

DEC 22 2021

CITY OF PROVIDENCE
ZONING BOARD OF REVIEW

APPLICATION FOR VARIANCE OR SPECIAL USE PERMIT

Check Each Type Zoning Relief Sought:

<input type="checkbox"/>
<input checked="" type="checkbox"/>
<input type="checkbox"/>

Variance – Use *
Variance – Dimensional*
Special Use Permit **

* Attach Appendix A to apply for a Use or Dimensional Variances

** Attach Appendix B to apply for a Special Use Permit

Applicant: WBNA

E-mail kari@wbna.org
Phone 401-831-9344
Home/Office

Address 1560 Westminster St., Providence
Zip Code 02909

Mobile (Cell) _____

Owner: WBNA

E-mail kari@wbna.org
Phone 401-831-9344
Home/Office

Address 1560 Westminster St
Zip Code 02909

Mobile (Cell) _____

Lessee: _____

E-mail _____
Phone: _____
Home/Office

Address _____
Zip Code _____

Mobile (Cell) _____

Does the proposal require review by any of the following (check each):

- Downtown Design Review Committee
- I-195 Redevelopment District Commission
- Capital Center Commission
- Historic District Commission

1. **Location of Property:** 1192 Westminster Street
Street Address

2. **Zoning District(s):** C2
Special purpose or overlay district(s): Armory Historic District

3a. **Date owner purchased the Property:** January 23, 2002

3b. **Month/year of lessee's occupancy:** N/A

3. Dimensions of each lot:

Lot # <u>314</u>	Frontage <u>47'</u>	depth <u>103'</u>	Total area <u>5395</u> sq. ft.
Lot # _____	Frontage _____	depth _____	Total area _____ sq. ft.
Lot # _____	Frontage _____	depth _____	Total area _____ sq. ft.

4. Size of each structure located on the Property:

Principal Structure:	Total gross square footage	<u>6870</u>
Footprint <u>1694</u>	Height <u>36'</u>	Floors <u>2</u>

Accessory Structure:	Total gross square footage	_____
Footprint <u>480</u>	Height <u>12' (est)</u>	Floors <u>1</u>

5. Size of proposed structure(s):	Total gross square footage:	<u>0</u>
Footprint <u>0</u>	Height <u>0</u>	Floors <u>0</u>

6a. Existing Lot coverage: (include all buildings, decks, etc.) 40%

6b. Proposed Lot coverage: (include new construction) 40%

7a. Present Use of Property (each lot/structure):
Mixed-use Affordable Buesiness and Residential space

7b. Legal Use of Property (each lot/structure) as recorded in Dept. of Inspection & Standards:

8. Proposed Use of Property (each lot/structure):
Garage to be converted to one-bedroom apartment, main building to remain as-is.

9. Number of Current Parking Spaces: 4

10. Describe the proposed construction or alterations (each lot/structure):
Garage to be converted to one-bedroom apartment.

11. Are there outstanding violations concerning the Property under any of the following:

- Zoning Ordinance
- RI State Building Code
- Providence Housing Code

12. List all Sections of the Zoning Ordinance from which relief is sought and description of each section:

<u>Table 5-1</u>	<u>Commercial District Dimensional Standards</u>
_____	<u>-Interior Side setback - 10 feet of relief required</u>
_____	<u>-Rear Setback - 20 feet of relief required</u>

13. Explain the changes proposed for the Property.

Convert garage to one-bedroom apartment

The undersigned acknowledge(s) and agree(s) that members of the Zoning Board of Review and its staff may enter upon the exterior of the Property in order to view the Property prior to any hearing on the application.

The undersigned further acknowledge(s) that the statements herein and in any attachments or appendices are true and accurate, and that providing a false statement in this application may be subject to criminal and/or civil penalties as provided by law, including prosecution under the State and Municipal False Claims Acts. Owner(s)/Applicant(s) are jointly responsible with their attorneys for any false statements.

Owner(s):

[Handwritten Signature]

Type Name

Siobhan Callahan

Signature

Type Name

Signature

Applicant(s):

Siobhan Callahan

Type Name

[Handwritten Signature]

Signature

Type Name

Signature

All requirements listed and described in the Instruction Sheet must be met or this application will not be considered complete.

APPENDIX A

APPLICATION FOR VARIANCE(S)

Rhode Island General Laws § 45-24-41(c) requires that the Applicant for a variance demonstrate:

- (1) That the hardship from which the applicant seeks relief is due to the unique characteristics of the subject land or structure and not to the general characteristics of the surrounding area; and is not due to a physical or economic disability of the applicant, excepting those physical disabilities addressed in § 45-24-30(16);
- (2) That the hardship is not the result of any prior action of the applicant and does not result primarily from the desire of the applicant to realize greater financial gain;
- (3) That the granting of the requested variance will not alter the general character of the surrounding area or impair the intent or purpose of the zoning ordinance or the comprehensive plan upon which the ordinance is based;
- (4) That the relief to be granted is the least relief necessary; and
- (5) (a) For a **use variance**: That the land or structure cannot yield any beneficial use if it is required to conform to the provisions of the zoning ordinance;
(b) For a **dimensional variance**, that the hardship suffered by the owner of the subject property if the dimensional variance is not granted amounts to more than a mere inconvenience.

Please provide the following information:

1. What is the specific hardship from which the applicant seeks relief?

The existing accessory structure does not meet the Rear or Side Setback minimums. Converting the structure to a principal use requires us to use the existing structure as-is.

2. Specify any and all unique characteristics of the land or structure that cause the hardship?

The unique placement of the structure to the lot setbacks cause us to not meet minimum setback requirements.

3. (a) Is the hardship caused by an economic disability? Yes No

(b) Is the hardship caused by a physical disability? Yes No

(c) If the response to subsection (b) is "yes," is the physical disability covered by the Americans with Disabilities Act of 1990 (ADA), 42 U.S.C. § 12101 et seq.?

Yes No

4. Did the owner/applicant take any prior action with respect to the Property that resulted in the need for the variance requested? (Examples include, but are not limited to, any changes the owner/applicant made to the structure(s), lot lines, or land, or changes in use of the Property)?

Yes No

If "yes," describe any and all such prior action(s), and state the month/year taken.

5. State any and all facts to support your position that the applicant is not seeking the variance(s) primarily in order to obtain greater financial gain.

Rather, primarily to provide an additional dwelling unit to address the increased demand for housing in the city. The WBNA is a charitable organization. This property would serve to diversify the housing supply on the street, and contribute an additional residential unit to the city's housing stock.

6. State any and all facts that support your position that you are seeking the least relief necessary to lessen or eliminate the hardship (for example, why there are no viable alternatives to your proposed plan).

Building plan complies with all of the dimensional regulations - lot coverage, Maximum Impervious Surface Coverage, landscaping. We seek a small amount of dimensional relief from the Rear and Interior Side Setback Requirements of Zoning Ordinance Table 5-1

7. If you are seeking a USE VARIANCE, set forth all facts that demonstrate that the Property cannot have any beneficial use if you are required to use it in a manner allowed in the zoning district.

8. If you are seeking a DIMENSIONAL VARIANCE, set forth all facts that indicate that if the variance is not granted, the hardship the owner/applicant will suffer is more than a mere inconvenience.

If denied, the owner would suffer a hardship beyond a mere inconvenience as the highest and best use as a Single-family Dwelling in the C-2 Zone would not be realized, and an additional housing unit would not be developed and made available to help alleviate the current high demand for housing in this neighborhood

ADU GARAGE TO APARTMENT DEMONSTRATION PROJECT

1192 WESTMINSTER STREET
PROVIDENCE, RI 02909

PROJECT DESCRIPTION:

CONVERT GARAGE INTO
FULLY-ACCESSIBLE 1-BEDROOM
RESIDENTIAL UNIT IN HISTORIC
DISTRICT. FULL KITCHEN & BATHROOM.
NEW MECHANICAL, ELECTRICAL &
PLUMBING. NEW WINDOWS & ENTRY
DOOR. SITE MODIFICATIONS FOR
ACCESSIBLE PARKING AND ROUTE TO
UNIT. RAISED PLANTING BEDS.

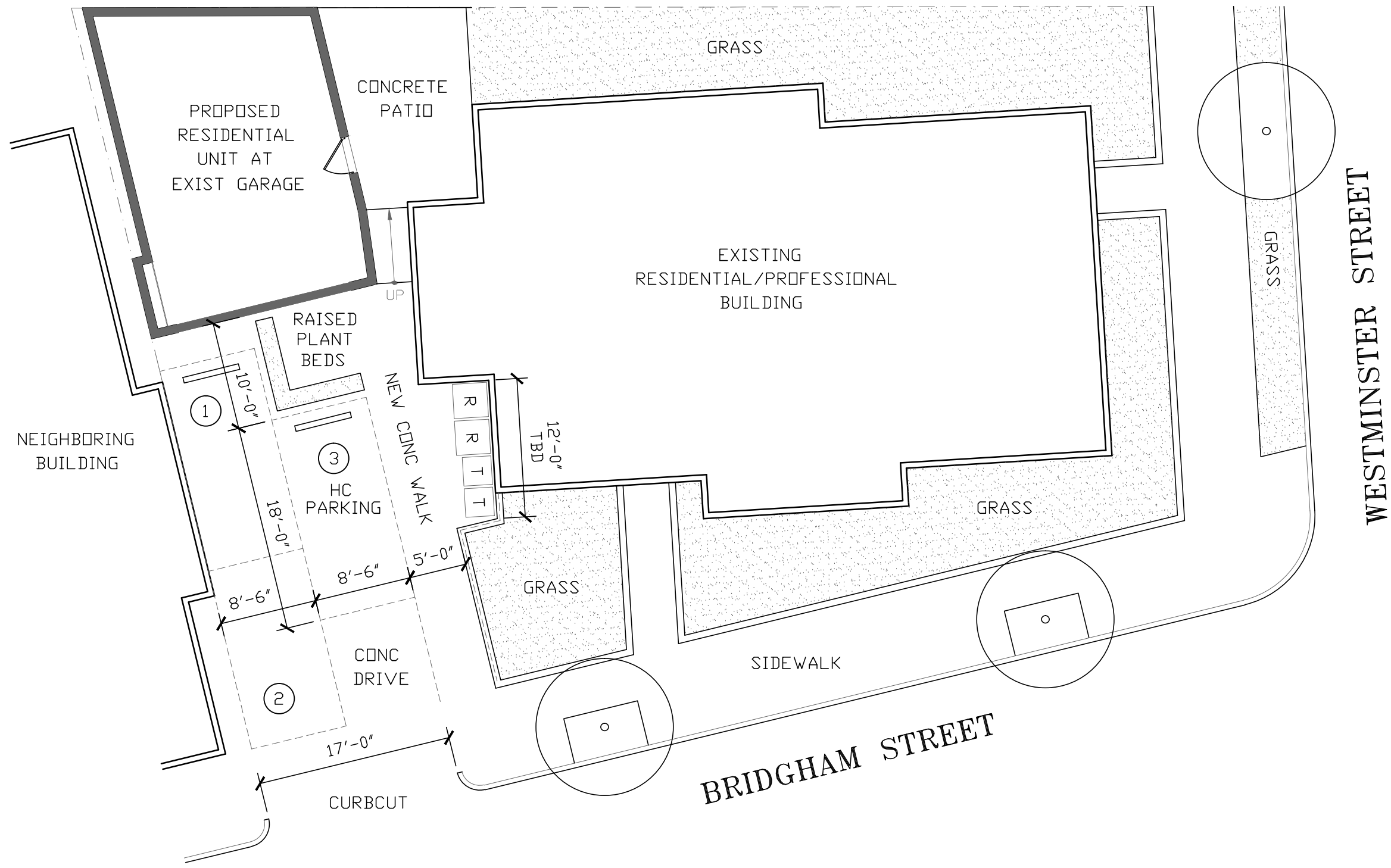
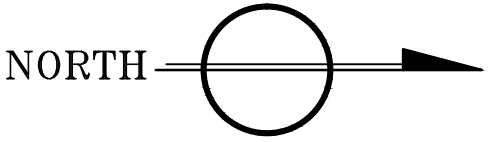
BUILDING DESCRIPTION:

1 STORY TWO-BAY BRICK GARAGE.
C-2; TYPE III CONSTRUCTION
PLAT 32; LOT 314

ISSUED FOR PRICING & PERMIT
NOVEMBER 12, 2021



Monika P. Kraemer
Architect
401.241.5576
12 Almy Street
Providence, RI 02909



FOR: RENOVATION

PROJECT:
1192 HC GARAGE UNIT
1192 WESTMINSTER
PROVIDENCE, RI 02909

DRAWING TITLE:
SITE PLAN

REV:

DATE:
11/12/2021

SCALE:
1:10

SP

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 401.241.5576
 12 Almy Street
 Providence, RI 02909



GENERAL NOTES

ALL WORK & MATERIALS SHALL CONFORM TO THE MOST CURRENT REQUIREMENTS OF THE RHODE ISLAND STANDARD BUILDING CODE, THE LATEST PLUMBING & ELECTRICAL CODES, AND THE LATEST EDITION OF ALL OTHER APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND ORDINANCES.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DETAIL DIMENSIONS TAKE PRECEDENCE OVER PLAN DIMENSIONS. ANY INCONSISTENCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY FOR CLARIFICATION.

EXAMINATIONS OF THE SITE AND PORTIONS THEREOF WHICH WILL AFFECT THE CONTRACTOR'S WORK SHALL BE MADE BY THE CONTRACTOR, WHO SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY HIMSELF OR HERSELF AS TO THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. ANY CONFLICTS OR EXCLUSIONS, ETC., SHALL BE REPORTED TO THE ARCHITECT PRIOR TO PRICING AND CONSTRUCTION.

WORK WHICH IS REQUIRED TO BE PERFORMED TO PROVIDE A COMPLETELY OPERABLE INSTALLATION WITHIN THE SCOPE OF WORK, BUT WHICH IS NOT SPECIFICALLY INCLUDED IN THE CONTRACT DOCUMENTS, SHALL BE PERFORMED AS PART OF THE CONTRACT AND INCLUDED IN THE PRICE.

GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD MEASURING OF EXISTING CONDITIONS PRIOR TO START OF WORK AND DURING CONSTRUCTION, AS NECESSARY, TO ASSURE CONSTRUCTION ADHERENCE FOR THIS WORK.

THE CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS, & SCHEDULE OF CONSTRUCTION FOR ALL PARTS OF THIS PROJECT, INCLUDING ALL WORK BY SUBCONTRACTORS.

AT NO TIME DURING THE PROJECT SHALL SAFE AND NORMAL EGRESS FROM THE OCCUPIED BUILDING BE OBSTRUCTED OR REMOVED.

GENERAL DEMOLITION NOTES

CONTRACTOR TO DISPOSE OF ALL DEMOLISHED MATERIALS & DEBRIS PER LOCAL ORDINANCES. CONTRACTOR TO SUPPLY DUMPSTER AS NECESSARY- COORDINATE LOCATION W/ OWNER.

RETAIN ALL DEMO'D BRICKS FOR REUSE.

REMOVE CONC FLOOR INSIDE GARAGE.

GENERAL CONSTRUCTION NOTES

NEW WOOD (MAPLE) FLOOR AT LIVING SPACE & BEDROOM. (2) COATS POLYEURETHANE, TYP.

TILE FLOOR & WALLS AT BATHROOM.

MINISPLIT UNIT W/ (2) REGISTERS.

ALL NEW WALLS TO BE 5/8" GWB W/ PLASTER SKIM COAT U.O.N. SEE WALL TYPES.

