

APR 18 2023

CITY OF PROVIDENCE  
ZONING BOARD OF REVIEW

APPLICATION FOR VARIANCE OR SPECIAL USE PERMIT

Check Each Type Zoning Relief Sought:

Variance – Use \*  
 Variance – Dimensional\*  
 Special Use Permit \*\*

\* Attach Appendix A to apply for a Use or Dimensional Variances

\*\*Attach Appendix B to apply for a Special Use Permit

**Applicant:**   Vitality Land Holdings LLC  

Address   692 Warren Ave East Providence RI  

E-mail   jgarrahy@garrahyllaw.com  

Zip Code   10914  

Phone   401-439-8270  

*Home/Office*

*Mobile (Cell)* \_\_\_\_\_

**Owner:**   Same as above  

Address \_\_\_\_\_

E-mail \_\_\_\_\_

Zip Code \_\_\_\_\_

Phone \_\_\_\_\_

*Home/Office*

*Mobile (Cell)* \_\_\_\_\_

**Lessee:** \_\_\_\_\_

Address \_\_\_\_\_

E-mail \_\_\_\_\_

Zip Code \_\_\_\_\_

Phone: \_\_\_\_\_

*Home/Office*

*Mobile (Cell)* \_\_\_\_\_

Does the proposal require review by any of the following (check each):

- Downtown Design Review Committee
- I-195 Redevelopment District Commission
- Capital Center Commission
- Historic District Commission

1. **Location of Property:**   12-14 Brush Hill Road 95/534    
*Street Address*

2. **Zoning District(s):**   R-2    
**Special purpose or overlay district(s):** \_\_\_\_\_

3a. **Date owner purchased the Property:**   9/29/2002  

3b. **Month/year of lessee's occupancy:** \_\_\_\_\_

3. Dimensions of each lot:

Lot #	534	Frontage	76	depth	57.96	Total area	3804	sq. ft.
Lot #		Frontage		depth		Total area		sq. ft.
Lot #		Frontage		depth		Total area		sq. ft.

4. Size of each structure located on the Property:

Principal Structure:	Total gross square footage		
Footprint	N/A	Height	
		Floors	
Accessory Structure:	Total gross square footage		
Footprint	N/A	Height	
		Floors	

5. Size of proposed structure(s):	Total gross square footage:	4.044
Footprint	1348	Height
		31.9
		Floors
		3

6a. Existing Lot coverage: (include all buildings, decks, etc.) N/A

6b. Proposed Lot coverage: (include new construction) 34%

7a. Present Use of Property (each lot/structure):  
Vacant

7b. Legal Use of Property (each lot/structure) as recorded in Dept. of Inspection & Standards:  
Vacant

8. Proposed Use of Property (each lot/structure):  
2-Family Dwelling

9. Number of Current Parking Spaces: 0/4 proposed

10. Describe the proposed construction or alterations (each lot/structure):  
2-Family Dwelling

11. Are there outstanding violations concerning the Property under any of the following:

- Zoning Ordinance
- RI State Building Code
- Providence Housing Code

12. List all Sections of the Zoning Ordinance from which relief is sought and description of each section:

Table 4-1	Lot Area - Lot area of 3604 sq. ft. is within 196 sq. ft. of required 4000 sq. ft.
1407 B2 (1407 B2)	Number of Curb Cuts

**13. Explain the changes proposed for the Property.**

Construct two-family dwelling as shown on the submitted Plans.

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*The undersigned acknowledge(s) and agree(s) that members of the Zoning Board of Review and its staff may enter upon the exterior of the Property in order to view the Property prior to any hearing on the application.*

*The undersigned further acknowledge(s) that the statements herein and in any attachments or appendices are true and accurate, and that providing a false statement in this application may be subject to criminal and/or civil penalties as provided by law, including prosecution under the State and Municipal False Claims Acts. Owner(s)/Applicant(s) are jointly responsible with their attorneys for any false statements.*

**Owner(s):** Vitality Land Holdings LLC

**Applicant(s):** Vitality Land Holdings LLC

By: \_\_\_\_\_

By: \_\_\_\_\_

By: \_\_\_\_\_

By: \_\_\_\_\_

Type Name

Signature

*Gianfranco Morrocco*  
*Gianfranco Morrocco*  
*Member*

**All requirements listed and described in the Instruction Sheet must be met or this application will not be considered complete.**

## APPENDIX A

### APPLICATION FOR VARIANCE(S)

Rhode Island General Laws § 45-24-41(c) requires that the Applicant for a variance demonstrate:

- (1) That the hardship from which the applicant seeks relief is due to the unique characteristics of the subject land or structure and not to the general characteristics of the surrounding area; and is not due to a physical or economic disability of the applicant, excepting those physical disabilities addressed in § 45-24-30(16);
- (2) That the hardship is not the result of any prior action of the applicant and does not result primarily from the desire of the applicant to realize greater financial gain;
- (3) That the granting of the requested variance will not alter the general character of the surrounding area or impair the intent or purpose of the zoning ordinance or the comprehensive plan upon which the ordinance is based;
- (4) That the relief to be granted is the least relief necessary; and
- (5) (a) For a **use variance**: That the land or structure cannot yield any beneficial use if it is required to conform to the provisions of the zoning ordinance;
- (b) For a **dimensional variance**, that the hardship suffered by the owner of the subject property if the dimensional variance is not granted amounts to more than a mere inconvenience.

Please provide the following information:

1. **What is the specific hardship from which the applicant seeks relief?** The lot is within 196 sq. ft. of the required lot area to construct a two-family dwelling within the R-2 zoning district. Many of the lots in the area are less than the 4000 sq. ft. requirement.  
One curb cut is a hardship given the size and configuration of the lot for a duplex.  
\_\_\_\_\_
2. **Specify any and all unique characteristics of the land or structure that cause the hardship?**  
The land is located between two streets and the area was platted prior to the lot area requirement of the current zoning ordinance. Most of the lots in the area are less than the 4000 sq. ft. requirement.  
\_\_\_\_\_
3. (a) Is the hardship caused by an economic disability? Yes \_\_\_\_\_ No x  
(b) Is the hardship caused by a physical disability? Yes \_\_\_\_\_ No x  
(c) If the response to subsection (b) is "yes," is the physical disability covered by the Americans with Disabilities Act of 1990 (ADA), 42 U.S.C. § 12101 et seq.?  
Yes \_\_\_\_\_ No \_\_\_\_\_
4. **Did the owner/applicant take any prior action with respect to the Property that resulted in the need for the variance requested? (Examples include, but are not limited to, any changes the owner/applicant made to the structure(s), lot lines, or land, or changes in use of the Property)?**  
Yes \_\_\_\_\_ No x

If "yes," describe any and all such prior action(s), and state the month/year taken.

\_\_\_\_\_

\_\_\_\_\_

**5. State any and all facts to support your position that the applicant is not seeking the variance(s) primarily in order to obtain greater financial gain.**

A two-family dwelling is permitted by right in the R-2 district and no greater financial gain will be realized from the construction of such two-family dwelling that is otherwise permitted in the zoning district.

A second curb cut will not result in any greater financial gain to the applicant

**6. State any and all facts that support your position that you are seeking the least relief necessary to lessen or eliminate the hardship (for example, why there are no viable alternatives to your proposed plan).**

The only relief necessary is from the lot area requirement and the applicant already sought an administrative modification. All other requirements will be satisfied except for the number of curb cuts

The relief sought for the curb cut is the least relief necessary and the only way to provide each unit with its own driveway given the configuration of the lot .

**7. If you are seeking a USE VARIANCE, set forth all facts that demonstrate that the Property cannot have any beneficial use if you are required to use it in a manner allowed in the zoning district.**

**8. If you are seeking a DIMENSIONAL VARIANCE, set forth all facts that indicate that if the variance is not granted, the hardship the owner/applicant will suffer is more than a mere inconvenience.**

The applicant will suffer more than a mere inconvenience if the variance is not granted because it will be denied the ability to construct a two-family dwelling in an R-2 zoning district on a lot that is within 10% of the lot area requirements of the zoning ordinance.

Sharing a 10 foot driveway with the other unit will result in a more than a mere inconvenience to the residents of each unit .

# Definitive Site Plan for 12 Brush Hill Rd. Providence, Rhode Island

**ZONING REQUIREMENTS**

Zoning District: Resident District R-2  
Assessors' Map And Lot #: 95-534

Owner Of Record & Applicant  
Vitality Land Holdings, LLC.  
692 Warren Ave. East Providence, RI.  
Deed Bk 13698 pg. 347

References:  
- City of Providence Land Records  
- Recorded Plat No 95 lot. 534

**DRAWING INDEX**

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PROPOSED UTILITY PLAN	5 OF 7
SOIL EROSION & SEDIMENT CONTROL PLAN	6 OF 7
PROPOSED LANDSCAPING PLAN	7 OF 7



LOCUS MAP

SCALE 1" = 200'



**JIREH CONSTRUCTION LLC.**

DESIGNER AND GENERAL CONSTRUCTION SERVICES  
WOONSOCKET, RI. 02895  
TEL. (401) 398-7318

"Providing high quality, competitive,  
and innovative planning and construction solutions"

PROJECT: "PROPOSED DUPLEX"  
COVER SHEET  
12 BRUSH HILL RD.  
PROVIDENCE, RI

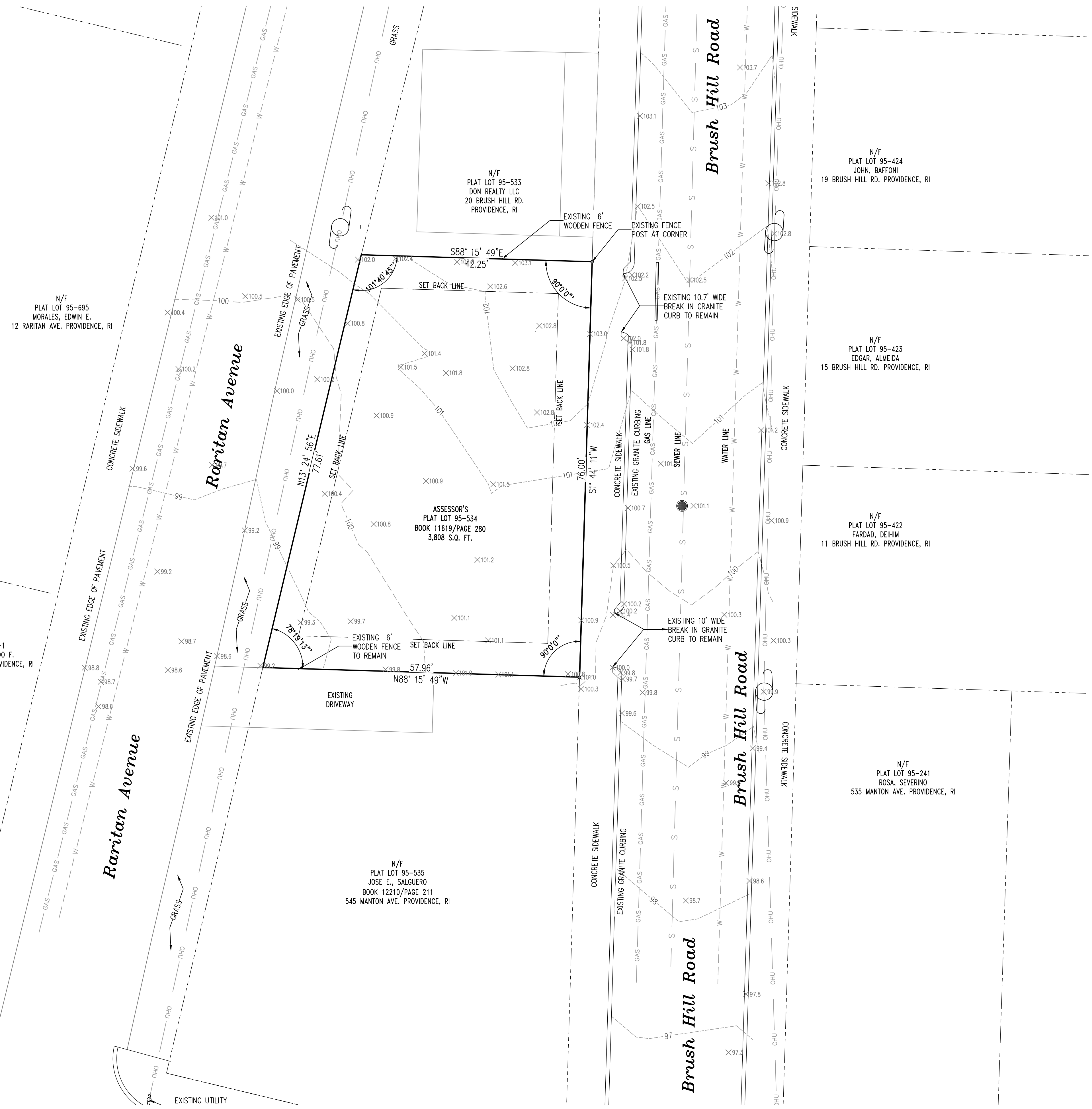
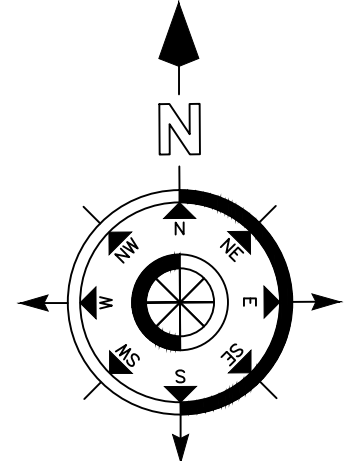
CLIENT: CARLOS TOBON

SCALE: 1" = 200'  
DATE: 11/18/2022  
DRAWN BY: JAB/HAG  
REVIEWED BY: TS  
JOB NO. 2125-03  
SHEET NO. 1

**1 OF 7**

REV. NO.	DATE	DESCRIPTION	BY

REVISIONS



N/F  
PLAT LOT 95-695  
MORALES, EDWIN E.  
12 RARITAN AVE. PROVIDENCE, RI

N/F  
PLAT LOT 95-1  
OVALLE, ESTUARDO F.  
553 MANTON AVE. PROVIDENCE, RI

N/F  
PLAT LOT 95-533  
DON REALTY LLC  
20 BRUSH HILL RD.  
PROVIDENCE, RI

ASSESSOR'S  
PLAT LOT 95-534  
BOOK 11619/PAGE 280  
3,808 S.Q. FT.

N/F  
PLAT LOT 95-535  
JOSE E., SALGUERO  
BOOK 12210/PAGE 211  
545 MANTON AVE. PROVIDENCE, RI

N/F  
PLAT LOT 95-424  
JOHN, BAFFONI  
19 BRUSH HILL RD. PROVIDENCE, RI

N/F  
PLAT LOT 95-423  
EDGAR, ALMEIDA  
15 BRUSH HILL RD. PROVIDENCE, RI

N/F  
PLAT LOT 95-422  
FARDAD, DEHIM  
11 BRUSH HILL RD. PROVIDENCE, RI

N/F  
PLAT LOT 95-241  
ROSA, SEVERINO  
535 MANTON AVE. PROVIDENCE, RI

**ZONING REQUIREMENTS**

Zoning District: Resident District R-2

Assessors' Map And Lot. #: 95-534

Owner Of Record & Applicant  
Vitality Land Holdings, LLC.  
692 Warren Ave. East Providence, RI.  
Deed Bk 13698 pg. 347

**References:**

- City of Providence Land Records
- Boundary Survey & Site Plan  
Plat 95 Lot 534  
M.J.F ENGINEERING ASSOCIATES  
765 Westminister Road, Barrington, RI. 02903  
E-mail: landsurveyri@aol.com

**EX. CONDITIONS LEGEND**

	UTILITY POLE
	OVERHEAD WIRES
	GAS LINE
	SEWER LINE
	WATER LINE
	RESIDENTIAL DISTRICT
	WOODEN FENCE
	SEWER MANHOLE

**GENERAL NOTES:**

1. This plan is not intended to be used for location of property lines.
2. The general contractor and all subcontractors shall comply with state and local building codes and any governmental agency having jurisdiction.
3. Contractor shall verify all dimensions in the field. Report any discrepancies in drawings and/or field conditions to the engineer. Do not scale drawings. If a dimension is not shown, consult engineer.

