

NOV 13 2025

**CITY OF PROVIDENCE  
BUILDING BOARD OF REVIEW**

**APPLICATION APPEALING THE DECISION OF THE BUILDING OFFICIAL, OR  
FOR A VARIATION OR MODIFICATION FROM CERTAIN SECTIONS OF THE RI STATE BUILDING CODE**

**Check Type of Building Board Application:**

- Variance – variation from, or modification of, certain sections of the RI State Building Code
- Appeal of a decision of the Building Official

*If a section of the application is not applicable, please indicate this by using N/A in that field.*

**Applicant:** \_\_\_\_\_ **Applicant Mailing Address**  
**Email:** \_\_\_\_\_ **Street:** \_\_\_\_\_  
**Phone:** \_\_\_\_\_ **City, State, Zip:** \_\_\_\_\_

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**Owner:** Tyshonda Scott \_\_\_\_\_ **Owner Mailing Address**  
**Email:** dayni21@gmail.com \_\_\_\_\_ **Street:** 23 Charles St  
**Phone:** (401) 663 - 7937 \_\_\_\_\_ **City, State, Zip:** Pawtucket, RI 02860

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**Appellant:** Tyshonda Scott \_\_\_\_\_ **Appellant Mailing Address**  
**Email:** dayni21@gmail.com \_\_\_\_\_ **Street:** 23 Charles St  
**Phone:** (401) 663 -7937 \_\_\_\_\_ **City, State, Zip:** Pawtucket, RI 02860

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**Attorney:** \_\_\_\_\_ **Attorney Mailing Address**  
**Email:** \_\_\_\_\_ **Street:** \_\_\_\_\_  
**Phone:** \_\_\_\_\_ **City, State, Zip:** \_\_\_\_\_

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1. Subject Department of inspection + Standards Permit Number: #BLDG-25-1120 \_\_\_\_\_
2. Street Address of Subject Property: 102 Ellery St \_\_\_\_\_  
 Assessor's Plat and Lot Numbers of Subject Property: AP 37/ LOT 472 \_\_\_\_\_
3. Base Zoning District(s): R-3 \_\_\_\_\_  
 Overlay District(s): \_\_\_\_\_

4. Date owner purchased the Property: 03/31/2023

5. Building construction type(s): Two Family Home

6. Dimensions of each lot:  
Lot # 472 Width 40 Depth 110 Total area 4,400 sq. ft.  
Lot # \_\_\_\_\_ Width \_\_\_\_\_ Depth \_\_\_\_\_ Total area \_\_\_\_\_ sq. ft.

7. Size of existing structure(s) located on the Property:

<u>Principal Structure:</u>	<u>Accessory Structure:</u>
Area of Footprint <u>1,152</u>	Area of Footprint _____
Overall Height <u>31</u>	Overall Height _____
# of Stories <u>2</u>	# of Stories _____

8. Size of proposed structure(s) located on the Property:

<u>Principal Structure:</u>	<u>Accessory Structure:</u>
Area of Footprint _____	Area of Footprint _____
Overall Height _____	Overall Height _____
# of Stories _____	# of Stories _____

9. Present Legal Zoning Use of the Property: R-3 Zone

10. Proposed Zoning Use of the Property: Renovate existing 2 fam lower level to 3-bedroom unit

11. Number of Parking Spaces:

# of existing spaces 2 # of proposed spaces 3

12. Are there outstanding violations concerning the Property under any of the following:

Providence Zoning Ordinance  RI State Building or Property Maintenance Code(s)

13. Summarize all changes proposed for the Property (use, construction/renovation, site alteration):

Renovate the existing 2-family lower-level area into a 3-bedroom Unit.

14. If application is for variance, list RI State Building Code Sections from which a variance is sought:

<u>Section Number</u>	<u>Section Title + Required relief (e.g. dimensional deficiency of 6" on a landing)</u>
<u>3404.1</u>	<u>Alterations</u>
<u>420.4</u>	<u>Automatic Sprinkler System</u>
<u>903.2.8</u>	<u>Group R</u>
<u>1011.5.2</u>	<u>Riser height and tread depth (height: Stairs)</u>
<u>1011.5.2</u>	<u>Riser height and tread depth (rectangular tread depths)</u>

**QUESTIONS 15 AND 16 TO BE ANSWERED ONLY IF APPLICATION IS AN APPEAL**

15. IF application is an appeal of a decision of the Building Official, please indicate if:

- Appellant is the Owner of the subject Property  
 Appellant is an aggrieved party that is not the Owner of the subject Property

16. IF application is an appeal of a decision of the Building Official, please indicate the grounds for the appeal:

Appealing the decision of Building Official John Botelho, the scope of the permit for interior alteration to change the use from a two-family dwelling to a three-family dwelling. The lower level will be renovated into a 3-bedroom unit.

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**IF MORE ROOM IS NEEDED TO ANSWER ANY OF THE ABOVE QUESTIONS, PLEASE SUBMIT AN ADDENDUM TO THIS APPENDIX WITH COMPLETE RESPONSES.**

*The undersigned acknowledge(s) and agree(s) that members of the Building Board of Review and its staff may enter upon the Property in order to view the Property prior to any hearing on the application.*

*The undersigned further acknowledge(s) that the statements herein and in any attachments or appendices are true and accurate, and that providing a false statement in this application may be subject to criminal and/or civil penalties as provided by law, including prosecution under the State and Municipal False Claims Acts. Owner(s)/Applicant(s) are jointly responsible for any false statements.*

**Owner(s):**

Tyshonda Scott

Type Name

Signature

Type Name

Signature

**Applicant(s)/Appellant(s):**

Tyshonda Scott

Type Name

Signature

Type Name

Signature

**All applicable requirements listed and described on the Instruction Sheet shall be met or this application will not be considered complete.**

**Please contact the Office of the Boards of Review with questions:**

**Telephone – 401-680-5375**

**Email – [bsath@providenceri.gov](mailto:bsath@providenceri.gov)**

**A fillable PDF copy of this document can be found online at the Boards of Review webpage linked from the Department of Inspection + Standards: <https://www.providenceri.gov/inspection-standards/>**