NEW WALLS AND CEILINGS TO BE PRIMED AND PAINTED.

CONT'R TO OBTAIN & INSTALL SELECTED FIXTURES, APPLIANCES, BATH ACCESSORIES & TILES.

200 AMP ELECTRICAL PANEL.

PELLA, CLAD INSULATED WINDOWS.

VELUX SKYLIGHTS- CURB-MOUNTED.

FRESH AIR INTAKE SYSTEM.

PASSIVE RADON SYSTEM.

30 GALLON HOT WATER HEATER.

MINISPLIT HEAT/COOL UNITS.

DRAWING LIST:

COVER

SP SITE PLAN

A0.1 GENERAL NOTES; DRAWING LIST; SYMBOLS

A0.2 DOOR, WINDOW & HARDWARE SCHEDULES; DOOR TYPES; WALL TYPES

D1.0 DEMOLITION PLANS

A1.0 FOUNDATION, FRAMING & FOOTER PLAN; STRUCTURAL NOTES

A1.1 CONSTRUCTION PLAN; ROOF PLAN

A2.0 EXTERIOR ELEVATIONS

A4.0 ELECTRICAL PLAN; ELECTRICAL SYMBOLS, FIXTURE KEY

A5.0 WALL & FOUNDATION DETAIL

A5.1 WINDOW DETAILS

A6.0 KITCHEN & LIVING ROOM ELEVATIONS

A6.1 BEDROOM ELEVATIONS

A6.2 BATHROOM ELEVATIONS

SYMBOLS

---	DEMOLITION		INTERIOR ELEVATION SYMBOL
	NEW WALL CONSTRUCTION		WINDOW DESIGNATION
	DOOR DESIGNATION		SECTIONAL SYMBOL
XXX	ROOM LABEL		ELEVATION SYMBOL
	CENTERLINE		
	WALL TYPE		

FOR: NEW ADDITION & RENOVATION

PROJECT:

1192 HC GARAGE UNIT
1192 WESTMINSTER
PROVIDENCE, RI 02909

DRAWING TITLE:

GENERAL NOTES
DRAWING LIST
SYMBOLS

REV:

DATE:


11/12/2021

SCALE:

NONE

A0.1

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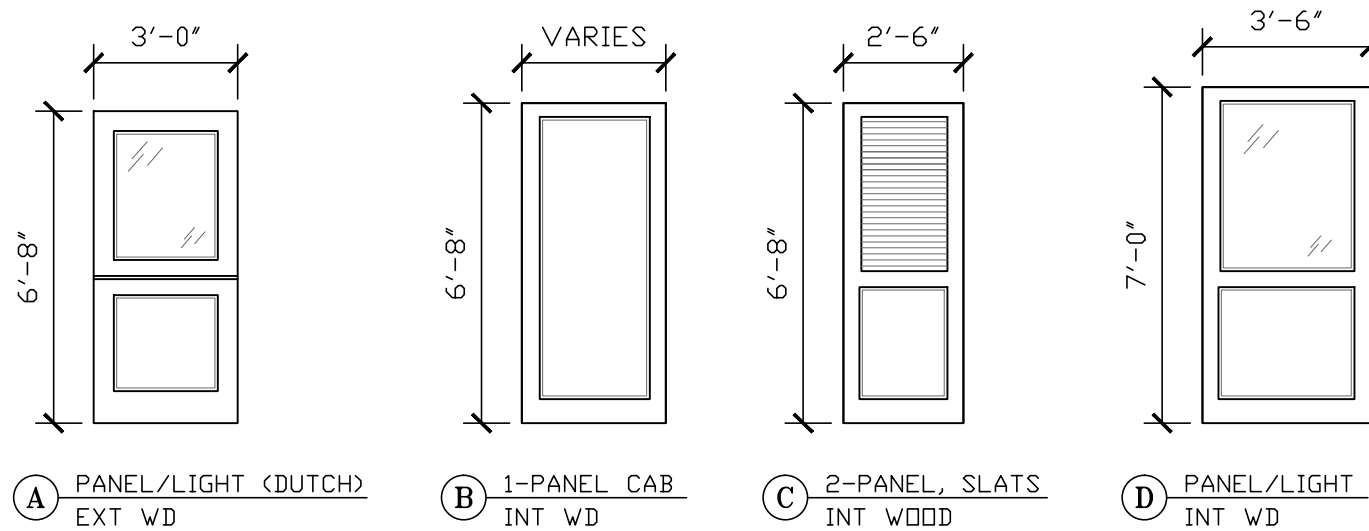
DOOR & HARDWARE SCHEDULE

DOOR NO.	LOCATION	TYPE	WIDTH	HEIGHT	FRAME TYPE	FRAME FINISH	DOOR FINISH	HARDWARE SCHEDULE				NOTES
								LS	H	T	M	
01	LIV RM/ENTRY	A	3'-0"	6'-8"	WD	PTD	PTD	1	6	8	14	
02	BATHROOM	B	3'-0"	6'-8"	----	----	PTD	----	----	9	10/15	
03	BEDROOM	C	3'-6"	7'-0"	----	----	PTD	3	----	----	10/11	
04	CLOSET 1	B	2'-6"	6'-8"	WD	PTD	PTD	----	5	----	12/13	
05	CLOSET 2	B	1'-8"	6'-8"	WD	PTD	PTD	----	5	----	12/13	
06	W/D CLOSET	D	2'-6"	6'-8"	WD	PTD	PTD	2	5	----	----	

HARDWARE KEY

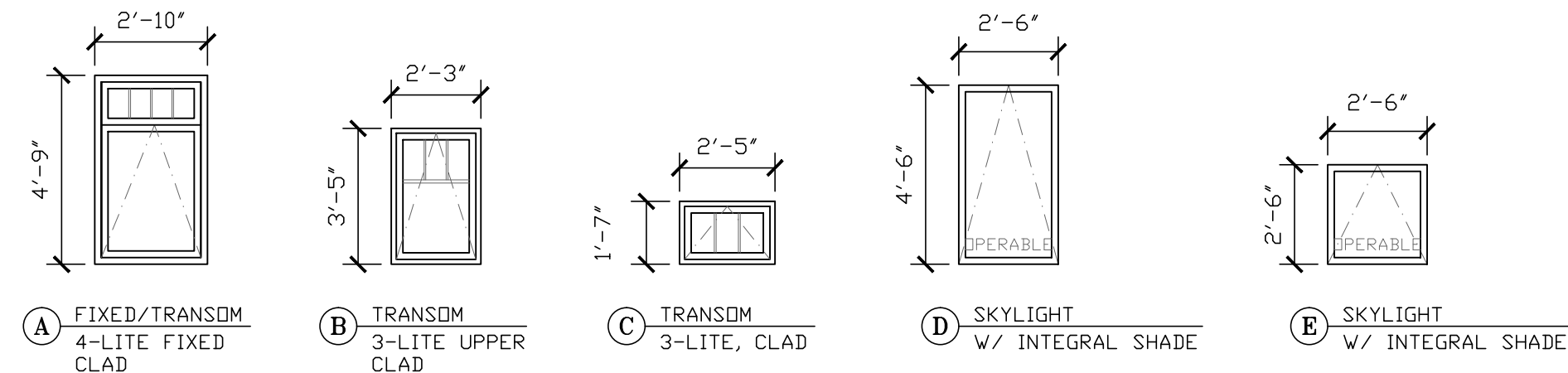
KEY	TYPE	MFG/ PART NO.	NOTES
LS- LOCK SET	1. ENTRY- LEVER	SCHLAGE OR APPROVED EQUAL	OWNER TO SELECT STYLE, FINISH
	2. PASSAGE- LEVER		
	3. PRIVACY- POCKET DOOR APPL.		
H- HINGES	5. MED-DUTY RES. INTERIOR		
	6. HEAVY-DUTY RES. EXTERIOR		
T- THRESHOLD	8. METAL		VERIFY WALL THICKNESS FOR THRESHOLD DEPTH
	9. MARBLE		
M- MISC.	10. BAR-STYLE HANDLE	IVES OR EQ.	OWNER TO SELECT STYLE, COLOR
	11. POCKET DOOR HDWR SYSTEM		
	12. CABINET PULL		
	13. ROLLER BALL CATCH		
	14. DOOR-MTD DOOR STOP		
15. BARN DOOR HDWR SYSTEM			

DOOR TYPES— ANDERSON OR AS APPROVED BY OWNER



WINDOW TYPES

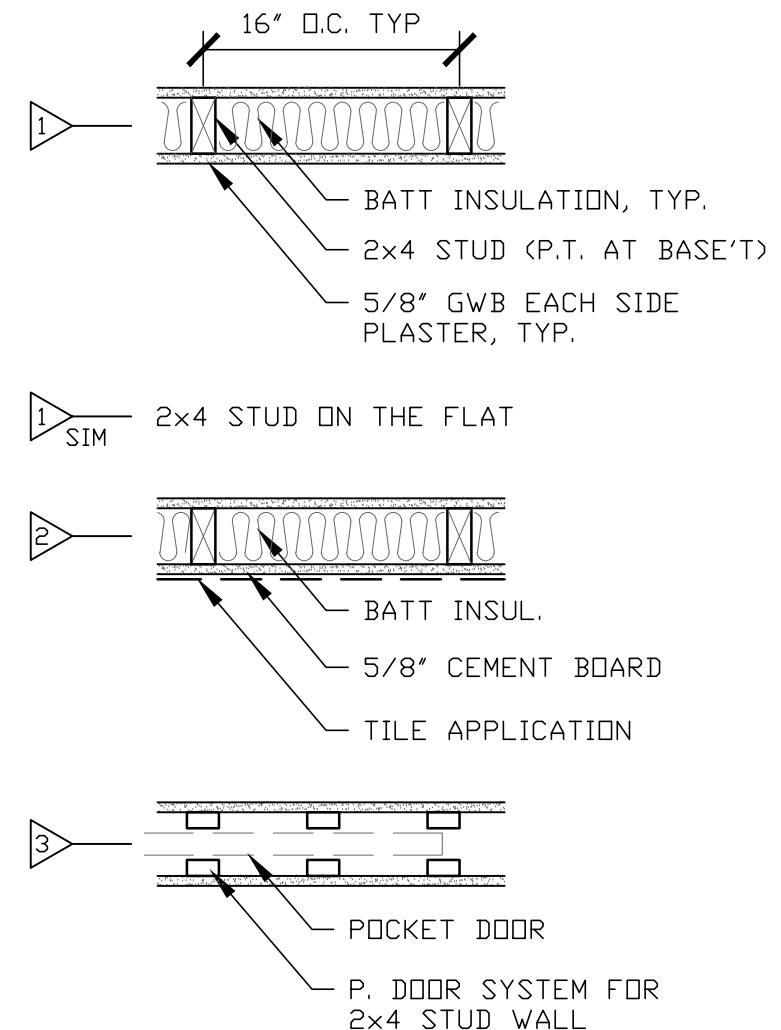
NEW WINDOWS TO BE PELLA, CLAD INSULATED



SKYLIGHTS:
VELUX ELECTRIC 'FRESH AIR' ALUM CLAD (BRONZE), CURB-MTD; LAMINATED GLASS
ELECTRIC-POWERED OPERABLE PANELS
MIN U-FACTOR: .55

NOTE:
PROVIDE ELECTRIC WINDOW OPENING HARDWARE WHERE NOTED.

WALL TYPES



HARDWARE FINISH: BRUSHED NICKEL OR AS SPECIFIED BY OWNER

FOR: RENOVATION

PROJECT:

1192 HC GARAGE UNIT
1192 WESTMINSTER
PROVIDENCE, RI 02909

DRAWING TITLE:

DOOR, WIN & HDWR
SCHEDULES; DOOR
TYPES; WALL TYPES

REISSUED:

DATE:
11/12/2021

SCALE:
NONE

A0.2

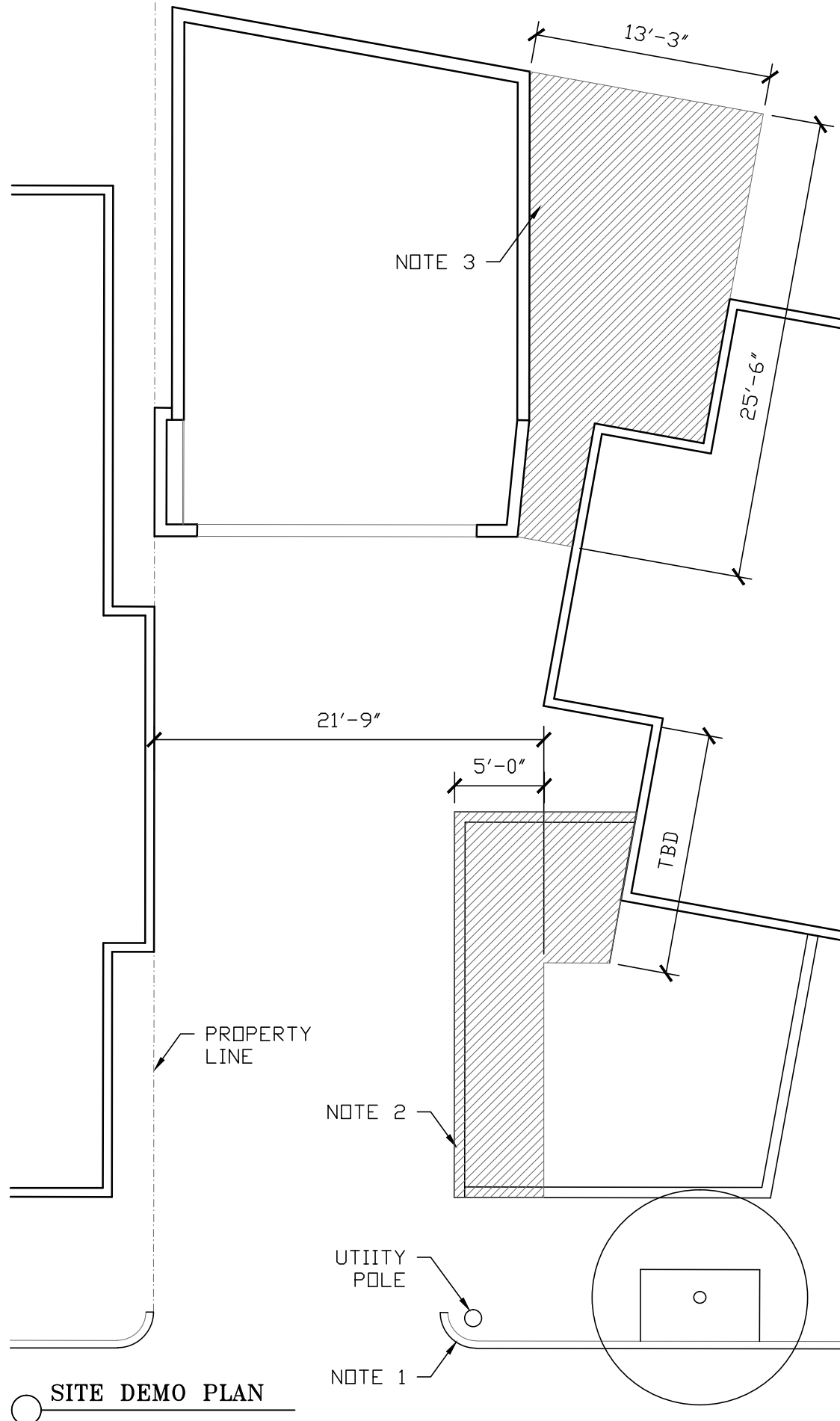
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Architect



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GENERAL NOTES

REMOVE ROLL ROOFING; RETAIN ROOF FRAMING.