**PROVIDENCE, RI ZONING ANALYSIS TABLE**

ZONE REQUIREMENTS - (R-2)	REQUIRED	EXISTING
MINIMUM LOT AREA	N/A	3,808 S.Q. FT.
MINIMUM LOT WIDTH	N/A	76 FT.
MAXIMUM BUILDING HEIGHT	45 FT.	N/A
MAXIMUM BUILDING COVERAGE	45 %	N/A
MAXIMUM IMPERVIOUS SURFACE - FRONT YARD	33 %	N/A
MAXIMUM IMPERVIOUS SURFACE - REAR YARD	50 %	N/A
MAXIMUM TOTAL IMPERVIOUS COVERAGE	65 %	N/A
MINIMUM FRONT YARD (BRUSH HILL ROAD)	6 FT.	N/A
MINIMUM FRONT YARD (RARITAN AVE)	5 FT.	N/A
MINIMUM INTERIOR SIDE SETBACK	6 FT.	N/A
MINIMUM REAR YARD SETBACK	5 FT.	N/A
TREE CANOPY	30%	N/A



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PROJECT: "PROPOSED DUPLEX"  
EXISTING CONDITION PLAN  
12 BRUSH HILL RD.  
PROVIDENCE, RI

CLIENT: CARLOS TOBON

SCALE: 1" = 10'

DATE: 11/18/2022

DRAWN BY: JAB/HAG

REVIEWED BY: TS

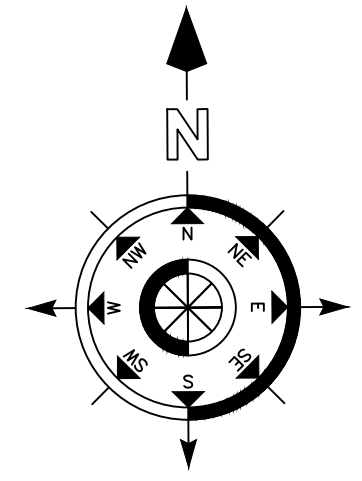
JOB NO. 2125-03

SHEET NO. 2

**2 OF 7**

REV. NO.	DATE	DESCRIPTION	BY





**ZONING REQUIREMENTS**

Zoning District: Resident District R-2  
Assessors' Map And Lot #: 95-534

**Owner Of Record & Applicant**  
Vitality Land Holdings, LLC.  
692 Warren Ave. East Providence, RI.  
Deed Bk 13698 pg. 347

**References:**  
- City of Providence Land Records  
- Recorded Plat No 95 Lot No. 534

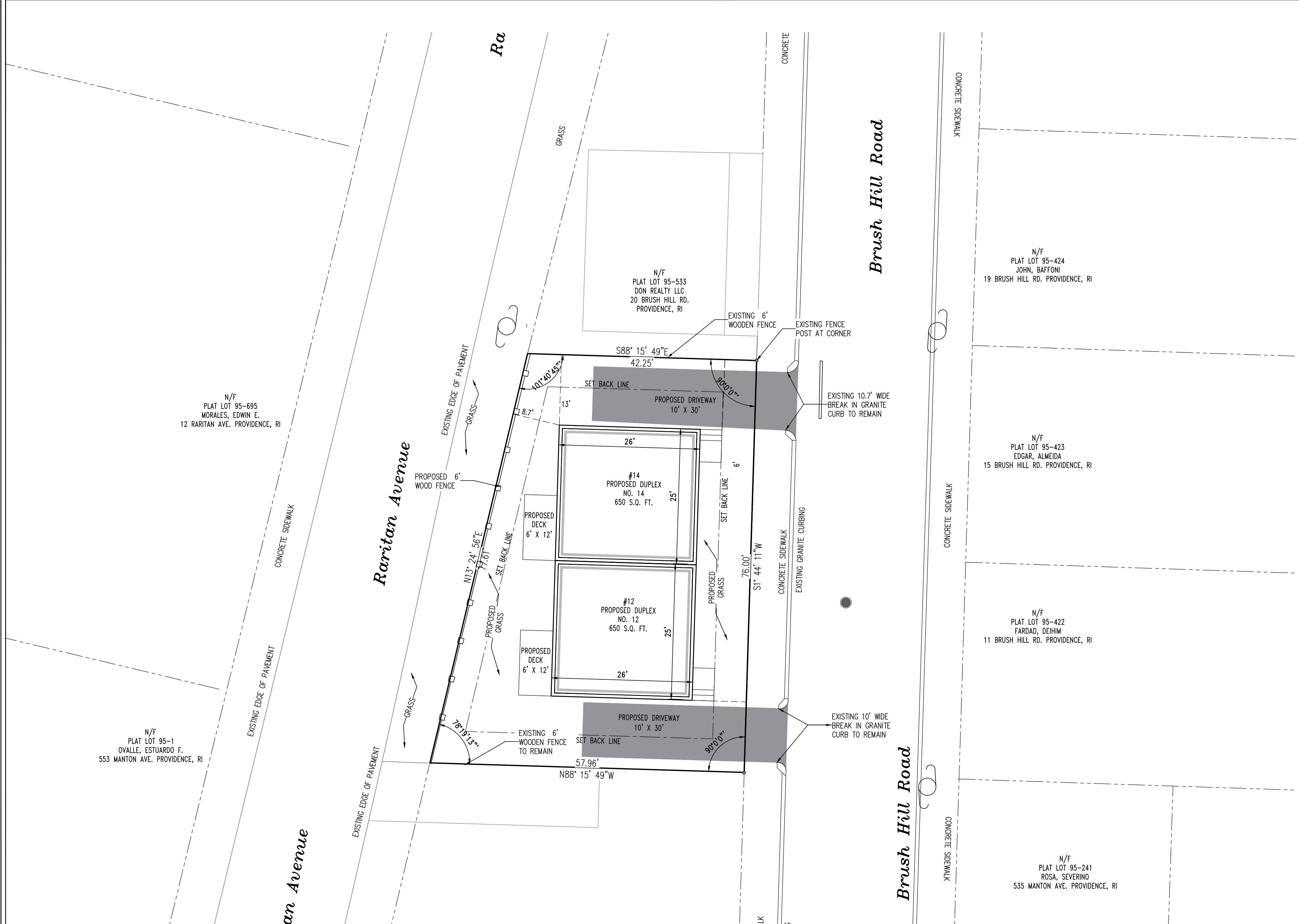
**GENERAL SITE NOTES:**

- All work shall conform to the Rhode Island State and all other applicable local and federal rules and regulations.
- It is the responsibility of the contractor to review all of the drawings and specifications associated with this project work scope prior to the initiation of construction. Should the contractor find a conflict with the documents, relative to the specifications or applicable codes, it is the contractor's responsibility to notify the engineer of record in writing prior to the start of construction.
- All utility locations are approximate. It is the responsibility of the contractor to locate conduits, product piping, etc. prior to commencement of excavation of any type.
- All excavated unsuitable material must be transported to an approved disposal location.
- It shall be the contractor's responsibility to notify "DIG-SAFE" (811) 72 business hours prior to any excavation at this site. Contractor shall also notify the Providence Water and Sewer Departments to mark out their utilities.
- The limits of work shall be clearly marked in the field prior to the start of construction or site clearing. Contractor is responsible for providing all necessary traffic safety measures at all times.
- Solid waste to be disposed of by contractor in accordance with all local, state and federal regulations.
- Any reproduction of these Engineered Documents without the prior consent of the "Engineer of Record" is strictly prohibited.
- In case of discrepancies between plans, the site plan will supersede in all cases. Notify Engineer of Record of any conflicts.

**GENERAL NOTES:**

- This plan is not intended to be used for location of property lines. A complete property survey shall be performed if property line location is needed.
- The general contractor and all subcontractors shall comply with state and local building codes and any governmental agency having jurisdiction.
- Contractor shall verify all dimensions in the field. Report any discrepancies in drawings and/or field conditions to the engineer. Do not scale drawings. If a dimension is not shown, consult engineer.

PROVIDENCE, RI ZONING ANALYSIS TABLE			
ZONE REQUIREMENTS - (R-2)	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	N/A	3,808 S.Q. FT.	SAME
MINIMUM LOT WIDTH	N/A	76 FT.	SAME
MAXIMUM BUILDING HEIGHT	45 FT.	N/A	25 FT.
MAXIMUM BUILDING COVERAGE	45 %	N/A	34 %
MAXIMUM IMPERVIOUS SURFACE - FRONT YARD	33 %	N/A	32.6 %
MAXIMUM IMPERVIOUS SURFACE - REAR YARD	50 %	N/A	13.4 %
MAXIMUM TOTAL IMPERVIOUS COVERAGE	65 %	N/A	54.9 %
MINIMUM FRONT YARD (BRUSH HILL ROAD)	6 FT.	N/A	6 FT.
MINIMUM FRONT YARD (RARITAN AVE)	5 FT.	N/A	8.7 FT.
MINIMUM INTERIOR SIDE SETBACK	6 FT.	N/A	13 FT.
MINIMUM REAR YARD SETBACK	5 FT.	N/A	8.7 FT.
TREE CANOPY	30 %	N/A	34 %



**MAXIMUM IMPERVIOUS SURFACE**

**FRONT YARD CALCULATION**  
Section 202. O. 1: "Front yard and Front setback" A front yard is located between a principal building line and the front lot line.  
Based on section 202. O.1  
Front yard area = 760 s.q. ft.  
Asphalt driveway = 200 s.q. ft.  
Platform Stair = 48 s.q. ft.  
248/760 = 0.3263 = 32.6%

**REAR YARD CALCULATION**  
Section 202. O. 4: "Rear yard and Rear setback" A rear yard is located between a principal building line and the rear lot line.  
Based on section 202. O.4  
Rear yard area = 1.071 s.q. ft.  
Deck = 144 s.q. ft.  
144/1.071 = 0.1343 = 13.4%

**TOTAL IMPERVIOUS COVERAGE CALCULATION**  
Table 4-1: RESIDENTIAL DISTRICT DIMENSIONAL STANDARDS R-2 ( 65%)  
Building = 1.300 s.q. ft.  
Asphalt driveway = 600 s.q. ft.  
Platform Stair = 48 s.q. ft.  
Deck = 144 s.q. ft.  
1.300 s.q. ft.+600 s.q.ft. + 48 s.q. ft. + 144 s.q. ft = 2.092 s.q. ft  
2.092/3.808 = 0.5494 = 54.9 %

**FRONT YARD AND FRONT SETBACK CALCULATION**

Section 202. O. 1: "Front yard and Front setback" A front setback is the required minimum distance per the zoning district that a principal building shall be located from the front lot line.

Section 402.B : The build to zone is calculate as the "Average of the front setbacks of developed lots within 100 feet on either side of the subject lot on the same side of the street as the subject lot." The resulting calculation can be increased or decreased by five feet to establish the build-to-zone."

Using the average of the front set backs for abutter properties within 100 ft. on both directions from the subject property, we have:  
Approx: Brush Hill Rd. 0 ft + 12 ft + 20 ft = 32 ft / 3 = 10.6 ft.  
Raritan Ave. 0 ft + 4 ft = 4 ft / 2 = 2 ft.

Section 402.B of the zoning ordinance allows for the setback to be adjusted 5 plus minus feet.

Proposed set back line = 6 ft. for Brush Hill Rd.  
Proposed set back line = 5 ft. for Raritan Ave.

PROJECT: "PROPOSED DUPLEX"  
PROPOSED SITE PLAN  
12 BRUSH HILL RD.  
PROVIDENCE, RI

CLIENT: CARLOS TOBON

SCALE: 1" = 10'

DATE: 11/18/2022

DRAWN BY: JAB/HAG

REVIEWED BY: TS

JOB NO. 2125-03

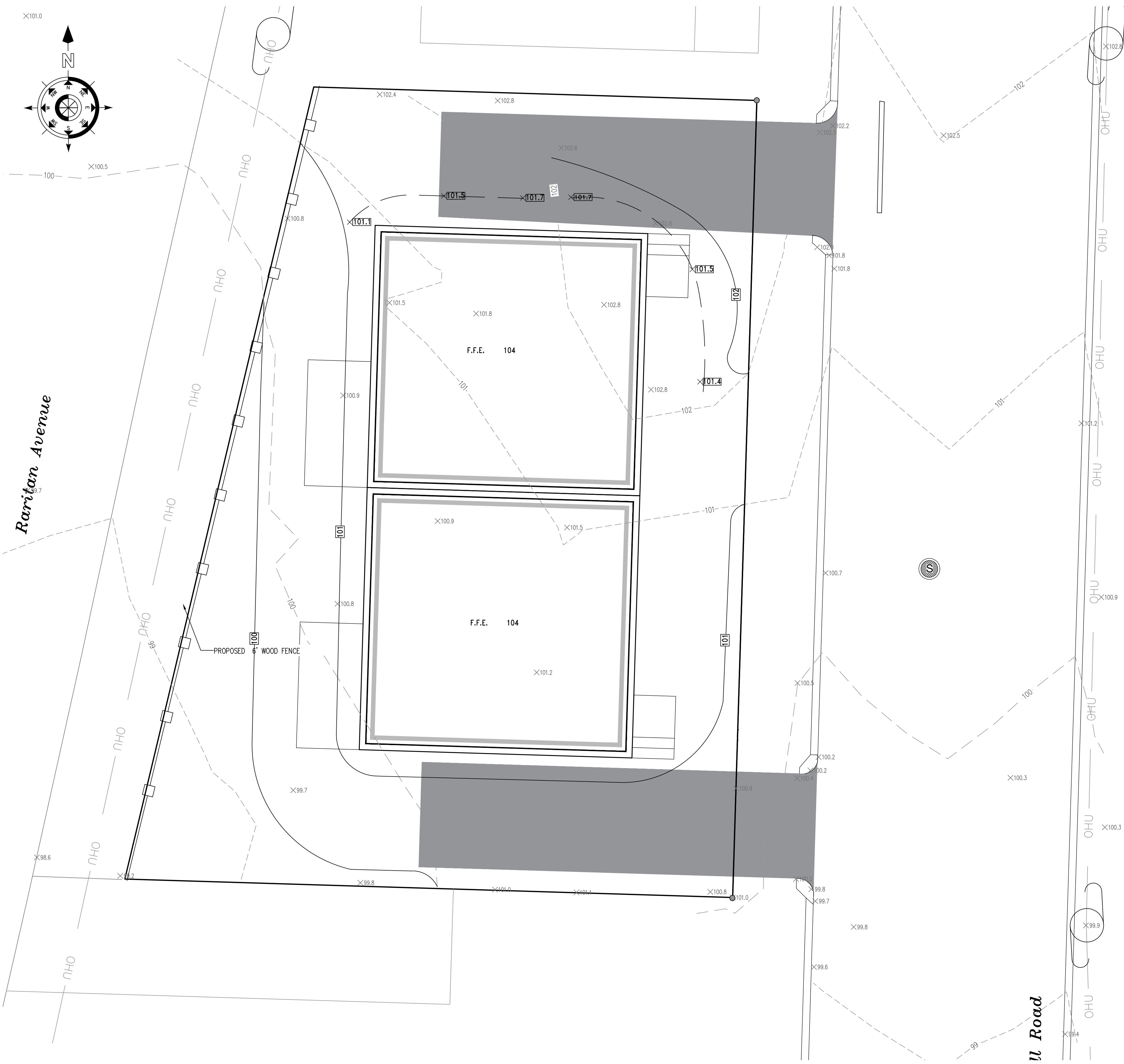
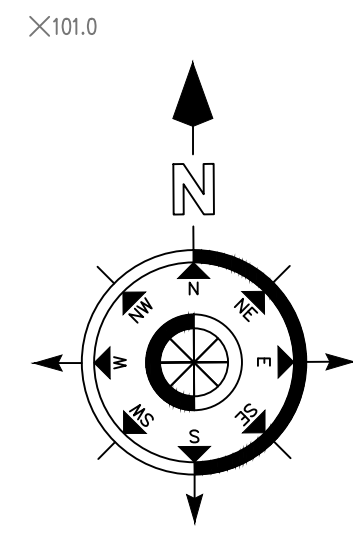
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**3** OF **7**

REV. NO.	DATE	DESCRIPTION	BY







**ZONING REQUIREMENTS**

Zoning District: Resident District R-2  
Assessors' Map And Lot. #: 95-534

**Owner Of Record & Applicant**  
Vitality Land Holdings, LLC.  
692 Warren Ave. East Providence, RI.  
Deed Bk 13698 pg. 347

**References:**  
- City of Providence Land Records  
- Recorded Plat No 95 Lot No. 534

**GENERAL GRADING NOTES:**

1. Contractor is responsible for verification of existing topography information and utility invert elevations prior to the commencement of any construction. Contractor to ensure 1.0% minimum grade across all paved surfaces and slope along all gutters to prevent ponding. The contractor is responsible for identifying all discrepancies and other conditions that may effect public safety as well as the project cost to the engineer immediately in writing.
2. The general contractor and all subcontractors shall comply with state and local building codes and any governmental agency having jurisdiction.
3. Contractor shall verify all dimensions in the field. Report any discrepancies in drawings and/or field conditions to the engineer. Do not scale drawings. If a dimension is not shown, consult engineer.
4. Proposed top of curb elevations to be generally 6" above existing local asphalt grade. Field adjust to create a minimum of 1.0% gutter grade along curb face. Engineer to approve final curbing cut sheets prior to installation.
5. All site work including concrete mats and paving shall be constructed in accordance with all applicable state, federal, and local codes, rules, and regulations.

