



**Record No:**  
**ZBR-26-14**

Zoning Board of  
Review Application

Status: Active

Submitted On: 4/15/2026

**Primary Location**

11 De Soto St  
Providence, RI 02909

**Owner**

No owner information

**Applicant**

Jose Francisco Huarancay  
 [Redacted]  
 [Redacted]  
 [Redacted]  
[Redacted]  
[Redacted]

**Owners and Applicants Information**

**Who is Submitting this Application?\***

Other

**Name and Professional Title of Person Submitting the Application\***

Jose Francisco Huarancay - Architectural Drafter

**Owners Name\***

Michael Pimentel

**Owner Mailing Address\***

[Redacted]

**Owner Email\***

[Redacted]

**Owner Phone\***

[Redacted]

**Name of Applicant, if different than owner ?**

**Applicant Mailing Address, if different than owner**

**Applicant Email, if different than owner**

**Applicant Phone, if different than owner**

**Attorney Name**

**Attorney Mailing Address**

**Attorney Email**

**Attorney Phone**

**Owner Attestation and Signature Page\*** 

11 DE SOTO - OWNER ATTES  
TATION.pdf

For fillable pdf of the Owner Attestation and Signature Page please visit the Applications and Forms section of our website: <https://www.providenceri.gov/inspection/boards-of-review/>

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## Type of Application

**Application Type\***

Dimensional Variance

List all Zoning Ordinance Sections from which a variance is sought. Include Section Number, Section Title, and Quantity of relief, if applicable (eg. 4' setback where 6' required)\*

**ARTICLE 19. ZONING APPLICATIONS AND APPROVALS**

1902 - Variance

Second Curb Cut (Section 1407.B)

Two (2) curb cuts along the 80.00-foot frontage to improve site circulation and safety.

**Summarize any changes proposed for the Property (use, construction/renovation, site alteration):\***

Modification of an existing structure to accommodate Three (3) Residential units and one (1) Accessory Dwelling Unit (ADU)

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# Subject Property Information

**Address of Subject Property\***

11 DE SOTO ST. PROVIDENCE

**Plat\***

33

**Lot(s)\*** 

660

**Existing Zoning Use of the Property\***

Industrial - General

**Proposed Zoning Use of the Property\***

Other

**Other Proposed Zoning Use\***

Dwelling-Three Family + ADU

**Base Zoning District\***

R-3 Residential District

**Base Zoning District 2 (if applicable)**

—

**Overlay Zoning District (if applicable)**

—

**Overlay Zoning District 2 (if applicable)**

—

**Overlay Zoning District 3 (if applicable)**

—

**Date Owner Purchased the Property\***

07/23/2018

**Start Date of Lessee's Occupancy**

—

**Are there outstanding violations concerning the Property under the City of Providence Zoning Ordinance?\***

No

**Are there outstanding violations concerning the Property under the RI State Building or Property Maintenance Code(s)?\***

No

## Buildings & Structures

<b>Existing or Proposed Structure*</b>	<b>Type of Building or Structure*</b>
Existing	Principal Structure
<b>Principal Structure Type (if applicable)</b>	<b>Please describe the accessory structure (if applicable)</b> <span style="float: right;">?</span>
Residential	
<b>Area of Footprint</b>	<b>Overall Height Above Average Grade</b>
—	—
<b>Number of Stories</b>	<b>Existing Number of Dwelling Units</b>
—	—
<b>Proposed Number of Dwelling Units</b>	<b>Front Setback</b>
—	—
<b>Interior Side Setback</b>	<b>Corner Side Setback</b>
—	—
<b>Rear Setback</b>	
—	

## Lot Dimensions, Coverage Percentage, and Parking Information

<b>Plat/Lot Number*</b>	<b>Existing Lot Width*</b>
PLAT: 033 LOT:660	80

<b>Proposed Lot Width</b>	<b>Existing Lot Area*</b>
—	4227
<b>Proposed Lot Area</b>	<b>Existing Building Coverage ?</b>
—	—
<b>Proposed Building Coverage ?</b>	<b>Existing Total Impervious Coverage ?</b>
—	4210
<b>Proposed Total Impervious Coverage ?</b>	<b>Existing Rear Yard Impervious Coverage ?</b>
3407	482
<b>Proposed Rear Yard Impervious Coverage ?</b>	<b>Existing Front Yard Impervious Coverage ?</b>
0	1020
<b>Proposed Front Yard Impervious Coverage ?</b>	<b>Number of Existing Parking Spaces</b>
673	—
<b>Number of Proposed Parking Spaces</b>	
—	

## Appendix A: Application for Variance(s)

### 1. What is the specific hardship from which the applicant seeks relief?\*

The applicant seeks relief from the dimensional requirement that limits the property to a single curb cut, due to the existing layout of the property and physical limitations of the lot. The property has an existing building placement and limited space within the site, which restricts how vehicles can safely move, turn, and exit. With only one curb cut, vehicles would be required to share a single access point, creating conflicts between entering and exiting traffic and forcing turning movements within a tight area. This condition increases the likelihood of vehicles backing into the public street and creates safety concerns for both drivers and pedestrians. Additionally, the property is proposed to include more than one residential unit, making a single access point insufficient for safe and efficient circulation.

A second curb cut is proposed to allow for separate entry and exit, improving circulation and reducing the need for unsafe vehicle movements, including backing into the public street. The proposed configuration provides a safer, more organized access layout and represents a minimal and reasonable adjustment necessary for the proper functioning of the site.

**2. Specify all unique characteristics of the land or structure that cause the hardship:\***

The hardship is caused by the following unique characteristics of the property:

- Limited space for safe vehicle movement, where using only one curb cut would require vehicles to turn within a tight area or back into the street, creating unsafe conditions
- Existing building placement, which limits how vehicles can circulate within the site
- Limited lot frontage (80 feet) along De Soto Street
- Tight urban lot conditions, where the size and layout of the property do not allow for safe entry and exit using a single driveway

These conditions are specific to the property and result in a situation where a single curb cut would create unsafe and inefficient vehicle movement, so a second curb cut is needed to provide safe and functional access.

**3 (a) Is the hardship caused by an economic disability?\***

No

**3 (b) Is the hardship caused by a physical disability?\***

No

**3 (c) If the response to subsection (b) is "yes," is the physical disability covered by the Americans with Disabilities Act of 1990 (ADA), 42 U.S.C. § 12101 et seq.? \***

No

**4. Did the owner/applicant take any prior action with respect to the Property that resulted in the need for the variance requested? (Examples include, but are not limited to, any changes the owner/applicant made to the structure(s), lot lines, or land, or changes in use of the Property)?\***

No

**5. If you are seeking a USE VARIANCE, set forth all facts that demonstrate that the Property cannot have any beneficial use if you are required to use it in a manner allowed in the zoning district:\***

No use variance is requested. The proposed residential use is permitted within the R-3 zoning district.

**6. If you are seeking a DIMENSIONAL VARIANCE, set forth all facts that indicate that if the variance is not granted, the hardship the owner/applicant will suffer is more than a mere inconvenience:\***

The hardship amounts to more than a mere inconvenience because if the variance is not granted, the property would be limited to a single curb cut, which would create unsafe vehicle conditions. Due to the limited space on site and the existing building placement, vehicles would be required to turn within a tight area or back into the public street, increasing the risk of conflicts with other vehicles and pedestrians.

The proposal represents the minimum relief necessary and significantly improves existing conditions by:

- Allowing separate entry and exit, reducing vehicle conflicts
- Eliminating the need for backing movements into the street
- Improving overall vehicle circulation within the site
- Enhancing safety for both drivers and pedestrians
- Providing a more organized and functional access layout

If the variance is not granted, these improvements cannot be made, and the property would remain with a single curb cut that forces **unsafe and inefficient vehicle movement**, including turning conflicts and backing into the street. This condition would continue to create safety concerns for both drivers and pedestrians and would not allow the site to function in a safe and practical way for its intended residential use.

**CITY OF PROVIDENCE ZONING BOARD OF REVIEW**

DEPARTMENT OF INSPECTION + STANDARDS

444 Westminster Street, 1<sup>st</sup> Floor, Providence, Rhode Island 02903

**ATTESTATION/OWNER AUTHORIZATION FOR  
APPLICATION FOR VARIANCE AND/OR SPECIAL USE PERMIT**

**ATTESTATION**

The undersigned acknowledge(s) that the statements in the application herein and in any attachments or appendices are true and accurate, and that providing a false statement in this application may be subject to criminal and/or civil penalties as provided by law, including prosecution under the State and Municipal False Claims Acts. Owner(s)/Applicant(s) are jointly responsible with their attorney(s), if any, for any false statements. As indicated in the application instructions, neither the application nor this attestation may be signed by an attorney on behalf of their client(s).

The undersigned further acknowledge(s) and agree(s) that members of the Zoning Board of Review and its staff may enter upon the exterior of the Property in order to view the Property prior to any hearing on the application.

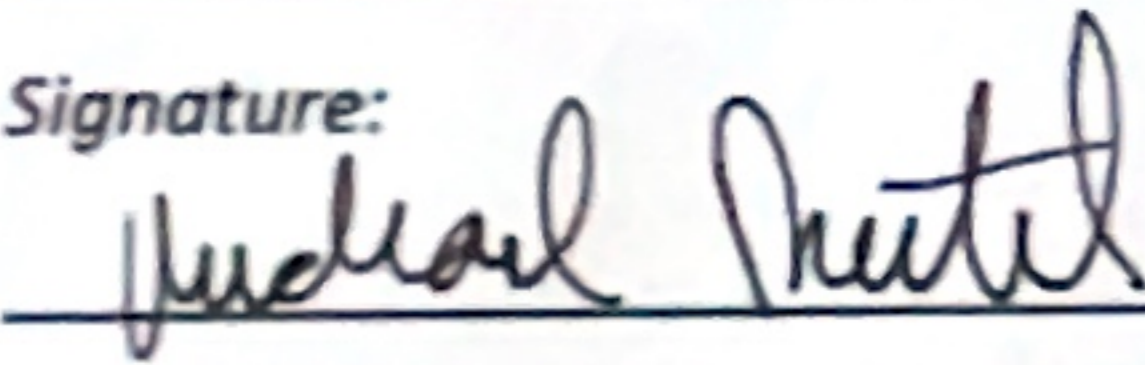
Address, Plat, and Lot of Subject Property: 11 de Soto St. Providence PLAT: 033 LOT: 660

Owner(s)

Name:

Pimentel Michael

Signature:



Date:

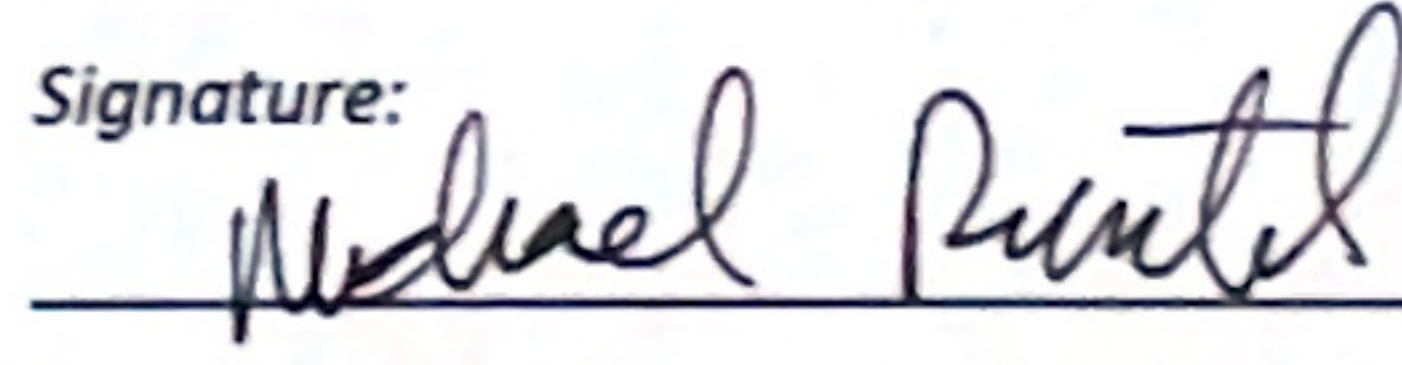
04.15.2026

Applicant(s)

Name:

Pimentel Michael

Signature:



Date:

04.15.2026

**OWNER AUTHORIZATION**

To be completed if the online application is being filled out and submitted by someone other than the Owner of the subject property.

This is to certify that I Pimentel Michael,

authorize Jose Francisco Huarancay to submit this Zoning Board

of Review Application on my behalf for the property located at 11 De Soto St. Providence.

By signing this letter, I understand that I, or my attorney, must be present at the Zoning Board Meeting at which my application is scheduled to be heard.

Property Owner Name:

Pimentel Michael

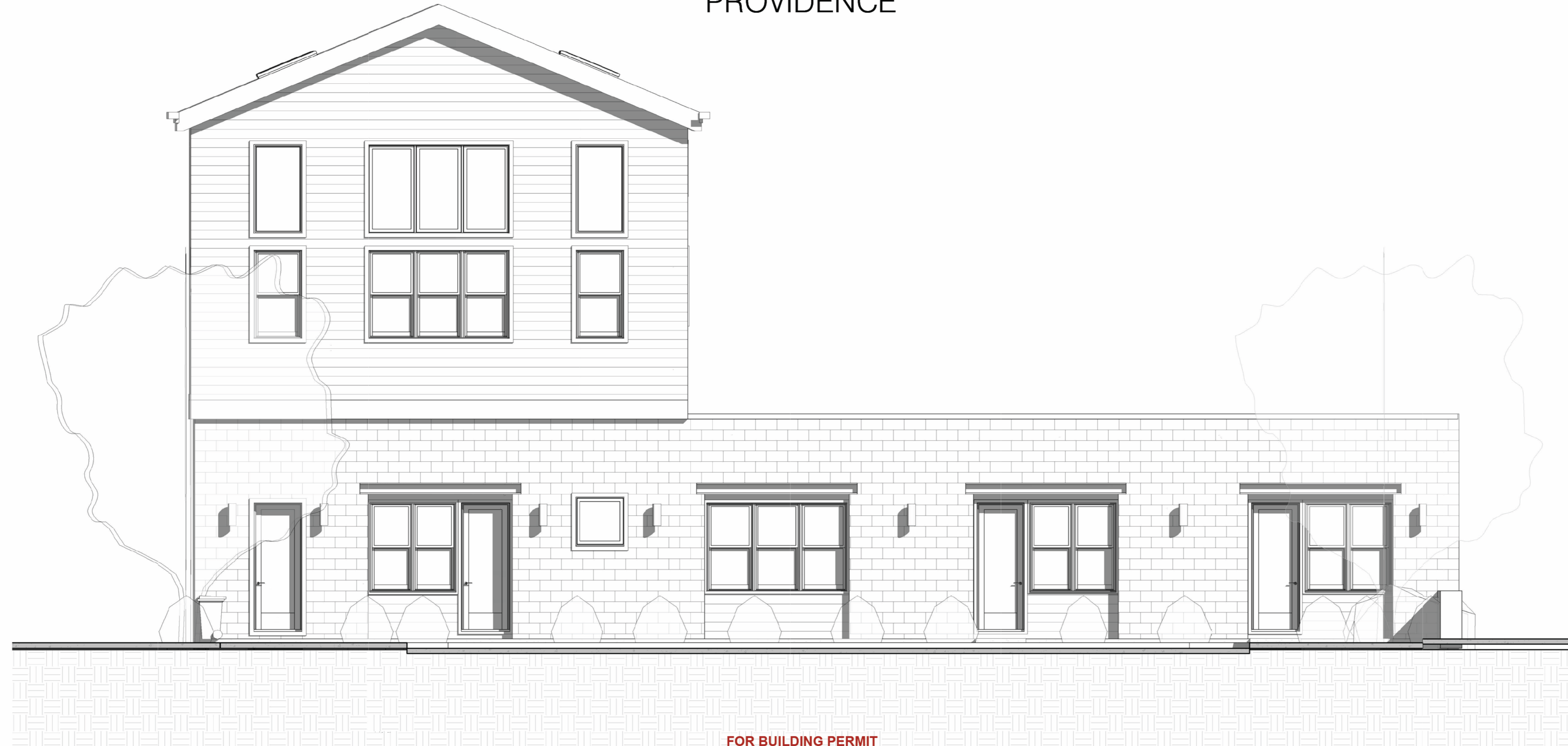
Date: 04.15.2026

Property Owner Signature:



# DE SOTO RESIDENCES

11 DE SOTO ST.  
PROVIDENCE



FOR BUILDING PERMIT  
4/16/2026 12:57:01 PM

FOR BUILDING PERMIT

4/16/2026 12:57:01 PM



MICHIE DESIGN & BUILD  
PERUNOVO LLC  
GC - 44956  
145 WESTMINSTER ST  
4TH FLOOR,  
PROVIDENCE RI 02903

Team:  
Architectural Designer:  
BRYAN B. MICHIE (401) 470-0392  
Drawn by:  
JM

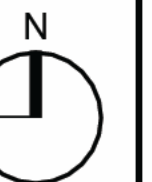
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## DE SOTO RESIDENCES

11 DE SOTO ST.  
PROVIDENCE

Project Address:  
11 DE SOTO ST.  
PROVIDENCE, RI, 02909  
PLAT: 084 - LOT: 660



Prepared for:  
Michael Pimentel (401) 256-8056  
Address:  
E-mail:  
michaelpimentel@gmail.com

### REVISION SCHEDULE

REV. N°	DESCRIPTION	DATE
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### ARCHITECTURAL ABBREVIATIONS

A AREA; AMPERE; ALCOVE; COMP AIR LINE	COR CORNER; CORR DOR CORR CORRIDOR; CORRUGATED	INCL INCLUDED	TBR TO BE REMOVED
ACT ACOUSTICAL CEILING TILE	CPT CARPET	JAN JANITOR	TEL TELEPHONE
AD AREA DRAIN	CRSK COUNTERSINK	JT JOINT	TO TOP OF DECK
ADA AMERICANS WITH DISABILITIES ACT	CT CERAMIC TILE; CORK TILE	LAM LAMINATE	TOS TOP OF STEEL TYPICAL
ADD ADDENDUM	DB DECIBEL	LAV LAVATORY	UL UNDERWRITERS LABORATORIES UON UNLESS OTHERWISE NOTED
ADJ ADJUST	DEM DEMOLISH	LP LOW POINT	VB VAPOR BARRIER
AFF ABOVE FINISH FLOOR	DIA DIAMETER	MATL MATERIAL	VCT VINYL COMPOSITION TILE
AHU A/R HANDLING UNIT	DIAG DIAGONAL	MECH MECHANICAL	VERT VERTICAL
AL ALUMINUM	DIAM DIAMETER	MEP MECHANICAL/ELECTRICAL/PLUMBING	VF VERT FELD
ALT ALTERNATE	DIF DIFFUSER	MFR MANUFACTURER	W WEST
ANOD ANODIZED	DM DIMENSION	MSC MISCELLANEOUS	WO WITHOUT
AP ACCESS PANEL	DN DOWN	MO MASONRY OPENING	WC WATER CLOSET
APD APPROVED	DP DAMPROOF NG	MRO MOISTURE RESISTANT DRYWALL	WD WOOD
APR APPROX APPROXIMATE	DS DOWNSPOUT; DOOR SWITCH	MTD MOUNTED	W D WIDTH
APT APARTMENT	DTL DETAIL	MTL METAL	WP WORKING POINT
ARCH ARCHITECT; ARCHITECTURAL	DWGS DRAWING	NA NOT APPLICABLE	
ATTN ATTENTION	DWG DRAWING	NIC NOT IN CONTRACT	
AUTH AUTHORIZED	AVG AVERAGE	NUM NOMINAL	
AUTO AUTOMATIC		NTS NOT TO SCALE	
AVG AVERAGE		NSF NET SQ FT	
		OC ON CENTER	
		OH OPPOSITE HAND	
		PERP PERPENDICULAR	
		PLM PLASTIC LAMINATE	
		PLYD PLYWOOD	
		PTD PAINTED	
		RD ROOF DRAIN	
		REF REFERENCE	
		REGD REGU RED	
		REV REVISION	
		RM ROOM	
		RO ROUGH OPEN NG	
		SSOUTH	
		SD SMOKE DETECTOR	
		SIM SIMILAR	
		SQ FT SQUARE FOOT	
		SS STAINLESS STEEL	
		STL STEEL	
		STRUC STRUCTURE	
		SYS SYSTEM	

### NOTES

THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE WORK PRIOR TO START NG CONSTRUCTION. SHALL VERIFY EXIST NG CONDITIONS AND DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES OR UNIDENTIFIED CONDITIONS TO THE ARCHITECT FOR RESOLUTION BEFORE BEGINNING WORK.

ANY DAMAGE TO EXIST NG CONDITIONS IN THE EXECUTION OF THE WORK IN THIS CONTRACT SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE CONTRACTOR.

THE PURPOSE OF THESE DRAWINGS IS FOR THE CONTRACTOR TO INCLUDE ALL LABOR, MATERIALS, AND SERVICES REQUIRED FOR THE COMPLETION OF ALL WORK SHOWN OR REASONABLY IMPLIED BUT NOT LIMITED TO THAT EXPLICITLY SHOWN IN THE DOCUMENTS.

DO NOT SCALE THE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS. DIMENSIONS, DETAILS, NOTES AND SYMBOLS THAT APPLY TO ONE UNIT, APPLY TO ALL UNITS IN LIKE SITUATIONS, UNLESS OTHERWISE NOTED.

UNLESS SPECIFICALLY SHOWN OR NOTED ON THE DRAWINGS, NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED, BORED OR OTHERWISE MODIFIED WITHOUT THE PERMISSION OF THE STRUCTURAL ENGINEER OF RECORD.

THE CONTRACTOR SHALL NOTIFY THE BUILDING OWNER FIVE WORKING DAYS PRIOR TO ANY UTILITY BEING SHUT DOWN FOR CONSTRUCTION WORK.

INSTALLATION SHALL FOLLOW THE MANUFACTURER'S PUBLISHED SPECIFICATIONS AND/OR TRADE STANDARDS IN ADDITION TO MEETING OR EXCEEDING THE DESIGN STANDARDS.

ALL DIMENSIONS ARE TO FACE OF STUD / FACE OF WALL OR CENTERLINE OF COLUMN UNLESS NOTED OTHERWISE.

THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN THE DOCUMENTS PRIOR TO PROCEEDING WITH ANY WORK INVOLVED.

CONTRACTOR SHALL APPLY AND PAY FOR ANY REQUIRED PERMITS FOR WORK PERFORMED.

ALL WORK IS NEW UNLESS OTHERWISE NOTED. REVIEW EXIST NG DRAWINGS TO DETERMINE WHAT SELECTIVE DEMOLITION MUST TAKE PLACE IN ORDER TO INSTALL NEW WORK.

"REMOVE" MEANS TO REMOVE AND DISPOSE OF IN A LEGALLY APPROPRIATE DUMP SITE OR TO RECYCLE AT AN APPROPRIATE FACILITY.

"REPLACE" MEANS TO REMOVE EXIST NG AND INSTALL NEW.

"FURNISH" MEANS TO PROVIDE NEW MATERIALS.

INFORMATION MAY NOT BE SHOWN IN TRADITIONAL LOCATIONS WITHIN THE DOCUMENTS. REVIEW ALL DOCUMENTS TO DETERMINE COMPLETE SCOPE OF WORK.

CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL NEW REQUIRED SCOPE.

