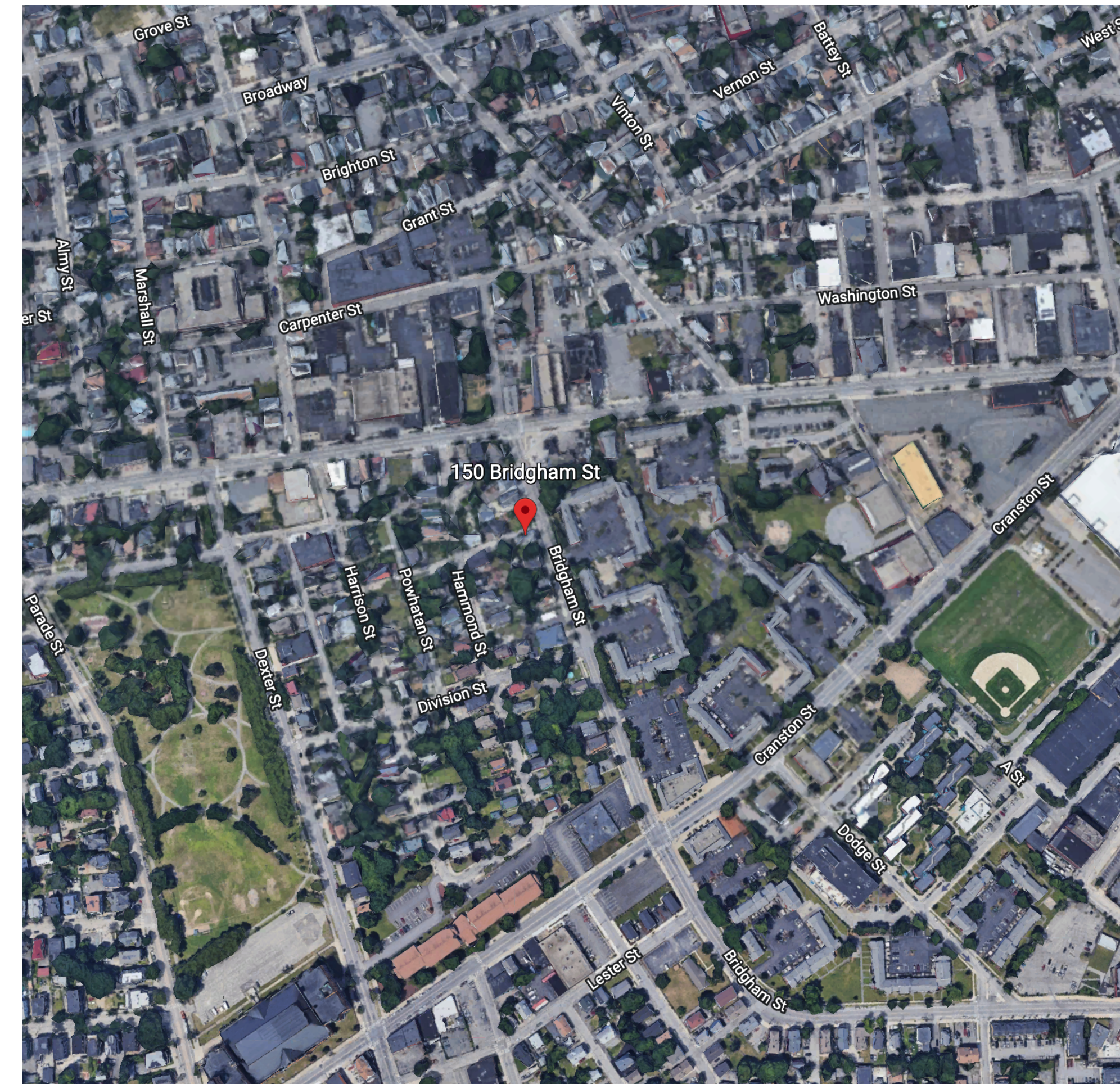


# 150 Bridgham Street Providence, Rhode Island



## Parcel Information

<b>Street Address:</b> 150 Bridgham St Providence, RI	<b>Existing Square Footage:</b> +/- 2340 SQFT
<b>Lot Size:</b> 0.14 Acres	<b>Zoned:</b> R-3
<b>Neighborhood:</b> West End	<b>Underlay Zoning:</b> Historic District
	<b>Lot/Plat:</b> 318/32

## Project Scope:

Finish basement to create a one bedroom / one bathroom apartment. Excavate site to create means of egress and a patio space.

## Date Issued:

Permit Set 7/28/2022

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8/12/22

Cover Sheet

A001

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# GENERAL NOTES

- Contractor shall be responsible to visit the site prior to bid submittal to better familiarize themselves with conditions at the site affecting performance of contract work.
- All work to comply with all governing state and local codes. All accessible spaces/work to comply with ANSI 117A.
- Unless otherwise agreed to in writing with the owner, the contractor shall be responsible for securing all permits (building, occupancy, etc.) and fees for same, as requires by state and local rules and regulations.
- Contractor shall be responsible for laying out the work and shall inform the architects office of any discrepancies affecting proper completion of contract work.
- Do not scale drawings to determine locations and layout of the work.
- Discrepancies between portions of the contract documents are not intended. The contractor is to clarify any such discrepancies with the architect prior to completing the work in question.
- All dimensions are from face of foundation wall, face of concrete block, face of exterior sheathing, and centerline of partitions unless noted otherwise on drawings.
- All wood in contract with concrete or steel to be pressure treated.
- Combustible materials are not allowed in concealed spaces.
- All structure shall be rated as noted on code drawings. Maintain ratings of all fire-rated assemblies.
- The contractor shall comply with all published federal, state, and local recommendations and requirements for safety and accident prevention, including those of the A.G.C., A.S.A., OSHA, etc. contractor shall take all necessary precautions to ensure the safety of the occupants and workers at all times.
- Painting, varnishing or the use of any other noxious substances must be isolated from adjoining spaces.
- All damages to the building property due to contract operations must be reported immediately to the building owner.
- Any alterations/deviation from the approved plans must be submitted to the architect for review and written approval prior to proceeding with the work.
- The owner reserves the right to perform additional work that is not part of this contract with his own forces, under separate contracts and/or with other contractors or vendors. The contractor shall cooperate with the owner and other contractors and coordinate his work with the owner so that work by others can be incorporated in a timely manner.
- The contractor shall be responsible for and shall replace or remedy any faulty, improper, or inferior materials or workmanship with shall appear within one (1) year or as otherwise specified for a specific component after completion and acceptance of the work under their contract.
- It shall be the responsibility of the contractor to locate all existing utilities whether shown herein or not and to protect them from damage. Contractor shall bear all expense of repair or replacement of utilities or other property damaged by operations in conjunction with performance of the work.
- Provide back-blocking as required to achieve firm attachment of all items of architectural woodwork and all other wall and/or ceiling mounted finishes, equipment and accessories, fixtures, etc. coordinate with owner.
- All materials used in the construction of this space must be asbestos free.
- Contractor shall provide rough-ins and wiring for data and phone outlets where required by owner. Owner's vendor shall provide terminal devices.
- All materials shall be furnished and installed in strict accordance with the manufacturers written instructions and recommendations. Materials and methods of installation shall also conform with the appropriate trade handbooks; i.e. Architectural Woodwork Institute's Quality Standards, United States Gypsum's, Gypsum Construction Handbook, etc.

