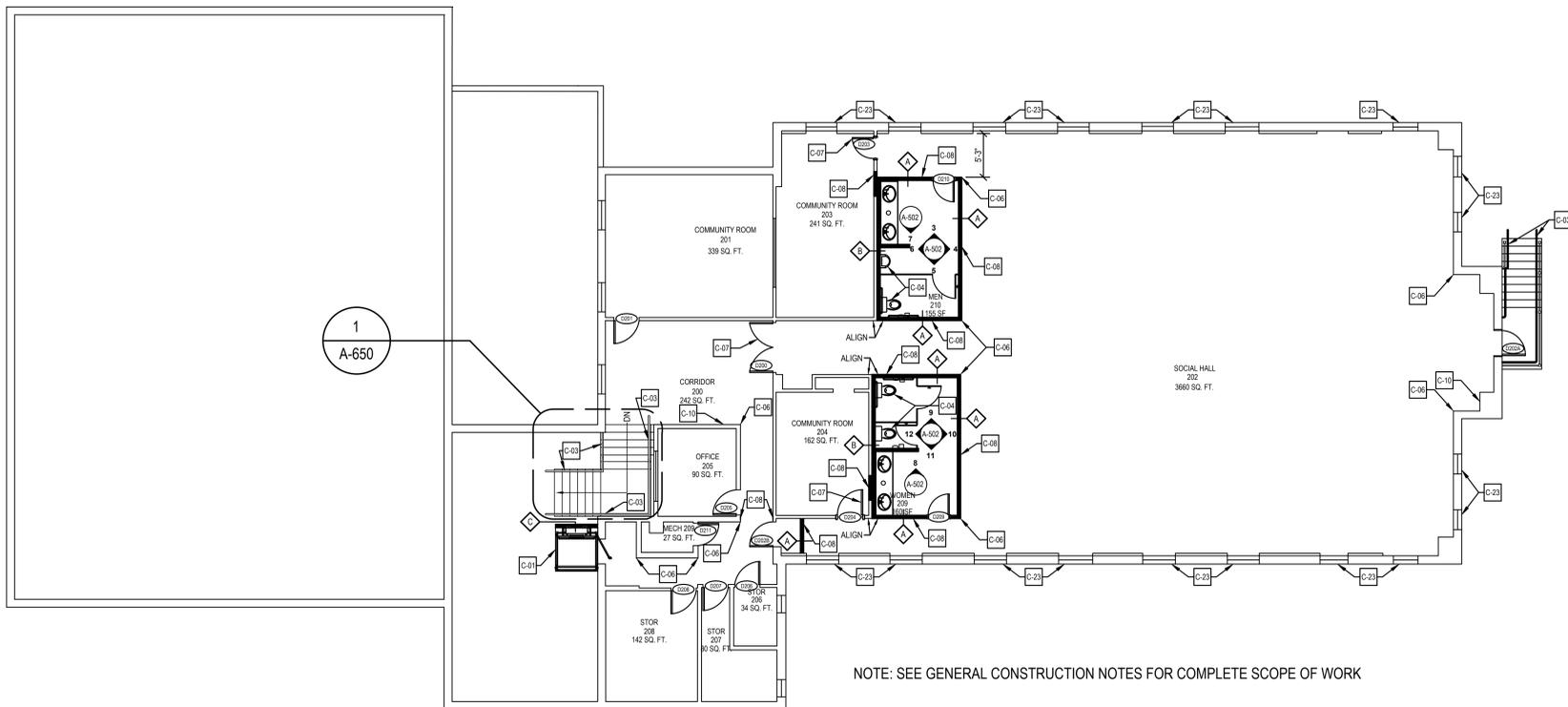


CONSULTANT

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THE PROFESSIONAL SERVICES OF THE ARCHITECT ARE UNDERTAKEN FOR AND ARE PERFORMED IN THE INTEREST OF (NAME OF PERSON EMPLOYING ARCHITECT). NO CONTRACTUAL OBLIGATION IS ASSUMED BY THE ARCHITECT FOR THE BENEFIT OF ANY OTHER PERSON INVOLVED IN THE PROJECT.

SIGNATURE: \_\_\_\_\_  
 DATE OF SIGNATURE: \_\_\_\_\_  
 DATE OF REGISTRATION EXPIRATION: \_\_\_\_\_  
 ARCHITECT / ENGINEER SEAL



**2**  
**AC100** NEW SECOND FLOOR PLAN  
 SCALE: 1/8" = 1'-0"

NOTE: SEE GENERAL CONSTRUCTION NOTES FOR COMPLETE SCOPE OF WORK

GENERAL CONSTRUCTION NOTES	
C1.	UNLESS NOTED OTHERWISE, ALL DOORS, WALLS AND WINDOW FRAMES TO BE PAINTED. PAINT IN ACCORDANCE WITH FINISH SCHEDULE. FOR MORE INFORMATION SEE SHEET AC102 & A-700.
C2.	UNLESS NOTED OTHERWISE, FURNISH AND INSTALL NEW SUSPENDED ACOUSTIC CEILING SYSTEM, INCLUDING BUT NOT LIMITED TO, ASSOCIATED MECHANICAL DIFFUSERS / RETURNS, 2x2 LED LIGHT FIXTURES, FIRE PREVENTION AND DETECTION DEVICES, INFORMATION TECHNOLOGY DEVICES, AND SECURITY DEVICES. SEE ELECTRICAL AND MECHANICAL PLANS FOR MORE INFORMATION. EXISTING 2 x 4 CEILING GRID TO BE PAINTED WHITE.
C3.	UNLESS NOTED OTHERWISE, FURNISH AND INSTALL NEW LIGHT FIXTURES. FOR MORE INFORMATION, SEE ELECTRICAL PLAN.
C4.	UNLESS NOTED OTHERWISE, FURNISH AND INSTALL NEW FINISH FLOOR, INCLUDING WALL BASE. SEE FINISH FLOOR PLAN FOR MORE INFORMATION.
C5.	UNLESS NOTED OTHERWISE, FURNISH AND INSTALL NEW DOORS. SEE DOOR SCHEDULE ON A-652 FOR MORE INFORMATION.

SYMBOL LEGEND	
(001)	GENERAL NOTE
(ETR)	EXISTING TO REMAIN
(C-02)	KEY NOTE TAG. SEE KEY NOTE INSTRUCTIONS / NARRATIVE FOR MORE INFORMATION
(DRD)	INDICATES FRAME AND DOOR - SEE DOOR SCHEDULE AND A-652 FOR MORE INFORMATION
(D)	INDICATES NEW WALL TYPE - SEE TYPICAL WALL TYPES FOR MORE INFORMATION
(---)	INDICATES EXISTING TO REMAIN
(- - -)	INDICATES EXISTING TO BE DEMOLISHED
(---)	INDICATES NEW WALL TYPE - SEE TYPICAL WALL TYPES FOR MORE INFORMATION

CITY OF PROVIDENCE  
 DEPARTMENT OF PUBLIC PROPERTIES  
 BUILDING RENOVATIONS  
 AT THE  
 ELMWOOD COMMUNITY CENTER  
 155 NIAGARA STREET,  
 PROVIDENCE, RI 02907

REVISIONS		
MARK	DESCRIPTION	DATE

FIRST & SECOND FLOOR PLANS

CONSTRUCTION DOCUMENTATION  
 SEPTEMBER 16, 2021

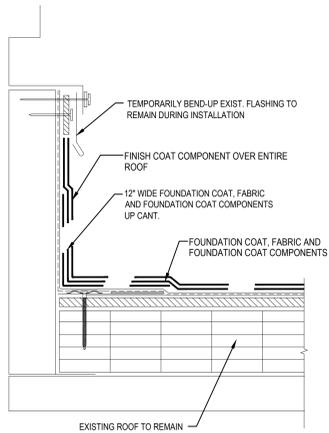
DRAWN	CHK'D	PROJECT NO.
BMS	RJC	20057

SHEET NO. **AC100**

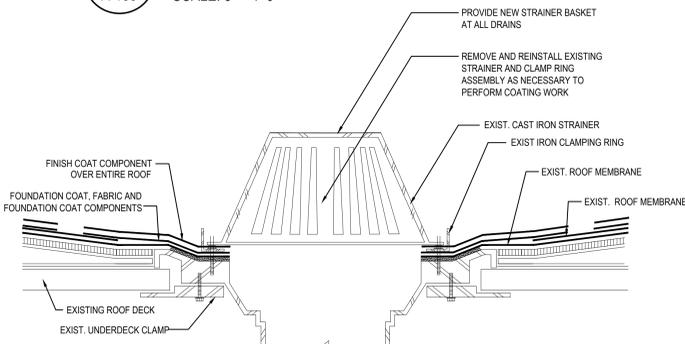




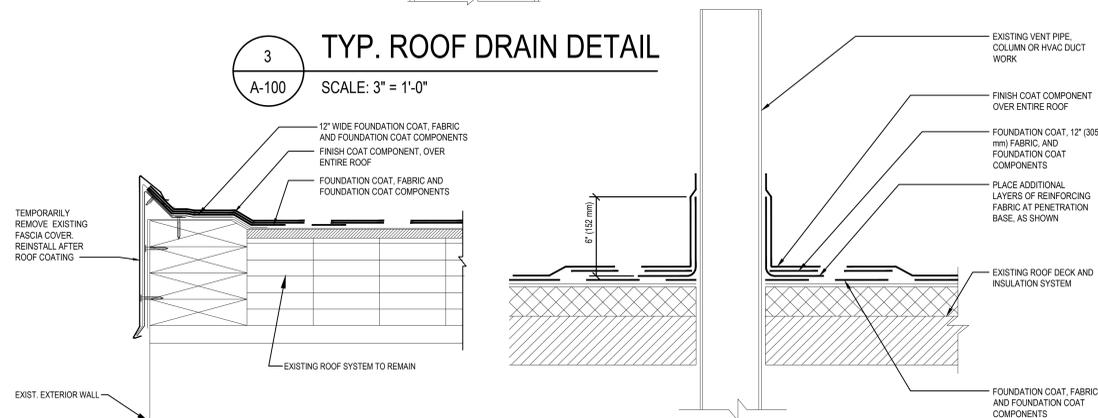
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**2 TYP. CURB FLASHING DETAIL**  
 A-100 SCALE: 3" = 1'-0"

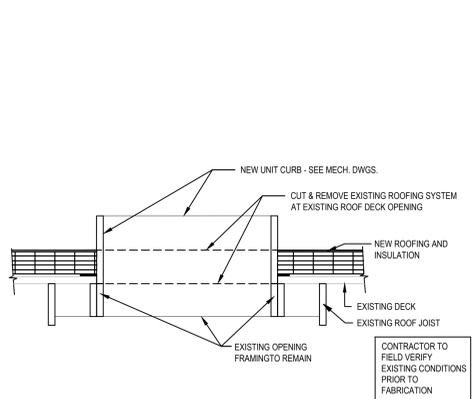


**3 TYP. ROOF DRAIN DETAIL**  
 A-100 SCALE: 3" = 1'-0"

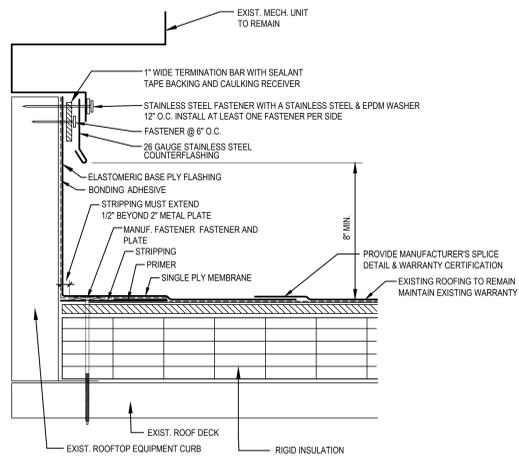


**5 TYP. ROOF EDGE DETAIL**  
 A-100 SCALE: 3" = 1'-0"

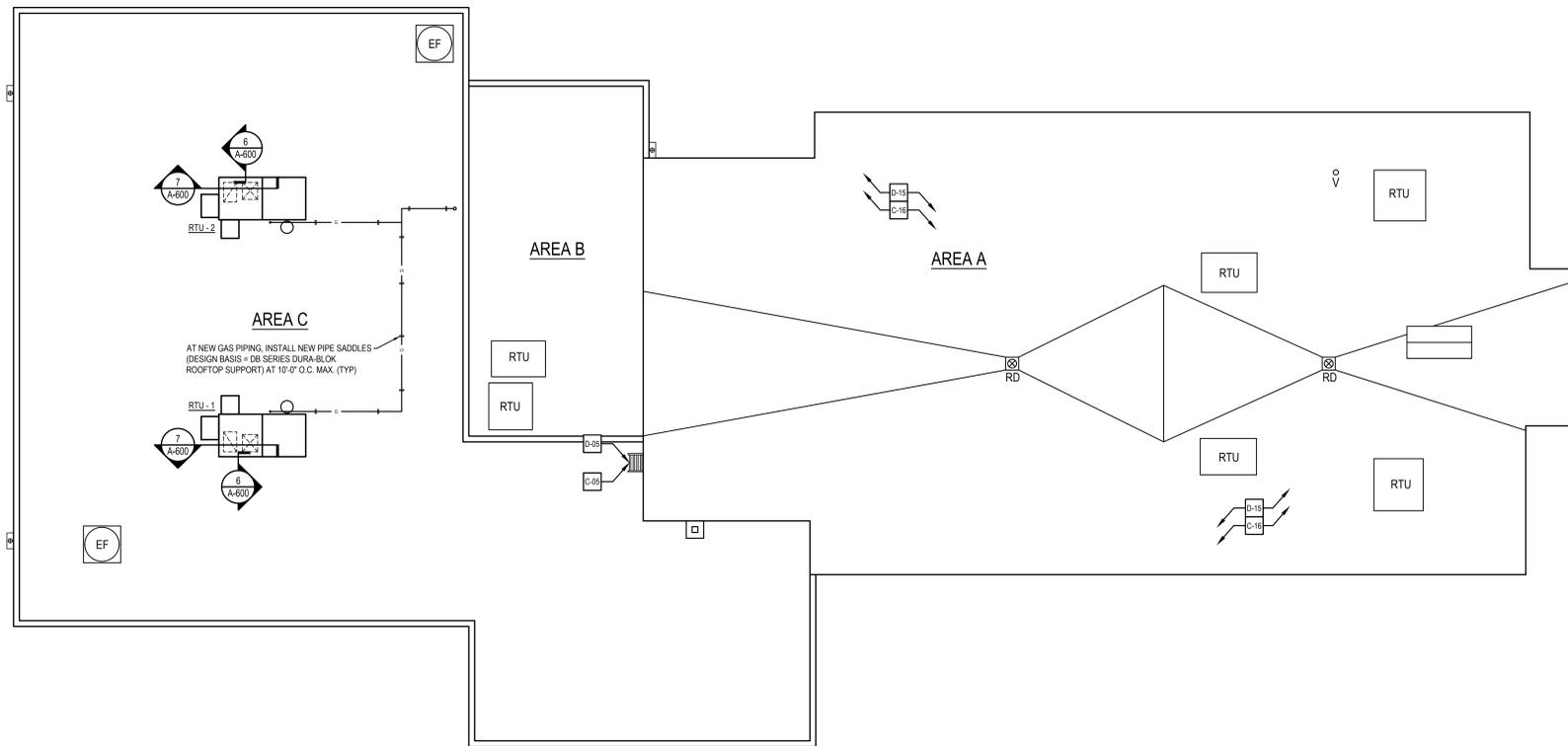
**4 TYP. PENETRATION FLASHING DETAIL**  
 A-100 SCALE: 3" = 1'-0"



**7 ROOF OPENING DETAIL**  
 A-100 SCALE: 3" = 1'-0"



**6 ROOF OPENING DETAIL**  
 A-100 SCALE: 3" = 1'-0"



**1 ROOF PLAN**  
 A-100 SCALE: 1/8" = 1'-0"

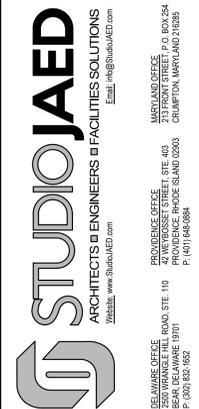
DEMOLITION KEY NOTES	
D-01	DEMOLISH AND DISPOSE OF EXISTING WHEELCHAIR LIFT AND ALL ASSOCIATED HARDWARE IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO, DOORS, ELECTRICAL FIXTURES, WIRING, MECHANICAL DEVICES, FASTENERS, AND SEALANTS. INFILL CONC. FLOOR AT REMOVED FASTENERS.
D-02	(NOT IN USE)
D-03	DEMOLISH AND DISPOSE OF EXISTING RAILING IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO, ALL FASTENERS, AND HARDWARE.
D-04	DEMOLISH AND DISPOSE OF EXISTING PLUMBING FIXTURES IN ITS ENTIRETY AND CAP ABANDONED PLUMBING BELOW FLOOR. SEE PLUMBING PLANS FOR MORE INFORMATION.
D-05	DEMOLISH AND DISPOSE OF EXISTING LADDER AND ASSOCIATED FASTENERS.
D-06	(NOT IN USE)
D-07	DEMOLISH AND DISPOSE OF EXISTING WALL CORNER GUARD IN ITS ENTIRETY.
D-08	DEMOLISH AND DISPOSE OF EXISTING WALL IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO, EXISTING ELECTRICAL FIXTURES, DATA FIXTURES, MECHANICAL FIXTURES, FIRE PROTECTION FIXTURES, CMU STUDS, AND FASTENERS. SEE MECHANICAL AND ELECTRICAL PLANS FOR MORE INFORMATION.
D-09	THOROUGHLY CLEAN CERAMIC TILE FLOOR AND GROUT.
D-10	ABATE AND REMOVE EXISTING VCT FLOORING AND ADHESIVES. PREPARE FLOOR FOR NEW VCT TILES.
D-11	DEMOLISH AND DISPOSE OF EXISTING STAR FINISH IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO, ALL ADHESIVES AND FASTENERS.
D-12	DEMOLISH AND DISPOSE OF EXISTING FROSTED GLAZING SYSTEM. REFER TO SHEET A-651 - WINDOW TYPES AND A-653 - WINDOW DETAILS FOR MORE INFORMATION.
D-13	WITH CARE REMOVE EXISTING SCOREBOARD AND IN ITS ENTIRETY. CONTRACTOR TO PROVIDE OWNER FIRST REFUSAL BEFORE DISPOSAL.
D-14	WITH CARE REMOVE EXISTING GYM EQUIPMENT AND IN ITS ENTIRETY. CONTRACTOR TO PROVIDE OWNER FIRST REFUSAL BEFORE DISPOSAL.
D-15	REMOVE ALL LARGE OBJECTS FROM ROOF BEFORE PROCEEDING TO POWER WASH AND CLEAN THE MEMBRANE. THOROUGHLY CLEAN ROOF SURFACE OF DIRT, DEBRIS, AND CONTAMINANTS AT AREA OF WORK. TEMPORARILY REMOVE PIPE SUPPORTS.
D-16	REMOVE EXISTING GROUT UP TO A 12" DEEP. CAREFUL NOT TO DAMAGE EXISTING BRICK. REMOVAL AREA TO NEVER EXCEED 5 FEET WIDE TO PRESERVE STRUCTURAL INTEGRITY OF THE WALL. FOR MORE INFORMATION SEE SHEETS A-200 - A-203.
D-17	WITH CARE, DEMOLISH AND DISPOSE OF EXISTING PLYWOOD SHEATHING IN ITS ENTIRETY. REFER TO SHEET A-651 - WINDOW TYPES AND A-653 - WINDOW DETAILS FOR MORE INFORMATION.
D-18	DEMOLISH AND DISPOSE OF EXISTING 4"-0" HIGH CHAIN-LINK FENCE IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO, ALL CONCRETE FOOTINGS, POSTS, GATES, FASTENERS AND CLAMPS.
D-19	CUT AND REMOVE EXISTING TREE IN ITS ENTIRETY, INCLUDING ALL ROOTS AND BRANCHES, FOR INSTALLATION OF NEW SPRINKLER SYSTEM.
D-20	TRIM TREE OF ALL DEAD BRANCHES AND ANY HANGING BELOW 10 FEET. PROPERLY DISPOSE OF ALL TRIMMINGS.
D-21	DE-THATCH AREA IN PREPARATION FOR NEW GRASS SEED.
D-22	WITH CARE REMOVE EXISTING MESH WINDOW PROTECTION. CLEAN AND REMOVE PAINT TO AN INTACT CONDITION. REFER TO SHEET A-651 - WINDOW TYPES AND A-653 - WINDOW DETAILS FOR MORE INFORMATION.
D-23	DEMOLISH EXISTING DESK IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO, ALL FASTENERS, HARDWARE, AND SIGNAGE.
D-24	DEMOLISH EXISTING DOOR TRIM / WOOD SURROUNDING. DOOR AND FRAME TO REMAIN.
D-26	DEMOLISH PLYWOOD SIGN IN ITS ENTIRETY INCLUDING ALL FASTENERS.
D-27	DEMOLISH EXISTING HM DOOR, INCLUDING TRANSOM AND HM FRAME. STEEL LINTEL ABOVE TO REMAIN.
D-28	DEMOLISH AND DISPOSE OF EXISTING 8'-0" HIGH CHAIN-LINK FENCE AND GATE IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO, ALL CONCRETE FOOTINGS, POSTS, GATES, FASTENERS AND CLAMPS.
D-29	REMOVE EXISTING STEEL STAIR NOSINGS.

CONSTRUCTION KEY NOTES	
C-01	FURNISH AND INSTALL NEW 42" x 54" APEX WHEELCHAIR LIFT AND ALL ASSOCIATED HARDWARE IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO, ALL ELECTRICAL FIXTURES, WIRING, MECHANICAL DEVICES, FASTENERS, AND SEALANTS.
C-02	(NOT IN USE)
C-03	FURNISH AND INSTALL NEW ADA COMPLIANT RAILING.
C-04	FURNISH AND INSTALL NEW PLUMBING FIXTURES. SEE PLUMBING PLANS AND TYPICAL MOUNTING HEIGHTS FOR MORE INFORMATION.
C-05	FURNISH AND INSTALL NEW 16'-0" +/- LADDER. FASTEN TO EXISTING MASONRY WALL.
C-06	FURNISH AND INSTALL NEW WALL CORNER GUARD.
C-07	FURNISH AND INSTALL NEW HM FRAME WITH NEW 1-1/2 HOUR FIRE RATED DOOR AND ASSOCIATED HARDWARE. SEE DOOR SCHEDULE FOR MORE INFORMATION. CONTRACTOR TO VERIFY ALL DIMENSION IN FIELD PRIOR TO FABRICATION.
C-08	FURNISH AND INSTALL GYP. BD. AND 3/8" CMF WALL. CONTRACTOR TO VERIFY WALL THICKNESS IN FIELD WHERE INFILL IS REQUIRED.
C-09	(NOT IN USE)
C-10	FURNISH AND INSTALL NEW FEC (FIRE EXTINGUISHER CABINET).
C-11	FURNISH AND INSTALL NEW STAIR FINISH AND STEEL RISER.
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C-14	PATCH DAMAGED WALL, CMU OR GYP. BD TO BE REPLACED IF NECESSARY.
C-15	FURNISH AND INSTALL NEW 6' x 2' WALL PADDING.
C-16	APPLY ELASTOMERIC FLUID ROOF COATING TO EXISTING MEMBRANE.
C-17	REPOINT BRICK. REPOINTING AREA TO NEVER EXCEED 5 FEET WIDE TO PRESERVE STRUCTURAL INTEGRITY OF THE WALL. FOR MORE INFORMATION SEE SHEETS A-202 & A-203.
C-18	FURNISH AND INSTALL NEW 3/4" MARINE GRADE PLYWOOD SHEATHING. CONTRACTOR TO VERIFY ALL DIMENSION IN FIELD PRIOR TO FABRICATION. REFER TO SHEET A-651 - WINDOW TYPES AND A-653 - WINDOW DETAILS FOR MORE INFORMATION.
C-19	FURNISH AND INSTALL NEW STORM WINDOW. REFER TO SHEET A-651 - WINDOW TYPES AND A-653 - WINDOW DETAILS FOR MORE INFORMATION.
C-20	FURNISH AND INSTALL NEW CHAIN-LINK FENCE OR GATE. VERIFY DIMENSIONS IN FIELD PRIOR TO FABRICATION.
C-21	FURNISH AND INSTALL NEW SIGNAGE. FOR MORE INFORMATION SEE SPECIFICATIONS.
C-22	MILL AND OVERLAY ASPHALT WHERE SHOWN HATCHED.
C-23	REFURBISH EXISTING WINDOW. REFER TO SHEET A-651 - WINDOW TYPES AND A-653 - WINDOW DETAILS FOR MORE INFORMATION.
C-24	AREA TO BE SEEDED WITH NEW GRASS SEED.
C-25	FURNISH AND INSTALL NEW 8'-0" HIGH CHAIN-LINK FENCE. VERIFY DIMENSIONS IN FIELD PRIOR TO FABRICATION.
C-26	PROVIDE W8 x 10 ABOVE EXISTING STEEL FRAMING IN ATTIC SPACE TO BRACE TOP OF HSS 4 x 4 x 3/8 LIFT COLUMNS. BOLT TO EXISTING STRUCTURAL STEEL AND CANTILEVER TO COLUMN CONNECTION POINTS.

FLUID APPLIED ROOFING SYSTEM NOTES		
1.	SEE SPECIFICATIONS FOR FLUID-APPLIED ROOFING SYSTEM PRODUCT AND INSTALLATION DETAILS.	
2.	EXAMINE THE SUBSTRATES, FLASHING CONDITIONS, PENETRATIONS, EQUIPMENT SUPPORTS, CURBS, ADJOINING CONSTRUCTION AND THE CONDITIONS UNDER WHICH THE WORK IS TO BE INSTALLED. DO NOT PROCEED WITH THE WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED AND SUBSTRATE IS ACCEPTABLE.	
3.	EXISTING ROOF DRAIN, FLASHING, HUB AND STRAINER BASKETS TO BE REMOVED. FLASH AND INSTALL BASE COAT, RE-INSTALL IRON CLAMPING RING, AND INSTALL ROOFING FINISH COAT. INSTALL NEW ROOF DRAIN STRAINER BASKET.	
4.	APPLICATOR SHALL BE RESPONSIBLE FOR PROVIDING A PROPER SUBSTRATE TO RECEIVE THE FLUID-APPLIED ROOFING SYSTEM.	
5.	VERIFY THE SUBSTRATE IS DRY AND FREE OF OIL, GREASE, DUST, RUST AND OTHER CONTAMINANTS.	
6.	DEFECTS IN THE SUBSTRATE SHALL BE NOTED AND WORK SHALL NOT PROCEED UNTIL SUCH DEFECTS HAVE BEEN CORRECTED.	
7.	FLASH ALL ROOF TOP EQUIPMENT, WALLS, AND OTHER ROOF TOP PENETRATIONS IN ACCORDANCE WITH THE APPROVED SHOP DRAWINGS AND AS REQUIRED BY THE ROOF MEMBRANE MANUFACTURER.	
8.	AT ROOF PARAPETS WITH SNAP ON 2 PIECE COPING - REMOVE TOP METAL COPING. INSTALL FOUNDATION AND FINISH SYSTEM UP AND OVER PARAPET WALL AND UNDER COPING. INSTALL EXISTING COPING BACK IN PLACE.	
9.	(NOT IN USE)	
10.	INSTALL A LIQUID MEMBRANE SYSTEM ROOF AREA "A" AS SHOWN ON DRAWING. SEE "FLUID-APPLIED ROOFING SYSTEM NOTES" FOR ROOF PREPARATION. SEE FLUID-APPLIED ROOFING SYSTEM SPECIFICATION FOR PRODUCT AND INSTALLATION REQUIREMENTS.	
11.	CONTRACTOR SHALL CONFORM TO MANUFACTURER'S INSTRUCTIONS PERTAINING TO ENVIRONMENTAL CONDITIONS PRIOR TO INSTALLATION OF ROOFING MATERIALS.	
12.	CONTRACTOR SHALL BECOME FAMILIAR WITH AND VERIFY THE CONDITIONS, DIMENSIONS AND LOCATIONS OF ALL ROOF AREAS INCLUDING ROOF TOP EQUIPMENT, FLASHINGS, PIPE LINES, CONDUIT, PIPE SUPPORTS, ETC., BEFORE SUBMITTING A BID OR COMMENCING WORK. ALL EXISTING PIPES, CONDUIT, ELECTRICAL LINES, CABLES, GUY WIRES, AND DUCTWORK ABOVE THE ROOF SURFACE HAVE NOT BEEN SHOWN ON THE ROOF PLAN.	

