

**CITY OF PROVIDENCE
ZONING BOARD OF REVIEW**

APPLICATION FOR VARIANCE OR SPECIAL USE PERMIT

Check Each Type Zoning Relief Sought:

- ☐ Variance – Use*
- ☐ Variance – Dimensional*
- ☐ Special Use Permit**

* Attach APPENDIX A to apply for a Use or Dimensional Variance

** Attach APPENDIX B to apply for a Special Use Permit

If a section of the application is not applicable, please indicate this by using N/A in that field.

Applicant: _____ **Applicant Mailing Address**

Email: _____ **Street:** _____

Phone: _____ **City, State, Zip:** _____

Owner: _____ **Owner Mailing Address**

Email: _____ **Street:** _____

Phone: _____ **City, State, Zip:** _____

Lessee: _____ **Lessee Mailing Address**

Email: _____ **Street:** _____

Phone: _____ **City, State, Zip:** _____

Attorney: _____ **Attorney Mailing Address**

Email: _____ **Street:** _____

Phone: _____ **City, State, Zip:** _____

Does the proposal require review by any of the following:

- ☐ Downtown Design Review Committee
- ☐ I-195 Redevelopment District Commission
- ☐ Capital Center Commission
- ☐ Historic District Commission

1. Street Address of Subject Property: _____

Plat and Lot Numbers of Subject Property: _____

2. Base Zoning District(s): _____

Overlay District(s): _____

3a. Date owner purchased the Property: _____

3b. Month/year of lessee's occupancy: _____

4. Dimensions of each lot:

Lot # _____	Width _____	Depth _____	Total area _____ sq. ft.
Lot # _____	Width _____	Depth _____	Total area _____ sq. ft.
Lot # _____	Width _____	Depth _____	Total area _____ sq. ft.
Lot # _____	Width _____	Depth _____	Total area _____ sq. ft.

5a. Size of existing structure(s) located on the Property:

Principal Structure:

Area of Footprint _____

Overall Height _____

of Stories _____

Accessory Structure:

Area of Footprint _____

Overall Height _____

of Stories _____

5b. Size of proposed structure(s) located on the Property:

Principal Structure:

Area of Footprint _____

Overall Height _____

of Stories _____

Accessory Structure:

Area of Footprint _____

Overall Height _____

of Stories _____

6a. Existing Lot Coverage:

Building Coverage (area of all roofed structures) _____

Total Impervious Coverage Area (area of all roofed structures and impervious surfaces) _____

Rear Yard Impervious Coverage (area of structures and impervious surface in rear yard) _____

Front Yard Impervious Coverage (area of structures and impervious surface in front yard) _____

6b. Proposed Lot Coverage:

Building Coverage (area of all roofed structures) _____

Total Impervious Coverage Area (area of all roofed structures and impervious surfaces) _____

Rear Yard Impervious Coverage (area of structures and impervious surface in rear yard) _____

Front Yard Impervious Coverage (area of structures and impervious surface in front yard) _____

7a. Present Zoning Use of the Property: _____

7b. Legal Zoning Use of the Property as recorded in the Dept. of Inspection & Standards:

8. Proposed Zoning Use of the Property: _____

9. Number of Parking Spaces:

of existing spaces _____ # of proposed spaces _____

10. Are there outstanding violations concerning the Property under any of the following:

____ Zoning Ordinance ____ RI State Building or Property Maintenance Code(s)

11a. List all Zoning Ordinance Sections from which a variance is sought:

Section Number Section Title + Quantity of relief, if applicable (eg. 4' setback where 6' required)

_____	_____
_____	_____
_____	_____
_____	_____

11b. Identify the section(s) of the Zoning Ordinance that provide for the special use permit, and list all section(s) which provide Use Standards for the proposed Special Use(s):

Section Number Section Title

_____	_____
_____	_____

12. Summarize any changes proposed for the Property (use, construction/renovation, site alteration):

The undersigned acknowledge(s) and agree(s) that members of the Zoning Board of Review and its staff may enter upon the exterior of the Property in order to view the Property prior to any hearing on the application.