# ABBREVIATIONS

ACOUST	ACOUSTICAL	GLAV	GALVANIZED	PLY/PLYWD	PLYWOOD
ACC	ACCESSIBLE	GC	GENERAL CONTRACTOR	PR	PAIR
ACS	ARCHITECTURAL CAST STONE	GL	GLASS/GLAZING	PSI	POUNDS/SQUARE INCH
ACT	ACOUSTIC CEILING TILE	GU	GUEST	PT	PRESSURE TREATED
ADJ	ADJUSTIBLE	GWB	GYPNUM WALL BOARD	PVC	POLYVINYL CHLORIDE
AFF	ABOVE FINISHED FLOOR	GYP	GYPNUM	RAD	RADIUS
ALUM	ALUMINUM	HB	HOSE BIB	RD	ROOF DRAIN
ANOD	ANODIZED	HC	HOLLOW CORE	REF	REFER
ARCH	ARCHITECT(URAL)	HDWR	HARDWARE	REFR	REFRIDGERATOR
AUTO	AUTOMATIC	HH	HEAD HEIGHT	REINF	REINFORCE
BD	BOARD	HM	HOLLOW METAL	REQ	REQUIRED
BLDG	BUILDING	HR	HOUR	RH	RIGHT HAND
BLKG	BLOCKING	HT	HEIGHT	RO	ROOM
CFCI	CONTRACTOR FINISHED & INSTALLED	HVAC	HEAT/VENT/AIR CONDITION	ROW	RIGHT OF WAY
CJ	CONTROL JOINT	ID	INSIDE DIAMETER	R&S	ROD & SHELF
CL	CENTER LINE	INCL	INCLUDE(D)	S	SOUTH
CLG	CEILING	INSUL	INSULATION	SCW	SOLID CORE WOOD
CLO	CLOSET	INT	INTERIOR	SCHED	SCHEDULE
CLR	CLEAR(ANCE)	JT	JOINT	SECT	SECTION
CMU	CONCRETE MASONRY UNIT	KD	KNOCK DOWN	SHT	SHEET
COL	COLUMN	KP	KICK PLATE	SIM	SIMILAR
CONC	CONCRETE	LAM	LAMINATE	SPEC	SPECIFICATION
CONST	CONSTRUCTION	LAV	LAVATORY	SQ	SQUARE
CONT	CONTINUE/CONTINUOUS	LH	LEFT HAND	SS	STAINLESS STEEL
CPT	CARPET	LHR	LEFT HAND REVERSE	STD	STANDARD
CT	CERAMIC TILE	MAS	MASONRY	STL	STEEL
CTR	CENTER	MAT	MATERIAL	STO	STORAGE
DBL	DOUBLE	MAX	MAXIMUM	SRTUC	STRUCTURAL
DIA	DIAMETER	MDO	MEDIUM DENSITY OVERLAY	SUSP	SUSPENDED
DIM	DIMENSION	MECH	MECHANICAL	SYM	SYMMETRICAL
DS	DOWN SPOUT	MANF	MANUFACTURER	SYS	SYSTEM
DTL	DETAIL	MIN	MINIMUM	TELE	TELEPHONE
DWG(S)	DRAWING(S)	MISC	MISCELLANEOUS	TEMP	TEMPERED
E	EAST	MO	MASONRY OPENING	T&G	TOUNGE & GROOVE
EA	EACH	MR	MOISTURE RESISTANT	TC	TOP OF CURB
EJ	EXPANSION JOINT	MTL	METAL	TLT	TOILET
ELEC	ELECTRIC(AL)	N	NORTH	TP	TOP OF PAVEMENT
ELEV	ELEVATION	NA	NOT APPLICABLE	TV	TELEVISION
ELVT	ELEVATOR	NIC	NOT IN CONTRACT	TYP	TYPICAL
EQ	EQUAL	NOM	MONINAL	UNO	UNLESS NOTED OTHERWISE
EQUIP	EQUIPMENT	NTS	NOT TO SCALE	VCT	VINYL COMPOSITION TILE
EXT	EXTERIOR OR EXTENDED	OC	ON CENTER	VIF	VERIFY IN FIELD
FD	FLOOR DRAIN	OD	OUTSIDE DIAMETER	VWC	VINYL WALL COVERING
FE	FIRE EXTINGUISHER	OFCI	OWNER FURNISHED-CONTRACTOR INSTALLED	W	WEST
FEC	FIRE EXTINGUISHER CABINET	OPG	OPENING	W/	WITH
FIN	FINISH	OH	OPPOSITE HAND	WC	WATER CLOSET
FFE	FURNITURE, FIXTURE & EQUIPMENT	OPP	OPPOSITE	WM	WIRE MOLD BASE
FT	FOOT	PART	PARTITION	W/O	WITHOUT
FR	FIRE RATED	PNT/PTD	PAIN(T)	WRB	WATER RESISTANT
FRT	FIRE RESISTANT TREATED WOOD	PL	PLATE	WTR	WATER
FRP	FIBERGLASS REINFORCED PANEL	PLAM	PLASTIC LAMINATE	WWF	WELDED WIRE FABRIC
GA	GAUGE	PLUM	PLUMBING		

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- A-401 North & East
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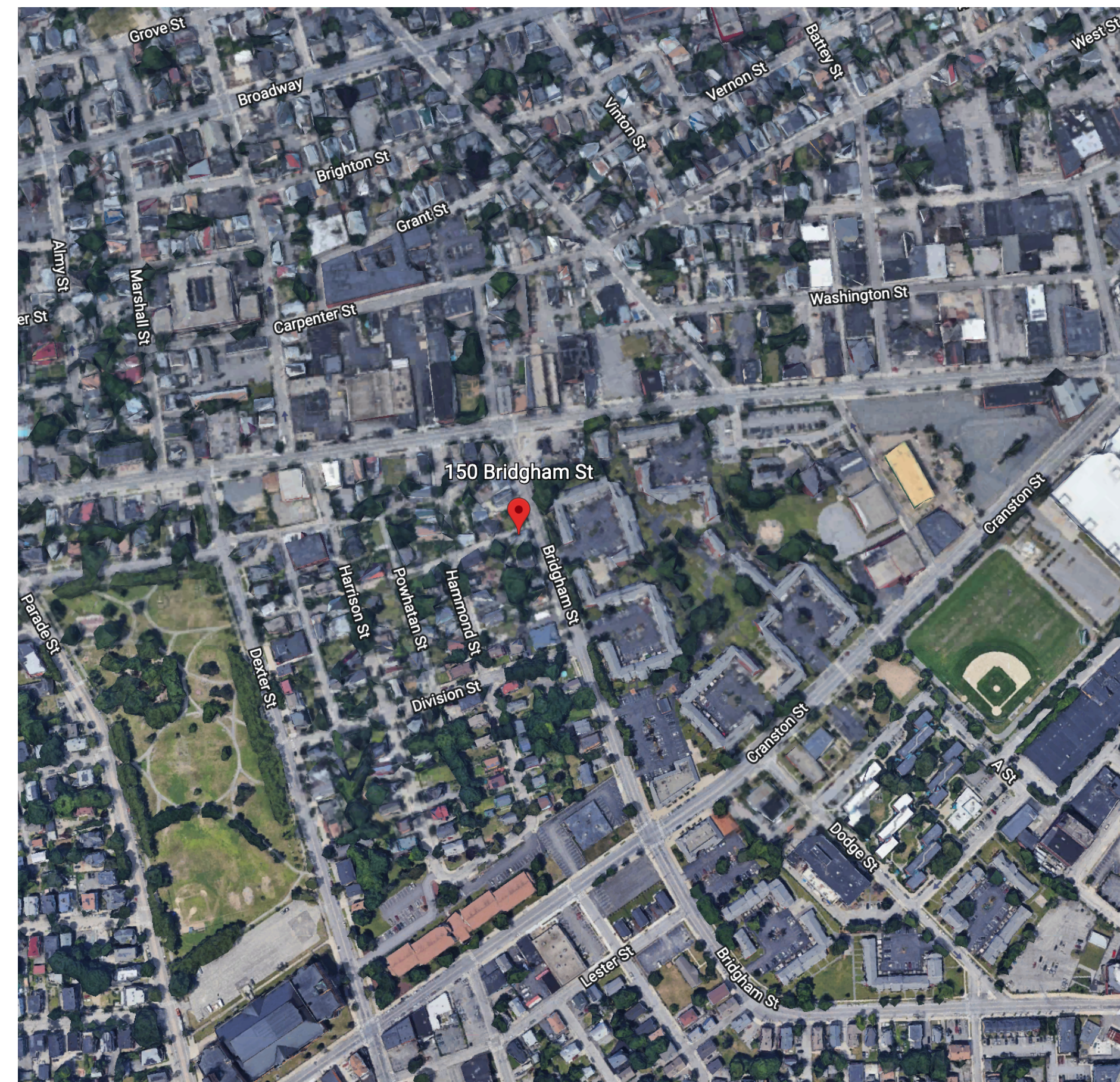
## Details