SITE DEMO PLAN

NUMBERED NOTES

NOTE 1 VERIFY WIDTH OF CURB CUT AS NEC TO PROVIDE ADEQUATE WIDTH FOR PARKING SPACES.

NOTE 2 REMOVE CONC CURB & SOIL (SHOWN HATCHED).

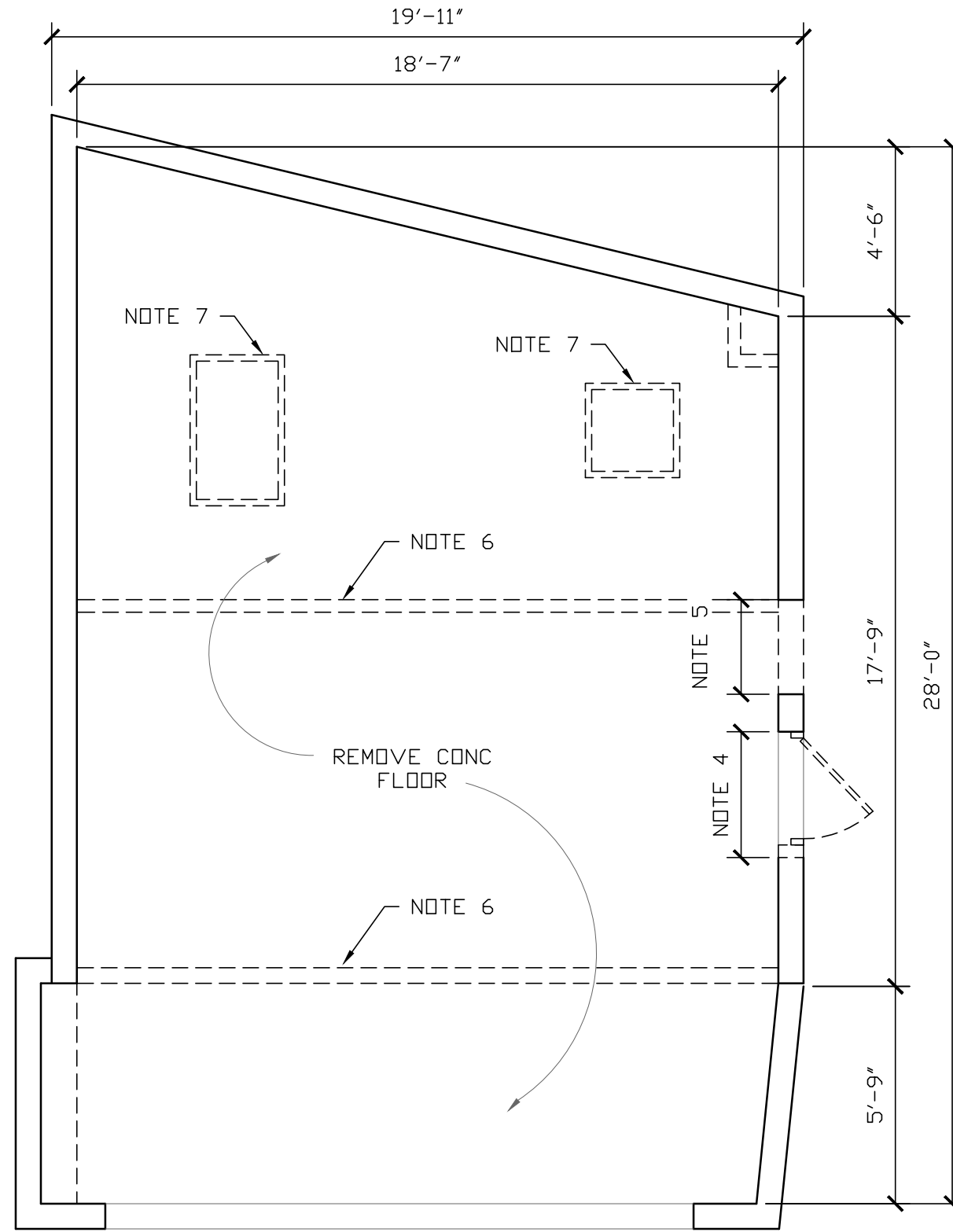
NOTE 3 REMOVE CONC & SOIL (SHOWN HATCHED) TO PREP FOR NEW CONC PATIO & RAMP.

NOTE 4 ENLARGE BRICK OPENING TO MIN 3'-4". NO CUT BRICKS PERMITTED.

NOTE 5 NEW OPENING FOR WINDOW. NO CUT BRICKS PERMITTED.

NOTE 6 REMOVE BEAMS. SEE A1.0 FOR STRUCTURAL NOTES.

NOTE 7 OPENINGS FOR NEW SKYLIGHTS.



DEMO PLAN

FOR: RENOVATION

PROJECT:

1192 HC GARAGE UNIT
1192 WESTMINSTER
PROVIDENCE, RI 02909

DRAWING TITLE:

DEMOLITION PLANS

REV:

DATE:

11/12/2021

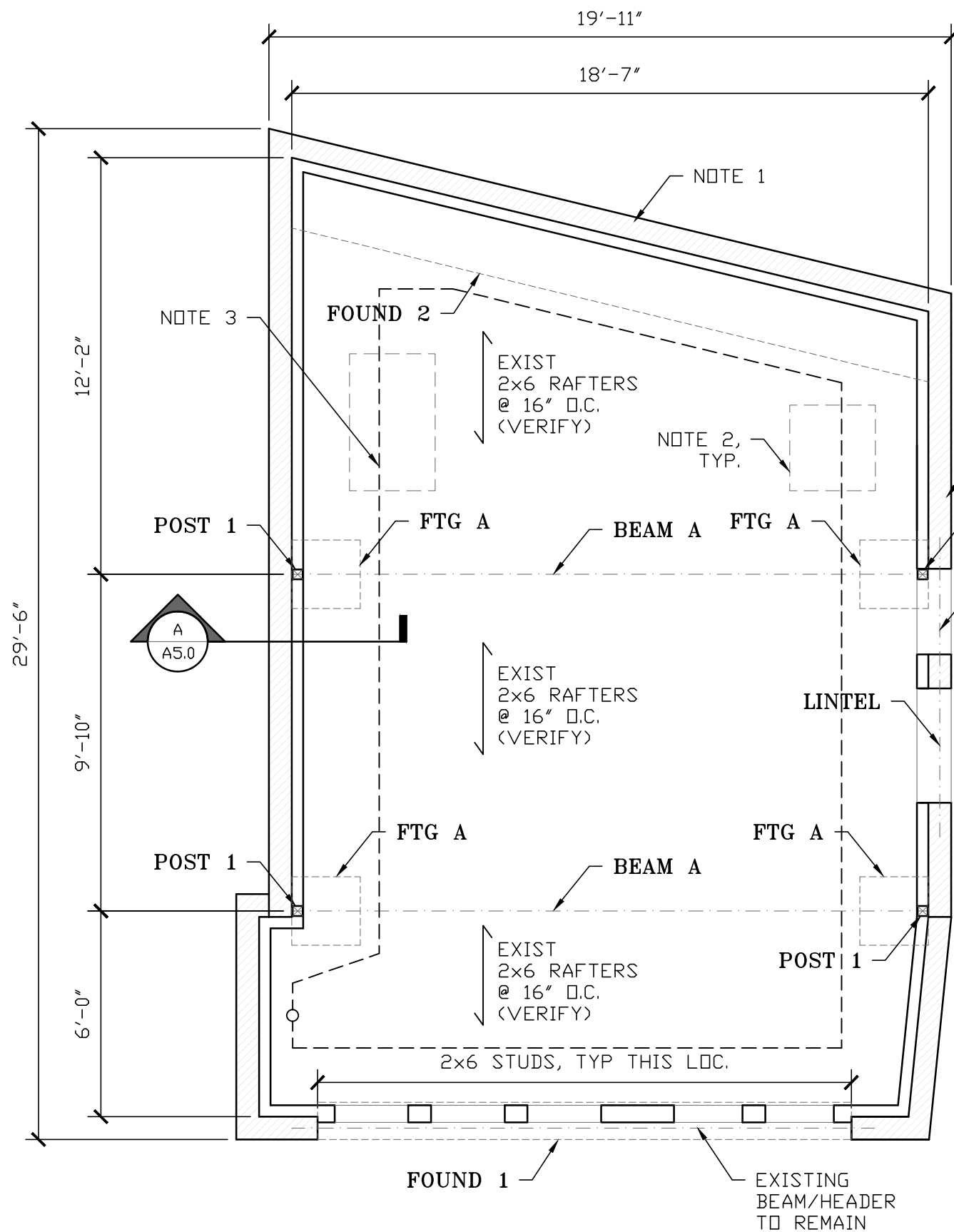
SCALE:

NONE

D1.0

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EXIST FOUND. ASSUMED TO BE A MIN 12" CONC TO BE VERIFIED AT SITE (MIN 40" BELOW GRADE).

EXIST 8" MASONRY BRICK WALL. PARGE INT FACE W/ (2) LAYERS OF CEMENT PLASTER.

STRUCTURAL NOTES:

BEAM A: (3) 1-3/4"x14" LVL (2.0 E) CONTINUOUS W/ (2) ROWS TRUSSLOK SCREWS AT 12" O.C.
ALTERNATE: (4) 1-3/4"x11-7/8" LVL

P-1: 3.5x5.25 PARALLAM POST

LINTEL: (2) STEEL ANGLES 4"x3-1/2"x3/8", 8" MIN BEARING EACH END.

FTG A: NEW 2'x2'x40" DEEP CONC FOOTING W/ 2-#5 TOP & BOTTOM

FOUND 1: NEW 12" CONC FOUNDATION WALL W/ 2-#5 TOP & BOTTOM

FOUND 2: NEW 24" CONC FOUNDATION WALL W/ 2-#5 TOP & BOTTOM

GENERAL NOTES

ALL NEW CONCRETE MUST HAVE F'c=3500 psi (MIN) AT 28 DAYS, TYP.

NUMBERED NOTES

NOTE 1 CONTINUOUS BLOCKING AT REAR WALL OF EXIST ROOF JOISTS. PROVIDE 5/8" 1-HR F. RATED GWB BEHIND FASCIA- SEE A2.0.

NOTE 2 FRAME & BUILD CURB FOR NEW SKYLIGHT.

NOTE 3 PASSIVE RADON SYSTEM: 4" PERFORATED PIPE AT PERIMETER OF FOUNDATION (CONTINUOUS LOOP). PROVIDE 4" MIN BED OF CRUSHED STONE & POLY BARRIER. ATTACH TO 'T' & 3" VENT STACK THRU WARM VERTICAL WALL TO ROOF. EXTEND 12" MIN ABOVE ROOF; MOUNT 10'-0" MIN FROM BUILDING OPENINGS. PROVIDE SCREENED CAP TO PREVENT NESTING BIRDS. LABEL PIPES/STACK AS RADON SYSTEM. FOR ACTIVE SYSTEM, ADD FAN.

FOUND/FRAMING/FOOTER PLAN

FOR: RENOVATION

PROJECT:

1192 HC GARAGE UNIT
1192 WESTMINSTER
PROVIDENCE, RI 02909

DRAWING TITLE:

FOUNDATION, FRAMING
& FOOTER PLAN
STRUCTURAL NOTES

REV:

DATE:

11/12/2021

SCALE:

1/4"=1'-0"

A1.0

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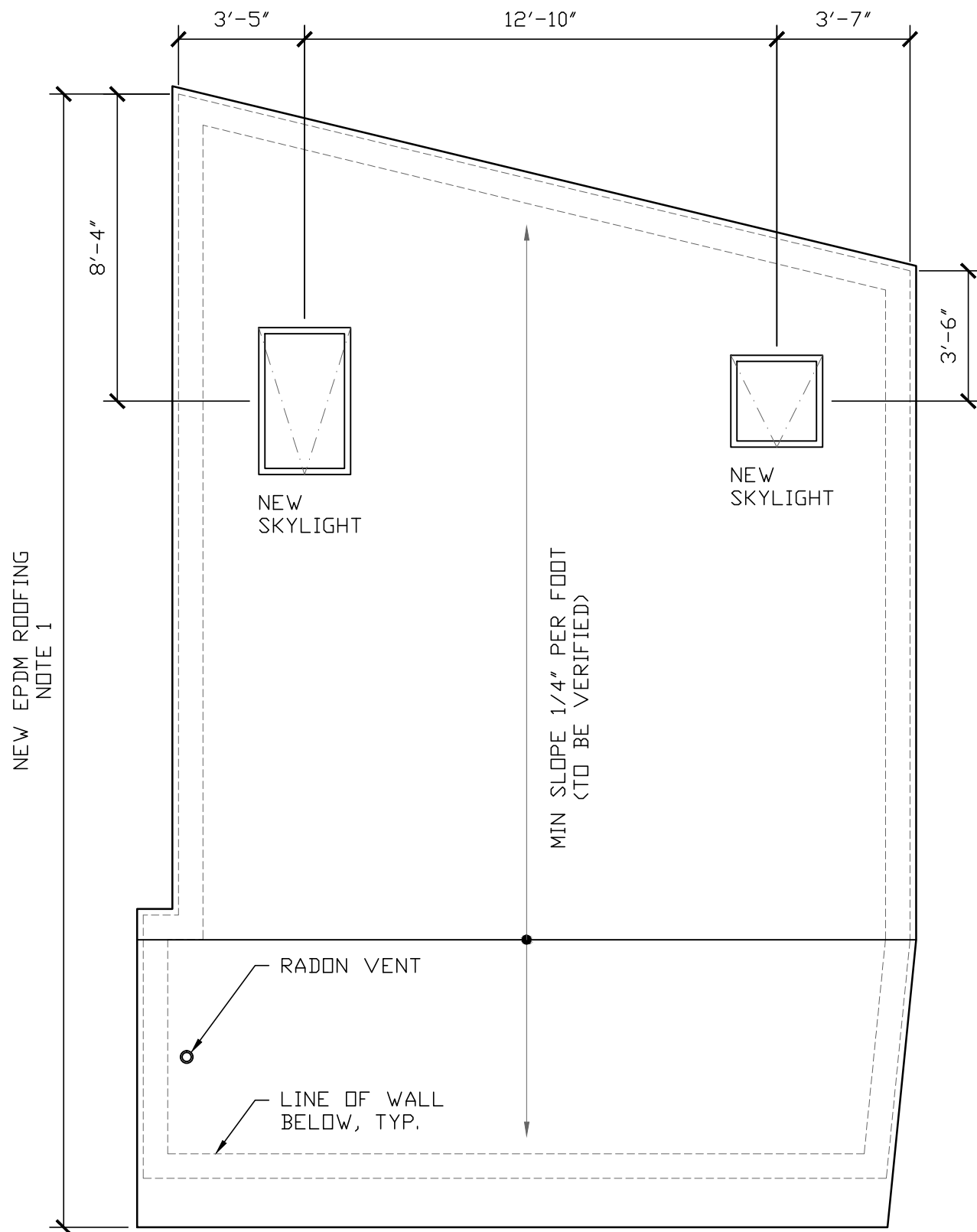
GENERAL NOTES

NEW EPDM ROOFING AT EXIST FRAMING. VERIFY COND OF UNDERLAYMENT; REPLACE AS NEC.

SEE A6.2 FOR ENLARGED BATHROOM PLAN.

NEW & ENLARGED OPENINGS TO HAVE FULL BRICKS; NO CUTS.

R-19 SPRAYFOAM INS AT NEW 2x4 WALLS. R-38 AT ROOF.