### DRAWING SYMBOLS

Room name 101	ROOM NAME
STRUCTURAL GRID	STRUCTURAL GRID
ELEVATION	ELEVATION
SECTION	SECTION
ABOVE FINISH FLOOR LEVEL	ABOVE FINISH FLOOR LEVEL
WINDOW MEASUREMENTS TABLE AND ELEVATION TAG	WINDOW MEASUREMENTS TABLE AND ELEVATION TAG
DOOR MEASUREMENTS TABLE AND ELEVATION TAG	DOOR MEASUREMENTS TABLE AND ELEVATION TAG
EXIST NG TO REMAIN	EXIST NG TO REMAIN
NEW CONSTRUCTION	NEW CONSTRUCTION
EXIST NG TO DEMOLISH	EXIST NG TO DEMOLISH

### GRAPHIC SYMBOLS

EARTH	EARTH
GRAVEL / COMP. FILL	GRAVEL / COMP. FILL
ROCK / LEDGE	ROCK / LEDGE
CONCRETE	CONCRETE
BRICK	BRICK
CONCRETE BLOCK	CONCRETE BLOCK
STONE	STONE
STEEL Large Scale	STEEL Large Scale
Small Scale	Small Scale
FINISHED WOOD	FINISHED WOOD
ROUGH WOOD Dimensional Lumber Only	ROUGH WOOD Dimensional Lumber Only
BLOCK NG Misc. sized wood	BLOCK NG Misc. sized wood
PLYWOOD Large Scale	PLYWOOD Large Scale
Small Scale	Small Scale
GLASS Large Scale	GLASS Large Scale
Small Scale	Small Scale
GYPSUM BOARD	GYPSUM BOARD
ALUMINUM	ALUMINUM

### Sheet List

Number	Sheet Name
<b>G001</b>	TITLE SHEET
<b>G002</b>	GENERAL NOTES
<b>G003</b>	SURVEY PLAN
<b>G004</b>	EXISTING & NEW SITE PLAN
<b>01_ARCHITECTURE PLANS</b>	
<b>A100</b>	EXISTING CONDITIONS
<b>A101</b>	FIRST & SECOND LEVEL - PROPOSAL
<b>A103</b>	LOFT & ROOF LEVEL - PROPOSAL
<b>A104</b>	SECTIONS - PROPOSAL
<b>A105</b>	ELEVATIONS PROPOSAL
<b>A106</b>	WINDOWS/DOORS SCHEDULE & ASSEMBLIES
<b>A107</b>	DETAILS
<b>A108</b>	KITCHEN AND BATHROOM ELEVATIONS
<b>LS101</b>	SAFETY EGRESS



ACME ARCHITECTS LLC  
9 Simmons Road  
Little Compton RI 02837  
401 465 5247  
mark@markrapparchitect.com  
4/16/26

TITLE SHEET

# G001

TABLE 4-1: RESIDENTIAL DISTRICT DIMENSIONAL STANDARDS\* ABSTRACTED FROM CITY OF PROVIDENCE ZONING ORDINANCE, CHAPTER 27: ZONING

ACTION	BULK STANDARDS								SETBACK REQUIREMENTS			TABLE 14-1
	MIN. LOT AREA R-3	MIN. LOT WIDTH R-3	MAX. BLDG. HEIGHT R-3	MAX. BLDG. COV.G. R-3	MAX. IMPERVIOUS SURF. COV.G. FRONT YARD R-3	MAX. IMPERVIOUS SURF. COV.G. REAR YARD R-3	TOTAL MAX. IMPERVIOUS SURF. COV.G. R-3	TOTAL MIN. PERVIOUS SURF. COV.G. R-3	FRONT SETBACK ZONE R-3	MIN. INT. & CORNER SIDE SETBACK R-3	MIN. REAR SETBACK R-3	PARKING REQUIREMENT R-3
REQUIRED	E. Lots: None New Subdivisions: 3,000sf New Subdivisions, RH: 1,897sf	E. Lots: None New Subdivisions: 50' New Subdivisions, RH: 12' Interior units, 18' end units	40', not to exceed 3 stories Lots of 2,500sf or less: 32', not to exceed 2 stories	45%	33%	50%	65%	1,000 sqft	Sec. 402.B. AVG. FRONT SETBACK (8' 0" / 4 = 2.2' (adjusted per 402.B. ± 5) 0' 0" - 7' 2"	Lot width less than 60'-0" New Conforming Lot (8' 0") Lot width 60' or more: 10'	30'	01 Per Dwelling Unit
PROPOSED	4,227 sqft (Existing)	80' (Existing)	40' (Proposed)	65% (Existing)	64.2% (Proposed) Request for Variance (Section 1902)	Rear Yard: 484 sqft Impervious Surface: 0 sqft Impervious Coverage: 0%	79.7% (Proposed) Request for Variance (Section 1902)	858 sqft (Proposed) Administrative Modification (Sec. 1903 - 15% Dimensional Adjustment - 850sf)	1' 10" (Existing)	8' 5" (Existing)	25' 4" (Existing)	03

PROJECT SUMMARY

PROJECT: 11 DE SOTO ST. PROVIDENCE, RI 02909

DESCRIPTION: Modification of an existing structure to accommodate three (3) residential units and one (1) accessory dwelling unit (ADU)  
ZONING: R-3 Medium Density Residential

APPLICABLE CODES: RHODE ISLAND EXISTING BUILDING CODE 2021 510-RICH-BUILDING CODE COMMISSION  
Owner will seek a variance from the City of Providence Building Board of Review requiring installation of fire suppression system  
2021 RI FIRE CODE  
2021 RI LIFE SAFETY CODE  
CONSTRUCTION TYPE: TYPE VB

FOR BUILDING PERMIT

4/16/2026 1:49:49 PM



Team:  
Architectural Designer: BRYAN B. MICHIE (401) 470-0392  
Drawn by: JM

GENERAL NOTES:

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DE SOTO RESIDENCES

11 DE SOTO ST. PROVIDENCE

Project Address: 11 DE SOTO ST. PROVIDENCE, RI, 02909  
PLAT: 033 - LOT: 660  
Prepared for: Michael Pimentel (401) 345-0851  
Address:  
E-mail: michaelopimentel@gmail.com

REVISION SCHEDULE

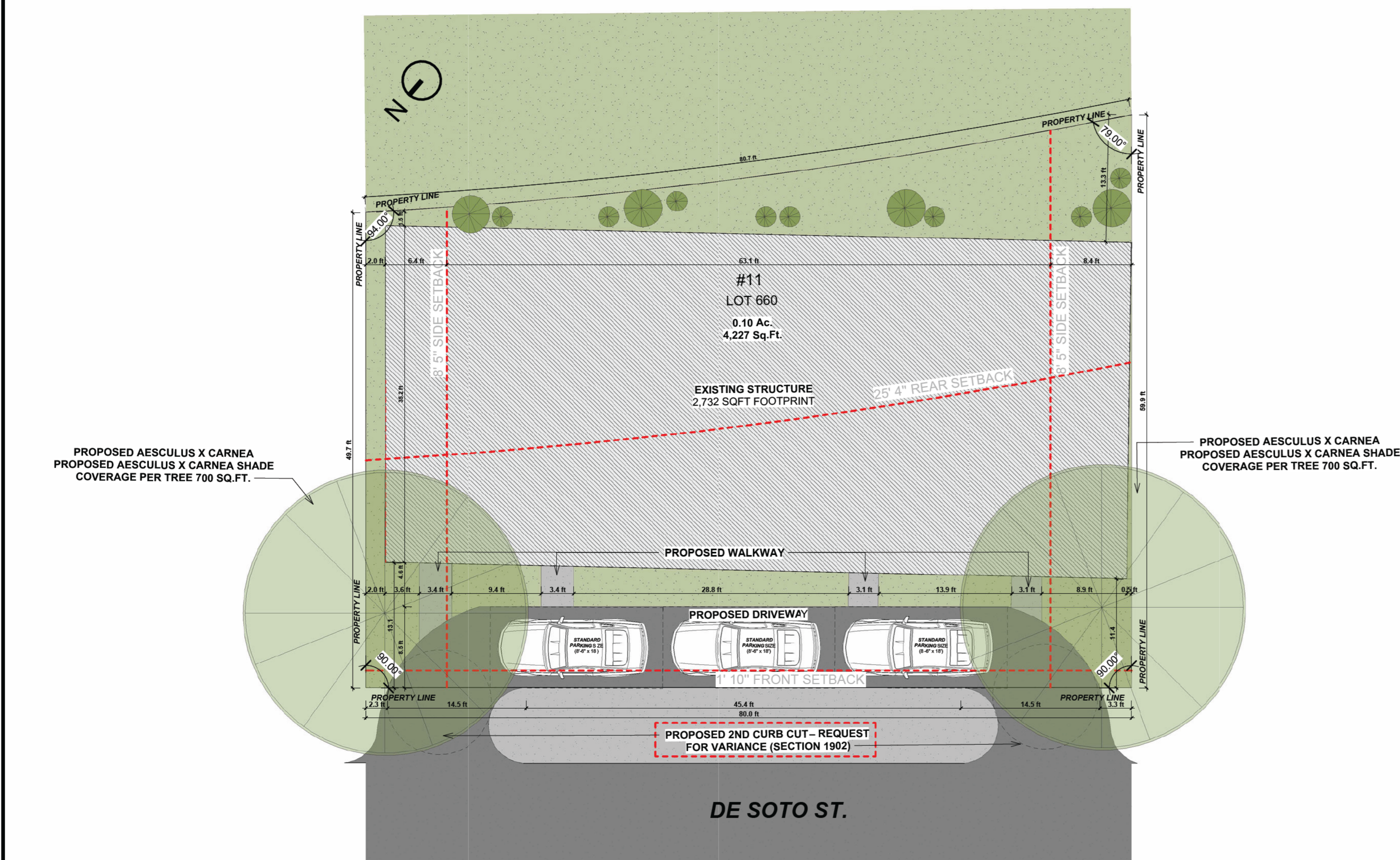
REV. NO.	DESCRIPTION	DATE
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ACME ARCHITECTS LLC  
9 Simmons Road  
Little Compton RI 02837  
401 465 5247  
mark@markrapparchitect.com  
4/16/26

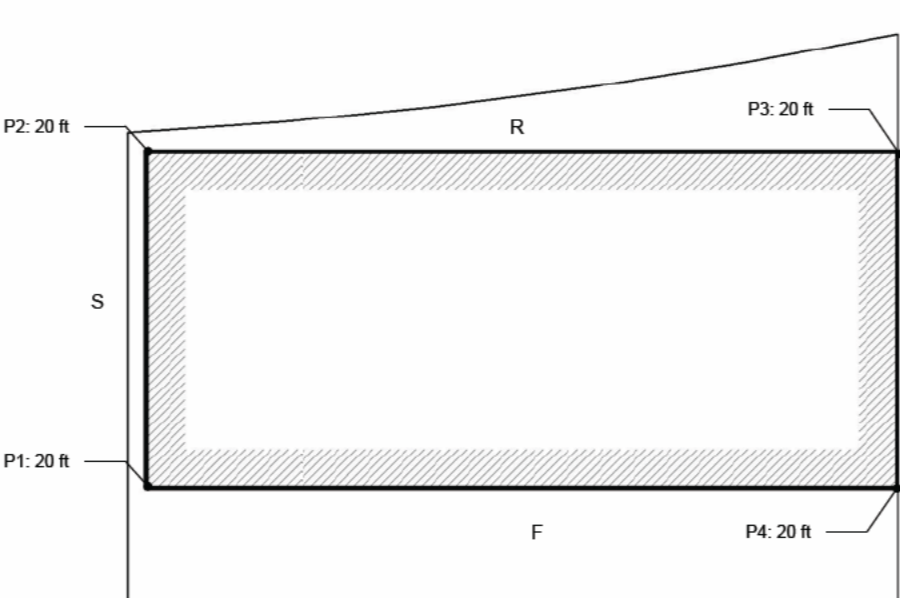
GENERAL NOTES

G002



1 SITE PLAN  
1/8" = 1'-0"

LOT GRADING TYPE A ALL DRAINAGE TO STREET  
0 5 10 20  
1/8" = 1'-0"



2 AVERAGE GRADE ELEVATION  
1" = 20'-0"

TREE CANOPY CALCULATION (PER ZONING CODE)

- 1) LOT AREA 4,227 SQ.FT.
- 2) REQUIRED TREE CANOPY COVERAGE (30%) 4,227 SQ.FT. x 0.30 = 1,268.1 SQ.FT.
- 3) EXISTING 2 MEDIUM SHADE COVERAGE PER TREE: MEDIUM TREE: 700 SQ.FT.  
4) TOTAL SHADE PROVIDED 2 x (700) SQ.FT. = 1,400 SQ.FT.

COMPLIES WITH REQUIRED TREE CANOPY COVERAGE

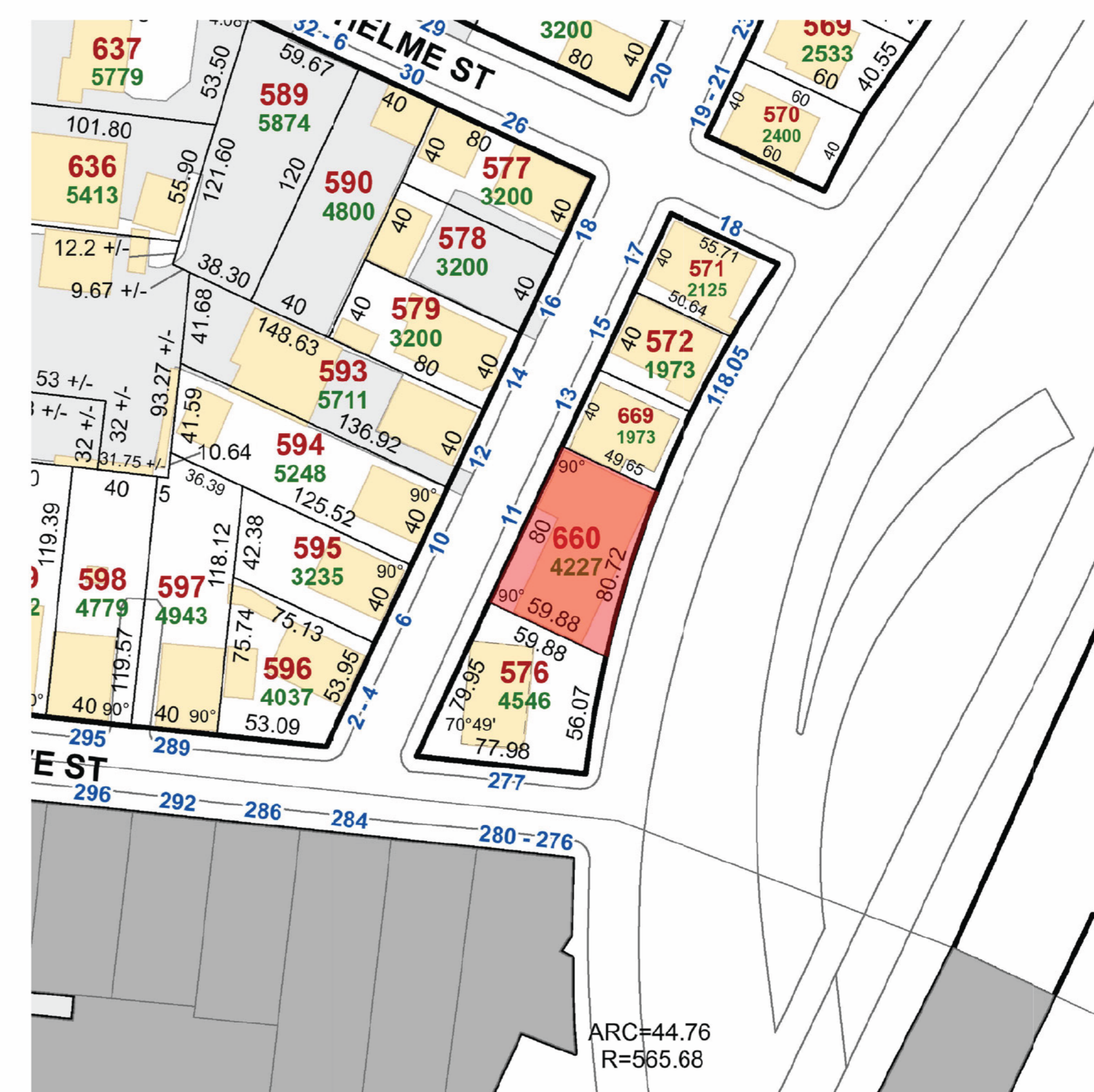
- LOT 669 - FRONT SETBACK - 3' 2"  
LOT 572 - FRONT SETBACK - 2' 6"  
LOT 571 - FRONT SETBACK - 2' 0"  
LOT 576 - FRONT SETBACK - 1' 0"  
AVERAGE FRONT SETBACK:  $3' 8" / 4 = 2' 2" (402.B. ± 5) - 0' 0" - 7' 2"$   
EXISTING FRONT SETBACK: 2'-2"

IECC 2024 COMPLIANCE

RHODE ISLAND ENERGY CONSERVATION CODE, INCORPORATES INTERNATIONAL ENERGY CODES, 2024 EDITION - GENERAL TABLE

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	SHGC GLAZED FENESTRATION	CEILING R-VALUE
5A	0.28	NR	NR	49
INSULATION ENTIRELY ABOVE ROOF DECK		WOOD-FRAMED WALL R-VALUE		MASS WALL R-VALUE
NR		20&5ci (R-21 cavity + 2" XPS R-10ci)		21
FLOOR R-VALUE	BASEMENT WALL R-VALUE	UNHEATED SLAB R-VAL & DEPTH	HEATED SLAB R-VAL & DEPTH	CRAWL SPACE WALL R-VALUE
30	NR	10	N/A	NR

0 = CONTINUOUS INSULATION  
1917 = SECOND R-VALUE APPLIES WHERE MORE THAN HALF OF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL  
Slab on grade is located more than 24 inches below finished exterior grade. Perimeter insulation not required per IECC 2024 Section C402.2.5 Exception  
No heated slab present in the project. Field not applicable as per IECC 2024 Section C402.2.5 and Table C402.1.3.



3 TAX MAP PLAN  
1" = 50'-0"

1. CLIMATE ZONE 5A
2. DESIGN PARAMETERS
  - A. WINTER DESIGN TEMPERATURE
    - a. 99% WINTER DESIGN TEMPERATURE: -1°F
    - b. 1% WINTER DESIGN TEMPERATURE: 10°F
  - B. SUMMER DESIGN TEMPERATURE
    - a. 1% DRY BULB TEMPERATURE: 87°F
    - b. 2% DRY BULB TEMPERATURE: 85°F
  - C. MEAN COINCIDENT WET BULB: 73°F
3. HUMIDITY
  - A. INDOOR DESIGN RELATIVE HUMIDITY (HEAT NG): 30%
  - B. INDOOR DESIGN RELATIVE HUMIDITY (COOL NG): 50%
3. WIND
  - A. BASIC WIND SPEED: 120 MPH (3-SECOND GUST) PER ASCE 7-16
  - B. EXPOSURE CATEGORY: EXPOSURE B (URBAN AND SUBURBAN AREAS WITH CLOSELY SPACED OBSTRUCTIONS HAVING THE SIZE OF SINGLE-FAMILY DWELLINGS OR LARGER)
4. SNOW LOAD: GROUND SNOW LOAD: 30 PSF (POUNDS PER SQUARE FOOT)
5. SEISMIC DESIGN CATEGORY: SEISMIC DESIGN CATEGORY: C (MODERATE SEISMIC RISK)
6. FROST LINE DEPTH: FROST LINE DEPTH: 40 INCHES
7. SOIL CONDITIONS: BEARING CAPACITY OF 2000 PSF
8. RADON RADIATION ZONE: ZONE 2 (MODERATE POTENTIAL)
9. OTHER CONSIDERATIONS
  - 1. MEAN ANNUAL TEMPERATURE: 50.7°F (10.4°C)
  - 2. LATITUDE: 41.824° N
  - 3. LONGITUDE: 71.4128° W

- NOTES
- 1) SILT FENCE OR HAY WADDOLE TO BE SET IN PLACE AROUND PERIMETER OF LOT TO PREVENT SEDIMENT TO SPREAD TO OTHER PROPERTIES OR THE STREET.
  - 2) CONTRACTOR TO CO-ORD. NATE INSTALLATION OF WATER LINE SIZE AND LOCATION WITH PROVIDENCE WATER AUTHORITY.
  - 3) ANY CONCRETE SIDEWALK TO BE ADA COMPLIANT. UTILIZING PROVIDENCE STANDARD CONSTRUCTION DETAILS (FROM PROPERTY LINE TO PROPERTY LINE).
  - 4) ALL CONSTRUCTION IN THE PUBLIC ROW MUST BE IN ACCORDANCE WITH THE CITY'S STANDARD DETAILS AVAILABLE AT: <https://www.providencencity.gov/public-works/forms/under-REPORTS-PUBLICATIONS/> or <https://www.providencencity.gov/wp-content/uploads/2019/06/Providence-DPW-Standard-Details.pdf>
  - 5) ROOF DRAINS ARE NOT TO BE CONNECTED TO SEWER LINE.

PREPARED FOR :  
 PERUNOVO, LLC  
 70 KENNEDY PLAZA APT.6  
 PROVIDENCE, R.I.  
 02903

ZONING DATA:  
 CLASSIFICATIO = R-3  
 MIN. LOT AREA = NONE  
 MIN. LOT FRONTAGE = NONE  
 SETBACKS :  
 FRONT = 402.B  
 SIDE = 10 ft.  
 REAR = 20 ft.

FLOOD DATA:  
 ENTIRE PARCEL IS LOCATED IN ANY AREA OF REDUCED FLOOD RISK DUE TO  
 LEVEE ON FIRM COMMUNITY PANEL 44007C03047J EFFECTIVE 10/02/2015

REFERENCES:

- 1.) PROVIDENCE ASSESSORS PLAT NO. 33
- 2.) PROVIDENCE DEED BOOK/PAGE;  
 12107/184, 12535/222, 11518/275, 14500/304 & 8905/263
- 3.) PROVIDENCE PROPERTY SECTION PLAN NO. 062265 (11/01/196)

SURVEY CERTIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOV. 25, 2015, AS FOLLOWS:

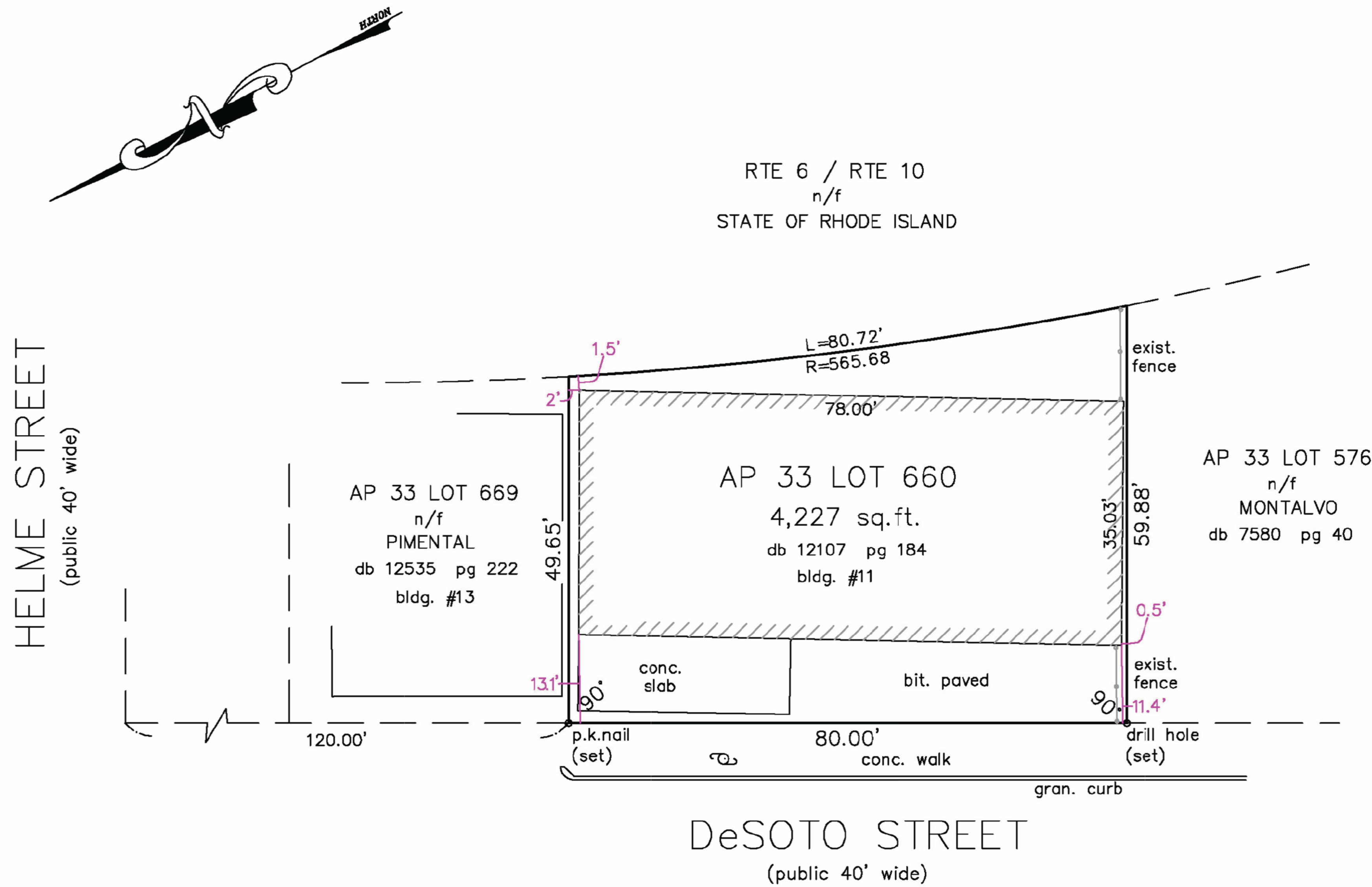
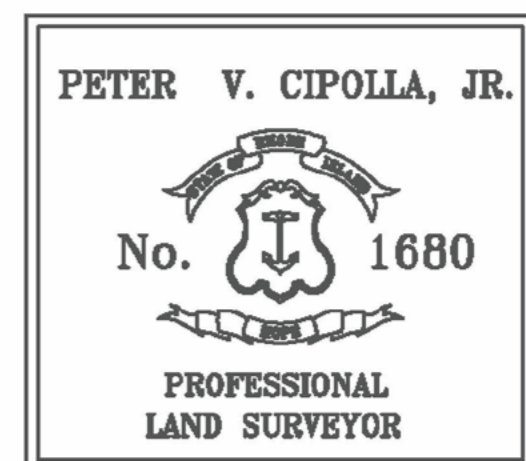
TYPE OF SURVEY:	MEASUREMENT SPECIFICATION
COMPREHENSIVE BOUNDARY SURVEY	CLASS I
DATA ACCUMULATION - PLANIMETRIC	CLASS II

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:

PERFORM A CLASS 1 PROPERTY SURVEY

BY: *Peter V. Cipolla, Jr*

PETER V. CIPOLLA, JR. - RIPLS # 1680  
 COA # LS-A64



DeSOTO STREET  
 (public 40' wide)

SURVEY PLOT PLAN  
 A.P. 33 LOT 660  
 PROVIDENCE, R.I.  
 1" = 20' JAN. 15, 2026  
 PETER V. CIPOLLA, JR.  
 professional land surveyor  
 P.O. BOX 8662 - CRANSTON, R.I. - 02920

FOR BUILDING PERMIT  
 4/16/2026 1:51:59 PM



Team:  
 Architectural Designer:  
 BRYAN B. MICHIE (401) 470-0392  
 Drawn by:  
 JM

GENERAL NOTES:

These drawings and specifications are the property and copyright of PERUNOVO LLC. It has been created in connection with this location only and shall not be used in whole or in part, nor shall they be transmitted in any format to a third party without the express written permission of PERUNOVO LLC. Acceptance of these drawings and accompanying documents shall be deemed acknowledgment and acceptance of these terms and conditions.