- A-701 Details

## Exterior Views

- A-702 3D Views
- A-703 3D Views
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# PROJECT LOCATION



# MATERIALS LEGEND

- Batting Insulation
- Gypsum Board
- Concrete
- Plywood
- Concrete Block
- Brick

# SYMBOLS LEGEND

- Detail Marker (D-05)
- Section Marker (D-XX, A-XXX)
- Door Tag (D-X)
- Window Tag (W-X)
- Wall Tag

# FINISH TAG LEGEND

- HARD FINISH CODES**
- BP Bathroom/Plumbing Fixture or Accessory
  - DL Decorative Light(ing)
  - E Equipment
  - L Laminate
  - M Metal
  - MA Masonry
  - G Glass
  - SP Speciality Product/System
  - P Paint/Stain
  - R Resilient Flooring
  - S Stone
  - SS Solid Surface
  - T Tile
  - W Wall Covering
  - WD Wood
- FEEE CODES**
- AC Accessory
  - AR Artwork
  - C Carpet
  - CH Seating
  - F Fabric/Upholstery
  - TC Tables/Case Goods
  - WT Window Treatment

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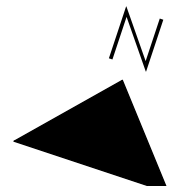
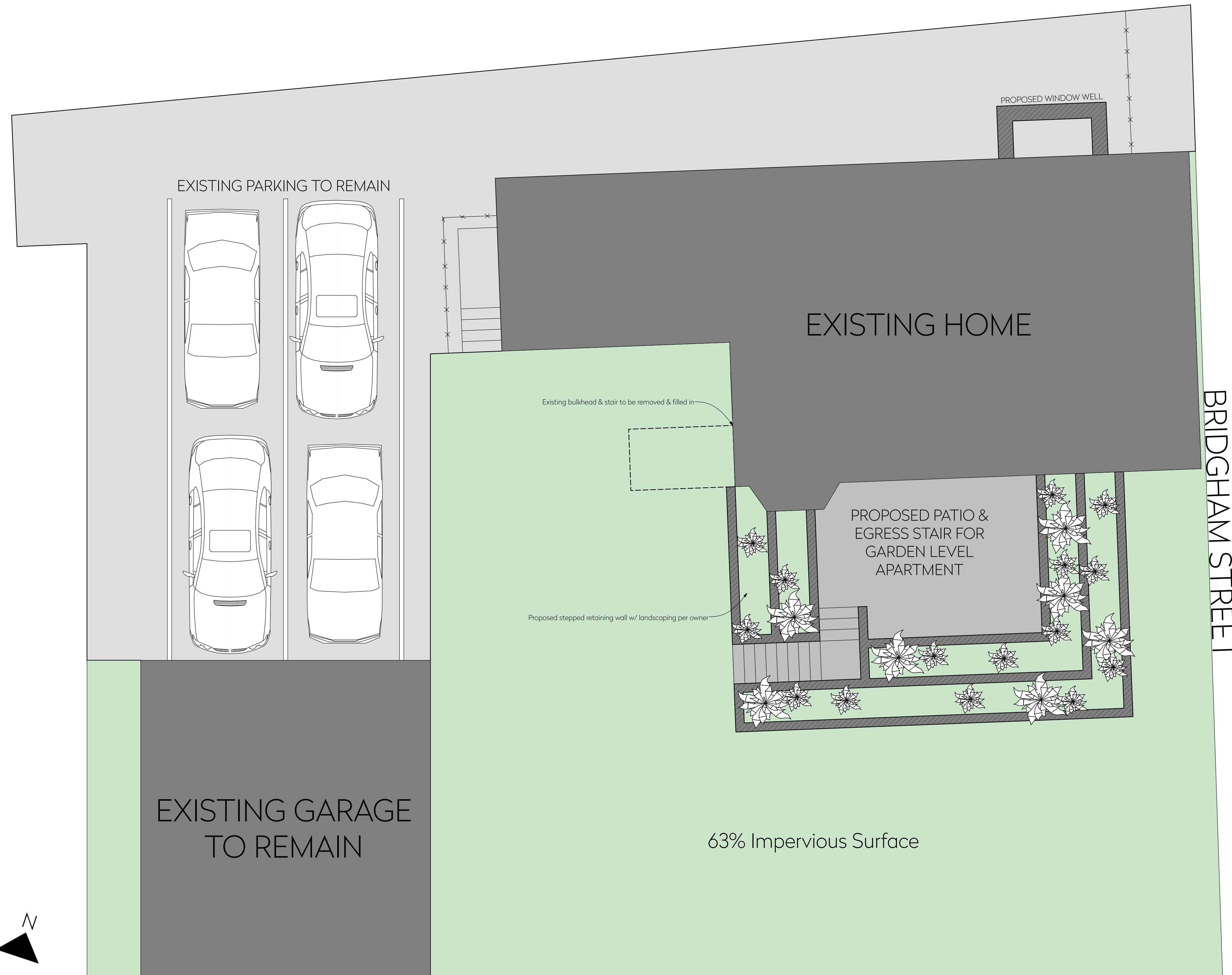
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Notes & Legends

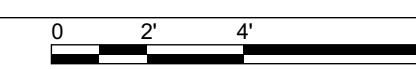
A002

SHEET 2

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1 Site Plan  
A003 SCALE: 1/4" = 1'-0"