**REFERENCE:**

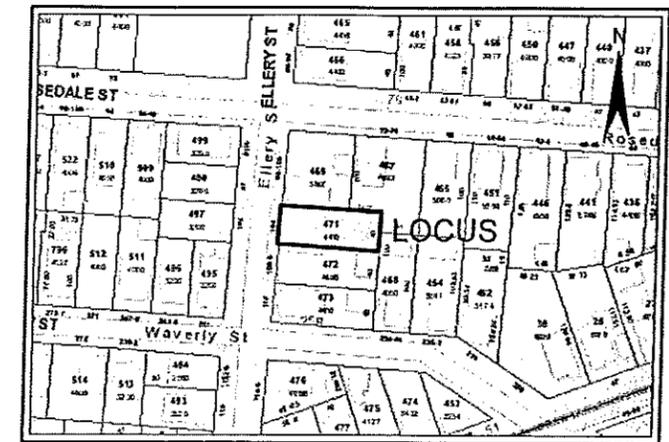
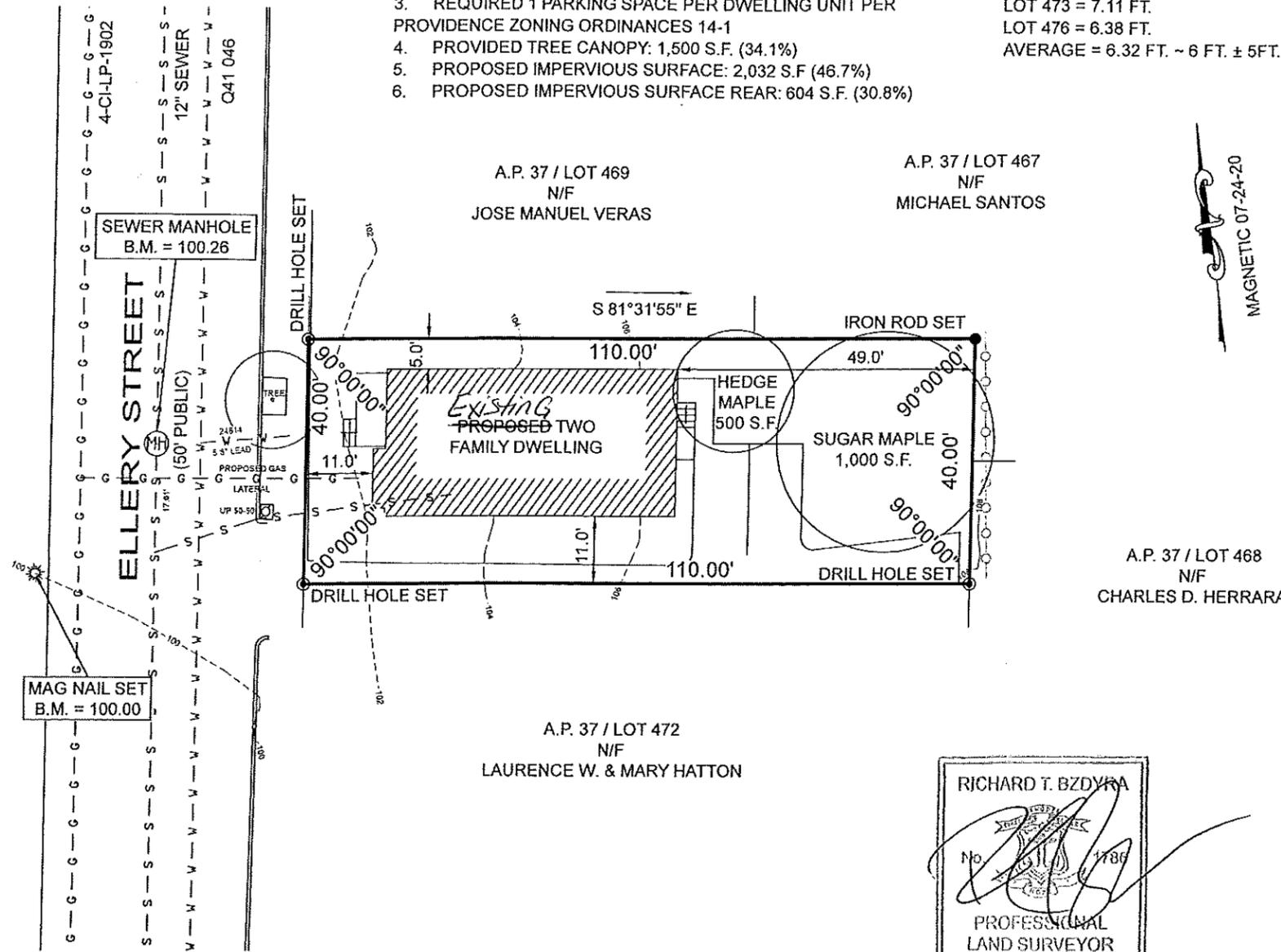
1. DEED BK. 12762 PG. 237 REC. LOT 36 " UNION PLAT NO. 1 BY J.A. LATHAM, DEC. 1886" P.C. 582

**NOTE:**

1. NO GAS LATERAL TO LOT.
2. FEMA MAP 44007C0312H / 10-02-2015 / ZONE X.
3. REQUIRED 1 PARKING SPACE PER DWELLING UNIT PER PROVIDENCE ZONING ORDINANCES 14-1
4. PROVIDED TREE CANOPY: 1,500 S.F. (34.1%)
5. PROPOSED IMPERVIOUS SURFACE: 2,032 S.F. (46.7%)
6. PROPOSED IMPERVIOUS SURFACE REAR: 604 S.F. (30.8%)

**AVERAGE ALIGNMENT:**

LOT 469 = 4.23 FT.  
 LOT 472 = 7.56 FT.  
 LOT 473 = 7.11 FT.  
 LOT 476 = 6.38 FT.  
 AVERAGE = 6.32 FT. ~ 6 FT. ± 5FT.



**ZONING DISTRICT R-3**

MINIMUM LOT AREA NONE  
 MINIMUM LOT FRONTAGE NONE  
 MINIMUM SETBACKS: FRONT AVERAGE ALIGNMENT  
 SIDE 4 FT.  
 REAR 25.25 FT.

TOTAL MAXIMUM IMPERVIOUS SURFACE COVERAGE: 65%  
 MAXIMUM IMPERVIOUS SURFACE COVERAGE REAR YARD: 50%  
 MINIMUM CORNER SIDE SETBACK: SAME AS FRONT SETBACK  
 ARTICLE 15-1 TREE CANOPY COVERAGE: 30%

**DIMENSIONAL CONFORMANCE SURVEY**

A.P. 37 / LOT 471  
 102 ELLERY STREET  
 PROVIDENCE, R.I. 02909  
 SCALE: 1"=20' DATE: OCTOBER 16, 2020

PREPARED FOR:  
**ACR INVESTMENTS, LLC**  
 2170 MINERAL SPRING AVENUE, NORTH PROVIDENCE, R.I. 02911  
 PHONE: (401) 241-4796

PREPARED BY:  
**OCEAN STATE PLANNERS, INC.**  
 1255 OAKLAWN AVENUE, CRANSTON, RI 02920  
 PHONE: (401) 463-9696 info@osplanners.com

JOB NO. 9736 / DWG. NO. 9736 - (AJB)

GRAPHIC SCALE / 1" = 20'



**SURVEY CLASSIFICATION:**

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

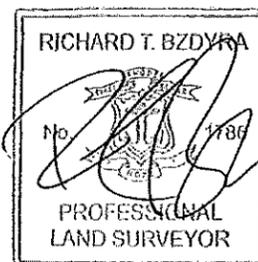
TYPE OF BOUNDARY SURVEY: MEASUREMENT SPECIFICATION:

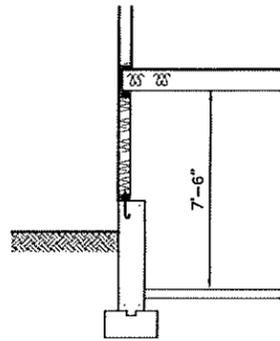
LIMITED CONTENT BOUNDARY SURVEY CLASS I

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:  
 TO ESTABLISH AND STAKE RECORD BOUNDARY LINES.