LEGEND		
RTU	LEGACY HVAC EQUIPMENT TO REMAIN	
EF	EXISTING EXHAUST FAN	
↓	VENT PIPE. SELECT VENT PIPES ARE TO BE EXTENDED ABOVE INCREASED INSULATION DEPTH.	
RD	NEW SUMPED RETROFIT ROOF DRAIN ASSEMBLY INCLUDING, BUT NOT LIMITED TO, DRAIN STEM, DRAIN BODY, SEAL, FLANGE, AND STRAINER DOME	
↘	NEW CRICKET SLOPE 12" / 8" WITH SCUPPERS AT EITHER END	



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 SIGNATURE: \_\_\_\_\_  
 DATE OF SIGNATURE: \_\_\_\_\_  
 DATE OF REGISTRATION EXPIRATION: \_\_\_\_\_  
 ARCHITECT / ENGINEER SEAL

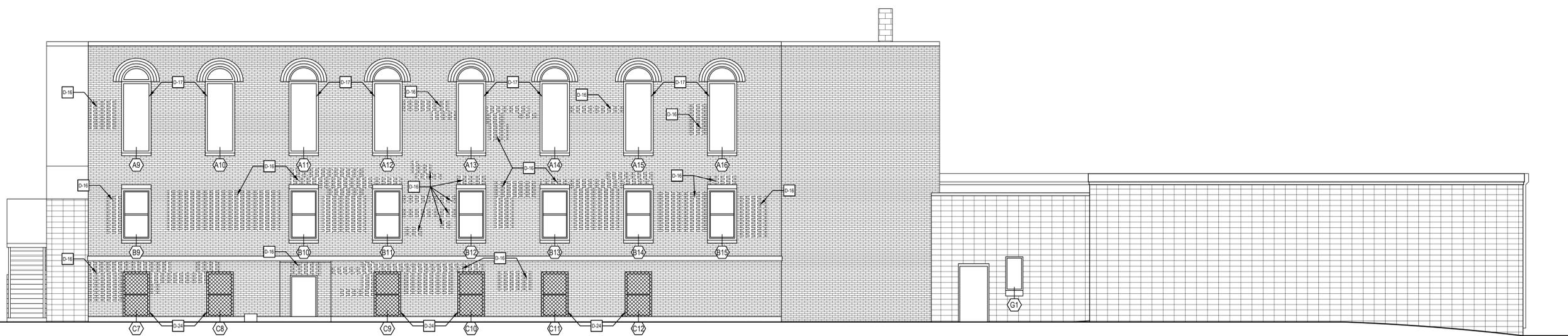
CITY OF PROVIDENCE  
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 BUILDING RENOVATIONS  
 AT THE  
 ELMWOOD COMMUNITY CENTER  
 155 NIAGARA STREET,  
 PROVIDENCE, RI 02907

REVISIONS		
MARK	DESCRIPTION	DATE

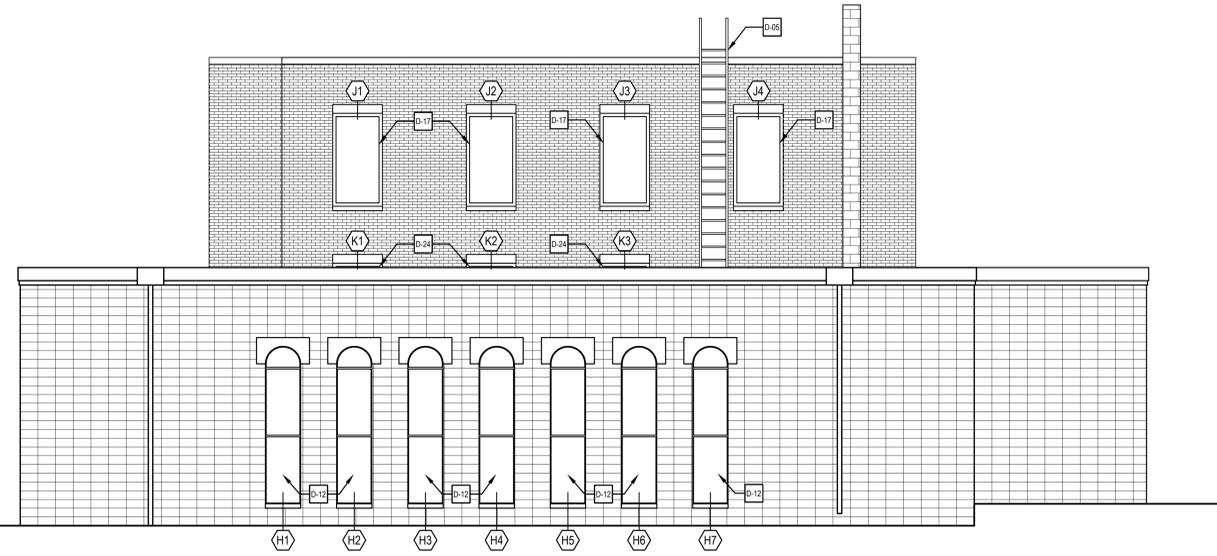
SHEET TITLE  
**ROOF PLAN & DETAILS**  
 CONSTRUCTION DOCUMENTATION  
 SEPTEMBER 16, 2021  
 DRAWN: BMS  
 CHKD: RJC  
 PROJECT NO.: 20057  
 SHEET NO.: **A-100**



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1 EXTERIOR DEMOLITION ELEVATION  
A-201 SCALE: 3/16" = 1'-0"



2 EXTERIOR DEMOLITION ELEVATION  
A-201 SCALE: 3/16" = 1'-0"

NOTE: SEE GENERAL DEMOLITION NOTES FOR COMPLETE SCOPE OF WORK

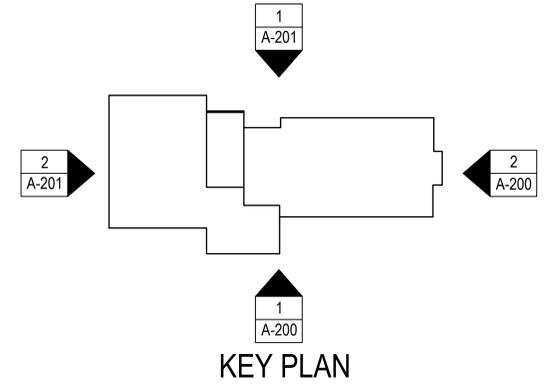
- GENERAL DEMOLITION NOTES**
- D1. UNLESS NOTED OTHERWISE, ALL WALLS, WINDOW AND DOOR FRAMES TO BE CLEANED FOR REPAINTING. EXISTING PAINT TO BE REMOVED TO AN INTACT CONDITION.
  - D2. UNLESS NOTED OTHERWISE, DEMOLISH AND DISPOSE OF ALL EXISTING SUSPENDED ACoustICAL CEILING TILES, IN THEIR ENTIRETY, INCLUDING BUT NOT LIMITED TO, EXISTING ELECTRICAL FIXTURES AND DEVICES, MECHANICAL EQUIPMENT AND DEVICES, INFORMATION TECHNOLOGY EQUIPMENT AND DEVICES, FIRE PREVENTION AND DETECTION EQUIPMENT AND DEVICES, AND SECURITY DEVICES. EXISTING GRID TO REMAIN UNLESS REPLACEMENT IS REQUIRED. CONTRACTOR TO COORDINATE WITH CONSTRUCTION PLANS AND MEP PLANS FOR MORE INFORMATION.
  - D3. UNLESS NOTED OTHERWISE, DEMOLISH AND DISPOSE OF ALL EXISTING LIGHT FIXTURES IN THEIR ENTIRETY, INCLUDING BUT NOT LIMITED TO, WIRING BACK TO SOURCE, SWITCHES, FASTENERS, AND CABLES. SEE ELECTRICAL PLANS FOR MORE INFORMATION.
  - D4. UNLESS NOTED OTHERWISE, DEMOLISH AND DISPOSE OF ALL EXISTING FINISH FLOOR IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO, EXISTING WALL BASE, ADHESIVES, AND TRANSITIONS.
  - D5. UNLESS NOTED OTHERWISE, DEMOLISH AND DISPOSE OF ALL EXISTING DOORS. SEE DOOR SCHEDULE ON A-652 FOR EXTENT OF DEMOLITION.

- GENERAL MASONRY CONSTRUCTION NOTES**
- REMOVE EXISTING LOOSE MORTAR MATERIAL FROM DETERIORATING JOINT. CLEAN/GRIND AND PREPARE HORIZONTAL AND/OR VERTICAL JOINT FOR REPOINTING ACCORDING TO SPECIFICATIONS.
- SAW CUT MORTAR JOINTS AND REMOVE EXISTING WYTHE OF CRACKED BRICK. FURNISH AND INSTALL NEW BRICK VENEER AND MORTAR TO MATCH EXISTING WITH TWO (2) PIECE BRICK TIES AT 16" ON HORIZONTALLY AND VERTICALLY ACCORDING TO DETAILS AND SPECIFICATIONS.
- POWER WASH AND REMOVE, THROUGH ABRASIVE BRUSH SCRUBBING, ALL EFFLORESCENCE WITH A MURIATIC ACID SOLUTION. PROTECT ALL ADJACENT SURFACES INCLUDING, BUT NOT LIMITED TO, ROOF SYSTEMS, WINDOW FRAMES AND GLAZING, GROUND COVERING, TREES, MECHANICAL EQUIPMENT, AND WALL MOUNTED DEVICES. FURNISH AND INSTALL A CLEAR WATERPROOFING SEALER PER SPECIFICATIONS TO ALL EXTERIOR MASONRY AND CONCRETE WALL SURFACES. SEE BASIS OF DESIGN ON A-202 & A-203 FOR MORE INFORMATION.

- MASONRY GENERAL NOTES FOR REPOINTING**
- JOINT PREPARATION
- ALL MORTAR IN THE WORK AREA SHALL BE CUT BACK TO A DEPTH OF AT LEAST 1/2" TIMES THE WIDTH OF THE JOINT OR TO SOUND MORTAR, WHICHEVER IS GREATER.
- CARE MUST BE TAKEN TO AVOID DAMAGE TO THE MASONRY UNITS AND TO PREVENT WIDENING OF JOINTS. BACK OF THE JOINT SHALL BE CUT SQUARE.
- REMOVE ANY SEALANTS, TAR OR OTHER NON-MORTAR JOINT FILLER. REMOVE ALL TRACE OF SEALANT, TAR, ETC. TO ASSURE BOND. ALL LOOSE MATERIAL SHALL BE WASHED FROM THE JOINTS USING A HOSE. JOINTS SHALL BE WETTED BEFORE THE NEW MORTAR IS APPLIED.
- MORTAR PREPARATION AND MIXING
- THE LIME, CEMENT AND SAND SHOULD BE CAREFULLY MEASURED AND WELL MIXED TOGETHER DRY. ANY PIGMENT SHOULD BE ADDED IN MEASURED QUANTITIES AND WELL DISPERSED INTO THE OTHER MATERIALS. MORTAR SHALL BE MIXED IN SMALL BATCHES SO THAT IT WILL BE USED WITHIN ONE HOUR AFTER PREPARATION.
- MORTAR PROPORTIONS
- FOR REPOINTING AND REBUILDING/RESETTING SHALL BE ASTM C 270 TYPE N MORTAR BY PROPORTION SPECIFICATION.
- JOINT FILLING
- MORTAR SHOULD BE PACKED IN THIN LAYERS, NOT EXCEEDING 1/2". COMPACT AND ALLOW EACH LAYER TO BECOME THUMBPRINT HARD BEFORE INSTALLATION OF NEW LIFT. FILLED JOINTS SHOULD BE TOOLED TO MATCH THE ORIGINAL JOINT PROFILE. NO MORTAR SHALL EXTEND ONTO THE FACE OF THE UNITS.
- DAMP CURE MORTAR
- MIST MORTAR FOR AT LEAST 4 HOURS AFTER TOOLING. IN WINDY OR HOT WEATHER, REVIEW CURE PROCEDURES WITH THE ARCHITECT TO ENSURE THAT MORTAR DOES NOT CURE EXCESSIVELY FAST.
- CLEANUP EXCESS MORTAR
- AT ALL AREAS REPOINTED OR REBUILT, EXCESS MORTAR SHOULD BE REMOVED FROM THE SURFACE BEFORE IT SETS USING A BRISTLE BRUSH OR BY RUBBING THE SURFACE WITH BURLAP OR CLEAN SAND. DRIED MORTAR SHALL BE REMOVED WITH CHEMICAL MORTAR REMOVER.

- DEMOLITION KEY NOTES**
- D-01. DEMOLISH AND DISPOSE OF EXISTING WHEEL CHAIR LIFT AND ALL ASSOCIATED HARDWARE IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO, DOORS, ELECTRICAL FIXTURES, WIRING, MECHANICAL DEVICES, FASTENERS, AND SEALANTS. INFILL CONC. FLOOR AT REMOVED FASTENERS.
  - D-02. (NOT IN USE)
  - D-03. DEMOLISH AND DISPOSE OF EXISTING RAILING IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO, ALL FASTENERS, AND HARDWARE.
  - D-04. DEMOLISH AND DISPOSE OF EXISTING PLUMBING FIXTURE IN ITS ENTIRETY AND CAP ABANDONED PLUMBING BELOW FLOOR. SEE PLUMBING PLANS FOR MORE INFORMATION.
  - D-05. DEMOLISH AND DISPOSE OF EXISTING LADDER AND ASSOCIATED FASTENERS.
  - D-06. (NOT IN USE)
  - D-07. DEMOLISH AND DISPOSE OF EXISTING WALL CORNER GUARD IN ITS ENTIRETY.
  - D-08. DEMOLISH AND DISPOSE OF EXISTING WALL IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO, EXISTING ELECTRICAL FIXTURES, DATA FIXTURES, MECHANICAL FIXTURES, FIRE PROTECTION FIXTURES, CMU, STUDS, AND FASTENERS. SEE MECHANICAL AND ELECTRICAL PLANS FOR MORE INFORMATION.
  - D-09. THOROUGHLY CLEAN CERAMIC TILE FLOOR AND GROUT.
  - D-10. ABATE AND REMOVE EXISTING VCT FLOORING AND ADHESIVES. PREPARE FLOOR FOR NEW VCT TILES.
  - D-11. DEMOLISH AND DISPOSE OF EXISTING STAIR FINISH IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO, ALL ADHESIVES AND FASTENERS.
  - D-12. DEMOLISH AND DISPOSE OF EXISTING FROSTED GLASS SYSTEM. REFER TO SHEET A-651 - WINDOW TYPES AND A-653 - WINDOW DETAILS FOR MORE INFORMATION.
  - D-13. WITH CARE REMOVE EXISTING SCOREBOARD AND IN ITS ENTIRETY. CONTRACTOR TO PROVIDE OWNER FIRST REFUSAL BEFORE DISPOSAL.
  - D-14. WITH CARE REMOVE EXISTING GYM EQUIPMENT AND IN ITS ENTIRETY. CONTRACTOR TO PROVIDE OWNER FIRST REFUSAL BEFORE DISPOSAL.
  - D-15. REMOVE ALL LARGE OBJECTS FROM ROOF BEFORE PROCEEDING TO POWER WASH AND CLEAN THE MEMBRANE. THOROUGHLY CLEAN ROOF SURFACE OF DIRT, DEBRIS, AND CONTAMINATES AT AREA OF WORK. TEMPORARILY REMOVE PIPE SUPPORTS.
  - D-16. REMOVE EXISTING GROUT UP TO A 1/2" DEEP. CAREFUL NOT TO DAMAGE EXISTING BRICK. REMOVAL AREA TO NEVER EXCEED 5 FEET WIDE TO PRESERVE STRUCTURAL INTEGRITY OF THE WALL. FOR MORE INFORMATION SEE SHEETS A-200 - A-203.
  - D-17. WITH CARE, DEMOLISH AND DISPOSE OF EXISTING PLYWOOD SHEATHING IN ITS ENTIRETY. REFER TO SHEET A-651 - WINDOW TYPES AND A-653 - WINDOW DETAILS FOR MORE INFORMATION.
  - D-18. DEMOLISH AND DISPOSE OF EXISTING 4'-0" HIGH CHAIN-LINK FENCE IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO, ALL CONCRETE FOOTINGS, POSTS, GATES, FASTENERS AND CLAMPS.
  - D-19. CUT AND REMOVE EXISTING TREE IN ITS ENTIRETY, INCLUDING ALL ROOTS AND BRANCHES, FOR INSTALLATION OF NEW SPRINKLER SYSTEM.
  - D-20. TRIM TREE OF ALL DEAD BRANCHES AND ANY HANGING BELOW 10 FEET. PROPERLY DISPOSE OF ALL TRIMMINGS.
  - D-21. DE-THATCH AREA IN PREPARATION FOR NEW GRASS SEED.
  - D-22. WITH CARE REMOVE EXISTING MESH WINDOW PROTECTION. CLEAN AND REMOVE PAINT TO AN INTACT CONDITION. REFER TO SHEET A-651 - WINDOW TYPES AND A-653 - WINDOW DETAILS FOR MORE INFORMATION.
  - D-23. DEMOLISH EXISTING DESK IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO, ALL FASTENERS, HARDWARE, AND SIGNAGE.
  - D-24. DEMOLISH AND DISPOSE OF EXISTING WINDOW IN ITS ENTIRETY. REFER TO SHEET A-651 - WINDOW TYPES AND A-653 - WINDOW DETAILS FOR MORE INFORMATION.
  - D-25. DEMOLISH EXISTING DOOR TRIM / WOOD SURROUNDING. DOOR AND FRAME TO REMAIN.
  - D-26. DEMOLISH PLYWOOD SIGN IN ITS ENTIRETY INCLUDING ALL FASTENERS.
  - D-27. DEMOLISH EXISTING HM DOOR, INCLUDING TRANSOM AND HM FRAME. STEEL LINTEL ABOVE TO REMAIN.
  - D-28. DEMOLISH AND DISPOSE OF EXISTING 8'-0" HIGH CHAIN-LINK FENCE AND GATE IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO, ALL CONCRETE FOOTINGS, POSTS, GATES, FASTENERS AND CLAMPS.
  - D-29. REMOVE EXISTING STEEL STAIR NOSINGS.

- GENERAL NOTES**
- CONTRACTOR TO TEMPORARILY MOVE AND REINSTALL BARRIER SYSTEM AT ENTIRE PERIMETER OF ROOF EDGE TO ACCESS WORK AREAS. CONTRACTOR TO MAINTAIN A SAFE WORK AREA AND FALL PROTECTION DURING THE MASONRY SCOPE OF WORK.



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ESTABLISHED 1988

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DATE OF SIGNATURE: \_\_\_\_\_  
DATE OF REGISTRATION EXPIRATION: \_\_\_\_\_  
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CITY OF PROVIDENCE  
DEPARTMENT OF PUBLIC PROPERTIES  
BUILDING RENOVATIONS  
AT THE  
ELMWOOD COMMUNITY CENTER  
155 NIAGARA STREET,  
PROVIDENCE, RI 02907

PROJECT

REVISIONS		
MARK	DESCRIPTION	DATE

SHEET TITLE

EXTERIOR DEMOLITION ELEVATIONS

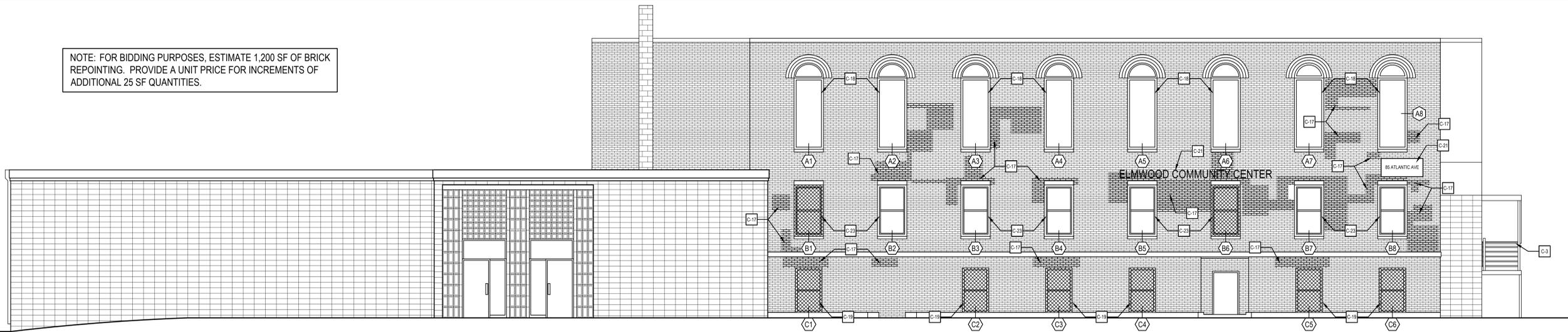
CONSTRUCTION DOCUMENTATION  
SEPTEMBER 16, 2021

DRAWN	CHKD	PROJECT NO.
BS	PC	20057

SHEET NO.

**A-201**

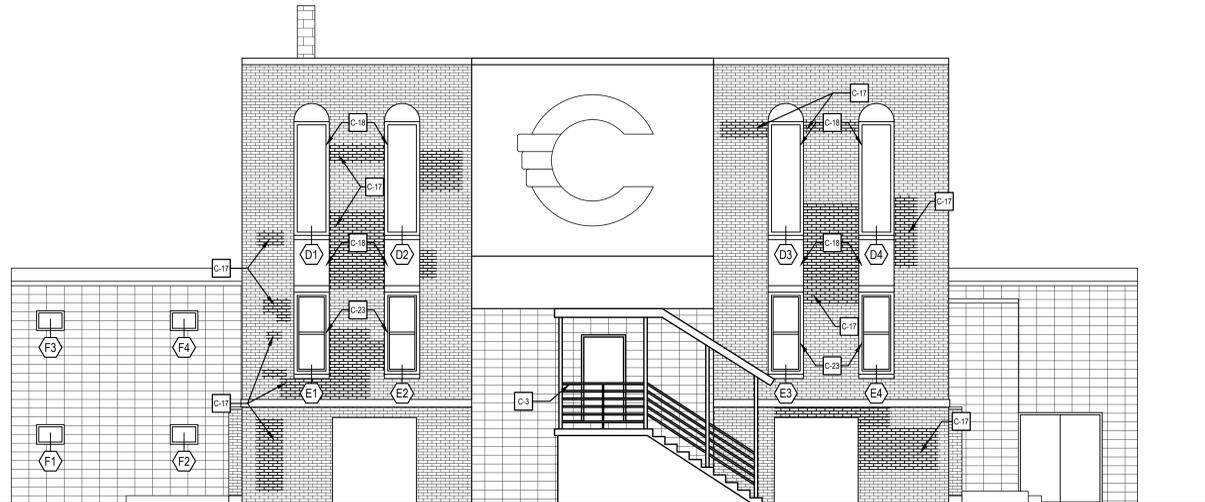
NOTE: FOR BIDDING PURPOSES, ESTIMATE 1,200 SF OF BRICK REPOINTING. PROVIDE A UNIT PRICE FOR INCREMENTS OF ADDITIONAL 25 SF QUANTITIES.



NOTE: SEE GENERAL CONSTRUCTION NOTES FOR COMPLETE SCOPE OF WORK

### 1 EXTERIOR CONSTRUCTION ELEVATION

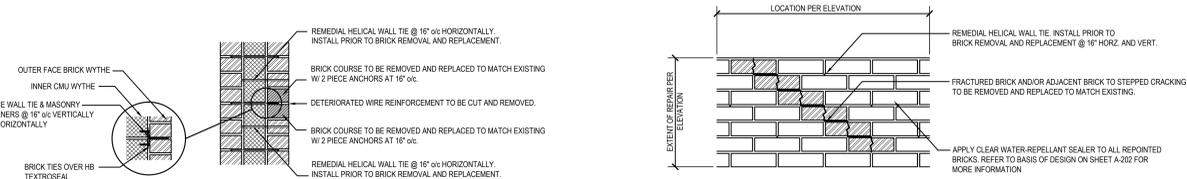
1 A-202 SCALE: 3/16" = 1'-0"



NOTE: WALLS CONTAINING MURALS ON CMU BLOCK TO REMAIN AS EXISTING. ALL CMU, CONCRETE PANELS, TRIM AND SOFFITS WITHOUT MURALS TO BE REPAIRED AND REPAINTED. PREPARE ALL SURFACES FOR REPOINTING. REMOVE PEELING PAINT ON WALLS, TRIM, AND SOFFIT PRIOR TO REPOINTING.