*The undersigned further acknowledge(s) that the statements herein and in any attachments or appendices are true and accurate, and that providing a false statement in this application may be subject to criminal and/or civil penalties as provided by law, including prosecution under the State and Municipal False Claims Acts. **Owner(s)/Applicant(s) are jointly responsible with their attorneys for any false statements. As indicated on the instructions page, this application may not be signed by an attorney on behalf of their client(s).***

Owner(s):

Type Name

Signature



Type Name

Signature



Applicant(s):

Type Name

Signature



Type Name

Signature



All applicable requirements listed and described on the Instruction Sheet shall be met or this application will not be considered complete.

APPENDIX A

APPLICATION FOR VARIANCE(S)

Rhode Island General Laws § 45-24-41(d) and (e) require that the Applicant for a variance demonstrate:

1. That the hardship from which the applicant seeks relief is due to the unique characteristics of the subject land or structure and not to the general characteristics of the surrounding area; and is not due to a physical or economic disability of the applicant, excepting those physical disabilities addressed in § 45-24-30(a)(16);
2. That the hardship is not the result of any prior action of the applicant;
3. That the granting of the requested variance will not alter the general character of the surrounding area or impair the intent or purpose of the zoning ordinance or the comprehensive plan upon which the ordinance is based; and
4. (a) For a **use variance**: That the land or structure cannot yield any beneficial use if it is required to conform to the provisions of the zoning ordinance;
(b) For a **dimensional variance**: That the hardship suffered by the owner of the subject property if the dimensional variance is not granted amounts to more than a mere inconvenience, meaning that the relief sought is minimal to a reasonable enjoyment of the permitted use to which the property is proposed to be devoted.

Please provide the following information:

1. **What is the specific hardship from which the applicant seeks relief?**

2. **Specify all unique characteristics of the land or structure that cause the hardship:**

3. (a) **Is the hardship caused by an economic disability?** Yes _____ No _____
(b) **Is the hardship caused by a physical disability?** Yes _____ No _____
(c) **If the response to subsection (b) is "yes," is the physical disability covered by the Americans with Disabilities Act of 1990 (ADA), 42 U.S.C. § 12101 et seq.?** Yes _____ No _____

4. Did the owner/applicant take any prior action with respect to the Property that resulted in the need for the variance requested? (Examples include, but are not limited to, any changes the owner/applicant made to the structure(s), lot lines, or land, or changes in use of the Property)?

Yes _____ No _____

If "yes," describe any and all such prior action(s) and state the month/year taken:

5. If you are seeking a USE VARIANCE, set forth all facts that demonstrate that the Property cannot have any beneficial use if you are required to use it in a manner allowed in the zoning district:

6. If you are seeking a DIMENSIONAL VARIANCE, set forth all facts that indicate that if the variance is not granted, the hardship the owner/applicant will suffer is more than a mere inconvenience:

***IF MORE ROOM IS NEEDED TO ANSWER ANY OF THE ABOVE QUESTIONS, PLEASE SUBMIT AN
ADDENDUM TO THIS APPENDIX WITH COMPLETE RESPONSES.***

APPENDIX B

APPLICATION FOR SPECIAL USE PERMIT

In accordance with Rhode Island General Laws § 45-24-42(b), Section 1901 of the Zoning Ordinance requires that the Applicant for a special use permit demonstrate:

1. That the proposed special use is set forth in the ordinance and complies with the applicable use standards for the authorization of a special use permit;
2. That the proposed special use will not substantially injure the use and enjoyment of nor significantly devalue neighboring property; and
3. That the proposed special use will not be detrimental or injurious to the general health or welfare of the community.

Please provide the following information:

1. **Indicate the Ordinance section(s) which provide Use Standards for the proposed Special Use(s); and State all facts that demonstrate that the proposed special use will be in conformance with the Use Standards for the proposed Special Use(s):**

2. **State all facts that demonstrate that the proposed special use will not substantially injure the use and enjoyment of neighboring property and will not significantly devalue neighboring property:**

3. **State all facts that demonstrate that the proposed special use will not be detrimental or injurious to the health or welfare of the community:**

***IF MORE ROOM IS NEEDED TO ANSWER ANY OF THE ABOVE QUESTIONS, PLEASE SUBMIT AN
ADDENDUM TO THIS APPENDIX WITH COMPLETE RESPONSES.***