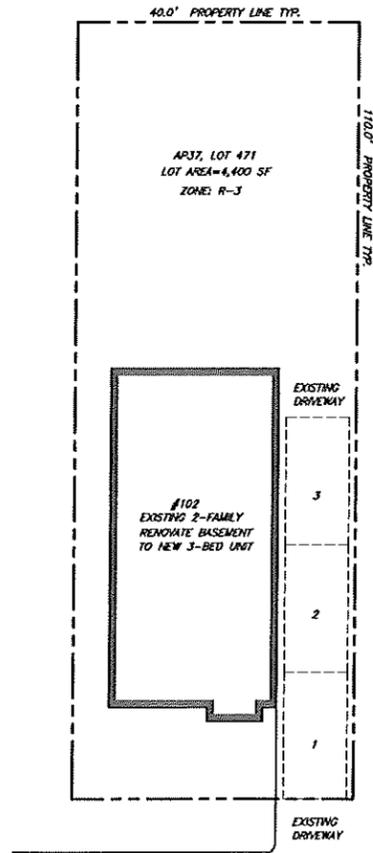
BY: *[Signature]* DATE: *Oct 16, 2020*

BY: RICHARD T. BZDYRA, PLS. LICENSE #1786; COA # LS-A60

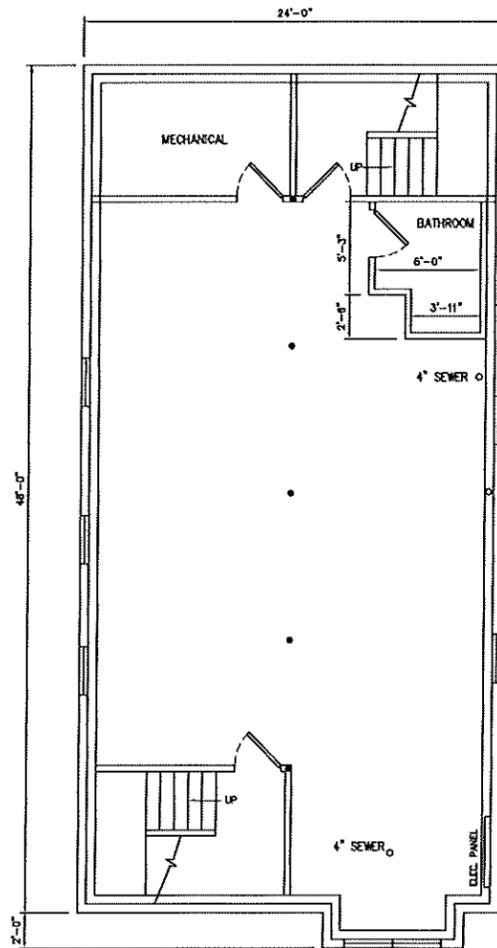




EXISTING BASEMENT SECTION  
SCALE: 3/8"=1'-0"



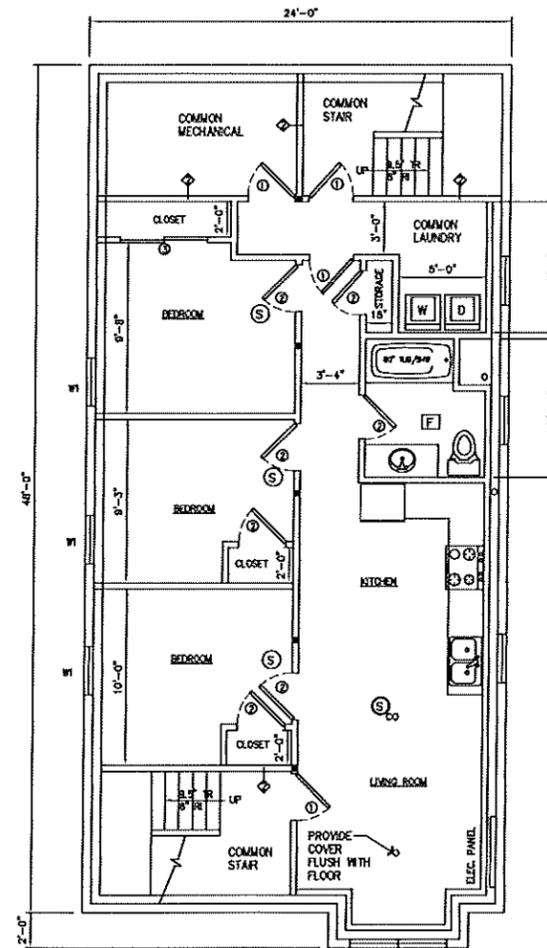
PLOT PLAN  
SCALE: 1"=10'



EXISTING BASEMENT PLAN  
SCALE: 1/4"=1'-0"

SCOPE OF WORK:  
RENOVATE EXISTING 2-FAMILY LOWER LEVEL AREA TO A 3-BEDROOM UNIT.

NOTE:  
SEE ATTACHED ORIGINAL BUILDING PLANS WITH BASEMENT, FIRST FLOOR AND SECOND FLOOR LAYOUTS.  
EXISTING STAIRS HAVE A 1-HR FIRE RATING.



PROPOSED LOWER LEVEL PLAN  
SCALE: 1/4"=1'-0"

ALL INTERIOR WALLS SHALL BE 2x4 FRAMING @ 16" O.C.  
SOLE PLATE SHALL BE PRESSURE TREATED

- (S) SMOKE & CO<sub>2</sub> DETECTORS HARD WIRED
- (S) SMOKE DETECTORS HARD WIRED
- (H) HEAT DETECTOR
- (F) EXHAUST FAN (VENTED OUTSIDE)

DOOR SCHEDULE		
NO.	ROUGH OPENING	TYPE
1	2'-10 1/2" x 6'-8 1/2"	2'-8" x 6" INTERIOR 60 MIN. FIRE RATED WITH SELF-CLOSING HARDWARE
2	2'-8 1/2" x 6'-8 1/2"	2'-6" x 6" WOOD INTERIOR
3	5'-2 1/2" x 6'-10 1/2"	5'-0" x 6" WOOD SLIDER