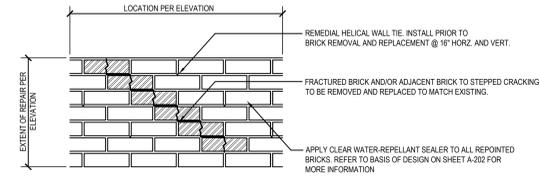
### 2 EXTERIOR CONSTRUCTION ELEVATION

2 A-202 SCALE: 3/16" = 1'-0"



### 3 TYPICAL RE-POINTING SECTION

3 A-202 SCALE: 1" = 1'-0"



### 4 TYPICAL RE-POINTING ELEVATION DETAIL

4 A-202 SCALE: 1" = 1'-0"

GENERAL MASONRY CONSTRUCTION NOTES	MASONRY GENERAL NOTES FOR REPOINTING									
<p>REMOVE EXISTING LOOSE MORTAR MATERIAL FROM DETERIORATING JOINT. CLEAN/GRIND AND PREPARE HORIZONTAL AND/OR VERTICAL JOINT FOR REPOINTING ACCORDING TO SPECIFICATIONS.</p> <p>SAW CUT MORTAR JOINTS AND REMOVE EXISTING WYTHE OF CRACKED BRICK. FURNISH AND INSTALL NEW BRICK VENEER AND MORTAR TO MATCH EXISTING WITH TWO (2) PIECE BRICK TIES AT 16" ON HORIZONTAL AND VERTICALLY ACCORDING TO DETAILS AND SPECIFICATIONS.</p> <p>POWER WASH AND REMOVE, THROUGH ABRASIVE BRUSH SCRUBBING, ALL EFFLORESCENCE WITH A MURIATIC ACID SOLUTION. PROTECT ALL ADJACENT SURFACES INCLUDING, BUT NOT LIMITED TO, ROOF SYSTEMS, WINDOW FRAMES AND GLAZING, GROUND COVERING, TREES, MECHANICAL EQUIPMENT, AND WALL MOUNTED DEVICES. FURNISH AND INSTALL A CLEAR WATERPROOFING SEALER PER SPECIFICATIONS TO ALL EXTERIOR MASONRY AND CONCRETE WALL SURFACES. SEE BASIS OF DESIGN ON A-202 &amp; A-203 FOR MORE INFORMATION.</p>	<p><b>JOINT PREPARATION</b></p> <p>ALL MORTAR IN THE WORK AREA SHALL BE CUT BACK TO A DEPTH OF AT LEAST 1/2" 2 TIMES THE WIDTH OF THE JOINT OR TO SOUND MORTAR, WHICHEVER IS GREATER.</p> <p>CARE MUST BE TAKEN TO AVOID DAMAGE TO THE MASONRY UNITS AND TO PREVENT WIDENING OF JOINTS. BACK OF THE JOINT SHALL BE CUT SQUARE.</p> <p>REMOVE ANY SEALANTS, TAR OR OTHER NON-MORTAR JOINT FILLER. REMOVE ALL TRACE OF SEALANT, TAR, ETC. TO ASSURE BOND. ALL LOOSE MATERIAL SHALL BE WASHED FROM THE JOINTS USING A HOSE. JOINTS SHALL BE WETTED BEFORE THE NEW MORTAR IS APPLIED.</p> <p><b>MORTAR PREPARATION AND MIXING</b></p> <p>THE LIME, CEMENT AND SAND SHOULD BE CAREFULLY MEASURED AND WELL MIXED TOGETHER DRY. ANY PIGMENT SHOULD BE ADDED IN MEASURED QUANTITIES AND WELL DISPERSED INTO THE OTHER MATERIALS. MORTAR SHALL BE MIXED IN SMALL BATCHES SO THAT IT WILL BE USED WITHIN ONE HOUR AFTER PREPARATION.</p> <p><b>MORTAR PROPORTIONS</b></p> <p>FOR REPOINTING AND REBUILDING/RESETTING SHALL BE ASTM C 270 TYPE N MORTAR BY PROPORTION SPECIFICATION.</p> <p><b>JOINT FILLING</b></p> <p>MORTAR SHOULD BE PACKED IN THIN LAYERS, NOT EXCEEDING 1/2". COMPACT AND ALLOW EACH LAYER TO BECOME THUMBPRINT HARD BEFORE INSTALLATION OF NEW LIFT. FILLED JOINTS SHOULD BE TOoled TO MATCH THE ORIGINAL JOINT PROFILE. NO MORTAR SHALL EXTEND ONTO THE FACE OF THE UNITS.</p> <p><b>DAMP CURE MORTAR</b></p> <p>MIST MORTAR FOR AT LEAST 4 HOURS AFTER TOOLING. IN WINDY OR HOT WEATHER, REVIEW CURE PROCEDURES WITH THE ARCHITECT TO ENSURE THAT MORTAR DOES NOT CURE EXCESSIVELY FAST.</p> <p><b>CLEAN UP EXCESS MORTAR</b></p> <p>AT ALL AREAS REPOINTED OR REBUILT, EXCESS MORTAR SHOULD BE REMOVED FROM THE SURFACE BEFORE IT SETS USING A BRISTLE BRUSH OR BY RUBBING THE SURFACE WITH BURLAP OR CLEAN SAND. DRIED MORTAR SHALL BE REMOVED WITH CHEMICAL MORTAR REMOVER.</p>									
BASIS OF DESIGN	GENERAL NOTES									
<p><b>BASIS OF DESIGN PRODUCT</b></p> <p>WATER BASED SLOXANE, CONCENTRATED (SITE DILUTED)</p> <p>DESIRED AMOUNT OF ACTIVE SOLIDS IS 15%</p> <p>DESIRED APPLICATION / COVERAGE IS 2 COATS</p> <p><b>APPLICATION</b></p> <p>WET ON WET APPLICATION</p> <p><b>METHOD</b></p> <p>APPLY A FLOOD COAT WITH A MINIMUM OF 4 TO 8 INCHES RUNDOWN. ALLOW FIRST APPLICATION TO PENETRATE SURFACE FOR 2-3 MINUTES. APPLY A SECOND COAT AGAIN USING 6 TO 8 INCH RUNDOWN. IF APPLICATION IS TO BE BY ROLLER EXTRA CARE SHOULD BE TAKEN TO ASSURE SUFFICIENT MATERIAL IS APPLIED TO SATURATE THE SURFACE THOROUGHLY. HEAVY RUNS OR DRIPS SHOULD BE BRUSHED OUT IF THEY DO NOT PENETRATE.</p> <p><b>EQUIPMENT</b></p> <p>LOW PRESSURE 50PSI MAXIMUM AIRLESS SPRAY.</p> <p><b>ACCEPTABLE PRODUCTS &amp; APPLICATION COVERAGE</b></p> <ol style="list-style-type: none"> <li>MANUFACTURER: DOW CORNING PRODUCT: 14184 WATER REPELLENT 1 GALLON CONCENTRATE 5 GALLON WATER 6 GALLONS OF MATERIAL WILL COVER 300 SQ. FT. AT 2 COAT APPLICATION SOLIDS 15%</li> <li>MANUFACTURER: HORMANN &amp; BARNARD, DIEDRICH TECHNOLOGIES PRODUCT: 300-C CONCRETE WATER BASE SLOXANE WATER REPELLENT 1 GALLON CONCENTRATE 7 GALLON WATER 8 GALLONS OF MATERIAL WILL COVER 400 SQ. FT. AT 2 COAT APPLICATION SOLIDS 15%</li> <li>MANUFACTURER: PROSSCO PRODUCT: SURE KLEAN WEATHER SEAL SLOXANE WB CONCENTRATE 1 GALLON CONCENTRATE 7 GALLON WATER 8 GALLONS OF MATERIAL WILL COVER 400 SQ. FT. AT 2 COAT APPLICATION SOLIDS 10% TO 15%</li> </ol> <p>END</p>	<p>CONTRACTOR TO TEMPORARILY MOVE AND REINSTALL BARRIER SYSTEM AT ENTIRE PERIMETER OF ROOF EDGE TO ACCESS WORK AREAS. CONTRACTOR TO MAINTAIN A SAFE WORK AREA AND FALL PROTECTION DURING THE MASONRY SCOPE OF WORK.</p>									
CONSTRUCTION KEY NOTES	GENERAL CONSTRUCTION NOTES									
<p>C-01 FURNISH AND INSTALL NEW 42" x 54" APEX WHEELCHAIR LIFT AND ALL ASSOCIATED HARDWARE IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO, ALL ELECTRICAL FIXTURES, WIRING, MECHANICAL DEVICES, FASTENERS, AND SEALANTS.</p> <p>C-02 (NOT IN USE)</p> <p>C-03 FURNISH AND INSTALL NEW ADA COMPLIANT RAILING.</p> <p>C-04 FURNISH AND INSTALL NEW PLUMBING FIXTURE. SEE PLUMBING PLANS AND TYPICAL MOUNTING HEIGHTS FOR MORE INFORMATION.</p> <p>C-05 FURNISH AND INSTALL NEW 16'-0" +/- LADDER. FASTEN TO EXISTING MASONRY WALL.</p> <p>C-06 FURNISH AND INSTALL NEW WALL CORNER GUARD.</p> <p>C-07 FURNISH AND INSTALL NEW HM FRAME WITH NEW 1-1/2 HOUR FIRE-RATED DOOR AND ASSOCIATED HARDWARE. SEE DOOR SCHEDULE FOR MORE INFORMATION. CONTRACTOR TO VERIFY ALL DIMENSION IN FIELD PRIOR TO FABRICATION.</p> <p>C-08 FURNISH AND INSTALL GYP. BD. AND 3 5/8" CFMF WALL. CONTRACTOR TO VERIFY WALL THICKNESS IN FIELD WHERE INFILL IS REQUIRED.</p> <p>C-09 (NOT IN USE)</p> <p>C-10 FURNISH AND INSTALL NEW FEC (FIRE EXTINGUISHER CABINET).</p> <p>C-11 FURNISH AND INSTALL NEW STAIR FINISH AND STEEL RISER.</p> <p>C-12 FURNISH AND INSTALL NEW FROSTED GLAZING SYSTEM. REFER TO SHEET A-651 - WINDOW TYPES AND A-653 - WINDOW DETAILS FOR MORE INFORMATION.</p> <p>C-13 FURNISH AND INSTALL NEW NEVCO SCOREBOARD - MODEL 2700. LOCATION TO MATCH EXISTING.</p> <p>C-14 PATCH DAMAGED WALL, CMU OR GYP. BD TO BE REPLACED IF NECESSARY.</p> <p>C-15 FURNISH AND INSTALL NEW 6' x 2' WALL PADDING.</p> <p>C-16 APPLY ELASTOMERIC FLUID ROOF COATING TO EXISTING MEMBRANE.</p> <p>C-17 REPOINT BRICK. REPOINTING AREA TO NEVER EXCEED 5 FEET WIDE TO PRESERVE STRUCTURAL INTEGRITY OF THE WALL. FOR MORE INFORMATION SEE SHEETS A-202 &amp; A-203.</p> <p>C-18 FURNISH AND INSTALL NEW 3/4" MARINE GRADE PLYWOOD SHEATHING. CONTRACTOR TO VERIFY ALL DIMENSION IN FIELD PRIOR TO FABRICATION. REFER TO SHEET A-651 - WINDOW TYPES AND A-653 - WINDOW DETAILS FOR MORE INFORMATION.</p> <p>C-19 FURNISH AND INSTALL NEW STORM WINDOW. REFER TO SHEET A-651 - WINDOW TYPES AND A-653 - WINDOW DETAILS FOR MORE INFORMATION.</p> <p>C-20 FURNISH AND INSTALL NEW CHAIN-LINK FENCE OR GATE. VERIFY DIMENSIONS IN FIELD PRIOR TO FABRICATION.</p> <p>C-21 FURNISH AND INSTALL NEW SIGNAGE. FOR MORE INFORMATION SEE SPECIFICATIONS.</p> <p>C-22 MILL AND OVERLAY ASPHALT WHERE SHOWN HATCHED.</p> <p>C-23 REFURBISH EXISTING WINDOW. REFER TO SHEET A-651 - WINDOW TYPES AND A-653 - WINDOW DETAILS FOR MORE INFORMATION.</p> <p>C-24 AREA TO BE SEEDED WITH NEW GRASS SEED.</p> <p>C-25 FURNISH AND INSTALL NEW 8'-0" HIGH CHAIN-LINK FENCE. VERIFY DIMENSIONS IN FIELD PRIOR TO FABRICATION.</p> <p>C-26 PROVIDE W8 x 10 ABOVE EXISTING STEEL FRAMING IN ATTIC SPACE TO BRACE TOP OF HSS 4 x 4 x 3/8 LIFT COLUMNS. BOLT TO EXISTING STRUCTURAL STEEL AND CANTILEVER TO COLUMN CONNECTION POINTS.</p>	<p>C1. UNLESS NOTED OTHERWISE, ALL DOORS, WALLS AND WINDOW FRAMES TO BE PAINTED PAINT IN ACCORDANCE WITH FINISH SCHEDULE. FOR MORE INFORMATION SEE SHEET A-102 &amp; A-700.</p> <p>C2. UNLESS NOTED OTHERWISE, FURNISH AND INSTALL NEW SUSPENDED ACOUSTIC CEILING SYSTEM, INCLUDING BUT NOT LIMITED TO, ASSOCIATED MECHANICAL DIFFUSERS/ RETURNS, 2x2 LED LIGHT FIXTURES, FIRE PREVENTION AND DETECTION DEVICES, INFORMATION TECHNOLOGY DEVICES, AND SECURITY DEVICES. SEE ELECTRICAL AND MECHANICAL PLANS FOR MORE INFORMATION. EXISTING 2 x 4 CEILING GRID TO BE PAINTED WHITE.</p> <p>C3. UNLESS NOTED OTHERWISE, FURNISH AND INSTALL NEW LIGHT FIXTURES. FOR MORE INFORMATION, SEE ELECTRICAL PLAN.</p> <p>C4. UNLESS NOTED OTHERWISE, FURNISH AND INSTALL NEW FINISH FLOOR, INCLUDING WALL BASE. SEE FINISH FLOOR PLAN FOR MORE INFORMATION.</p> <p>C5. UNLESS NOTED OTHERWISE, FURNISH AND INSTALL NEW DOORS. SEE DOOR SCHEDULE ON A-652 FOR MORE INFORMATION.</p>									
<p><b>REVISIONS</b></p> <table border="1"> <thead> <tr> <th>MARK</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>A-203</td> <td></td> </tr> <tr> <td>2</td> <td>A-203</td> <td></td> </tr> </tbody> </table>		MARK	DESCRIPTION	DATE	1	A-203		2	A-203	
MARK	DESCRIPTION	DATE								
1	A-203									
2	A-203									
<p><b>KEY PLAN</b></p>										

REVISIONS

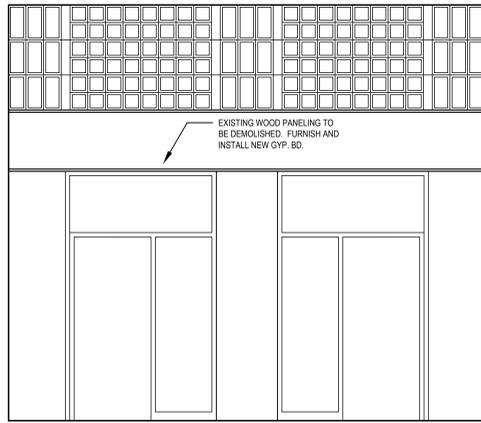
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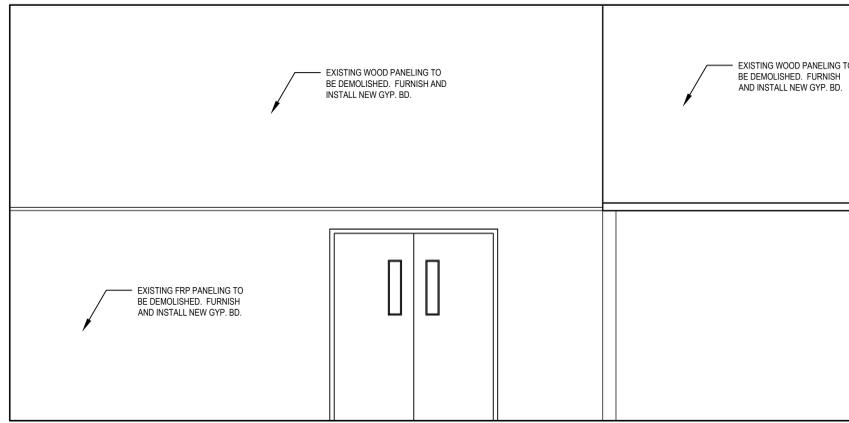




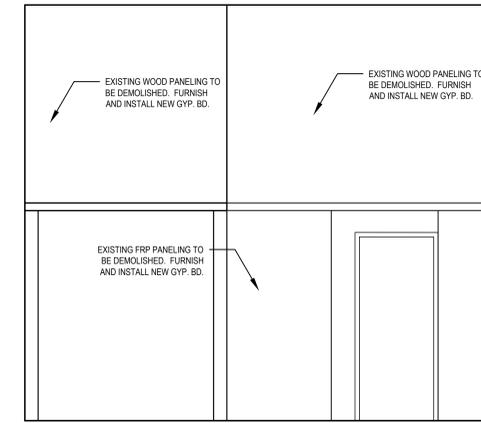




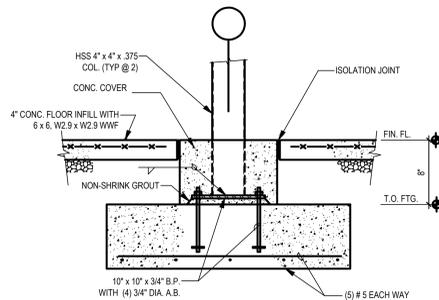
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A-501 SCALE: 3/8" = 1'-0"



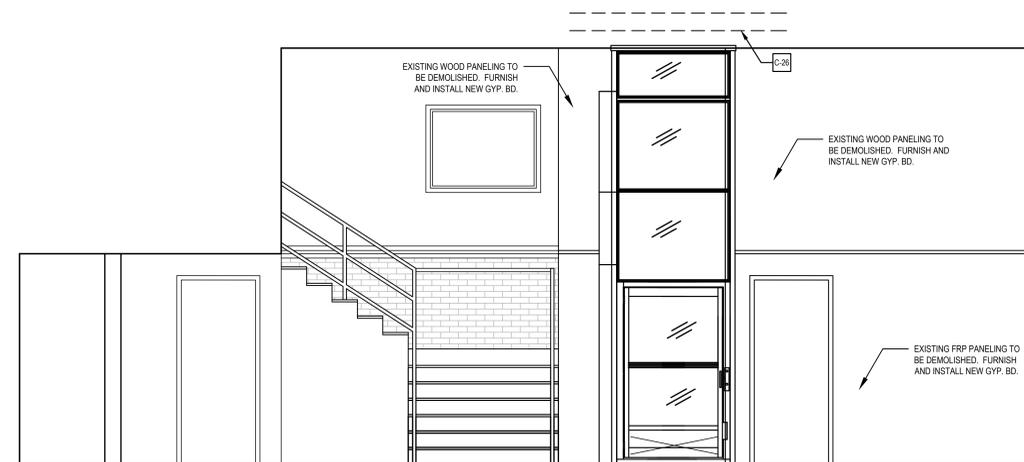
2 LOBBY INTERIOR ELEVATION  
A-501 SCALE: 3/8" = 1'-0"



1 LOBBY INTERIOR ELEVATION  
A-501 SCALE: 3/8" = 1'-0"

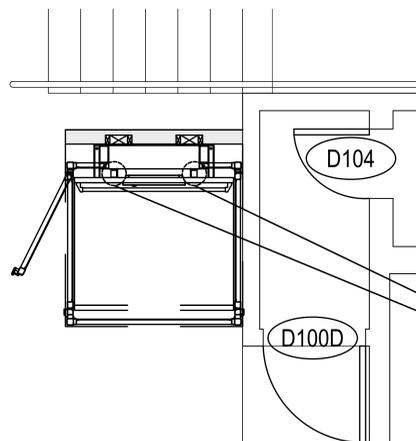


4 COLUMN FOOTING DETAIL  
A-501 NOT TO SCALE



4 LOBBY INTERIOR ELEVATION  
A-501 SCALE: 3/8" = 1'-0"

NOTE: SEE GENERAL DEMOLITION AND CONSTRUCTION NOTES FOR COMPLETE SCOPE OF WORK



4 LIFT PLAN  
A-501 SCALE: 1/2" = 1'-0"

CONSTRUCTION KEY NOTES	GENERAL DEMOLITION NOTES
C-01 FURNISH AND INSTALL NEW 42" x 54" APEX WHEELCHAIR LIFT AND ALL ASSOCIATED HARDWARE IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO, ALL ELECTRICAL FIXTURES, WIRING, MECHANICAL DEVICES, FASTENERS, AND SEALANTS.	D1. UNLESS NOTED OTHERWISE, ALL WALLS, WINDOW AND DOOR FRAMES TO BE CLEANED FOR REPAINTING. EXISTING PAINT TO BE REMOVED TO AN INTACT CONDITION.
C-02 (NOT IN USE)	D2. UNLESS NOTED OTHERWISE, DEMOLISH AND DISPOSE OF ALL EXISTING SUSPENDED ACOUSTICAL CEILING TILES, IN THEIR ENTIRETY, INCLUDING BUT NOT LIMITED TO, EXISTING ELECTRICAL FIXTURES AND DEVICES, MECHANICAL EQUIPMENT AND DEVICES, INFORMATION TECHNOLOGY EQUIPMENT AND DEVICES, FIRE PREVENTION AND DETECTION EQUIPMENT AND DEVICES, AND SECURITY DEVICES. EXISTING GRID TO REMAIN UNLESS REPLACEMENT IS REQD. CONTRACTOR TO COORDINATE WITH CONSTRUCTION PLANS AND MEP PLANS FOR MORE INFORMATION.
C-03 FURNISH AND INSTALL NEW ADA COMPLIANT RAILING.	D3. UNLESS NOTED OTHERWISE, DEMOLISH AND DISPOSE OF ALL EXISTING LIGHT FIXTURES IN THEIR ENTIRETY, INCLUDING BUT NOT LIMITED TO, WIRING BACK TO SOURCE, SWITCHES, FASTENERS, AND CABLES. SEE ELECTRICAL PLANS FOR MORE INFORMATION.
C-04 FURNISH AND INSTALL NEW PLUMBING FIXTURE. SEE PLUMBING PLANS AND TYPICAL MOUNTING HEIGHTS FOR MORE INFORMATION.	D4. UNLESS NOTED OTHERWISE, DEMOLISH AND DISPOSE OF ALL EXISTING FINISH FLOOR IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO, EXISTING WALL BASE, ADHESIVES, AND TRANSITIONS.
C-05 FURNISH AND INSTALL NEW 16'-0" LADDER. FASTEN TO EXISTING MASONRY WALL.	D5. UNLESS NOTED OTHERWISE, DEMOLISH AND DISPOSE OF ALL EXISTING DOORS. SEE DOOR SCHEDULE ON A-652 FOR EXTENT OF DEMOLITION.
C-06 FURNISH AND INSTALL NEW WALL CORNER GUARD.	
C-07 FURNISH AND INSTALL NEW HM FRAME WITH NEW 1-1/2 HOUR FIRE-RATED DOOR AND ASSOCIATED HARDWARE. SEE DOOR SCHEDULE FOR MORE INFORMATION. CONTRACTOR TO VERIFY ALL DIMENSION IN FIELD PRIOR TO FABRICATION.	
C-08 FURNISH AND INSTALL GYP. BD. AND 3/8" CMF WALL. CONTRACTOR TO VERIFY WALL THICKNESS IN FIELD WHERE INFILL IS REQUIRED.	
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C-10 FURNISH AND INSTALL NEW FEC (FIRE EXTINGUISHER CABINET).	
C-11 FURNISH AND INSTALL NEW STAIR FINISH AND STEEL RISER.	
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	GENERAL DEMOLITION NOTES
	C1. UNLESS NOTED OTHERWISE, ALL DOORS, WALLS AND WINDOW FRAMES TO BE PAINTED. PAINT IN ACCORDANCE WITH FINISH SCHEDULE. FOR MORE INFORMATION SEE SHEET AC102 & A-700.
	C2. UNLESS NOTED OTHERWISE, FURNISH AND INSTALL NEW SUSPENDED ACOUSTIC CEILING SYSTEM, INCLUDING BUT NOT LIMITED TO, ASSOCIATED MECHANICAL DIFFUSERS / RETURNS, 2x2 LED LIGHT FIXTURES, FIRE PREVENTION AND DETECTION DEVICES, INFORMATION TECHNOLOGY DEVICES, AND SECURITY DEVICES. SEE ELECTRICAL AND MECHANICAL PLANS FOR MORE INFORMATION. EXISTING 2 x 4 CEILING GRID TO BE PAINTED WHITE.
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	C5. UNLESS NOTED OTHERWISE, FURNISH AND INSTALL NEW DOORS. SEE DOOR SCHEDULE FOR MORE INFORMATION.
	GENERAL CONSTRUCTION NOTES

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REVISIONS		
MARK	DESCRIPTION	DATE

SHEET TITLE  
**ENLARGED LOBBY INTERIOR ELEVATIONS**

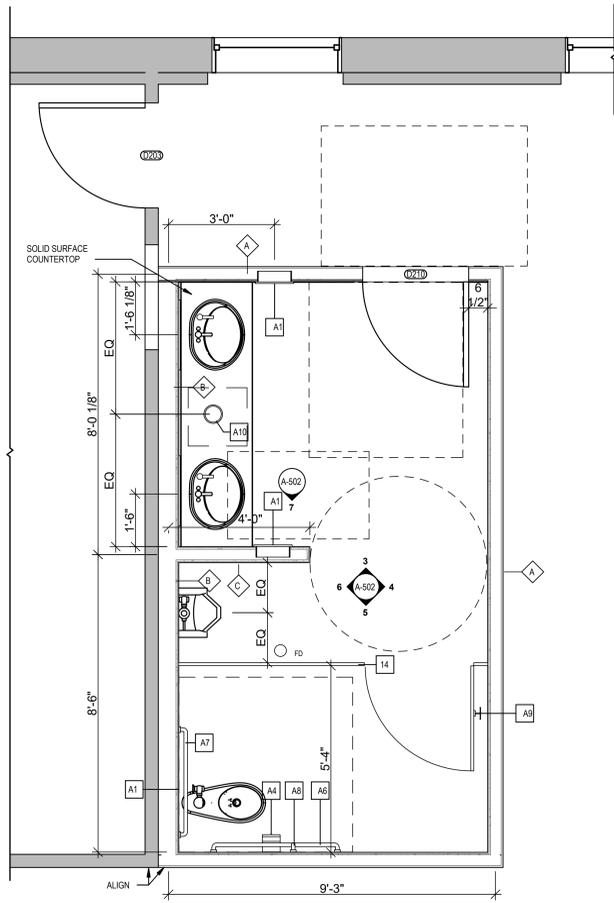
CONSTRUCTION DOCUMENTATION  
SEPTEMBER 16, 2021

DRAWN	CHKD	PROJECT NO.
BMS	RJC	20057
SHEET NO.		
<b>A-501</b>		

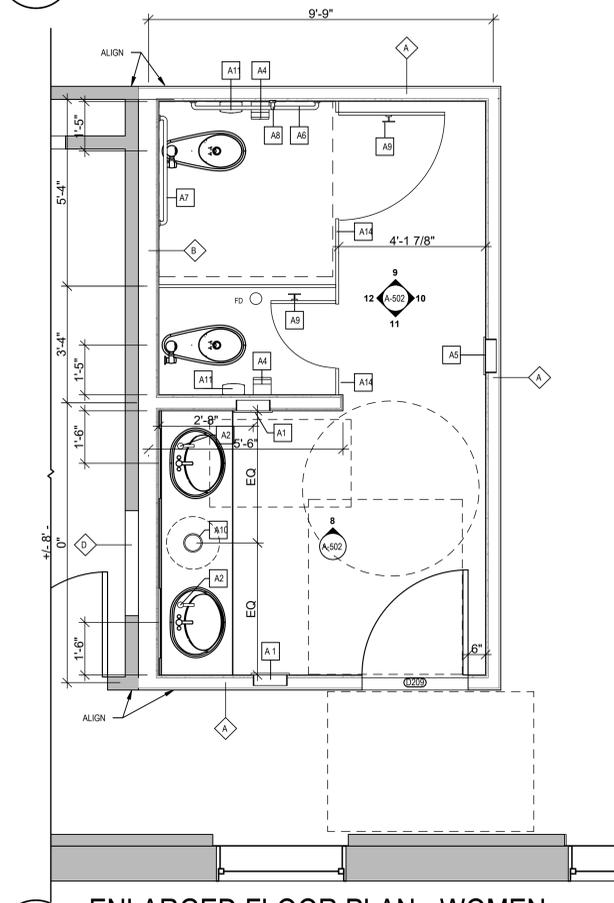
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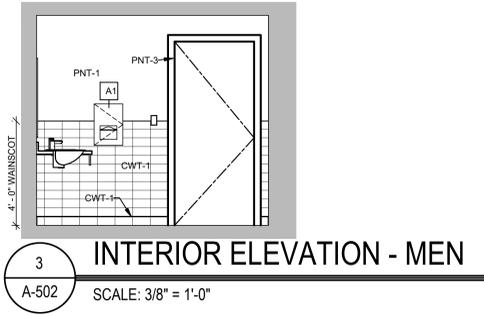
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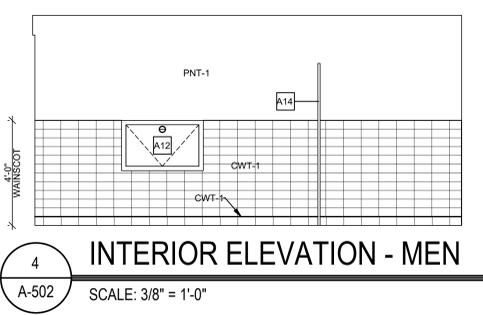
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A-502 SCALE: 1/2" = 1'-0"



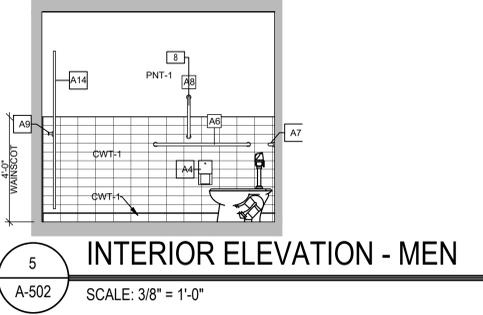
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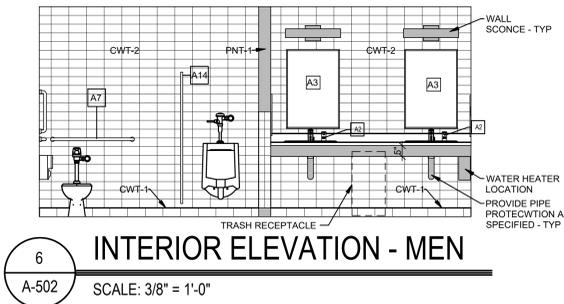
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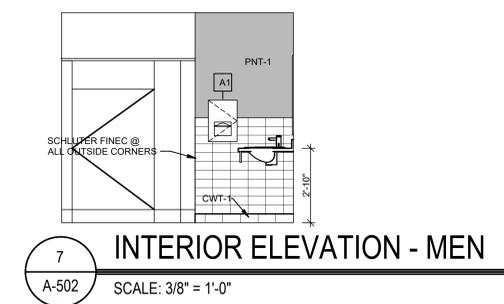
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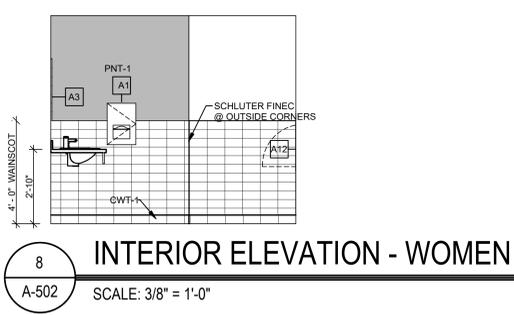
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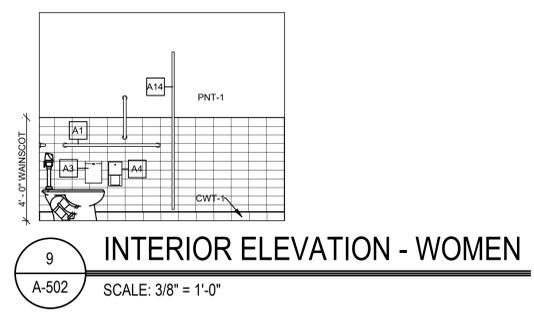
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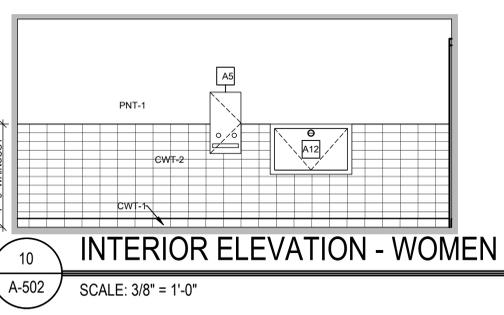
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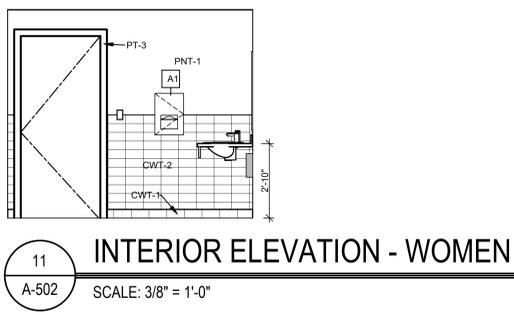
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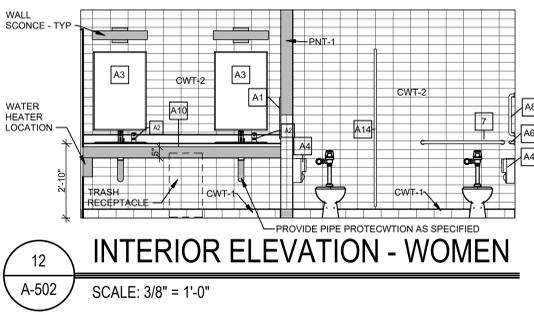
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A-502 SCALE: 3/8" = 1'-0"



**10 INTERIOR ELEVATION - WOMEN**  
A-502 SCALE: 3/8" = 1'-0"



**11 INTERIOR ELEVATION - WOMEN**  
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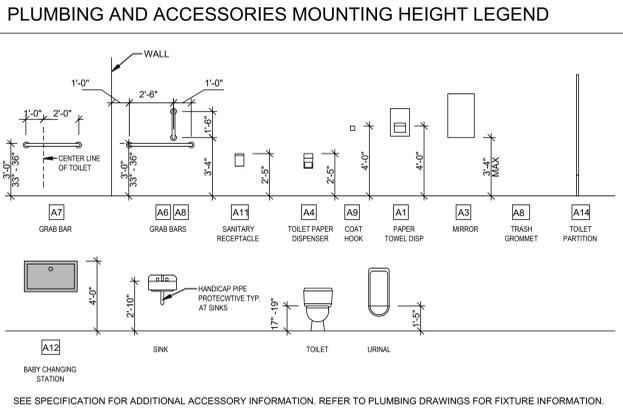


**12 INTERIOR ELEVATION - WOMEN**  
A-502 SCALE: 3/8" = 1'-0"

TOILET ACCESSORY SCHEDULE	
TAG	DESCRIPTION
1	ADA COMPLIANT PAPER TOWEL DISPENSER - BOBRICK B-35903
2	SOAP DISPENSER - MOEN M-POWER FOAM SOAP DISPENSER 8550
3	S.S. CHANNEL FRAME 24"x36" MIRROR - BOBRICK B-1658 24" X 36"
4	TOILET TISSUE DISPENSER - BOBRICK B-4088
5	SANITARY NAPKIN VENDOR (ADULT WOMENS AND UNISEX T.L.T. RM. ONLY) - BOBRICK B-37063C
6	1 1/2" O.D. 42" GRAB BAR - BOBRICK B-8006-42
7	1 1/2" O.D. 36" GRAB BAR - BOBRICK B-8006-36
8	1 1/2" O.D. 18" VERTICAL GRAB BAR - BOBRICK B-8006-18
9	COAT HOOK - BOBRICK 670
10	CIRCULAR WASTE CHUTE RECESSED - BOBRICK B-629
11	SURFACE MOUNTED SANITARY NAPKIN DISPOSAL - BOBRICK B-234
12	BABY CHANGING UNIT - BOBRICK KB1000-095T WHITE GRANITE
13	FLOOR STANDING STAINLESS STEEL WASTE RECEPTACLE - BOBRICK B-2250
14	TOILET / URINAL PARTITION - SCRANTON PRODUCTS HINY HIDERS RE: FINISH SCHEDULE & SPECIFICATIONS

**GENERAL NOTES:**

- CONTRACTOR TO FURNISH & INSTALL WOOD BLOCKING FOR ALL ACCESSORIES PER MANUFACTURERS REQUIREMENTS.
- ALL DIMENSIONS ARE TAKEN FROM FINISH FLOOR.
- LAYOUT IS GENERIC IN NATURE. REFER TO SPECIFIC FLOOR PLAN FOR INDIVIDUAL LAYOUT.