DE SOTO RESIDENCES

11 DE SOTO ST.  
 PROVIDENCE

Project Address:  
 11 DE SOTO ST.  
 PROVIDENCE, RI, 02909  
 PLAT: 033 - LOT: 660



Prepared for:  
 Michael Pimentel (401) 345-0851  
 Address:  
 -  
 E-mail:  
 michaelopimentel@gmail.com

REVISION SCHEDULE

REV. N°	DESCRIPTION	DATE
---------	-------------	------



ACME ARCHITECTS LLC  
 9 Simmons Road  
 Little Compton RI 02837  
 401 465 5247  
 mark@markrapparchitect.com  
 4/16/26

SURVEY PLAN

G003

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# DE SOTO RESIDENCES

11 DE SOTO ST.  
PROVIDENCE

Project Address:  
11 DE SOTO ST.  
PROVIDENCE, RI, 02909  
PLAT: 033 - LOT: 660  
Prepared for:  
Michael Pimentel (401) 345-0851  
Address:  
E-mail:  
michaelpimentel@gmail.com

REVISION SCHEDULE

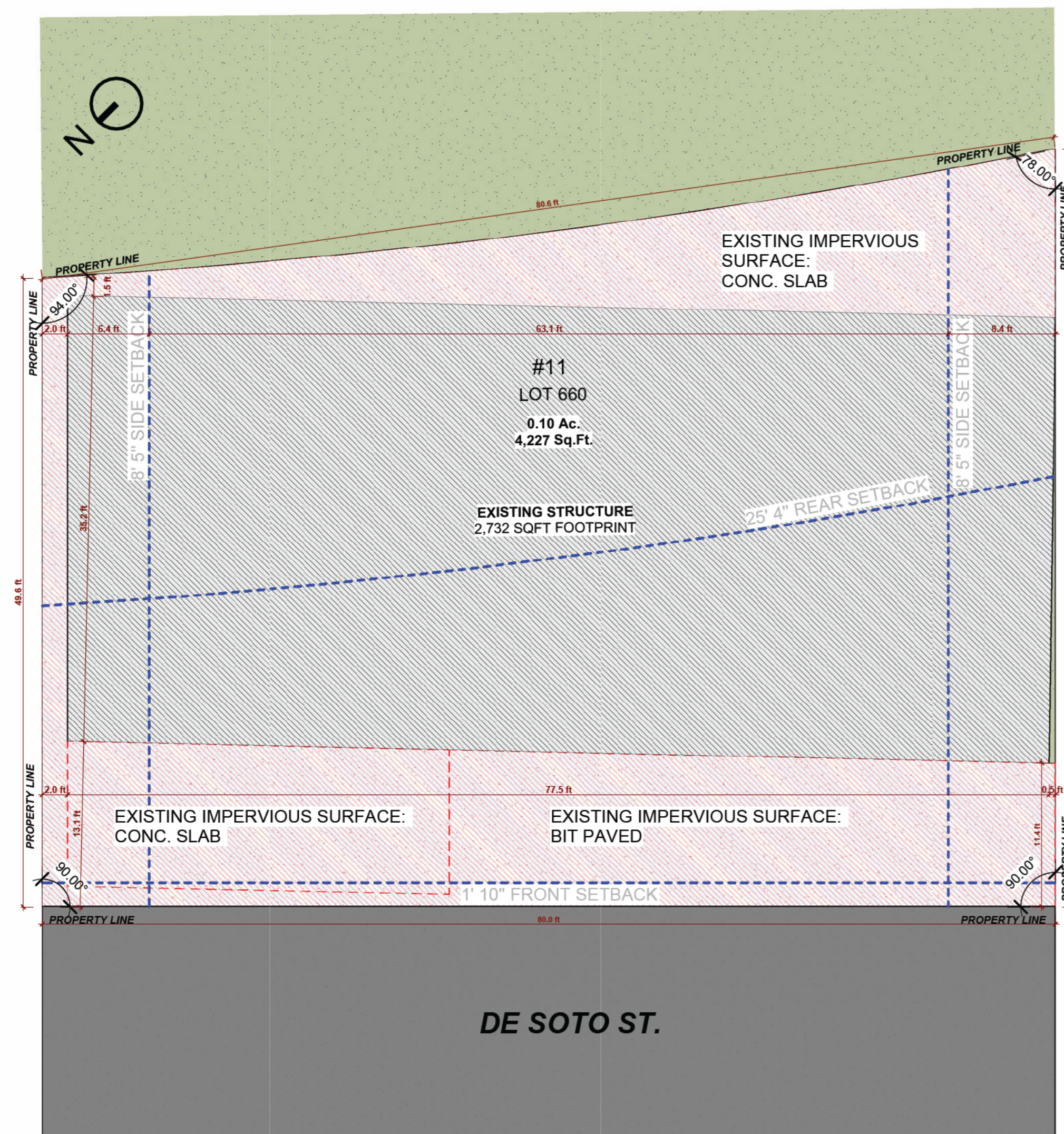
REV. N°	DESCRIPTION	DATE



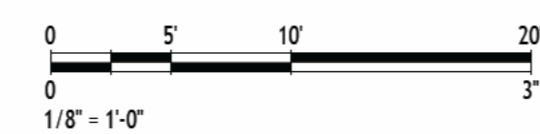
ACME ARCHITECTS LLC  
9 Simmons Road  
Little Compton RI 02837  
401 465 5247  
mark@markrapparchitect.com  
4/16/26

EXISTING & NEW SITE PLAN

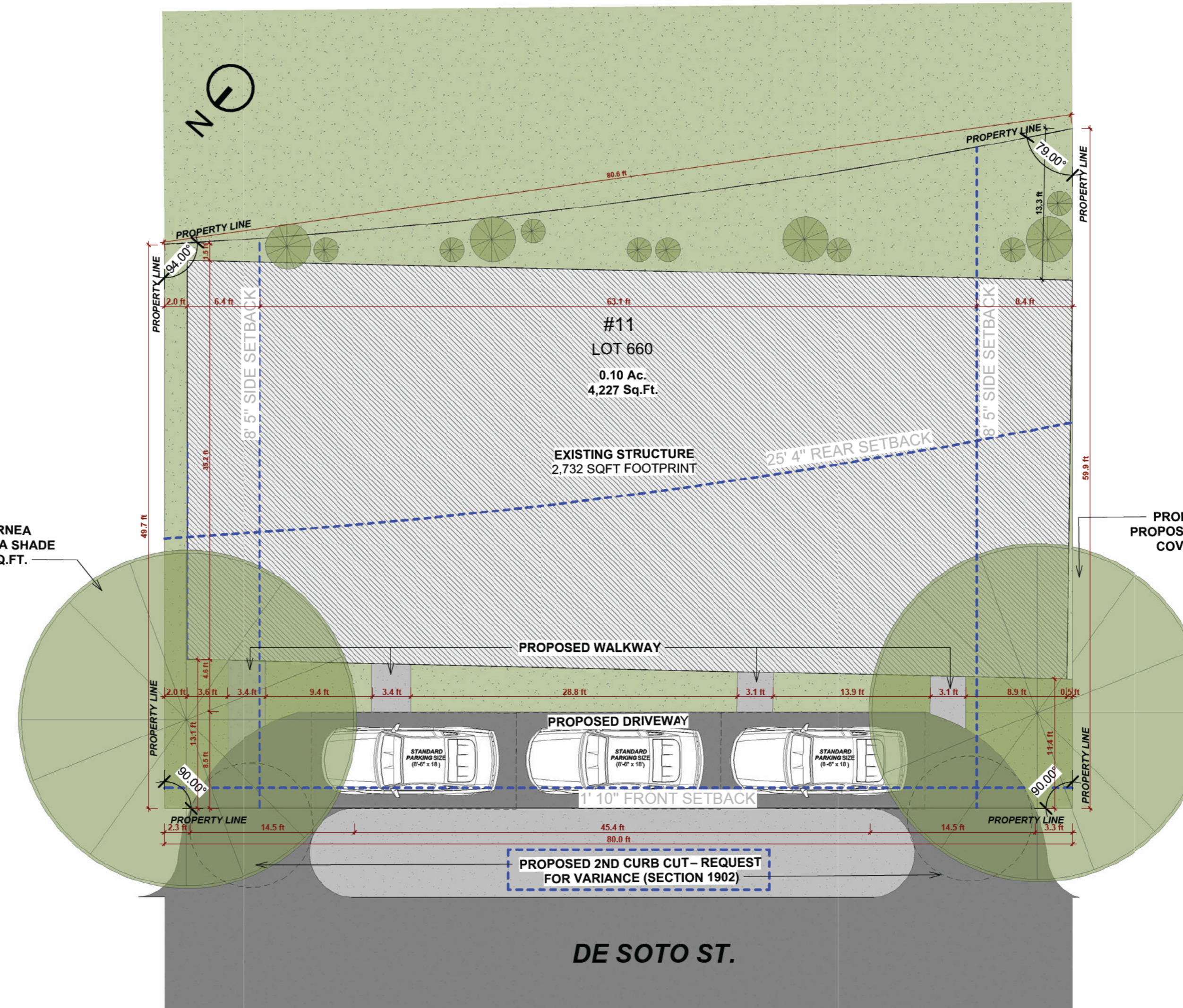
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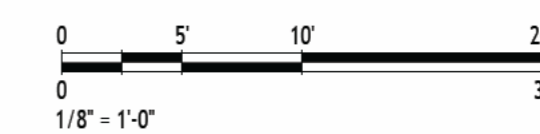
1 EXISTING CONDITIONS SITE PLAN  
1/8" = 1'-0"



PROPOSED AESCULUS X CARNEA  
PROPOSED AESCULUS X CARNEA SHADE  
COVERAGE PER TREE 700 SQ.FT.



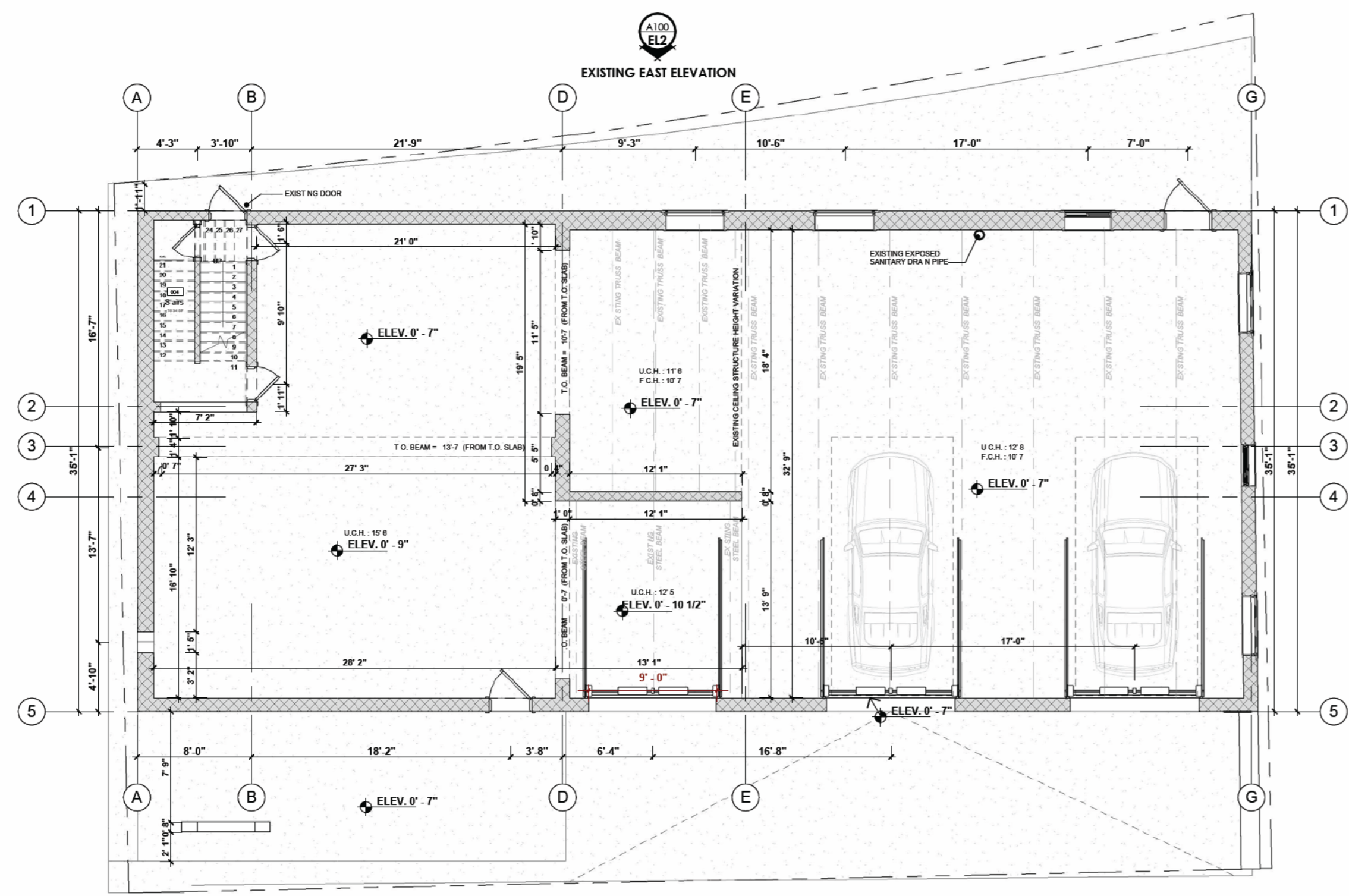
2 SITE PLAN PROPOSED  
1/8" = 1'-0"



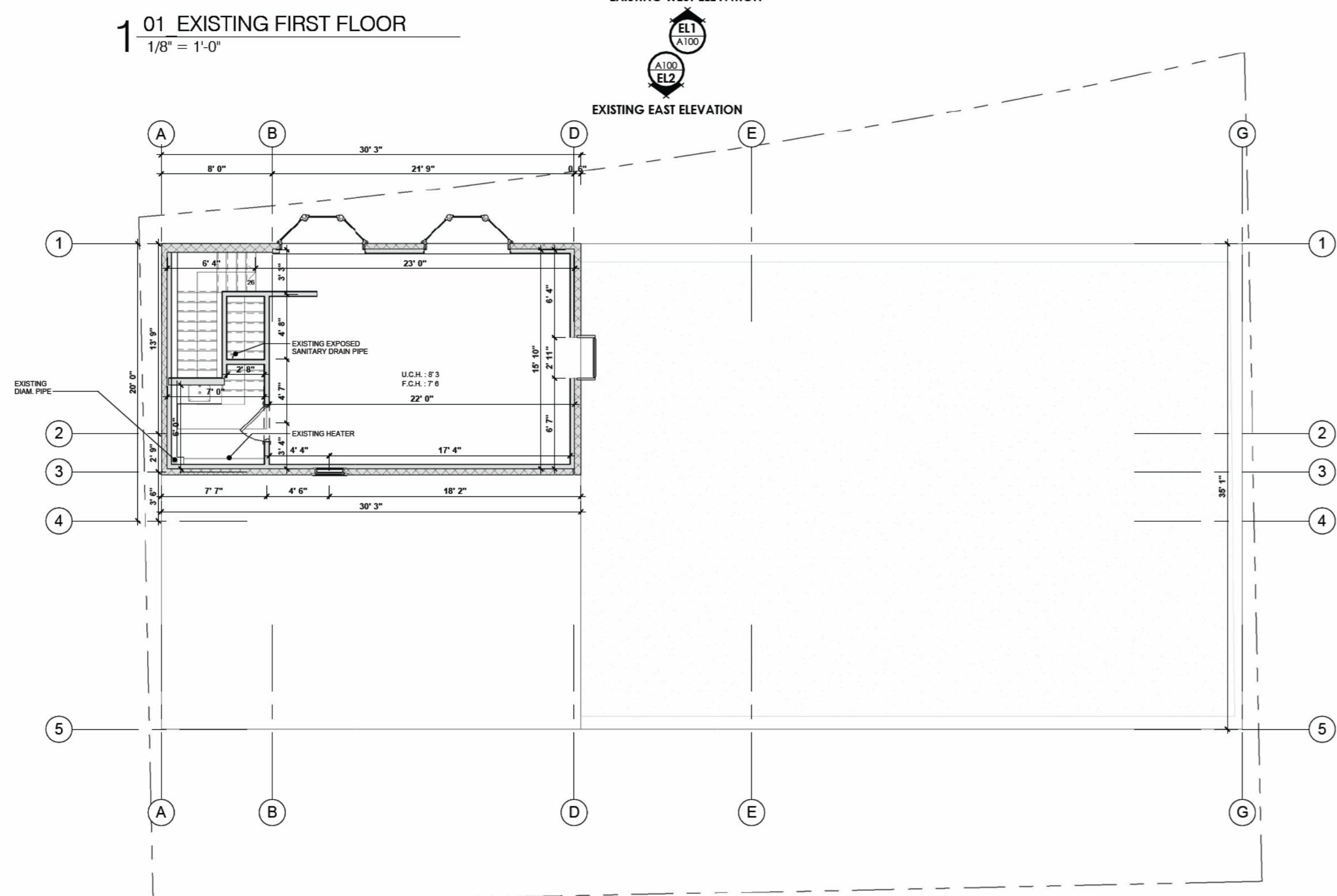
PROPOSED AESCULUS X CARNEA  
PROPOSED AESCULUS X CARNEA SHADE  
COVERAGE PER TREE 700 SQ.FT.

ACTION	MAX. IMPERVIOUS SURF. COVG. FRONT YARD	MAX. IMPERVIOUS SURF. COVG. REAR YARD	TOTAL MAX. IMPERVIOUS SURF. COVG.	TOTAL MIN. PERVIOUS SURF. COVG.
REQUIRED	33%	50%	65%	1,000 sqft
EXISTING	100%	100%	99.8%	8.5 sqft

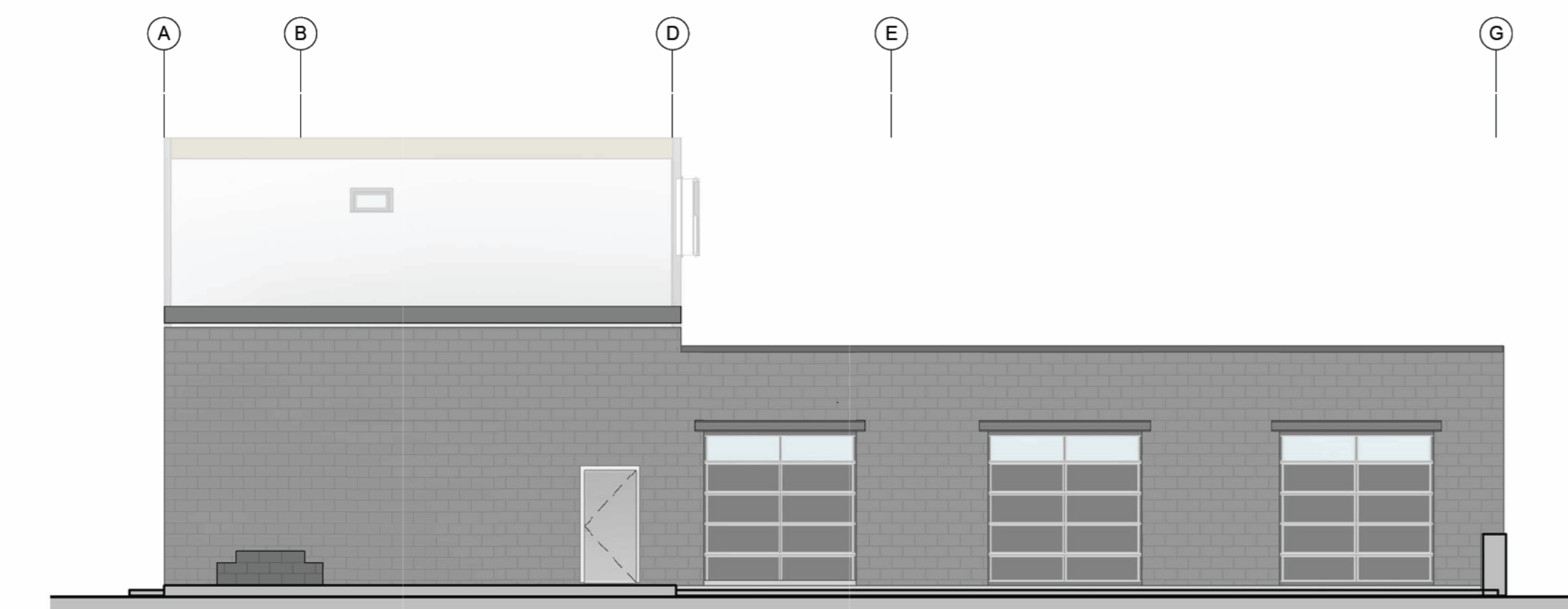
ACTION	MAX. IMPERVIOUS SURF. COVG. FRONT YARD	MAX. IMPERVIOUS SURF. COVG. REAR YARD	TOTAL MAX. IMPERVIOUS SURF. COVG.	TOTAL MIN. PERVIOUS SURF. COVG.
REQUIRED	33%	50%	65%	1,000 sqft
PROPOSED	64.2% (Proposed) Request for Variance (Section 1902)	0% (Proposed)	79.7% (Proposed) Request for Variance (Section 1902)	858 sf (Proposed) Administrative Modification (Sec. 1903 - 15% Dimensional Adjustment=850sf)



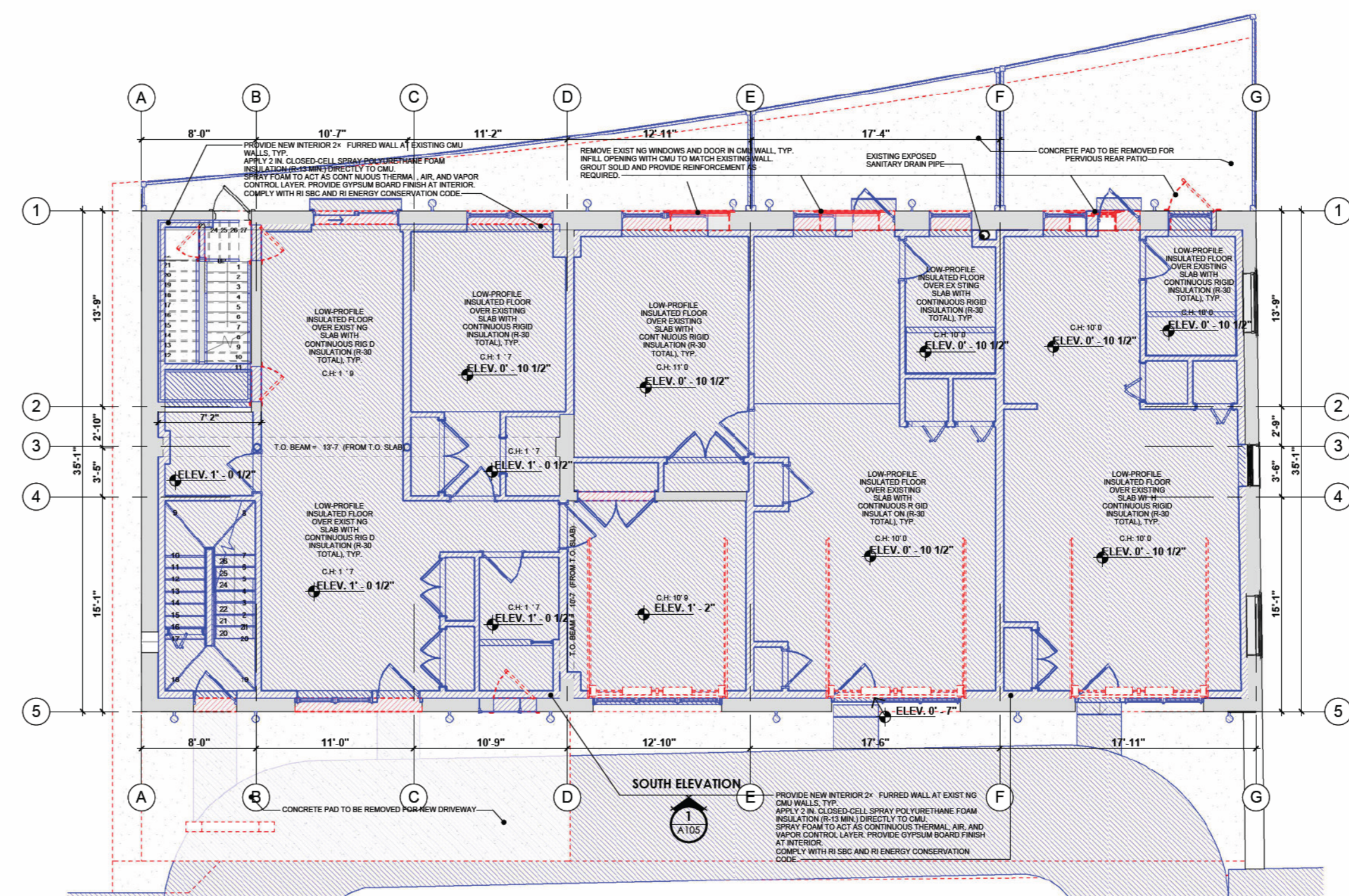
1 01 EXISTING FIRST FLOOR  
1/8" = 1'-0"



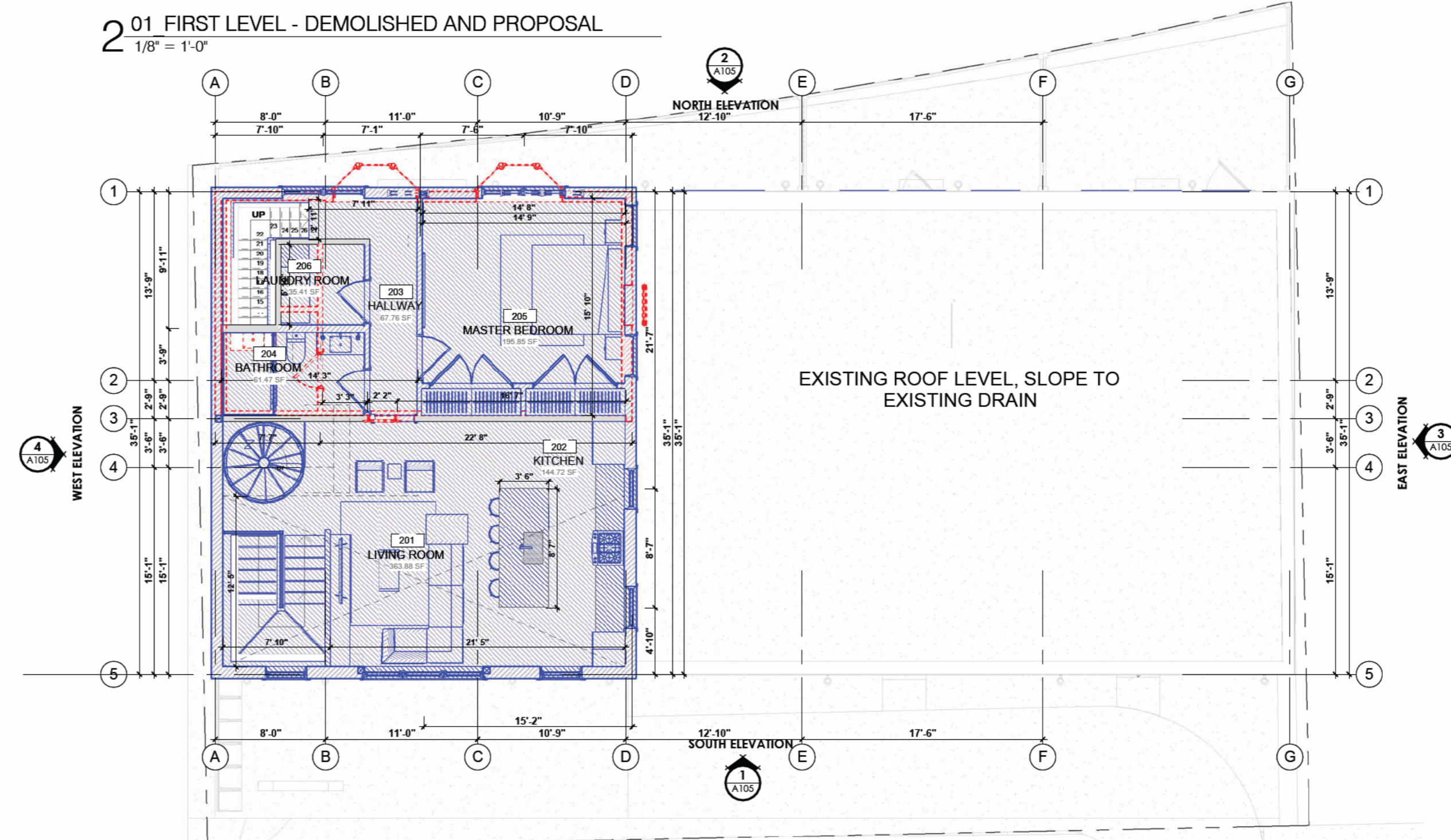
3 EXISTING SECOND FLOOR  
1/8" = 1'-0"