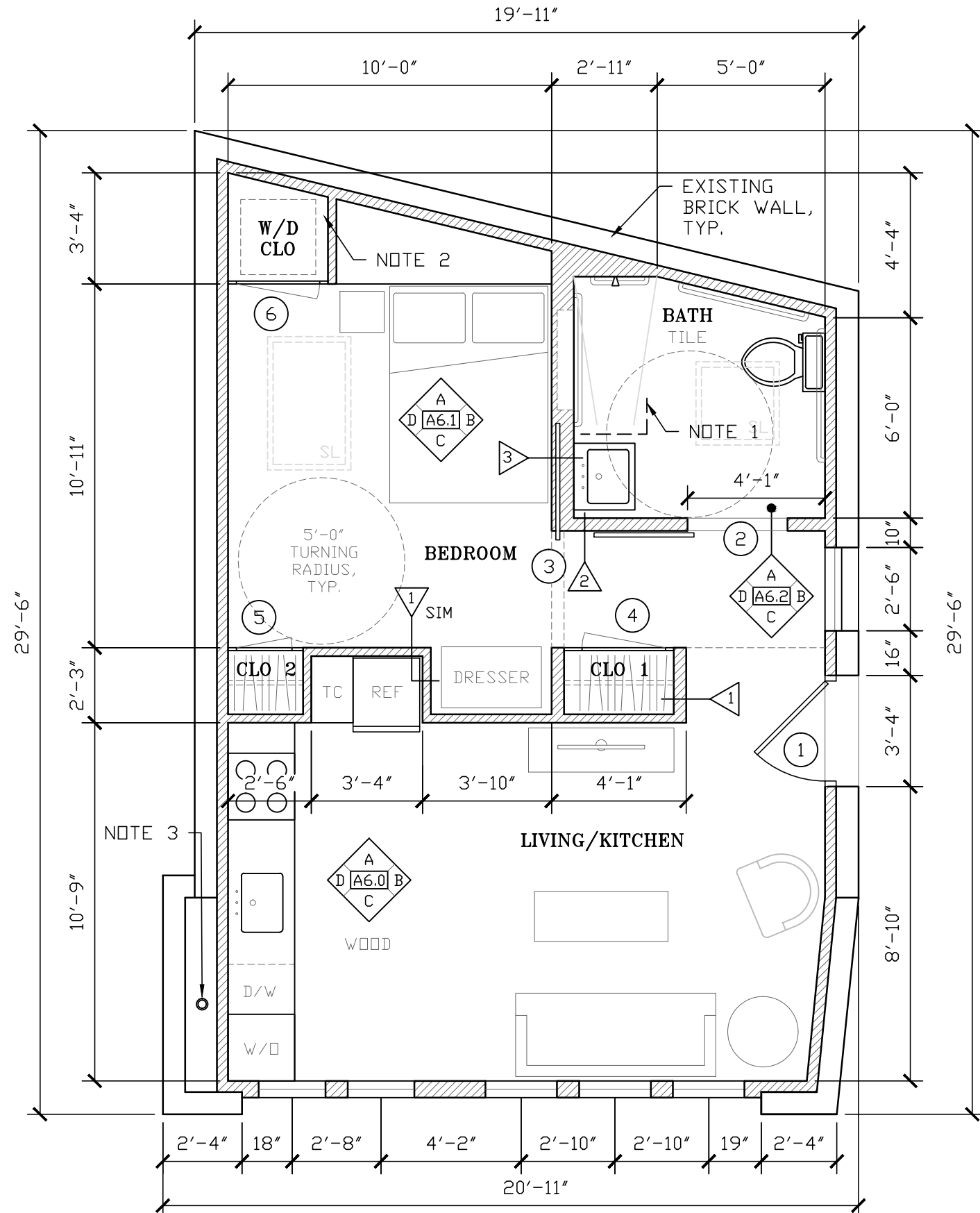
ROOF PLAN

NUMBERED NOTES

NOTE 1 FLOOR DRAIN. SLOPE TILE TOWARDS DRAIN.

NOTE 2 PROVIDE WATER HEATER AT SHELF ABOVE W/D UNIT.

NOTE 3 RADON RISER AT NICHE. INSULATE PIPE & LABEL.



CONST PLAN

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Providence, RI 02909

FOR: RENOVATION
PROJECT:
1192 HC GARAGE UNIT
1192 WESTMINSTER
PROVIDENCE, RI 02909

DRAWING TITLE:
CONSTRUCTION PLAN
ROOF PLAN

REV:

DATE:
11/12/2021

SCALE:
1/4"=1'-0"

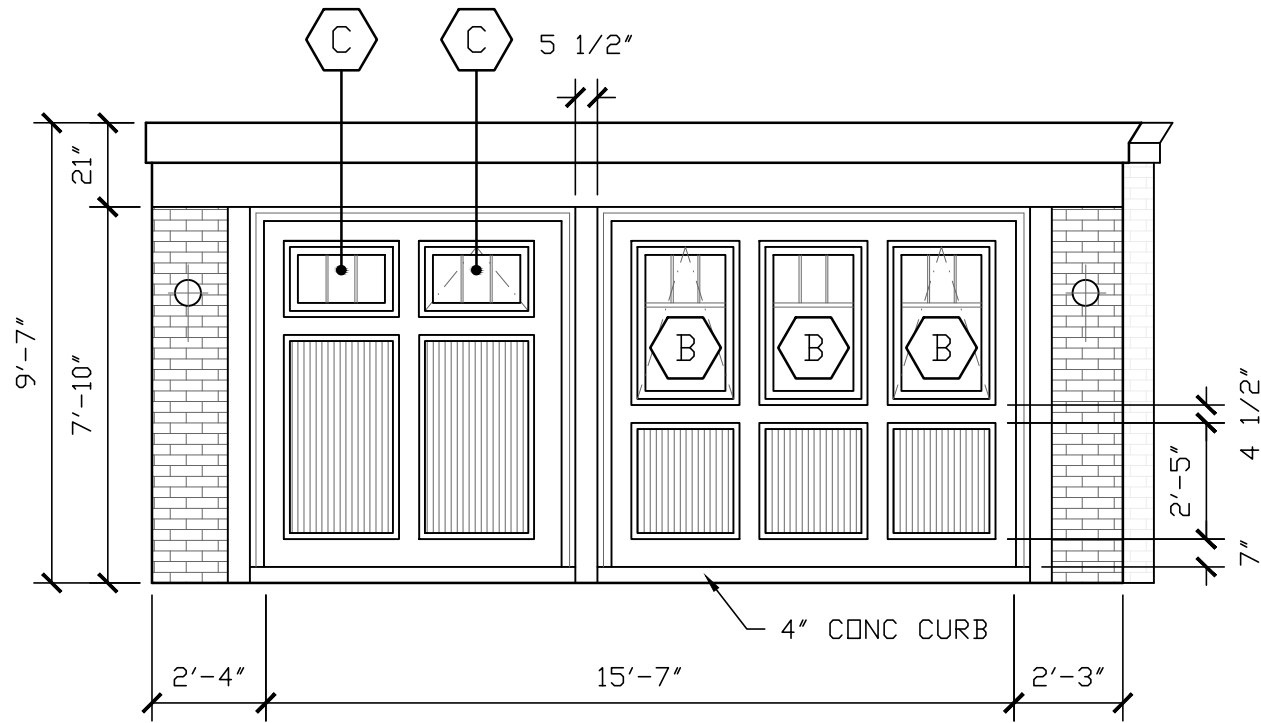
A1.1

NUMBERED NOTES

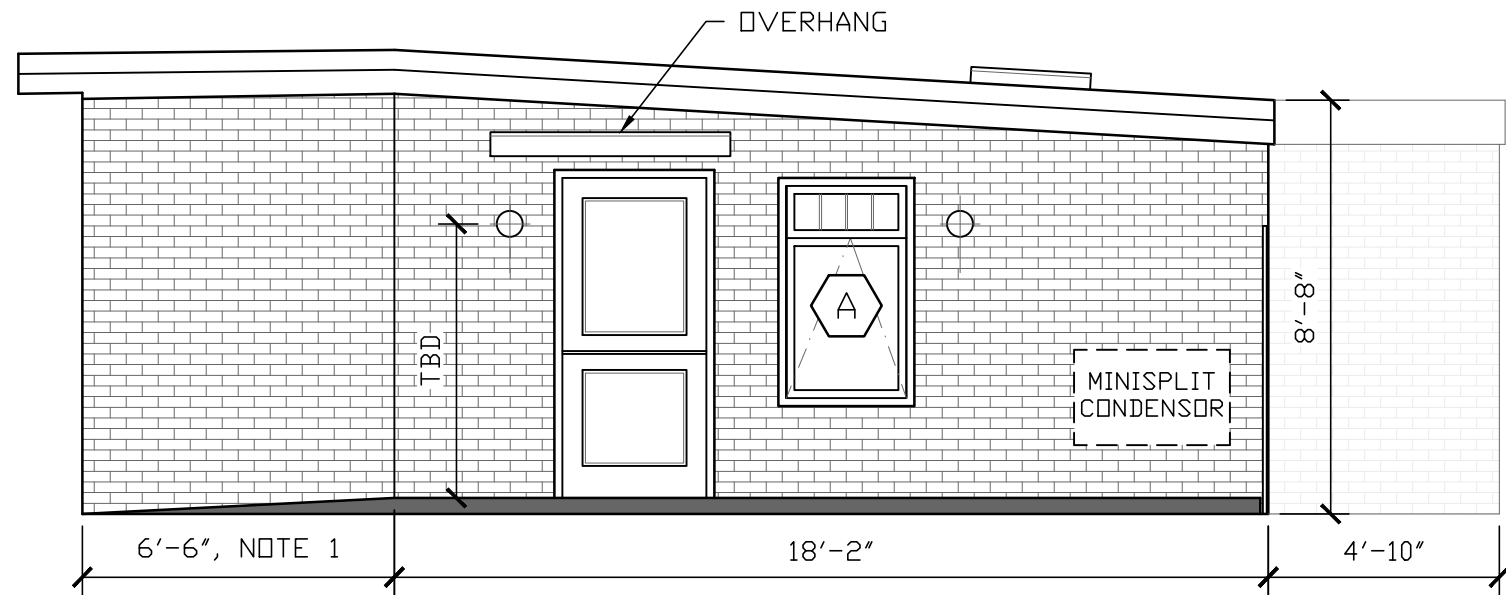
NOTE 1 CONC RAMP 1:12 MAX.

NOTE 2 ENSURE THAT DOWNSPOUT DISCHARGE EXITS ONTO SITE, NOT ADJACENT PROPERTY.

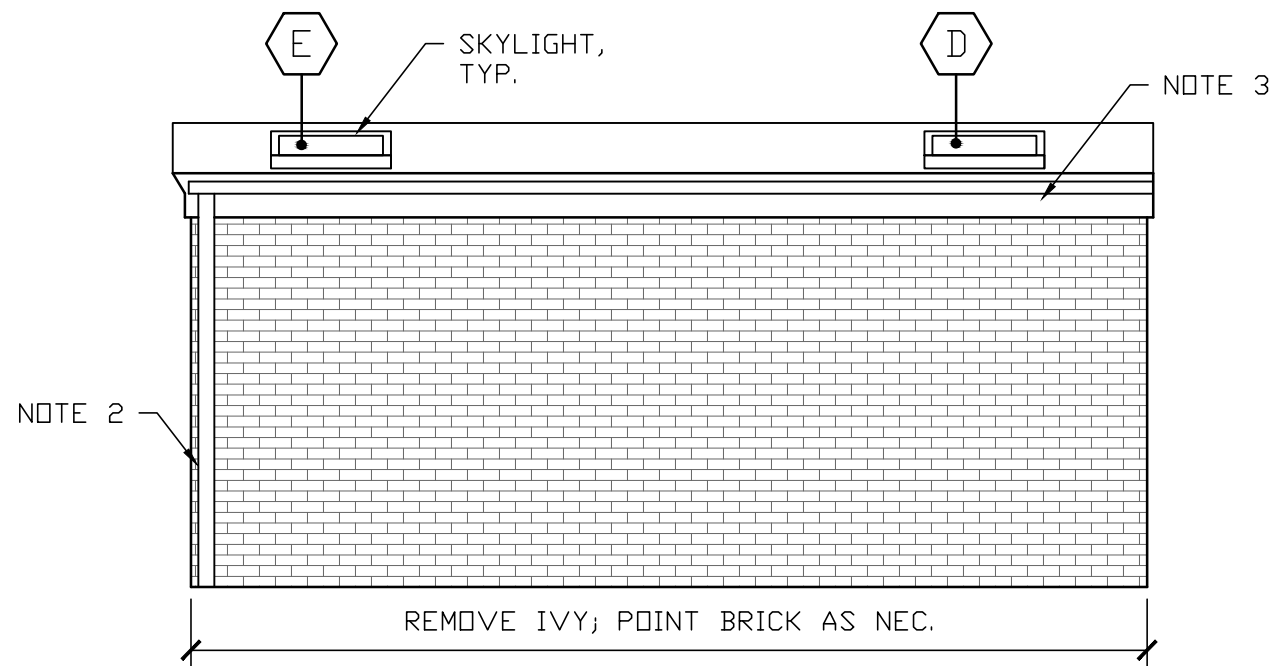
NOTE 3 5/8" 1-HR FIRE RATED GWB (GOLDBOND) BEHIND WOOD FASCIA AT PROPERTY LINE.



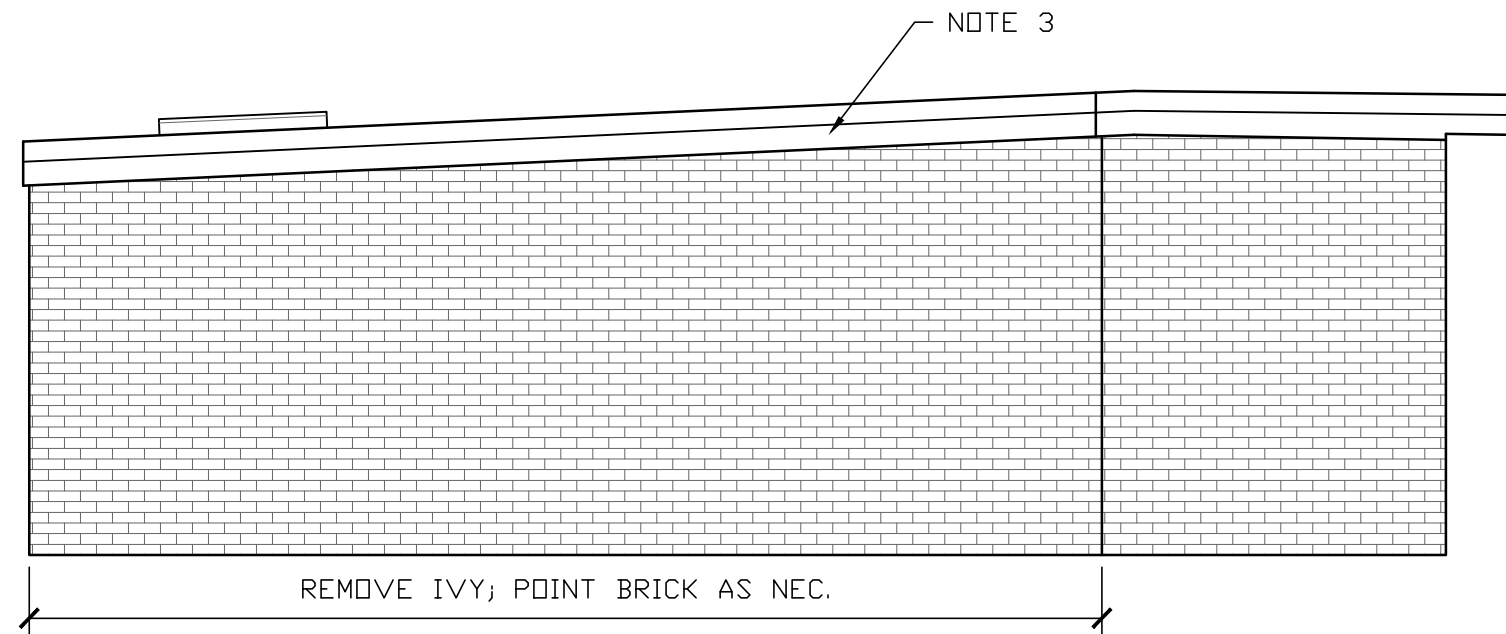
(A) EAST ELEVATION
FACING DRIVEWAY



(B) NORTH ELEVATION
FACING REAR YARD



(C) WEST ELEVATION



(D) SOUTH ELEVATION

FOR: RENOVATION

PROJECT:

1192 HC GARAGE UNIT
1192 WESTMINSTER
PROVIDENCE, RI 02909

DRAWING TITLE:

EXTERIOR ELEVATIONS

REV:

DATE:

11/12/2021

SCALE:

1/4"=1'-0"

A2.0

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NUMBERED NOTES

- NOTE 1 HARD WIRE OR OUTLET PER WATER HEATER MANUFACTURER.
- NOTE 2 WIRE FOR SKYLIGHT PER MANUFACTURER.
- NOTE 3 WIRE FOR MOTION-ACTIVATED VENT FAN.