ZONING TABLE
MAP = 124
LOT = 495

BASE ZONING DISTRICT: R-1
OVERLAY ZONING DISTRICT: NONE

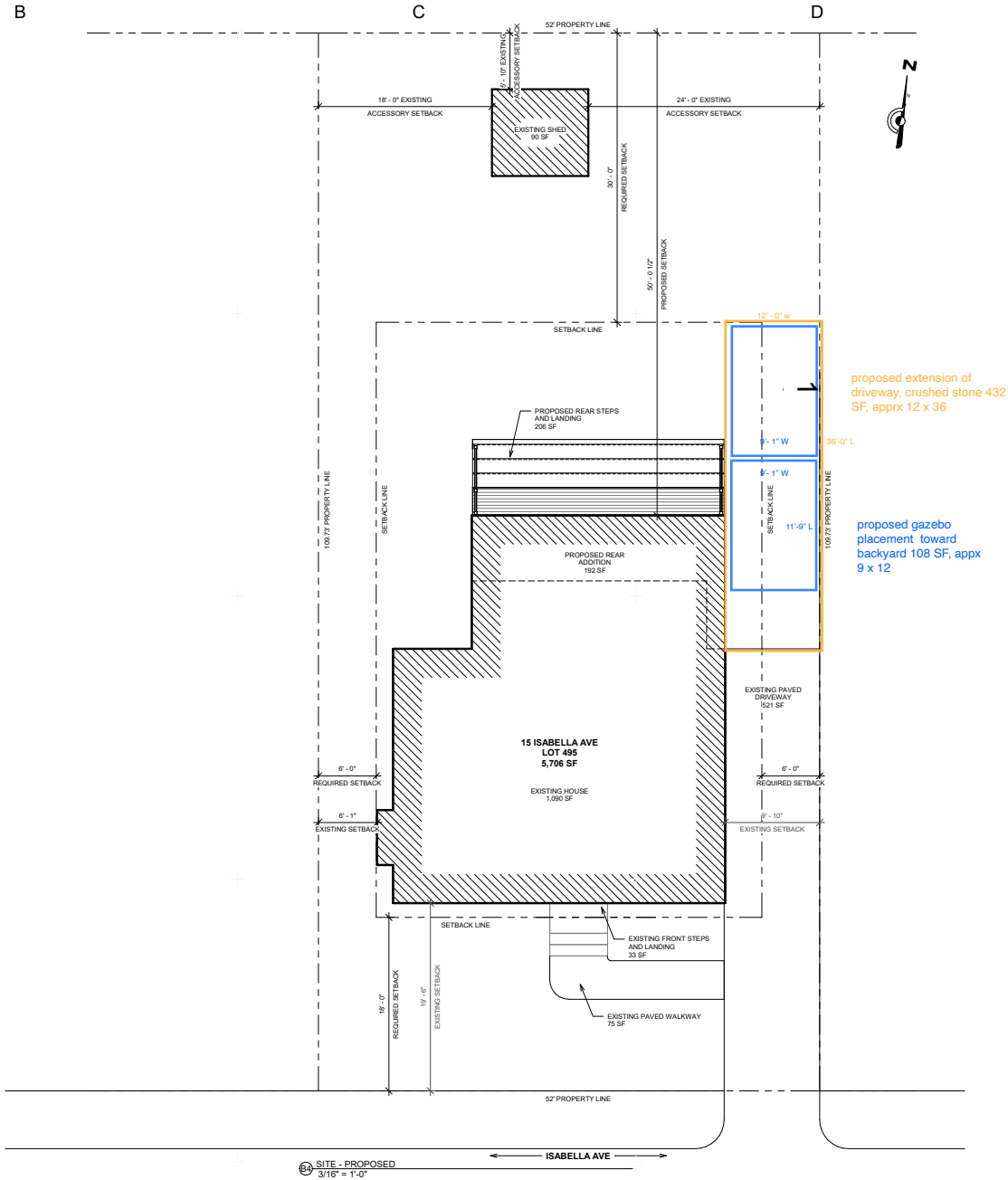
ITEM	REQUIRED	PROVIDED	RELIEF REQUESTED?
LOT SIZE	NONE	5,706 SF	NO
MINIMUM LOT WIDTH	NONE	52' EXISTING	NO
HEIGHT	40' NOT MORE THAN 3 STORY	APPROX 25' - 3" EXISTING	NO
BUILDING COVERAGE	45% (2,567.7 SF)	20.7% (1,180 SF) EXISTING	NO
IMPERV. SURFACE COVERAGE	65 % (3,329.3 SF)	24% (1,372 SF) PROPOSED	NO
MAXIMUM FRONT YARD SURFACE COVERAGE	33% (308.88 SF)	32% (1,823 SF) EXISTING	NO
MAXIMUM REAR YARD SURFACE COVERAGE	50% (780 SF)	38.7% (2,207 SF) PROPOSED	NO
FRONT SETBACK	18' - 0" (AVERAGE WITHIN 100')	2.6% (202.5 SF) EXISTING	NO
REAR SETBACK	30' - 0"	5.8% (90 SF) EXISTING	NO
SIDE SETBACK	6' - 0"	19' - 0" EXISTING	NO
SIDE SETBACK	6' - 0"	56' - 10" EXISTING	NO
		50' - 0 1/2" PROPOSED	NO
		6' - 1" EXISTING	NO
		9' - 10" EXISTING	NO