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Site Plan

A003

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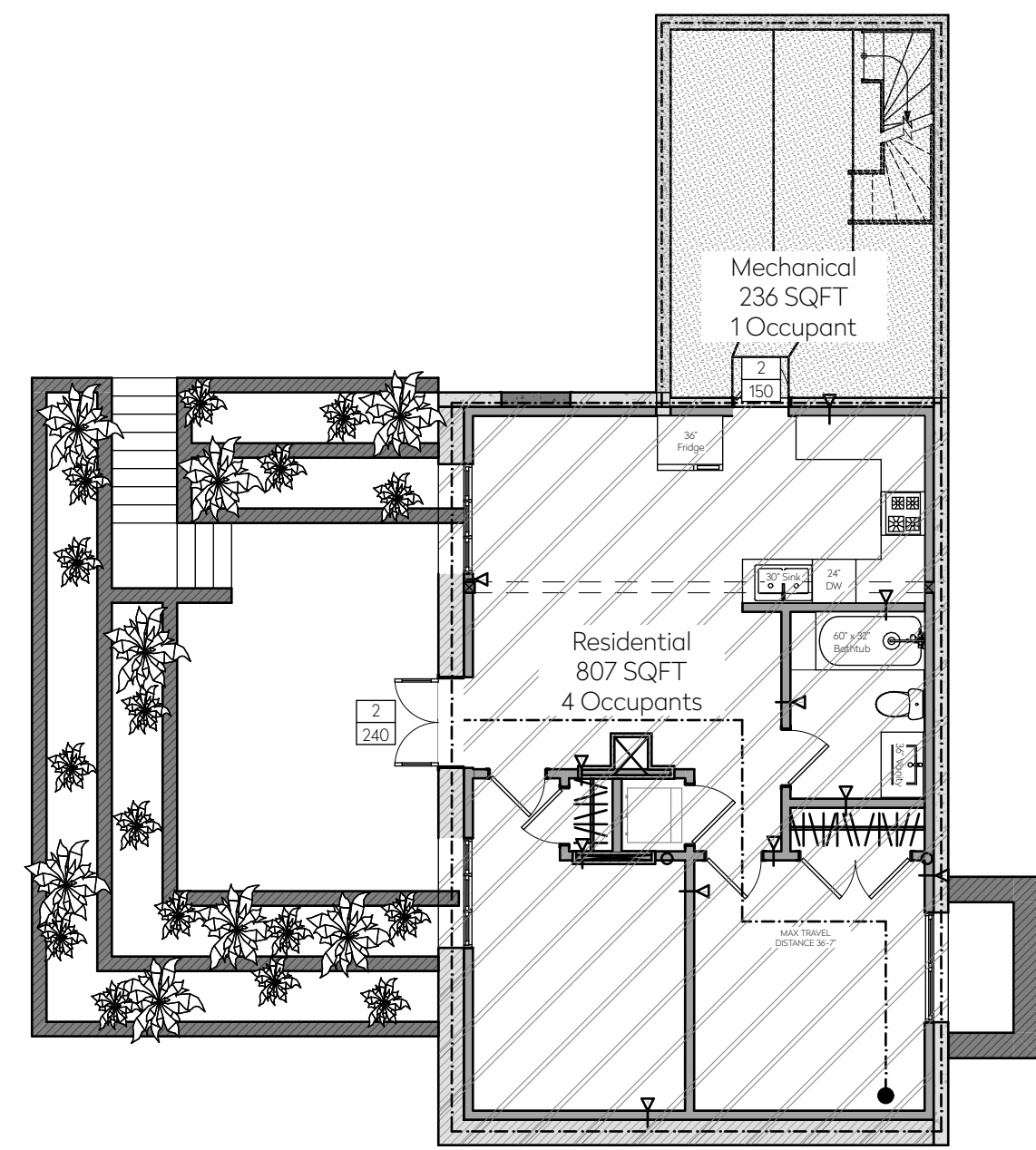
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Code Plans