GENERAL NOTES

- PROVIDE DEDICATED OUTLETS FOR EACH OF THE FOLLOWING: REFRIGERATOR, INDUCTION STOVETOP, RANGE HOOD, DISHWASHER, WALL OVEN, WASHER/DRYER, WATER HEATER, ETC.
- PROVIDE WIRING FOR MECHANICAL EQUIPMENT PER MANUFACTURER.
- SEE INTERIOR ELEVATIONS FOR ADDITIONAL OUTLET, LIGHTING FIXTURE & MINISPLIT LOC'S, ETC.
- PROVIDE HARDWIRED SMOKE DETECTORS OR PER CODE.
- KEYPAD CONTROL FOR LIGHTING, WINDOW OPERATING HDWR, RANGE HOOD, SKYLIGHTS, FRONT DOOR HDWR.
- LUTRON LIGHTING OR SIMILAR.

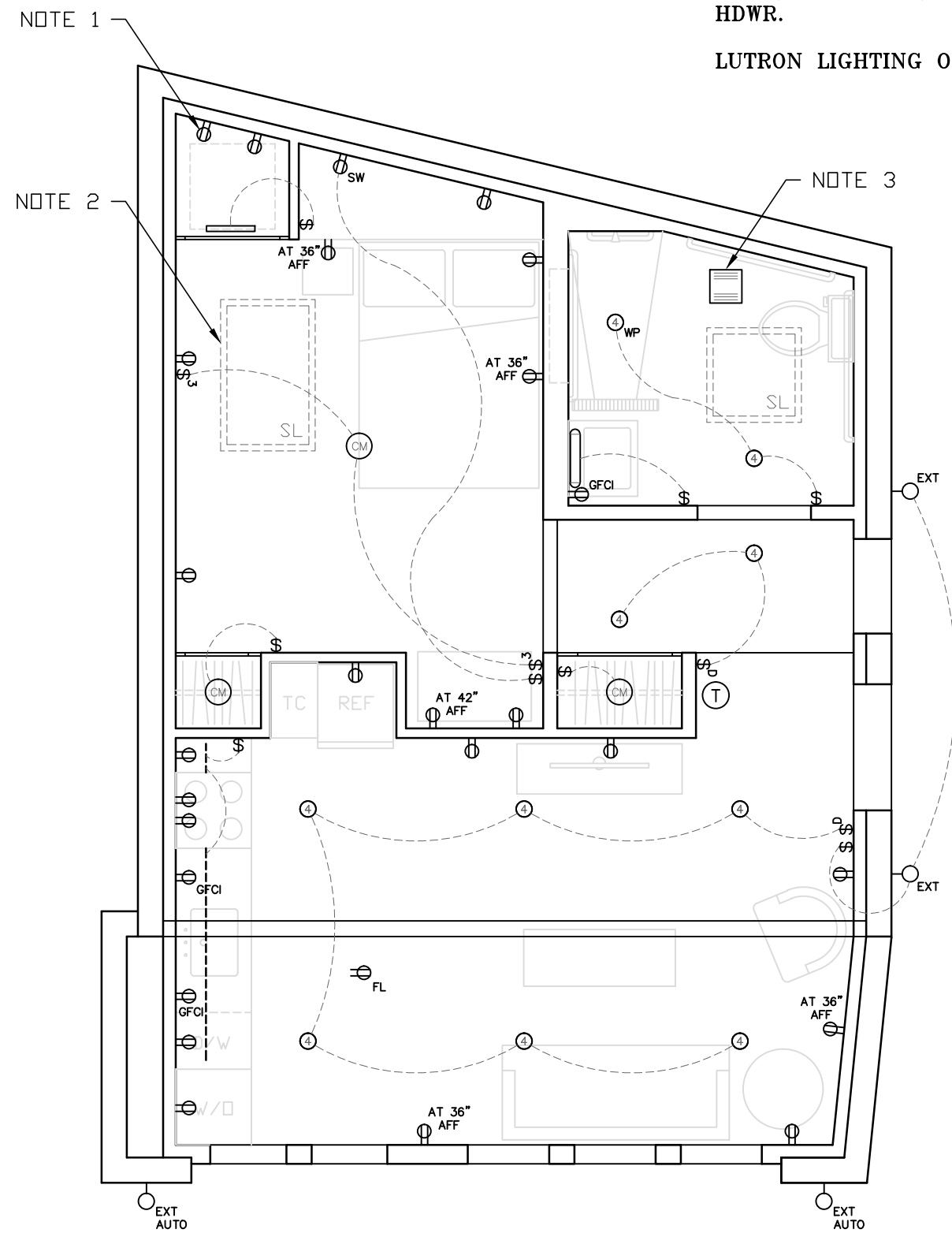
ELECTRICAL SYMBOLS

⊖	DUPLEX RECEPTACLE
⊖ _{GFCI}	GFCI RECEPTACLE
⊖ _{QUAD}	QUAD RECEPTACLE
⊖ _{SW}	SWITCHED RECEPTACLE
⊖ _{FL}	FLOOR-MTD RECEPTACLE
\$	LIGHT SWITCH
\$ ³	3-WAY LIGHT SWITCH
\$ _D	DIMMER LIGHT SWITCH
\$ _{DS}	SINGLE-GANG DUAL TOGGLE SWITCH (BATH VENT/HEAT)
Ⓣ	PROGRAMMABLE THERMOSTAT
⚡	ETHERNET
Ⓢ	CABLE

LIGHTING FIXTURE KEY

Ⓢ	CEILING-MOUNTED
Ⓢ _{WP}	CEILING-MOUNTED, WATER PROOF
⊕ _{CH}	CHANDELIER
⊕ _{FL}	CEILING FAN (W/ LIGHT)
⊕ _P	PENDANT
Ⓢ	4" RECESSED CAN
Ⓢ _{WP}	4" RECESSED CAN, WATER PROOF
○	WALL SCONCE
○ _{EXT}	EXTERIOR WALL SCONCE
▭	WALL-MTD VANITY
---	LED TAPE STRIP- UNDER CAB
▬	LED STRIP FIXTURE
⊞	EXHAUST FAN/HEAT, LOW SONES (PANASONIC)

NOTE:
 ALL DUPLEX RECEPTACLES TO BE MOUNTED AT 15" AFF U.D.N.
 ALL SWITCHES TO BE MOUNTED 4'-0" AFF. U.D.N.
 ALL CAN & PENDANT FIXTURES TO BE DIMMABLE.
 OUTLETS AND SWITCHES AT COUNTERTOPS TO BE MOUNTED AT 44" AFF TO CENTERLINE OF COVER PLATE.



ELECTRICAL PLAN

FOR: RENOVATION

PROJECT: **1192 HC GARAGE UNIT**
1192 WESTMINSTER
PROVIDENCE, RI 02909

DRAWING TITLE: **ELECTRICAL PLAN**

REV:

DATE: **11/12/2021**

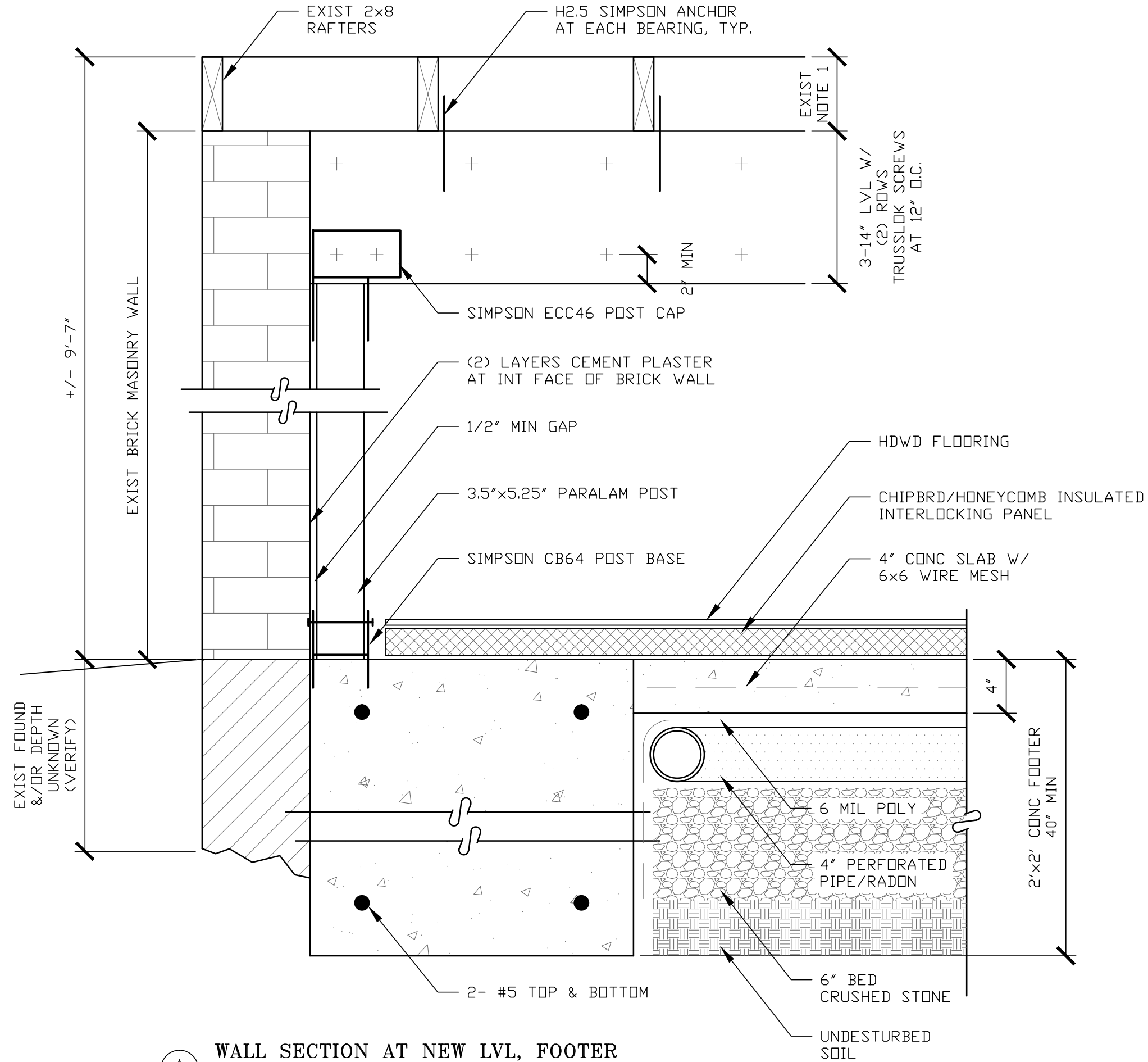
SCALE: **1/4"=1'-0"**

A4.0

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 Architect
 401.241.5576
 12 Almy Street
 Providence, RI 02909

NUMBERED NOTES

NOTE 1 R-38 SPRAYFOAM INSULATION.



A WALL SECTION AT NEW LVL, FOOTER

FOR: RENOVATION

PROJECT:

**1192 HC GARAGE UNIT
1192 WESTMINSTER
PROVIDENCE, RI 02909**

DRAWING TITLE:

**WALL & FOUNDATION
DETAILS**

REV:

DATE:

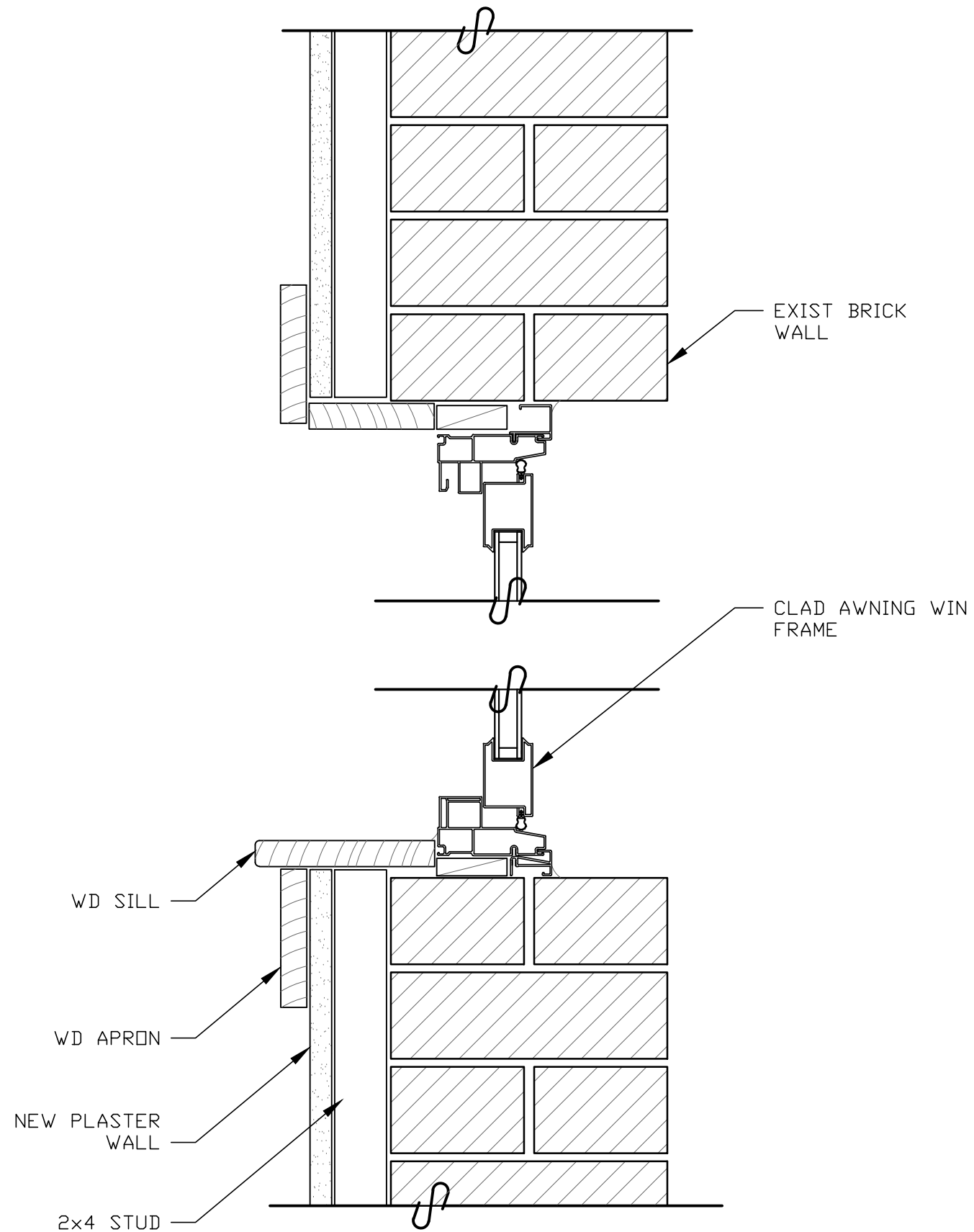
11/12/2021

SCALE:

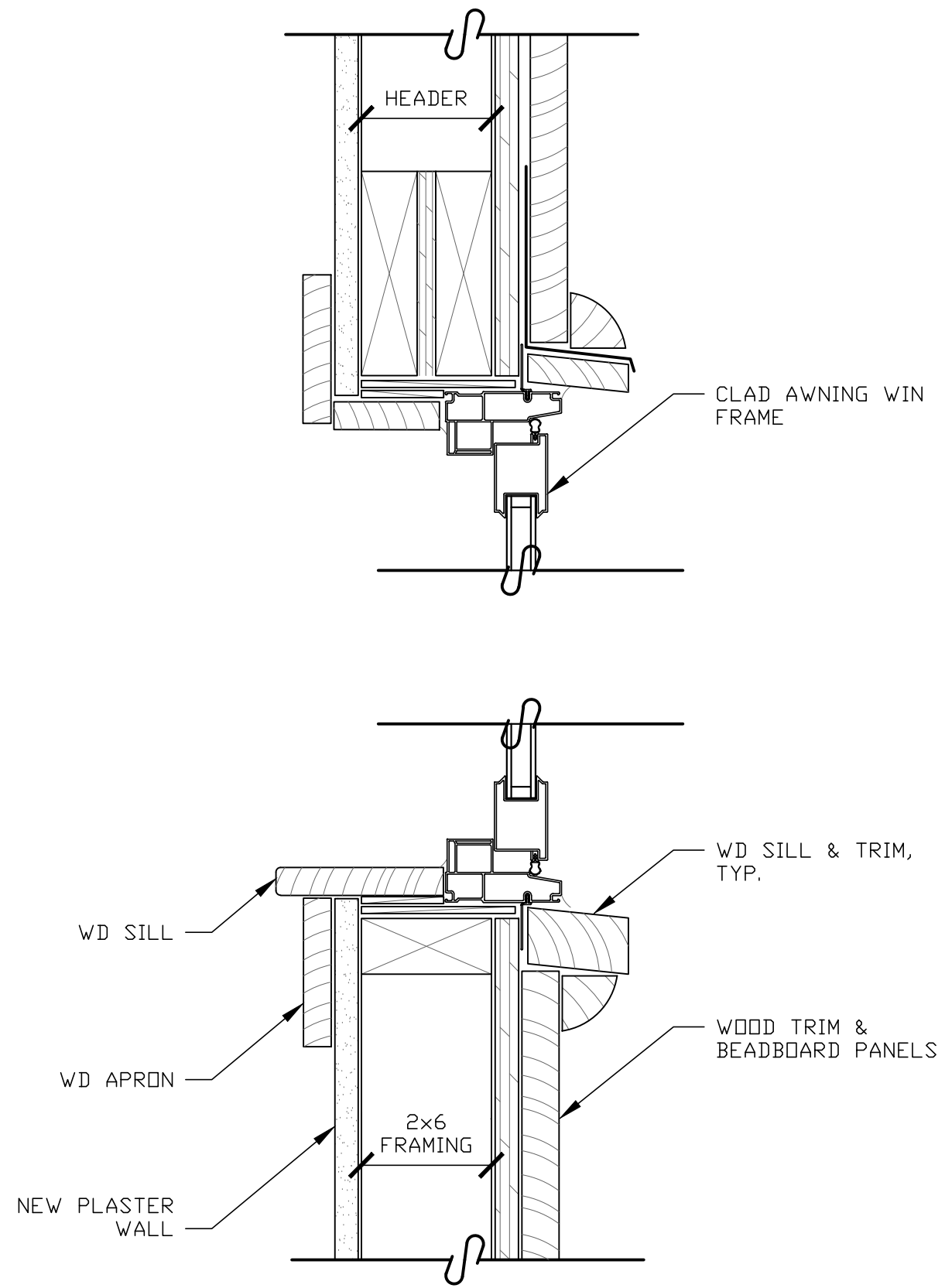
1-1/2"=1'-0"

A5.0

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A AWNING WIN HEAD & SILL DETAILS
AT EXIST BRICK WALL



B AWNING WIN HEAD & SILL DETAILS
AT NEW 2x6 WALL

FOR: RENOVATION

PROJECT:

1192 HC GARAGE UNIT
1192 WESTMINSTER
PROVIDENCE, RI 02909

DRAWING TITLE:
WINDOW DETAILS

REV:

DATE:
11/12/2021

SCALE:
3"=1'-0"

A5.1

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GENERAL NOTES

GWB W/ PLASTER SKIM COAT, TYP.

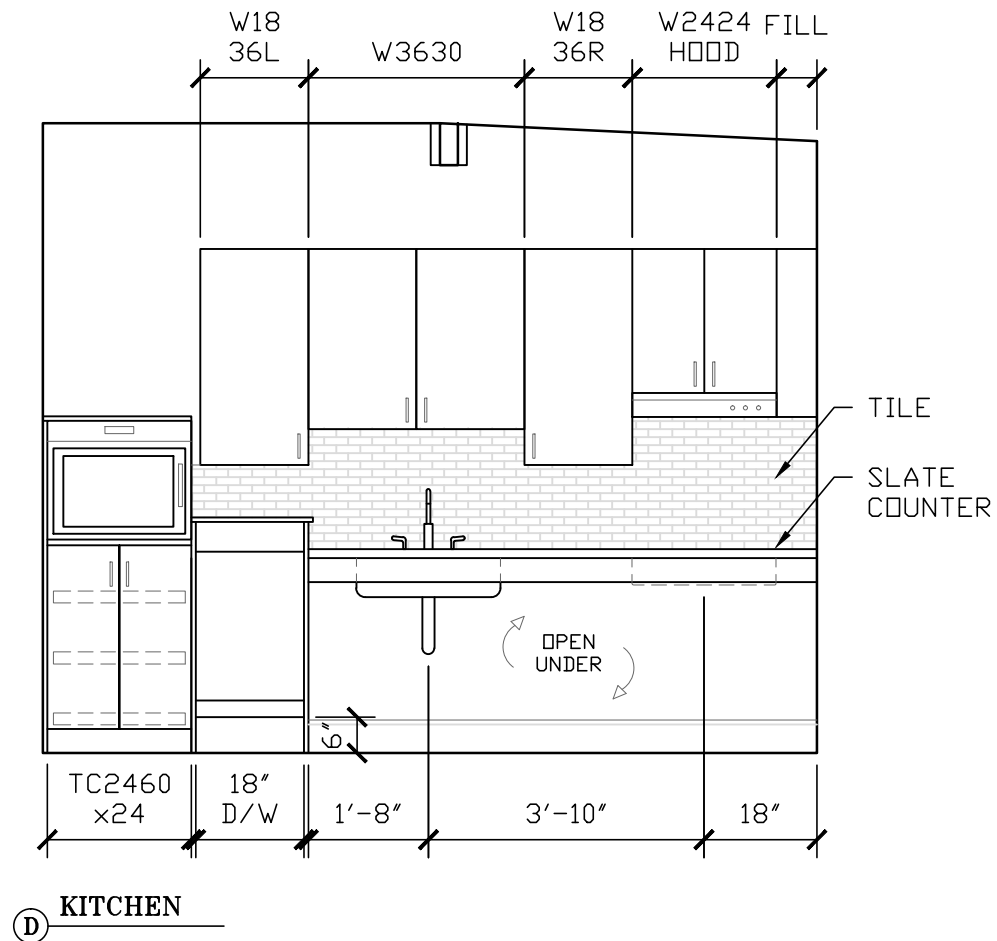
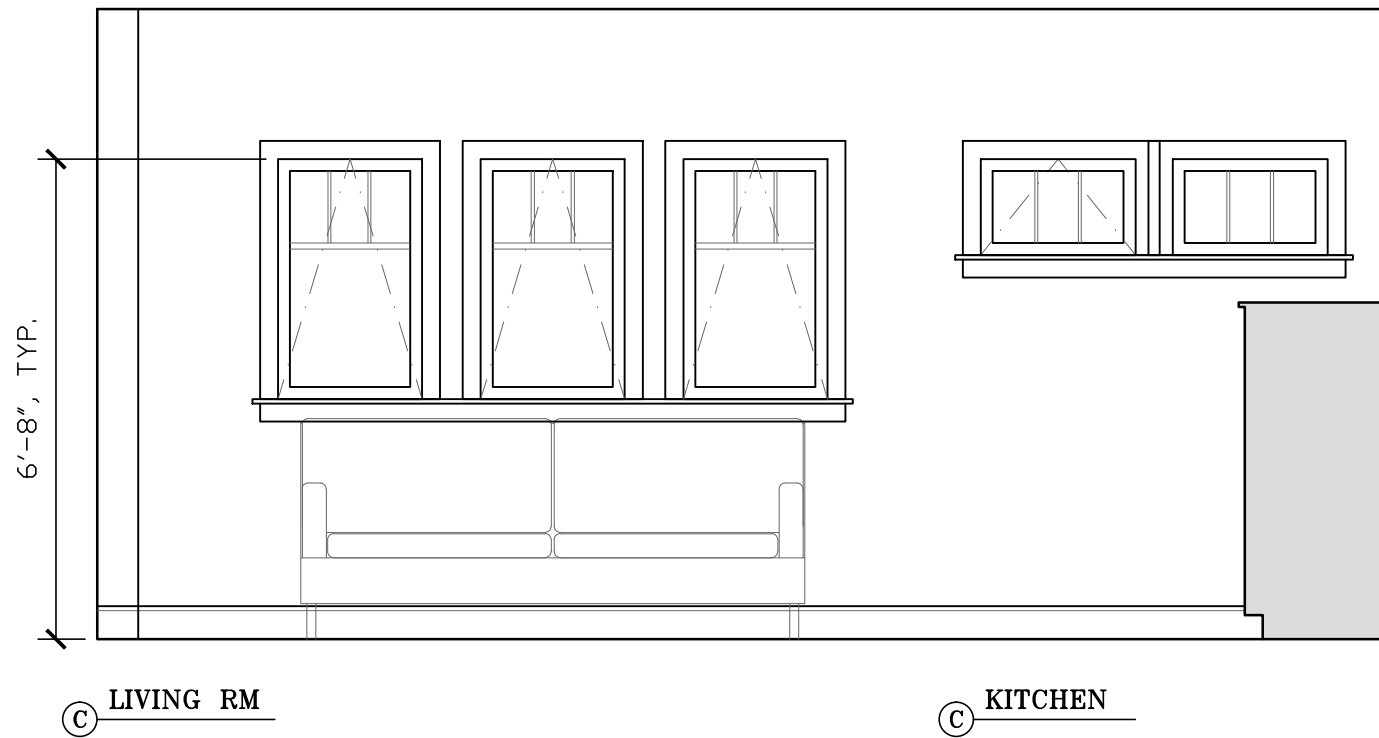
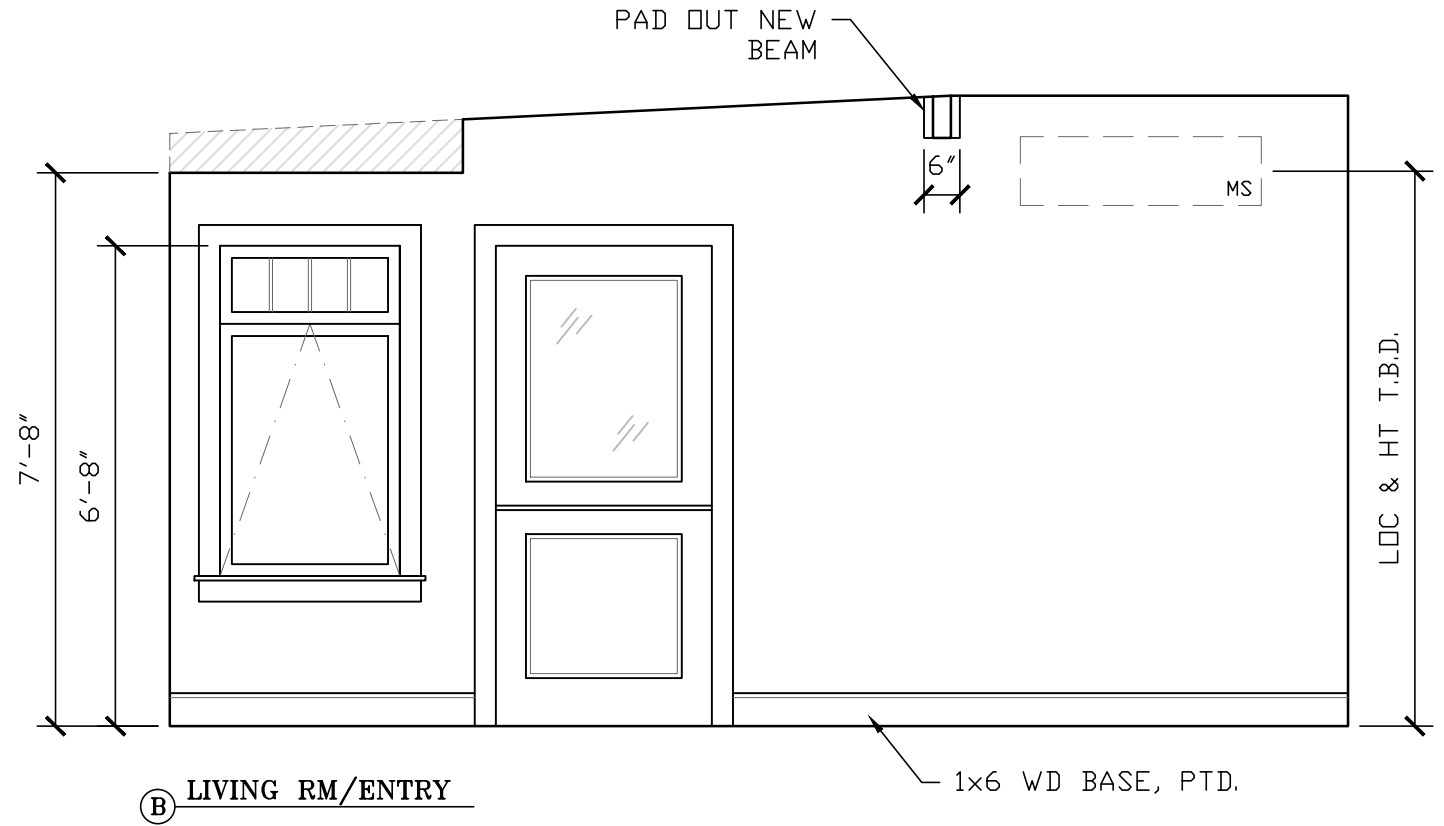
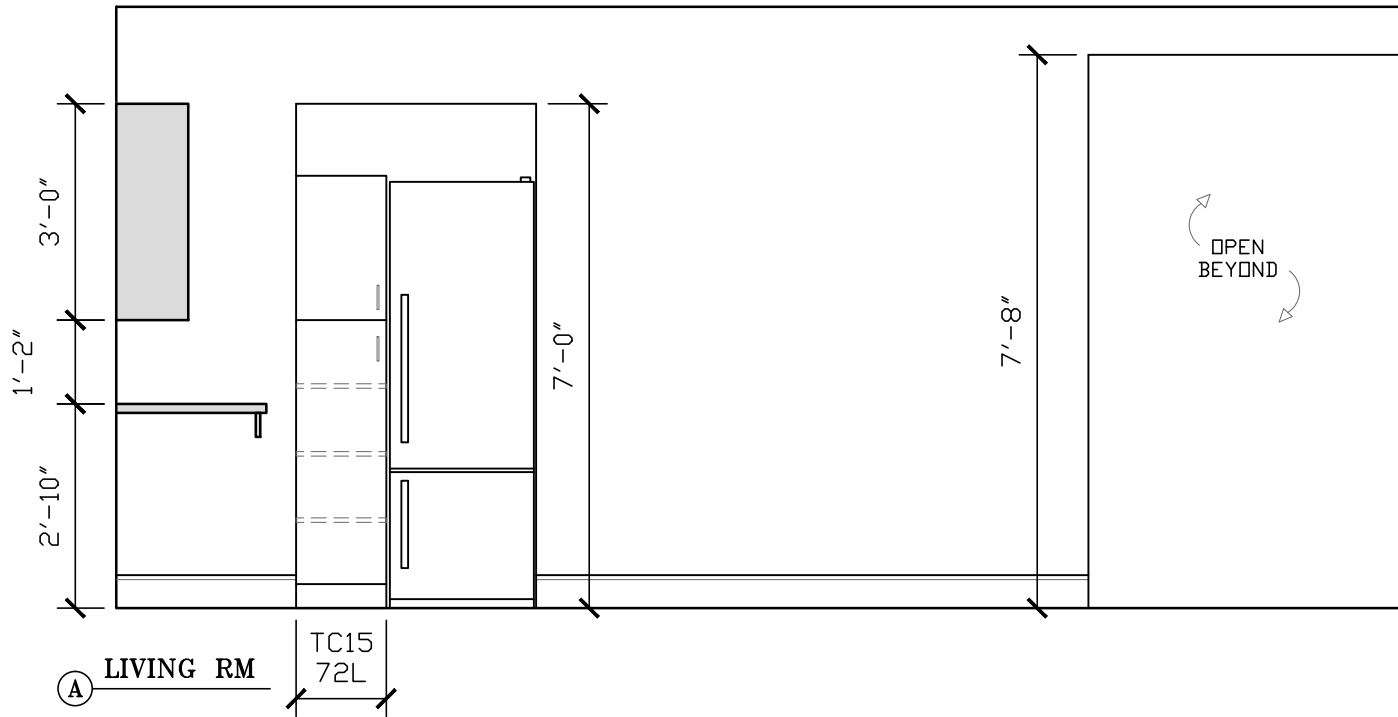
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FOR: RENOVATION
PROJECT:
1192 HC GARAGE UNIT
1192 WESTMINSTER
PROVIDENCE, RI 02909