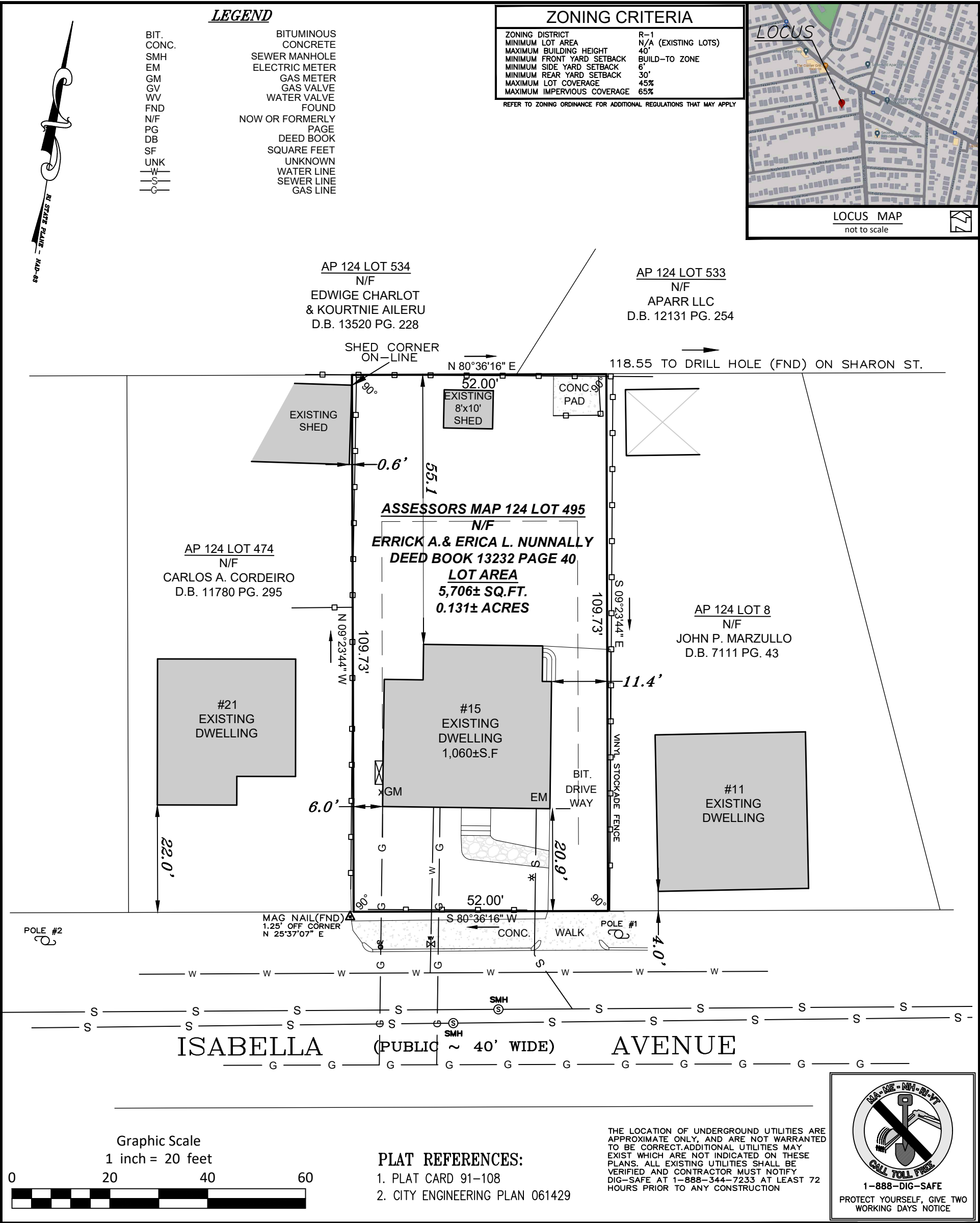
BUILDING COVERAGE CALCULATIONS

ALLOWED	=	45% OF 5,706 = 2,567.7 SF
EXISTING		
EXISTING HOUSE	=	1,090 SF
EXISTING SHED	=	90 SF
TOTAL EXISTING	=	1,180 SF (20.7%)
PROPOSED		
EXISTING HOUSE	=	1,090 SF
EXISTING SHED	=	90 SF
PROPOSED REAR ADDITION	=	192 SF
TOTAL PROPOSED	=	1,372 SF (24%)

IMPERVIOUS SURFACE COVERAGE CALCULATIONS

ALLOWED	=	65% OF 5,706 = 3,329.3 SF
EXISTING		
EXISTING HOUSE	=	1,090 SF
EXISTING FRONT STEPS AND LANDING	=	33 SF
EXISTING SIDE STEPS	=	14 SF
EXISTING SHED	=	90 SF
EXISTING PAVED DRIVEWAY	=	521 SF
EXISTING PAVED WALKWAY	=	75 SF
TOTAL EXISTING	=	1,823 SF (32%)
PROPOSED		
EXISTING HOUSE	=	1,090 SF
EXISTING FRONT STEPS AND LANDING	=	33 SF
EXISTING SHED	=	90 SF
EXISTING PAVED DRIVEWAY	=	521 SF
EXISTING PAVED WALKWAY	=	75 SF
PROPOSED REAR ADDITION	=	192 SF
PROPOSED REAR STEPS AND LANDING	=	206 SF
TOTAL PROPOSED	=	2,207 SF (38.7%)





SURVEY PLOT PLAN

Errick A. & Erica L. Nunnally
15 ISABELLA AVE PROVIDENCE RI 02908
TAX ASSESSORS PLAT 124 LOT 495

PLAN NOTES

- DWELLING NO. 15 IS LOCATED IN ZONE X AREAS OF 1% ANNUAL CHANCE FLOOD AS DEPICTED IN FIMA MAP 44007C0183G (3-2-09)
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A FULL TITLE REPORT AND IS SUBJECT TO ANY AND ALL ENCUMBRANCES, EASEMENTS, RIGHTS OF WAYS, UNWRITTEN OR OTHER UNKNOWN RIGHTS THAT MAY EXIST.