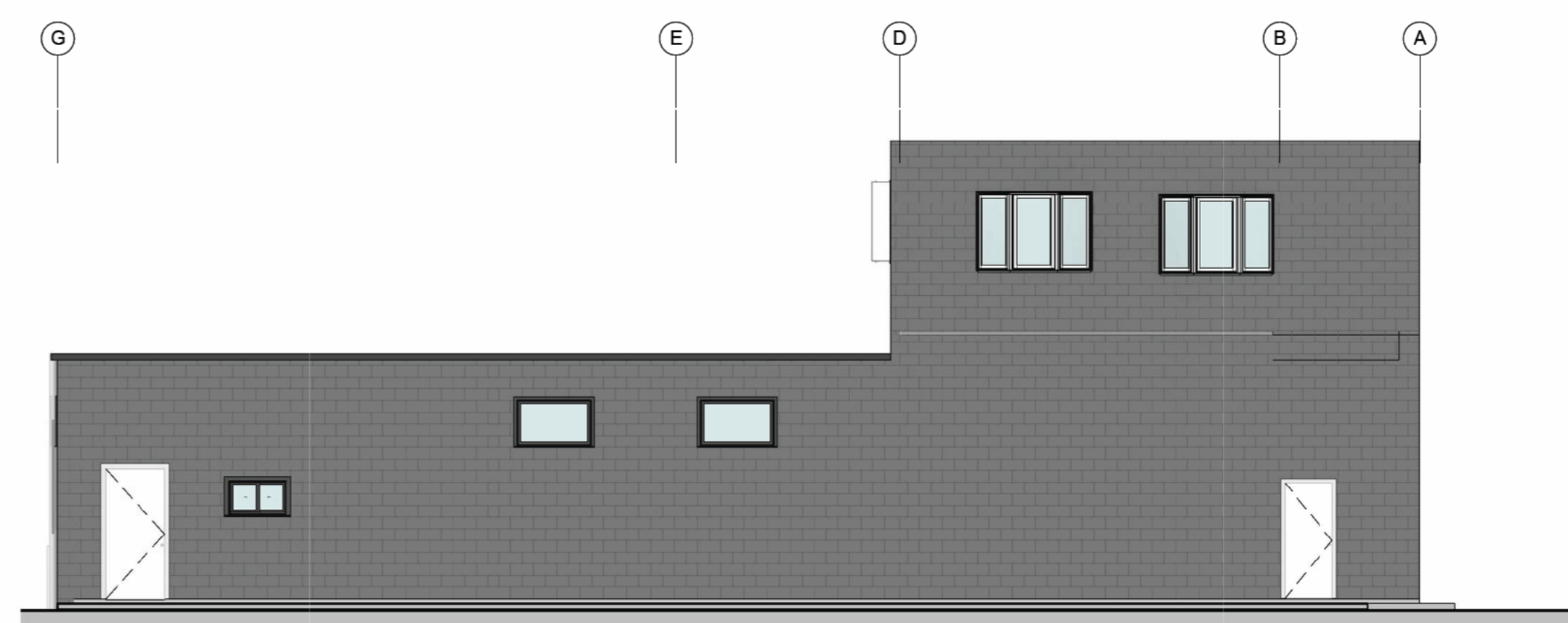
EL1 EXISTING WEST ELEVATION  
1/8" = 1'-0"



2 01 FIRST LEVEL - DEMOLISHED AND PROPOSAL  
1/8" = 1'-0"



4 03 SECOND LEVEL - DEMOLISHED AND PROPOSAL  
1/8" = 1'-0"



EL2 EXISTING EAST ELEVATION  
1/8" = 1'-0"

IN REVISION

4/16/2026 12:54:38 PM



MICHIE DESIGN & BUILD  
PERUNOVO LLC  
GC - 44956  
145 WESTMINSTER ST  
4TH FLOOR  
PROVIDENCE RI 02903

Team:  
Architectural Designer:  
BRYAN B. MICHIE (401) 470-0392  
Drawn by:  
JM

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DE SOTO RESIDENCES

11 DE SOTO ST.  
PROVIDENCE

Project Address:  
11 DE SOTO ST.  
PROVIDENCE, RI, 02909  
PLAT: 033 - LOT: 660



Prepared for:  
Michael Pimentel (401) 345-0851  
Address:  
E-mail:  
michaelpimentel@gmail.com

REVISION SCHEDULE

REV. N°	DESCRIPTION	DATE
---------	-------------	------



ACME ARCHITECTS LLC  
9 Simmons Road  
Little Compton RI 02837  
401 465 5247  
mark@markrapparchitect.com  
4/16/26

EXISTING CONDITIONS

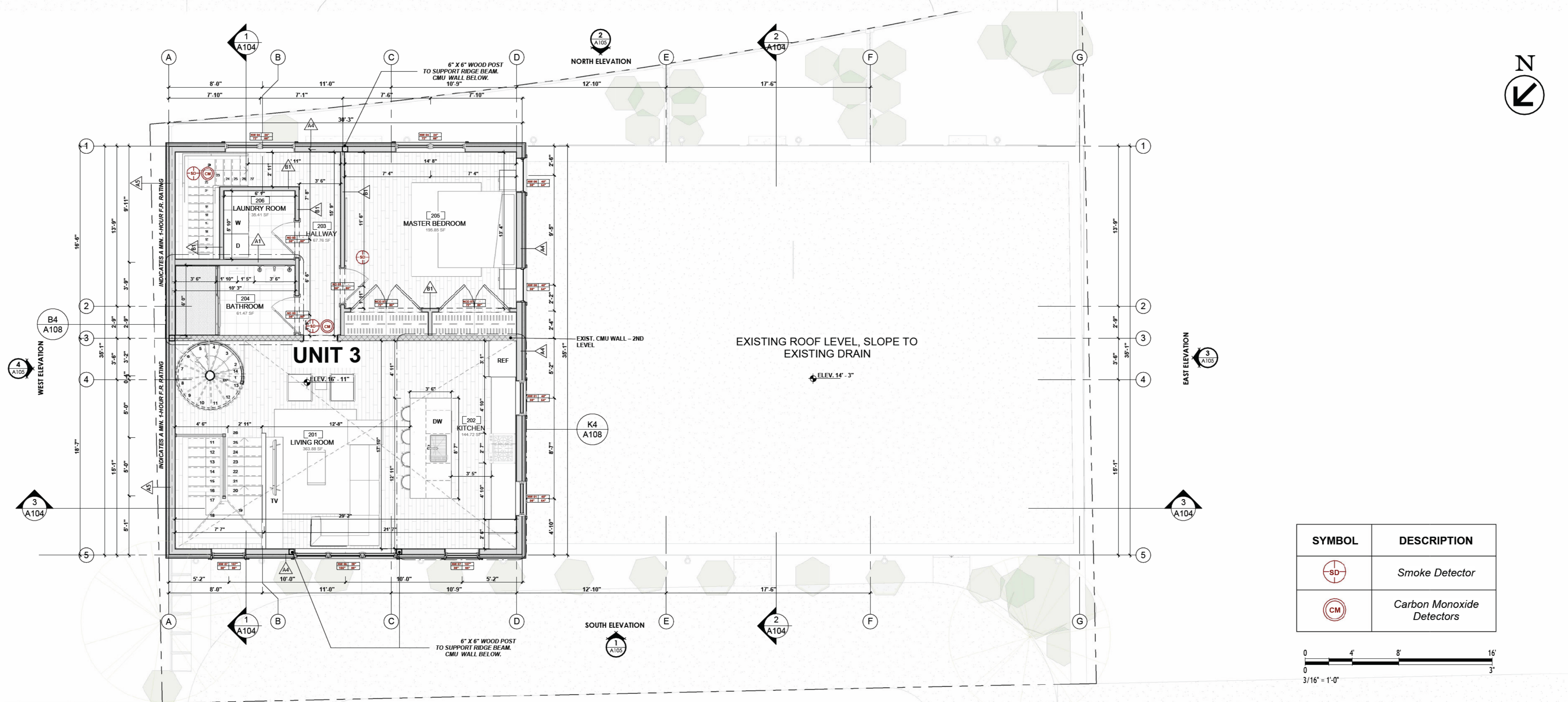
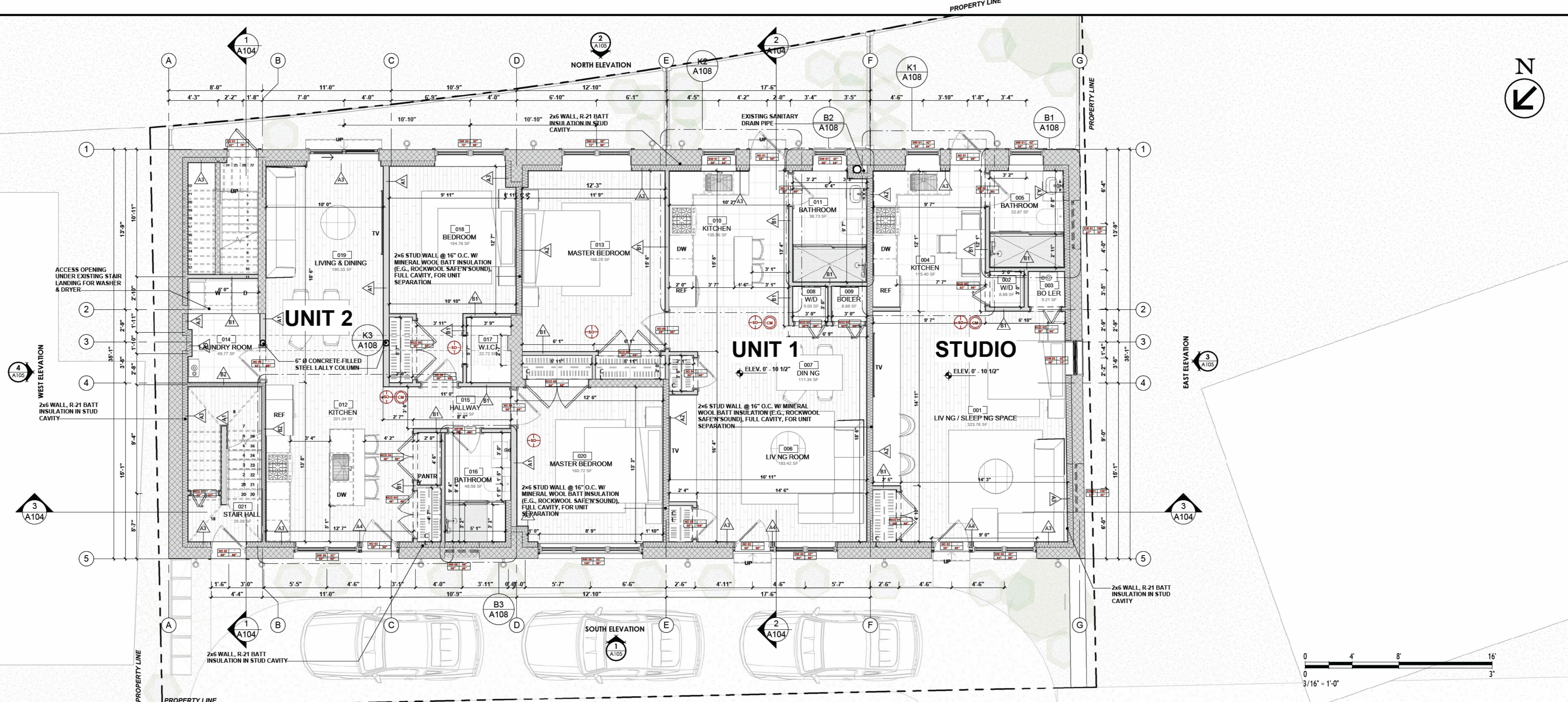
A100

ROOM SCHEDULE - FIRST FLOOR		
No.	Room	Area
001	LIVING / SLEEPING SPACE	327.76 SF
002	W/D	8.88 SF
003	BOILER	9.21 SF
004	KITCHEN	115.40 SF
005	BATHROOM	32.87 SF
006	LIVING ROOM	183.42 SF
007	DINING	111.34 SF
008	W/D	9.00 SF
009	BOILER	8.88 SF
010	KITCHEN	135.56 SF
011	BATHROOM	38.73 SF
012	KITCHEN	291.04 SF
013	MASTER BEDROOM	188.25 SF
014	LAUNDRY ROOM	45.77 SF
015	HALLWAY	32.23 SF
016	BATHROOM	48.26 SF
017	W.I.C.	22.72 SF
018	BEDROOM	154.76 SF
019	LIVING & DINING	190.33 SF
020	MASTER BEDROOM	160.72 SF
021	STAIR HALL	25.09 SF
TOTAL: 21		2,046.53 SF

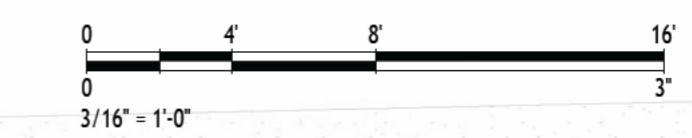
1 01 FIRST LEVEL - PROPOSAL  
3/16" = 1'-0"

ROOM SCHEDULE - SECOND FLOOR		
No.	Room	Area
201	LIVING ROOM	363.89 SF
202	KITCHEN	144.72 SF
203	HALLWAY	67.76 SF
204	BATHROOM	61.47 SF
205	MASTER BEDROOM	195.85 SF
206	LAUNDRY ROOM	35.41 SF
TOTAL: 6		869.59 SF

2 03 SECOND LEVEL - PROPOSAL  
3/16" = 1'-0"



SYMBOL	DESCRIPTION
	Smoke Detector
	Carbon Monoxide Detectors



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4/16/2026 12:54:44 PM

MICHIE DESIGN & BUILD  
PERUNOVO LLC  
GC - 44956  
145 WESTMINSTER ST  
4TH FLOOR,  
PROVIDENCE RI 02903

Team:  
Architectural Designer:  
BRYAN B. MICHIE (401) 470-0392  
Drawn by:  
JM

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# DE SOTO RESIDENCES

11 DE SOTO ST.  
PROVIDENCE

Project Address:  
11 DE SOTO ST.  
PROVIDENCE, RI, 02909  
PLAT: 033 - LOT: 660

Prepared for:  
Michael Pimentel (401) 345-0851  
Address:  
E-mail:  
michaelpimentel@gmail.com

### REVISION SCHEDULE

REV. N°	DESCRIPTION	DATE
---------	-------------	------



ACME ARCHITECTS LLC  
9 Simmons Road  
Little Compton RI 02837  
401 465 5247  
mark@markrapparchitect.com  
4/16/26

FIRST & SECOND LEVEL - PROPOSAL

# A101

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4/16/2026 12:54:48 PM

**M** MICHIE DESIGN & BUILD  
PERUNOVO LLC  
GC - 44956  
145 WESTMINSTER ST  
4TH FLOOR,  
PROVIDENCE RI 02903

Team:  
Architectural Designer:  
BRYAN B. MICHIE (401) 470-0392

Drawn by:  
JM

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11 DE SOTO ST.  
PROVIDENCE

Project Address:  
11 DE SOTO ST.  
PROVIDENCE, RI, 02909

PLAT: 033 - LOT: 660

Prepared for:  
Michael Pimentel (401) 345-0851

Address:  
-

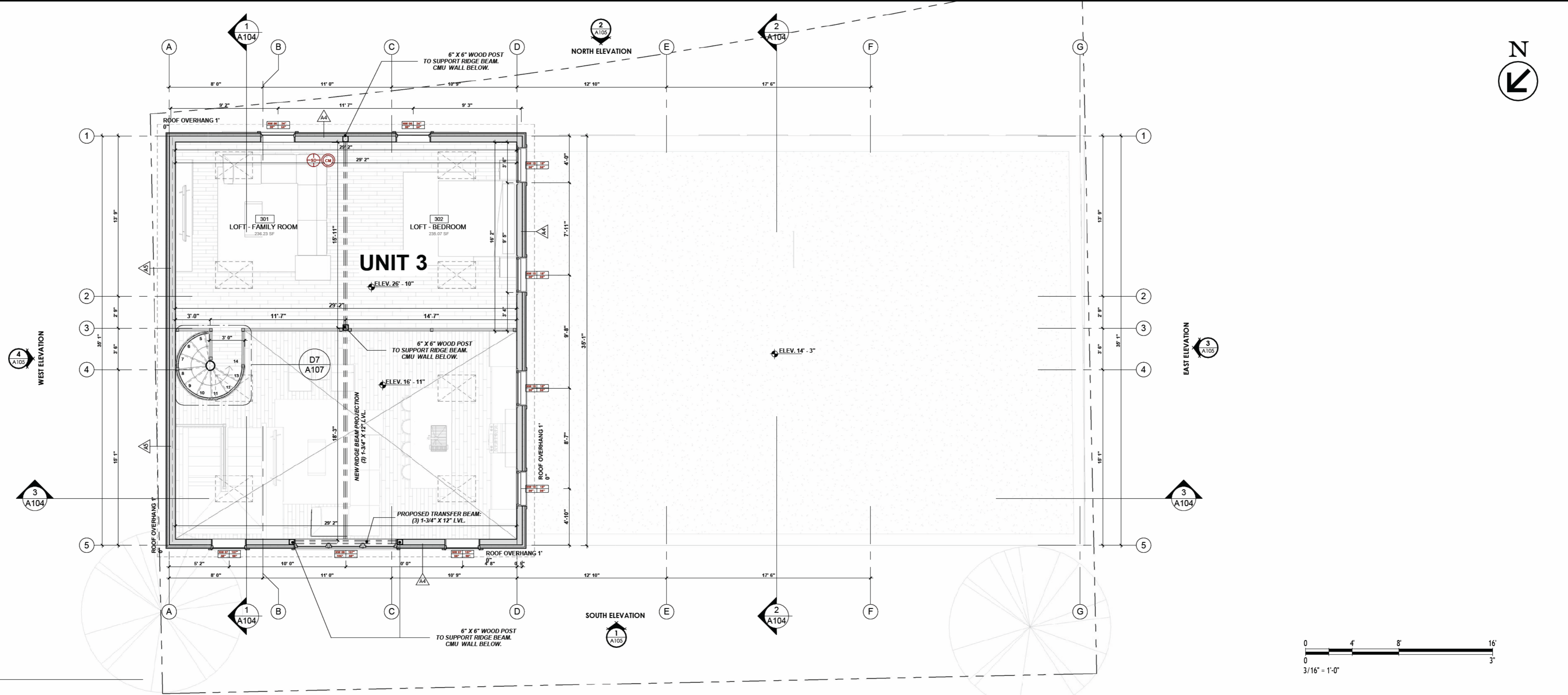
E-mail:  
michaelpimentel@gmail.com

REV. N°	DESCRIPTION	DATE
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**ACME ARCHITECTS LLC**  
9 Simmons Road  
Little Compton RI 02837  
401 465 5247  
mark@markrapparchitect.com  
4/16/26

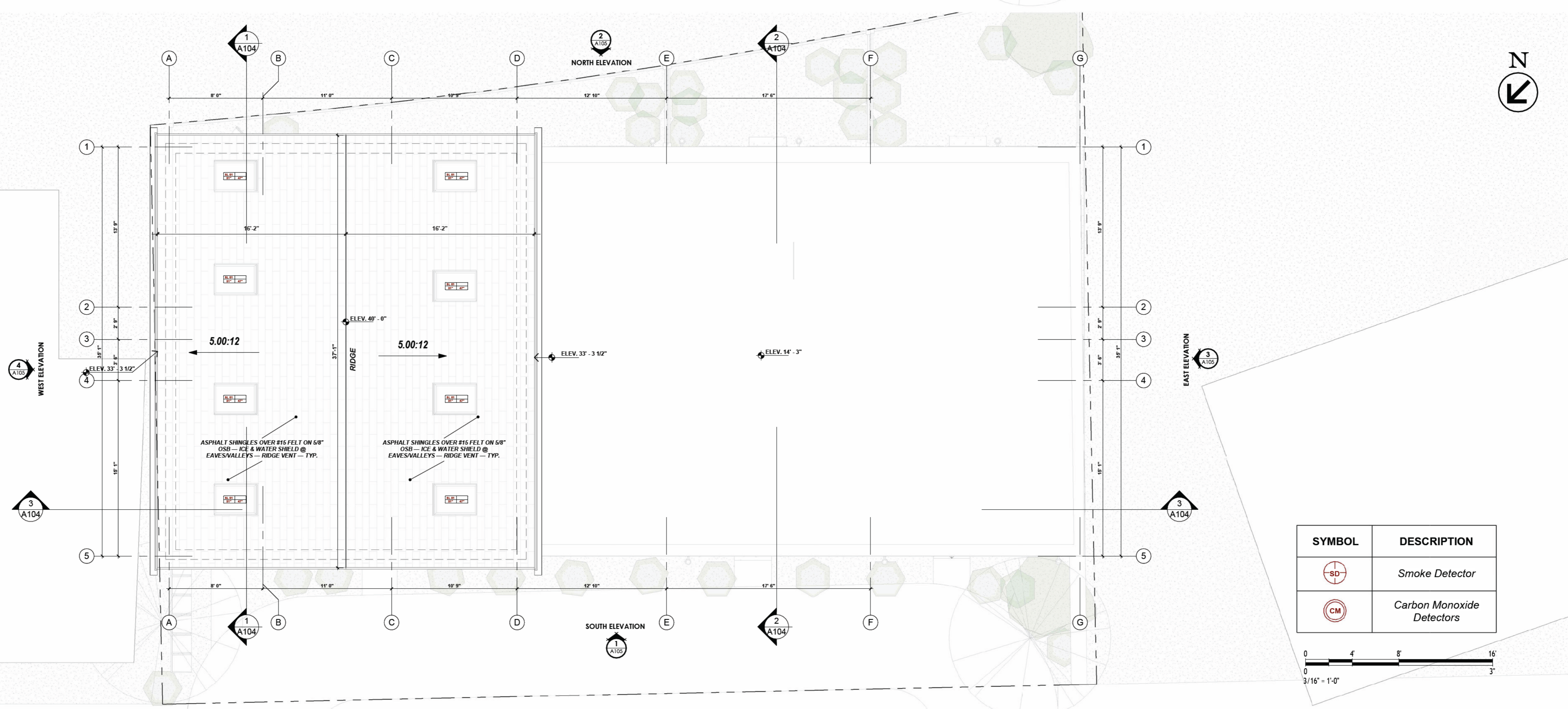
LOFT & ROOF LEVEL - PROPOSAL

# A103



No	Room	Area
301	LOFT - FAMILY ROOM	236.23 SF
302	LOFT - BEDROOM	235.07 SF
TOTAL: 2		471.30 SF

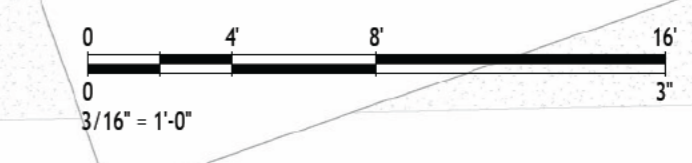
1 04 LOFT LEVEL - PROPOSAL  
3/16" = 1'-0"



No	Room	Area
01 EXISTING FIRST FLOOR		
001	LIVING / SLEEPING SPACE	323.76 SF
002	W/O	8.88 SF
003	BOILER	9.21 SF
004	KITCHEN	115.40 SF
005	BATHROOM	32.87 SF
006	LIVING ROOM	183.42 SF
007	DINING	111.34 SF
008	W/O	5.89 SF
009	BOILER	8.89 SF
010	KITCHEN	139.56 SF
011	BATHROOM	38.73 SF
012	KITCHEN	201.04 SF
013	MASTER BEDROOM	188.25 SF
014	LAUNDRY ROOM	45.77 SF
015	HALLWAY	32.23 SF
016	BATHROOM	48.58 SF
017	W.C.	22.72 SF
018	BEDROOM	154.76 SF
019	LIVING & DINING	190.33 SF
020	MASTER BEDROOM	160.72 SF
021	STAIR HALL	25.09 SF
04 SECOND FLOOR		
201	LIVING ROOM	363.88 SF
202	KITCHEN	144.72 SF
203	HALLWAY	67.76 SF
204	BATHROOM	61.41 SF
205	MASTER BEDROOM	195.85 SF
206	LAUNDRY ROOM	35.41 SF
05 MEZZANINE		
301	LOFT - FAMILY ROOM	236.23 SF
302	LOFT - BEDROOM	235.07 SF
TOTAL: 29		3,386.92 SF

2 06 TOP OF THE ROOF  
3/16" = 1'-0"

SYMBOL	DESCRIPTION
	Smoke Detector
	Carbon Monoxide Detectors



Team:  
 Architectural Designer:  
 BRYAN B. MICHIE (401) 470-0392  
 Drawn by:  
 JM

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 PROVIDENCE

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 11 DE SOTO ST.  
 PROVIDENCE, RI, 02909  
 PLAT: 033 - LOT: 660

Prepared for:  
 Michael Pimentel (401) 345-0851  
 Address:  
 -  
 E-mail:  
 michaelpimentel@gmail.com