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MARK	DESCRIPTION	DATE

**ENLARGED BATHROOM PLANS & INTERIOR ELEVATIONS**  
 CONSTRUCTION DOCUMENTATION  
 SEPTEMBER 16, 2021  
 DRAWN: BMS    CHKD: RJC    PROJECT NO.: 20057  
 SHEET NO.: **A-502**

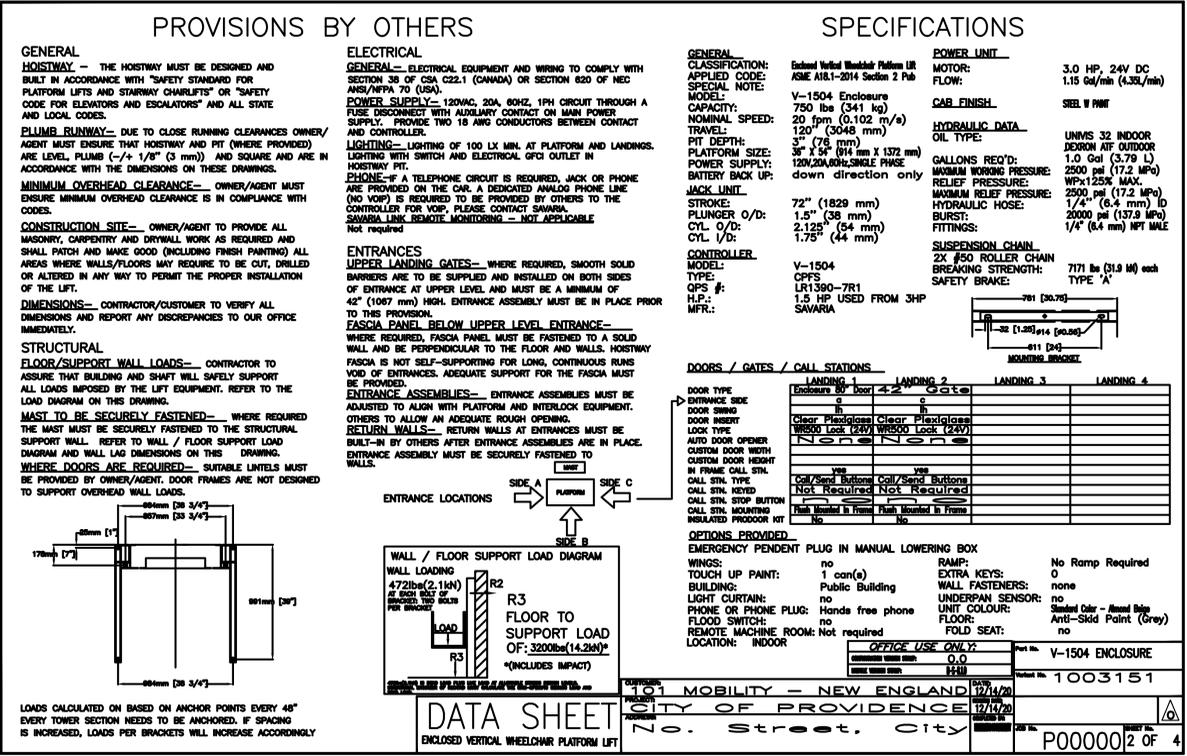
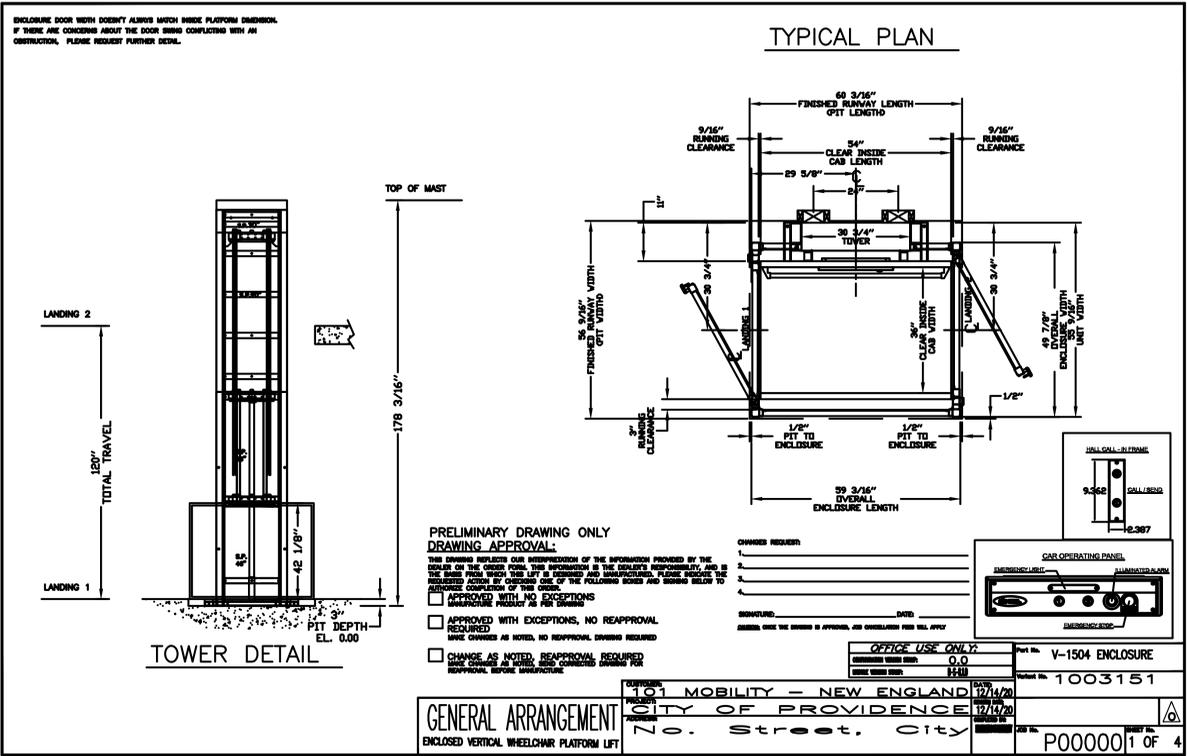
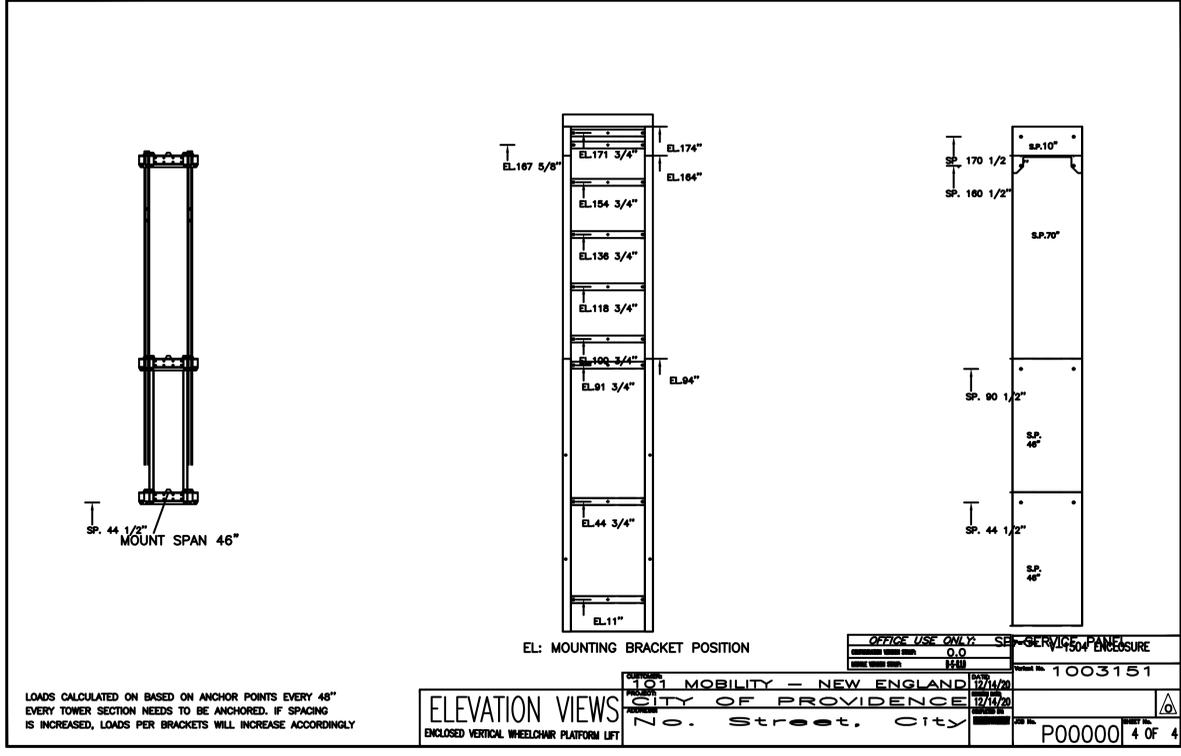
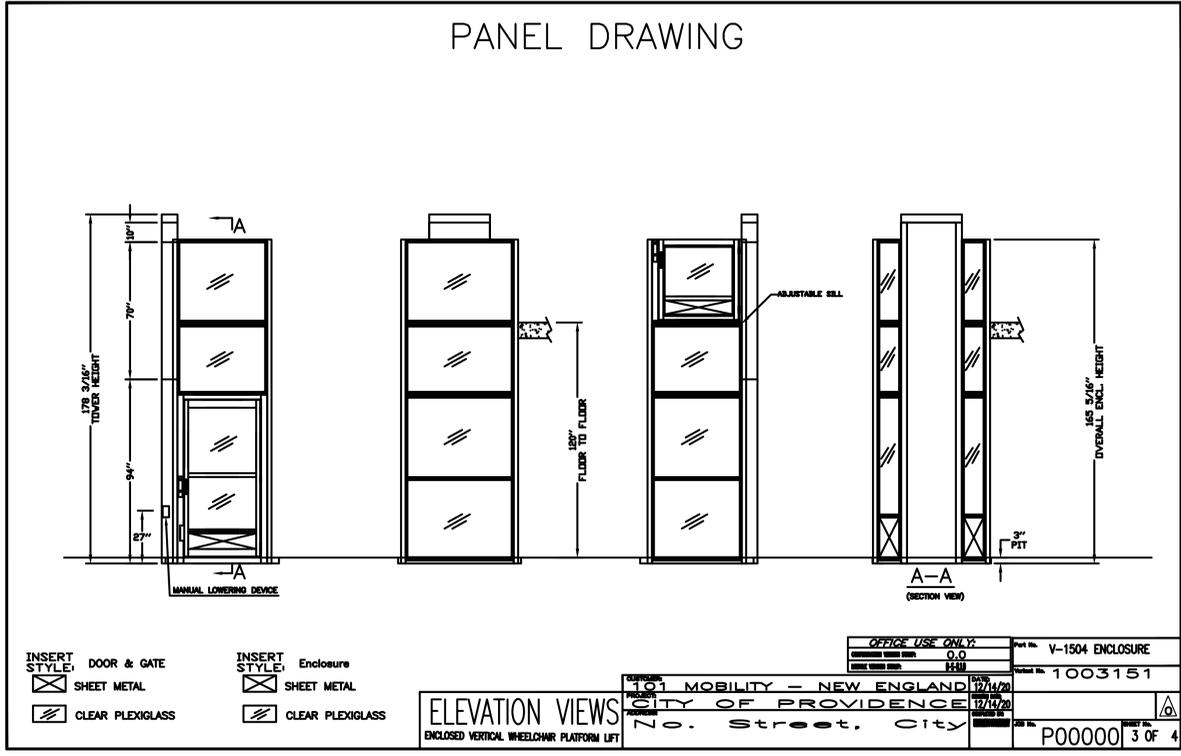








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CITY OF PROVIDENCE  
DEPARTMENT OF PUBLIC PROPERTIES  
BUILDING RENOVATIONS  
AT THE  
ELMWOOD COMMUNITY CENTER  
155 NIAGARA STREET,  
PROVIDENCE, RI 02907

**REVISIONS**

MARK	DESCRIPTION	DATE

SHEET TITLE

LIFT DETAILS

**CONSTRUCTION DOCUMENTATION**  
SEPTEMBER 16, 2021

DRAWN: AM	CHECK: RJC	PROJECT NO.: 20057
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SHEET NO. **A-654**

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Number	Name	Sign Type	Floor Finish	Base Finish	North Wall	East Wall	South Wall	West Wall	Door Frame	MSC	Ceiling Finish	Notes	Number
FIRST FLOOR													
100	LOBBY		LVT	RB	PNT-1	PNT-1	PNT-1	PNT-1	PNT-3		ACT-1		100
100A	MAIN STAIR		RUB	RB	PNT-1	PNT-1	PNT-1	PNT-1	PNT-3		ACT-1		100A
100B	ENTRY		EM	RB	PNT-1	PNT-1	PNT-1	PNT-1	PNT-3		ACT-1		100B
100C	CHAR LIFT		LVT										100C
101	GYMNASIUM		WOOD	VNB	PNT-1	PNT-1	PNT-1	PNT-1	PNT-3		PNT-4		101
101A	GYM - STORAGE		VCT	EXISTING	PNT-1	PNT-1	PNT-1	PNT-1	PNT-3		PNT-4		101A
102	MENS ROOM		EXISTING - CFT	EXISTING	EXISTING - FRP	EXISTING - FRP	EXISTING - FRP	EXISTING - FRP	PNT-3	TPART	ACT-1	CLEAN WALLS & FLOOR, SEAL GROUT	102
103	WOMEN'S ROOM		EXISTING - CFT	EXISTING	EXISTING - FRP	EXISTING - FRP	EXISTING - FRP	EXISTING - FRP	PNT-3	TPART	ACT-1	CLEAN WALLS & FLOOR, SEAL GROUT	103
104	UTILITY CLOSET		VCT	EXISTING	PNT-1	PNT-1	PNT-1	PNT-1	PNT-3		EXPOSED		104
105	KITCHEN		VCT	RB	EXISTING - FRP	EXISTING - FRP	EXISTING - FRP	EXISTING - FRP	PNT-3		ACT-3	WINDOW SHADE	105
105A	KITCHEN STORAGE		VCT	RB	EXISTING - FRP	EXISTING - FRP	EXISTING - FRP	EXISTING - FRP	PNT-3		ACT-3		105A
106	CORRIDOR		VCT	RB	PNT-1	PNT-1	PNT-1	PNT-1	PNT-3		ACT-1		106
107	MECHANICAL ROOM		VCT	EXISTING	PNT-1	PNT-1	PNT-1	PNT-1	PNT-3		EXPOSED		107
108	STORAGE		VCT	EXISTING	PNT-1	PNT-1	PNT-1	PNT-1	PNT-3		ACT-1	WINDOW SHADE	108
109	STORAGE		VCT	EXISTING	PNT-1	PNT-1	PNT-1	PNT-1	PNT-3		ACT-1		109
110	OFFICE		VCT	RB	PNT-1	PNT-1	PNT-1	PNT-1	PNT-3		ACT-1	WINDOW SHADE	110
111	OFFICE		VCT	RB	PNT-1	PNT-1	PNT-1	PNT-1	PNT-3		ACT-1	WINDOW SHADE	111
112	COMMUNITY ROOM - LARGE		VCT	RB	PNT-2	PNT-2	PNT-2	PNT-2	PNT-3		ACT-1		112
112A	STORAGE		VCT	EXISTING	PNT-1	PNT-1	PNT-1	PNT-1	PNT-3		ACT-1		112A
113	STORAGE		VCT	EXISTING	PNT-1	PNT-1	PNT-1	PNT-1	PNT-3		ACT-1	WINDOW SHADE	113
114	OFFICE		VCT	RB	PNT-1	PNT-1	PNT-1	PNT-1	PNT-3		ACT-1	WINDOW SHADE	114
115	COMPUTER		VCT	EXISTING	PNT-1	PNT-1	PNT-1	PNT-1	PNT-3		ACT-1	WINDOW SHADE	115
116	COMMUNITY ROOM - MEDIUM		VCT	RB	PNT-2	PNT-2	PNT-2	PNT-2	PNT-3		ACT-1		116
117	OFFICE		VCT	RB	PNT-1	PNT-1	PNT-1	PNT-1	PNT-3		ACT-1	WINDOW SHADE	117
117A	CLOSET		VCT	EXISTING	PNT-1	PNT-1	PNT-1	PNT-1	PNT-3		ACT-1		117A
117B	CLOSET		VCT	EXISTING	PNT-1	PNT-1	PNT-1	PNT-1	PNT-3		ACT-1		117B
118	WOMEN'S ROOM		VCT	EXISTING	EXISTING - FRP	EXISTING - FRP	EXISTING - FRP	EXISTING - FRP	PNT-3	TPART	ACT-1	WINDOW SHADE	118
119	MENS ROOM		VCT	EXISTING	EXISTING - FRP	EXISTING - FRP	EXISTING - FRP	EXISTING - FRP	PNT-3	TPART	ACT-1		119
SECOND FLOOR													
200													
201	COMMUNITY ROOM		LVT	RB	PNT-2	PNT-2	PNT-2	PNT-2	PNT-3		ACT-1	WINDOW SHADE	201
202	SOCIAL HALL		LVT	PNT-3	PNT-1	PNT-1	PNT-1	PNT-1	PNT-3		ACT-1, ACT-2, LCT	WINDOW SHADE	202
203	COMMUNITY ROOM		VCT	RB	PNT-2	PNT-2	PNT-2	PNT-2	PNT-3		ACT-1	WINDOW SHADE	203
204	COMMUNITY ROOM		VCT	RB	PNT-2	PNT-2	PNT-2	PNT-2	PNT-3		ACT-1		204
205	OFFICE		VCT	RB	PNT-1	PNT-1	PNT-1	PNT-1	PNT-3		ACT-1		205
206	STORAGE		EXISTING - CFT	EXISTING	EXISTING - FRP	EXISTING - FRP	EXISTING - FRP	EXISTING - FRP	PNT-3		ACT-1		206
207	STORAGE		EXISTING - CFT	EXISTING	EXISTING - FRP	EXISTING - FRP	EXISTING - FRP	EXISTING - FRP	PNT-3		ACT-1		207
208	STORAGE		VCT	RB	PNT-1	PNT-1	PNT-1	PNT-1	PNT-3		ACT-1		208
209	WOMEN'S ROOM		CFT	CWT	CWT/PNT-2	CWT/PNT-2	CWT/PNT-2	CWT/PNT-2	PNT-3	TPART, SS-1	ACT-1		209
210	MENS ROOM		CFT	CWT	CWT/PNT-2	CWT/PNT-2	CWT/PNT-2	CWT/PNT-2	PNT-3	TPART, SS-1	ACT-1		210
MATERIALS LEGEND													
ACT-1													
ACT-2	ACOUSTIC CEILING TILE 24 X 24				ARMSTRONG "MESA SECOND LOOK" 15/16" ANGLED REGULAR 24" X 24" PRODUCT NUMBER 681								
ACT-3	ACOUSTIC CEILING TILE - 24 X 48				ARMSTRONG "CLEAN ROOM VL" 15/16" LAY-IN TILE 24" X 48" PRODUCT NUMBER 870								
LCT	LIGHT COVE TRIM SYSTEM				ARMSTRONG "AXIOM LIGHT COVE ACOUSTICAL TO ACOUSTICAL TRIM TRANSITION - COLOR WHITE								
CFT	CERAMIC FLOOR TILE - 12X24				BEST TILE "RESIDENCE" 12 X 24 COLOR BROWN, LATICRETE EPOXY GROUT COLOR #66 CHESTNUT BROWN								
CWT	CERAMIC WALL TILE - 4 X 8				BEST TILE "LIENAR & METRO WHITE" 4 X 8 GLOSSY FIELD TILE AND 4 X 8 BULLNOSE TRIM - STACKED PATTERN, LATICRETE EPOXY GROUT COLOR #44 WHITE, SCHLUTER STAINLESS STEEL CORNER EDGE TRIM "FINC"								
EXISTING	EXISTING TO REMAIN				EXISTING MATERIAL TO BE CLEANED, REPAIRED, REFINISHED AS REQUIRED TO BE LIKE NEW CONDITION								
FRP	FIBERGLAS REINFORCED PANEL				EXISTING MATERIAL TO BE CLEANED, REPAIRED, REFINISHED AS REQUIRED TO BE LIKE NEW CONDITION								
LVT	LUXURY VINYL TILE				ARMSTRONG NATURAL CREATIONS WITH DIAMON 10 TECHNOLOGY PATTERN "MYSTIX" COLOR N820 NEVA LULLABY								
PNT	PAINT				PNT-1 - WALLS - SHERWIN WILLIAMS PROMAR 200 ZERO VOC INTERIOR LATEX EG-SHEL - COLOR SILVER TIPPED SAGE SW9642 PNT-2 - WALLS - SHERWIN WILLIAMS PROMAR 200 ZERO VOC INTERIOR LATEX EG-SHEL - COLOR TBD PNT-3 - DOOR FRAMES, TRIM, STAIR RISER - SHERWIN WILLIAMS PRO CLASSIC ACRYLIC SEMI GLOSS - SW7019 GAUNTLET GRAY								
					BRICK PAINTING - SHERWIN WILLIAMS SW PRO INDUSTRIAL PRE CATALYZED EPOXY (EG-SHEL) COLOR TBD								
					PRIMERS - GYPSUM - SHERWIN WILLIAMS 828W08000 PVA DRYWALL PRIMER AND SEALERS CEILING - SHERWIN WILLIAMS 828W08000 PVA DRYWALL PRIMER & SEALER TRIM / DOORS - SHERWIN WILLIAMS 851W0920 PREPRITE PROBLOCK INTERIOR / EXTERIOR LATEX PRIMER SEALER BRICK - SHERWIN WILLIAMS FIRST COAT SW EXTREME BOND PRIMER								
RUB	RUBBER TILE, TREAD, NOSING, RISER				ROPPE - TREAD #94 RAISED SQUARE DESIGN WITH ONE "L" SAFETY GRIP STRIP YELLOW AND ONE "D" GLOW STRIP TREAD "FIESTA SAFETY CORN" COLOR - TBD								
RB	RUBBER WALL BASE - 6"				TARKETT "BASEWORKS" THERMOSET RUBBER WALL BASE 6" COLOR 29 MOON ROCK								
SS	SOLID SURFACE COUNTER				WILSONART SOLID SURFACE 1/2" COLOR ARCTIC MELANGE #9070ML								
TPART	TOILET PARTITION				SCRANTON PRODUCTS - "HINY HIDER" FLOOR MOUNTED AND OVERHEAD BRACED, SHIPAP EDGE DOOR, STAINLESS STEEL CONTINUOUS BRACKET, 6" ALUMINUM STRIKE, ALUMINUM HEAD RAIL, STAINLESS STEEL LATCH, PLASTIC PILASTER SHOE, CONTINUOUS STAINLESS STEEL HELIX								
VNB	VENTED RUBBER WALL BASE - 6"												
VCT	VINYL COMPOSITION TILE				ARMSTRONG "MIGRATIONS 88T TILE WITH DIAMOND 10 TECHNOLOGY" COLOR TBD								
WOOD	WOOD GYM SPRING FLOORING				RE: SPECIFICATIONS FOR PRODUCT INFORMATION								
WS	WINDOW SHADE				MECHO SHADE "ECOVIEL SHEER" 3% OPEN COLOR 8755 CLAY								



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REVISIONS		
MARK	DESCRIPTION	DATE

SHEET TITLE

**INTERIOR ROOM FINISH SCHEDULE**

CONSTRUCTION DOCUMENTATION  
 SEPTEMBER 16, 2021

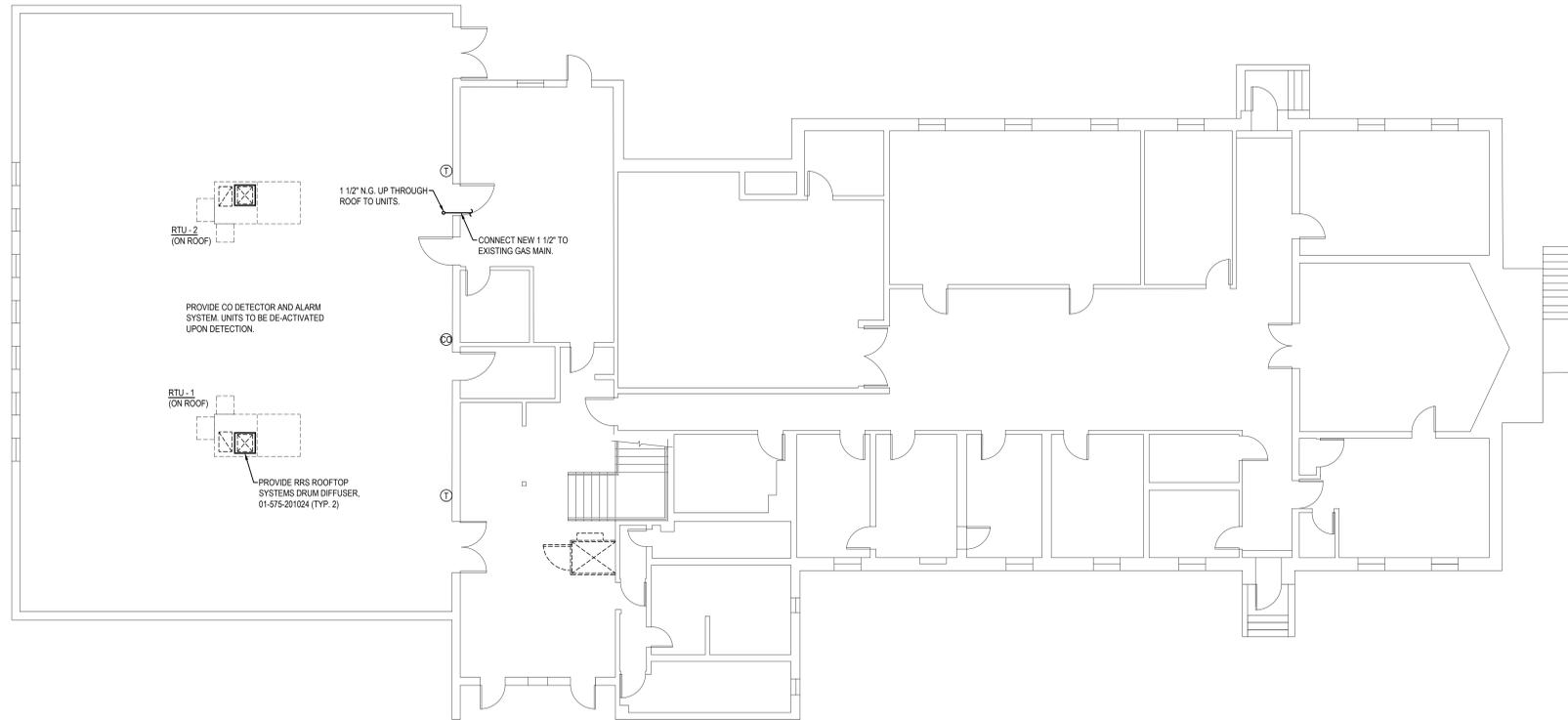
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BMS	RJC	20057
SHEET NO.		