**GRADING LEGEND**

- 435 --- EXISTING CONTOUR LINE
- 438 --- PROPOSED CONTOUR LINE
- X17.25 --- PROPOSED SPOT ELEVATION
- X17.25 --- EXISTING SPOT ELEVATION



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PROJECT: "PROPOSED DUPLEX"  
PROPOSED GRADING PLAN  
12 BRUSH HILL RD.  
PROVIDENCE, RI

CLIENT: CARLOS TOBON

SCALE: 1" = 5'

DATE: 11/18/2022

DRAWN BY: JAB/HAG

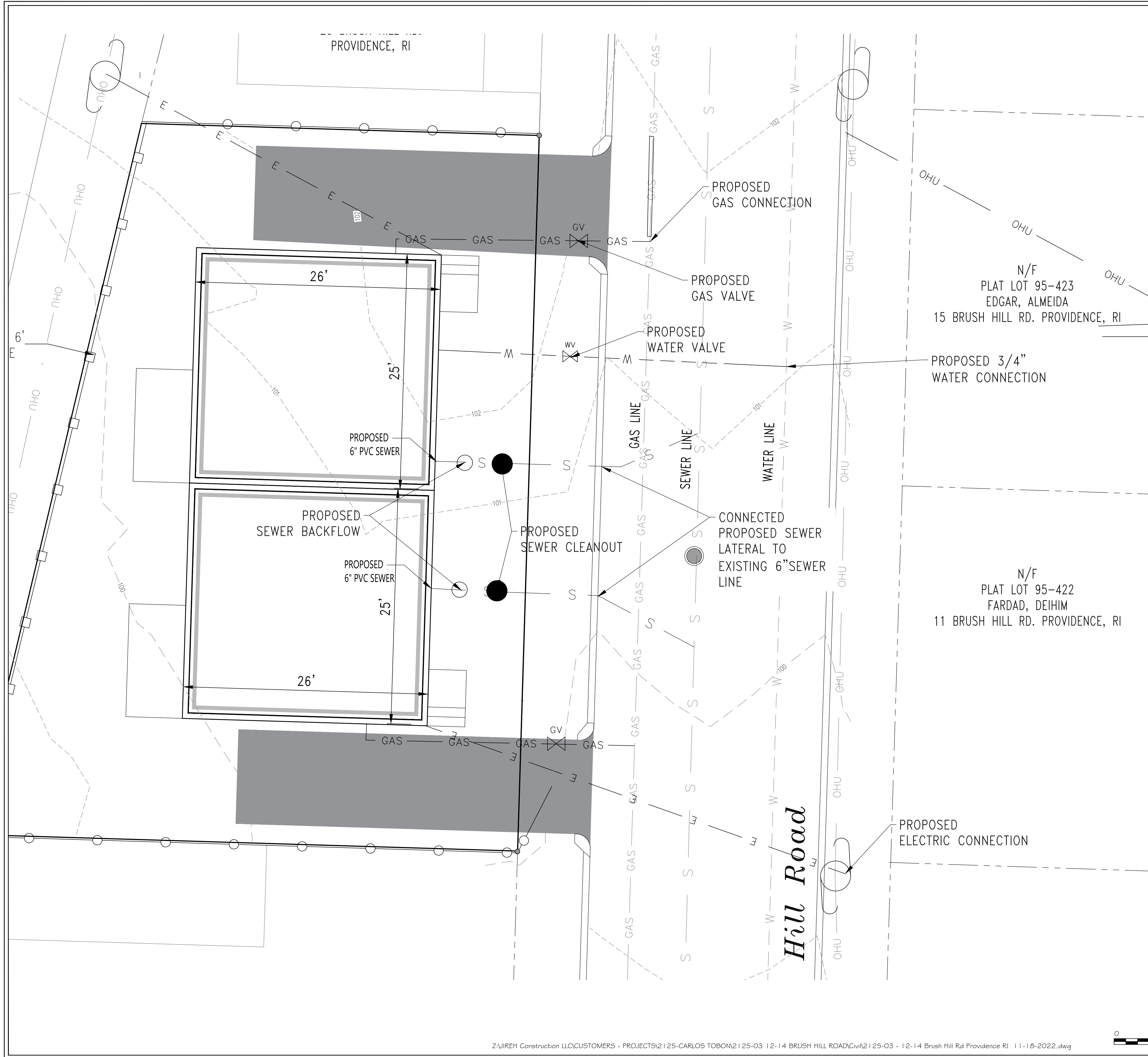
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**4 OF 7**

REV. NO.	DATE	DESCRIPTION	BY

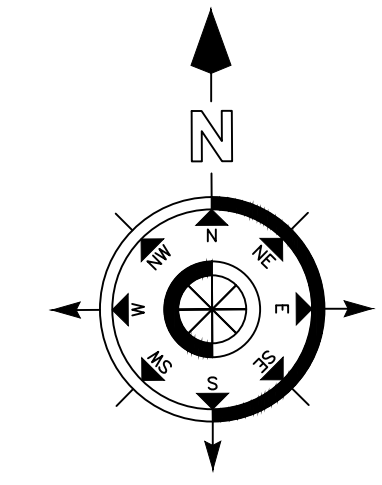


**ZONING REQUIREMENTS**

Zoning District: Resident District R-2  
Assessors' Map And Lot #: 95-534

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UTILITY LEGEND	
	GAS LINE
	SEWER LINE
	WATER LINE
	PROPOSED WATER VALVE
	PROPOSED GAS VALVE
	ELECTRIC / TELEPHONE WIRE
	UTILITY POLE

**GENERAL NOTES:**

- The general contractor and all subcontractors shall comply with state and local building codes and any governmental agency having jurisdiction.
- Contractor shall verify all dimensions in the field. Report any discrepancies in drawings and/or field conditions to the engineer. Do not scale drawings. If a dimension is not shown, consult engineer.
- This plan is not intended to be used for location of utility lines. Prior to construction the general contractor and all subcontractors shall verify the location of all existing utilities.
- Do not attach roof drainage to public drain or sanitary sewer connection.

CITY OF PROVIDENCE  
PUBLIC ROW - STANDARD DETAILS

All construction in the ROW must be in accordance with the City's Standard Details available at <http://www.providenceri.gov/public-works/forms/> under Reports and Publications.

-Sidewalk Removal Detail (refer to the Standards to be Employed by Licensed Sidewalk Contractors for Road and Sidewalk Openings).



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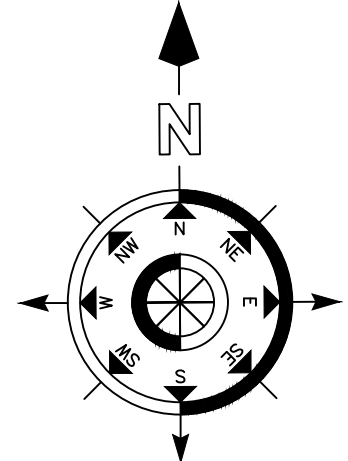
PROJECT: "PROPOSED DUPLEX"  
12 BRUSH HILL RD.  
PROVIDENCE, RI  
CLIENT: CARLOS TOBON

SCALE: 1" = 5'  
DATE: 11/18/2022  
DRAWN BY: JAB/HAG  
REVIEWED BY: TS  
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**5 OF 7**



REV. NO.	DATE	DESCRIPTION	BY



**ZONING REQUIREMENTS**  
 Zoning District: Resident District R-2  
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LEGEND		
	Name	Quantity
	Red Horse Chestnut (700 S.Q. FT.) (R. H.)	4 units
	GRASS	1,701 S.F.

**PLANTING NOTES:**

- Plant material shall be furnished and installed as indicated; including all labor, materials, plants, equipment, incidentals, and clean-up.
- The contractor shall be responsible for planting at correct grades and alignment. Layout to be approved by Owner or Owner's representative prior to installation.
- Plants shall be typical of their species and variety, have normal growth habits, well developed branches, densely foliated, vigorous root systems and be free from defects and injuries.
- Contractor shall report any soil or drainage conditions considered detrimental to the growth of plant material.
- All plant material shall be guaranteed by the contractor to be in vigorous growing condition. Provisions shall be made for a growth guarantee of at least one year from the date of acceptance for trees and shrubs. Replacements shall be made at the beginning of the first succeeding planting season. All replacements shall have a guarantee equal to that stated above.
- Insofar as it is practicable, plant material shall be planted on the day of delivery. In the event this is not possible, the contractor shall protect stock not planted. Plants shall not remain unplanted for longer than a three day period after delivery. Any plants not installed during this period will be rejected.
- Quality and size of plants, spread of roots, and size of balls shall be in accordance with ANSI 260 (rev. 1980) "American Standard for Nursery Stock" as published by the American Association of Nurserymen, Inc.
- All plants shall be planted in amended top soil that is thoroughly watered and tamped as back filling progresses. Planting mix to be as shown on planting details. Large planting areas to incorporate fertilizer and soil conditioners as stated in planting specifications.
- Plants shall not be bound with wire or rope at any time so as to not damage the bark or break branches. Plants shall be handled from the bottom of the ball only.
- Planting operations shall be performed during periods within the planting season when weather and soil conditions are suitable and in accordance with accepted local practice. Plants shall not be installed in topsoil that is in a muddy or frozen condition. All plant material shall be sprayed with "Wilt-Pruf" or equal as per manufacturer's instructions.
- No plant, except ground covers, shall be planted less than two feet from existing or proposed structures and sidewalks.
- Set all plants plumb and straight. Set at such level that a normal or natural relationship to the crown of the plant with the ground surface will be established. Locate plant in the center of the pit.
- All injured roots shall be pruned utilizing clean, sharp tools to make clean ends before planting. It is advisable to prune approximately 1/3 of the growth of large trees (2" caliper and over) by the removal of superfluous branches, those which cross, those which run parallel, etc. Main leader of trees will not be cut back. Long side branches, however, must be shortened.
- Each tree and shrub shall be pruned in accordance with standard horticultural practice to preserve natural character of plant. Pruning shall be done with clean, sharp tools.
- Trees shall be supported immediately after planting. All trees six (6) inches and over in caliper shall be guyed. Smaller trees shall be staked. Guying wires and stakes shall be installed as indicated. The landscape contractor shall remove staking, guying & tree wrap at the end of the one year maintenance & guarantee period.
- The trunks of all trees shall be wrapped as soon as possible after planting according to standard procedures and as indicated.
- All planting beds shall be mulched with 3" layer of double shredded hardwood bark mulch.
- New planting areas and sod shall be adequately irrigated or watered to establish the proposed plants and lawn.
- Prior to the issuance of any certificate of occupancy, the proposed landscape as shown on the approved landscape plan must be installed, inspected and approved by the City of Providence. The City of Providence shall take into account seasonal considerations in this regard as follows. The planting of trees, shrubs, vines or ground cover as required by or associated with the site plan approval by the Planning Board shall be installed during the following planting seasons:

TYPE	DATES
PLANTS	3/15 TO 12/15
LAWN	3/15 TO 6/15
	9/15 TO 12/1

Furthermore, the following tree varieties shall not be planted during the fall planting season due to the hazards associated with planting these trees in this season.

- |                          |                                      |
|--------------------------|--------------------------------------|
| ACER RUBRUM              | POPULUS VARIETIES                    |
| BETULA VARIETIES         | PRUNUS VARIETIES                     |
| CARPINUS VARIETIES       | PYRUS VARIETIES                      |
| CRATEGUS VARIETIES       | QUERCUS VARIETIES                    |
| KOELREUTERIA             | SALIX WEEPING VARIETIES              |
| LIQUID AMBER STYRACIFLUA | TILIA TOMENTOSA                      |
| LIRODENDRON TULIPIFERA   | ZELKOVA VARIETIES PLATANUS ACERFOLIA |

Any plantings installed in conflict with this requirement must receive the written approval of the engineer prior to planting. Failure to comply with these requirements will require the removal of the planting in question. This requirement does not apply to seeding or sodding or plantings specifically for soil stabilization purposes. The planting associated with any lot given a certificate of occupancy outside these periods shall be provided during the previous or next appropriate season.

- All disturbed areas to be treated with 4" top soil & seeded in accordance with permanent stabilization methods indicated on soil erosion sediment control sheet.