### REVISION SCHEDULE

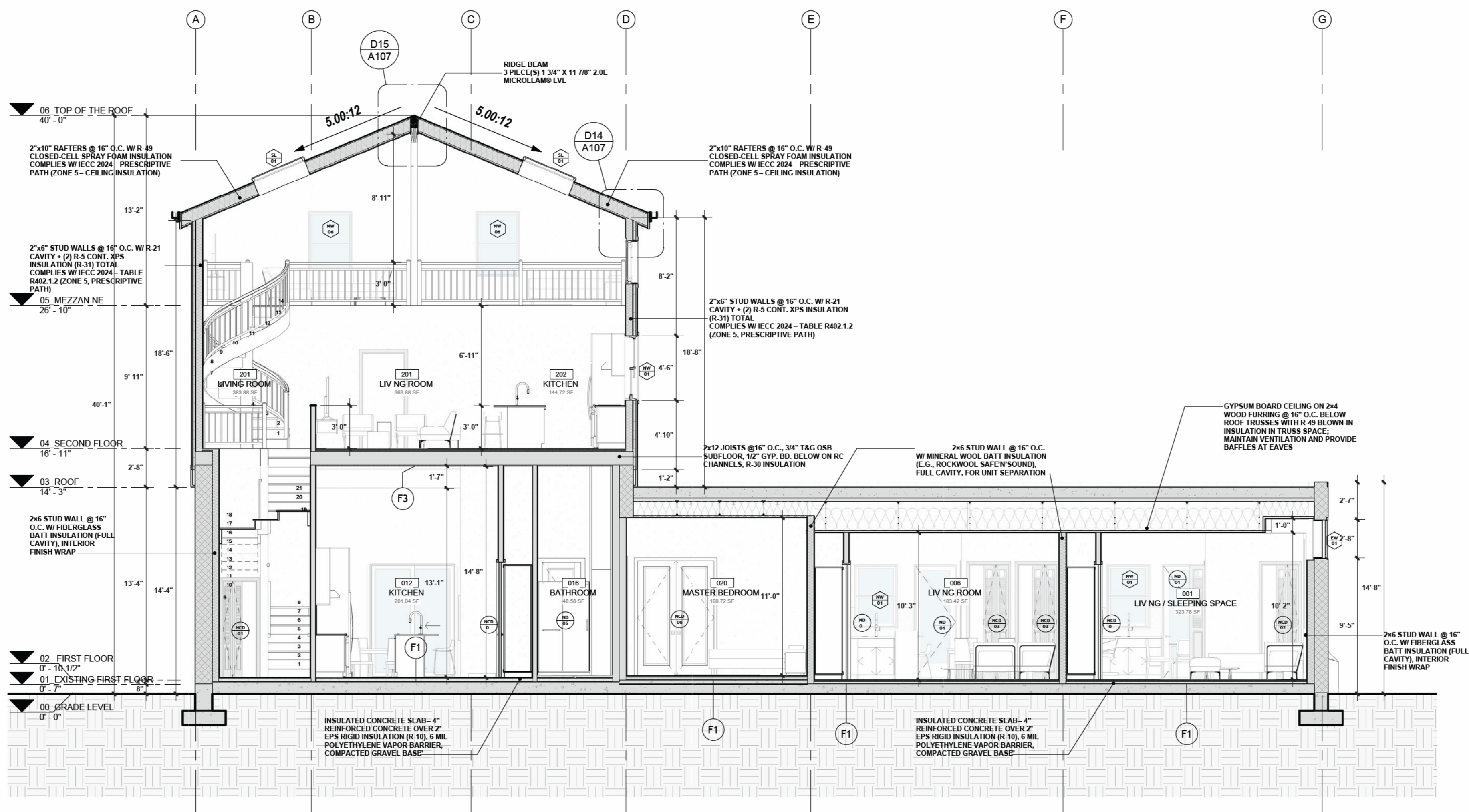
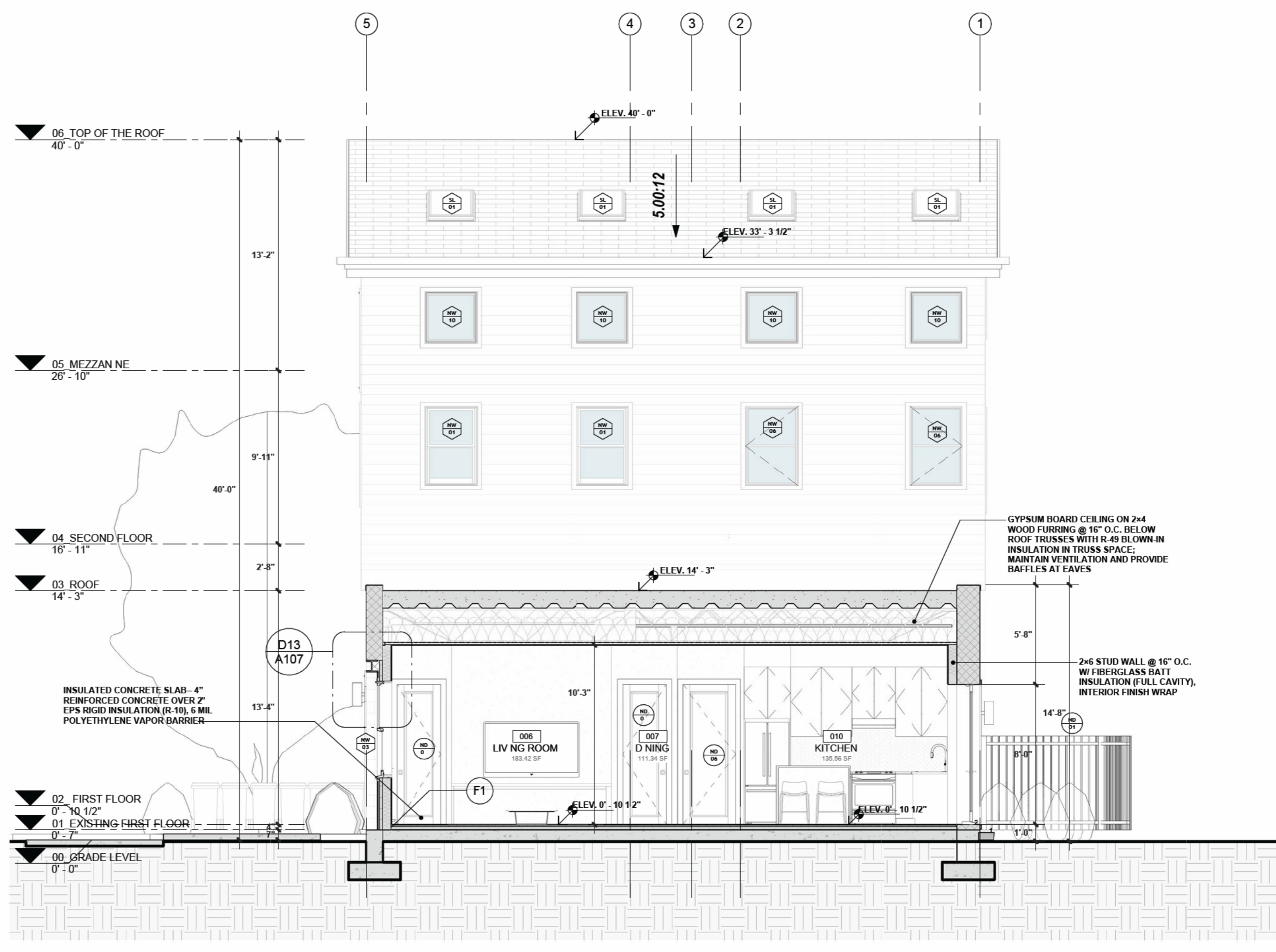
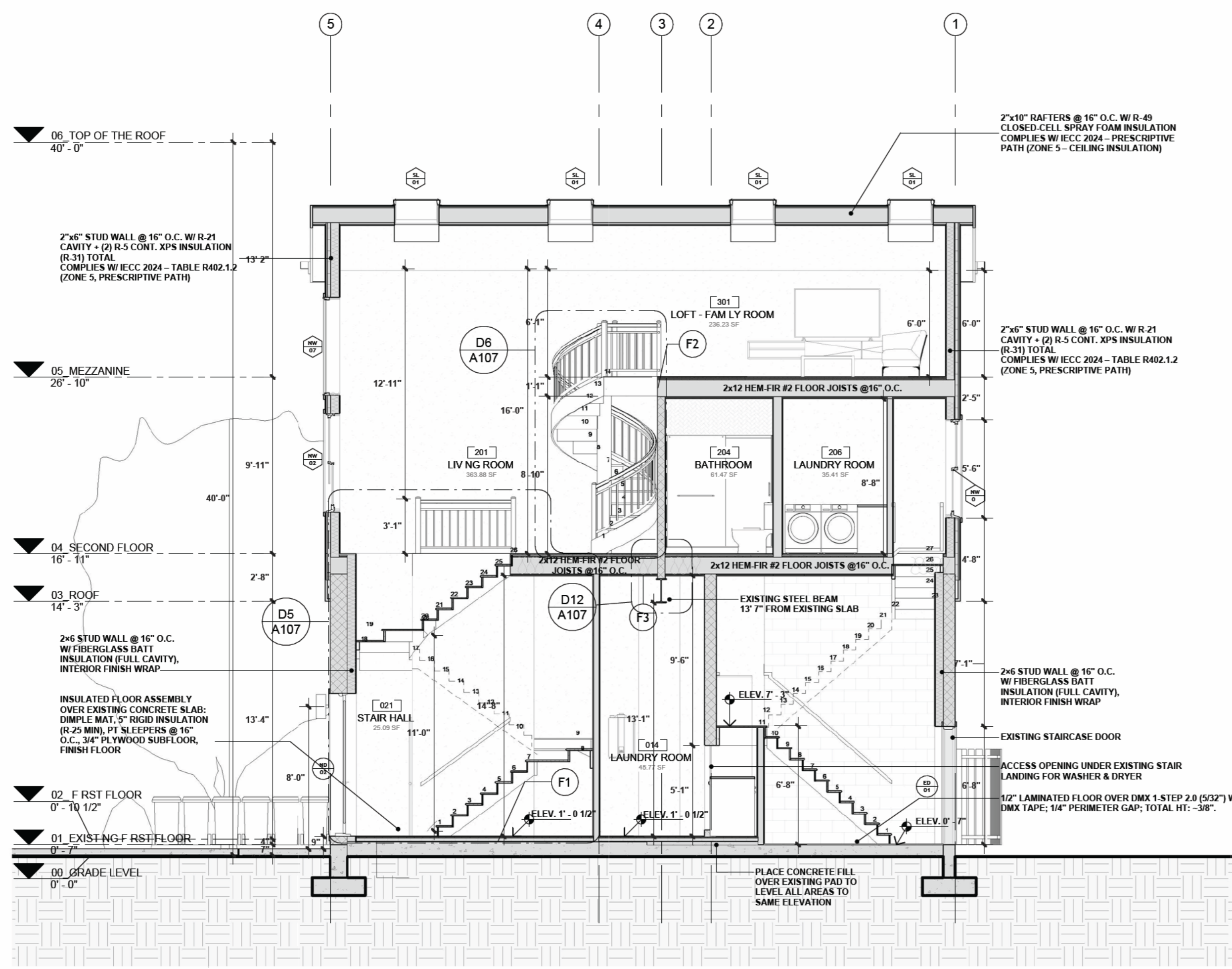
REV. N°	DESCRIPTION	DATE
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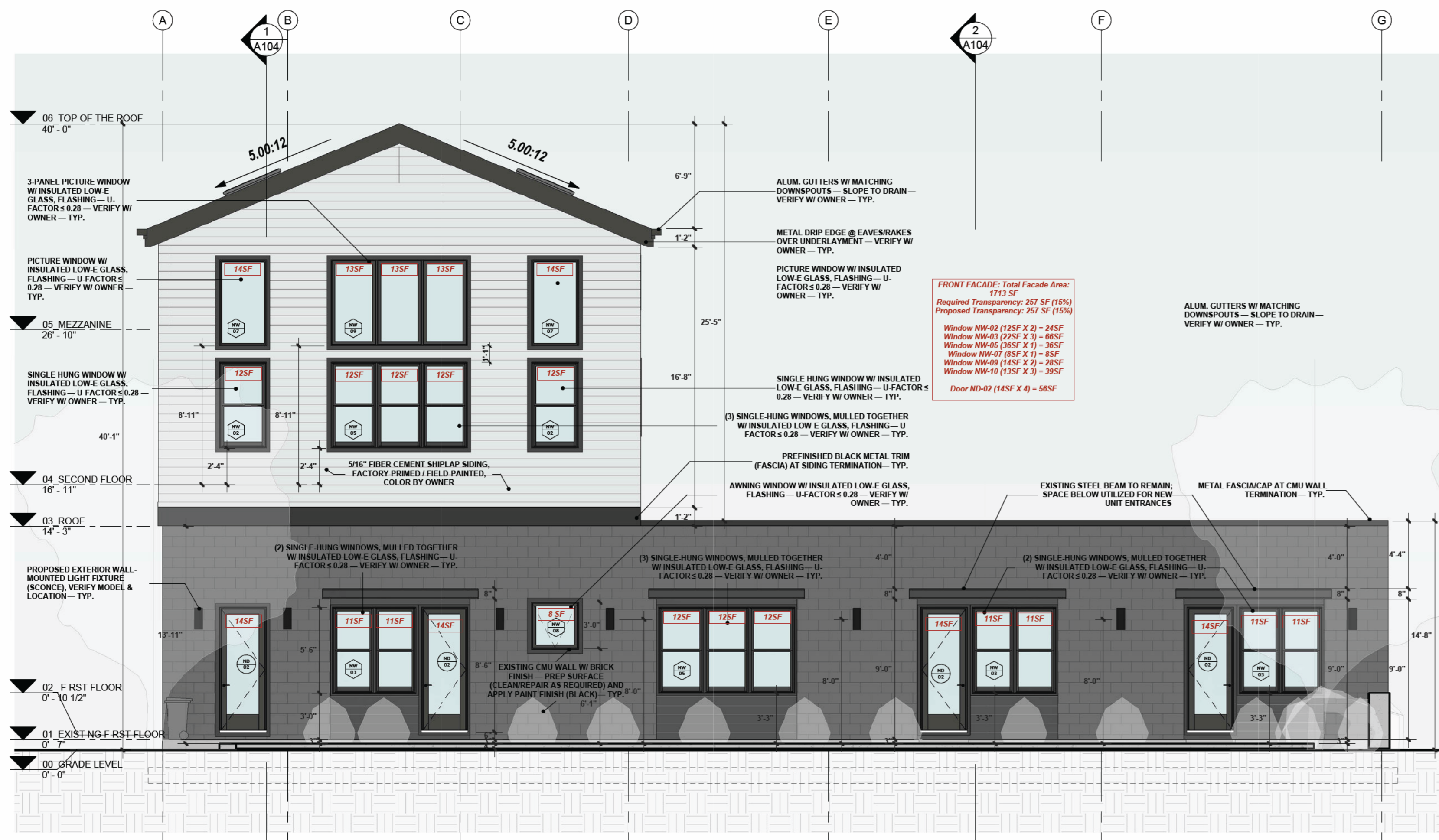


ACME ARCHITECTS LLC  
 9 Simmons Road  
 Little Compton RI 02837  
 401 465 5247  
 mark@markrapparchitect.com  
 4/16/26

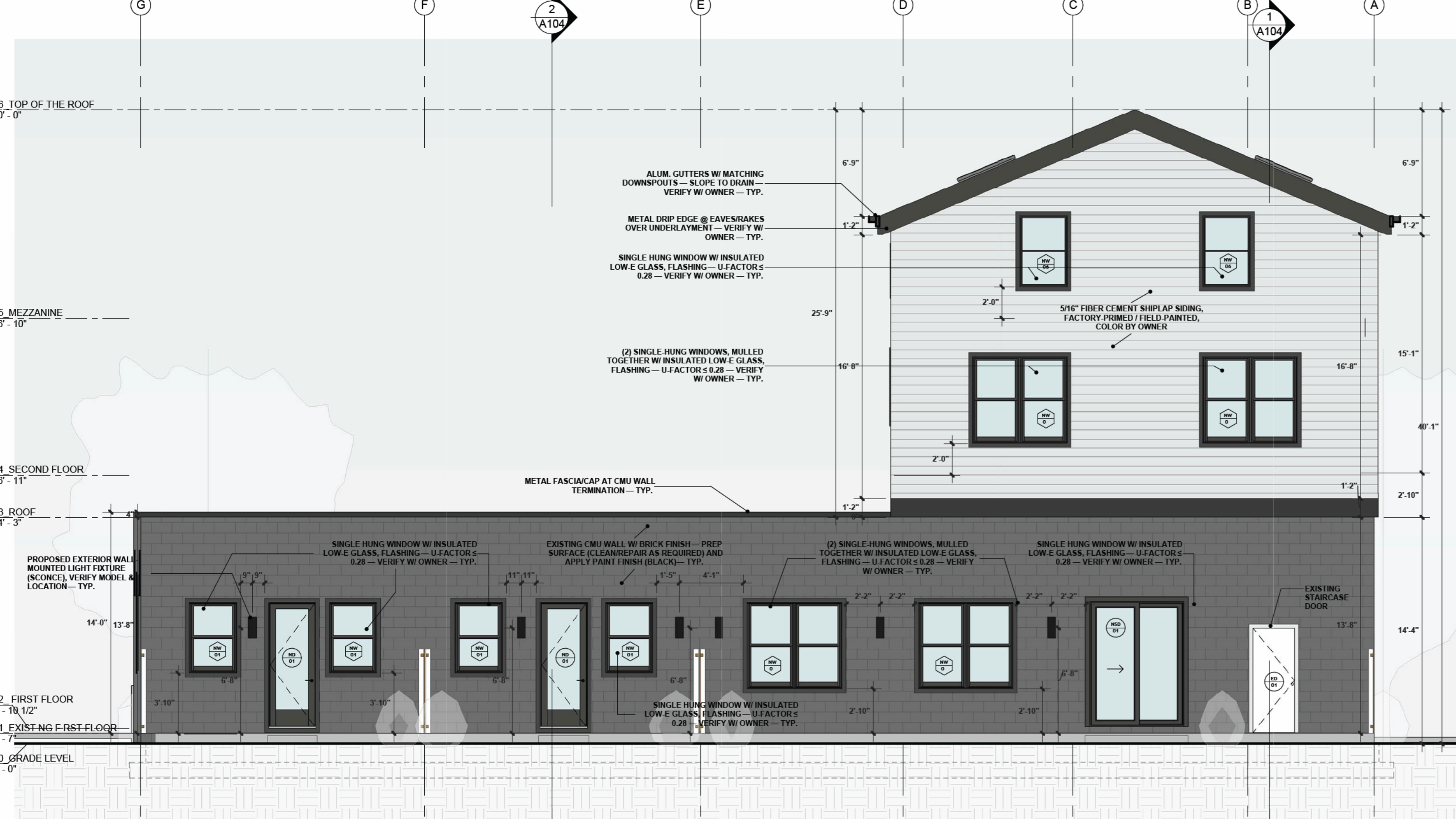
SECTIONS - PROPOSAL

# A104

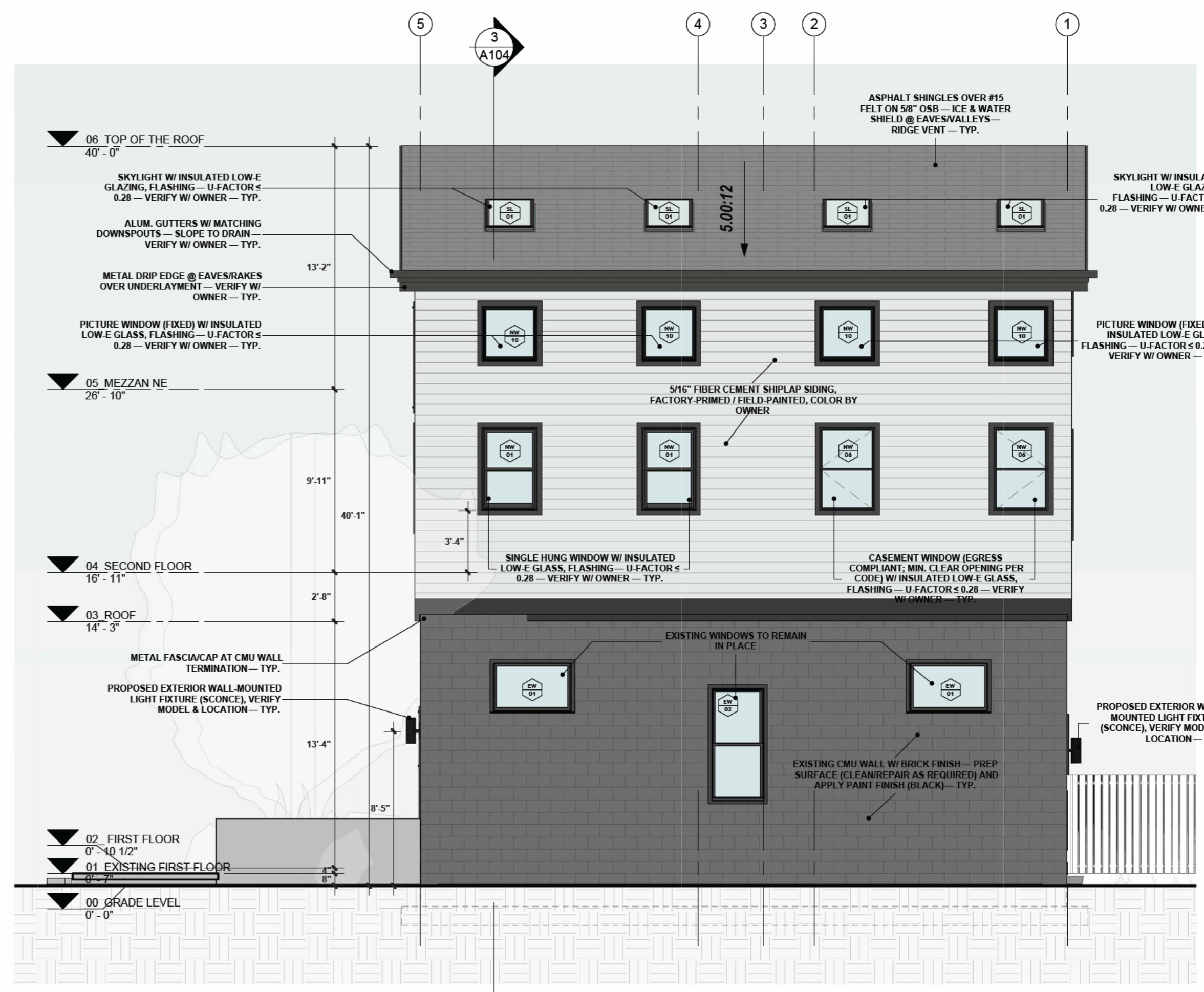




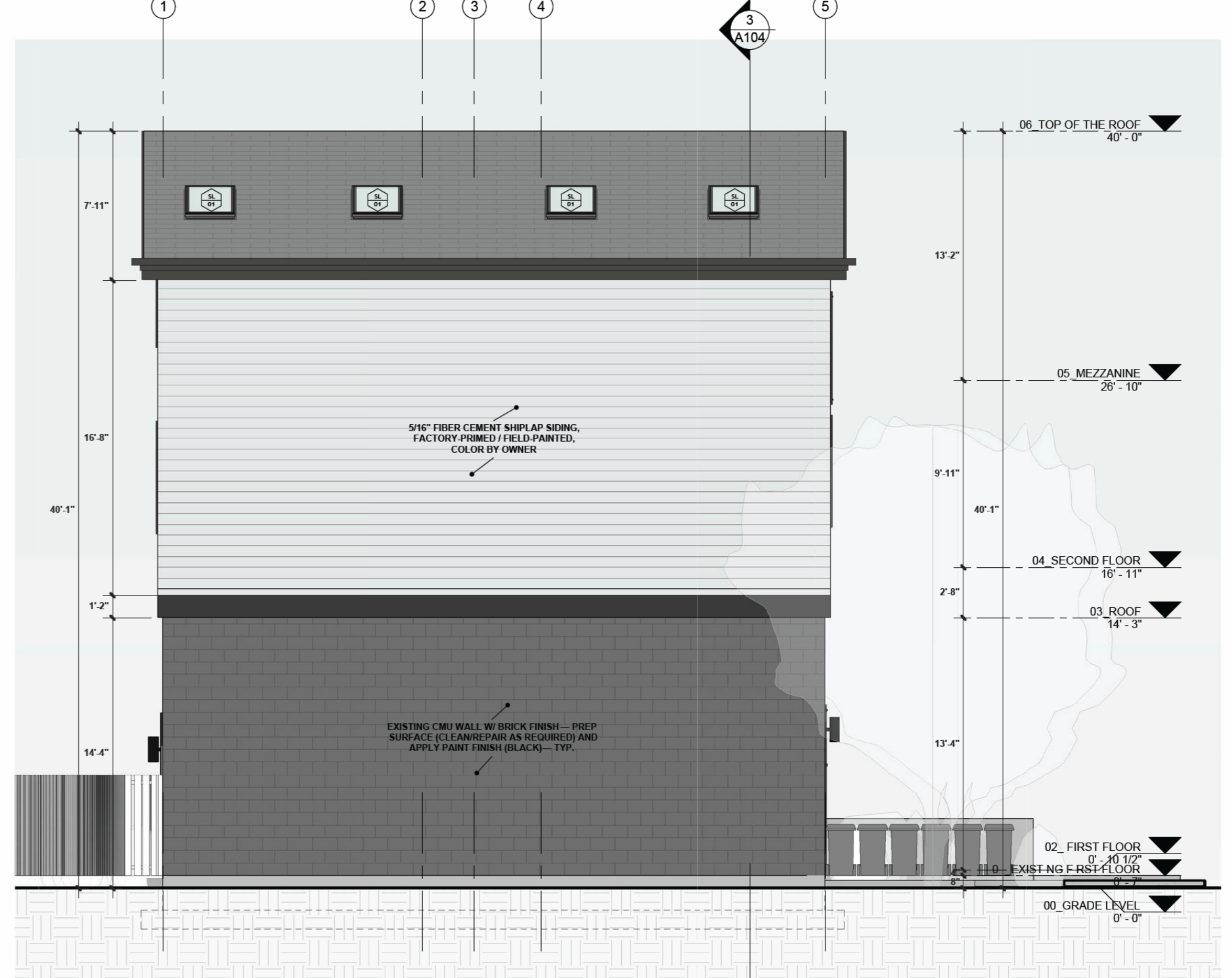
1 SOUTH ELEVATION  
3/16" = 1'-0"



2 NORTH ELEVATION  
3/16" = 1'-0"



3 EAST ELEVATION  
3/16" = 1'-0"



4 WEST ELEVATION  
3/16" = 1'-0"

IN REVISION  
4/16/2026 12:55:20 PM



Team:  
Architectural Designer:  
BRYAN B. MICHIE (401) 470-0392  
Drawn by:  
JM