- NOTES:
- VERIFY ALL ROUGH OPENINGS WITH MANUFACTURE PRIOR TO CONSTRUCTION.
  - WEATHER STRIPPING REQUIRED FOR ALL EXTERIOR DOORS
  - MIN. DESIGN PRESSURE REQUIRED FOR DOOR GLAZING 20 PSF
  - ALL DOORS LEADING TO ACCESSIBLE ROUTES SHALL HAVE LEVER TYPE HARDWARE

WINDOW SCHEDULE					
NO.	ROUGH OPENING	DESIGNATION	TYPE	NET AREA	DP
W1	3'-0 1/4" x 3'-5 1/2"	CORNER	CASEMENT	5.82 SF	30

USE DOUBLE PANE WINDOWS

- NOTES:
- VERIFY ALL ROUGH OPENINGS WITH MANUFACTURE PRIOR TO CONSTRUCTION.
  - HEADUR HEIGHTS TO BE 4"-10" TO BOTTOM UNLESS OTHERWISE NOTED.
  - SILL HEIGHT FROM FINISH FLOOR MIN. 1/4" AND MAXIMUM 4" FROM FINISH FLOOR
  - MIN. DESIGN PRESSURE REQUIRED: 20 PSF; DESIGN PRESSURE PROVIDED: 30 PSF
  - SAFETY GLAZING SHALL BE LABELED AND CONFORM TO ANIA/ANMA/NSA 101LS.2/1140

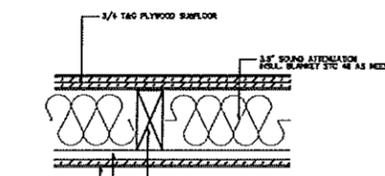
REQUEST VARIANCE FOR THE FOLLOWING:

- FIRE SPRINKLER SYSTEM
- STAIR TREAD/RISER

NOTE:  
EACH KITCHEN HOOD RANGE (EVERY FLOOR) SHALL BE EQUIPPED WITH A FIRE SUPPRESSION DEVICE "STOVE/TOPT FRESTOP" OR APPROVED EQUAL.

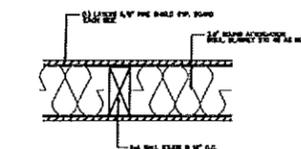
ALL WALLS & CEILING BETWEEN STAIRS & LIVING SPACE SHALL HAVE 5/8" FIRE CODE TYPE "X" GYP. BRD.

ALL WALLS & CEILING BETWEEN BASEMENT UNIT AND FIRST FLOOR 5/8" FIRE CODE TYPE "X" GYP. BRD.



1 FLOOR/CEILING ASSEMBLY

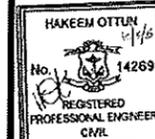
1 HR FIRE RATED  
UL L502  
STC 53



2 2X4 STAIR WALL DETAIL

1 HR FIRE RATED  
DES U300  
STC 50

PREPARED BY: OCVM LLC  
CONSULTING ENGINEER  
HAKEEM OTTLIN, P.E.  
R.I. LICENSED PROFESSIONAL ENGINEER  
Email: hakeemottlin@gmail.com



DESIGNED BY: [Blank]  
DRAWN BY: [Blank]  
CHECKED BY: [Blank]  
PROJECT NO.: 121-2025