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 DESIGNER AND GENERAL CONSTRUCTION SERVICES  
 WOONSOCKET, RI. 02895  
 TEL. (401) 398-7318

"Providing high quality, competitive, and innovative planning and construction solutions"

PROJECT: "PROPOSED DUPLEX" LANDSCAPING PLAN  
 12 BRUSH HILL RD. PROVIDENCE, RI

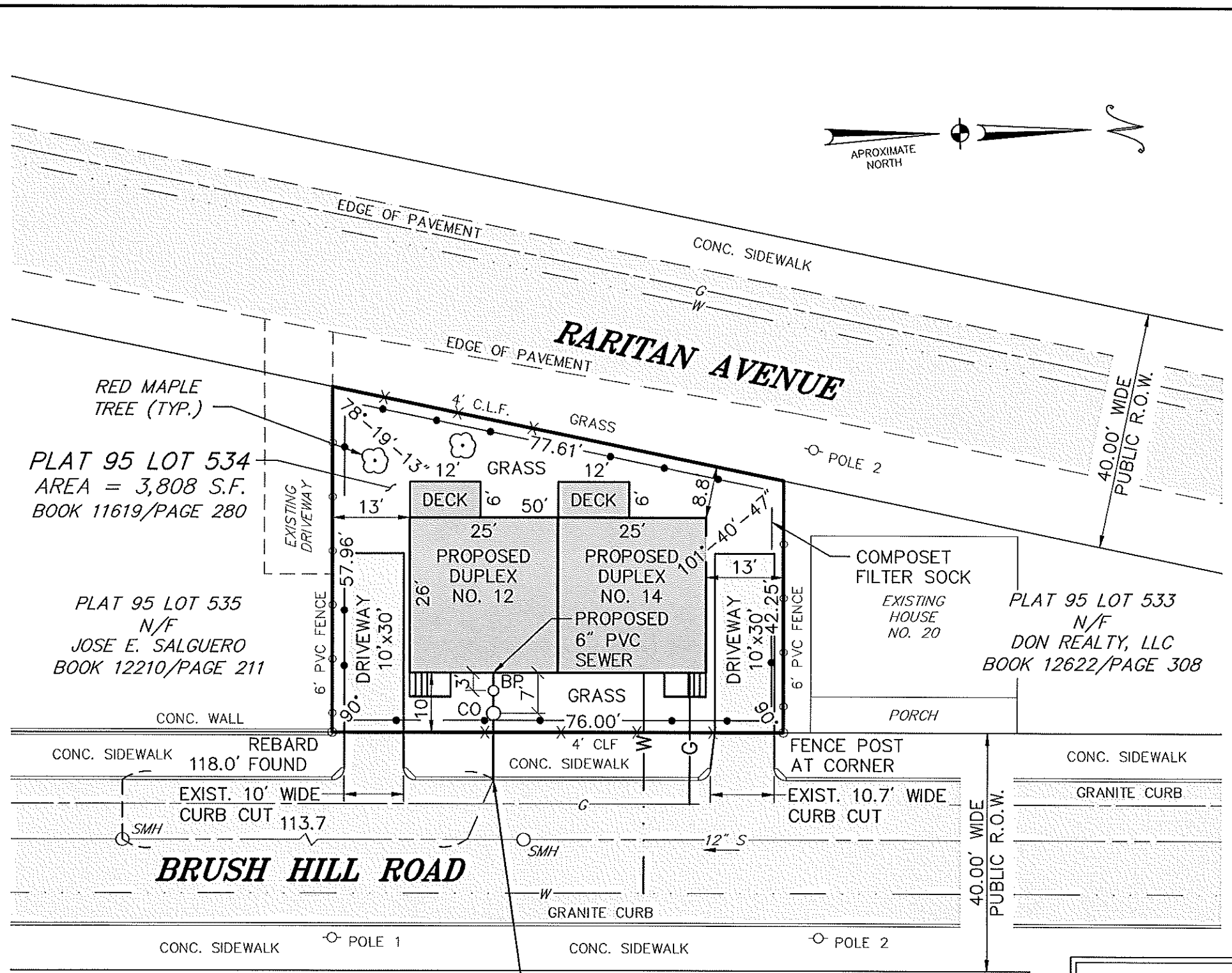
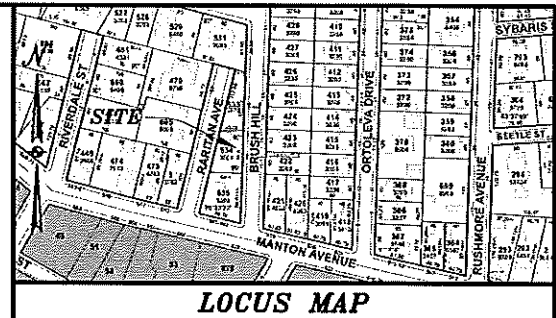
CLIENT: CARLOS TOBON

SCALE: 1" = 5'  
 DATE: 11/18/2022  
 DRAWN BY: JAB/HAG  
 REVIEWED BY: TS  
 JOB NO. 2125-03  
 SHEET NO. 1

**7 OF 7**

REV. NO.	DATE	DESCRIPTION	BY




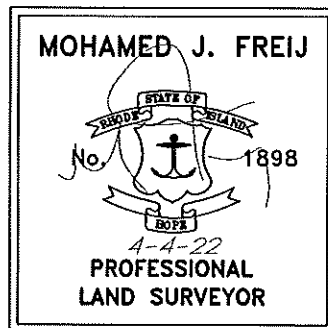


**NOTES:**

1. REFERENCE: RECORD PLAT BOOK 27/PAGE 25, RECORD PLAT CARD 908 (FAIRMOUNT PARK 1905) SEWER PLAN 178/34 STREET LINE PLAN NO. 87A-63
2. ZONING: R2  
PROPOSED BUILDING COVERAGE = 34.1%  
PER 402.B, MINIMUM FRONT YARD SETBACK IS 6.5' BRUSH HILL ROAD  
PER 402.B, MINIMUM FRONT YARD SETBACK IS 4.6' RARITAN AVENUE  
PROPOSED IMPERVIOUS COVERAGE = 15.8%  
PROPOSED TREE COVERAGE = 52.5%  
TOTAL PROPOSED IMPERVIOUS SURFACE COVERAGE = 49.9%
3. SITE IS LOCATED IN ZONE "X" PER FIRM MAP NO. 44007C03304J EFFECTIVE 10-2-15.
4. ALL ROOF STORMWATER RUNOFF SHALL BE CONTAINED AND TREATED ONSITE. NO CONNECTION TO SEWER OR STORMWATER LINE IS ALLOWED.
5. ALL CONSTRUCTION IN THE PUBLIC ROW MUST BE IN ACCORDANCE WITH THE CITY'S STANDARD DETAILS AVAILABLE AT [HTTPS://WWW.PROVIDENCERI.GOV/PUBLIC-WORKS/FORMS/](https://www.providenceri.gov/public-works/forms/) UNDER "REPORTS + PUBLICATIONS".
6. UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATELY LOCATED, MUST CONTACT DIG-SAFE AT 1-888-DIG-SAFE BEFORE THE START OF CONSTRUCTION.
7. THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE STATE OF RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS NOVEMBER 25, 2015 AS FOLLOWS:  
COMPREHENSIVE BOUNDARY SURVEY- CLASS I

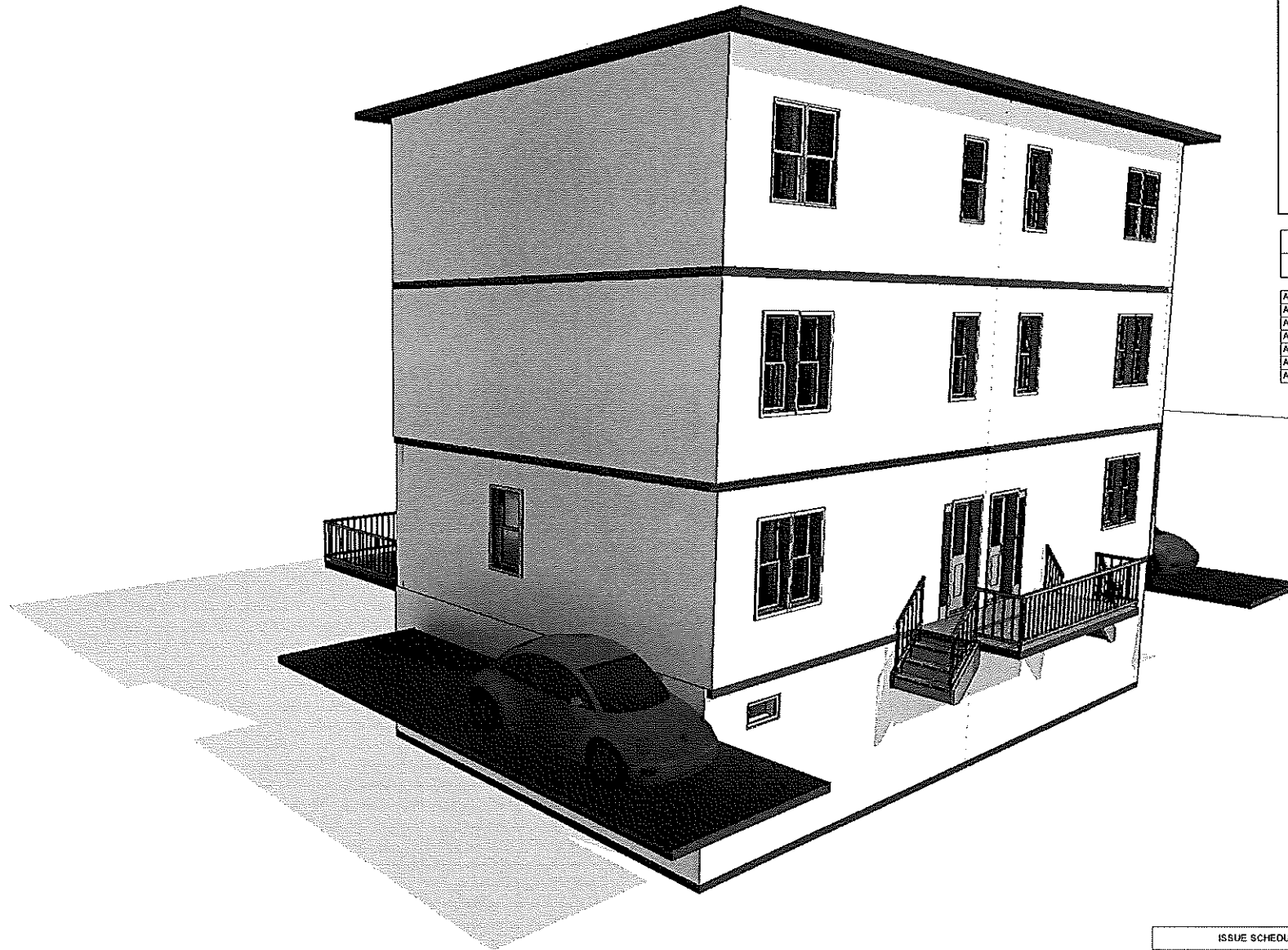
THE PURPOSE FOR CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS:  
BOUNDARY SURVEY & SITE PLAN

BY  DATE 4-4-22  
MOHAMED J. FREIJ PLS NO. 1898 C.O.A. NO. A263  
REGISTERED PROFESSIONAL LAND SURVEYOR



<b>BOUNDARY SURVEY &amp; SITE PLAN</b> PLAT 95 LOT 534 12-14 BRUSH HILL ROAD PROVIDENCE, RI 02909		PROJECT NO.
		SCALE 1" = 20'
OWNER: <b>39 VENTURES, LLC</b> 765 WESTMINSTER STREET STE 202 PROVIDENCE, R.I. 02903 TELEPHONE 401-241-9439 SAM@ELEVEN91.COM		DATE APRIL 4, 2022
		DRAWN BY RMM
PREPARED BY <b>MJF ENGINEERING ASSOCIATES</b> 326 SOWAMS ROAD BARRINGTON, R.I. 02806 TEL. 401-241-5153 OR 401-247-2003 E-MAIL LANDSURVEYRI@AOL.COM		CHECKED BY MJF
		FILENAME BRUSH HILL ROAD.DWG
		1 of 1 SHTS

# Proposed duplex 12 Brush Hill Providence , RI



**ARCHITECTURAL NOTES**

1. All work shall conform to the 2018 Residential Building code (IRC), the Rhode Island state building code and all applicable local jurisdiction rules and regulations.
2. Contractors to verify all dimension datum and levels prior to construction. All dimensions are to middle of walls or outside face of concrete walls unless noted otherwise. Do not scale drawings for critical dimensions.
3. Contractor shall be responsible for all required safety precautions and the methods, techniques, sequences or procedures required to perform the work.
4. Do not significantly vary or modify the work shown without written instructions from the architect. Report errors and omissions to the architect immediately.
5. Fireblocking shall be provided to cut off all concealed draft openings (both vertical and horizontal) and to form an effective fire barrier between stories, and between a top story and the roof space. Fireblocking shall be provided in wood frame construction per IRC R302.11

Sheet List	
Sheet Number	Sheet Name
A000	Cover Sheet
A100	General Notes
A200	Proposed Basement & First Floor Layout
A300	Proposed Second & Third Layout
A400	Proposed Roof Level Layout
A500	Exterior Elevations
A600	Sections

ISSUE SCHEDULE	
Issue No.	Issue

Rev No.	Description	Date
REVISIONS		

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Designer and General Construction Services  
Woonsocket RI, 02895  
Tel. (401) 854-7519  
\*providing high quality, competitive, and innovative planning and construction solutions.\*

PROJECT: Proposed Two Family Building  
Cover Sheet  
12 BRUSH HILL PROVIDENCE  
CLIENT: Carlos Tobón

SCALE:	
DATE:	11/17/22
DRAWN BY:	MB
REVIEWED BY:	TS
XREF NO.:	2114-06
SHEET NO.:	<b>A000</b>

GENERAL ABBREVIATION INDEX			
&	AND	GA.	GAUGE
@	AT	GALV.	GALVANIZED
A/C	AIR CONDITIONING	GYP. BD.	GYP. BOARD
A.D.	AREA DRAIN	HDR.	HEADER
A.F.F.	ABOVE FINISH FLOOR	H.M.	HOLLOW MATERIAL
ALUM.	ALUMINUM	HORIZ.	HORIZONTAL
ALT.	ALTERNATE	HST.	HEIGHT
APPROX.	APPROXIMATE	I.D.	INSIDE DIAMETER
BD.	BOARD	INSUL.	INSULATION
BLDG.	BUILDING	INT.	INTERIOR
BM.	BEAM	JT.	JOINT
BSMT.	BASEMENT	KIT.	KITCHEN
BTVN.	BETWEEN	LAM.	LAMINATE
BOT.	BOTTOM	LAV.	LAVATORY
C.L.	CENTER LINE	LT.	LIGHT
C.T.	CERAMIC TILE	M.S.	MASONRY
CLG.	CEILING	MAX.	MAXIMUM
CLOS.	CLOSET	MECH.	MECHANICAL
CM	CONSTRUCTION MGR.	MTL.	METAL
CMU	CONCRETE MASONRY UNIT	MFR.	MANUFACTURER
COL.	COLUMN	MIN.	MINIMUM
CONC.	CONCRETE	MISC.	MISCELLANEOUS
CONT.	CONTINUOUS	M.O.	MASONRY OPENING
CONST.	CONSTRUCTION	MTD.	MOUNTED
DEPT.	DEPARTMENT	N.C.	NOT IN CONTRACT
DTL.	DETAIL	NO.	NUMBER
D.F.	DRINKING FOUNTAIN	NOM.	NOMINAL
DI.	DIAMETER	N.T.S.	NOT TO SCALE
DM.	DIMENSION	O.A.	OVERALL
DSP.	DISPENSER	O.C.	ON CENTER
DN.	DOWN	O.D.	OUTSIDE DIAMETER
DR.	DOOR	OPNG.	OPENING
D.S.	DOWN SPOUT	OPT.	OPTIONAL
DWG.	DRAWING	PL.	PLATE
EA.	EACH	P.L.A.M.	PLASTIC LAMINATE
EL.	ELEVATION	PLUMB.	PLUMBING
ELEC.	ELECTRICAL	PLYVD.	PLYWOOD
EQ.	EQUAL	PR.	PROPERTY
EQUIP.	EQUIPMENT	PROP.	PROPERTY
EXIST.	EXISTING	P.S.F.	PER SQUARE FOOT
EXT.	EXTERIOR	P.S.I.	PER SQUARE INCH
F.D.	FLOOR DRAIN	PTD.	PAINTED
FIN.	FINISH	P.V.C.	POLY VINYL CHLORIDE
FL.	FLOOR		
F.O.	FACE OF		
FT.	FOOT		
FURN.	FURNITURE		
		Q.T.	QUARRY TILE
		QTY.	QUANTITY
		R.A.	ALLIED DOME/CQ
		RAD.	RADIUS
		REF.	REFRIGERATOR
		REINF.	REINFORCING
		REV.	REVISION
		REQD.	REQUIRED
		RESIL.	RESILIENT
		RA.	ROOM
		R.O.	ROUGH OPENING
		SCHED.	SCHEDULE
		SEC.	SECTION
		S.F.	SQUARE FOOT
		SHT.	SHEET
		SIM.	SIMILAR
		SPEC.	SPECIFICATION
		SQ.	SQUARE
		S.S.	STAINLESS STEEL
		STD.	STANDARD
		STL.	STEEL
		STRUCT.	STRUCTURAL
		SUSP.	SUSPENDED
		TEL.	TELEPHONE
		THK.	THICK
		THRU.	THROUGH
		T.O.P.	TOP OF PLATE
		T.O.S.	TOP OF STEEL
		T.O.SL.	TOP OF SLAB
		TRT.	TREATED
		TYP.	TYPICAL
		V.C.B.	VINYL COMPOSITION BASE
		V.C.T.	VINYL COMPOSITION TILE
		VERT.	VERTICAL
		V.I.F.	VERIFY IN FIELD
		V.W.C.	VINYL WALL COVERING
		W.	WITH
		W.C.	WATER CLOSET
		WD.	WOOD
		W/O.	WITHOUT
		WP.	WATERPROOFING
		WT.	WEIGHT
		WWW.	WELDED WIRE MESH