**A-700**





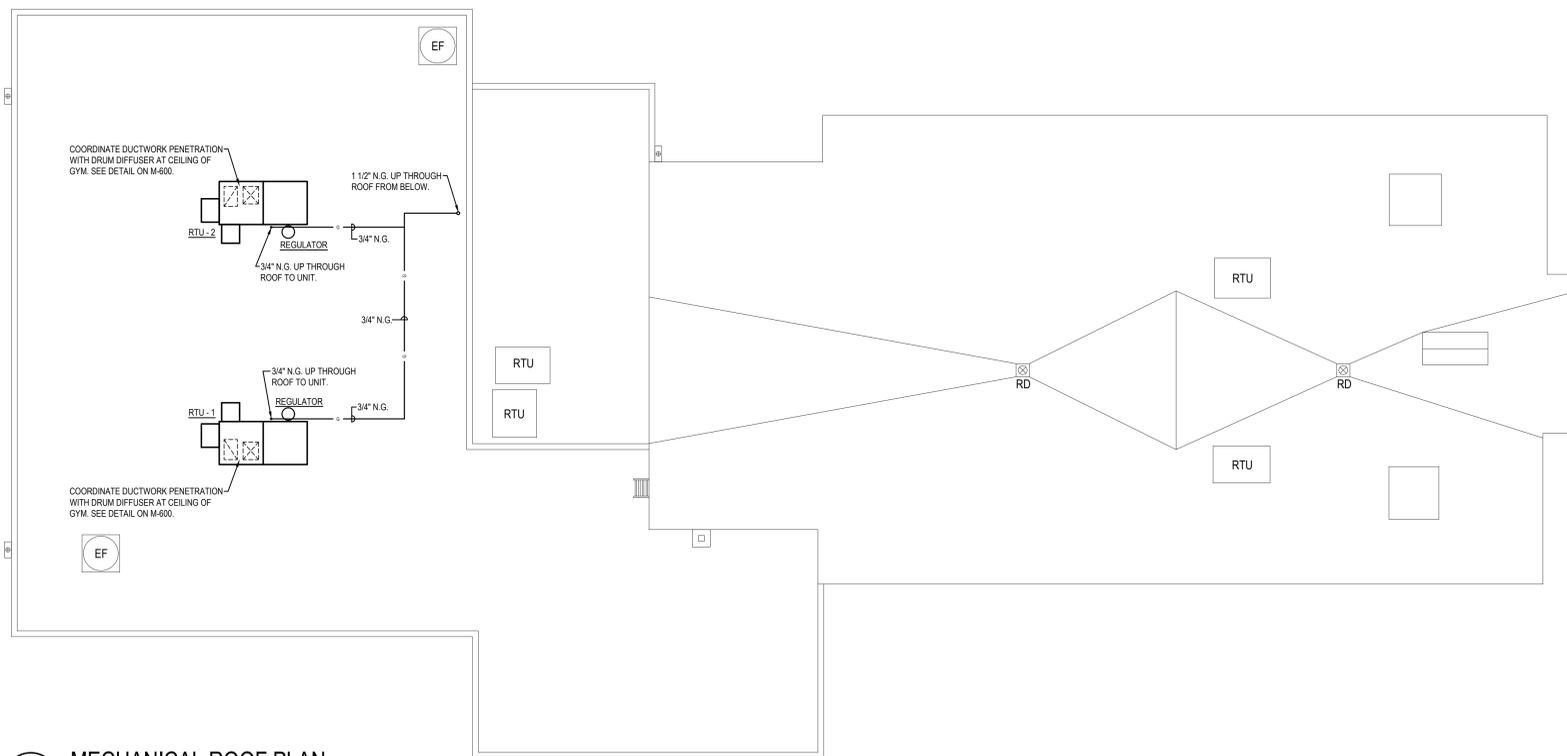
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**1**  
**MECHANICAL GYM PLAN**  
 M-101 SCALE: 1/8" = 1'-0"

Rooftop Air Handling Unit Schedule													DX Cooling Coil		Natural Gas Heating				INPUT / OUTPUT MBH		EWT		Remarks
Tag	CFM	Min O/A (CFM)	Ext. SP (in H2O)	Fan HP	Elec	EDB	EWS	LDB	LWB	Sens MBH	Total MBH	EER	IEER	EAT	LAT	MBH	MBH	EWT	EWT				
RTU-1, 2	3,400	500	1.00	3	208/3/60	79.1	66	57	56	60	106	13.1	21	93.4	90	120 / 96	120	120	120	JCI1PRO_0827N12R2B2G or approved equal.			

Notes: Provide factory roof curb, factory programmable thermostat with CO2 controls for outdoor air control, Entalphy-based economizer, single-point power connection, VFD control for fans, 3-stage cooling.



**2**  
**MECHANICAL ROOF PLAN**  
 M-101 SCALE: 1/8" = 1'-0"



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MECHANICAL FIRST FLOOR PLAN

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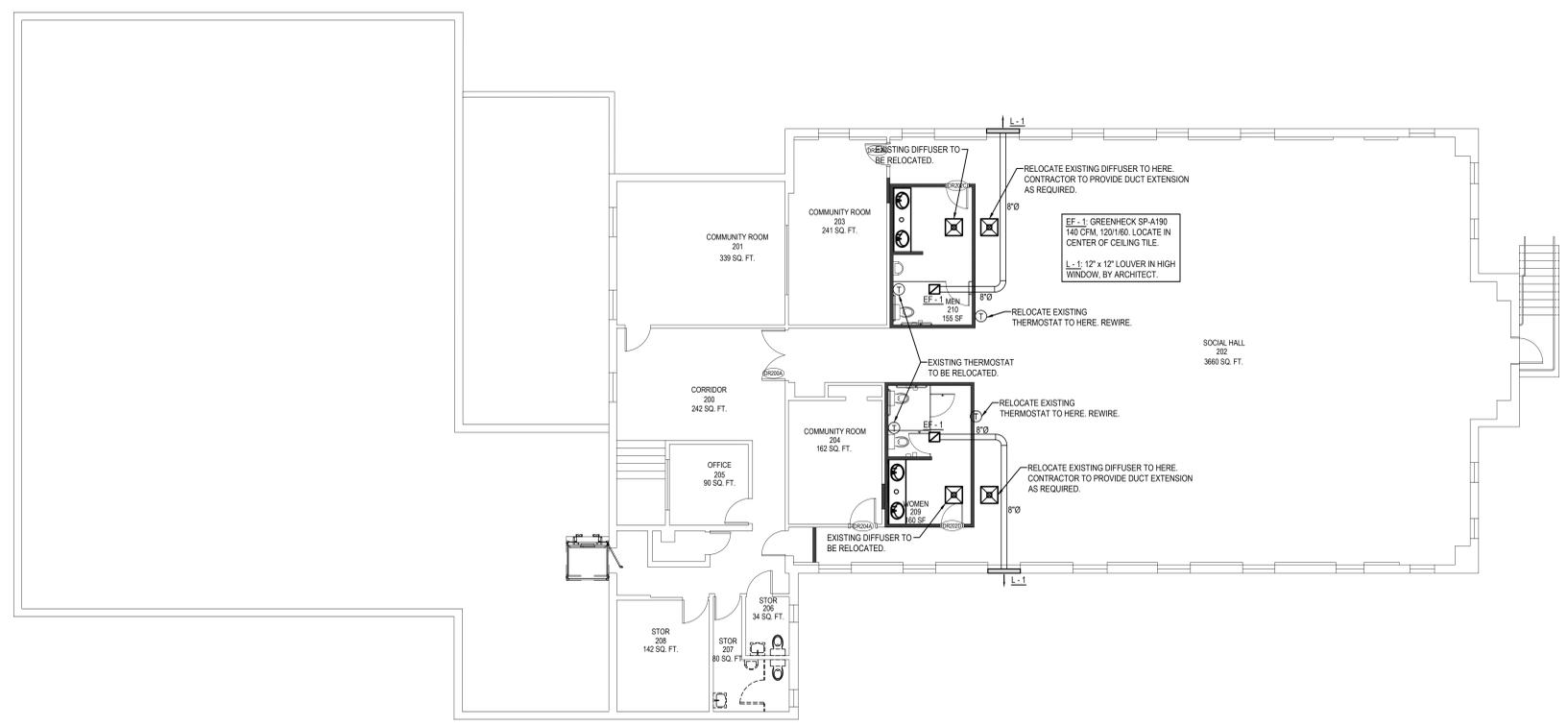
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M-101

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**1** MECHANICAL SECOND FLOOR PLAN  
 M-102 SCALE: 1/8" = 1'-0"

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MECHANICAL SECOND FLOOR PLAN

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SEPTEMBER 16, 2021

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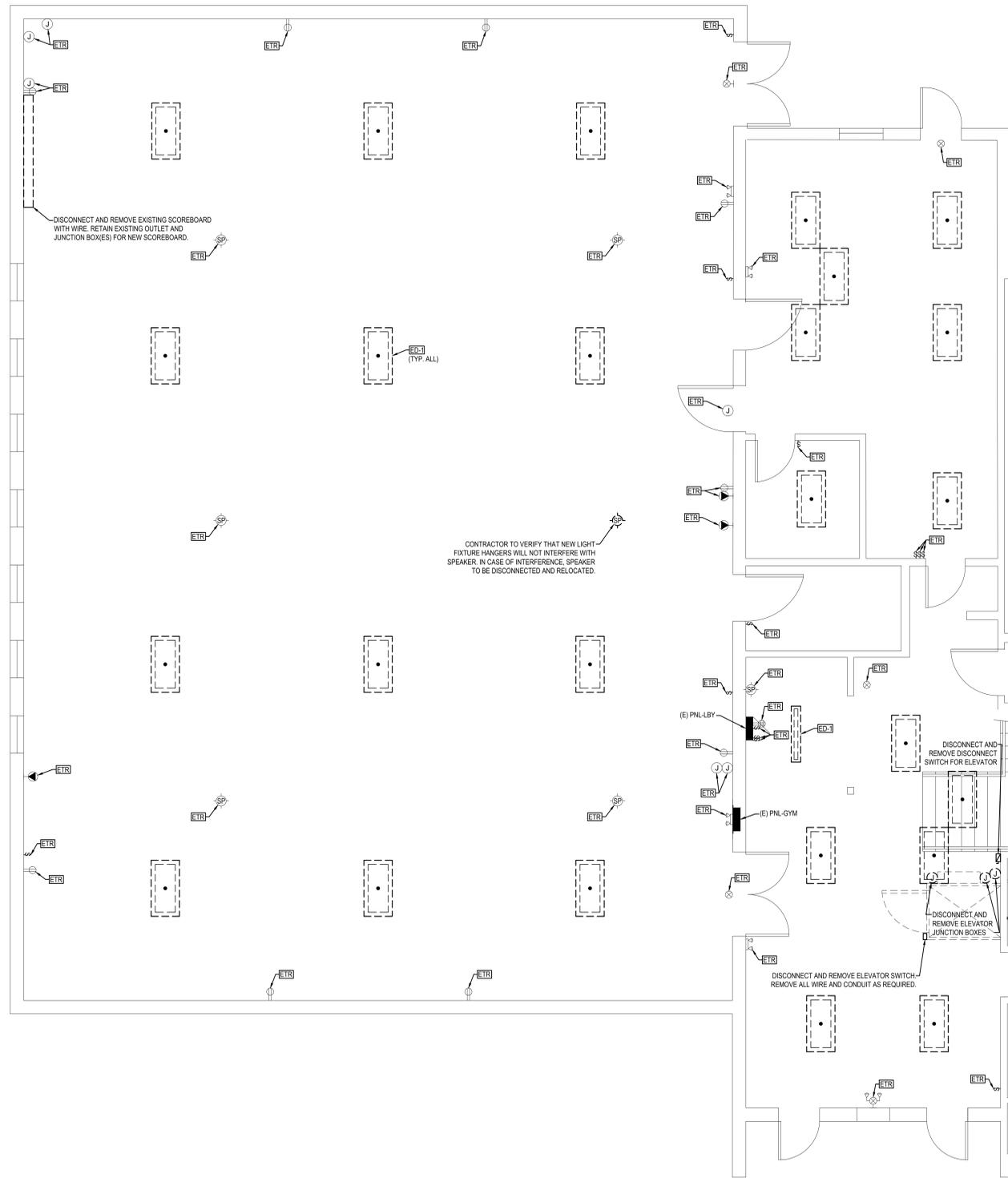
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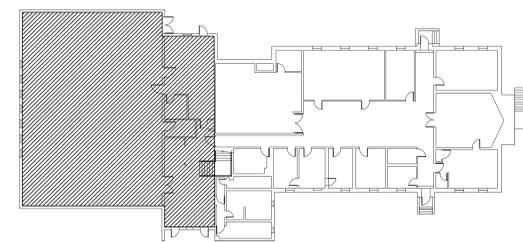
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**1**  
 ED101A ELECTRICAL FIRST FLOOR DEMOLITION PLAN - WEST  
 SCALE: 1/4" = 1'-0"



**ELECTRICAL DEMOLITION NOTES:**  
 [ETR] EXISTING TO REMAIN.  
 [ED-1] DISCONNECT AND REMOVE ALL LIGHT FIXTURES. RETAIN ALL EXISTING WIRING FOR NEW LIGHT FIXTURES.



**KEY PLAN**  
 SCALE: NTS



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**ELECTRICAL FIRST FLOOR DEMOLITION PLAN - WEST**

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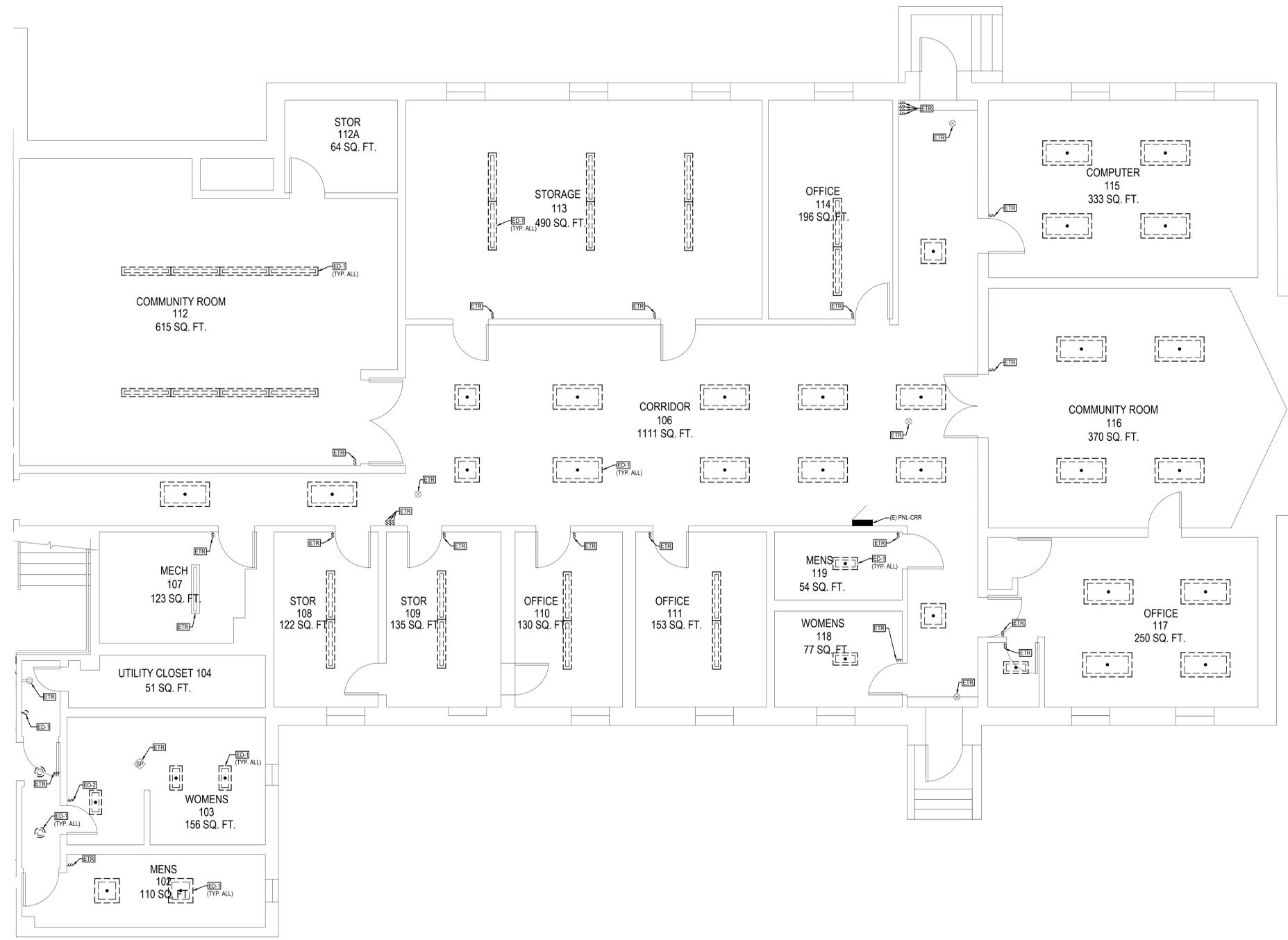
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**ELECTRICAL DEMOLITION NOTES:**

ETR EXISTING TO REMAIN.

ED-1 DISCONNECT AND REMOVE ALL LIGHT FIXTURES. RETAIN ALL EXISTING WIRING FOR NEW LIGHT FIXTURES.

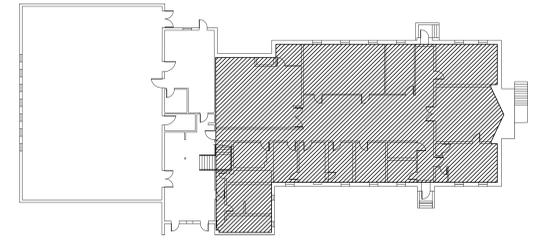


1  
ED101B

**ELECTRICAL FIRST FLOOR DEMOLITION PLAN - EAST**

SCALE: 1/4" = 1'-0"

TRUE NORTH



**KEY PLAN**

SCALE: NTS

TRUE NORTH

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AT THE  
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PROVIDENCE, RI 02907

PROJECT

REVISIONS		
MARK	DESCRIPTION	DATE

SHEET TITLE

**ELECTRICAL FIRST FLOOR DEMOLITION PLAN - EAST**

**CONSTRUCTION DOCUMENTATION**  
SEPTEMBER 16, 2021

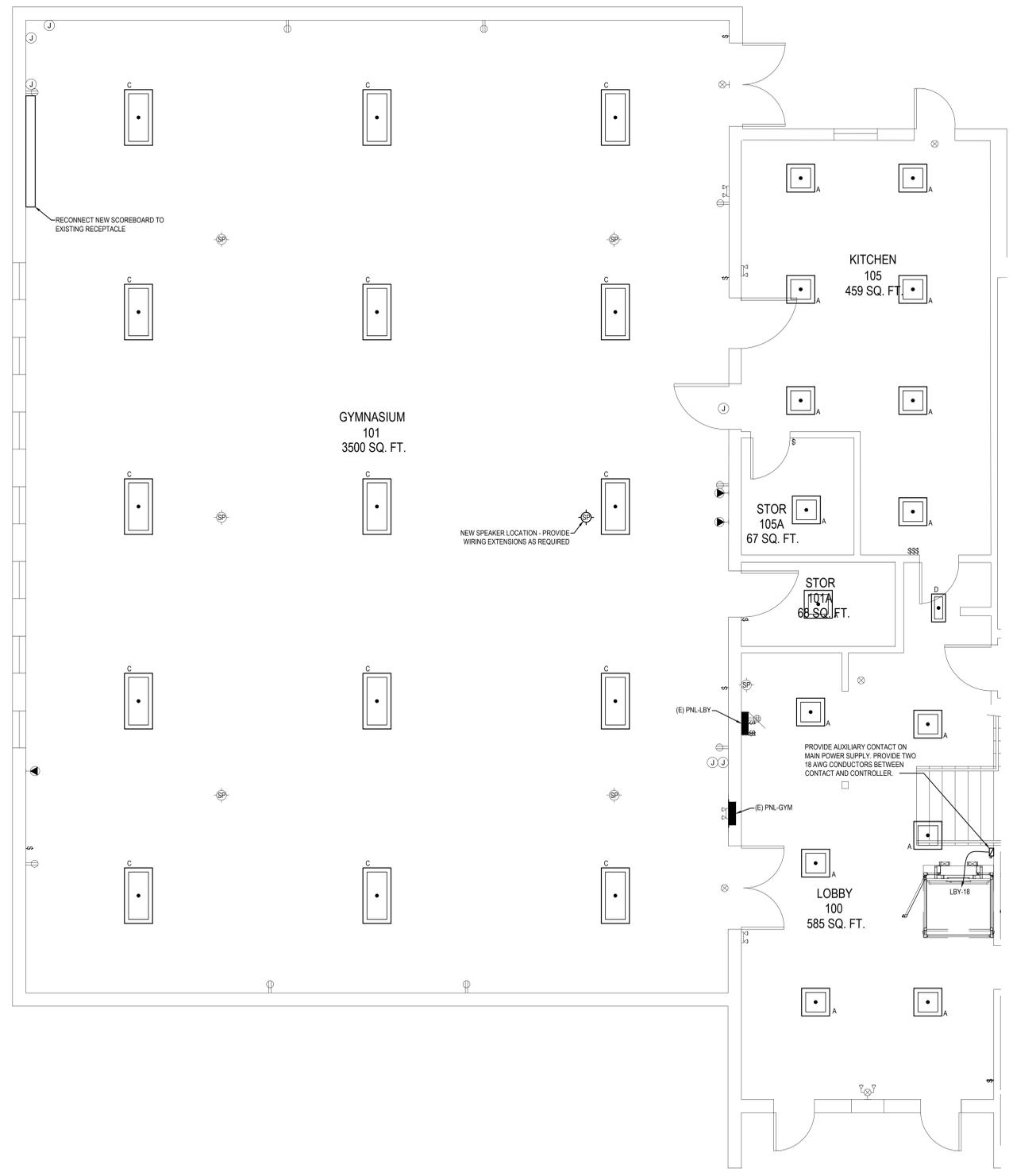
DRAWN	CHK'D	PROJECT NO.
DZ	PP	20057

SHEET NO.

**ED101B**

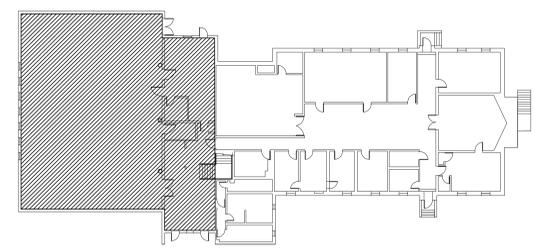


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**1**  
 E-101A **ELECTRICAL FIRST FLOOR PLAN - WEST**  
 SCALE: 1/4" = 1'-0"

- ELECTRICAL POWER AND LIGHTING NOTES:**
1. PROVIDE NEW LIGHT FIXTURES AND RECONNECT TO EXISTING LIGHTING SWITCHES WITH WIRE EXTENSIONS AS REQUIRED. SEE LIGHT FIXTURE SCHEDULE ON E-200 FOR FIXTURE DETAILS.
  2. FOR NEW LIGHT FIXTURES IN NEW BATHROOMS ON SECOND FLOOR, PROVIDE NEW SWITCHES AND 2P12 - 1P12S - 2P12S WIRING. CONNECT TO NEW 20AMP CIRCUIT BREAKER. SEE PANEL SCHEDULES ON E-300 FOR MORE DETAILS.
  3. PROVIDE STARTER MOTORS AND DISCONNECT SWITCHES WITH WIRE AND CONDUIT FOR MECHANICAL EQUIPMENT AS REQUIRED.
- NOT ALL NOTES APPLICABLE TO THIS SHEET**



**KEY PLAN**  
 SCALE: NTS

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PROJECT

REVISIONS		
MARK	DESCRIPTION	DATE

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**ELECTRICAL FIRST FLOOR PLAN - WEST**

**CONSTRUCTION DOCUMENTATION**  
 SEPTEMBER 16, 2021

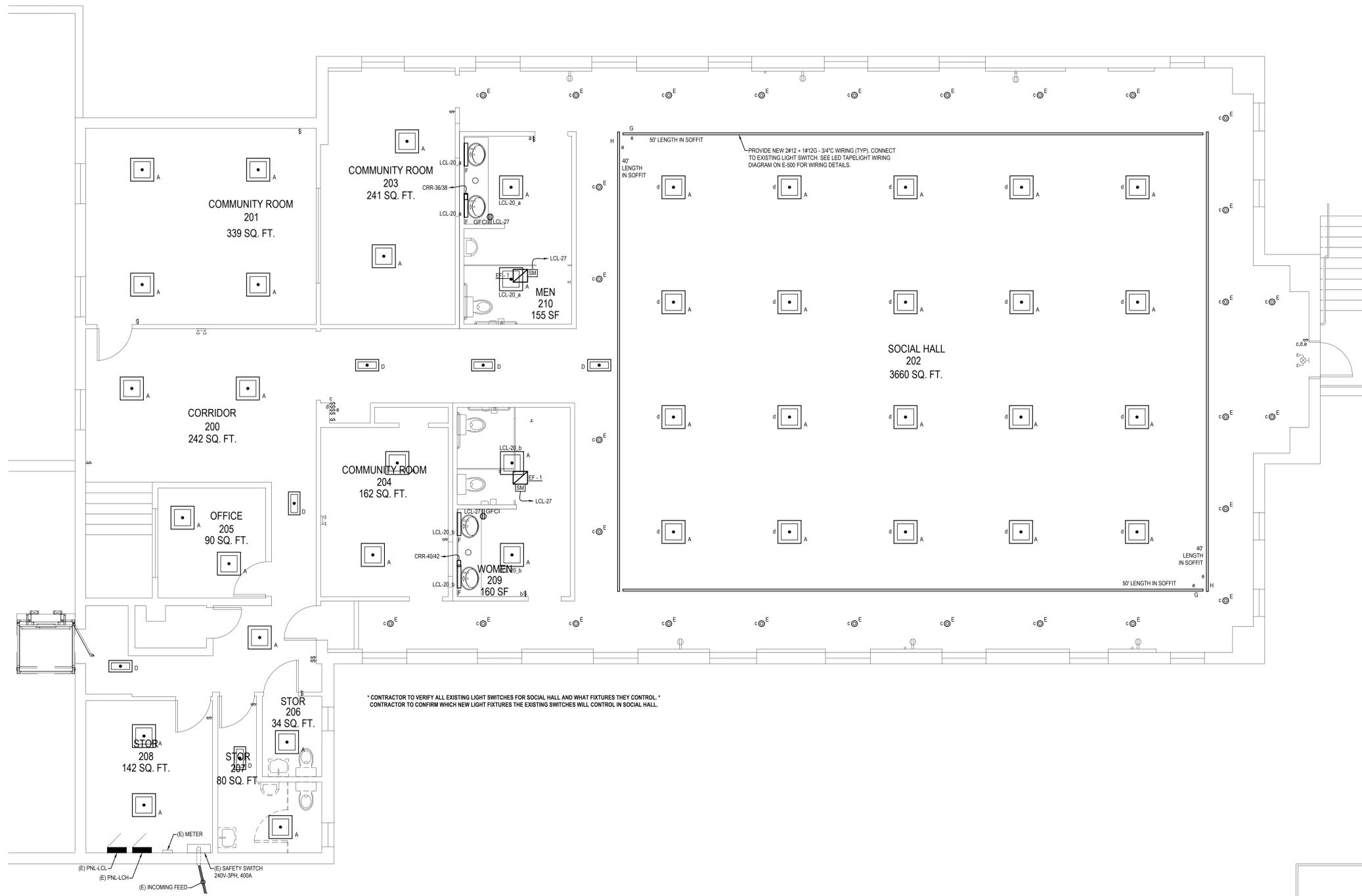
DRAWN	CHKD	PROJECT NO.
DZ	PP	20057

SHEET NO.