REVISION	DATE	BY	NO.
1			
2			

PROPOSED RENOVATION  
102 ELLERY STREET  
PROVIDENCE, RI

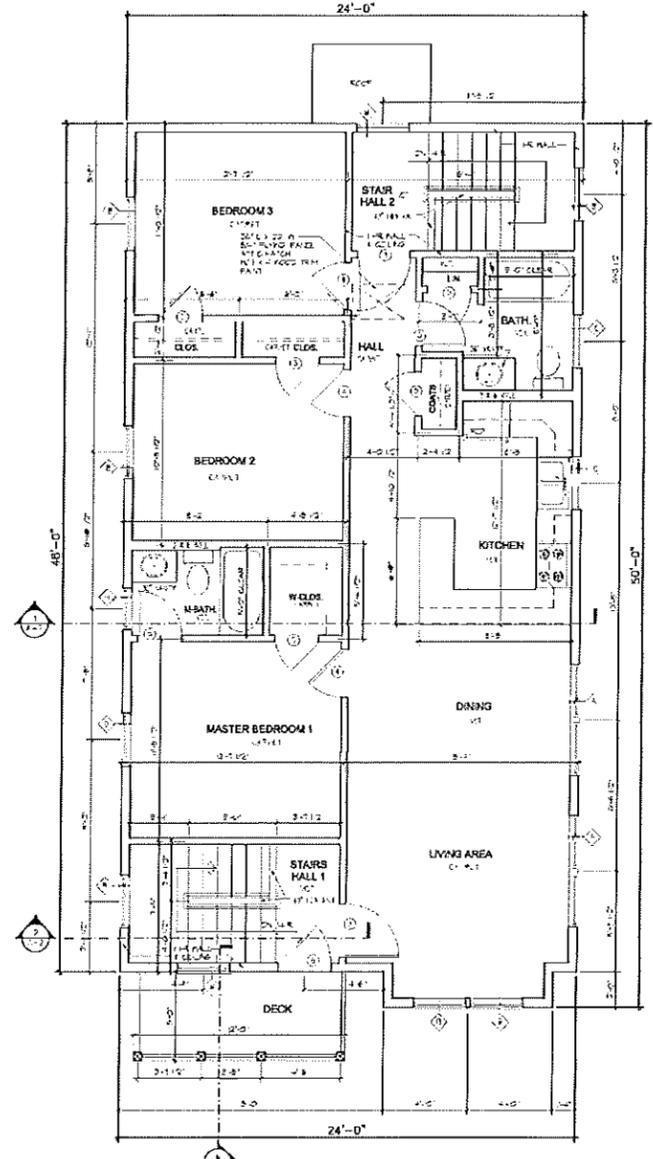
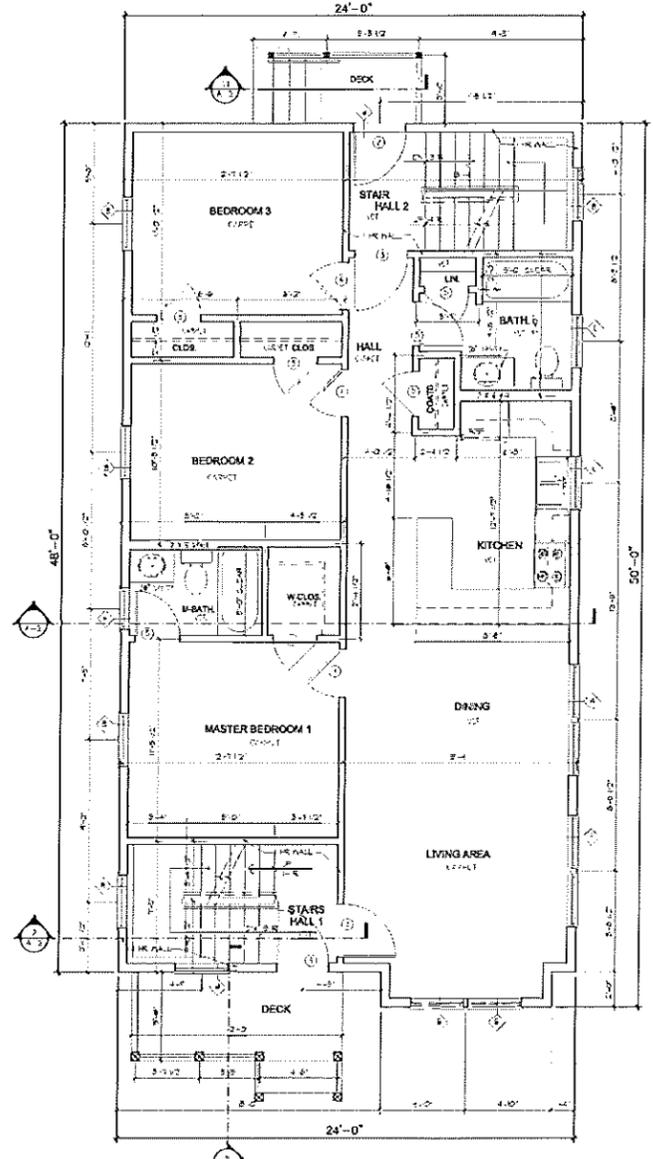
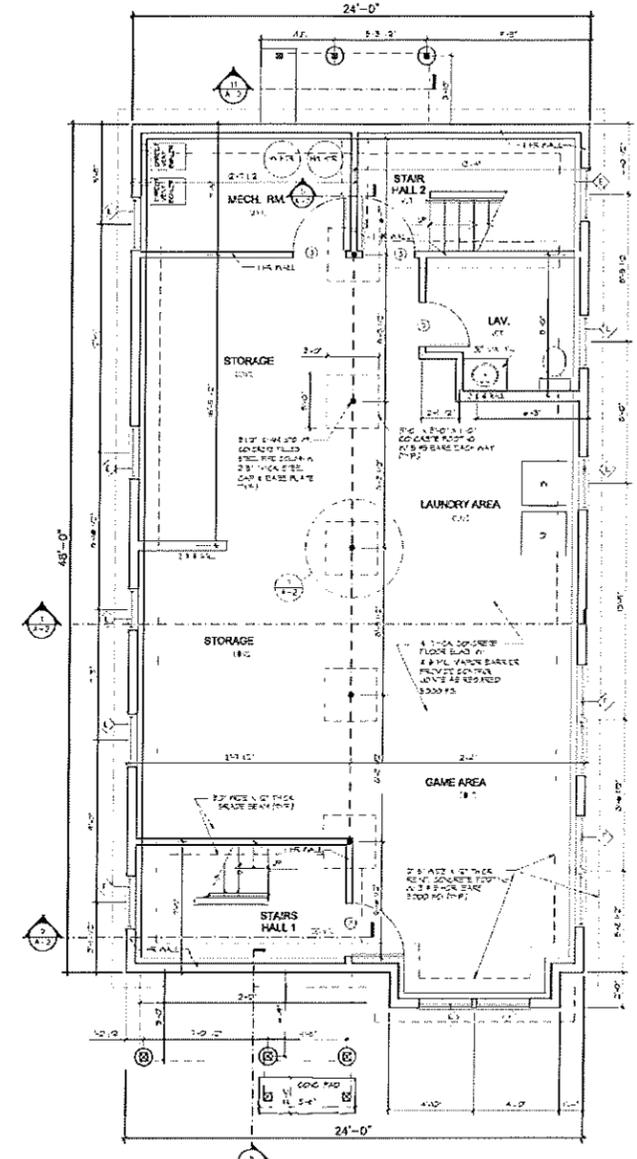
PREPARED FOR:  
DAVID SCOTT  
102 ELLERY STREET  
PROVIDENCE, RI

DATE: OCT. 2025

SCALE: AS SHOWN

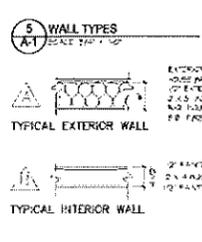
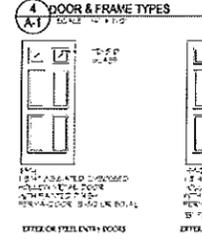
SHEET:  
1 OF 1

**GENERAL NOTES**  
 1. SEE 2-D & 3-D NOTES HANDS ON 12" PLANBOOK FOR ALL FINISHES, MATERIALS & DIMENSIONS.  
 2. ALL L.V.L. DECKING DESIGNED BY MANUFACTURER (SEE 2-D OR 3-D).



**DOOR SCHEDULE**

NO.	TYPE	SIZE	REMARKS
1	INTERIOR DOOR	3'-0" x 6'-8" x 1'-1/2"	BRAND: CASHA 2000 (40-02) WITH FINISH: 1000
2	EXTERIOR ENTRY DOOR	3'-0" x 6'-8" x 1'-1/2"	1 1/2" x 6" DOOR, 5/8" GLASS (SEE-10) WITH FINISH: 1000
3	WALK IN CLOSET	3'-0" x 6'-8" x 1'-1/2"	BRAND: CASHA 2000 (40-02) WITH FINISH: 1000
4	WALK IN CLOSET	3'-0" x 6'-8" x 1'-1/2"	BRAND: CASHA 2000 (40-02) WITH FINISH: 1000
5	WALK IN CLOSET	3'-0" x 6'-8" x 1'-1/2"	BRAND: CASHA 2000 (40-02) WITH FINISH: 1000
6	EXTERIOR ENTRY DOOR	3'-0" x 6'-8" x 1'-1/2"	BRAND: CASHA 2000 (40-02) WITH FINISH: 1000