### GENERAL NOTES

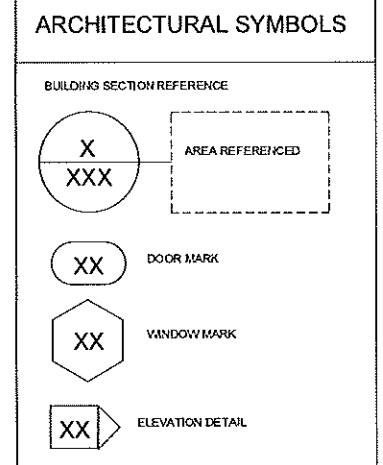
- ALL WORK SHALL CONFORM TO THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC), THE RHODE ISLAND STATE BUILDING CODE AND ALL APPLICABLE LOCAL JURISDICTION RULES AND REGULATIONS.
- CONTRACTORS TO VERIFY ALL DIMENSION DATUM AND LEVELS PRIOR TO CONSTRUCTION. ALL DIMENSIONS ARE TO MIDDLE OF WALLS OR OUTSIDE FACE OF CONCRETE WALLS UNLESS NOTED OTHERWISE. DO NOT SCALE DRAWINGS FOR CRITICAL DIMENSIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE WORK.
- DO NOT SIGNIFICANTLY VARY OR MODIFY THE WORK SHOWN WITHOUT WRITTEN INSTRUCTIONS FROM THE ENGINEER. REPORT ERRORS AND OMISSIONS TO THE ENGINEER IMMEDIATELY.
- FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIREBLOCKING SHALL BE PROVIDED IN WOOD FRAME CONSTRUCTION PER IRC R302.11
- EQUIPMENT LAYOUT, ELECTRICAL COMPONENTS, PLUMBING OR MECHANICAL ELEMENTS TO BE PREPARED BY OTHERS.

### TEMPORARY CONSTRUCTION NOTES

- ALL TEMPORARY WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE RHODE ISLAND STATE BUILDING CODE.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE PROPER SHORING AND BRACING WHEREVER NECESSARY. SHOP DRAWINGS FOR SUCH SHORING SHALL BE PREPARED BY A PROFESSIONAL ENGINEER RETAINED BY THE CONTRACTOR, IN ACCORDANCE WITH ALL APPLICABLE CURRENT RULES AND REGULATIONS. CONTRACTOR SHALL FOLLOW MANUFACTURER RECOMMENDATIONS.
- CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT. PROVIDE ADEQUATE SHORING AND/OR BRACING WHERE STRUCTURE HAS NOT ATTAINED DESIGN STRENGTH.
- SHEETING, SHORING AND BRACING FOR THE LATERAL SUPPORT OF EXCAVATION SHALL REMAIN IN PLACE UNTIL ALL PERMANENT STRUCTURAL SYSTEMS AT AND BELOW GROUND LEVEL ARE COMPLETE. FOR FURTHER INFORMATION ON LATERAL SUPPORT OF EXCAVATION, SEE SPECIFICATIONS.

### WOOD STRUCTURAL NOTES

- TIMBER CONSTRUCTION SHALL CONFORM TO PART II "DESIGN" AS PUBLISHED IN THE "TIMBER CONSTRUCTION MANUAL" (AFC & PA, 2001 EDITION).
- STRUCTURAL TIMBER SHALL BE IDENTIFIED BY THE GRADE MARK OF OR CERTIFICATION OF INSPECTION ISSUED BY A RECOGNIZED GRADING OR INSPECTION BUREAU OR AGENCY.
- STRUCTURAL TIMBER SHALL BE VISUALLY STRESS-GRADED LUMBER IN ACCORDANCE WITH THE PROVISIONS OF ASTM DESIGNATION D245 "METHOD FOR ESTABLISHING STRUCTURAL GRADES AND RELATED ALLOWABLE PROPERTIES FOR VISUALLY GRADED LUMBER."
- ALL FRAMING LUMBER SHALL BE SOUTHERN SPRUCE PINE FIR No. 2 OR BETTER PER WCLB/WAPA GRADING RULES. MAXIMUM MOISTURE CONTENT SHALL BE 19 PERCENT.
- LVL AND PSL MEMBERS SHALL BE MICROLAM 1.5E LVL AND PARALAM 2.0E PSL BY TRUS JOIST OR APPROVED EQUAL.
- SILLS ON CONCRETE SHALL BE PRESSURE TREATED WITH FULL BEARING ON CONCRETE.
- SILL BOLTS: PROVIDE TWO BOLTS MINIMUM PER SILL PIECE WITH A BOLT WITHIN 10" OF EACH END OF EACH PIECE. BOLT SPACING SHALL BE COORDINATED PRIOR TO PLACING OF STUDS AND POSTS TO AVOID CONFLICTS. ALL BOLTS SHALL HAVE STEEL WASHERS.
- TIMBER CONNECTORS SHALL BE FABRICATED FROM LIGHT GALVANIZED STEEL AND SHALL BE MANUFACTURED BY "SIMPSON STRONG TIE" OR AN APPROVED EQUAL. CONNECTORS NOTED ON DRAWINGS ARE REFERENCED TO THE LATEST SIMPSON CATALOG. JOIST SUPPORT BY NAILING IS FORBIDDEN UNLESS USED WITH AN APPROVED HANGER.
- CONNECTORS SHALL BE PUNCHED FOR NAILING. JOIST HANGERS FOR 2x TO BE 18 GAUGE MIN. FOR 3x, DOUBLE 2x, OR LARGER HANGERS TO BE 14 GAUGE MIN. UON.
- RAFTERS ENGAGED IN MASONRY WALLS SHALL HAVE STANDARD FIRE CUTS.
- NO MEMBER SHALL BE NOTCHED OR DRILLED WITH HOLES WITHOUT THE SPECIFIC APPROVAL OF THE ENGINEER.
- BOLTS SHALL BE UNFINISHED ASTM A307 BOLTS OF SIZES SHOWN ON DRAWINGS. LENGTH OF BOLTS SHALL BE CAREFULLY CHECKED TO INSURE THAT THE BOLT PROJECTION IS NOT LESS THAN 1/8" NOR MORE THAN 1/2" PAST END OF NUT. BOLT HOLES SHALL BE 1/32" TO 1/16" LARGER THAN BOLT SIZE. ALL NUTS SHALL BE TIGHTENED WHEN PLACED AND RETIGHTENED BEFORE CLOSING JOB WITH FINAL CONSTRUCTION.
- PROVIDE STANDARD STEEL PLATE WASHERS UNDER ALL BOLT HEADS AND NUTS WHERE BEARING IS AGAINST WOOD.
- TIMBER SHALL BE HANDLED AND COVERED AS TO PREVENT MARRING AND MOISTURE ABSORPTION FROM SNOW OR RAIN.
- ALL EXTERIOR BOLTS, NAILS AND HARDWARE SHALL BE HOT DIP GALVANIZED.
- WOOD FRAME NAILING SIZE AND SPACING SHALL CONFORM TO THE BUILDING CODE. ALL FRAMING NAILS SHALL BE NEW COMMON WIRE NAILS, NOT BOX NAILS.
- PROVIDE JOIST BRIDGING BY "SIMPSON" OR APPROVED EQUAL FOR ALL JOISTS. THE SIZE AND SPACING REQUIREMENTS OF JOIST BRIDGING SHALL BE AS PER THE MANUFACTURER'S REQUIREMENTS, SUBJECT TO THE APPROVAL OF THE ENGINEER.
- ROOF AND FLOOR SHEATHING TO BE 3/4" PLYWOOD.
- STRUCTURAL PLYWOOD FOR SUBFLOORS SHALL BE APA RATED SHEETING STURD-I-FLOOR EXPOSURE 1 C-D GRADE FOR FLOOR CONSTRUCTION, OR APPROVED EQUAL.
- BLOCK ALL UNSUPPORTED SHEET EDGES WITH 2x6 FLAT BLOCKING. FIT BLOCKING TIGHTLY AT ENDS BETWEEN FRAMING AND PROVIDE 2-10J TOE NAILS AT EACH END.
- PLYWOOD SHEET EDGES SHALL BUTT ALONG THE CENTERLINE OF FRAMING MEMBERS WITH NAILING SPACED NOT LESS THAN 3" FROM EDGE OF SHEET.
- MINIMUM PLYWOOD SHEET WIDTH SHALL BE 16 INCHES.
- ALL PLYWOOD FLOOR AND ROOF SHEATHING SHALL BE GLUED AND NAILED TO SUPPORTING WOOD FRAMING.
- LOAD BEARING AND SHEAR WALLS SHALL HAVE 1/2" PLYWOOD SHEATHING ONE SIDE MINIMUM.
- WHERE JOISTS ARE PERPENDICULAR ABOVE SHEAR WALLS, PROVIDE SOLID BLOCKING BETWEEN JOISTS OVER WALL.
- PROVIDE BLOCKING PERPENDICULAR TO ALL PERIMETER JOISTS THAT ARE PARALLEL TO EXTERIOR WALL.



### ROOF DIAPHRAGM - PLYWOOD

- ALL PLYWOOD ROOF SHEATHING TO BE EXTERIOR GRADE STRUCTURAL 1 C-C OR APPROVED EQUAL. FACE PLIES TO BE OF SOUTHERN PINE.
- ALL NAILS SHALL BE COMMON WIRE ANNUULAR RING NAILS. DO NOT USE BOX NAILS.
- PLYWOOD SHEETS EDGES SHALL BUTT AGAINST EACH OTHER. NAILS NOT TO BE PLACED WITHIN 3/8" OF THE EDGE OF THE SHEET.
- MINIMUM PLYWOOD SHEET WIDTH SHALL BE 16'.

ISSUE SCHEDULE	
Issue No.	Issue

Rev No.	Description	Date
REVISIONS		

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 Designer and General Construction Services  
 Woonsocket RI, 02895  
 Tel. (401) 854-7519  
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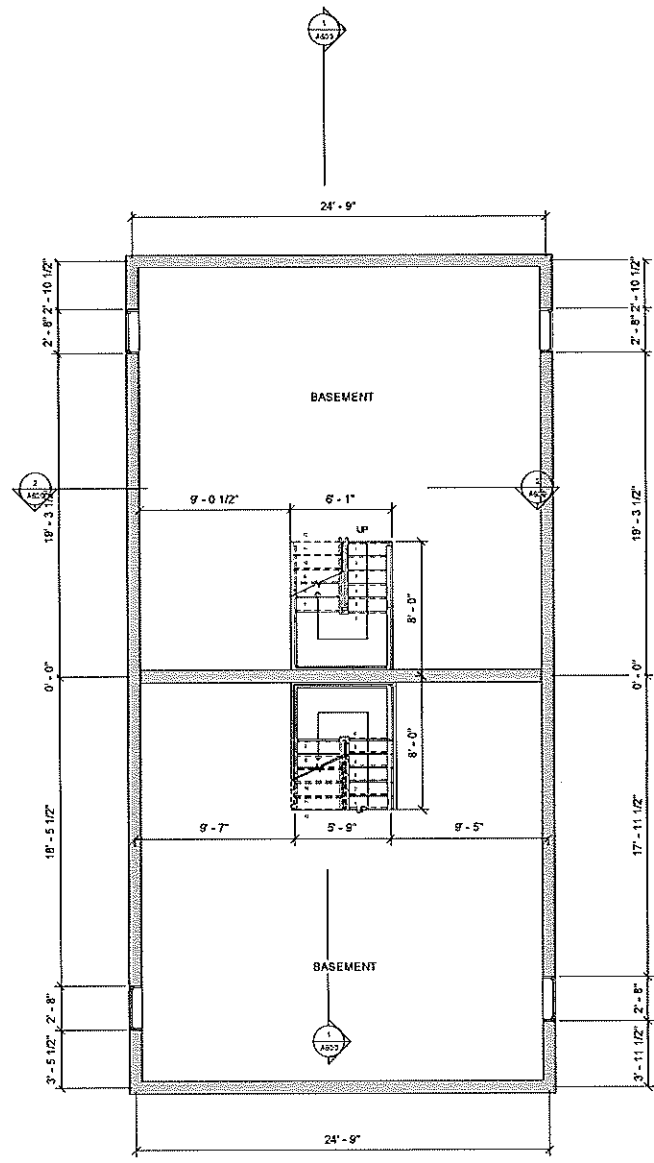
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PROJECT: Proposed Two Family Building  
 General Notes  
 12 BRUSH HILL PROVIDENCE

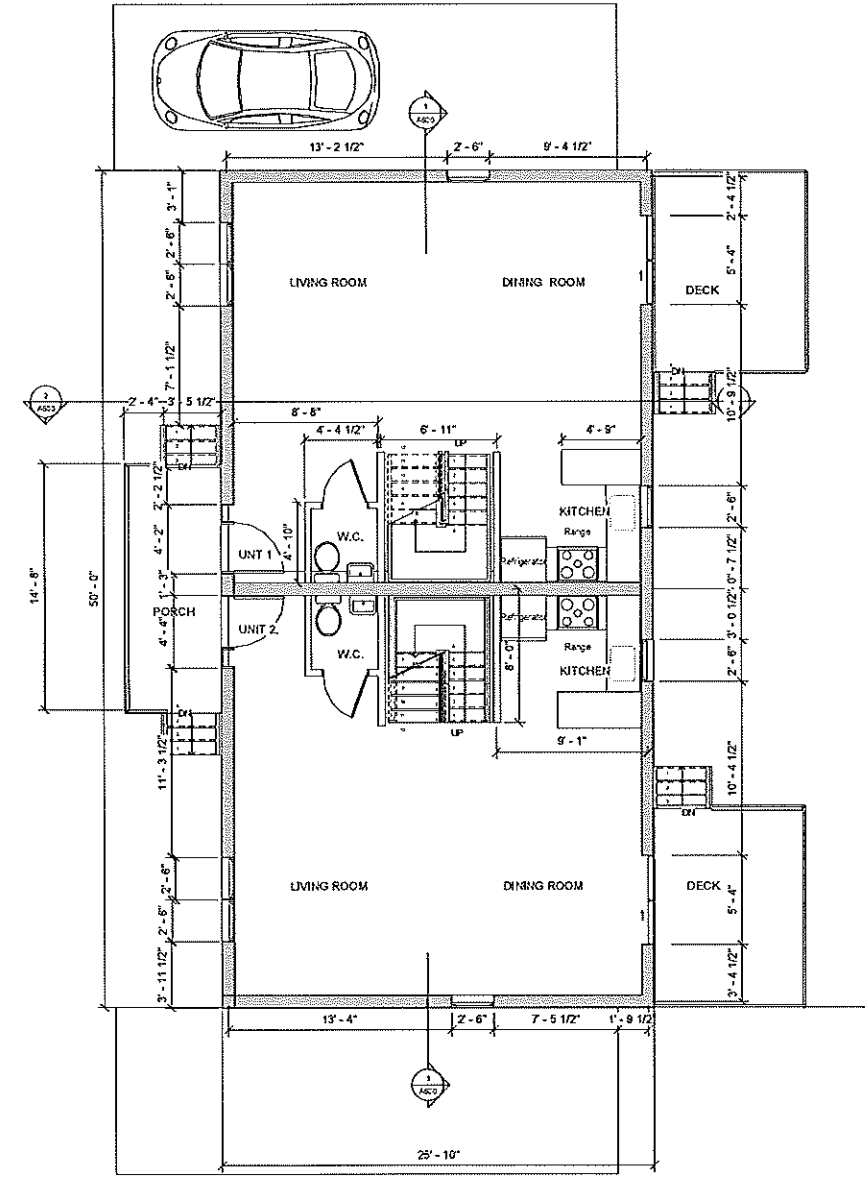
CLIENT: Carlos Tobón

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SCALE: \_\_\_\_\_  
 DATE: 11/17/22  
 DRAWN BY: MB  
 REVIEWED BY: Diseñador  
 JOB NO.: 2114-06  
 SHEET NO.: **A100**