DRAWING TITLE:
KITCHEN & LIVING
ROOM ELEVATIONS

REV:
DATE:
11/12/2021
SCALE:
3/8"=1'-0"

A6.0



FISHER & PAYKEL 24" SINGLE DOOR BOTTOM FREEZER: RD2470BR

EMPAVA 24" INDUCTION COOK TOP: EMPV-24EC03-9

BROAN 24" RANGE HOOD: F4024

TIBERLAKE OR SIMILAR CABINETS.

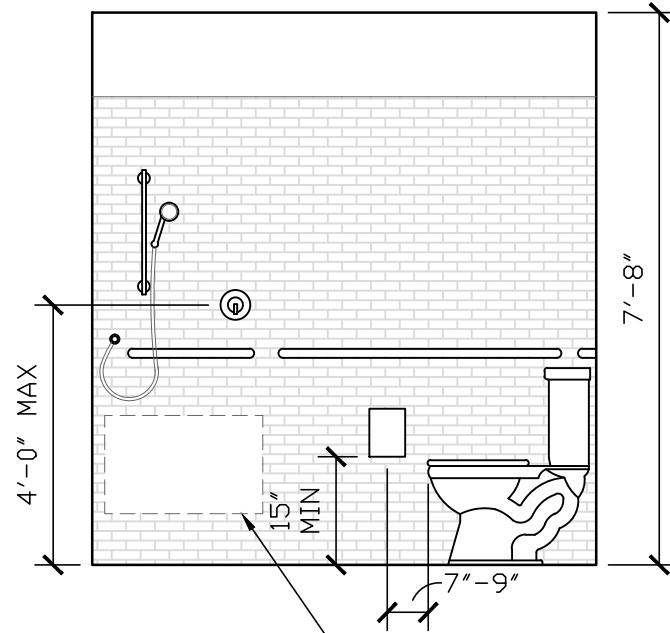
KRAUS 23" UNDERMOUNT SINGLE-BASIN SINK W/ CUTTING BOARD, DRAIN BOARD: KWU111-23

KRAUS FAUCET: KPF-2620CH

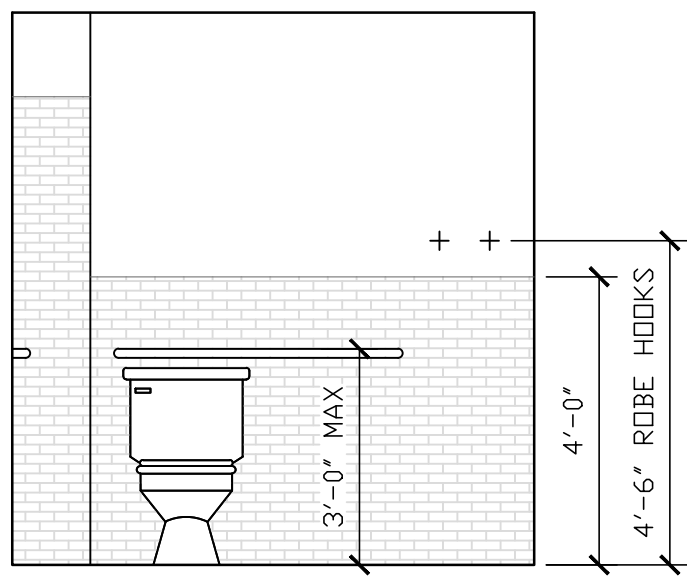
HAIER 24" WALL OVEN W/ LEFT-SWING DOOR: HCW225LAES

FRIGIDAIRE 18" DISHWASHER: FFBD1831US

REV-A-SHELF PULL-DOWN SHELF, AS NEC.



A BATHROOM FOLD-DOWN SHOWER SEAT



B BATHROOM

TOTO 26" WALL-MTD BATH SINK: SY9824BJMS1P2

MOEN SINGLE-HOLE FAUCET: 84774

AMERICAN STANDARD HAND-HELD SHOWER SYSTEM: STUDIO S-SV-4.002

TOTO 2-PIECE ELONGATED TOILET: CST746CEMFRG

AERO PURE MOTION-ACTIVATED EXHAUST FAN: ABF110DCMH-SG6W

ANZZI GOREME 24" WALL-MTD SHOWER SEAT: AC-AZ205

GENERAL NOTES

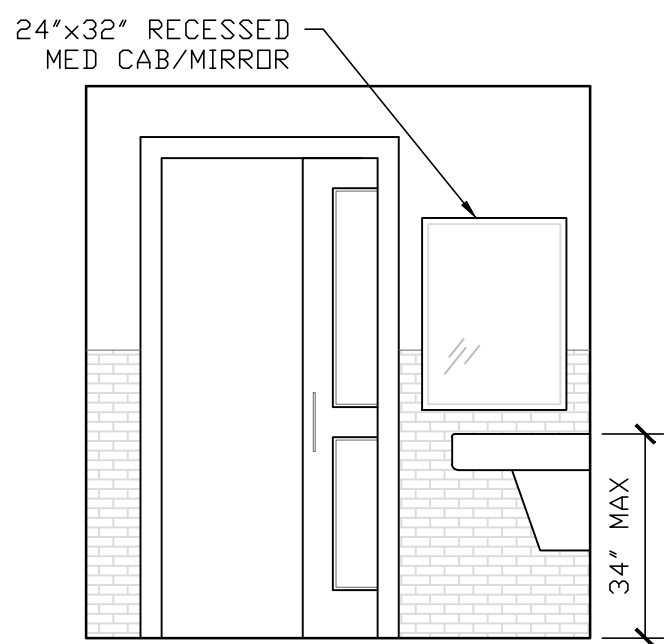
FURR FOR FLAT CEILING AT BATHROOM.

SOLID BLOCKING BEHIND ALL BATH ACCESSORIES, INCLUDING GRAB BARS, TP HOLDER, ROBE HOOKS, SHOWER SEAT.

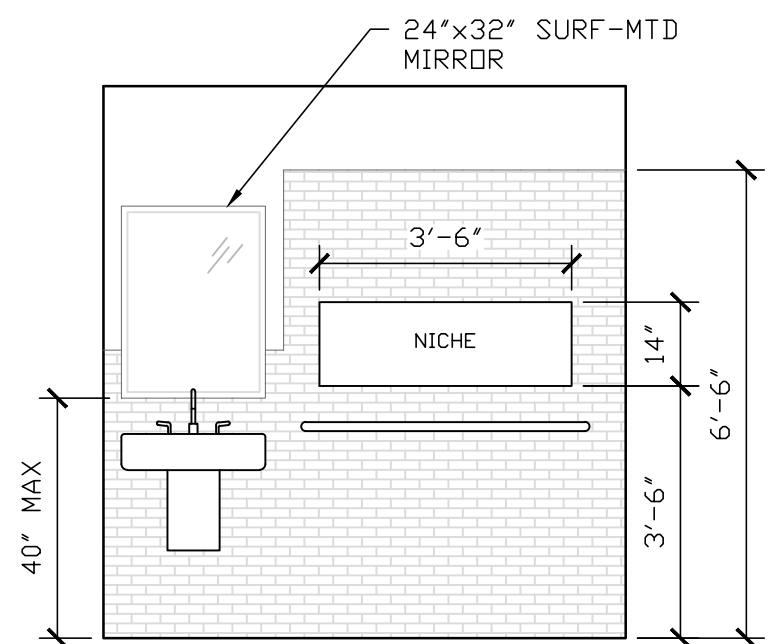
NUMBERED NOTES

NOTE 1 CLG-MTD SHOWER CURTAIN RAIL SYSTEM.

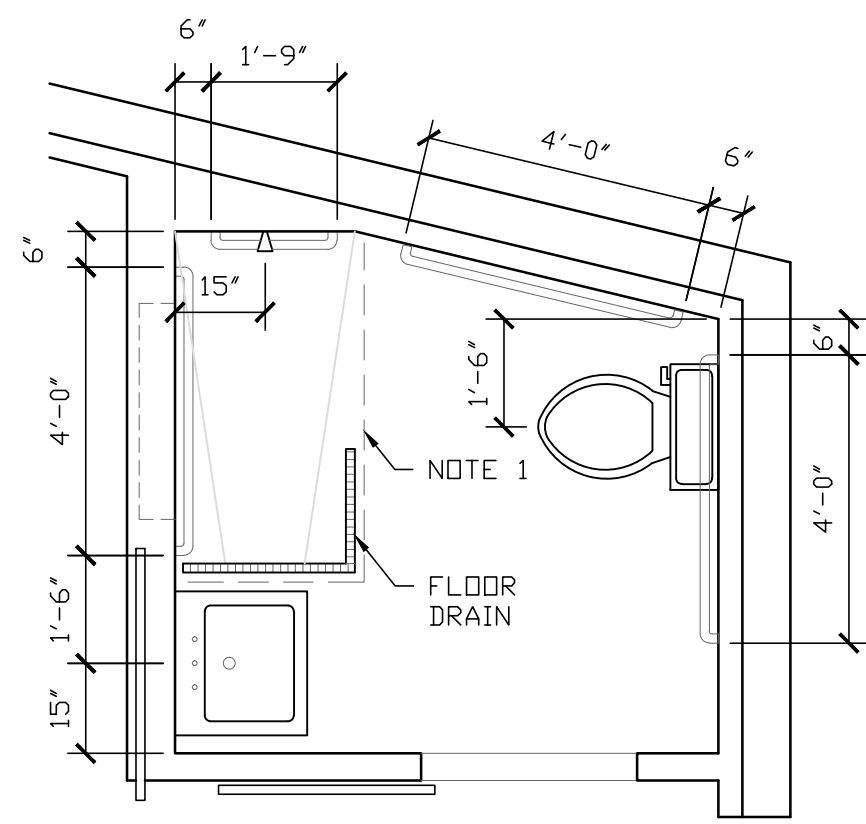
NOTE 2 17"-19" SEAT HEIGHT IN LOWERED POSITION.