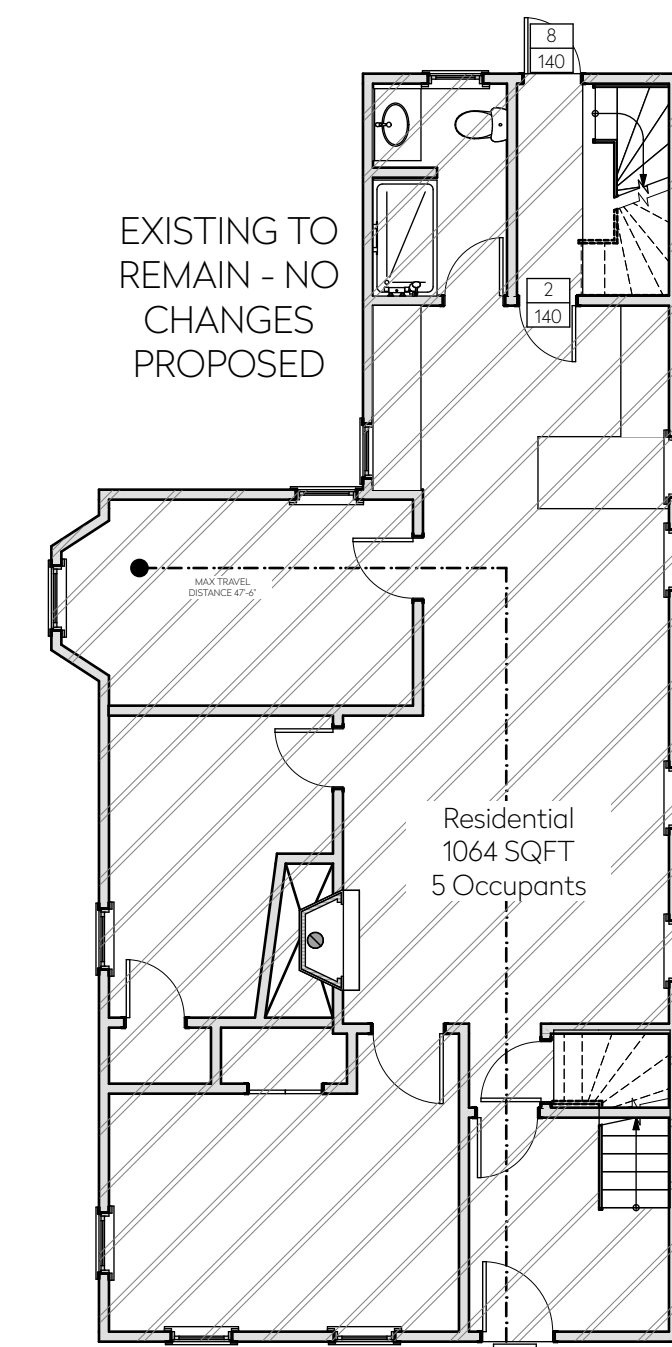
A004

Proposed Unit 3



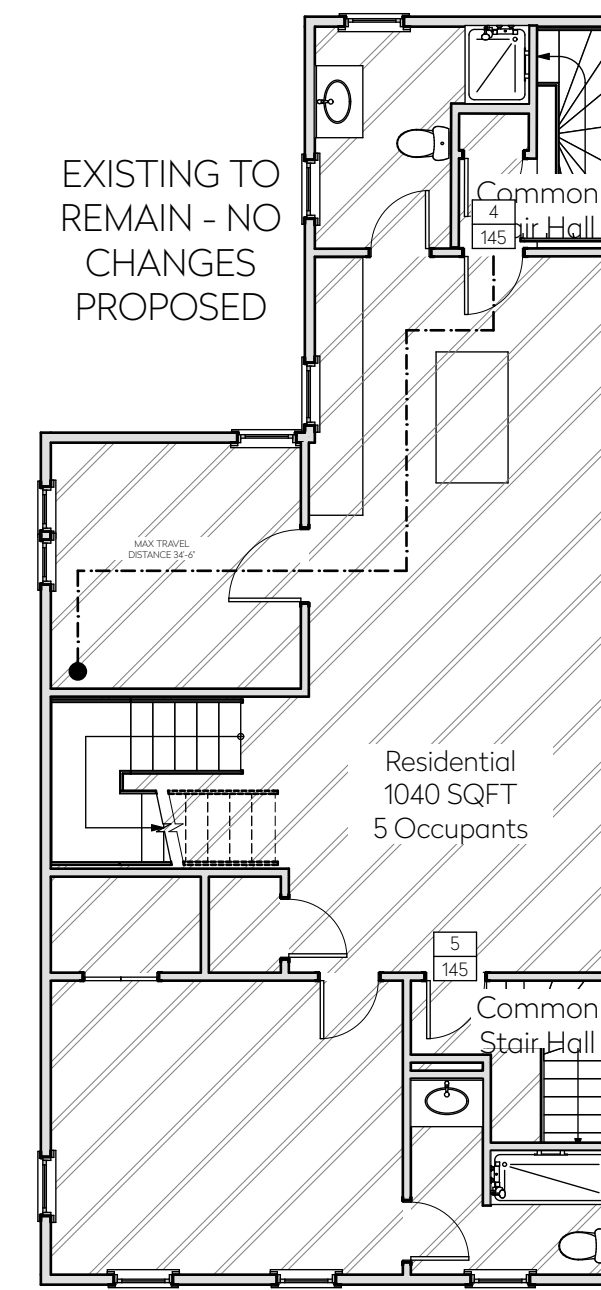
Existing Unit 1

No Changes Proposed

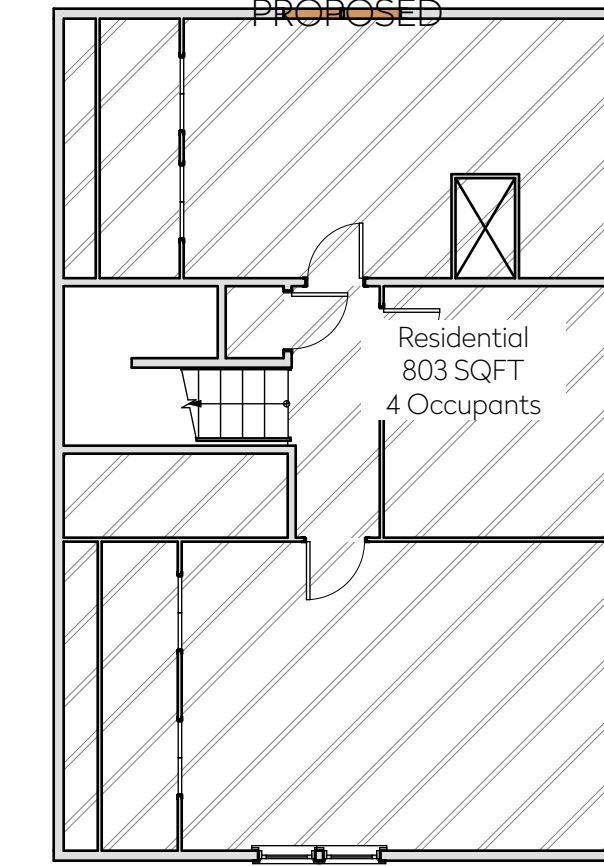


Existing Unit 2

No Changes Proposed



EXISTING TO REMAIN - NO CHANGES PROPOSED



Code Summary		
Authority Having Jurisdiction: City of Providence, Department of Building, Planning & Zoning		
Applicable Codes		
- IBC 2018 - Fire And Life Safety Code - RI State Building Code (RI SBC-12019) - Plumbing Code (RI SBC-3-2019) - Mechanical Code (RI SBC-4-2019) - Electrical Code (RI SBC-5-2019)	- NFPA 1 And 101 Life Safety Code 2018 W/ RI Amendments - International Building Code 2018 - International Plumbing Code 2018 - International Mechanical Code 2018 - National Electrical Code 2018 - National Energy Conservation Code 2018	
Code Description	Notes	Code Section
Proposed Use Group	R-2	IBC 3.310
Building Areas	Basement: 878 NET SQFT Level 1: 1,001 NET SQFT Level 2: 971 NET SQFT Level 3: 723 NET SQFT Total NET SQFT in Building: 3,573 SQFT	Basement: 1,042 GROSS SQFT Level 1: 1,064 GROSS SQFT Level 2: 1,040 GROSS SQFT Level 3: 803 GROSS SQFT Total GSF in Building: 3,949 GROSS SQFT
Overall Max Dimensions:	52'-0" x 24'-0"	
Proposed Building Type:	Proposed Construction Type: 5B	IBC 6.601
General Building Height & Area	Allowable Height: 40' Above Grade Plane Allowable Area: 7000 SF Allowable Number of Stories: 2	Existing to Remain - ~ 33'-0" Proposed: 3,714 SF Existing to Remain - 3 Stories IBC 5.504.3 IBC 5.504.4 IBC 5.506.2
Accessibility: There are less than 4 residential units proposed. As such, no units are required to be type A or type B accessible in accordance w/ ANSI A 117		
Note: Change of use from existing two family to three family requires the installation of hardwired interconnected smoke alarms and carbon monoxide detectors. Design by third party consultant or fire alarm installer. Fire alarm design not within architect's scope of work.		
Note: Change of use to three family also requires the installation of an automatic sprinkler system - installed in accordance with NFPA. Sprinkler design and drawing not part of architect's scope of work.		
Owner/applicant seeking relief from AHJ & State Building Board on requirement of an automatic sprinkler/fire suppression system		