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PROVIDENCE

Project Address:  
11 DE SOTO ST.  
PROVIDENCE, RI, 02909  
PLAT: 033 - LOT: 660  
Prepared for:  
Michael Pimentel (401) 345-0851  
Address:  
-  
E-mail:  
michaelpimentel@gmail.com

REV. N°	DESCRIPTION	DATE



ACME ARCHITECTS LLC  
9 Simmons Road  
Little Compton RI 02837  
401 465 5247  
mark@markrapparchitect.com  
4/16/26

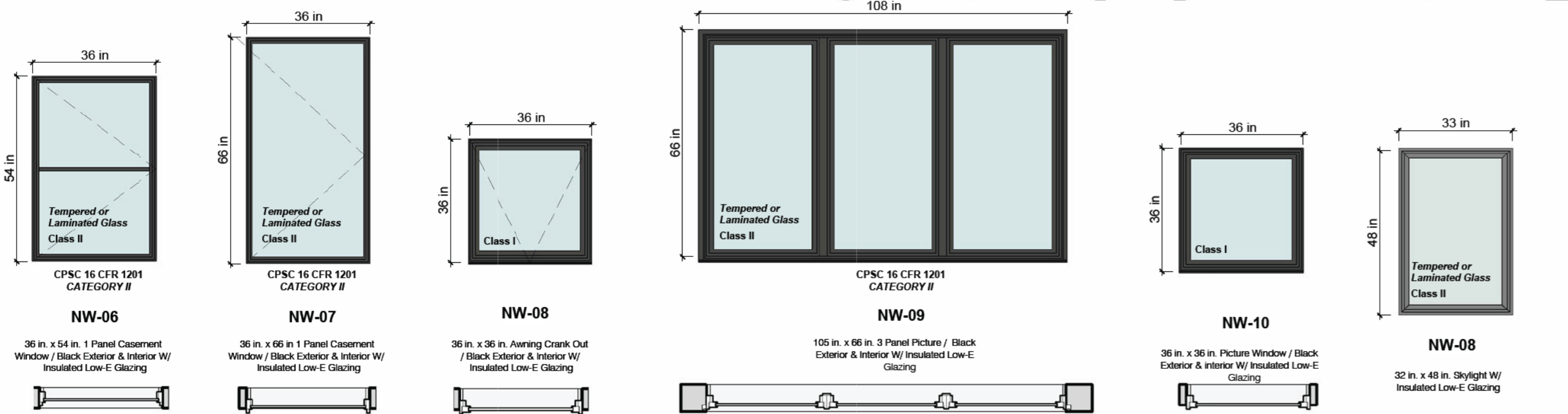
ELEVATIONS PROPOSAL

# A105

Window Schedule						
Count	Type	Code	Sill Height	Width	Height	UR Factor
<b>02_FIRST FLOOR</b>						
4	36 in. x 54 in. Single Hung / Black Exterior & Interior W/ Insulated Low-E Glazing	NW 01	42.00 in	36.00 in	54.00 in	0.28 or less
3	64 in. x 66 in. 2 Panel Single Hung / Black Exterior & Interior W/ Insulated Low-E Glazing	NW 03	32.00 in	64.00 in	66.00 in	0.28 or less
2	72 in. x 66 in. 2 Panel Single Hung / Black Exterior & Interior W/ Insulated Low-E Glazing	NW 04	30.00 in	72.00 in	66.00 in	0.28 or less
1	105 in. x 66 in. 3 Panel Single Hung / Black Exterior & Interior W/ Insulated Low-E Glazing	NW 05	32.00 in	105.00 in	66.00 in	0.28 or less
1	36 in. x 36 in. Awning Crank Out / Black Exterior & Interior W/ Insulated Low-E Glazing	NW 08	66.00 in	36.00 in	36.00 in	0.28 or less

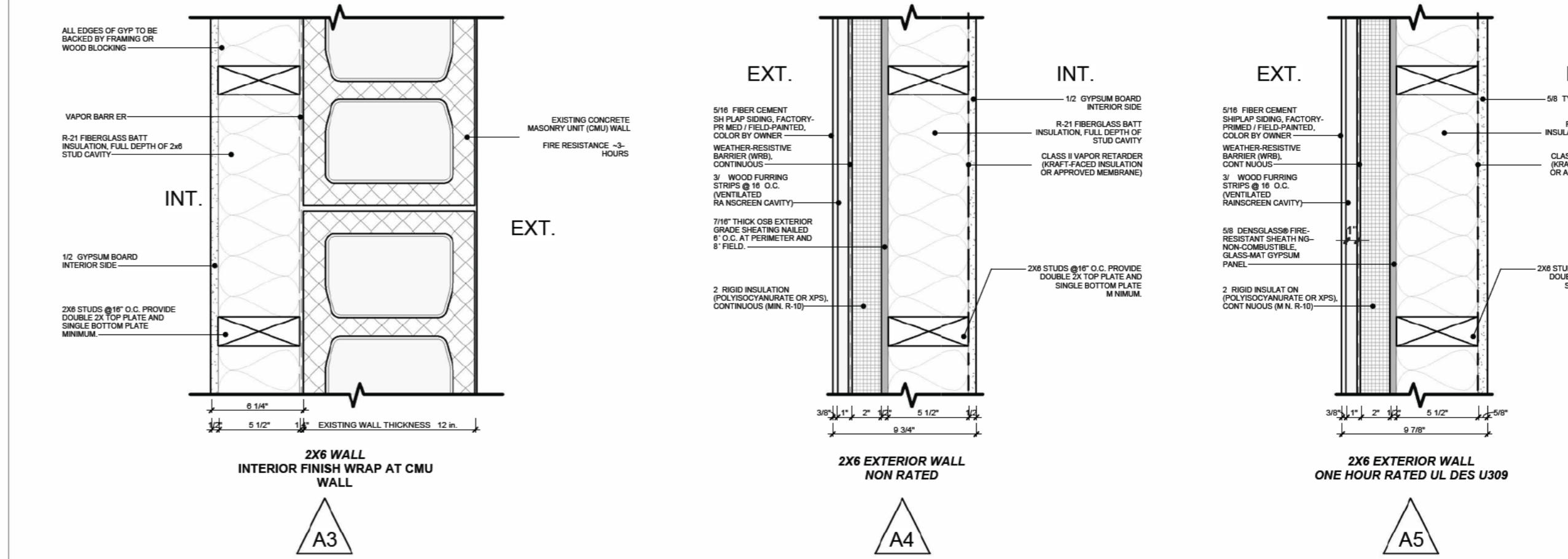
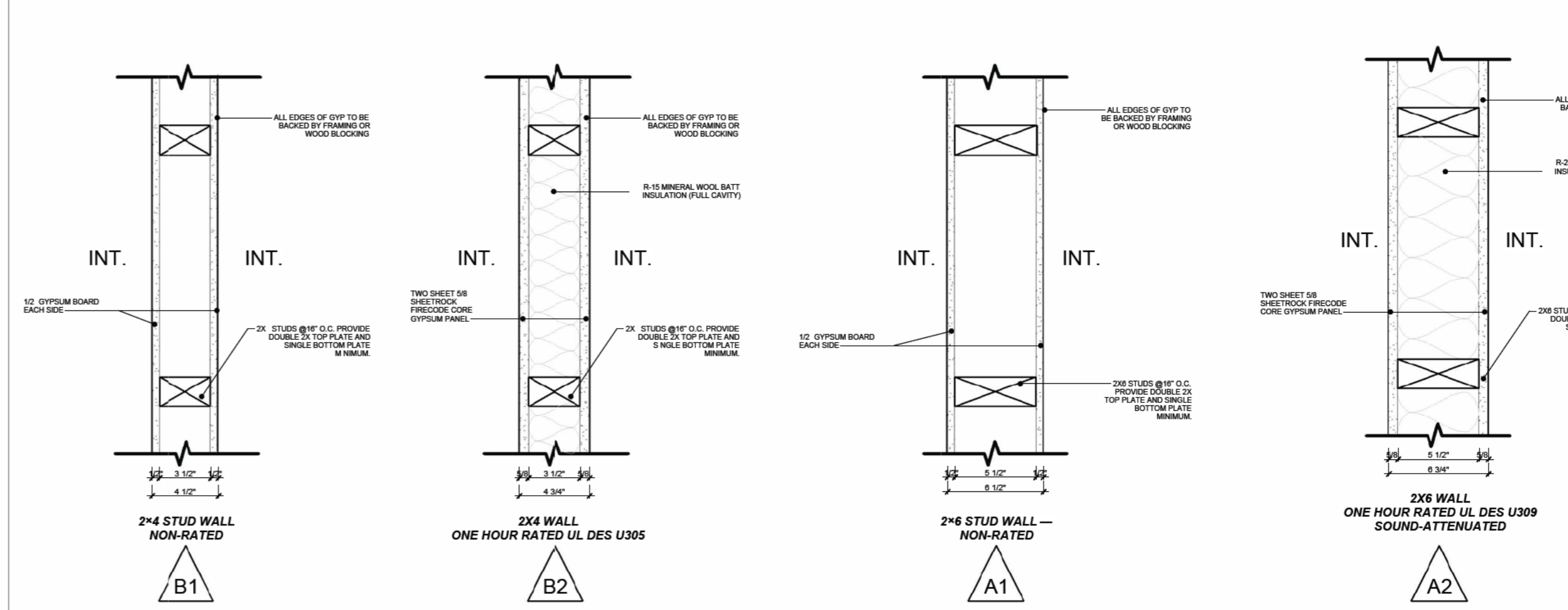
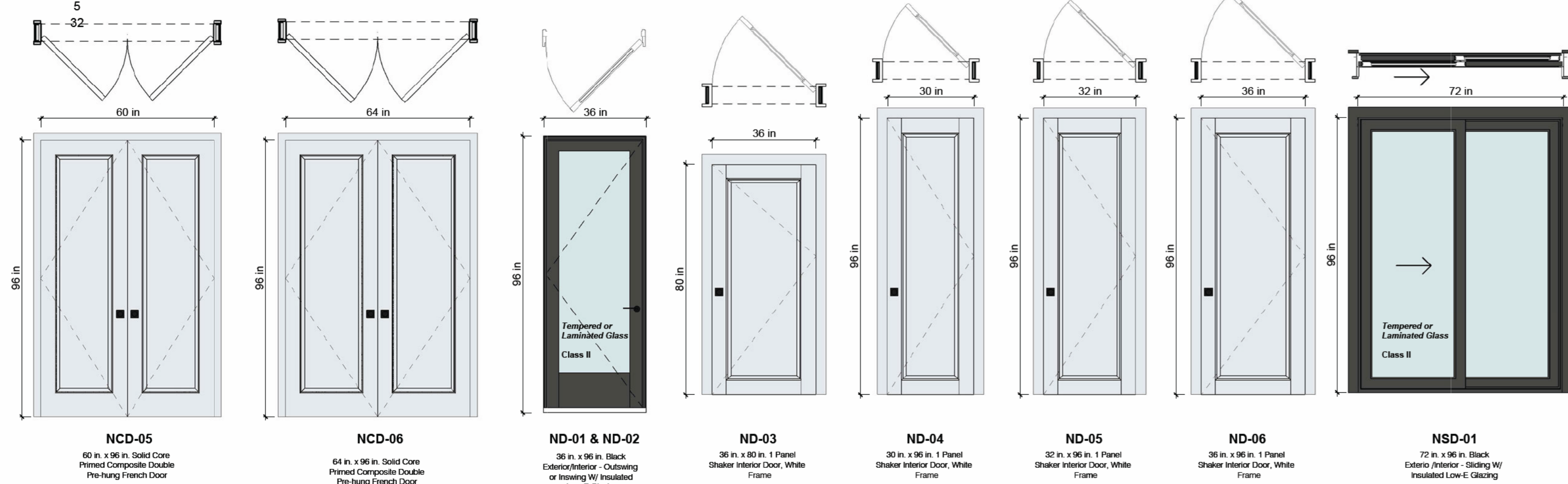
<b>04_SECOND FLOOR</b>						
2	36 in. x 54 in. Single Hung / Black Exterior & Interior W/ Insulated Low-E Glazing	NW 01	40.00 in	36.00 in	54.00 in	0.28 or less
2	36 in. x 66 in. Single Hung / Black Exterior & Interior W/ Insulated Low-E Glazing	NW 02	28.00 in	36.00 in	66.00 in	0.28 or less
2	72 in. x 66 in. 2 Panel Single Hung / Black Exterior & Interior W/ Insulated Low-E Glazing	NW 04	24.00 in	72.00 in	66.00 in	0.28 or less
1	105 in. x 66 in. 3 Panel Single Hung / Black Exterior & Interior W/ Insulated Low-E Glazing	NW 05	28.00 in	105.00 in	66.00 in	0.28 or less
2	36 in. x 54 in. 1 Panel Casement Window / Black Exterior & Interior W/ Insulated Low-E Glazing	NW 06	40.00 in	36.00 in	54.00 in	0.28 or less
2	36 in. x 66 in. 1 Panel Casement Window / Black Exterior & Interior W/ Insulated Low-E Glazing	NW 07	106.50 in	36.00 in	66.00 in	0.28 or less
1	105 in. x 66 in. 3 Panel Picture / Black Exterior & Interior W/ Insulated Low-E Glazing	NW 09	106.50 in	105.00 in	66.00 in	0.28 or less

<b>05_MEZZANINE</b>						
2	36 in. x 54 in. 1 Panel Casement Window / Black Exterior & Interior W/ Insulated Low-E Glazing	NW 06	24.00 in	36.00 in	54.00 in	0.28 or less
4	36 in. x 36 in. Picture Window / Black Exterior & Interior W/ Insulated Low-E Glazing	NW 10	18.00 in	36.00 in	36.00 in	0.28 or less
8	32 in. x 48 in. Skylight W/ Insulated Low-E Glazing	SL 01		31.44 in	47.25 in	0.28 or less

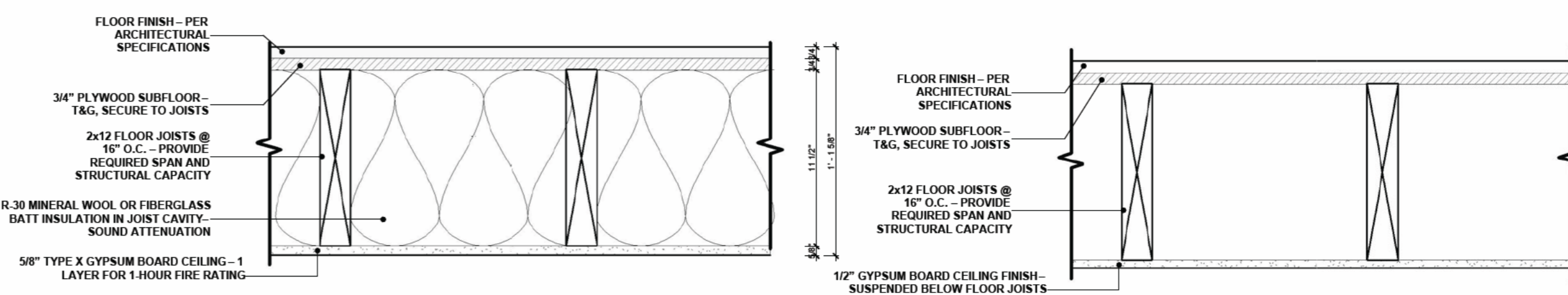


Door Schedule					
Count	Type	Code	Height	Width	
<b>02_FIRST FLOOR</b>					
1	Bi-fold Door: 28 in. x 80 in. Solid Core Louver/Panel White Vinyl Interior Bi-fold Door	NCD 01	80.00 in	28.00 in	
1	Bi-fold Door: 30 in. x 96 in. 3 in. Solid Core Louver/Panel White Vinyl Interior Bi-fold Door	NCD 02	96.00 in	30.00 in	
3	Bi-fold Door: 32 in. x 96 in. 3 in. Solid Core Louver/Panel White Vinyl Interior Bi-fold Door	NCD 03	96.00 in	32.00 in	
3	Interior Double Doors - 96 Height: 48 in. x 96 in. Solid Core Primed Composite Double Pre-hung French Door	NCD 04	96.00 in	48.00 in	
1	Interior Double Doors - 96 Height: 60 in. x 96 in. Solid Core Primed Composite Double Pre-hung French Door	NCD 05	96.00 in	60.00 in	
2	Interior Double Doors - 96 Height: 64 in. x 96 in. Solid Core Primed Composite Double Pre-hung French Door	NCD 06	96.00 in	64.00 in	
2	Single Panel Entrance Door: 36 in. x 96 in. Black Exterior/Interior - Outswing W/ Insulated Low-E Glazing	ND 01	96.00 in	36.00 in	
4	Single Panel Entrance Door: 36 in. x 96 in. Black Exterior/Interior - Inswing W/ Insulated Low-E Glazing	ND 02	96.00 in	36.00 in	
2	Single Panel Door - Wood Finish: 30 in. x 96 in. 1 Panel Shaker Interior Door, White Frame	ND 04	96.00 in	30.00 in	
4	Single Panel Door - Wood Finish: 32 in. x 96 in. 1 Panel Shaker Interior Door, White Frame	ND 05	96.00 in	32.00 in	
3	Single Panel Door - Wood Finish: 36 in. x 96 in. 1 Panel Shaker Interior Door, White Frame	ND 06	96.00 in	36.00 in	
1	Sliding Door: 72 in. x 96 in. Right-Hand/Inswing Low-E 15 Lite Primed Steel Double Prehung Patio Door	NSD 01	96.00 in	72.00 in	

<b>04_SECOND FLOOR</b>					
2	Interior Double Doors - 80 Height: 72 in. x 80 in. Solid Core Primed Composite Double Pre-hung French Door	NCD 07	80.00 in	72.00 in	
3	Single Panel Door - Wood Finish: 36 in. x 80 in. 1 Panel Shaker Interior Door, White Frame	ND 03	80.00 in	36.00 in	

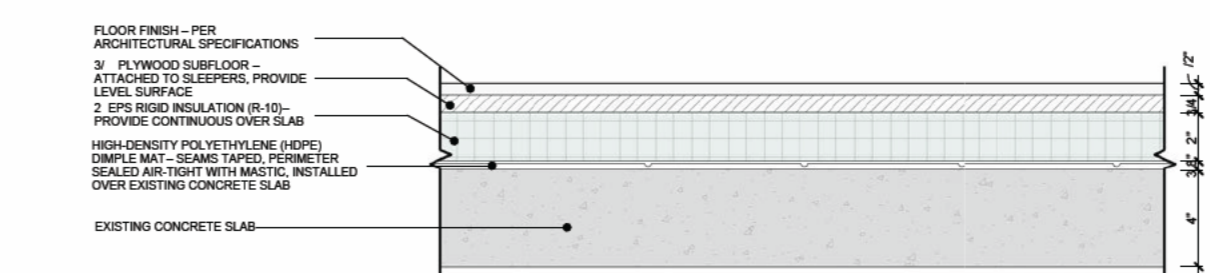


D1 DETAIL - WALL ASSEMBLIES  
1 1/2" = 1'-0"



D2 DETAIL - FLOOR ASSEMBLY UL L570 - 1 HR FIRE RATED  
1 1/2" = 1'-0"

D3 DETAIL - FLOOR ASSEMBLY - NON RATED FLOOR JOIST  
1 1/2" = 1'-0"



D4 DETAIL - FLOOR ASSEMBLY - INSULATED CONCRETE SLAB  
1 1/2" = 1'-0"

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4/16/2026 12:55:25 PM



Team:  
Architectural Designer:  
BRYAN B. MICHIE (401) 470-0392

Drawn by:  
JM

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DE SOTO RESIDENCES

11 DE SOTO ST.  
PROVIDENCE

Project Address:  
11 DE SOTO ST.  
PROVIDENCE, RI, 02909  
PLAT: 033 - LOT: 660

Prepared for:  
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E-mail:  
michaelpimentel@gmail.com

REVISION SCHEDULE

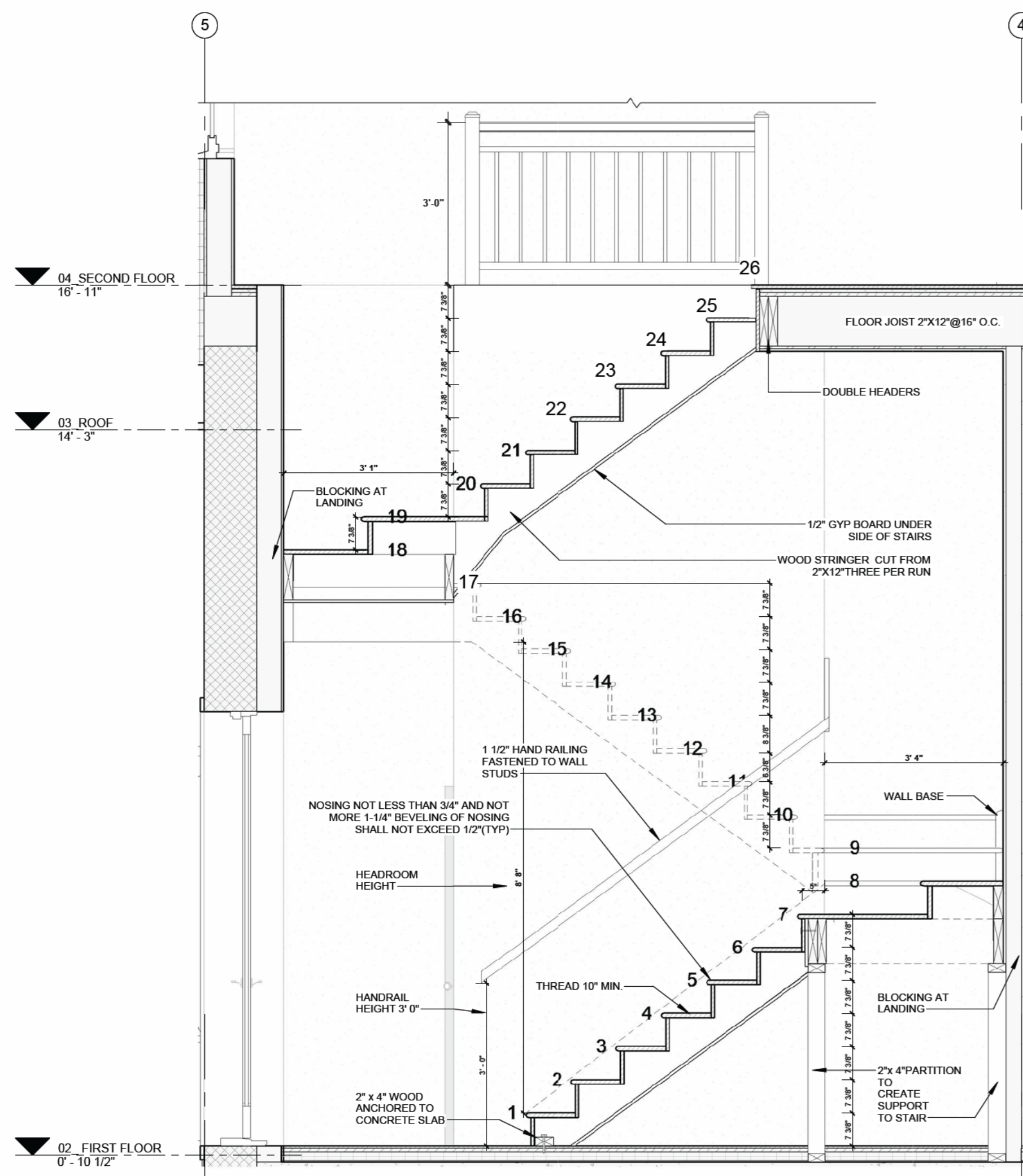
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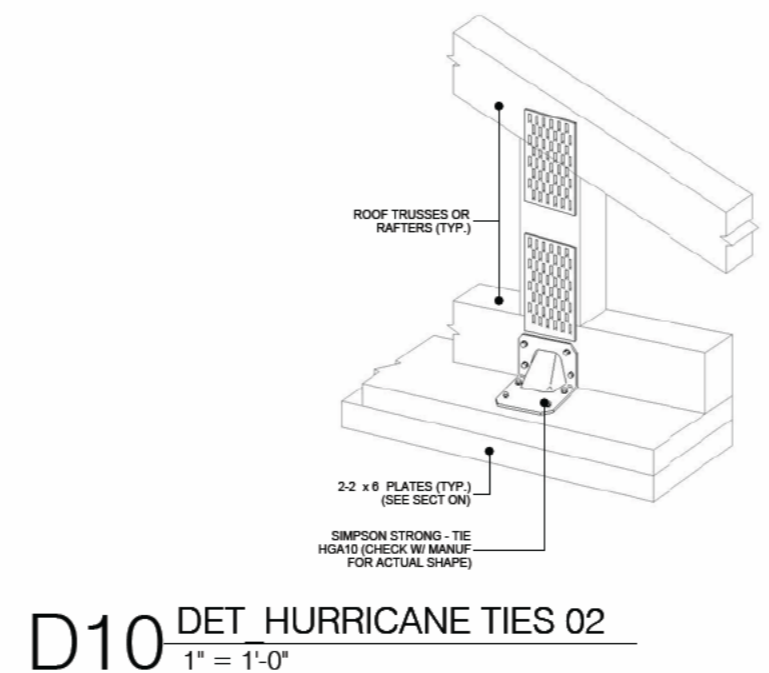
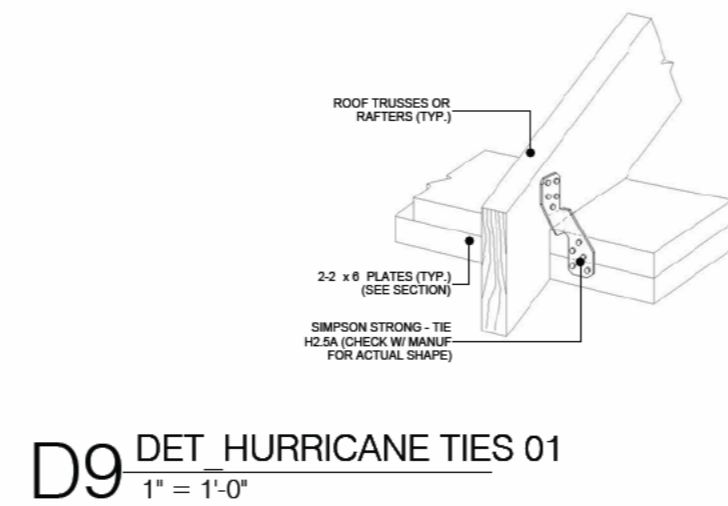
ACME ARCHITECTS LLC  
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Little Compton RI 02837  
401 465 5247  
mark@markrapparchitect.com  
4/16/26