C BATHROOM



D BATHROOM



E ENLARGED BATH PLAN

FOR: RENOVATION

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PROJECT:
1192 HC GARAGE UNIT
1192 WESTMINSTER
PROVIDENCE, RI 02909

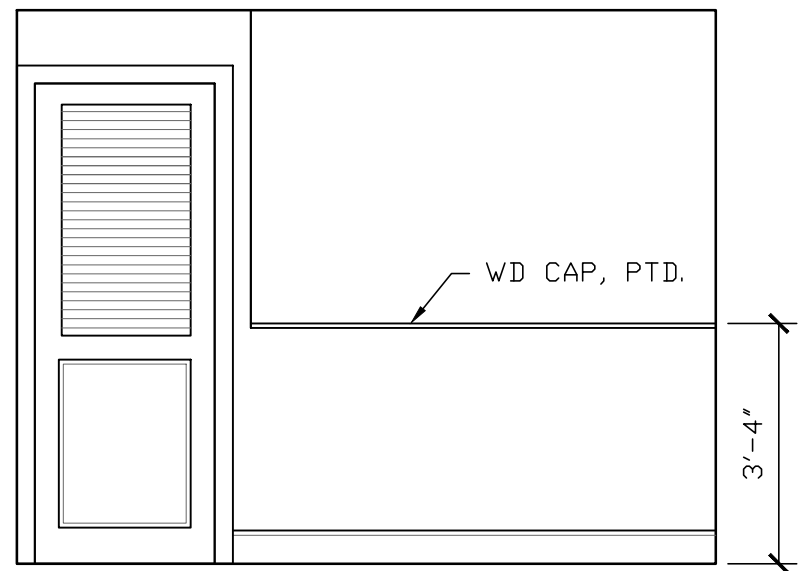
DRAWING TITLE:
BATHROOM
ELEVATIONS

REV:

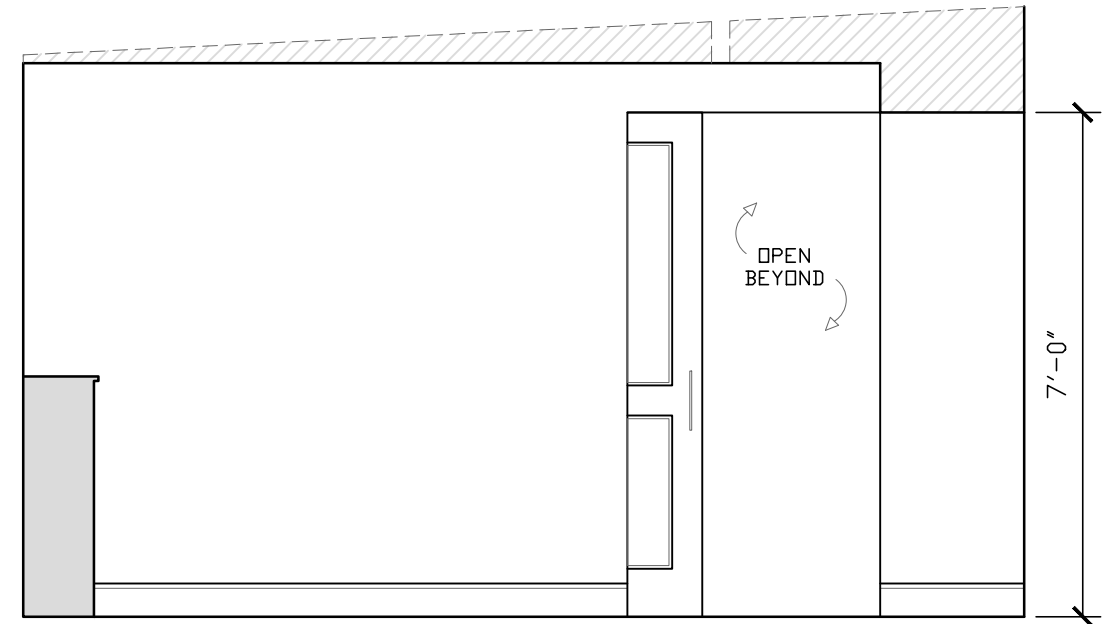
DATE:
11/12/2021

SCALE:
3/8"=1'-0"

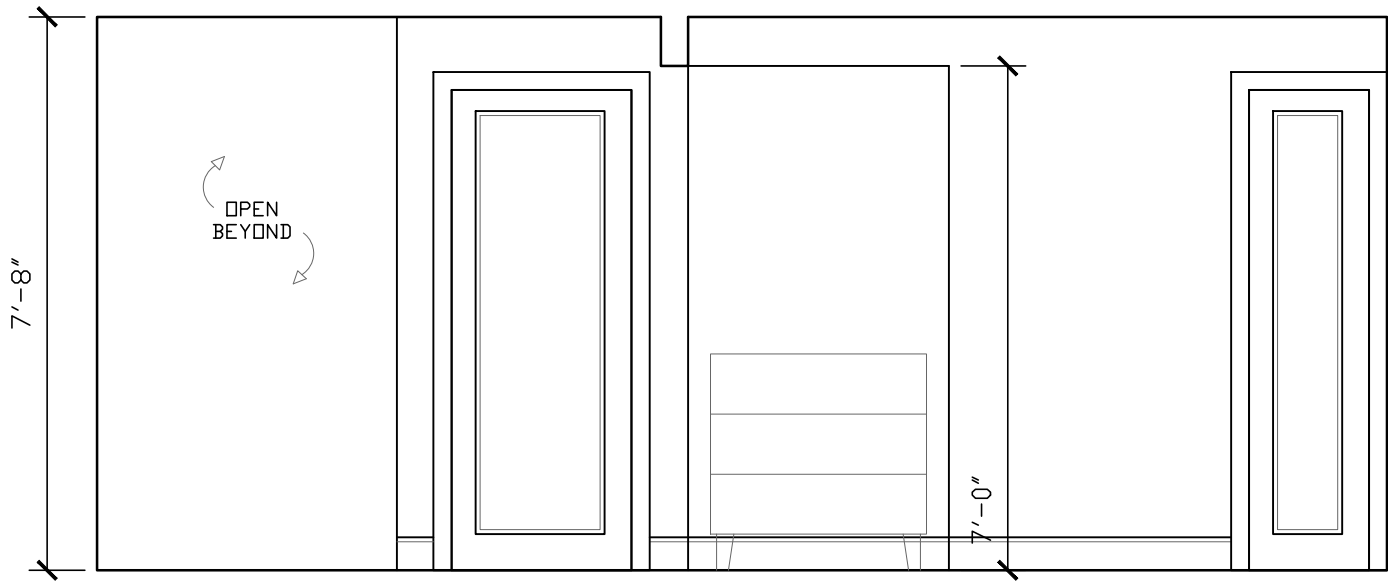
GE 24" 2.4 CU FRONT
LOAD WASHER/DRYER
COMBO: GFQ14ESSNWW



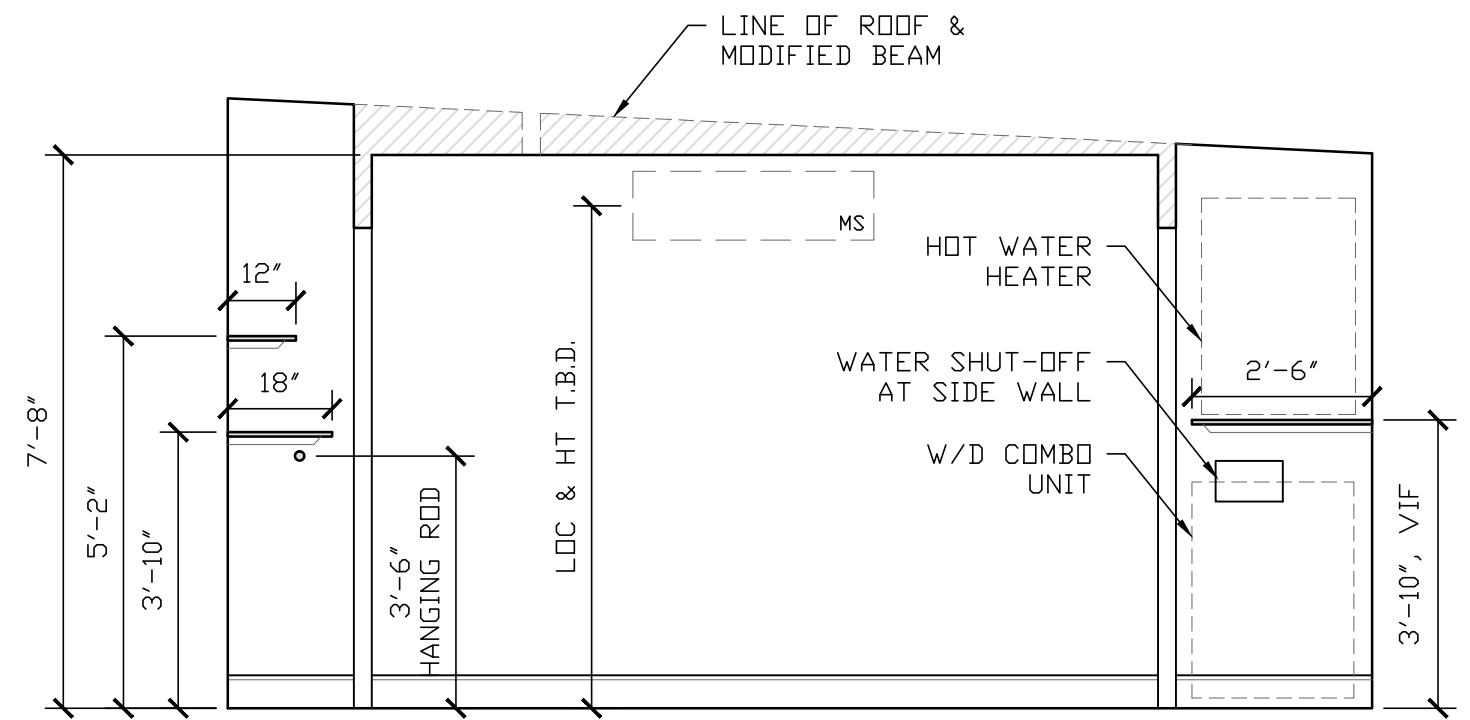
A BEDROOM



B BEDROOM



C BEDROOM



D BEDROOM

FOR: RENOVATION

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PROJECT:
1192 HC GARAGE UNIT
1192 WESTMINSTER
PROVIDENCE, RI 02909

DRAWING TITLE:
BEDROOM
ELEVATIONS

REV:

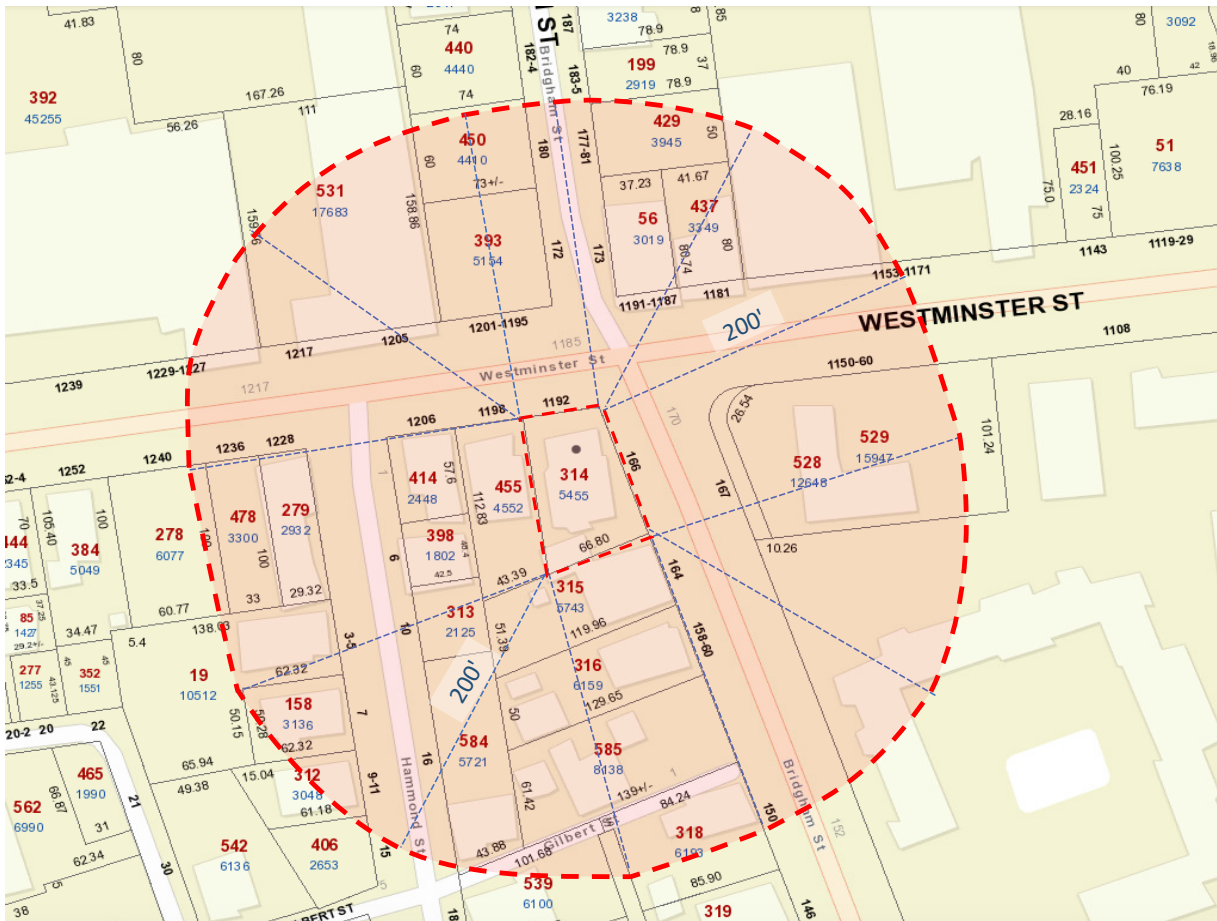
DATE:
11/12/2021

SCALE:
3/8"=1'-0"

A6.1

1192 Westminster St
 200' abutters

plat	lot	property address	owner	mailing address	city	state	zip
1	32	596	1153 Westminster St	Steeltex Corp	301 Knight St	Providence	RI 02909
2	32	437	1179 Westminster St	Joseph Topouzis	1179 Westminster St	Providence	RI 02909
3	32	56	1187 Westminster St	Luis Reyes	1187 Westminster St	Providence	RI 02909
4	32	393	1193 Westminster St	Toro Properties LLC	1205 Westminster St	Providence	RI 02909
5	32	531	1205 Westminster St	Toro Properties LLC	1205 Westminster St	Providence	RI 02909
6	32	392	1229 Westminster St	GPS Family Property LLC	95 Terre Mar Dr	North Kingston	RI 02852
7	32	528	1150 Westminster St	Elizabeth Esquiaqui	667 George Washington Hwy	Lincoln	RI 02860
8	32	529	1156 Westminster St	Maria Esquiaqui	667 George Washington Hwy	Lincoln	RI 02860
9	32	455 / 1	1200 Westminster St Unit 1	Olivier M Gherardi	1200 Westminster St Unit 1	Providence	RI 02909
10	32	455 / 2	1200 Westminster St Unit 2	Megan Hamlin-Black	1200 Westminster St Unit 2	Providence	RI 02909
11	32	455 / 3	1200 Westminster St Unit 3	Alison Agular	1200 Westminster St Unit 3	Providence	RI 02909
12	32	455 / 4	1200 Westminster St Unit 4	Olivier M Gherardi	1198 Westminster St Unit 1	Providence	RI 02909
13	32	414	1206 Westminster St	1206 Westminster Street Realty LLC	1206 Westminster St	Providence	RI 02909
14	32	279	1228 Westminster St	ReFocus Inc	45 Greeley St	Providence	RI 02904
15	32	478	1236 Westminster St	ReFocus Inc	45 Greeley St	Providence	RI 02904
16	32	278	1240 Westminster St	ReFocus Inc	45 Greeley St	Providence	RI 02904
17	32	318	150 Bridgham St	Peter S Friedrichs	150 Bridgham St	Providence	RI 02909
18	32	316	158 Bridgham St	Steven Coelho	158 Bridgham St	Providence	RI 02909
19	32	315	164 Bridgham St	Rafaelina Gomez	164 Bridgham St	Providence	RI 02909
20	32	429	177 Bridgham St	Rodney T Carter	187 Bridgham St	Providence	RI 02909
21	32	199	183 Bridgham St	Rodney T Carter	187 Bridgham St	Providence	RI 02909
22	32	450	180 Bridgham St	West Broadway Neighborhood Assoc	1570 Westminster St	Providence	RI 02909
23	32	527	207 Cranston St	Prov Bldg San + Ed Assoc	c/o Winn Residential 6 Fanueil Hall Market Place	Boston	MA 02109
24	32	19	3 Hammond St	Mario J Matute	3 Hammond St	Providence	RI 02909
25	32	398	6 Hammond St	Anthony J Assad	6 Hammond St	Providence	RI 02909
26	32	158	7 Hammond St	Malvin Arias	7 Hammond St	Providence	RI 02909
27	32	312	9 Hammond St	Sara J Majka	9 Hammond St	Providence	RI 02909
28	32	313	no record	no record			
29	32	406	15 Hammond St	SIC Holdings LLC, att Jeff Corey, Siobhan Callaha	7 Gilbert St	Providence	RI 02909
30	32	584	16 Hammond St	Elissa Della-Piana Trustee	16 Hammond St	Providence	RI 02909
31	32	539	18 Hammond St	Karen J Fuerherm	23 Hammond St	Providence	RI 02909
32	32	585	1 Gilbert St	Robert White, Abigail Wesley	1 Gilbert St	Providence	RI 02909







FQ-560