1 Basement  
1/4" = 1'-0"



2 First Floor  
1/4" = 1'-0"

ISSUE SCHEDULE	
Issue No.	Issue

Rev No.	Description	Date
REVISIONS		

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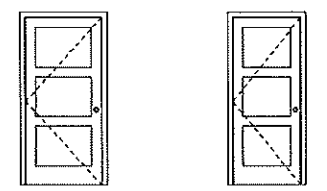
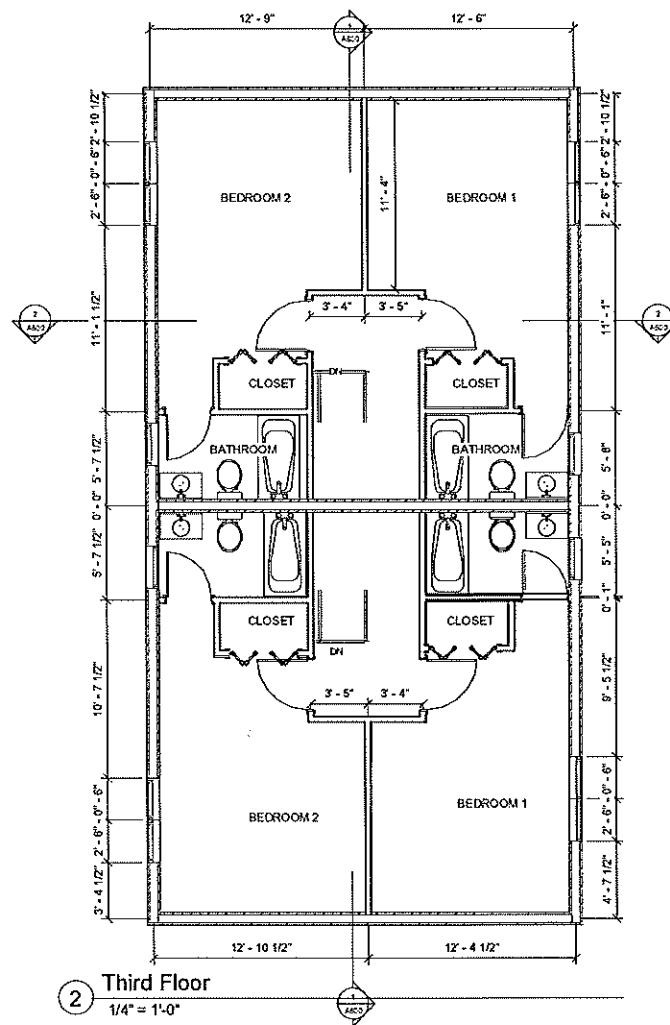
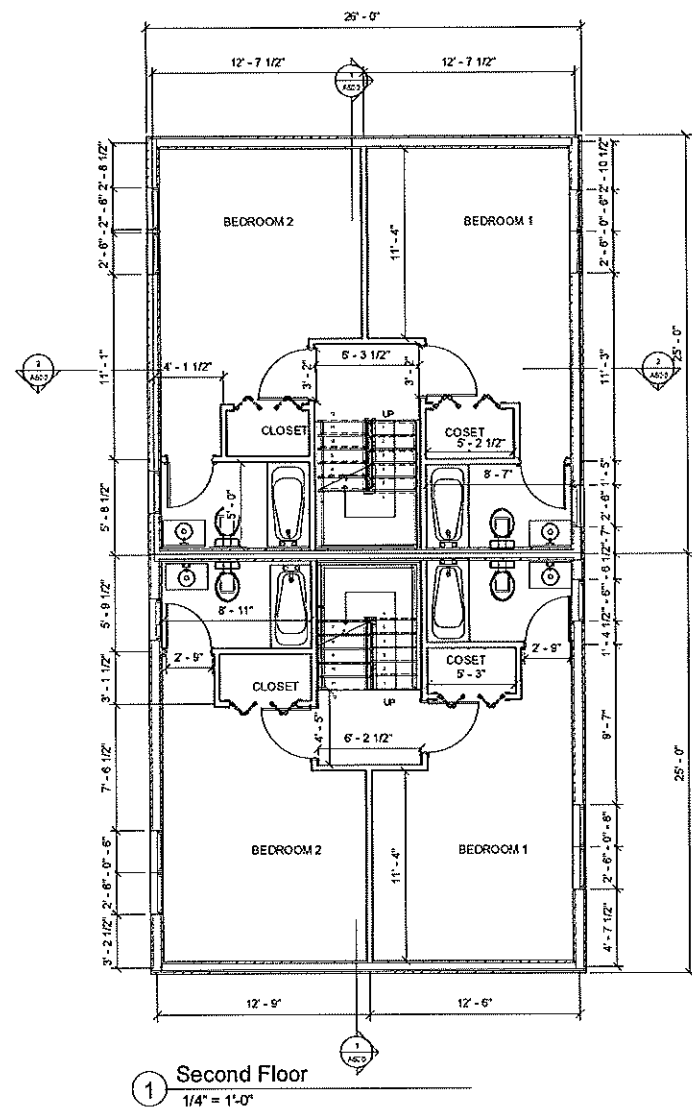


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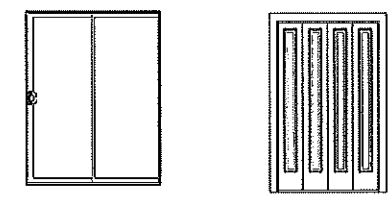
PROJECT:  
**Proposed Two Family Building  
Proposed Basement & First Floor  
Layout**  
CLIENT:  
**12 BRUSH HILL PROVIDENCE  
Carlos Tobón**

SCALE: 1/4" = 1'-0"  
DATE: 11/17/22  
DRAWN BY: MB  
REVIEWED BY: TS  
JOB NO.: 2114-06  
SHEET NO.:

**A200**



D1-3 PANEL WOOD EXTERIOR DOOR, 36 x 80  
D2-3 PANEL WOOD INTERIOR DOOR, 34 x 80



D3-TWO GLASS PANEL - SLIDING DOOR, 72" x 84"  
D4-5 BIFOLD WOOD DOOR OR SIMILAR

Door Schedule				
Mark	Count	Family and Type	Rough Width	Rough Height
D80	1	Door-Interior-Single-3_Panel_Vert-Wood 32" x 80"	2'-10"	6'-9"
D97	1	Door-Interior-Single-3_Panel_Vert-Wood 36" x 80"	3'-2"	6'-9"
D98	1	Door-Interior-Single-3_Panel_Vert-Wood 35" x 80"	3'-2"	6'-9"
D105	1	Transom_Sliding_Door_Milgard_Aluminum_Series_Windows 72" X 84"	5'-4 1/2"	7'-0"
D106	1	Door-Exterior-Single-Entry-Hall Flat Glass-Wood_Clad 36" x 80"	3'-2"	6'-9"
D107	1	Door-Exterior-Single-Entry-Hall Flat Glass-Wood_Clad 36" x 80"	3'-2"	6'-9"
D109	1	Door-Exterior-Side_Lite-Full Flat Glass-Wood_Clad 12" x 80"	1'-2"	6'-9"
D110	1	Door-Exterior-Side_Lite-Full Flat Glass-Wood_Clad 12" x 80"	1'-2"	6'-9"
D112	1	Door-Interior-Single-3_Panel_Vert-Wood 32" x 80"	2'-10"	6'-9"
D113	1	Transom_Sliding_Door_Milgard_Aluminum_Series_Windows 72" X 84"	5'-4 1/2"	7'-0"
D115	1	Door-Interior-Single-3_Panel_Vert-Wood 32" x 80"	2'-10"	6'-9"
D116	1	Door-Interior-Single-3_Panel_Vert-Wood 32" x 80"	2'-10"	6'-9"
D119	1	Door-Interior-Single-3_Panel_Vert-Wood 32" x 80"	2'-10"	6'-9"
D120	1	Door-Interior-Single-3_Panel_Vert-Wood 35" x 80"	3'-2"	6'-9"
D121	1	Door-Interior-Single-3_Panel_Vert-Wood 35" x 80"	3'-2"	6'-9"
D122	1	Door-Interior-Single-3_Panel_Vert-Wood 32" x 80"	2'-10"	6'-9"
D123	1	Door-Interior-Karona-K1020-Bifldrxc: 4	4'-2"	7'-0"
D128	1	Door-Interior-Single-3_Panel_Vert-Wood 36" x 80"	3'-2"	6'-9"
D127	1	Door-Interior-Single-3_Panel_Vert-Wood 35" x 80"	3'-2"	6'-9"
D128	1	Door-Interior-Single-3_Panel_Vert-Wood 32" x 80"	2'-10"	6'-9"
D130	1	Door-Interior-Karona-K1020-Bifldrxc: 4	4'-2"	7'-0"
D131	1	Door-Interior-Single-3_Panel_Vert-Wood 32" x 80"	2'-10"	6'-9"
D132	1	Door-Interior-Single-3_Panel_Vert-Wood 35" x 80"	3'-2"	6'-9"
D133	1	Door-Interior-Single-3_Panel_Vert-Wood 36" x 80"	3'-2"	6'-9"
D137	1	Door-Interior-Single-3_Panel_Vert-Wood 32" x 80"	2'-10"	6'-9"
D139	1	Door-Interior-Karona-K1020-Bifldrxc: 4	4'-2"	7'-0"
D140	1	Door-Interior-Single-3_Panel_Vert-Wood 32" x 80"	2'-10"	6'-9"
D142	1	Door-Interior-Karona-K1020-Bifldrxc: 4	4'-2"	7'-0"
D143	1	Door-Interior-Karona-K1020-Bifldrxc: 4	4'-2"	7'-0"
D144	1	Door-Interior-Karona-K1020-Bifldrxc: 4	4'-2"	7'-0"
D145	1	Door-Interior-Karona-K1020-Bifldrxc: 4	4'-2"	7'-0"
D145	1	Door-Interior-Karona-K1020-Bifldrxc: 4	4'-2"	7'-0"

**Door Schedule**  
3/8" = 1'-0"

Issue No.	Issue	Rev	Description	Date

C:\Users\momi\OneDrive\Documents\PROJECTS\CARLOS TOBON 12 BRUSH HILL.rvt

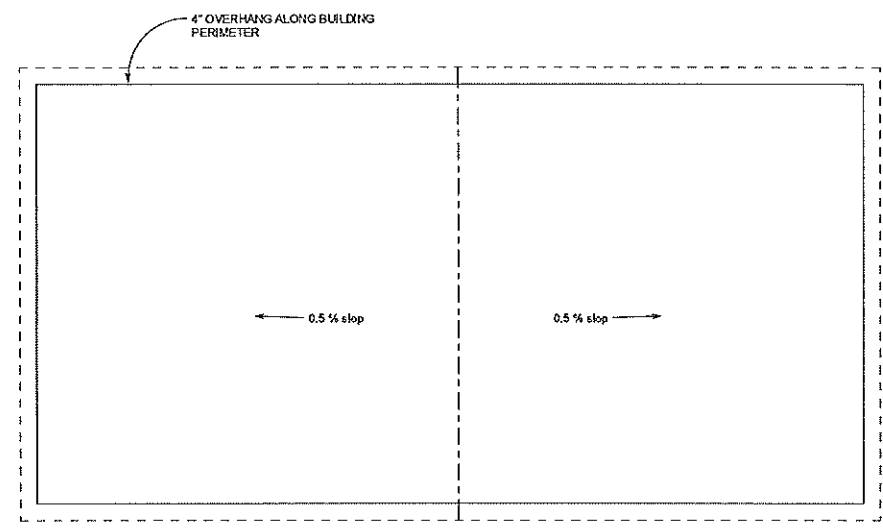


**JIREH Construction LLC. LC.**  
Designer and General Construction Services  
Woonsocket RI 028952895  
Tel. (401) 854-7517/519  
\*Providing the quality, competitive, and innovative planning and construction solutions.\*

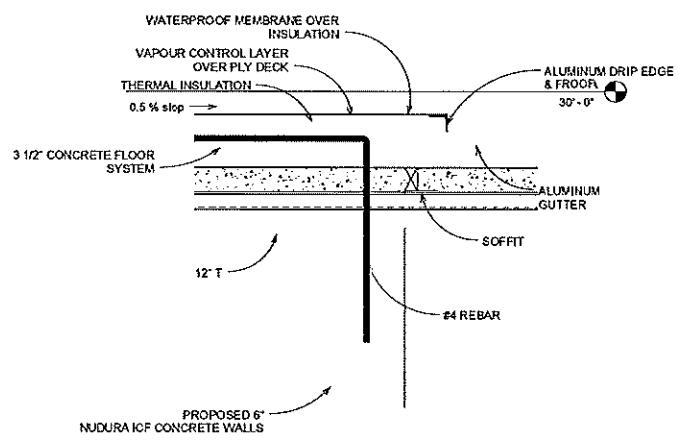
PROJECT ID: 2114  
**Proposed Two Family Building**  
**Proposed Second & Third Layout**  
**12 BRUSH HILL PROVIDENCE**  
CLIENT: Carlos Toboñon

SCALE: As indicated  
SCALE: As indicated  
DATE: 11/17/22  
DRAWN BY: MB  
PERMITTED BY: 2114 MB  
JOB NO.: 2114-06  
SHEET NO.: **A300**  
**A300**





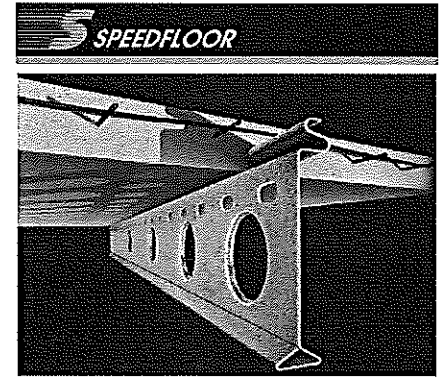
① Proposed Roof  
1/4" = 1'-0"



② Roof Section Detail  
1 1/2" = 1'-0"

GENERAL NOTES:

1. ROOF CONSTRUCTION WILL FOLLOW "SPEEDFLOOR - SUSPENDED CONCRETE FLOOR SYSTEM" RECOMMENDATIONS.
2. CONTRACTOR SHALL FAMILIARIZE WITH SUSPENDED CONCRETE FLOOR SYSTEMS PRIOR TO COMMENCE CONSTRUCTION.
3. CONTRACTOR MUST ADHERE TO THE MANUFACTURER SPECIFICATIONS AND RECOMMENDATIONS FOR SUSPENDED CONCRETE FLOOR SYSTEM.