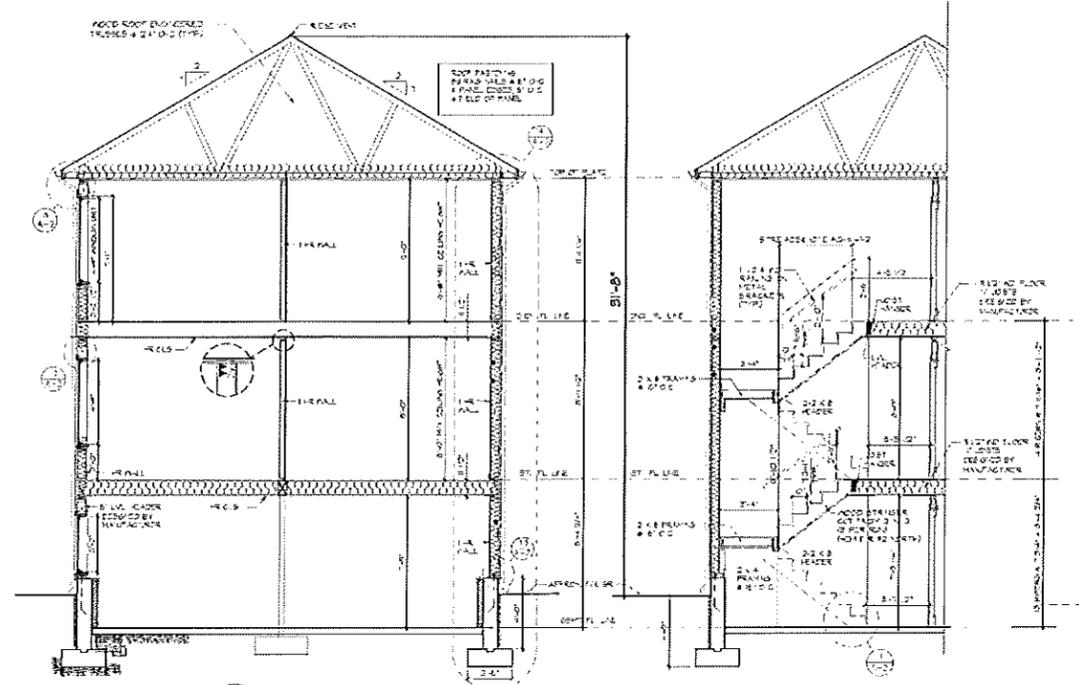
NO.	DATE	REVISION
1	10.24.2018	

**e.s. design ltd**  
 design - planning - interiors  
 570 Broad Street  
 Providence, RI 02907  
 Tel: 401-580-5500  
 Email: info@esdesign.com

102 Ellery St.  
 PROVIDENCE, RI

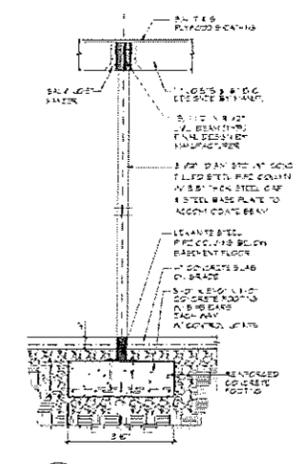
Scale	1/4" = 1'-0"
Project	102 Ellery St.
Client	102 Ellery St.
Architect	e.s. design ltd
Contractor	X
Construction	102 Ellery St.

**A-1**  
 BASEMENT PLAN  
 FIRST FLOOR PLAN  
 SECOND FLOOR PLAN  
 WALL TYPES

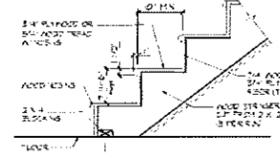


1 TYPICAL SECTION  
SCALE: 1/4" = 1'-0"

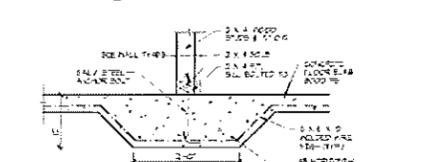
2 SECTION  
SCALE: 1/4" = 1'-0"



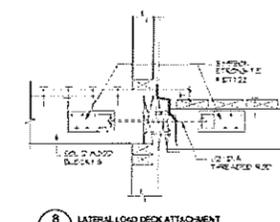
7 TYP. COLUMN DETAIL  
SCALE: 2" = 1'-0"



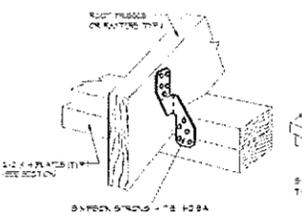
4 TYPICAL STAIR DETAIL  
SCALE: 2" = 1'-0"



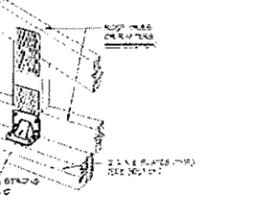
5 DETAIL OF GRADE BEAM  
SCALE: 2" = 1'-0"



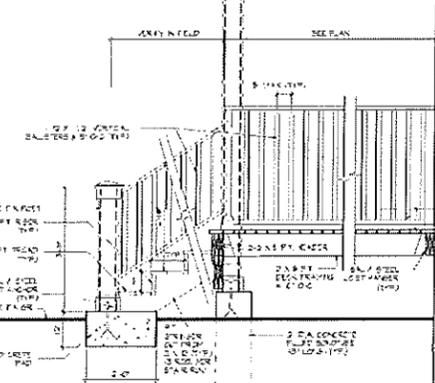
8 LATERAL LOAD DECK ATTACHMENT  
SCALE: 2" = 1'-0"



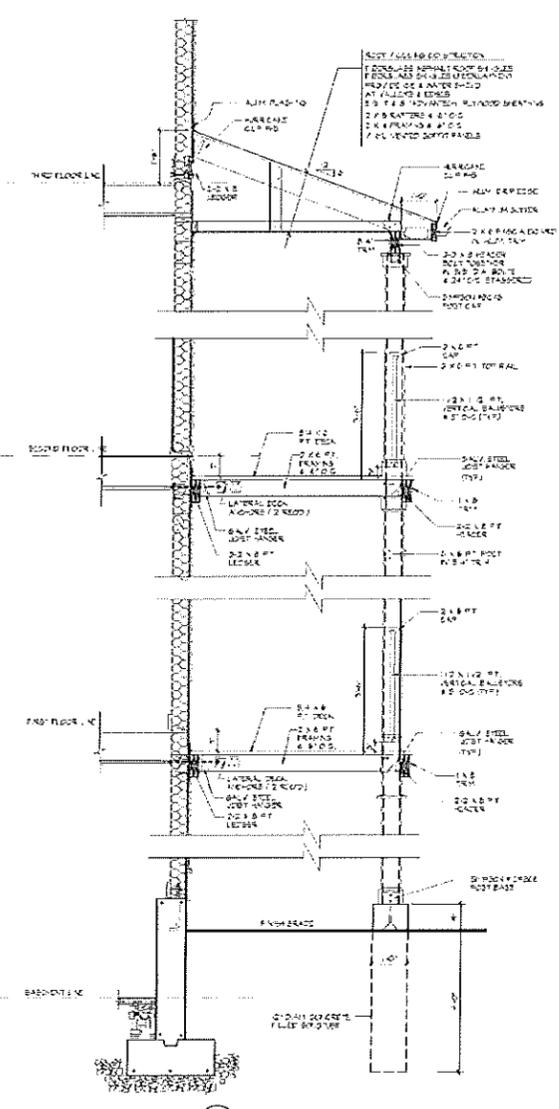
9 DETAIL - HURRICANE TIES  
SCALE: 2" = 1'-0"



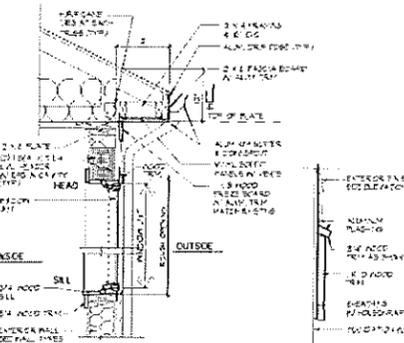
10 DETAIL - HURRICANE TIES  
SCALE: 2" = 1'-0"