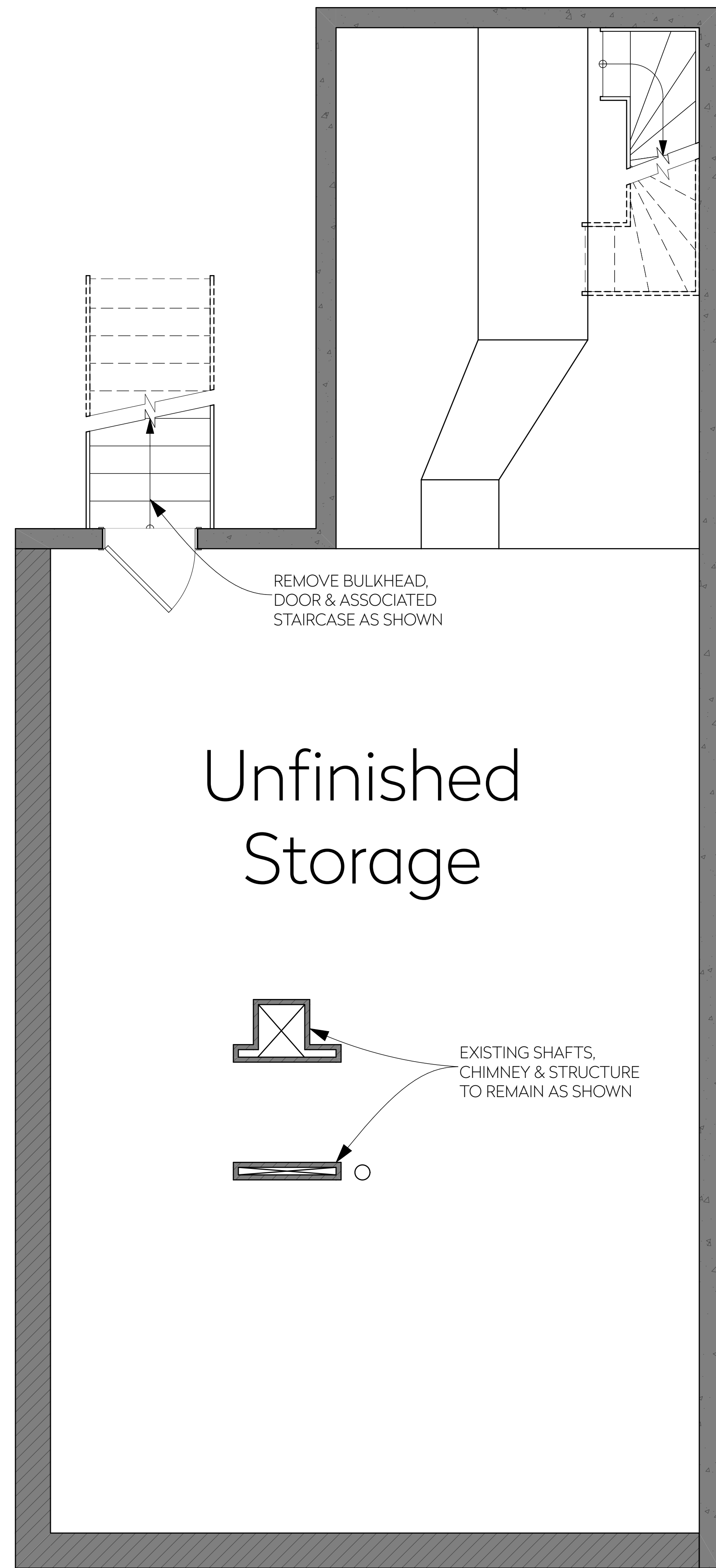
Egress Requirements	RI-LSC Required	Provided	Section
Number of exits required	2	2	74.1 LSC
Minimum Egress Door Width	0.2/OCC	36" min	73.3.1 LSC
Minimum Egress Ceiling Height	7'-6"	N/A	715.1 LSC
Maximum Dead End	50'-0"	N/A	30.2.5 LSC
Maximum Common Path of Travel	50'-0"	N/A	30.2.5 LSC

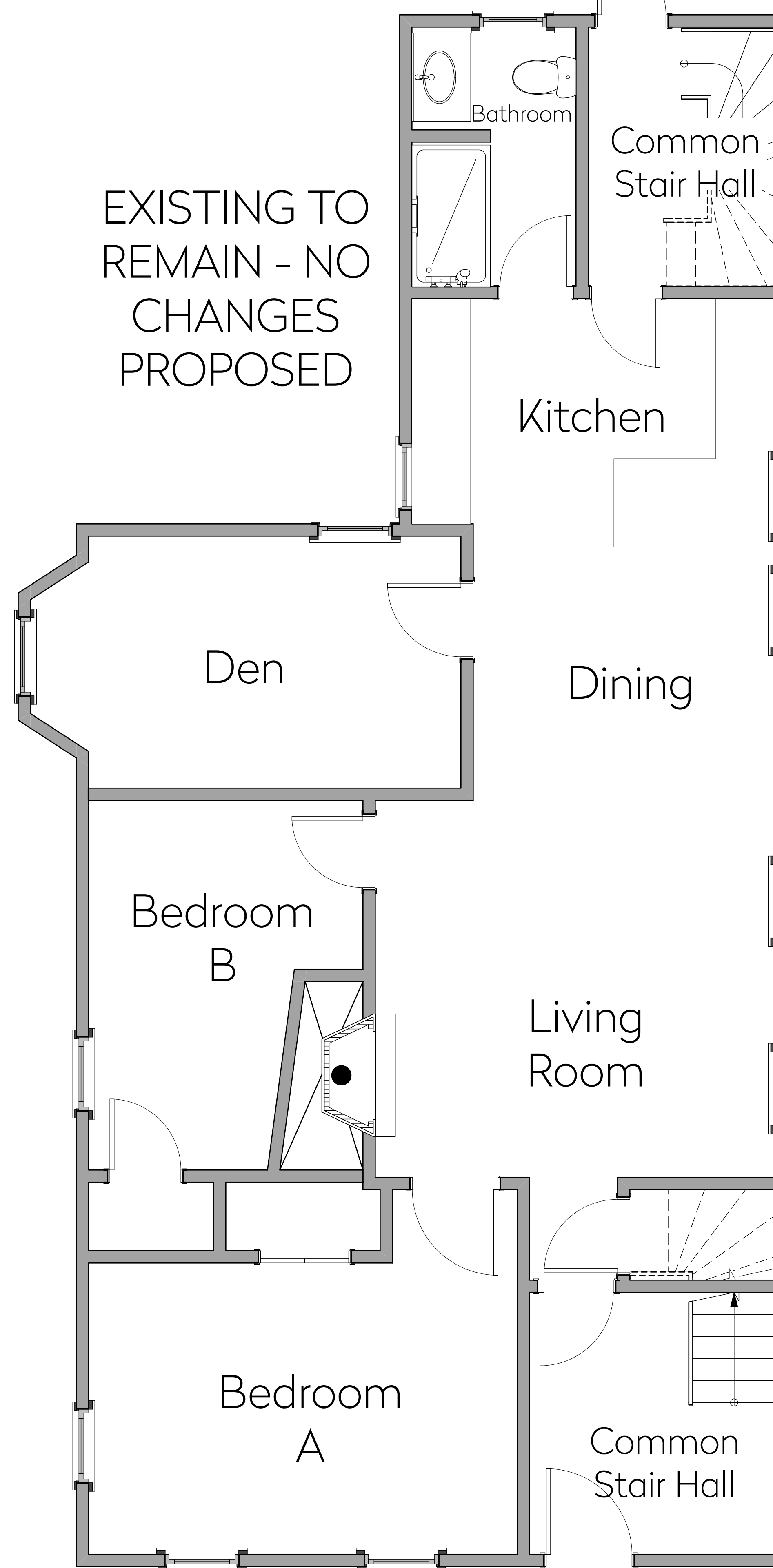
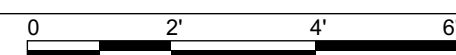
Egress Code & Use Group Symbols	
-----	1/2 Hour Rated Fire Wall
-----	1 Hour Rated Fire Wall
-----	2 Hour Rated Fire Wall
-----	Common Path of Travel
-----	Maximum Travel Distance
FEC	Fire Extinguisher
⊗	Exit
#	Number of Occupants
#	Occupant Capacity

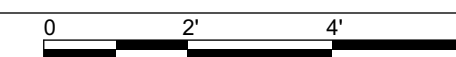
Total number of units: 3	Total number of full bathrooms: 4
Total bedroom count: 9	Total number of kitchens: 3
1 new unit proposed in the basement of the building: 1 bedroom, 1 bathroom and 1 kitchen.	