ISSUE SCHEDULE	
Issue No.	Issue

REVISIONS		
Rev No.	Description	Date

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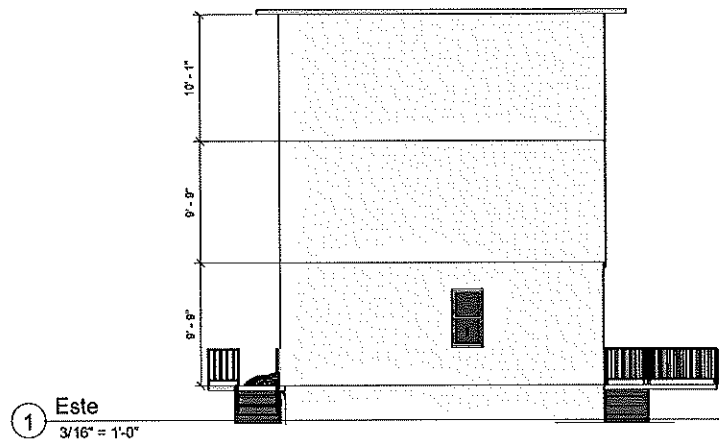


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Designer and General Construction Services  
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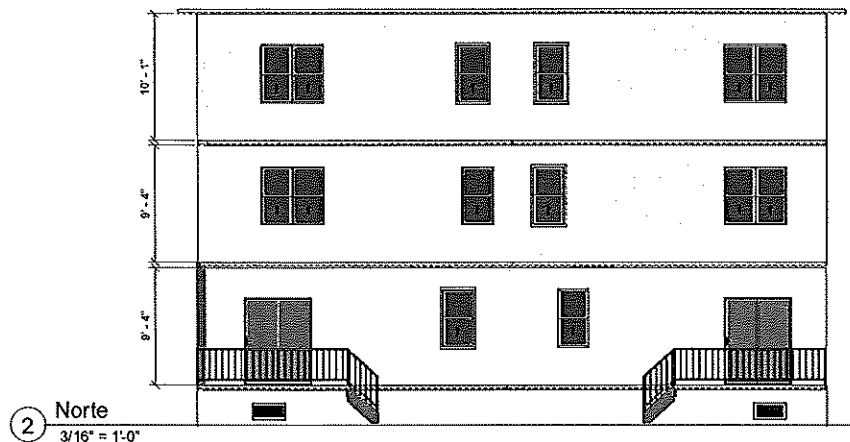
PROJECT: Proposed Two Family Building  
Proposed Roof Level Layout  
12 BRUSH HILL PROVIDENCE  
CLIENT: Carlos Tobón

SCALE: As Indicated  
DATE: 11/17/22  
DRAWN BY:  
REVIEWED BY: TS  
JOB NO: 2114-06  
SHEET NO:

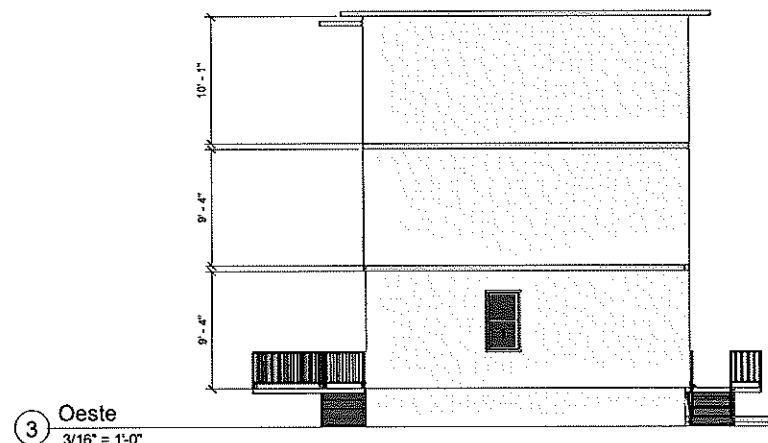
**A400**



① Este  
3/16" = 1'-0"



② Norte  
3/16" = 1'-0"



③ Oeste  
3/16" = 1'-0"



④ Sur  
3/16" = 1'-0"

PROPOSED STAIR AND RAILING

ISSUE SCHEDULE	
Issue No.	Issue

Rev No.	Description	Date
REVISIONS		

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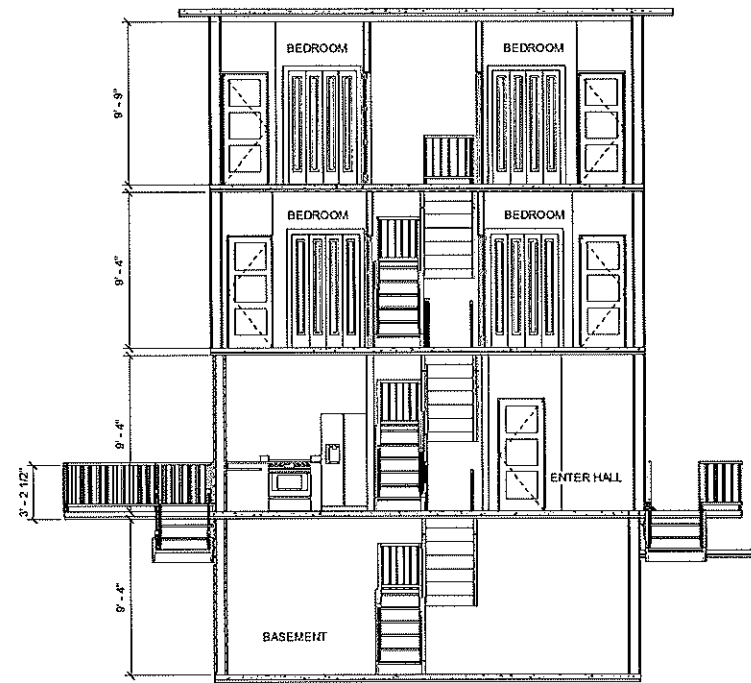
**JIREH Construction LLC.**  
 Designer and General Construction Services  
 Woonsocket RI, 02895  
 Tel. (401) 854-7519  
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PROJECT:  
**Proposed Two Family Building  
 Exterior Elevations  
 12 BRUSH HILL PROVIDENCE**

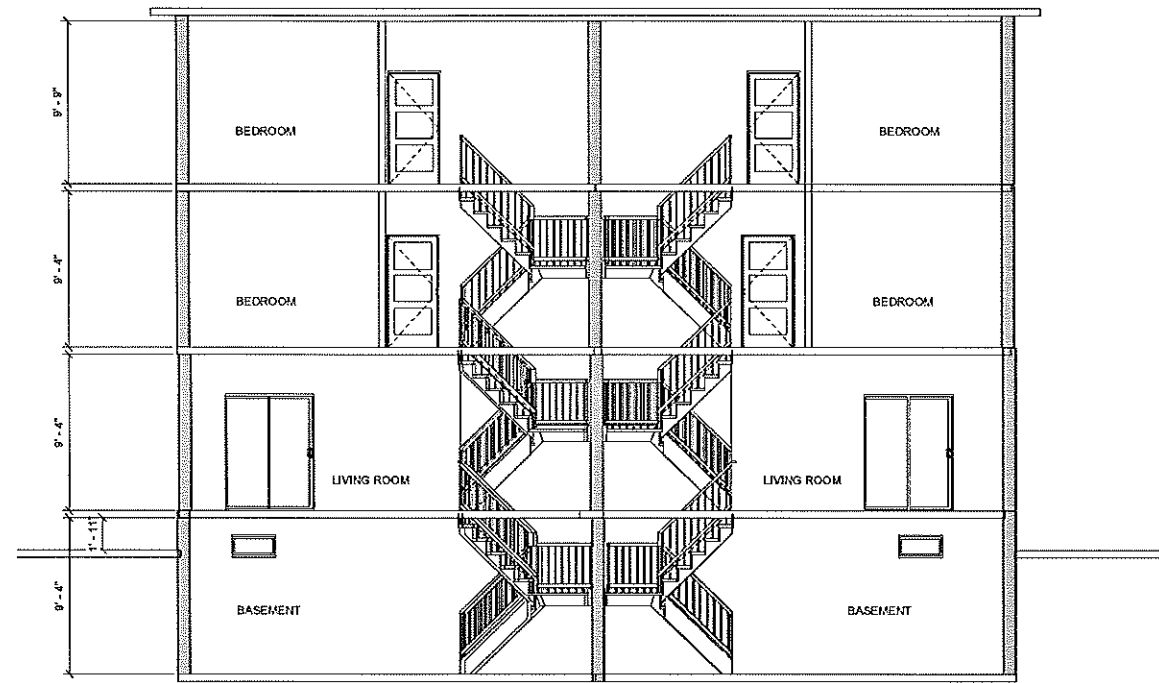
CLIENT:  
**Carlos Tobón**

SCALE: 3/16" = 1'-0"  
 DATE: 11/17/22  
 DRAWN BY: MB  
 REVIEWED BY: TS  
 JOB NO: 2114-06  
 SHEET NO:

**A500**



2 Sección 3  
1/4" = 1'-0"



1 Sección 2  
1/4" = 1'-0"

ISSUE SCHEDULE	
Issue No.	Issue

Rev No.	Description	Date
REVISIONS		

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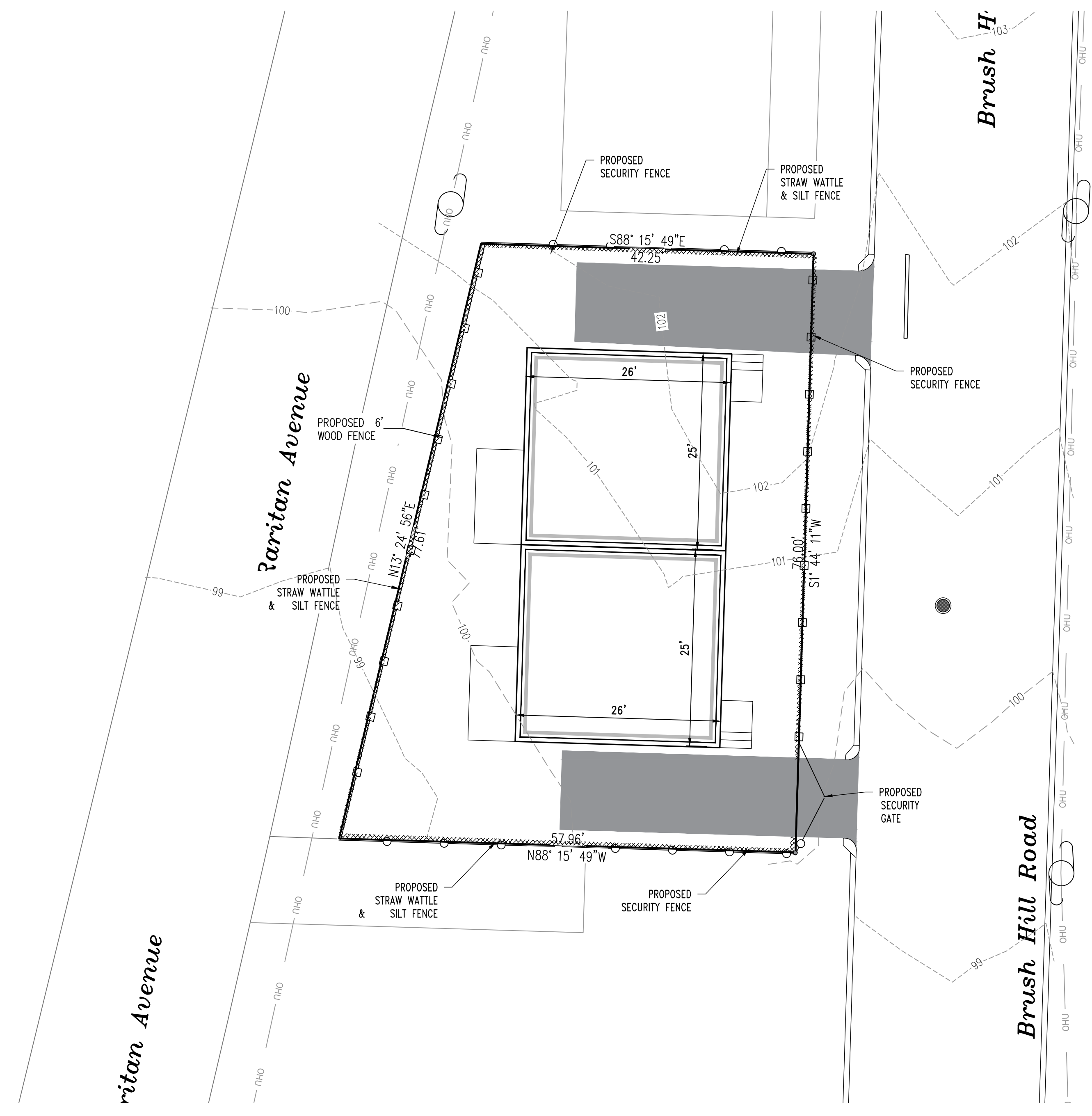
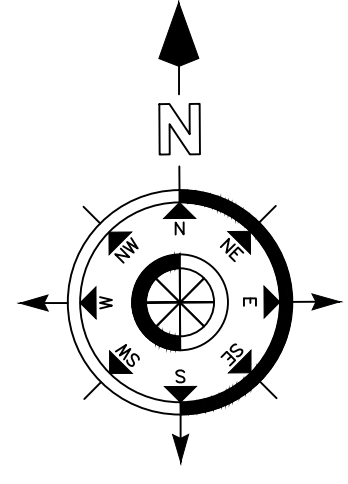
**JIREH Construction LLC.**  
 Designer and General Construction Services  
 Woonsocket RI, 02895  
 Tel. (401) 854-7519  
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PROJECT:  
 Proposed Two Family Building  
 Sections  
 12 BRUSH HILL PROVIDENCE

CLIENT:  
 Carlos Tobón

SCALE: 1/4" = 1'-0"  
 DATE: 11/17/22  
 DRAWN BY: MB  
 REVIEWED BY: Designer  
 JOB NO.: 2114-06  
 SHEET NO.:

**A600**



**ZONING REQUIREMENTS**  
 Zoning District: Resident District R-2  
 Assessors' Map And Lot. #: 95-534

Owner Of Record & Applicant  
 Vitality Land Holdings, LLC.  
 692 Warren Ave. East Providence, RI.  
 Deed Bk 13698 pg. 347

References:  
 - City of Providence Land Records  
 - Recorded Plat No 95 Lot No. 534

**EROSION CONTROL NOTES**

- All sediment and erosion control measures shall be installed in accordance with all federal, state and local regulations.
- Those areas undergoing actual construction will be left in an untreated or unvegetated condition for a minimum time. Areas shall be permanently stabilized within 15 days of final grading and temporarily stabilized within 30 days of initial disturbance of the soil.
- Sediment barriers (silt fence, hay barriers, etc.) shall be installed prior to any soil disturbance of the contributing drainage area surrounding them. Mulch netting shall be used to anchor mulch in all areas with slopes greater than 15%. After October 1st, the same applies for all slopes greater than 8%.
- Install sediment barriers at toe of slope to filter silt from runoff. See details for proper installation. Sediment barriers will remain in place per note #5.
- All erosion control structures will be inspected, replaced and/or repaired every 7 days and immediately following any significant rainfall of snow melt or when no longer serviceable due to sediment accumulation or decomposition. Sediment deposits should be removed after each storm event. And must be removed when deposits reach approximately one half the height of the barrier. Sediment control devices shall remain in place and be maintained by the contractor until areas up-slope are stabilized by turf.
- Winter construction period: November 1 through April 15.
- Continuation of earthwork operations on additional areas shall not begin until the exposed soil surface on the area being worked has been stabilized such that no area of the site is without erosion control protection.
- An area shall be considered to have been stabilized when exposed surfaces have been either mulched with straw or hay, or dormant seeded, mulched and adequately anchored by an approved anchoring technique.
- After November 1st the contractor shall apply dormant seeding or mulch and anchoring on all bare earth at the end of each working day.
- During the winter construction period all snow shall be removed from areas of seeding and mulching prior to placement.