**E-101A**



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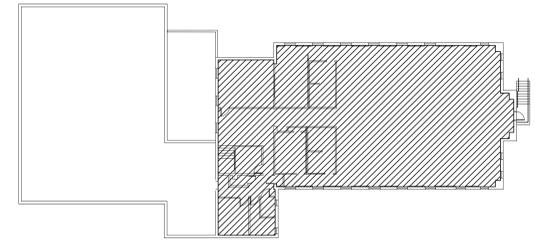
\* CONTRACTOR TO VERIFY ALL EXISTING LIGHT SWITCHES FOR SOCIAL HALL AND WHAT FIXTURES THEY CONTROL. \*  
 \* CONTRACTOR TO CONFIRM WHICH NEW LIGHT FIXTURES THE EXISTING SWITCHES WILL CONTROL IN SOCIAL HALL.

**ELECTRICAL POWER AND LIGHTING NOTES:**

1. PROVIDE NEW LIGHT FIXTURES AND RECONNECT TO EXISTING LIGHTING SWITCHES WITH WIRE EXTENSIONS AS REQUIRED. SEE LIGHT FIXTURE SCHEDULE ON E-200 FOR FIXTURE DETAILS.
2. FOR NEW LIGHT FIXTURES IN NEW BATHROOMS ON SECOND FLOOR, PROVIDE NEW SWITCHES AND 2P12 - 1P12S - 3P1C WIRING. CONNECT TO NEW 20A/1P CIRCUIT BREAKER. SEE PANEL SCHEDULES ON E-200 FOR MORE DETAILS.
3. PROVIDE STARTER MOTORS AND DISCONNECT SWITCHES WITH WIRE AND CONDUIT FOR MECHANICAL EQUIPMENT AS REQUIRED.

NOT ALL NOTES APPLICABLE TO THIS SHEET

**1 ELECTRICAL SECOND FLOOR PLAN**  
 E-102 SCALE: 1/4" = 1'-0"



**KEY PLAN**  
 SCALE: NTS

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**ELECTRICAL SECOND FLOOR PLAN**

**CONSTRUCTION DOCUMENTATION**  
 SEPTEMBER 16, 2021

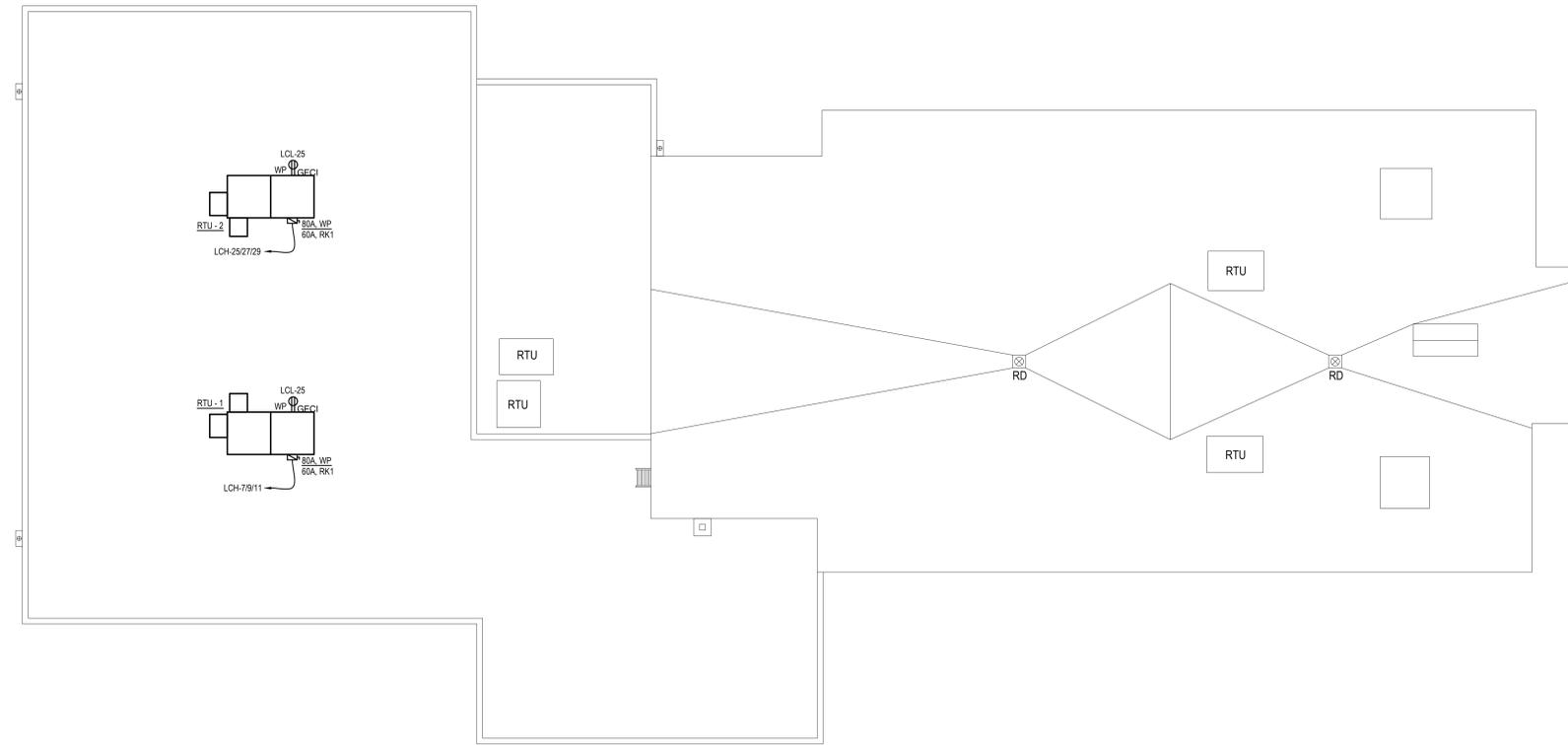
DRAWN	CHK'D	PROJECT NO.
DZ	PP	20057

SHEET NO.

**E-102**

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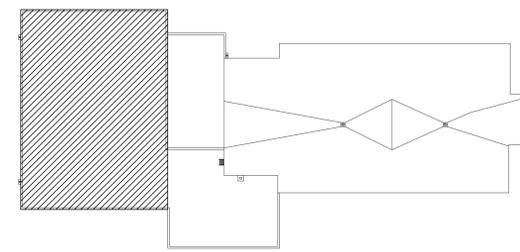


1
**ELECTRICAL ROOF PLAN**  
 E-103 SCALE: 1/8" = 1'-0"

**ELECTRICAL POWER AND LIGHTING NOTES:**

- PROVIDE NEW LIGHT FIXTURES AND RECONNECT TO EXISTING LIGHTING SWITCHES WITH WIRE EXTENSIONS AS REQUIRED. SEE LIGHT FIXTURE SCHEDULE ON E-300 FOR FIXTURE DETAILS.
- FOR NEW LIGHT FIXTURES IN NEW BATHROOMS ON SECOND FLOOR, PROVIDE NEW SWITCHES AND 20/2 - 18/20 - 3/4" WIRING. CONNECT TO NEW 20AMP CIRCUIT BREAKER. SEE PANEL SCHEDULES ON E-500 FOR MORE DETAILS.
- PROVIDE STARTER MOTORS AND DISCONNECT SWITCHES WITH WIRE AND CONDUIT FOR MECHANICAL EQUIPMENT AS REQUIRED.

**NOT ALL NOTES APPLICABLE TO THIS SHEET**



**KEY PLAN**  
 SCALE: NTS

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REVISIONS		
MARK	DESCRIPTION	DATE

SHEET TITLE

**ELECTRICAL ROOF PLAN**

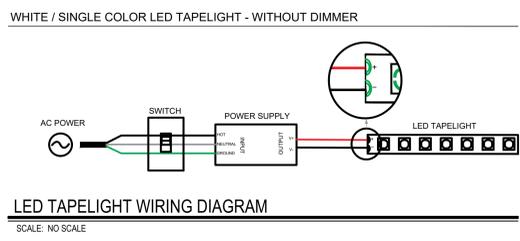
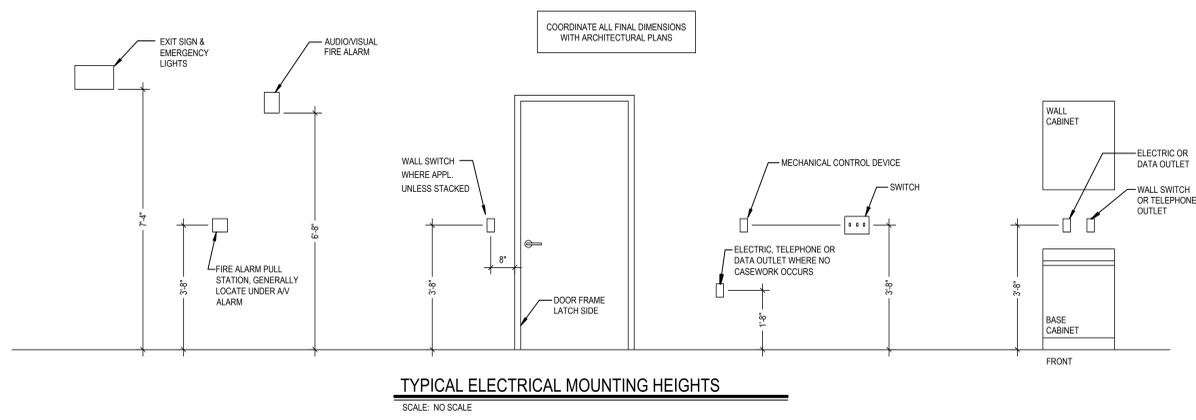
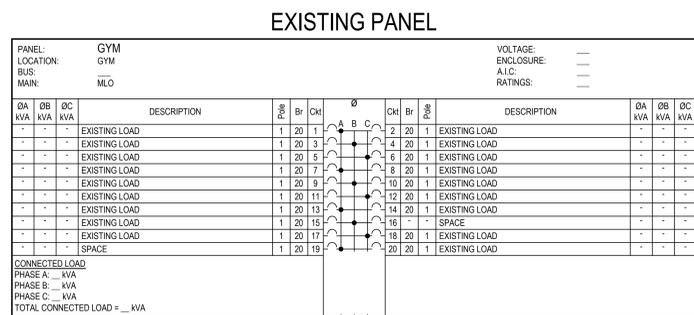
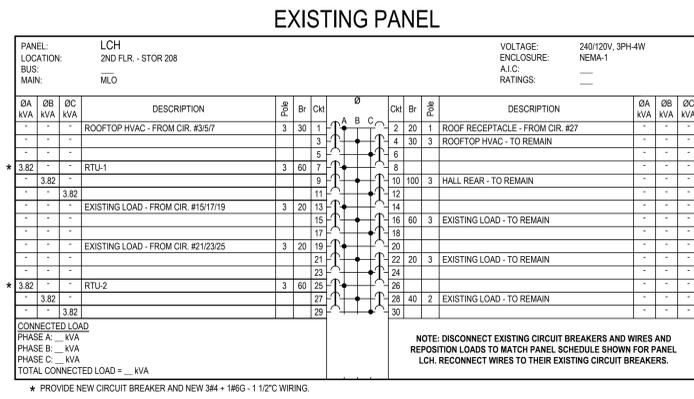
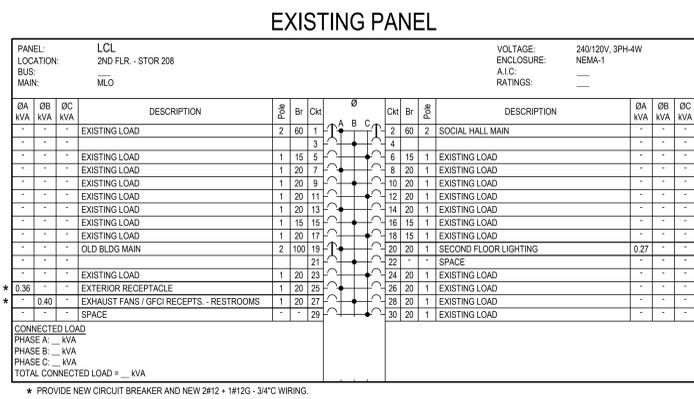
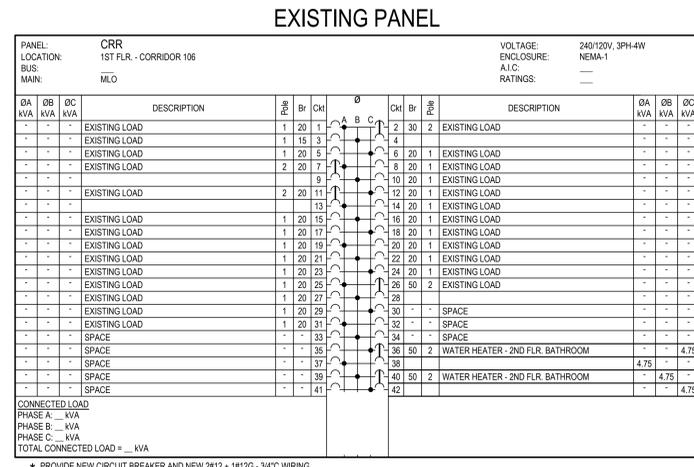
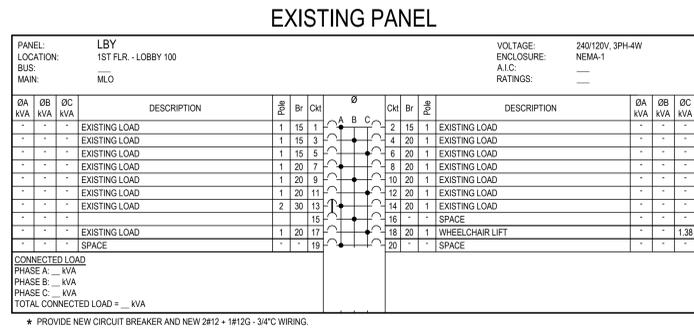
**CONSTRUCTION DOCUMENTATION**  
 SEPTEMBER 16, 2021

DRAWN	CHKD	PROJECT NO.
BMS	RJC	20057

SHEET NO.

**E-103**

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REVISIONS		
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SHEET TITLE

ELECTRICAL DETAILS AND PANEL SCHEDULES

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CONSTRUCTION DOCUMENTATION

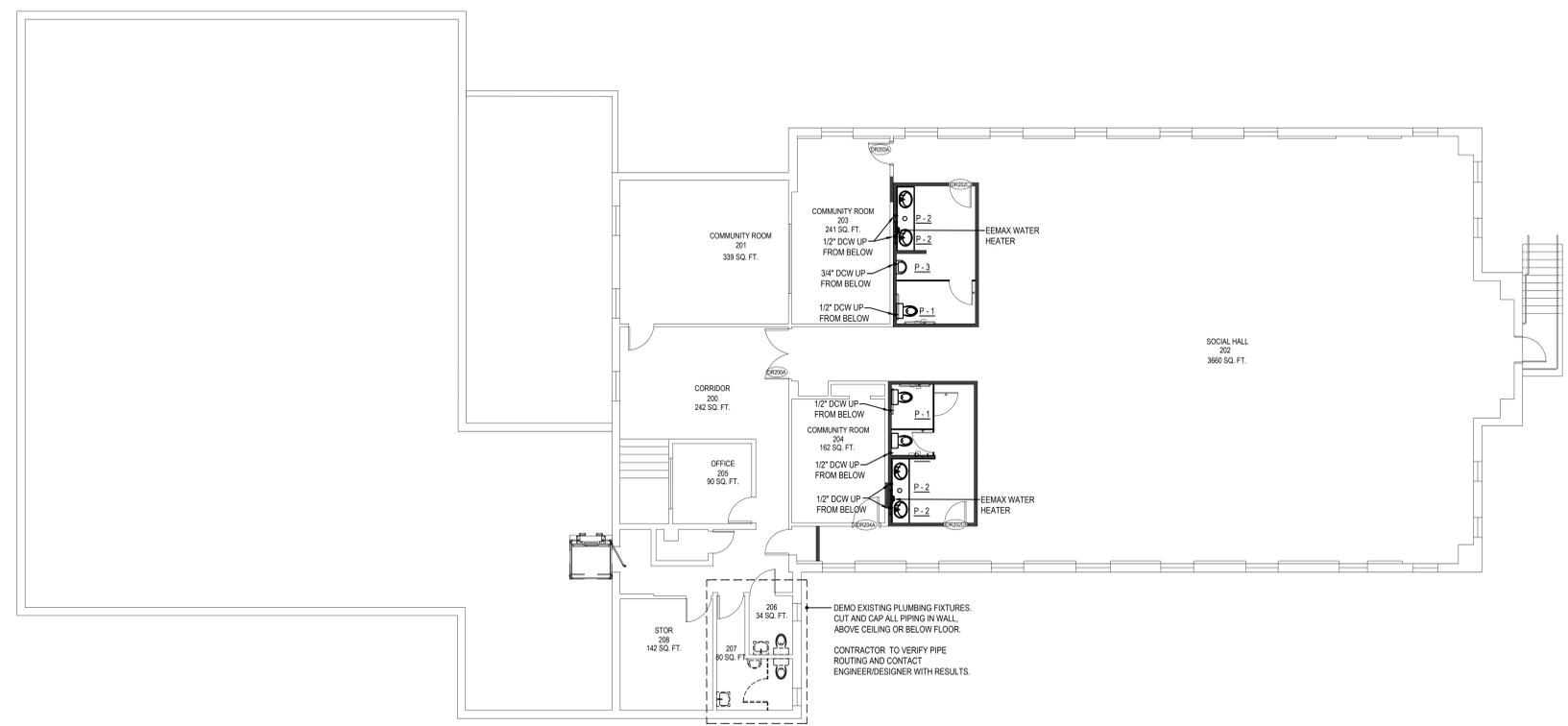
SEPTEMBER 16, 2021

DRAWN	CHKD	PROJECT NO.
DZ	PP	20057
SHEET NO.		
E-500		

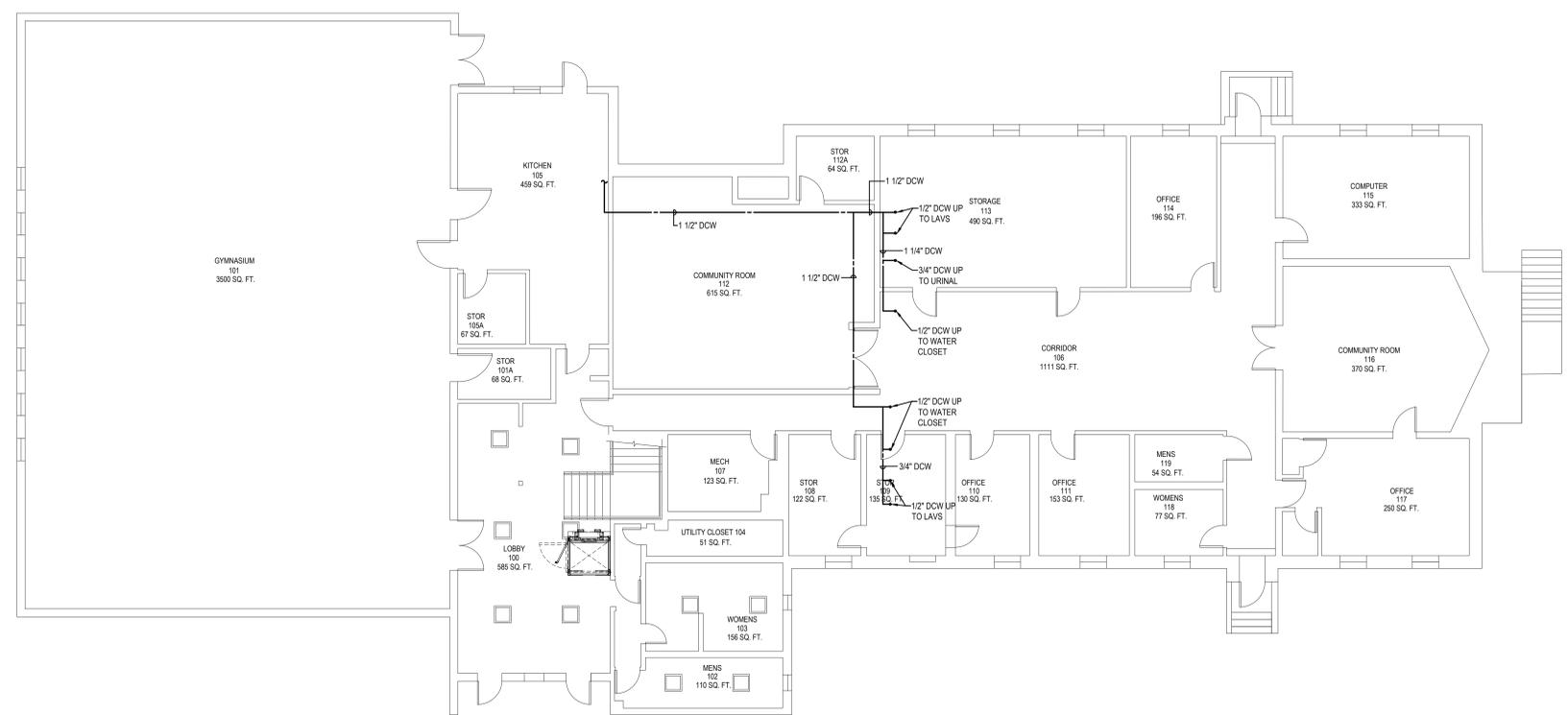




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**1 SECOND FLOOR DOMESTIC WATER PLAN**  
 SCALE: 1/8" = 1'-0"



**2 FIRST FLOOR DOMESTIC WATER PLAN**  
 SCALE: 1/8" = 1'-0"

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PROJECT

REVISIONS		
MARK	DESCRIPTION	DATE

SHEET TITLE  
**PLUMBING DOMESTIC WATER PLANS**  
 CONSTRUCTION DOCUMENTATION  
 SEPTEMBER 16, 2021  
 DRAWN: JRB    CHK'D: BMZ    PROJECT NO.: 20057  
 SHEET NO.: **P-102**

**GENERAL NOTES**

- THE FIRE ALARM SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE RHODE ISLAND STATE FIRE SAFETY CODE, NFPA 72®, NATIONAL FIRE ALARM CODE®, 2013 EDITION, NFPA 70, NATIONAL ELECTRICAL CODE®, 2014 EDITION AND THE RHODE ISLAND SCHOOL OF DESIGN SPECIFICATIONS.
- THE SCOPE OF WORK INCLUDES FURNISHING ALL SERVICES, EQUIPMENT, PERMITS, TESTING, ETC. THAT ARE REQUIRED TO INSTALL A COMPLETE AND APPROVED AUTOMATIC FIRE ALARM SYSTEM IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS AND AS INDICATED ON THE DRAWINGS.
- THE BUILDING WILL BE FULLY SPRINKLERED THROUGHOUT AT THE CONCLUSION OF THIS PROJECT. THIS FIRE ALARM DESIGN IS BASED ON THE ASSUMPTION THAT THE NEW SPRINKLER SYSTEM WILL BE FULL COVERAGE THROUGHOUT THE BUILDING.
- THE SCOPE OF WORK INCLUDES COORDINATING THE FIRE ALARM SYSTEM INSTALLATION WITH THE OWNER AND JENSEN HUGHES.
- THE SCOPE OF WORK INCLUDES THE DEMOLITION OF THE EXISTING FIRE ALARM SYSTEM UPON ACCEPTANCE OF THE NEW FIRE ALARM SYSTEM.
- ALL CONTROL EQUIPMENT, INITIATING DEVICES AND NOTIFICATION APPLIANCES SHALL BE UL LISTED.
- ALL NEW SIGNALING LINE CIRCUITS (SLC) SHALL BE INSTALLED CLASS A AND ALL NEW NOTIFICATION APPLIANCE CIRCUITS (NAC) SHALL BE INSTALLED CLASS A. EACH SLC AND NAC SHALL NOT BE LOADED TO MORE THAN 75% OF ITS RATED CAPACITY.
- ALL WIRING SHALL BE INSTALLED IN METAL RACEWAY OR APPROVED MC CABLE. MC CABLE SHALL ONLY BE PERMITTED IN AREAS WITH ACT CEILINGS AND WHERE APPROVED BY THE OWNER.
- ALL AREAS WITH SUSPENDED CEILINGS SHALL BE EQUIPPED WITH CEILING-MOUNTED NOTIFICATION APPLIANCES.
- ALL EXISTING FIRE ALARM SYSTEM EQUIPMENT AND COMPONENTS, WITH THE EXCEPTION OF THE EXISTING MASTERBOX, SHALL BE REMOVED UPON ACCEPTANCE OF THE NEW FIRE ALARM SYSTEM. THE MASTERBOX SHALL BE EXISTING TO REMAIN ADJACENT TO THE NEW FACU IN THE LOBBY SPACE ADJACENT TO THE KITCHEN STORAGE. FIRE ALARM SYSTEM EQUIPMENT AND COMPONENTS INCLUDE RACEWAY, WIRING, DEVICES, APPLIANCES AND CONTROL EQUIPMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PAINTING AND PATCHING, AND THE REPLACEMENT OF CEILING TILES WHERE EXISTING DEVICES ARE LOCATED, TO THE SATISFACTION OF THE OWNER.
- THE FIRE ALARM SYSTEM CONTRACTOR SHALL DETERMINE THE QUANTITY OF NOTIFICATION APPLIANCE CIRCUITS AND REMOTE POWER SUPPLIES NEEDED TO SUPPORT ALL NOTIFICATIONS APPLIANCES SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL FIELD LOCATE THE REMOTE POWER SUPPLIES. THE LOCATION OF EACH REMOTE POWER SUPPLY SHALL BE APPROVED BY THE OWNER AND JENSEN HUGHES. VOLTAGE DROP CALCULATIONS SHALL BE PROVIDED TO JENSEN HUGHES FOR APPROVAL PRIOR TO INSTALLATION BY THE INSTALLING CONTRACTOR.
- ALL FIRE ALARM SYSTEM WIRING SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE®, THE NATIONAL FIRE ALARM CODE®, AND THE RHODE ISLAND STATE FIRE SAFETY CODE.
- WIRING COLOR CODE SHALL BE IN ACCORDANCE WITH RHODE ISLAND FIRE SAFETY CODE.
- CAUTION: DO NOT CONNECT POWER (BATTERY OR 120 VAC) TO THE CONTROL UNIT UNTIL ALL FIELD WIRING HAS BEEN CONNECTED AND TESTED.
- DO NOT INSTALL THE FACU OR ANY ELECTRONIC INITIATING DEVICE IN UNHEATED AREAS.
- DO NOT INSTALL ANY AC CURRENT-CARRYING CONDUCTORS IN THE SAME RACEWAY AS LOW VOLTAGE FIRE ALARM CONDUCTORS.
- WIRING SHALL BE CONTINUOUS BETWEEN DEVICES AND SHALL BE A MINIMUM #16 GAUGE SOLID COPPER.
- THE FIRE ALARM CONTROL UNIT SHALL BE PROVIDED WITH BYPASS BUTTONS FOR THE FOLLOWING FIRE ALARM SYSTEM DEVICES: MASTER BOX SIGNAL TRANSMISSION, DOOR HOLD-OPEN CIRCUITS, NOTIFICATION APPLIANCES, AND HVAC SHUTDOWN CIRCUITS.
- THE CONTRACTOR SHALL PROTECT ALL CIRCUITS ENTERING AND EXITING THE BUILDING WITH A TRANSIENT SURGE PROTECTION DEVICE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS.
- THE CONTRACTOR SHALL PROVIDE DUCT SMOKE DETECTORS AND ADDRESSABLE CONTROL RELAY MODULES ON ALL AIR HANDLING UNITS SUPPLYING MORE THAN 2,000CFM. THE CONTROL RELAY MODULES SHALL SHUTDOWN EACH AHU UPON GENERAL ALARM VIA THE LINE VOLTAGE CONTROLS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL PAM AND RIB RELAYS AND ASSOCIATED 24VDC POWER NOT SHOWN TO COMPLETE THE REQUIRED SHUTDOWNS. CONTROL RELAY MODULES SHALL BE INSTALLED WITHIN 3 FEET OF THE CONTROL CIRCUIT. THE CONTRACTOR IS RESPONSIBLE TO FURNISH AND INSTALL REMOTE TEST SWITCHES FOR ALL DUCT SMOKE DETECTORS.
- ALL TEST SWITCHES SHALL BE LOCATED NO MORE THAN 7 FEET ABOVE THE FINISH FLOOR PER THE TECHNICAL SPECIFICATIONS.
- THE FIRE ALARM SYSTEM CONTRACTOR SHALL DETERMINE THE QUANTITY OF REMOTE POWER SUPPLIES AND AUDIO AMPLIFIERS TO SUPPORT ALL NOTIFICATION APPLIANCES SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL FIELD LOCATE THE REMOTE POWER SUPPLIES AND AUDIO AMPLIFIERS. THE LOCATION OF EACH REMOTE POWER SUPPLY AND AUDIO AMPLIFIER SHALL BE APPROVED BY THE OWNER AND JENSEN HUGHES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, INSTALLING, PROGRAMMING AND TESTING A SMOKE DETECTOR IN THE VICINITY OF ALL FIRE ALARM CONTROL EQUIPMENT INCLUDING REMOTE POWER SUPPLIES AND AUDIO AMPLIFIERS.
- THE FIRE ALARM SYSTEM SHALL AUTOMATICALLY SOUND THE RECORDED VOICE EVACUATION SIGNAL AND ACTIVATE THE VISIBLE NOTIFICATION APPLIANCES. THE PRE-RECORDED VOICE MESSAGE SHALL USE A FEMALE VOICE. THE PRE-RECORDED VOICE MESSAGE AND ASSOCIATED SEQUENCE OF THE ALERT TONE SHALL BE APPROVED BY THE PROVIDENCE FIRE DEPARTMENT.