WINDOWS/DOORS SCHEDULE & ASSEMBLIES

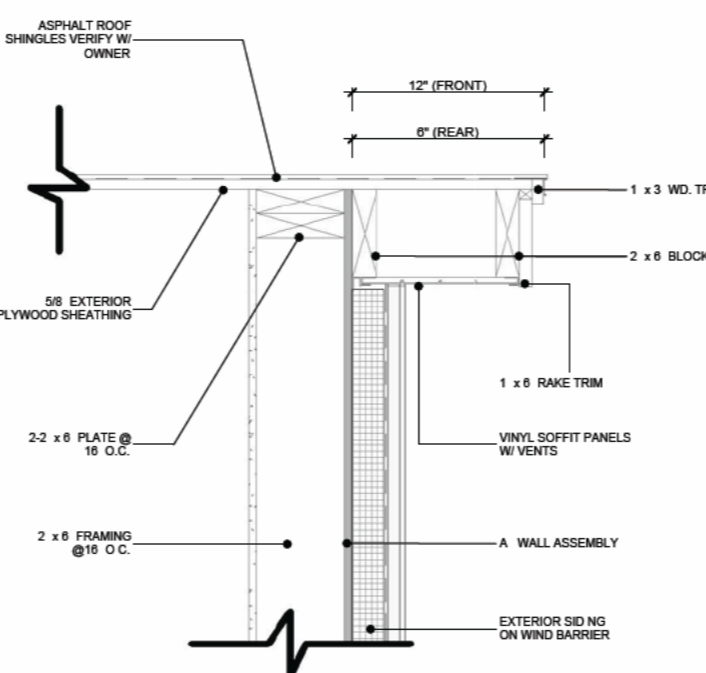
A106



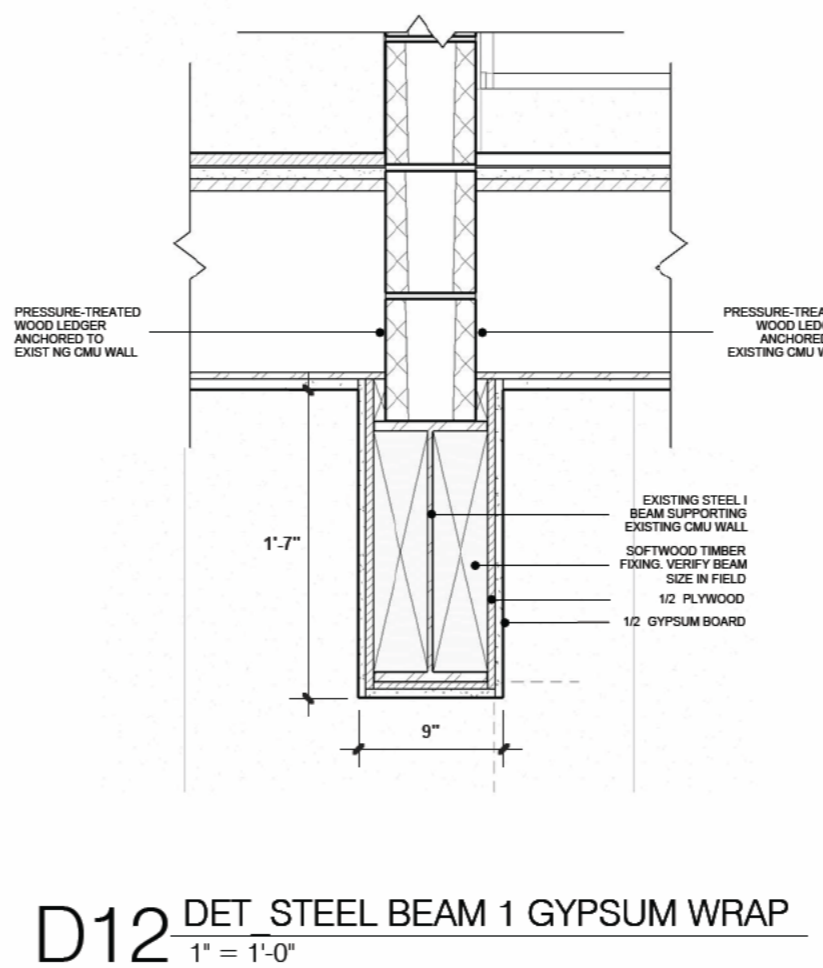
D5 DETAIL - STAIRS SECTION  
1/2" = 1'-0"



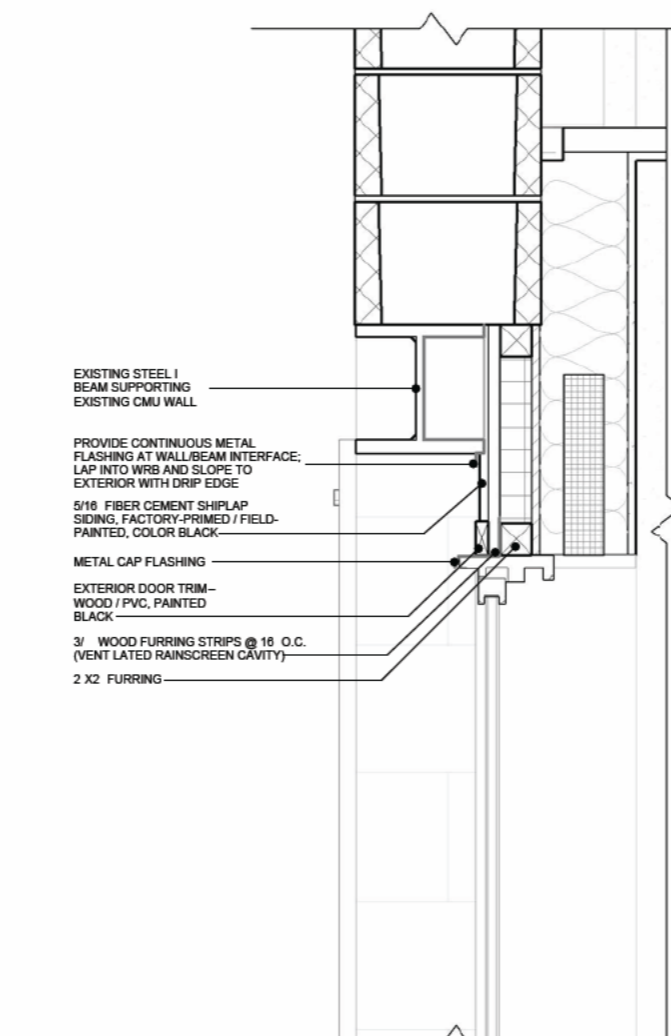
D10 DET HURRICANE TIES 02  
1" = 1'-0"



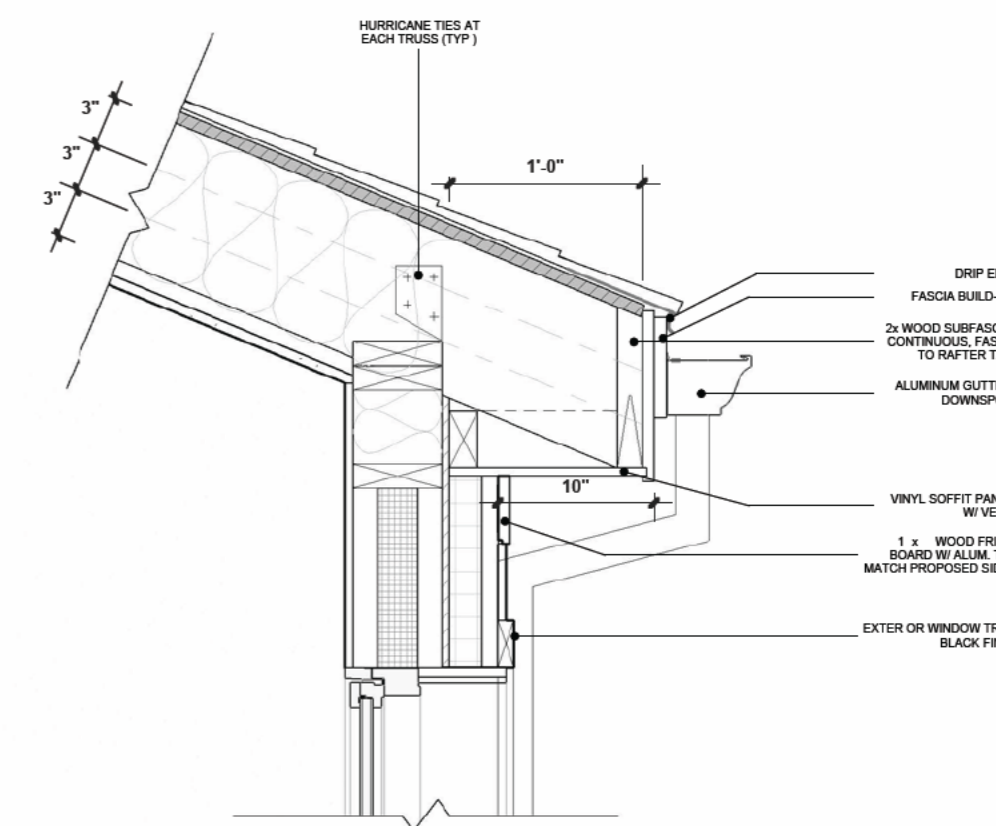
D11 DETAIL RAKE TYP  
1" = 1'-0"



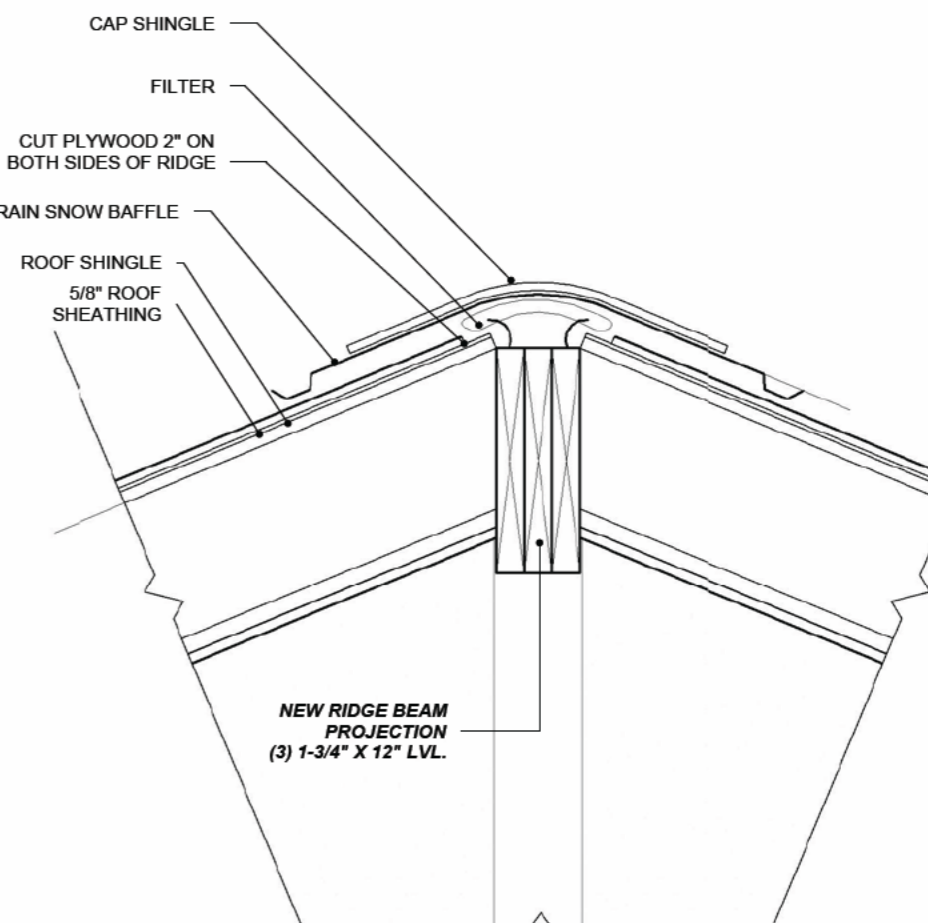
D12 DET STEEL BEAM 1 GYPSUM WRAP  
1" = 1'-0"



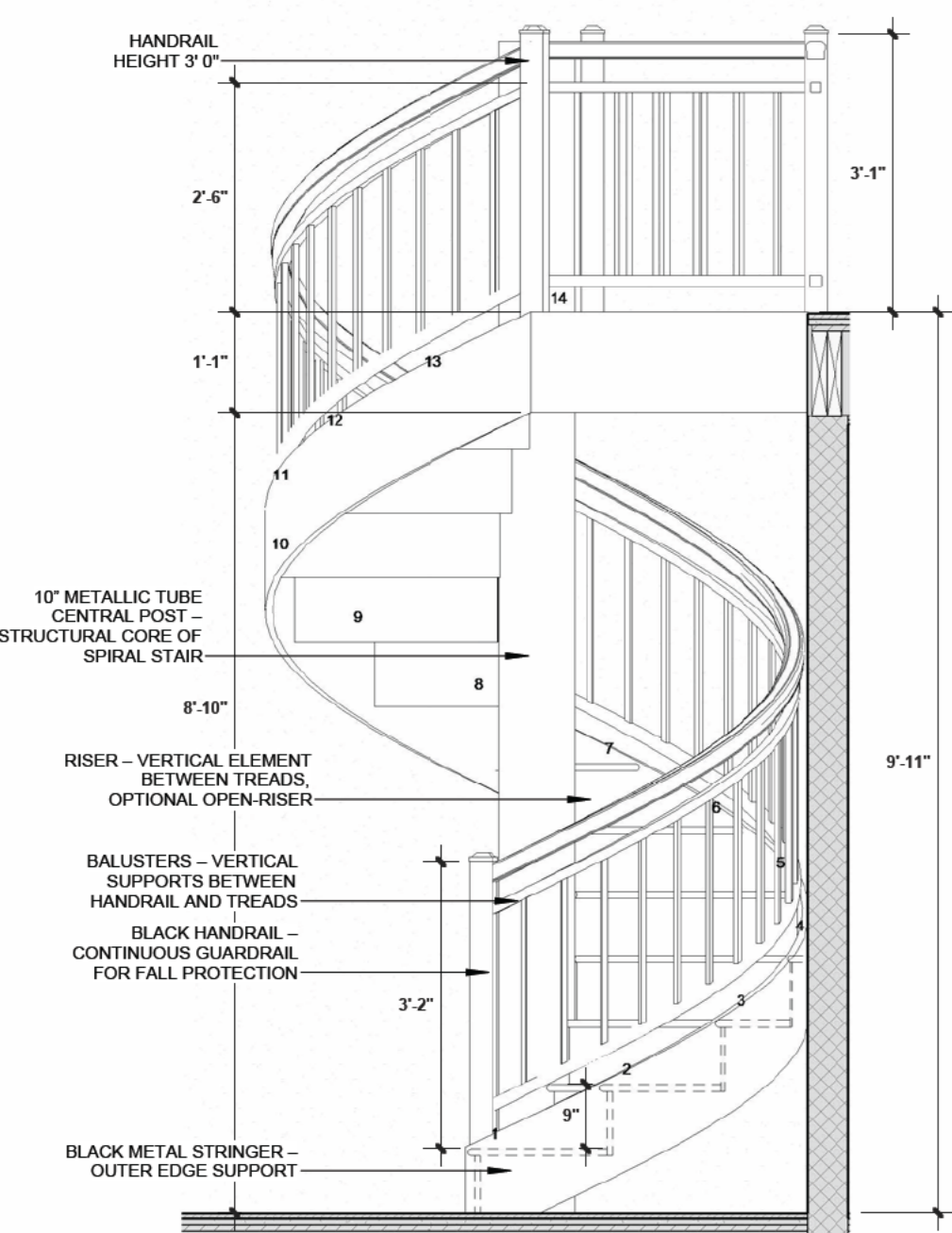
D13 DET STEEL BEAM 2 ENTRANCE  
1" = 1'-0"



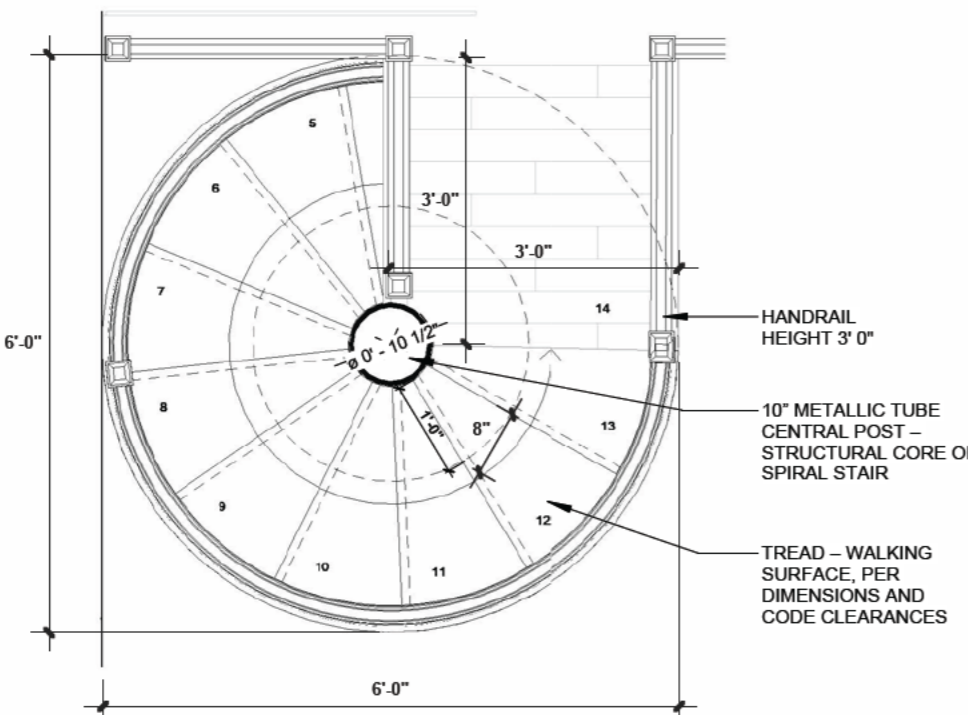
D14 DET EAVES  
1" = 1'-0"



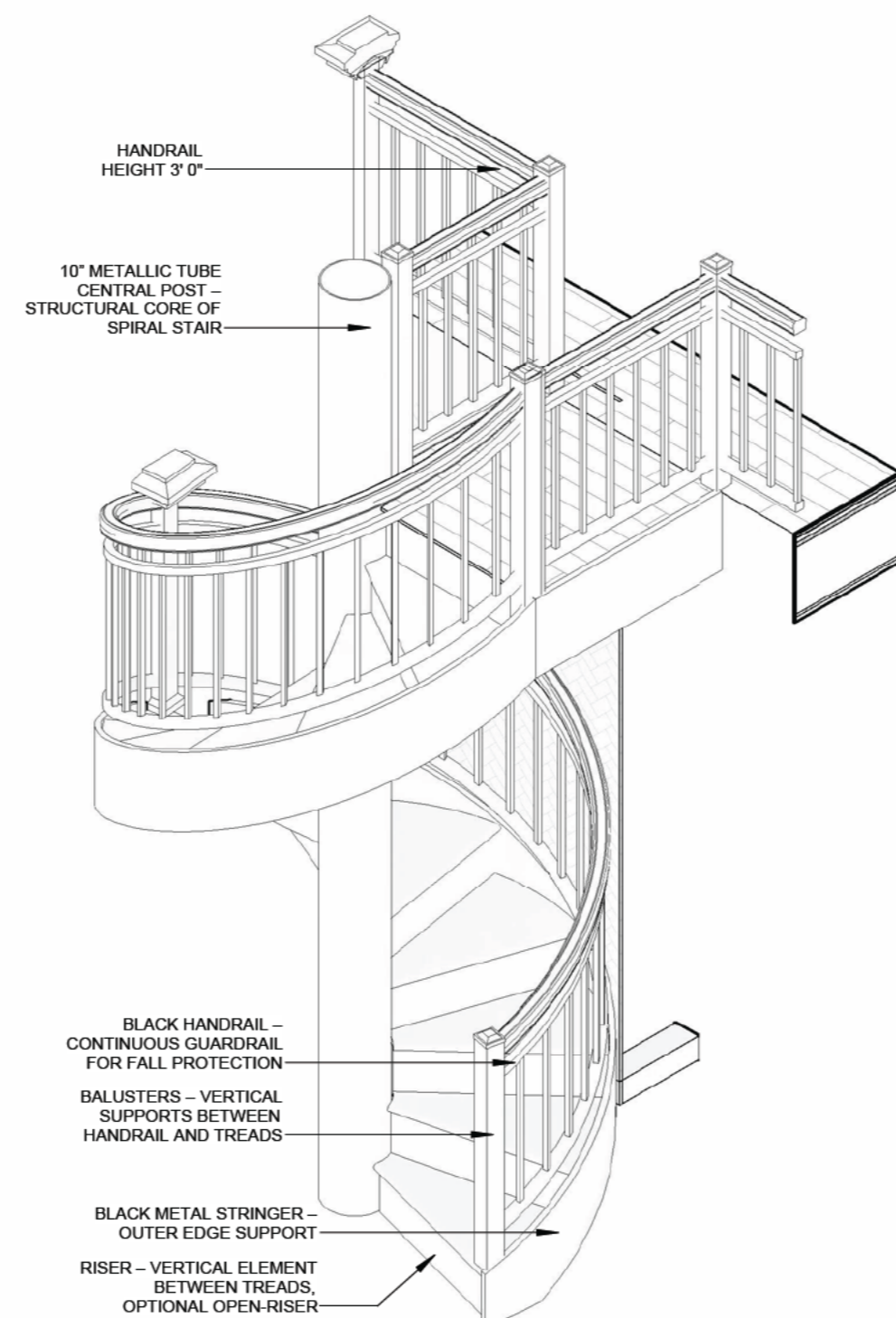
D15 DET RIDGE VENT  
1" = 1'-0"



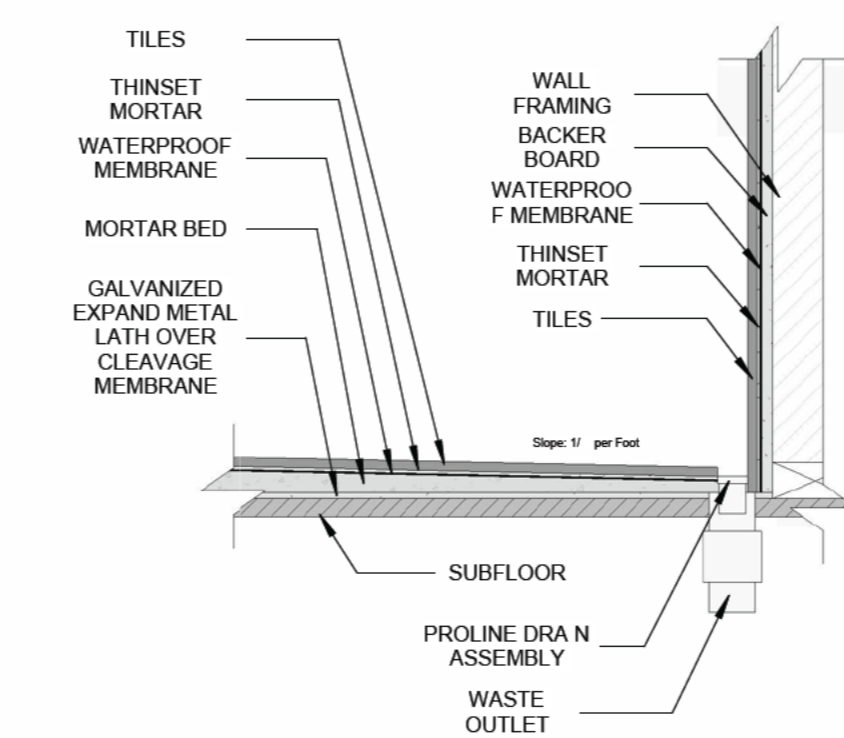
D6 DETAIL - SPIRAL STAIRCASE SECTION  
1/2" = 1'-0"



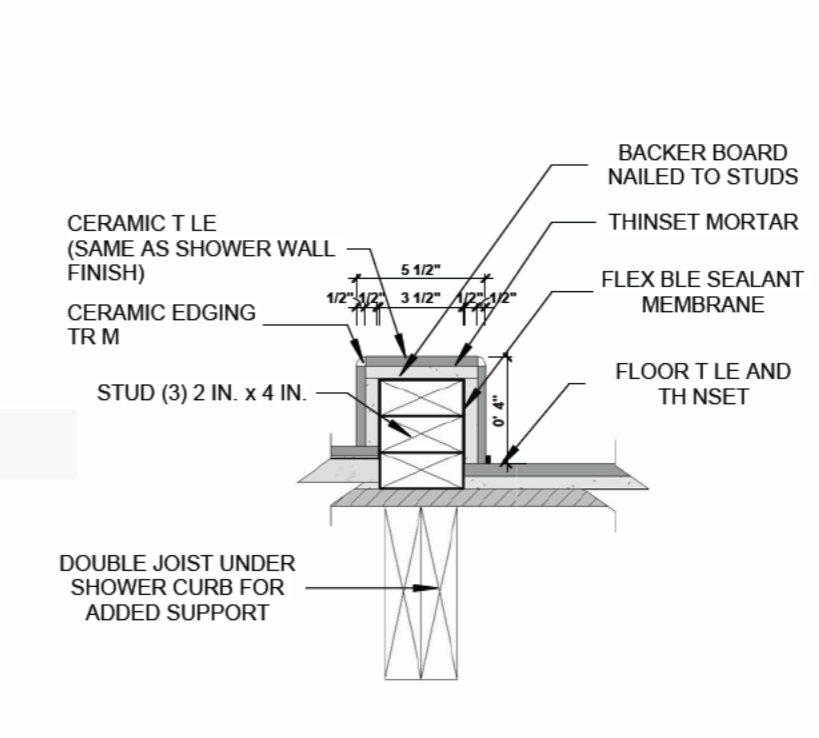
D7 DETAIL - SPIRAL STAIRCASE PLAN  
1/2" = 1'-0"