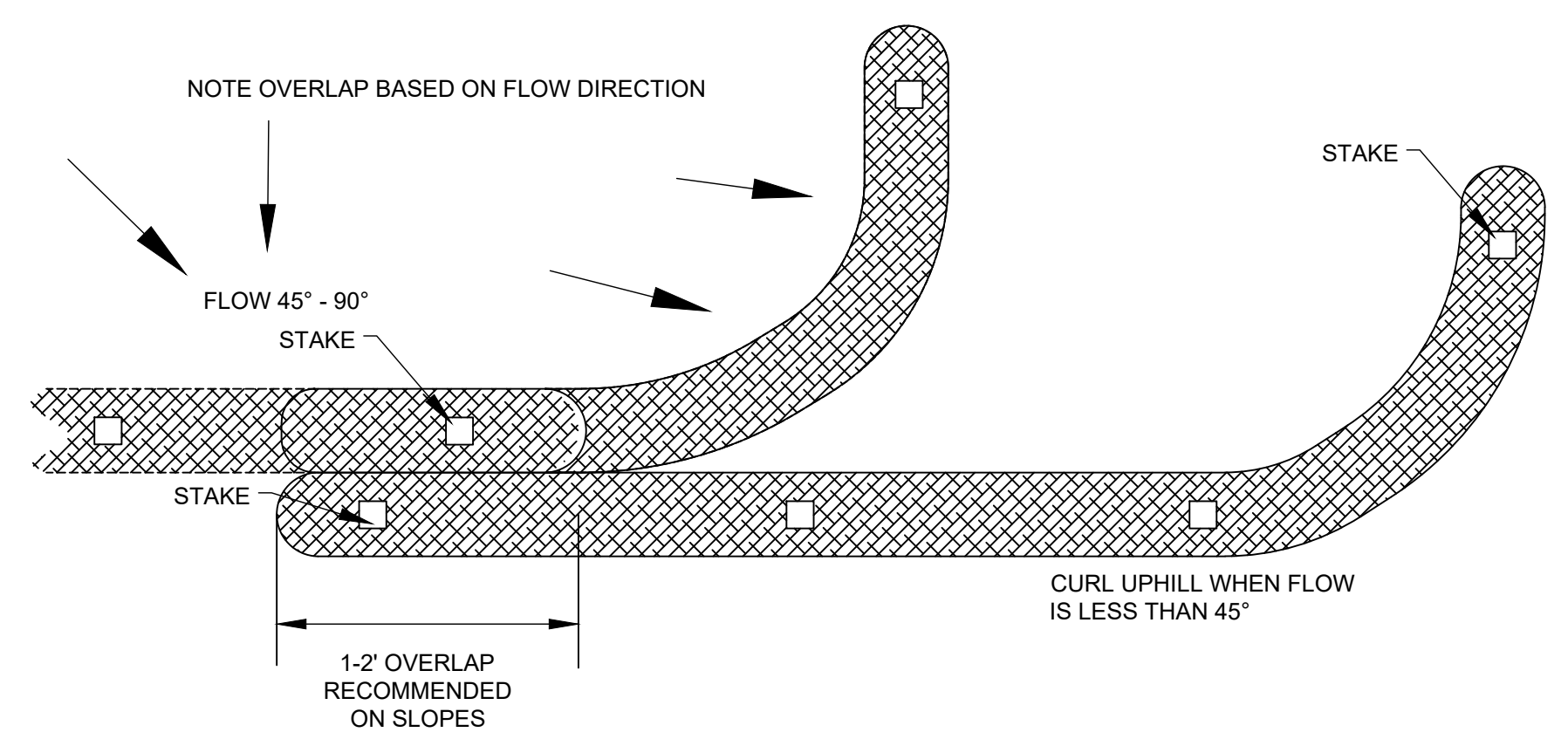


**JIREH CONSTRUCTION LLC.**  
 DESIGNER AND GENERAL CONSTRUCTION SERVICES  
 WOONSOCKET, RI. 02895  
 TEL. (401) 398-7318

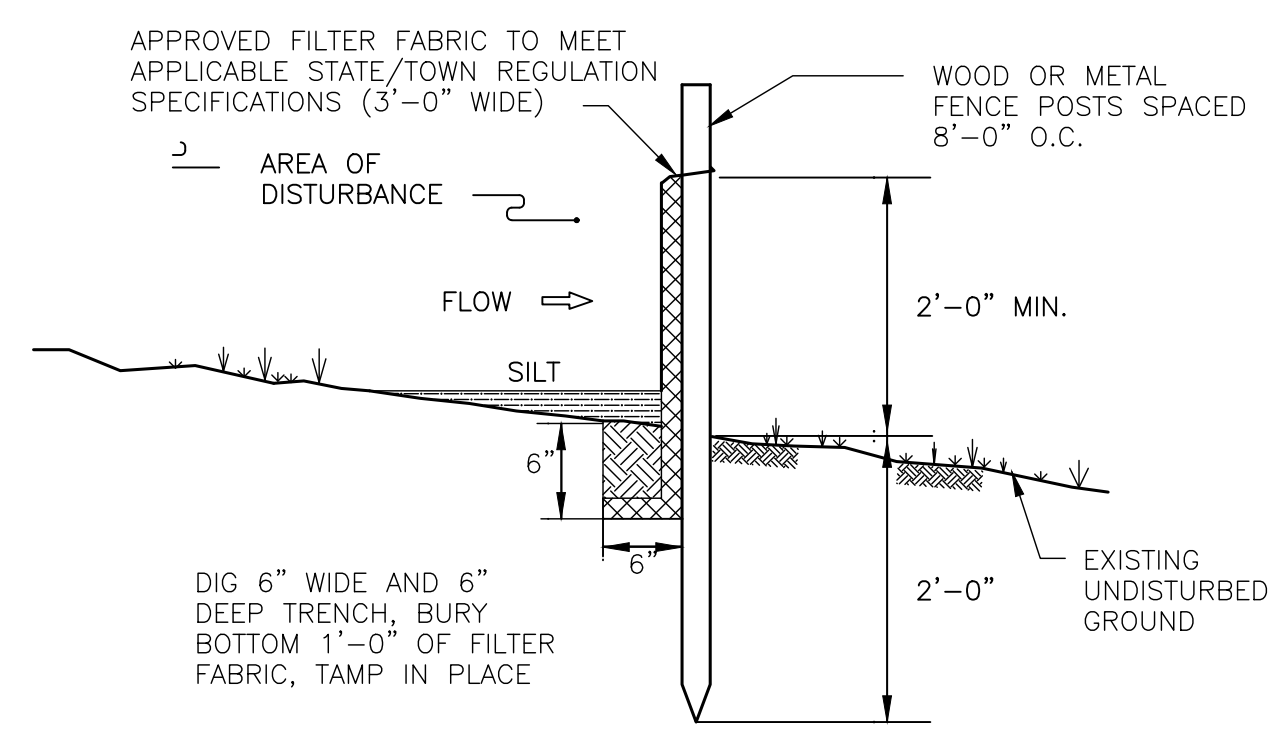
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PROJECT: "PROPOSED DUPLEX"  
 SOIL EROSION & SEDIMENT CONTROL PLAN  
 12 BRUSH HILL RD.  
 PROVIDENCE, RI

CLIENT: CARLOS TOBON

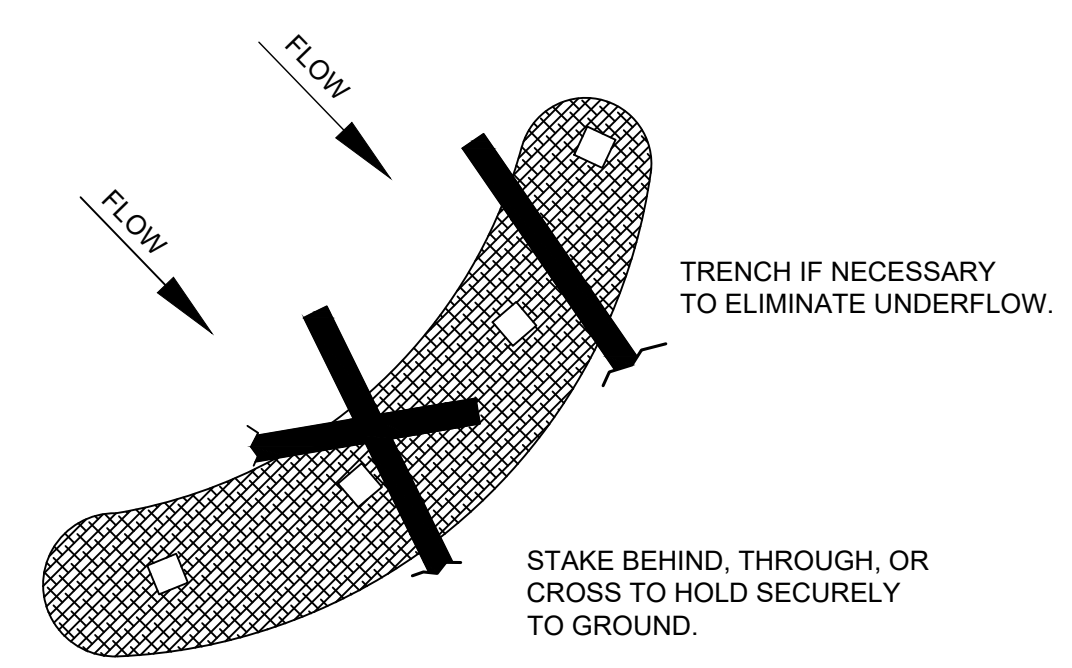


**PERIMETER CONTROL & OVERLAPPING**



- THE SLOPE OF THE LAND FOR AT LEAST 30 FEET ADJACENT TO ANY SILT FENCE SHALL NOT EXCEED 5 %
- SILT FENCE SHALL BE INSTALLED SO WATER CANNOT BYPASS THE FENCE AROUND THE SIDES.
- INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE AS PROMPTLY AS POSSIBLE.
- SILT FENCE SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE INSTRUCTED BY THE OWNER'S ENGINEER.

**SILT FENCE**  
 NOT TO SCALE



INSTALL SILT SOCK PERPENDICULAR TO FLOW WITH ENDS CURLED SLIGHTLY UPSTREAM TO PREVENT HIGH WATER FROM GOING AROUND THE ENDS. SLOW AND SPREAD WATER TO REDUCE CHANNELING AND EROSION

**DITCH CHECK**



REV. NO.	DATE	DESCRIPTION	BY

SCALE: 1" = 10'

DATE: 11/18/2022

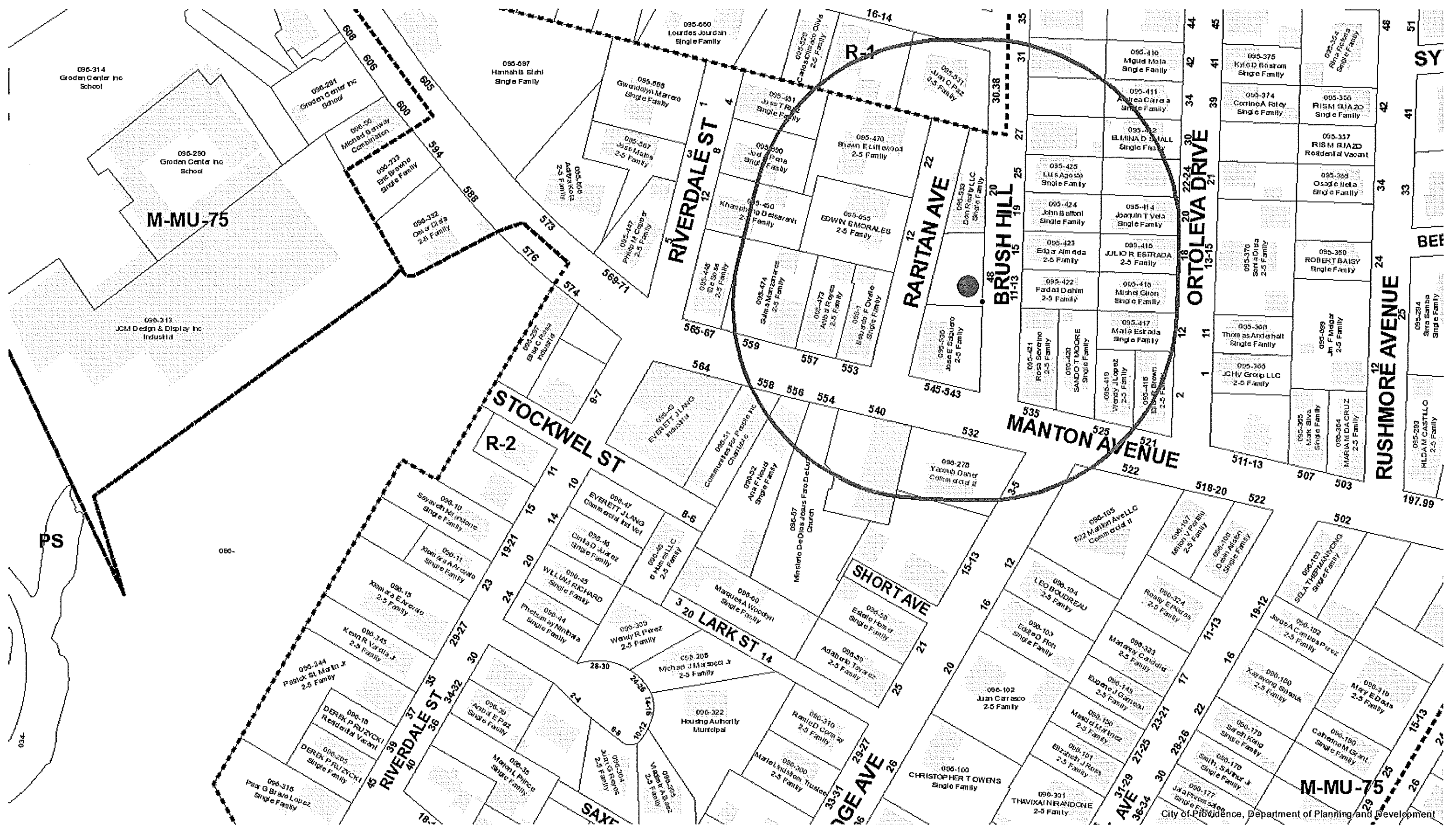
DRAWN BY: JAB/HAG

REVIEWED BY: TS

JOB NO. 2125-03

SHEET NO. 1

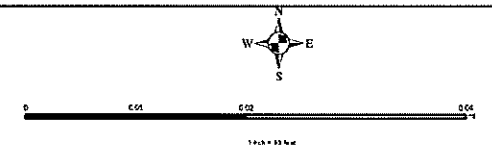
**6 OF 7**



The information displayed on this map is for planning purposes only. It is not adequate for legal boundary definition, engineering interpretation, or precise parcel analysis.

Produced by the Providence Planning and Development GIS Unit, 444 Westminster Street, Providence, RI, 02903

Data Sources:  
 Providence Geographic Information System  
 Date: 3/30/2023



**P**

PROVIDENCE, RHODE ISLAND

PROVIDENCE THE CREATIVE CAPITAL

DEPARTMENT OF PLANNING AND DEVELOPMENT

JORGE O. ELORZA, MAYOR | BONNE MCKERSON NAACP, DIRECTOR

City of Providence, Department of Planning and Development