- ALL AUDIO CIRCUITS SHALL BE SYNCHRONIZED THROUGHOUT THE BUILDING SUCH THAT THERE ARE NO DELAYS IN VOICE MESSAGE TRANSMISSION THROUGHOUT THE BUILDING.
- ALL SPEAKER NOTIFICATION APPLIANCES SHALL BE TAPPED AT 1-WATT IN BOILER ROOMS, ELEVATOR MACHINE ROOMS AND OTHER MECHANICAL AREAS. ALL SPEAKER NOTIFICATION APPLIANCES SHALL BE TAPPED AT 1/2-WATT IN COMMON CORRIDORS, LOBBIES AND OTHER COMMON AREAS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR A MINIMUM OF 2 HOURS TO MAKE ANY NECESSARY SPEAKER TAP ADJUSTMENTS AS DIRECTED BY JENSEN HUGHES IN THE FIELD.
- THE SEPARATION BETWEEN THE OUTGOING AND RETURN CIRCUITS SHALL BE A MINIMUM OF 1-FOOT VERTICALLY AND 4 FEET HORIZONTALLY, WHERE PRACTICAL.
- THE FIRE ALARM SYSTEM CONTRACTOR SHALL BE REQUIRED TO CONDUCT A 100% PRE-ACCEPTANCE TEST OF THE NEW FIRE ALARM SYSTEM. THIS TEST SHALL BE WITNESSED BY JENSEN HUGHES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE PRE-ACCEPTANCE TEST WITH JENSEN HUGHES AND THE OWNER.
- THE FIRE ALARM SYSTEM CONTRACTOR SHALL BE REQUIRED TO SCHEDULE AND CONDUCT AN ACCEPTANCE TEST OF THE NEW FIRE ALARM SYSTEM FOR THE PROVIDENCE FIRE DEPARTMENT S AND JENSEN HUGHES APPROVAL.

**DEMOLITION NOTES**

- THE SCOPE OF WORK INCLUDES THE DEMOLITION OF THE EXISTING FIRE ALARM SYSTEM TO INSTALL A NEW VOICE COMMUNICATION FIRE ALARM SYSTEM.
- ALL EXISTING FIRE ALARM SYSTEM EQUIPMENT AND COMPONENTS, EXCEPT THE EXISTING MASTERBOX, SHALL BE REMOVED UPON ACCEPTANCE OF THE NEW FIRE ALARM SYSTEM. EXISTING FIRE ALARM SYSTEM EQUIPMENT AND COMPONENTS INCLUDE RACEWAY, WIRING, DEVICES, AND APPLIANCES. ALL EXISTING FIRE ALARM SYSTEM EQUIPMENT AND COMPONENTS SHALL BE RETURNED TO THE OWNER.
- ALL EXISTING DEVICES ARE NOT SHOWN ON THESE DRAWINGS. ALL EXISTING DEVICES AND APPLIANCES SHALL BE REMOVED.

**SUBMITTALS**

PRE-INSTALLATION DOCUMENTATION: AFTER THE AWARD HAS BEEN MADE, BUT PRIOR TO INSTALLATION, THE CONTRACTOR IS RESPONSIBLE TO SUBMIT THE FOLLOWING INSTALLATION INFORMATION FOR APPROVAL BY JENSEN HUGHES AND THE OWNER.

- PRODUCT DATASHEETS FOR EACH PRODUCT TO BE INSTALLED AS PART OF THE FIRE ALARM SYSTEM UPGRADES, AS INDICATED ON THE DESIGN DRAWINGS. SUBMITTAL SHALL INDICATE LISTING AND APPROVALS, SELECTED OPTIONS AND ELECTRICAL CHARACTERISTICS.
- IDENTIFY TYPE, QUANTITY, MAKE AND MODEL NUMBER OF EACH PIECE OF EQUIPMENT INCLUDED IN THE SUBMITTAL. TYPES AND QUANTITIES OF EQUIPMENT INDICATED SHALL CORRELATE WITH THE TYPES AND QUANTITIES OF EQUIPMENT USED IN THE BATTERY CALCULATIONS AND THOSE SHOWN ON THE SHOP DRAWINGS.
- SHOP DRAWINGS SHALL BE A MINIMUM 1/8" = 1'-0" SCALE FLOOR PLANS AND CORRESPONDING RISER DIAGRAM INCLUSIVE OF INFORMATION REQUIRED BY NFPA 72-2013 REQUIREMENTS. TYPICAL WIRING DIAGRAMS ARE NOT ACCEPTABLE.
- A POINT-TO-POINT WIRING DIAGRAM FOR THE FIRE ALARM CONTROL EQUIPMENT INSTALLATION INCLUSIVE OF INFORMATION REQUIRED BY NFPA 72-2013 REQUIREMENTS. TYPICAL WIRING DIAGRAMS ARE NOT ACCEPTABLE.
- BATTERY CALCULATIONS IN ACCORDANCE WITH NFPA 72-2013 REQUIREMENTS AND SHOWING TOTAL STANDBY POWER AND TOTAL ALARM POWER REQUIRED TO MEET THE SPECIFIED SYSTEM REQUIREMENTS. INCLUDE A COMPLETE LIST OF CURRENT REQUIREMENTS DURING NORMAL, SUPERVISORY, TROUBLE, AND ALARM CONDITIONS FOR EACH COMPONENT OF THE SYSTEM.
- VOLTAGE-DROP CALCULATIONS PREPARED IN ACCORDANCE WITH NFPA 72-2013 REQUIREMENTS TO DEMONSTRATE THAT THE SYSTEM WILL OPERATE PER THE PRESCRIBED BACKUP TIME PERIODS AND UNDER ALL VOLTAGE CONDITIONS PER UL AND NFPA STANDARDS.
- MC CABLE PLAN SHOWING THE PROPOSED LOCATIONS OF MC CABLE FOR APPROVAL BY THE OWNER. INSTALLATION OF MC CABLE SHALL COMPLY WITH MC CABLE INSTALLATION REQUIREMENTS.

**INSTALLATION NOTES**

- ALL CONDUITS DISTURBED OR DAMAGED DURING THE INSTALLATION BY CORE DRILLING OR CUTTING SHALL BE RESTORED TO ORIGINAL CONDITION PRIOR TO INSTALLATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ALL DAMAGE INSIDE THE BUILDING UNLESS THE DAMAGE IS PREVIOUSLY DOCUMENTED TO THE OWNER PRIOR TO THE START OF THE WORK.
- WET CORE DRILLING SHALL BE USED WITH PROPER PROTECTION IN PLACE TO PREVENT DAMAGE TO THE BUILDING.

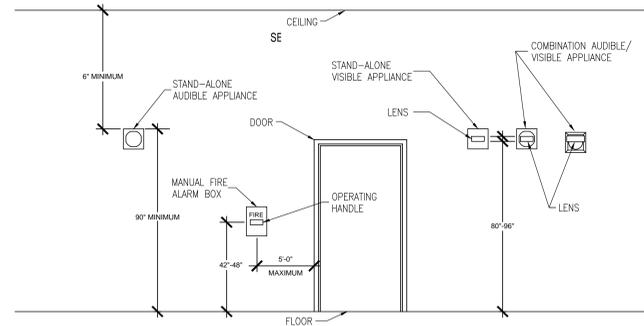
**CONCEPTUAL RISER DIAGRAM NOTES**

- THE RISER DIAGRAM IS CONCEPTUAL IN NATURE. IT DOES NOT INTEND TO REPRESENT ACTUAL WIRING AND RACEWAY INSTALLATION. ALL CONDUCTORS AND WIRING SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS, NFPA 72-2013 EDITION AND NFPA 70-2014 EDITION.
- THE CONTRACTOR SHALL FURNISH AND INSTALL REMOTE NOTIFICATION APPLIANCE CIRCUIT POWER SUPPLIES AND AUDIO AMPLIFIERS AS NECESSARY. A SMOKE DETECTOR SHALL BE INSTALLED IN THE VICINITY OF EACH REMOTE POWER SUPPLY AND EACH REMOTE AUDIO AMPLIFIER. EACH REMOTE POWER SUPPLY AND EACH REMOTE AUDIO AMPLIFIER SHALL BE INSTALLED IN AN ACCESSIBLE LOCATION APPROVED BY JENSEN HUGHES AND THE OWNER.
- THE INSTALLING CONTRACTOR SHALL FIELD LOCATE THE FAULT ISOLATOR MODULES. A MINIMUM OF THREE FAULT ISOLATOR MODULES SHALL BE INSTALLED ON EACH SIGNALING LINE CIRCUIT. FAULT ISOLATOR MODULES SHALL BE PROVIDED TO ISOLATE EACH FLOOR OF ALL SIGNALING LINE CIRCUITS. NO MORE THAN 25 ADDRESSABLE DEVICES SHALL BE PERMITTED TO BE INSTALLED BETWEEN FAULT ISOLATION MODULES. THE NUMBER OF ADDRESSABLE DEVICES BETWEEN FAULT ISOLATION MODULES SHALL ALSO BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- THE NUMBER OF CONDUCTORS SHALL BE DETERMINED BY THE FIRE ALARM SYSTEM CONTRACTOR UPON DETERMINING THE REQUIRED QUANTITY AND LOCATIONS OF REMOTE POWER SUPPLIES AND AUDIO AMPLIFIERS NECESSARY FOR THE FIRE ALARM SYSTEM TO OPERATE AS DESCRIBED IN THE MASTER TECHNICAL SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE LOCATION OF AND THE CONNECTION TO BUILDING POWER FOR ALL FIRE ALARM CONTROL EQUIPMENT.

FIRE ALARM SYMBOL LEGEND	
	ADDRESSABLE PHOTOELECTRIC SMOKE DETECTOR
	ADDRESSABLE DOUBLE-ACTION MANUAL FIRE ALARM BOX
	SPEAKER NOTIFICATION APPLIANCE - CEILING MOUNTED
	SPEAKER NOTIFICATION APPLIANCE - WALL MOUNTED
	SPEAKER/STROBE NOTIFICATION APPLIANCE - WALL MOUNTED (CANDELA RATING AS NOTED)
	SPEAKER/STROBE NOTIFICATION APPLIANCE - CEILING MOUNTED (CANDELA RATING AS NOTED)
	STROBE NOTIFICATION APPLIANCE - WALL MOUNTED
	STROBE NOTIFICATION APPLIANCE - CEILING MOUNTED
	FIRE ALARM CONTROL UNIT
	MASTER BOX (EXISTING TO REMAIN)
	FAULT ISOLATION MODULE
	ADDRESSABLE MONITOR MODULE
	ADDRESSABLE CONTROL MODULE
	FIRE DEPARTMENT KNOX KEY BOX
	MAGNETIC DOOR HOLD-OPEN
	TRANSIENT SURGE SUPPRESSION

SUBSCRIPT LEGEND			
TS	TAMPER SWITCH	E	EXISTING TO REMAIN
WF	WATER FLOW SWITCH	D	EXISTING EQUIPMENT TO BE REMOVED
DOOR	MAGNETIC DOOR HOLD-OPEN RELEASE	PRI	PRIMARY ELEVATOR RECALL
MB#	RADIO MASTER BOX #	ALT	ALTERNATIVE ELEVATOR RECALL
PIV	POST INDICATING VALVE	HAT	ELEVATOR FLASHING HAT

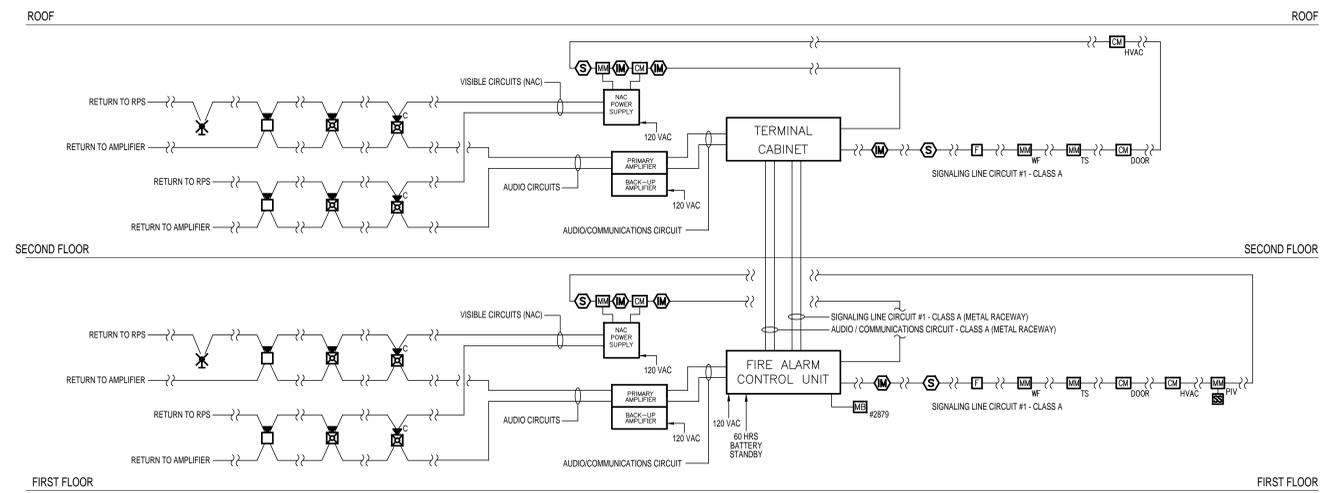


**TYPICAL MOUNTING HEIGHT DETAIL FOR WALL-MOUNTED COMPONENTS**  
SCALE: NOT TO SCALE

FIRE ALARM OPERATIONS MATRIX	REQUIRED SYSTEM OUTPUTS		
	ANNUNCIATION AND INDICATION	ANCILLARY FUNCTIONS	OFF PREMISES SIGNAL TRANSMISSION
ACTIVATE AUDIBLE AND VISIBLE FIRE ALARM NOTIFICATION APPLIANCES	ACTIVATE AUDIBLE/VISIBLE FIRE INDICATION AT FACU	ACTIVATE AUDIBLE/VISIBLE SUPERVISORY INDICATION AT FACU	PROVIDE TO SPECTRUM INDICATION AT FACU
ALARM SIGNALS			
MANUAL FIRE ALARM BOX	●	●	●
MAIN SPRINKLER WATERFLOW	●	●	●
AUTOMATIC DETECTION DEVICE INITIATION OR WATERFLOW ZONE	●	●	●
INITIATING DEVICE OR WATERFLOW ZONE	●	●	●
SUPERVISORY SIGNALS			
VALVE SUPERVISORY SWITCH	●	●	
TROUBLE SIGNALS			
OPEN CIRCUIT (SEE NOTE 2)	●		
CIRCUIT GROUND FAULT (SEE NOTE 1)	●		
AC POWER FAILURE (SEE NOTE 1)	●		

NOTE 1: SYSTEM SHALL REMAIN OPERATIONAL DURING FAULT.  
NOTE 2: NOTIFICATION APPLIANCE AND SIGNALING LINE CIRCUITS SHALL REMAIN OPERATIONAL.

**SEQUENCE OF OPERATIONS**



**CONCEPTUAL RISER DIAGRAM**

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CITY OF PROVIDENCE  
DEPARTMENT OF PUBLIC PROPERTIES  
BUILDING RENOVATIONS  
AT THE  
ELMWOOD COMMUNITY CENTER  
155 NICHOLS STREET  
PROVIDENCE, RI 02907

PROJECT

REVISIONS		
MARK	DESCRIPTION	DATE

SHEET TITLE

**FIRE ALARM NOTES, LEGEND, AND CONCEPTUAL RISER**

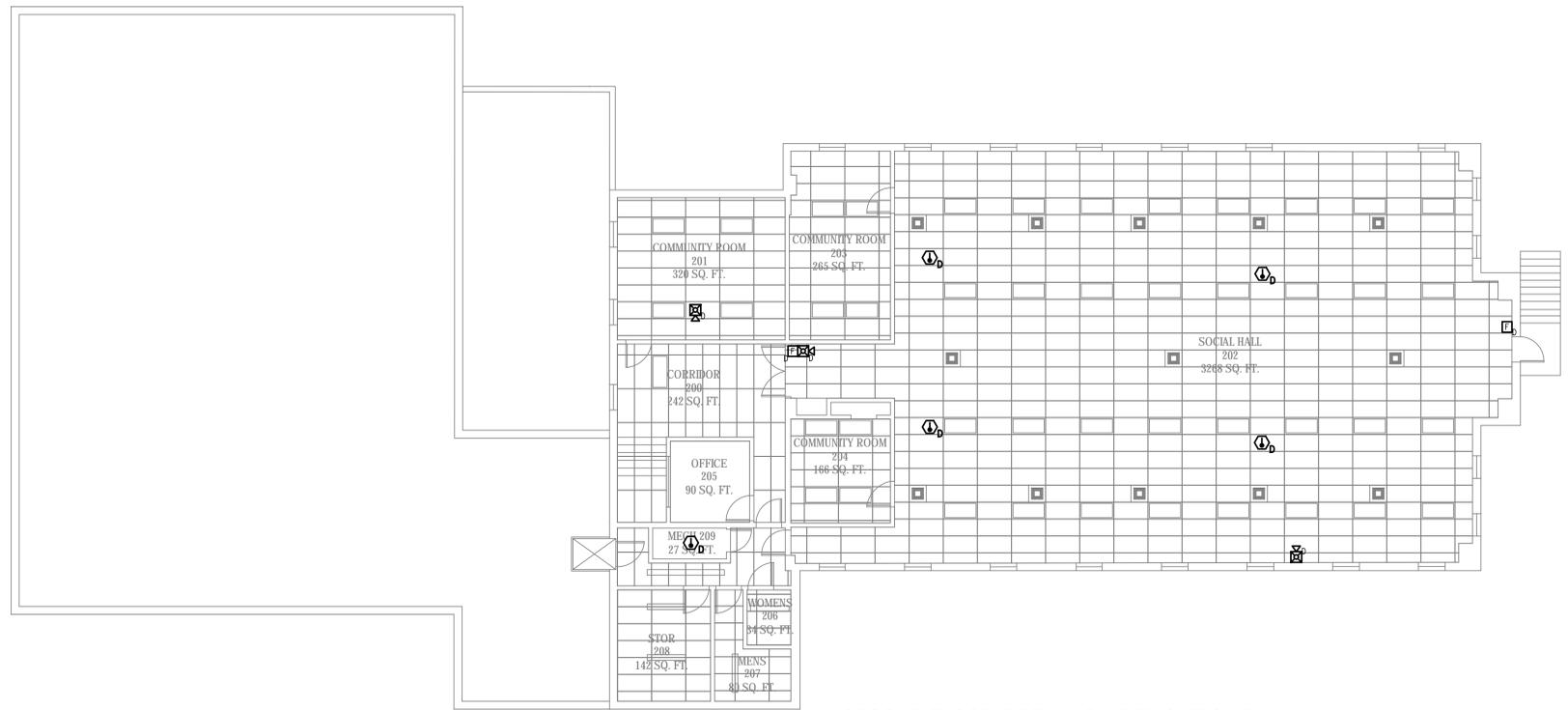
**CONSTRUCTION DOCUMENTS**  
JUNE 15, 2021

DRAWN	CHEK	PROJECT NO.
JPR	JWS	20057

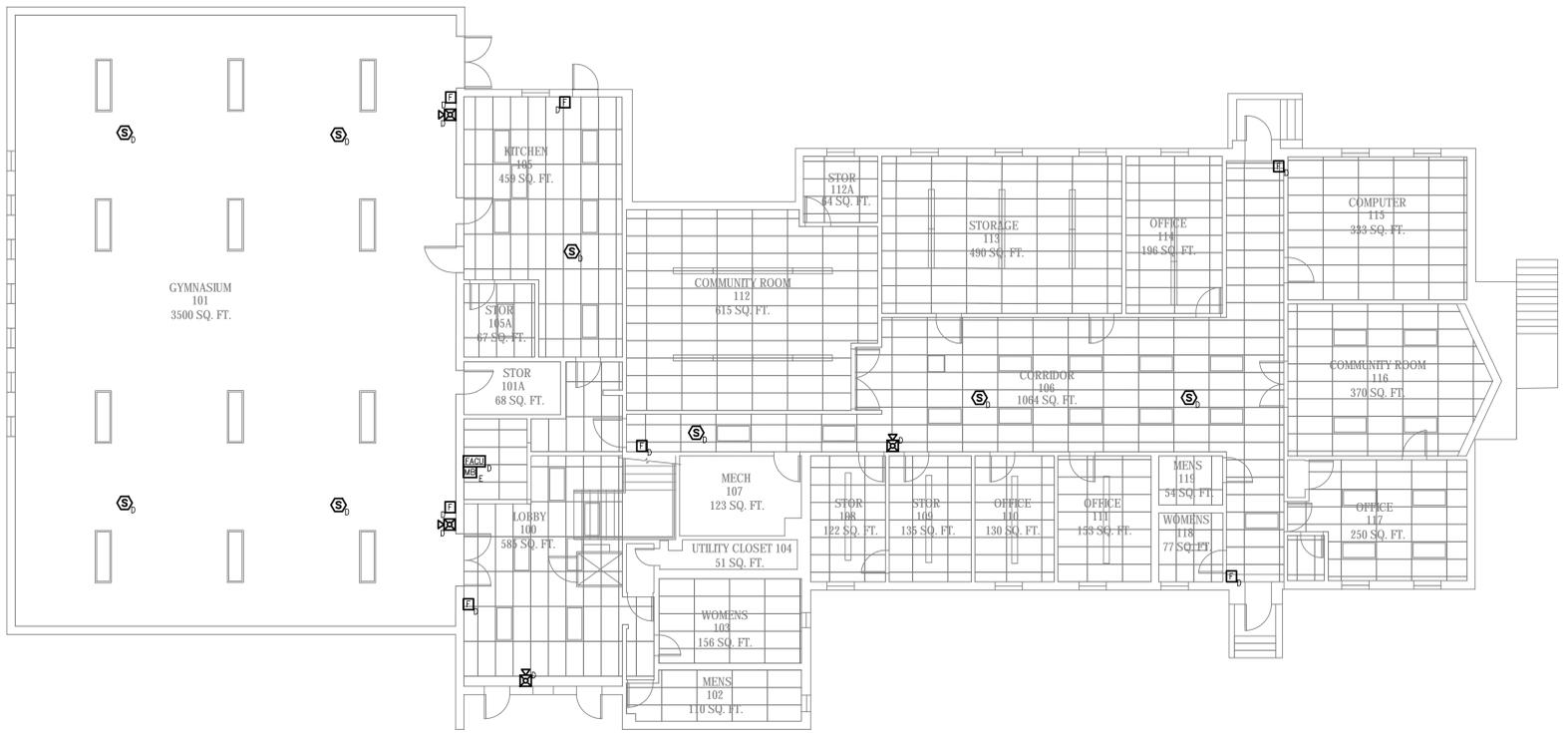
SHEET NO.

**FA-0.1**

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**SECOND FLOOR FIRE ALARM DEMOLITION PLAN**  
SCALE: 1/8" = 1'0"



**FIRST FLOOR FIRE ALARM DEMOLITION PLAN**  
SCALE: 1/8" = 1'0"

FIRE ALARM SYMBOL LEGEND			
	ADDRESSABLE PHOTOELECTRIC SMOKE DETECTOR		
	ADDRESSABLE DOUBLE-ACTION MANUAL FIRE ALARM BOX		
	SPEAKER NOTIFICATION APPLIANCE - CEILING MOUNTED		
	SPEAKER NOTIFICATION APPLIANCE - WALL MOUNTED		
	SPEAKER/STROBE NOTIFICATION APPLIANCE - WALL MOUNTED (CANDELA RATING AS NOTED)		
	SPEAKER/STROBE NOTIFICATION APPLIANCE - CEILING MOUNTED (CANDELA RATING AS NOTED)		
	STROBE NOTIFICATION APPLIANCE - WALL MOUNTED		
	STROBE NOTIFICATION APPLIANCE - CEILING MOUNTED		
	FIRE ALARM CONTROL UNIT		
	MASTER BOX (EXISTING TO REMAIN)		
	FAULT ISOLATION MODULE		
	ADDRESSABLE MONITOR MODULE		
	ADDRESSABLE CONTROL MODULE		
	FIRE DEPARTMENT KNOCK KEY BOX		
	MAGNETIC DOOR HOLD-OPEN		
	TRANSIENT SURGE SUPPRESSION		
SUBSCRIPT LEGEND			
TS	TAMPER SWITCH	E	EXISTING TO REMAIN
WF	WATER FLOW SWITCH	D	EXISTING EQUIPMENT TO BE REMOVED
DOOR	MAGNETIC DOOR HOLD-OPEN RELEASE	PRI	PRIMARY ELEVATOR RECALL
MB#	RADIO MASTER BOX #	ALT	ALTERNATIVE ELEVATOR RECALL
PV	POST INDICATING VALVE	HAT	ELEVATOR FLASHING HAT

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 DEPARTMENT OF PUBLIC PROPERTIES  
 BUILDING RENOVATIONS  
 AT THE  
 ELMWOOD COMMUNITY CENTER  
 155 NICHOLS STREET  
 PROVIDENCE, RI 02907

REVISIONS		
MARK	DESCRIPTION	DATE

SHEET TITLE  
**FIRE ALARM DEMOLITION PLANS**  
**CONSTRUCTION DOCUMENTS**  
 JUNE 15, 2021  
 DRAWN: JPR    CHKD: JWS    PROJECT NO.: 20057  
 SHEET NO.: **FAD-1.0**



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**GENERAL NOTES**

- THIS DRAWING IS PROVIDED TO DEMONSTRATE THE CONFIGURATION OF MAJOR SYSTEM COMPONENTS INCLUDING SPRINKLER AND PIPING LOCATIONS. THE SPRINKLER CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL SPRINKLERS AND SYSTEM PIPING. FINAL CONFIGURATION TO BE DETERMINED BY THE CONTRACTOR.
- SPRINKLERS SHALL BE INSTALLED IN THE CENTER OF CEILING TILES.
- REFER TO ATTACHED HYDRAULIC CALCULATIONS FOR DESIGN PIPE SIZES. PIPE SIZES SHALL BE NO SMALLER THAN AS INDICATED BY THE DESIGN HYDRAULIC CALCULATIONS OR DESIGN DRAWINGS. UNLESS VERIFIED THROUGH APPROVED CALCULATION SUBMITTAL (APPROVED BY JENSEN HUGHES), THE DESIGN SPECIFICATION AND HYDRAULIC CALCULATIONS ARE PART OF THESE DESIGN DOCUMENTS.
- ACCURACY OF WALL LOCATIONS AND DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR WITH REGARDS TO PIPE ROUTING AND PROXIMITY TO OBSTRUCTIONS.
- THE CONTRACTOR SHALL PREPARE AND SUBMIT FOR APPROVAL SHOP DRAWINGS. THE REQUIREMENTS FOR THE SUBMITTAL PACKAGE AND SHOP DRAWINGS ARE PROVIDED IN THE DESIGN SPECIFICATION. CHANGES IN THE LOCATIONS OF SPRINKLERS FROM THOSE SHOWN ON THE APPROVED SHOP DRAWINGS SHALL BE IDENTIFIED IN WRITING TO THE PROVIDENCE FIRE DEPT. AND JENSEN HUGHES PRIOR TO INSTALLATION. ALL CHANGES SHALL BE APPROVED IN WRITING PRIOR TO INSTALLATION OR ANY RELOCATIONS OR ADDITIONAL SPRINKLERS REQUIRED FOR COMPLIANCE AS A RESULT OF THE CHANGES SHALL BE FURNISHED AND INSTALLED AT THE EXPENSE OF THE CONTRACTOR.
- THE SPRINKLER CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ANY NEW SITE SPECIFIC MODIFICATIONS THAT MAY BE MADE TO THE BUILDING DURING CONSTRUCTION SUCH AS NEW LIGHTS, DROP CEILINGS, ETC.
- ALL SPRINKLER PIPING SHALL BE SECURED USING U.L.F.M. PIPE HANGERS, ANCHORS AND OTHER APPROVED MEANS TO PROPERLY SECURE THE PIPE.
- ALL PIPING 1-INCH THROUGH 2-INCH SHALL BE UL-FM ASTM A53, A135, OR A795 SCHEDULE 40 WITH THREADED ENDS.
- ALL WET-SYSTEM PIPING 2 1/2-INCH AND LARGER SHALL BE UL-FM ASTM A53, A135, OR A795 SCHEDULE 10 WITH ROLLED-GROOVED ENDS.
- THE CONTRACTOR SHALL GUARANTEE IN WRITING ALL WORK AND EQUIPMENT ASSOCIATED WITH THIS PROJECT FOR ONE (1) YEAR AFTER INSTALLATION. REFER TO THE SPECIFICATION FOR ADDITIONAL WARRANTY REQUIREMENTS.