1 Existing Basement Floor Plan  
SCALE: 3/8" = 1'-0"



2 Existing First Floor Plan  
SCALE: 3/8" = 1'-0"



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Existing Basement & First Floor

A101

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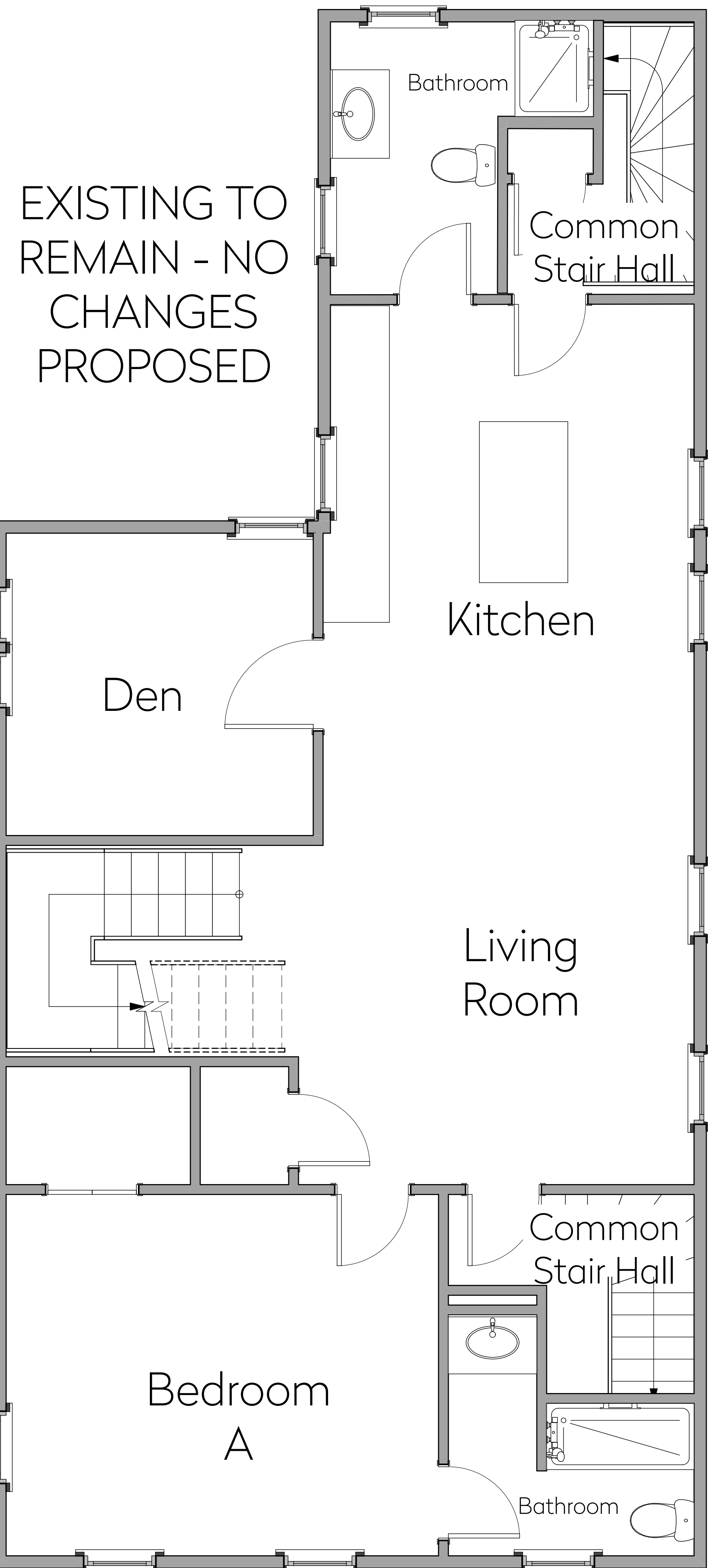
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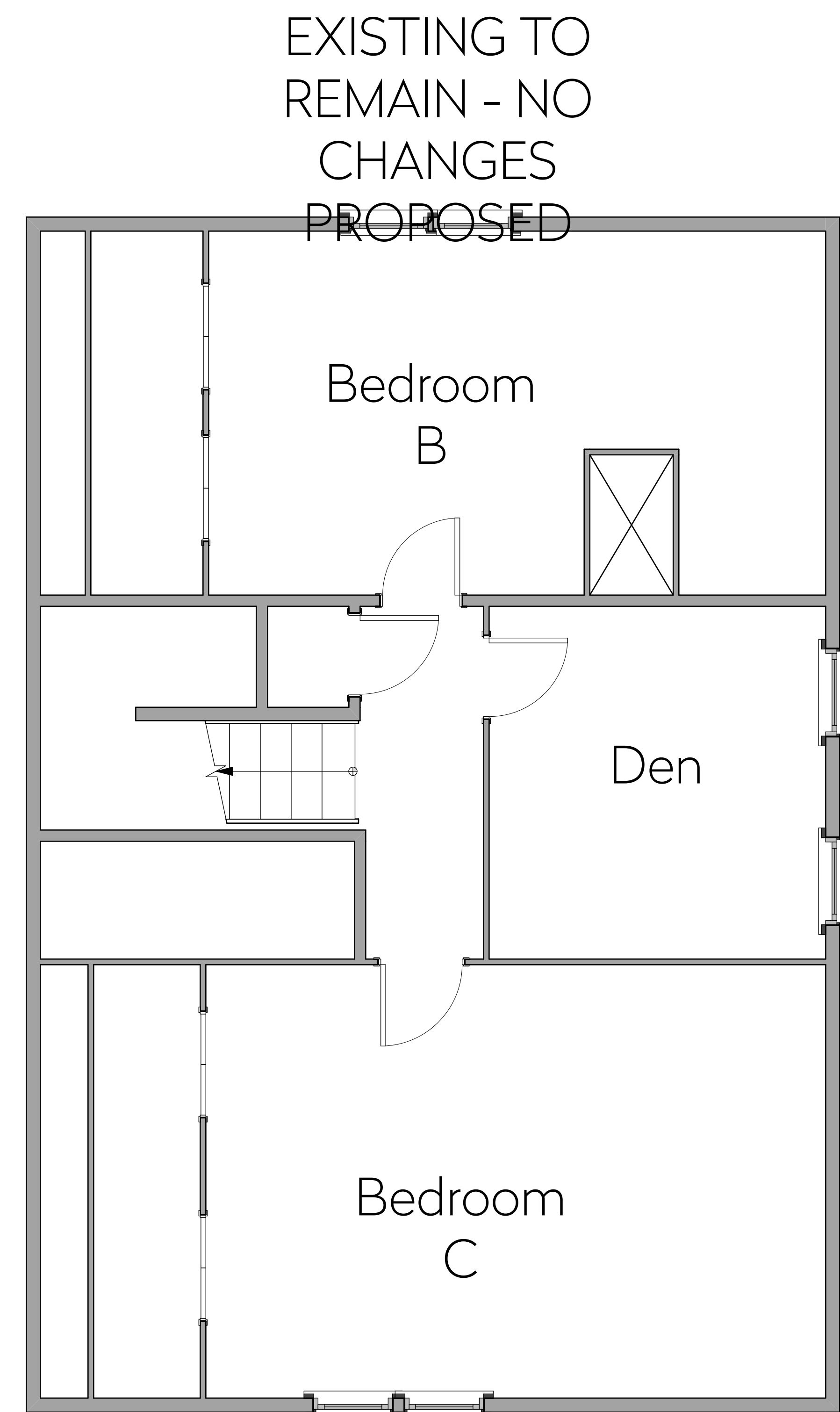
8/12/22