- THE BUILDING SQUARE FOOTAGE AND DIMENSION OFFSETS SHOWN WERE MEASURED AT GROUND LEVEL AND DO NOT ACCOUNT FOR ANY OVERHANGS, GUTTERS, CONCRETE PADS, DECKS, COVERED PORCHES, ETC. THAT MAY BE OVER THE PROPERTY LINES OR SETBACKS.

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON OR AFTER NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY: LIMITED CONTENT BOUNDARY SURVEY
MEASUREMENT SPECIFICATION: (CLASS I)

PURPOSE OF SURVEY: BOUNDARY SURVEY FOR PROPOSED ADDITION

BY: Jason E. Smith DATE: 07-22-2024
JASON E. SMITH, RI PLS #2535
LS COA #779

JASON E. SMITH
No. 2535
PROFESSIONAL LAND SURVEYOR
7-22-24

STATE LINE LAND SURVEYING
PO BOX 1104, Slatersville, R.I. 02876
www.statelinesurvey.com
PHONE: (401) 766-6317



Manufactured by:
Backyard Discovery
3305 Airport Drive, Pittsburg, KS 66762
800-856-4445

Basepoint Business Centre: Rivermead Drive, Westlea, Swindon SN5 7EX Phone: 0800-118-2476
J.P. Coenstraat 7, The Bridge, The Hague, 2595 WP, Netherlands Phone: 08005678990

12' x 5' WUXJU Gazebo

MODEL # : 2306073B



WARNING

Cancer and Reproductive Harm
www.P65Warnings.ca.gov



Please visit www.backyarddiscovery.com

For the most up to date assembly manual, to register your product, or to order replacement parts *Para obtener instrucciones en español, visite*
www.backyarddiscovery.com