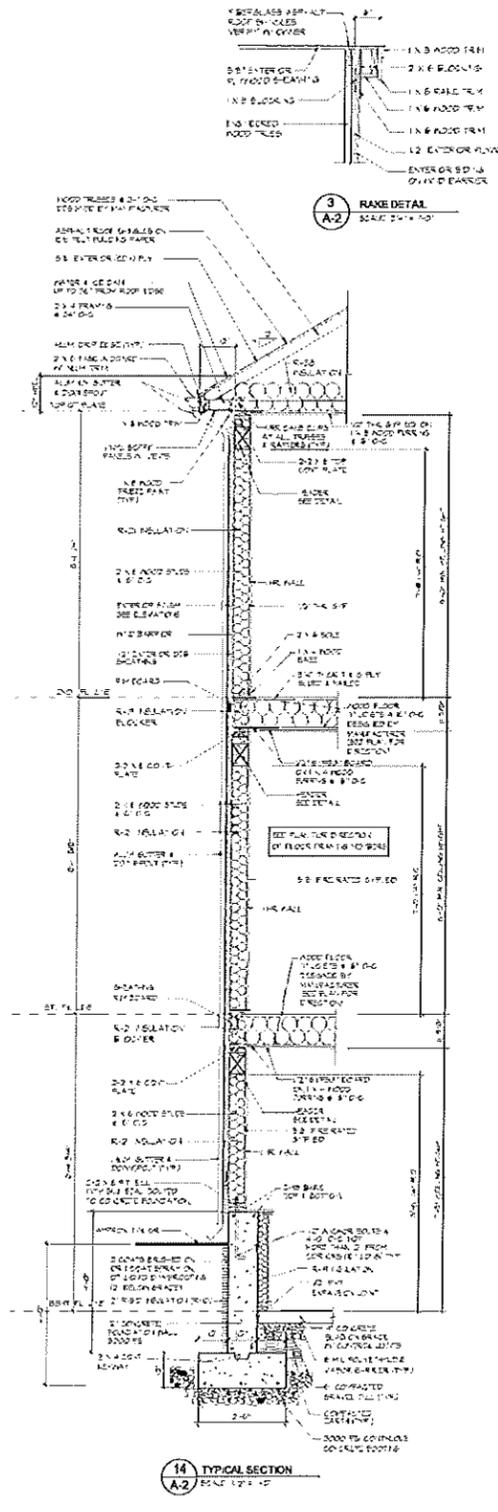
11 DECK DETAIL  
SCALE: 1/2" = 1'-0"



6 SECTION (COVERED PORCH)  
SCALE: 1/4" = 1'-0"



12 HEADER/EAVE DETAIL  
SCALE: 1/2" = 1'-0"



14 TYPICAL SECTION  
SCALE: 1/4" = 1'-0"

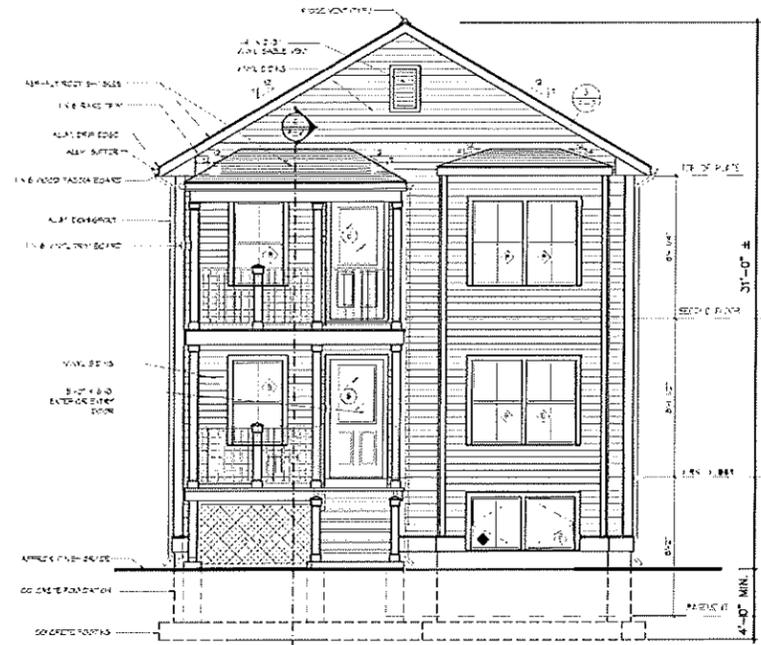
NO.	DATE	DESCRIPTION
1	10/15/18	ISSUED FOR PERMIT
2	11/05/18	REVISIONS
3	01/15/19	REVISIONS

**e.a. design kd**  
design · planning · interior  
670 Broad Street  
Providence, RI 02907  
Tel: 401-580-8800  
www.eadesignkd.com