**DESIGN CRITERIA**

- DESIGN AND INSTALL THE SPRINKLER SYSTEMS TO MEET THE REQUIREMENTS OF:
  - THE RHODE ISLAND FIRE LAWS AND RULES-2019, WHICH INCLUDES:
    - TITLE 23-CHAPTER 28, FIRE SAFETY CODE; AND AS AMENDED UNDER THE TITLE 23-CHAPTER 28, COMPREHENSIVE FIRE SAFETY ACT OF 2020, WHICH INCLUDES:
      - THE RHODE ISLAND FIRE CODE (NFPA 1-2015), AND
      - THE RHODE ISLAND LIFE SAFETY CODE (NFPA 101-2015).
    - NFPA 13-2013, STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS.
  - REFER TO TECHNICAL SPECIFICATIONS FOR MORE DETAILED INFORMATION AND ADDITIONAL REQUIREMENTS.
  - THE SPRINKLER SYSTEM SHALL BE DESIGNED AS LIGHT HAZARD OR ORDINARY HAZARD DEPENDING ON THE USE OF THE SPACE BEING PROTECTED.
  - THE SPRINKLER SYSTEM SHALL BE HYDRAULICALLY CALCULATED BY THE CONTRACTOR USING THE DENSITY/AREA DESIGN METHOD DESCRIBED IN NFPA 13-2013, AND THE MANUFACTURER'S TECHNICAL DATA SHEETS FOR EXTENDED COVERAGE AND SPECIFIC APPLICATION SPRINKLERS.
  - THE SPRINKLER SYSTEM SHALL BE HYDRAULICALLY CALCULATED AND SIZED IN ACCORDANCE WITH THE FOLLOWING CRITERIA:
    - ALL LIGHT HAZARD OCCUPANCY AREAS SHALL MEET THE REQUIREMENTS OF NFPA 13-2013 AS FOLLOWS:
      - AREA OF DEMAND: 1500 S.F. (AREA REDUCTION FOR Q.R. SPRINKLERS PER NFPA 13-2013, SEC. 11.2.3.2.3 IS ALLOWED).
      - DENSITY: 0.10 GPMS/F.
      - HOSE STREAM: 100 GPM.
      - SAFETY MARGIN: 10 PSI SAFETY FACTOR.
    - ALL ORDINARY HAZARD GROUP 1 OCCUPANCY AREAS SHALL MEET THE REQUIREMENTS OF NFPA 13-2013 AS FOLLOWS: (AREA REDUCTION FOR Q.R. SPRINKLERS PER NFPA 13-2013 SEC. 11.2.3.2.3 IS ALLOWED).
      - AREA OF DEMAND: 1500 S.F.
      - DENSITY: 0.15 GPMS/F.
      - HOSE STREAM: 250 GPM.
      - SAFETY MARGIN: 10 PSI SAFETY FACTOR.
    - ALL ORDINARY HAZARD GROUP 2 OCCUPANCY AREAS SHALL MEET THE REQUIREMENTS OF NFPA 13-2013 AS FOLLOWS: (AREA REDUCTION FOR Q.R. SPRINKLERS PER NFPA 13-2013 SEC. 11.2.3.2.3 IS ALLOWED).
      - AREA OF DEMAND: 1500 S.F.
      - DENSITY: 0.20 GPMS/F.
      - HOSE STREAM: 250 GPM.
      - SAFETY MARGIN: 10 PSI SAFETY FACTOR.
  - ALL STANDARD SPRAY SPRINKLERS IN LIGHT HAZARD AREAS SHALL HAVE A MAXIMUM COVERAGE AREA OF 225 S.F.
  - ALL STANDARD SPRAY SPRINKLERS IN ORDINARY HAZARD GROUP 1 AND 2 AREAS SHALL HAVE A MAXIMUM COVERAGE AREA OF 130 S.F.

**SCOPE OF WORK**

- THE SCOPE OF WORK INCLUDES INSTALLATION OF WET PIPE AUTOMATIC SPRINKLER SYSTEMS THROUGHOUT THE COMMUNITY CENTER AS INDICATED ON THE DRAWINGS AND IN THE TECHNICAL SPECIFICATIONS.
- THE WORK INCLUDES ALL SPRINKLERS, LISTED SCHEDULE 10 & 40 PIPING, HANGERS AND OTHER ASSOCIATED COMPONENTS THROUGHOUT THE BUILDING EXCEPT FOR THE ELEVATOR SHAFT AND MACHINE ROOM.
- THE WORK INCLUDES ADDITIONAL MATERIALS, FITTINGS, ETC., WHICH ARE NOT SHOWN ON THE DRAWINGS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM. THE ADDITIONAL MATERIALS AND FITTINGS SHALL BE SHOWN ON THE SHOP DRAWINGS. FRICTION LOSSES ASSOCIATED WITH THE ADDITIONAL PIPING AND FITTINGS SHOWN ON THE SHOP DRAWINGS SHALL BE INCORPORATED INTO THE HYDRAULIC CALCULATIONS. THE SPECIFIED 10 PSI PRESSURE CUSHION SHALL BE PROVIDED IN THE CALCULATIONS.
- THE WORK INCLUDES CONNECTION OF WATER FLOW VANE AND VALVE SUPERVISORY SWITCHES TO THE FIRE ALARM SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THESE WIRING CONNECTIONS WITH A LICENSED FIRE ALARM TECHNICIAN/ELECTRICIAN.
- THE WORK INCLUDES DRAINS, SUPPORTS, AND PERMITS. THE WORK SHALL COMPLY WITH NFPA AND RIFC REQUIREMENTS.
- THE WORK INCLUDES COORDINATION OF ALL OBSTRUCTIONS TO NEW SPRINKLER PIPING. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO EMERGENCY LIGHTING, BATTERY BOXES, TELECOM EQUIPMENT AND WIRING. COORDINATE WITH THE ARCHITECT/OWNER.
- THE WORK INCLUDES INSTALLATION OF DRAIN PIPING. THE DRAINS SHALL BE PIPED DIRECTLY TO THE OUTSIDE ON AN APPROVED LOCATION BY THE ARCHITECT.
- THE WORK INCLUDES INSTALLATION OF INSPECTOR'S TEST CONNECTIONS, DRAIN VALVES, AND PIPING.
- THE WORK INCLUDES TWO FLOOR CONTROL ASSEMBLIES. THE CONTROL ASSEMBLIES SHALL INCLUDE AN INDICATING CONTROL VALVE, RISER CHECK VALVE WITH TRIM, PRESSURE GAUGES, WATER FLOW SWITCH WITH RETARDING FEATURE, TEST AND DRAIN VALVE W/ 1/2" PRESSURE RELIEF VALVE.
- THE WORK INCLUDES ALL CUTTING, DRILLING, CORE DRILLING, ETC. TO INSTALL FIRE SPRINKLER PIPING THROUGH FLOORS, WALLS AND CEILINGS.
- THE WORK INCLUDES PAINTING OF ALL EXPOSED SPRINKLER PIPING TO MATCH EXISTING CONDITIONS. PIPE PAINTING SHALL BE COMPLETED BY A QUALIFIED PAINTING CONTRACTOR.
- THE WORK INCLUDES FIRESTOPPING, PATCHING AND PAINTING OF ALL PENETRATIONS THAT WERE MADE FOR INSTALLATION OF SPRINKLER PIPING THROUGH INTERIOR AND EXTERIOR BUILDING WALLS. THE FIRESTOPPING SHALL BE CONDUCTED BY A MANUFACTURER'S TRAINED PERSONNEL ACCEPTABLE TO THE OWNER.
- THE WORK INCLUDES ALL FEES AND ACTIVITIES REQUIRED TO SECURE APPROVALS FOR NECESSARY STATE AND LOCAL PERMITS.
- THE WORK INCLUDES SUBMITTING DETAILED WORKING PLANS, HYDRAULIC CALCULATIONS AND PRODUCT DATA TO THE ENGINEER FOR REVIEW PRIOR TO SUBMITTING SAME TO THE PROVIDENCE FIRE DEPT. FOR PERMIT. CONTRACTOR SHALL NOT FABRICATE PIPING, ASSEMBLE COMPONENTS OR BEGIN INSTALLATION UNTIL JENSEN HUGHES HAS APPROVED THE SUBMITTAL DOCUMENTS.
- THE WORK INCLUDES DEVELOPING AS-BUILT SPRINKLER PLANS. THE PLANS SHALL SHOW A MINIMUM OF PIPE ROUTING, PIPE DIAMETER, SPRINKLER LOCATION, SPRINKLER ORIENTATION, AND SPRINKLER MAKE, MODEL, K-FACTOR, TEMPERATURE RATING AND RESPONSE TYPE.
- THE WORK INCLUDES PERFORMING FIELD QUALITY CONTROL AND COMMISSIONING ACTIVITIES.
- THE WORK INCLUDES DOCUMENTING AND SUBMITTING THE RESULTS OF INTEGRITY AND FUNCTIONAL TESTING.
- THE WORK INCLUDES SUBMITTING AS-BUILT PLANS AND CLOSEOUT DOCUMENTATION TO JENSEN HUGHES FOR REVIEW PRIOR TO SCHEDULING OWNER DEMONSTRATION TRAINING.
- THE WORK INCLUDES TRAINING OWNER'S PERSONNEL ON THE OPERATION OF THE SYSTEM, REQUIRED MAINTENANCE TASKS AND FREQUENCIES, AND THE LOCATIONS OF ALL SPARE TOOLS AND EQUIPMENT, VALVES, ALARM AND SUPERVISORY SWITCHES, RISERS AND EQUIPMENT NECESSARY TO MAINTAIN AND OPERATE THE SPRINKLER SYSTEM.
- THE WORK INCLUDES SIGNS AT EACH CONTROL AND TEST VALVE.
- THE CONTRACTOR SHALL PROVIDE A RIGID PLASTIC SIGN INDICATING THE LOCATION OF ALL VALVES, INCLUDING LOW POINT DRAINS, AND THE AREA PROTECTED BY EACH CONTROL VALVE SHALL BE IDENTIFIED. THE SIGN SHALL BE LOCATED AT THE MAIN RISER.
- THE WORK INCLUDES PROVIDING A CABINET WITH SPARE SPRINKLERS AND A LIST OF SPARE SPRINKLERS PER NFPA 13-2013 SECTION 6.2.9.

**INSTALLATION NOTES**

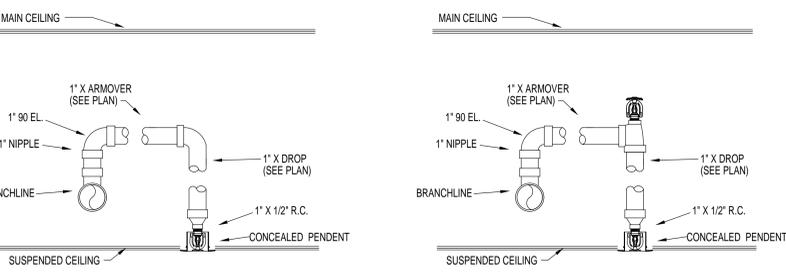
- ALL CONDUITS DISTURBED OR DAMAGED DURING THE INSTALLATION BY CORE DRILLING OR CUTTING SHALL BE RESTORED TO ORIGINAL CONDITION PRIOR TO INSTALLATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ALL DAMAGE DONE TO THE BUILDING UNLESS THE DAMAGE IS PREVIOUSLY DOCUMENTED TO THE OWNER PRIOR TO THE START OF THE WORK.
- WET CORE DRILLING SHALL BE USED WITH PROPER PROTECTION IN PLACE TO PREVENT DAMAGE TO THE BUILDING.
- PENETRATIONS SHALL BE MADE IN A NEAT AND PROFESSIONAL MANNER.
- ALL FLOORS SHALL BE PROTECTED FROM BEING DAMAGED DURING CONSTRUCTION IN THE BUILDING.
- LISTED CONCRETE ANCHORS SHALL BE INSTALLED IN CONCRETE PLANKING IN ACCORDANCE WITH THE CONCRETE PLANK MANUFACTURER'S LISTED ANCHORS INSTRUCTIONS.

SPRINKLER LEGEND								
SYMBOL	MANUFACTURER	SIN	TYPE	RESPONSE	NPT	K-FACTOR	FINISH	ESCUTCHEON
●	TYCO	TY3231	RECESSED PENDENT	QUICK	1/2"	5.6	CHROME	CHROME
● <sub>AC</sub>	TYCO		ABOVE CEILING PROT.	QUICK	1/2"	5.6		
○	TYCO	TY3131	UPRIGHT	QUICK	1/2"	5.6	CHROME	NONE
◊	TYCO	TY5339	DRY SIDEWALL	QUICK	1"	11.2	CHROME	CHROME
⊗	TYCO		SPRINKLER GUARD	---	---	---	---	---

CONTRACTOR SHALL USE THE ABOVE SPECIFIED SPRINKLERS OR EQUAL

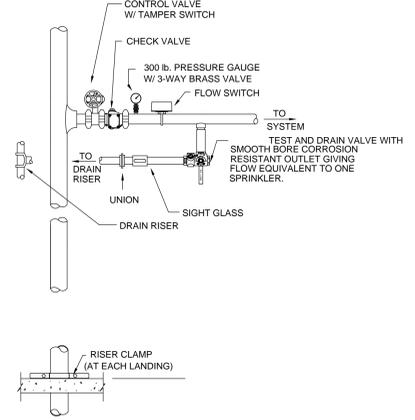
SYMBOL LEGEND	
—	NEW SPRINKLER PIPE
- - -	UNDERGROUND PIPE
⊕	FIRE DEPARTMENT CONNECTION
⊕	OS&Y GATE VALVE
⊕	CHECK VALVE
⊕	WATERFLOW SWITCH
⊕	FLUSHING CAP
⊕	BACKFLOW PREVENTER
⊕	PIPE ELBOW DOWN
⊕	PIPE TEE DOWN
⊕	PIPE CONTINUATION
⊕	PIPE RISER
⊕	HYDRAULIC NODE
⊕	HYDRAULIC AREA
⊕	FLOOR CONTROL ASSEMBLY

FLOW TEST RESULTS	
TEST DATE:	24 SEPTEMBER 2020, "TEST GAUGE" LOCATION: 93 ATLANTIC AVE
PERFORMED BY:	PROVIDENCE WATER, HYDRANT # P1357
STATIC:	70 PSI, "FLOW" LOCATION: LEXINGTON AVE
RESIDUAL:	65 PSI, AT NIAGARA ST.
FLOW:	844 GPM, HYDRANT # P2862

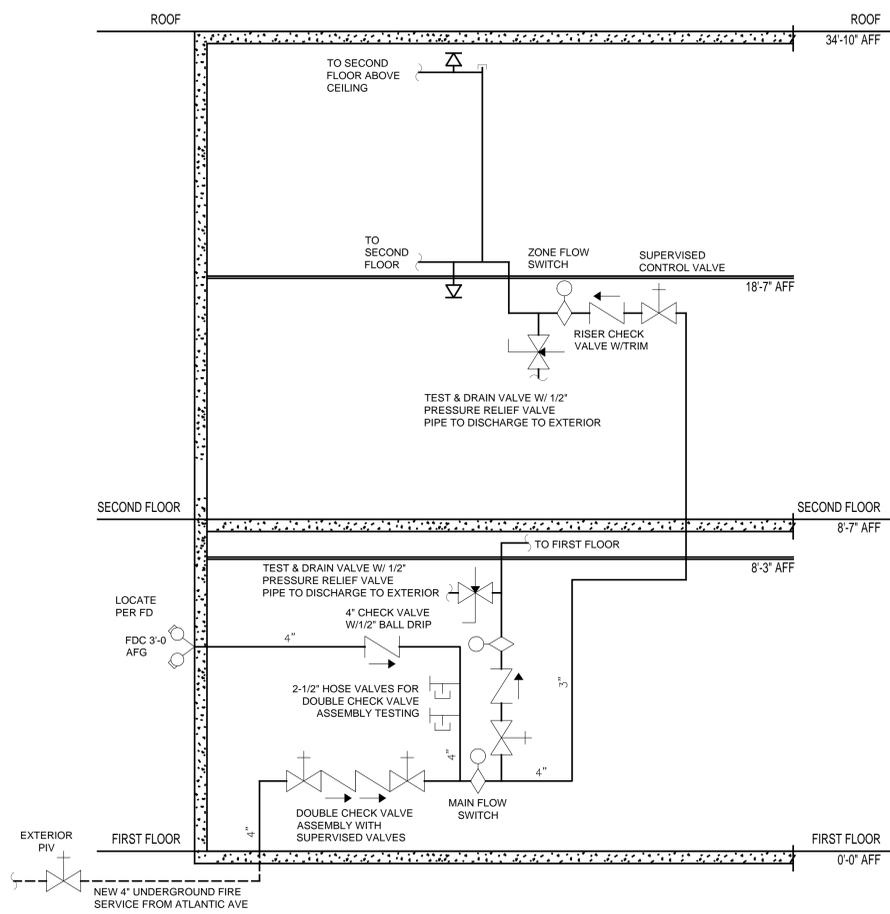


**TYPICAL SPRINKLER RETURN BEND**

**TYPICAL SPRINKLER RETURN BEND WITH ABOVE CEILING PROTECTION**



**TYPICAL SPRINKLER FLOOR CONTROL ASSEMBLY**  
SCALE: NOT TO SCALE



**MAIN SPRINKLER RISER DETAIL**  
SCALE: N.T.S.

INDEX OF DRAWINGS	
DRAWING NO.	DRAWING DESCRIPTION
FP-0.1	FIRE PROTECTION NOTES, LEGEND, AND CONCEPTUAL RISER
FP-1.0	FIRE PROTECTION INSTALLATION PLANS
FA-0.1	FIRE ALARM NOTES, LEGEND, AND CONCEPTUAL RISER
FAD-1.0	FIRE ALARM DEMOLITION PLANS
FA-1.0	FIRE ALARM INSTALLATION PLANS

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REVISIONS		
MARK	DESCRIPTION	DATE

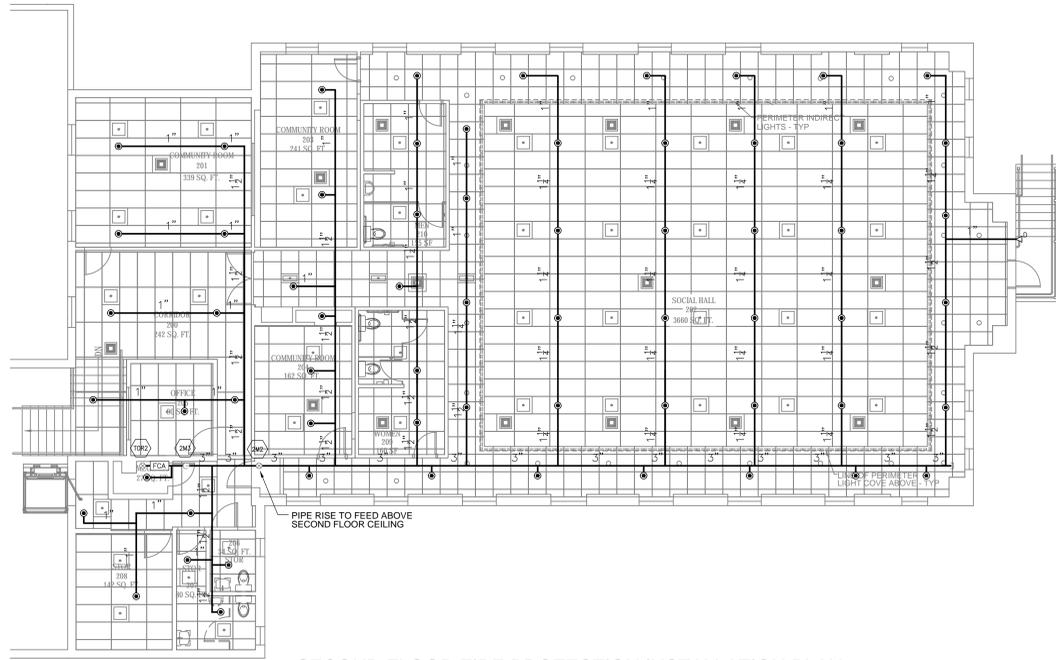
**FIRE PROTECTION NOTES, LEGEND, AND CONCEPTUAL RISER**

**CONSTRUCTION DOCUMENTS**  
JUNE 15, 2021

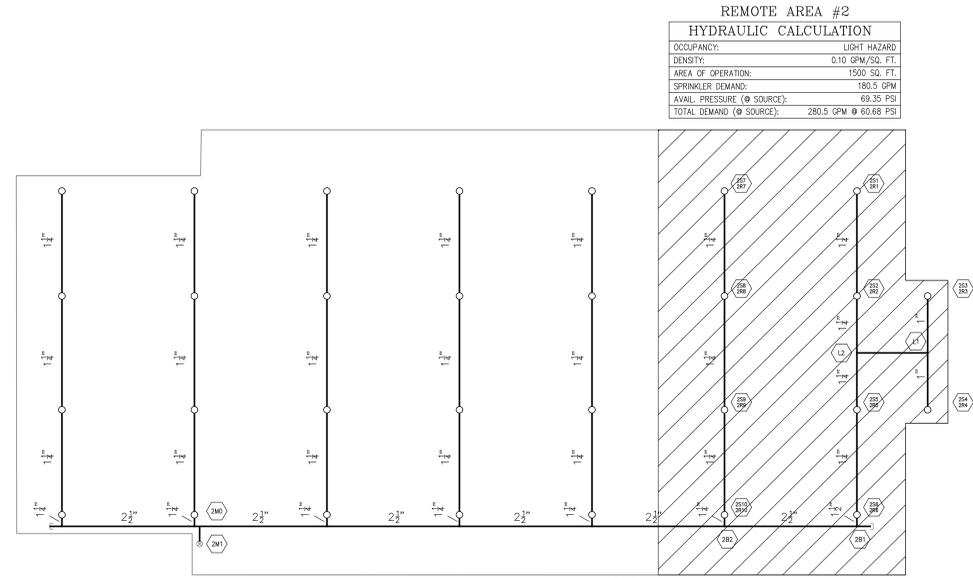
DRAWN JPR	CHECKED JWS	PROJECT NO. 20057
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SHEET NO.  
**FP-0.1**

THE DESIGN OF THESE PLANS IS BASED UPON INFORMATION PROVIDED BY THE CLIENT. THE DESIGNER SHALL TRANSMIT THAT ANY ALTERED DESIGN REQUIREMENTS THAT MAY BE ALTERED BEYOND THE DESIGNER'S CONTROL SHALL BE TRANSMITTED TO THE ARCHITECT AND ENGINEER. THE ARCHITECT AND ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT. THE ARCHITECT AND ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT. THE ARCHITECT AND ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT.



**SECOND FLOOR FIRE PROTECTION INSTALLATION PLAN**  
SCALE: 1/8" = 1' 0"



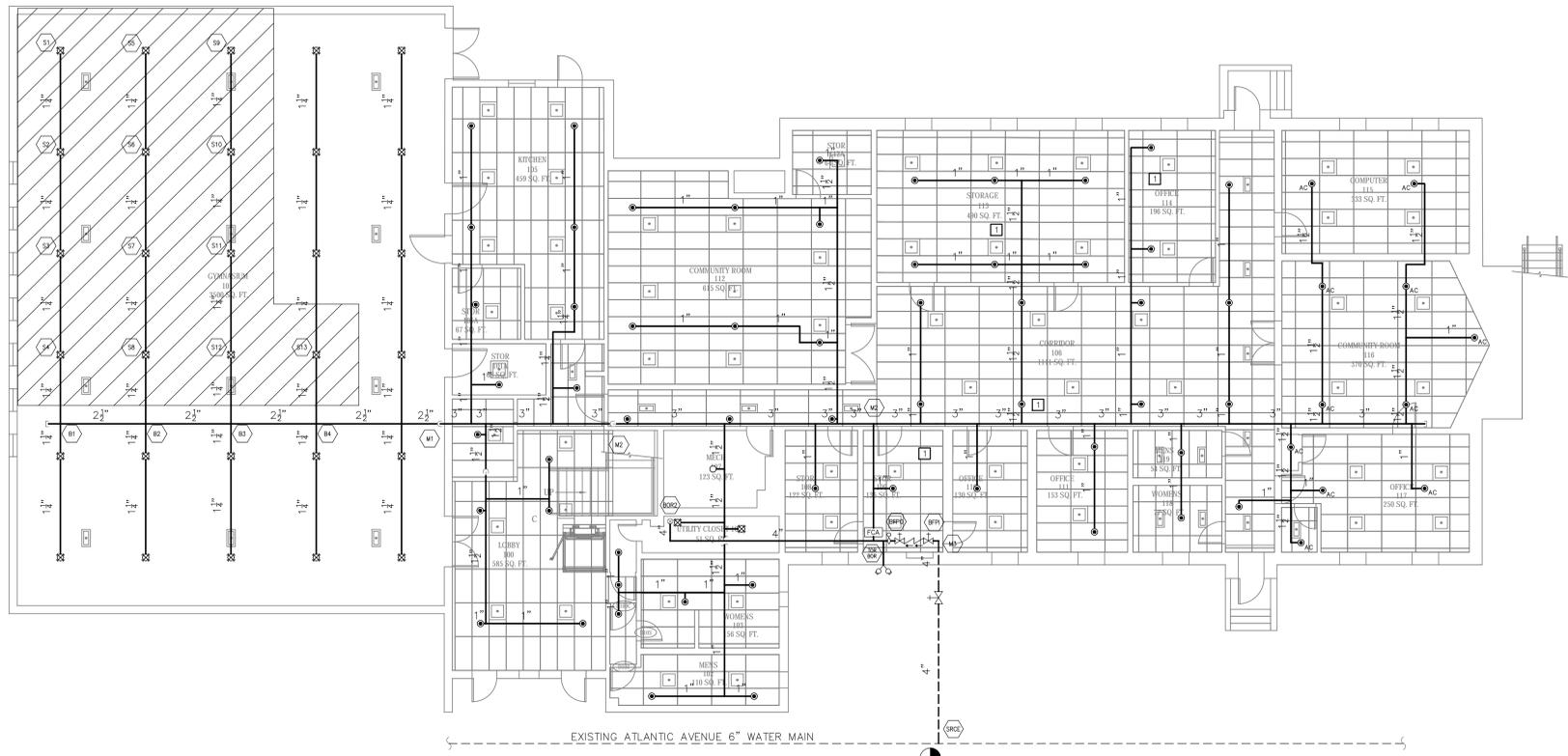
**REMOTE AREA #2**  
**HYDRAULIC CALCULATION**

OCCUPANCY:	LIGHT HAZARD
DENSITY:	0.10 GPM/SQ. FT.
AREA OF OPERATION:	1500 SQ. FT.
SPRINKLER DEMAND:	180.5 GPM
AVAIL. PRESSURE ( @ SOURCE):	69.35 PSI
TOTAL DEMAND ( @ SOURCE):	280.5 GPM @ 60.68 PSI

**SECOND FLOOR ABOVE CEILING FIRE PROTECTION INSTALLATION PLAN**  
SCALE: 1/8" = 1' 0"

**REMOTE AREA #1**  
**HYDRAULIC CALCULATION**

OCCUPANCY:	LIGHT HAZARD
DENSITY:	0.10 GPM/SQ. FT.
AREA OF OPERATION:	1530 SQ. FT.
SPRINKLER DEMAND:	227.2 GPM
AVAIL. PRESSURE ( @ SOURCE):	69.11 PSI
TOTAL DEMAND ( @ SOURCE):	327.2 GPM @ 53.22 PSI



**FIRST FLOOR FIRE PROTECTION INSTALLATION PLAN**  
SCALE: 1/8" = 1' 0"

**SPRINKLER LEGEND**

SYMBOL	MANUFACTURER	SIN	TYPE	RESPONSE	NPT	K-FACTOR	FINISH	ESCUTCHEON
●	TYCO	TY3231	RECESSED PENDENT	QUICK	1/2"	5.6	CHROME	CHROME
○	TYCO		ABOVE CEILING PROT.	QUICK	1/2"	5.6		
○	TYCO	TY3131	UPRIGHT	QUICK	1/2"	5.6	CHROME	NONE
△	TYCO	TY3339	DRY SIDEWALL	QUICK	1"	11.2	CHROME	CHROME
×	TYCO		SPRINKLER GUARD	--	--	--		

CONTRACTOR SHALL USE THE ABOVE SPECIFIED SPRINKLERS OR EQUAL

**SYMBOL LEGEND**

—	NEW SPRINKLER PIPE	↔	BACKFLOW PREVENTER
- - -	UNDERGROUND PIPE	⊕	PIPE ELBOW DOWN
⊕	FIRE DEPARTMENT CONNECTION	⊕	PIPE TEE DOWN
⊕	OS&Y GATE VALVE	⊕	PIPE CONTINUATION
⊕	CHECK VALVE	⊕	PIPE RISER
⊕	WATERFLOW SWITCH	⊕	HYDRAULIC NODE
⊕	FLUSHING CAP	⊕	HYDRAULIC AREA
		[FCA]	FLOOR CONTROL ASSEMBLY

**SHEET NOTES**

□ ACOUSTICAL CEILING GRID SHALL BE LOWERED TO PROVIDE CLEARANCE FOR THE INSTALLATION OF THE FIRE SPRINKLER SYSTEM PIPING BELOW THE EXISTING STRUCTURAL MEMBERS.

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**FIRE PROTECTION INSTALLATION PLANS**

**CONSTRUCTION DOCUMENTS**  
JUNE 15, 2021

DRAWN JPR	CHKD JWS	PROJECT NO. 20057
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SHEET NO.  
**FP-1.0**