EASY STEP-BY-STEP
3D INTERACTIVE INSTRUCTIONS
DOWNLOAD THE FREE APP



Made in China
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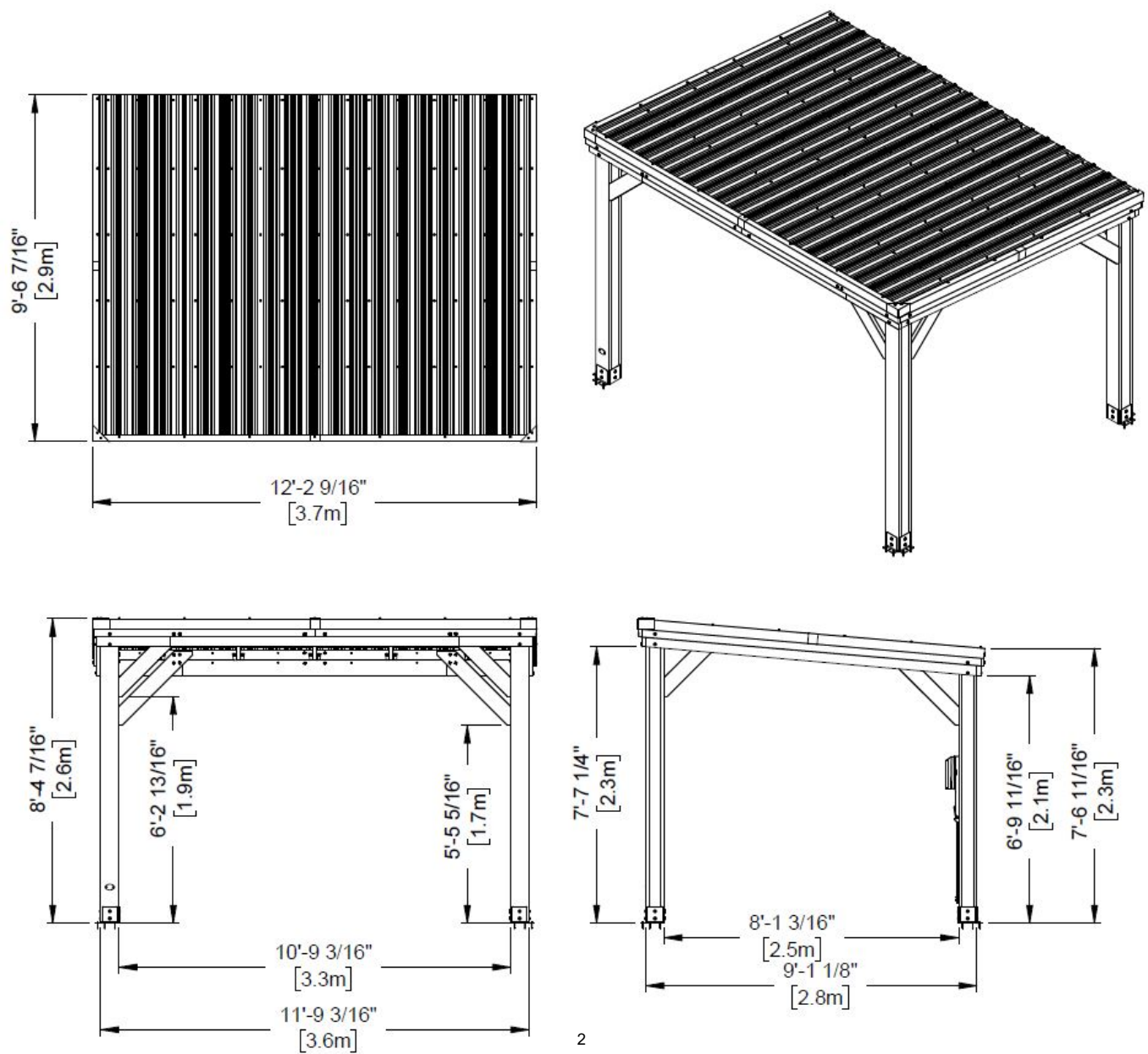
OWNER'S MANUAL - BASIC SETUP DIMENSIONS & ASSEMBLY NOTES

It is critically important that you start with square and level footings, concrete pad or deck to attach your structure