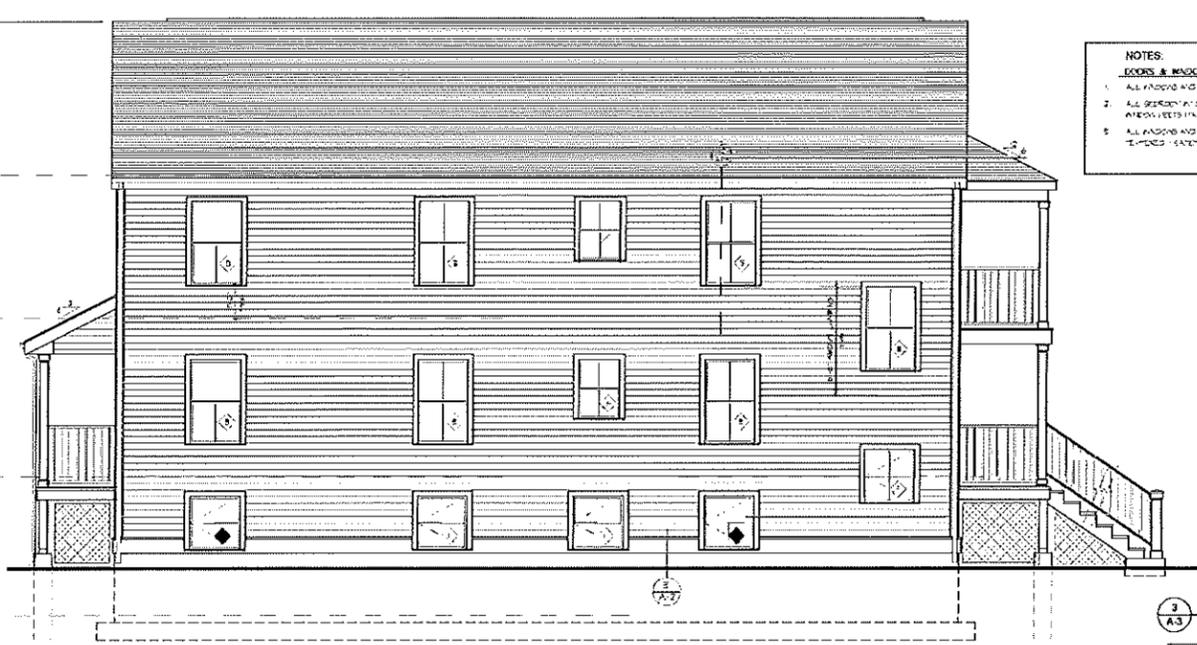
102 Ellery St.  
PROVIDENCE, RI

Scale	As Shown
Drawn	R.P.L.
Check	R.P.L.
Project	
Date	10/15/18
Contract	1801

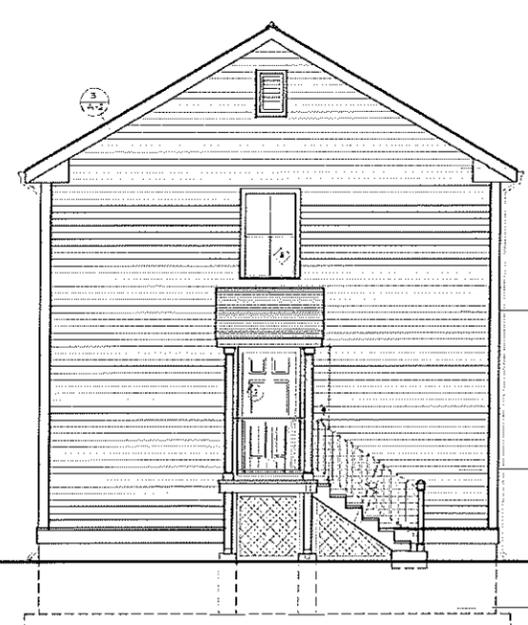
**A-2**  
SECTIONS & DETAILS



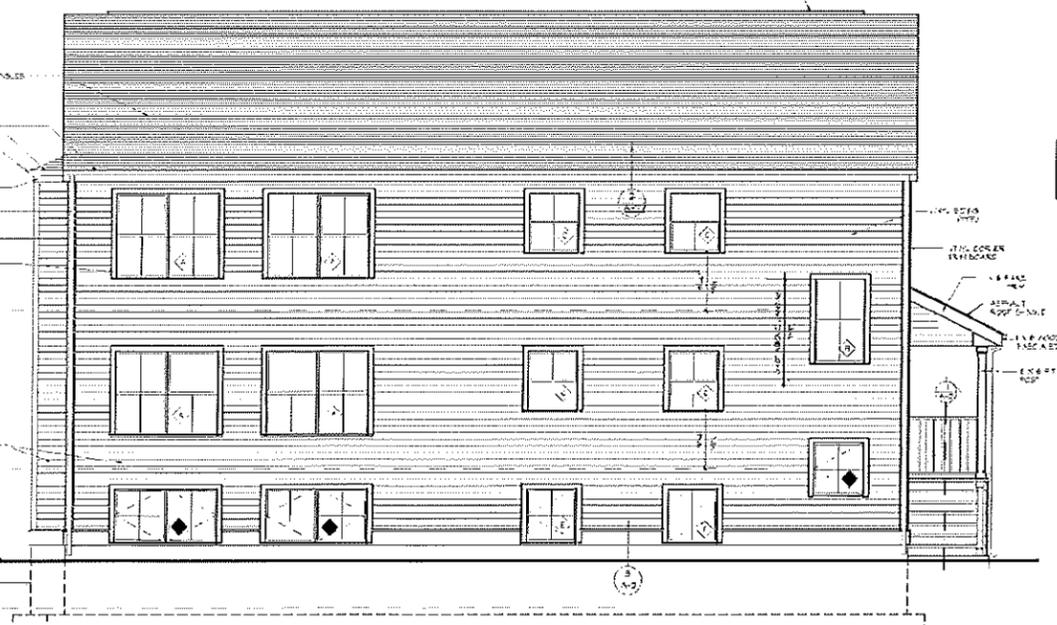
1 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



2 LEFT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



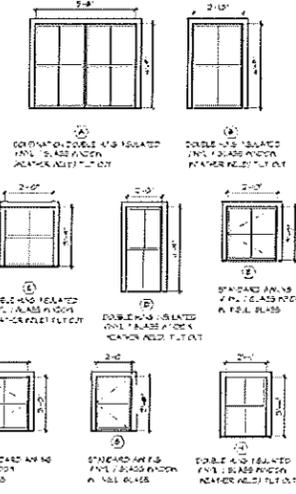
4 REAR ELEVATION  
SCALE: 1/4" = 1'-0"



5 RIGHT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

**NOTES:**  
**EXTERIOR & WINDOW GLAZING**  
1. ALL WINDOWS AND DOOR GLAZING TO HAVE 1/2" INSULATION GLAZE  
2. ALL WINDOWS AND DOOR TO HAVE 1/2" INSULATION GLAZE  
3. ALL WINDOWS AND DOOR GLAZING TO HAVE 1/2" INSULATION GLAZE  
4. ALL WINDOWS AND DOOR GLAZING TO HAVE 1/2" INSULATION GLAZE

**WINDOW TYPES**



**GENERAL NOTES**  
1. GENERAL CONTRACTOR SHALL OBTAIN ALL PERMITS AND VERIFY THE NECESSARY TO BE OBTAINED BY THE OWNER.  
2. CONTRACTOR SHALL MAINTAIN ALL RECORDS REQUIRED BY THE OWNER AND SHALL PROVIDE PROOF OF SUCH RECORDS AS REQUESTED.  
3. ALL PERMITS SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS AND SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.  
4. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL MAINTAIN ALL RECORDS AS REQUESTED.  
5. THESE DRAWINGS ARE ONLY A PART OF THE CONSTRUCTION DOCUMENTS. OTHER DRAWINGS ARE PROVIDED BY OWNER AS NOTED.  
6. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE OWNER IMMEDIATELY.  
7. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE OWNER IMMEDIATELY.  
8. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE OWNER IMMEDIATELY.  
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NO.	DATE	REVISION
1.	11-24-2018	

**e.a. design ltd**  
design - planning - interiors  
570 Broad Street  
Providence, RI 02907  
Tel: 401-580-6600  
e.design@edesign.com

102 Ellery St.  
PROVIDENCE, RI

DATE:	11-24-2018
DRAWN BY:	A.E.E.
CHECKED BY:	K.E.E.
PROJECT:	102 ELLERY ST.
CONTRACTOR:	XX
SCALE:	1/4" = 1'-0"

**A-3**  
EXTERIOR ELEVATIONS  
WINDOW TYPES  
GENERAL NOTES