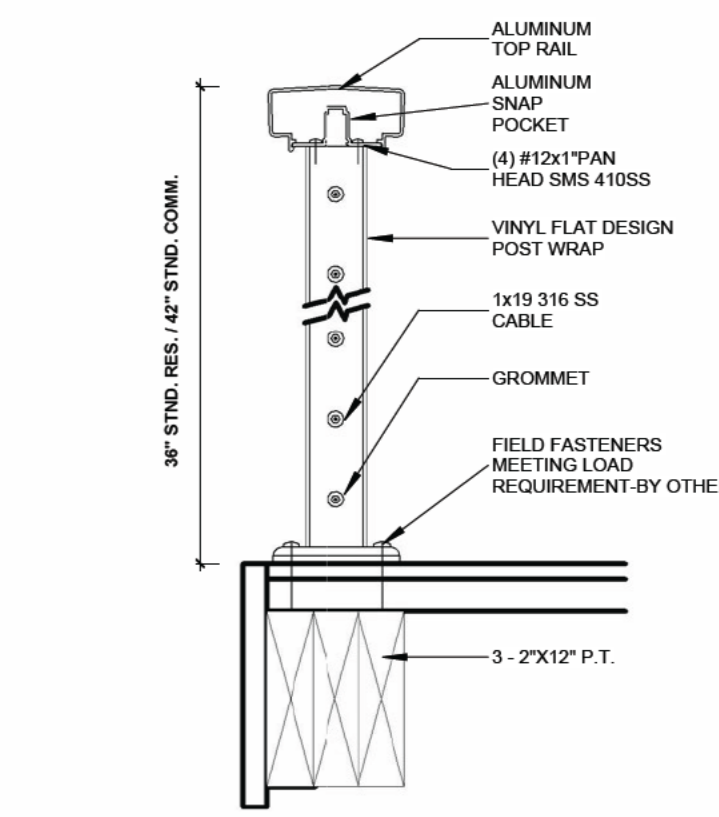
D8 CIRCULAR STAIRS  
1/2" = 1'-0"



D16 DETAIL FLOOR DRAIN  
1 1/2" = 1'-0"



D17 DETAIL SHOWER CURB  
1 1/2" = 1'-0"



D18 RAILING INSTALLATION DETAIL  
1 1/2" = 1'-0"

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MICHIE DESIGN & BUILD  
PERUNOVO LLC  
GC - 44956  
145 WESTMINSTER ST  
4TH FLOOR,  
PROVIDENCE RI 02903

Team:  
Architectural Designer:  
BRYAN B. MICHIE (401) 470-0392  
Drawn by:  
JM

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DE SOTO RESIDENCES

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PLAT: 033 - LOT: 660



Prepared for:  
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Address:  
E-mail:  
michaelpimentel@gmail.com

REVISION SCHEDULE

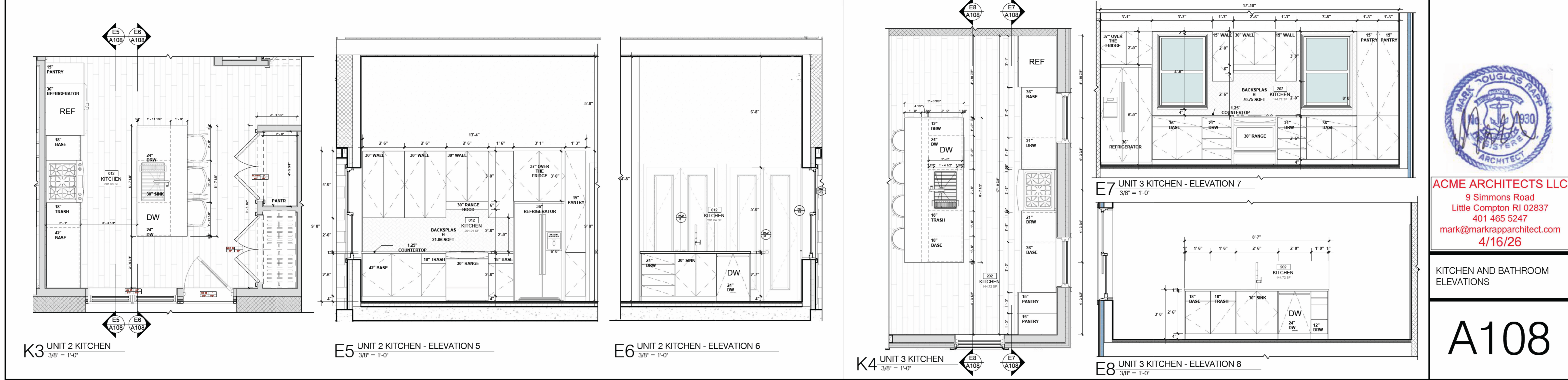
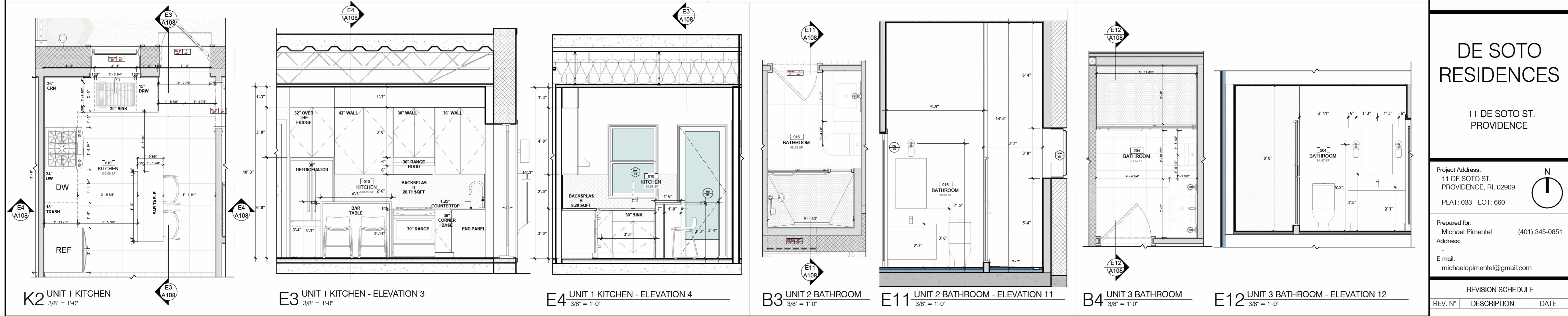
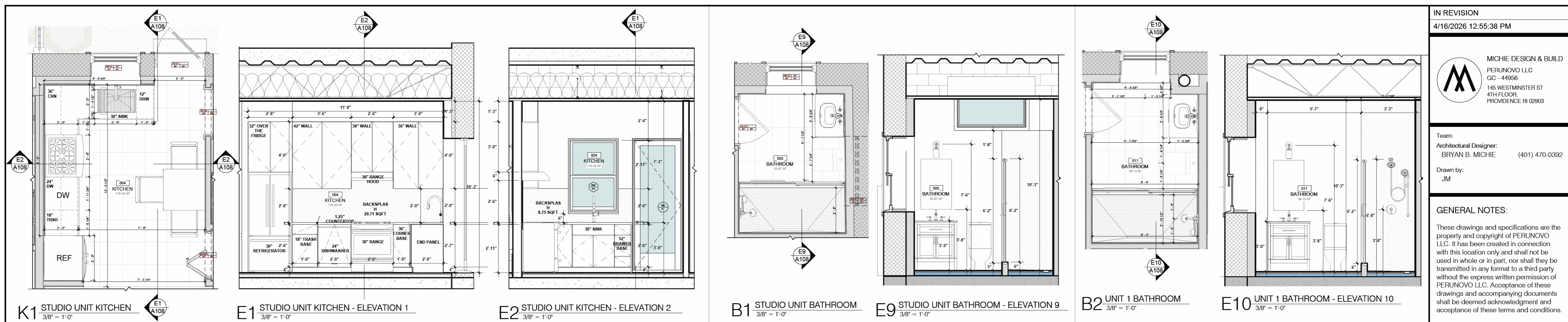
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401 465 5247  
mark@markrapparchitect.com  
4/16/26

DETAILS

A107



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**MICHELIE DESIGN & BUILD**  
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GC - 44956  
145 WESTMINSTER ST  
4TH FLOOR,  
PROVIDENCE RI 02903

Team:  
Architectural Designer:  
BRYAN B. MICHELIE (401) 470-0392

Drawn by:  
JM

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**DE SOTO RESIDENCES**

11 DE SOTO ST.  
PROVIDENCE

Project Address:  
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PLAT: 033 - LOT: 660

Prepared for:  
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REVISION SCHEDULE

REV. N°	DESCRIPTION	DATE

**MARK VOUGLAS RAPP ARCHITECTS**

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401 465 5247  
mark@markrapparchitect.com  
4/16/26

KITCHEN AND BATHROOM ELEVATIONS

**A108**

**CODE REQUIREMENTS:**

THREE FAMILY BUILDING

USE GROUPS:  
R-2.3 FAMILY + ADU  
SEPARATION: R-2 - ONE HOUR

OCCUPANT LOAD ACCORDING TO THE RI STATE BUILDING CODE 2021

FOR RESIDENTIAL (R-2) 1/200 GSF  
3,426 GSF / 200 = 18 OCCUPANTS

EGRESS: TABLE 1006.3.3(1) - ONE REQUIRED, TWO PROVIDED FOR EACH UNIT

TRAVEL DISTANCE: 200' ALLOWED, 88' 0" PROVIDED

TRAVEL DISTANCE UNIT:  
STAIR 0.3"/OCC \* 18 OCC = 5.4" (36" MIN. CLEAR 1009.4.1) - 42" PROVIDED  
DOORS 0.2"/OCC \* 18 OCC = 3.6" (32" MIN. CLEAR 1008.1.1) - 36" PROVIDED  
CORRIDORS 0.2"/OCC \* 18 OCC = 3.6" (36" MIN. CLEAR 1009.4.1) 42" PROVIDED

FINISHES: TABLE 803.3 - CLASS "C"

FIRE ALARM: LOCAL ALARM AND NOTIFICATION WITH CO DETECTORS

EXIT TRAVEL DISTANCE ACCORDING RI NFPA 101

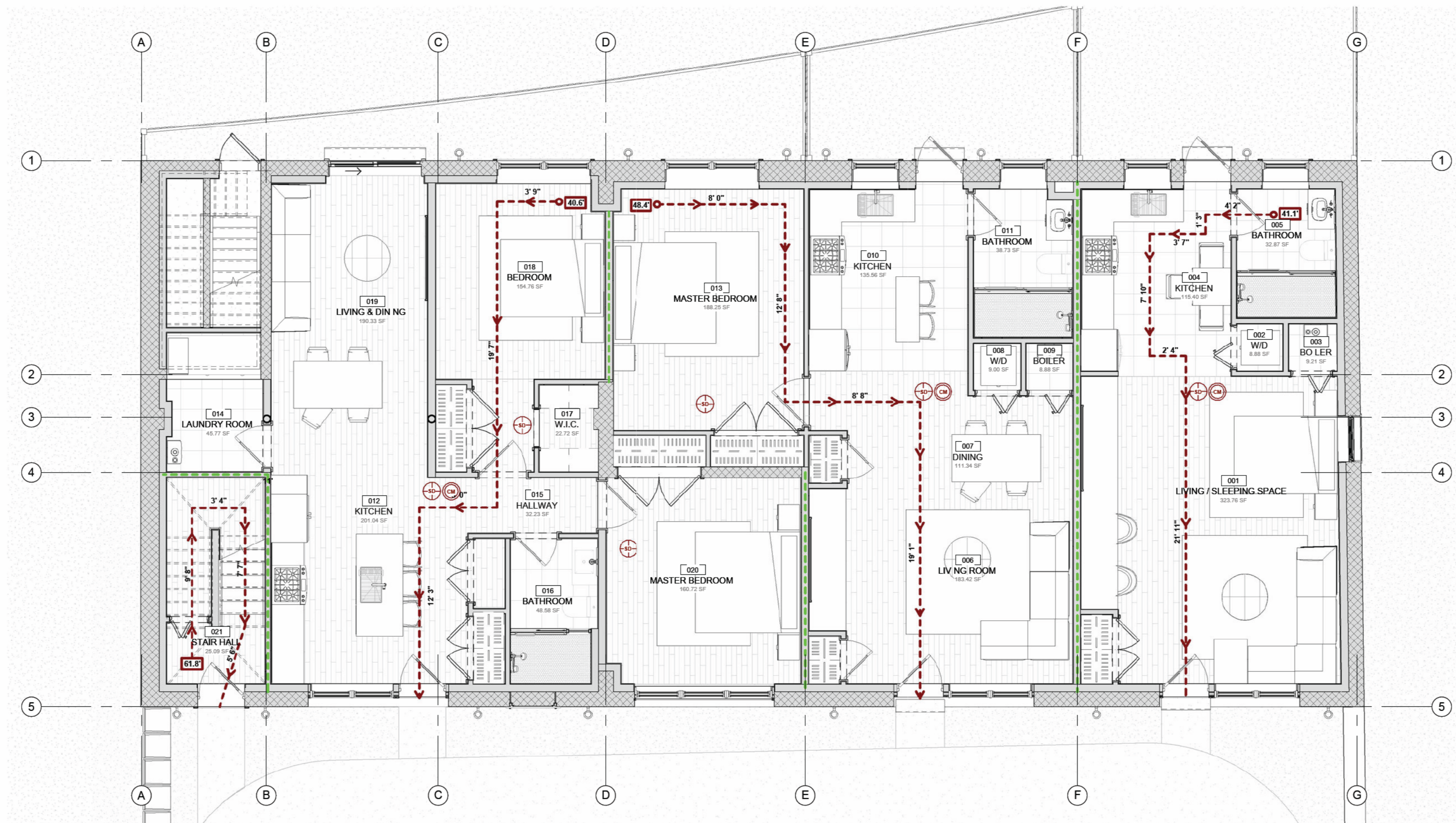
FOR AN R-2 OCCUPANCY TYPE, THE EXIT TRAVEL DISTANCE UNSPRINKLERED SYSTEM SHOULD NOT EXCEED 200 FEET.

---> EXIT ACCESS TRAVEL DISTANCE

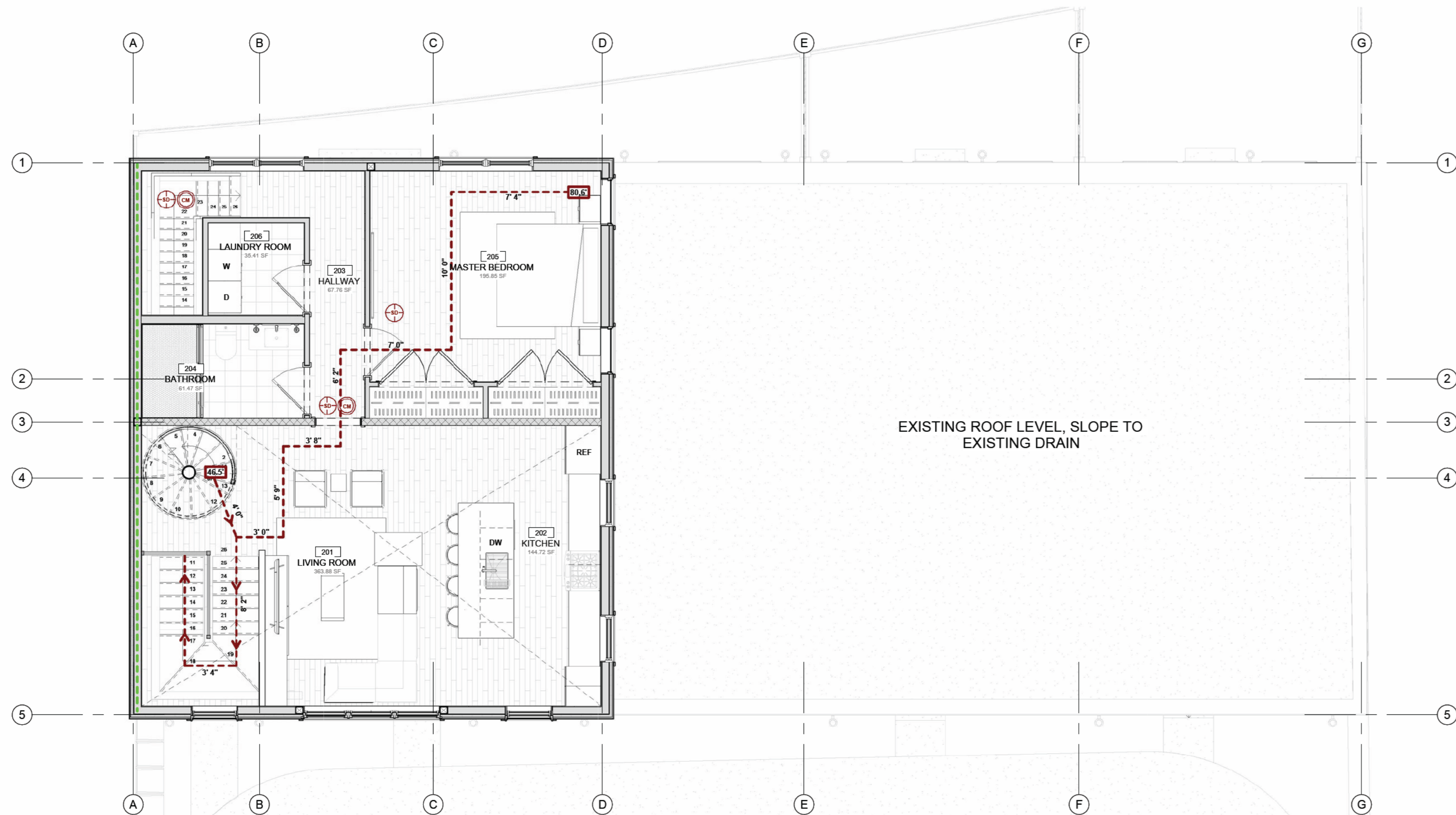
○ START OF TRAVEL PATH

99' DISTANCE (IN FEET) TO EXIT

--- ONE-HOUR FIRE RATED PARTITION

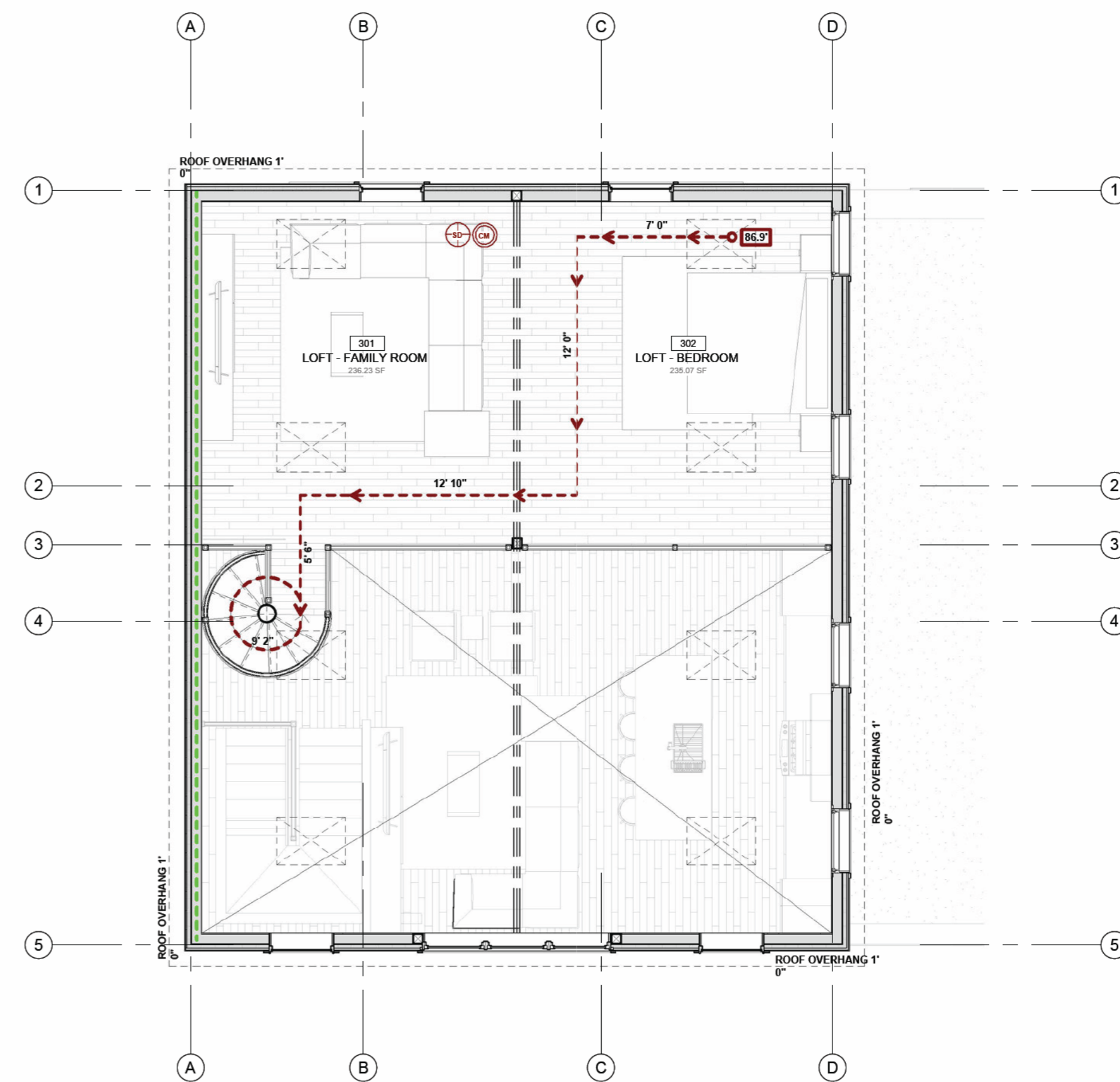


1 01 FIRST LEVEL - SAFETY EGRESS  
3/16" = 1'-0"



2 03 SECOND LEVEL - SAFETY EGRESS  
3/16" = 1'-0"

EXISTING ROOF LEVEL, SLOPE TO EXISTING DRAIN



3 04 LOFT LEVEL - SAFETY EGRESS  
3/16" = 1'-0"

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4/16/2026 12:55:43 PM



MICHIE DESIGN & BUILD  
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4TH FLOOR  
PROVIDENCE RI 02903

Team:  
Architectural Designer:  
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Drawn by:  
JM

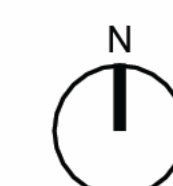
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PLAT: 033 - LOT: 660



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**REVISION SCHEDULE**

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401 465 5247  
mark@markrapparchitect.com  
4/16/26

SAFETY EGRESS

LS101



De Soto St. Right  
Side View



De Soto St. Left  
Side View

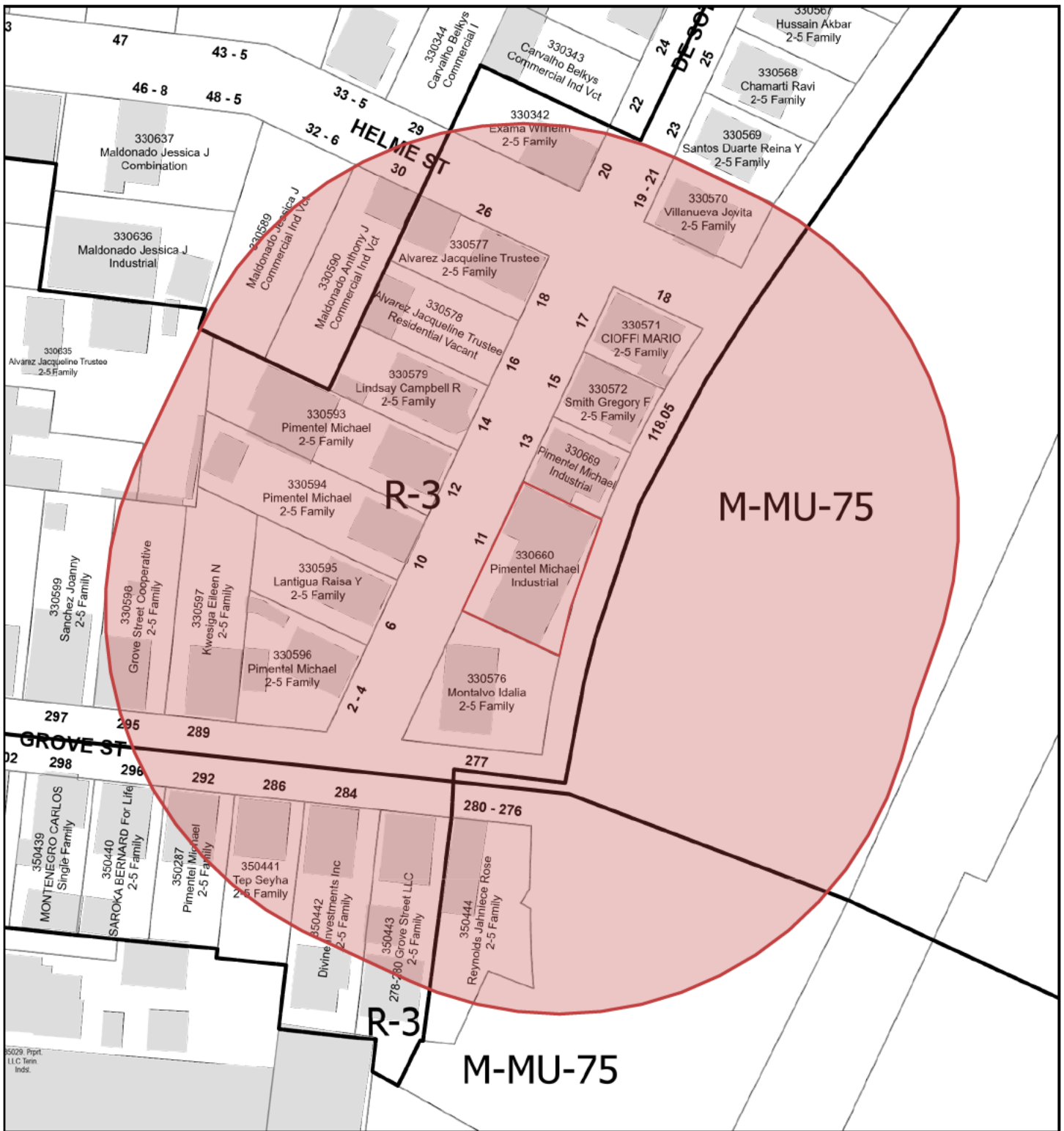


Harris Ave. Right  
Side View



Harris Ave. Left  
Side View

# Radius Map



4/15/2026, 3:14:12 PM

1:1,267

- Override 1
- Zoning
- Override 1
- Parcels
- Plat Boundaries
- Buildings