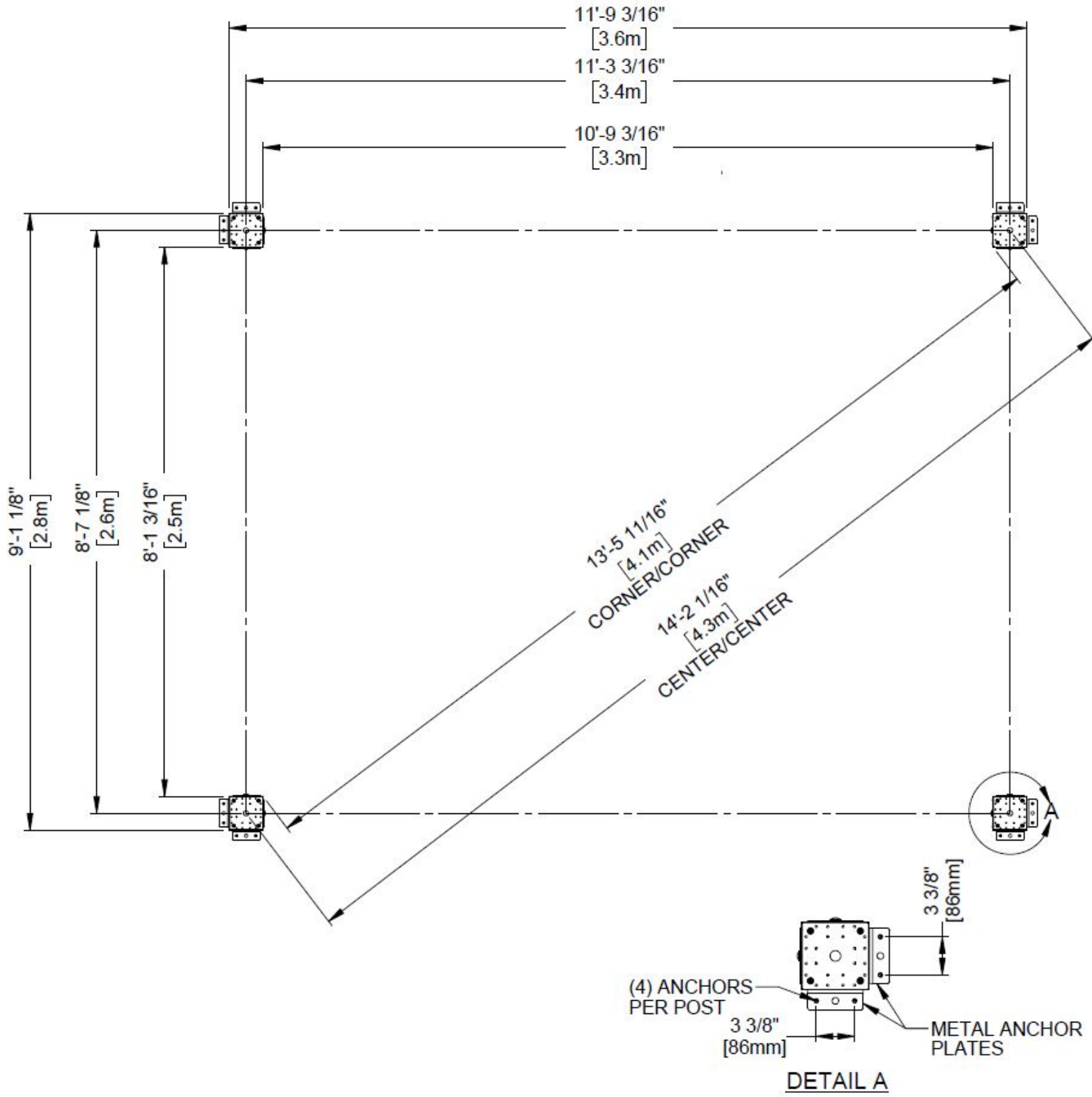
- Pay close attention to the items needed for each step. Make sure you are using the correct hardware for each step. Using incorrect hardware may result in improper assembly
- Remember to double check for underground utilities and overhead electrical lines

Post mounts are provided with your structure which allows you to permanently install your structure to a pre-existing or new wood or concrete surface. See Anchor Instructions for further details and recommendations.

- The hardware to attach the post mounts to the structure is included.
- The hardware to mount the structure permanently to a concrete surface is included.
- The hardware to mount the structure permanently to a wood deck is NOT included and will need to be purchased separately. You must ensure there is ample structural support under the deck before permanently attaching.



OWNER'S MANUAL - ANCHORING LAYOUT





15

DJ 934