Existing Second & Third  
Floor Plan

A102



1 Existing Second Floor Plan  
SCALE: 3/8" = 1'-0"



2 Existing Third Floor Plan  
SCALE: 3/8" = 1'-0"

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Proposed Basement Floor Plan

A103

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**GUARD RAILS:**  
PER IBC 1015.2:  
GUARDS SHALL BE LOCATED ALONG OPEN-SIDED WALKING SURFACES, INCLUDING MEZZANINES, EQUIPMENT PLATFORMS, AISLES, STAIRS, RAMPS & LANDINGS THAT ARE LOCATED MORE THAN 30" MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36" HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. GUARDS SHALL BE ADEQUATE IN STRENGTH & ATTACHMENT IN ACCORDANCE WITH SECTION 1607.8

**NOTE:**  
ALL FRAMING MEMBERS THAT ARE IN DIRECT CONTACT W/ STONE OR CONCRETE MUST BE PRESSURE TREATED. THIS INCLUDES ALL BASE/SILL PLATES, FURRING OR BACK-UP WALLS AGAINST STONE WALLS, ETC. INSULATION MUST CONSIST OF RIGID INSULATION. ALL DRYWALL TO BE MOISTURE RESISTANT.

PRIOR TO CONSTRUCTION, G.C. MUST THOROUGHLY INSPECT GROUNDWATER DRAINAGE CONDITIONS TO ENSURE THAT THE BASEMENT IS COMPLETELY DRY, ADEQUATELY VENTED & READY TO ACCEPT THE PROPOSED BUILDING MATERIALS.

Fill in opening of existing exterior door as shown. GC to install drainage mat & fluid applied vapor barrier to exterior surface of foundation prior to back filling. Slope grade away from site @ min slope of 5 degrees. TYP

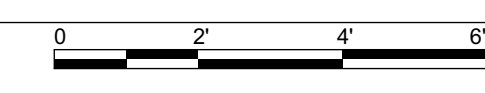
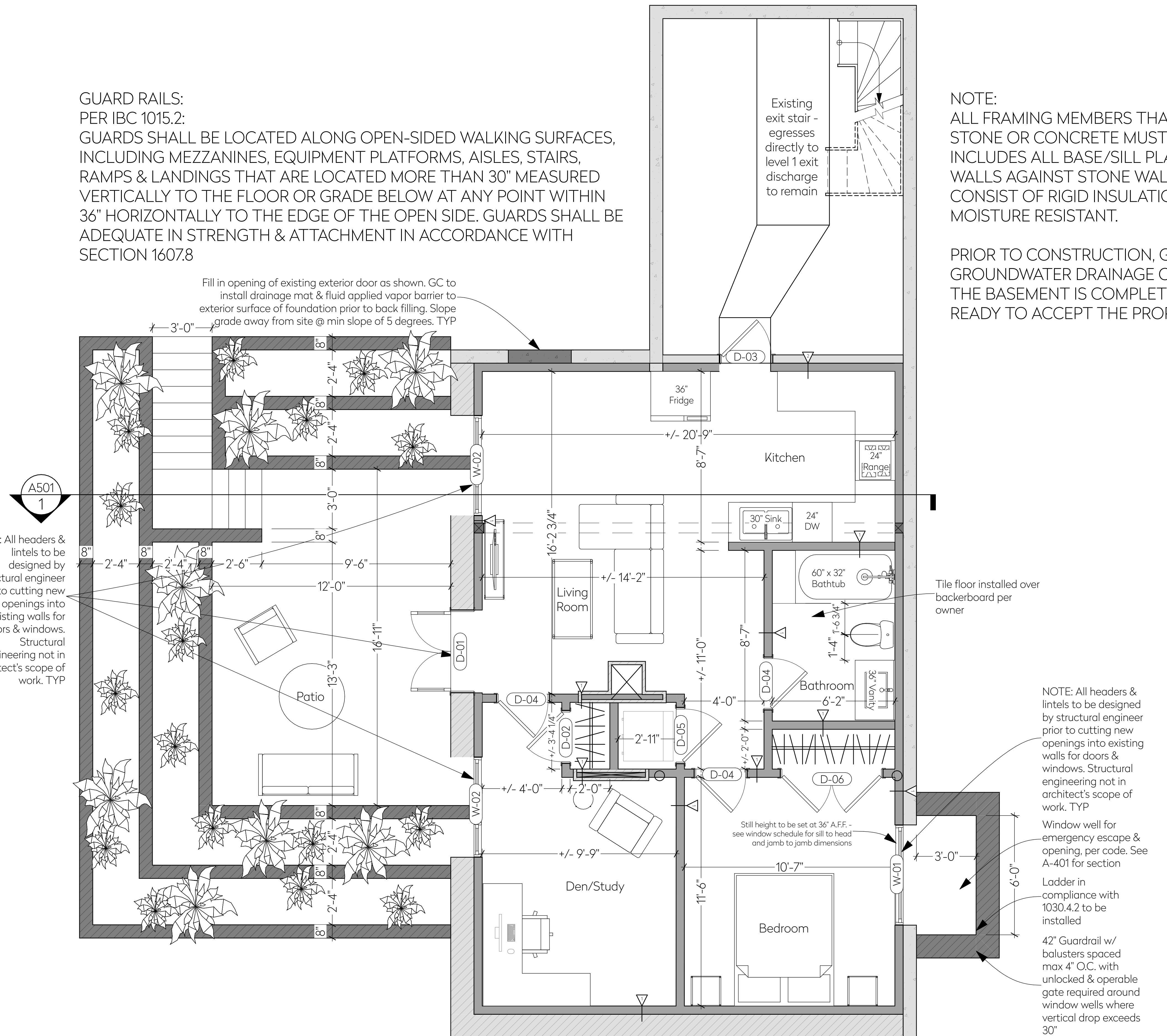
**NOTE:** All headers & lintels to be designed by structural engineer prior to cutting new openings into existing walls for doors & windows. Structural engineering not in architect's scope of work. TYP

**NOTE:** All headers & lintels to be designed by structural engineer prior to cutting new openings into existing walls for doors & windows. Structural engineering not in architect's scope of work. TYP

Window well for emergency escape & opening, per code. See A-401 for section

Ladder in compliance with 1030.4.2 to be installed

42" Guardrail w/ balusters spaced max 4" O.C. with unlocked & operable gate required around window wells where vertical drop exceeds 30"

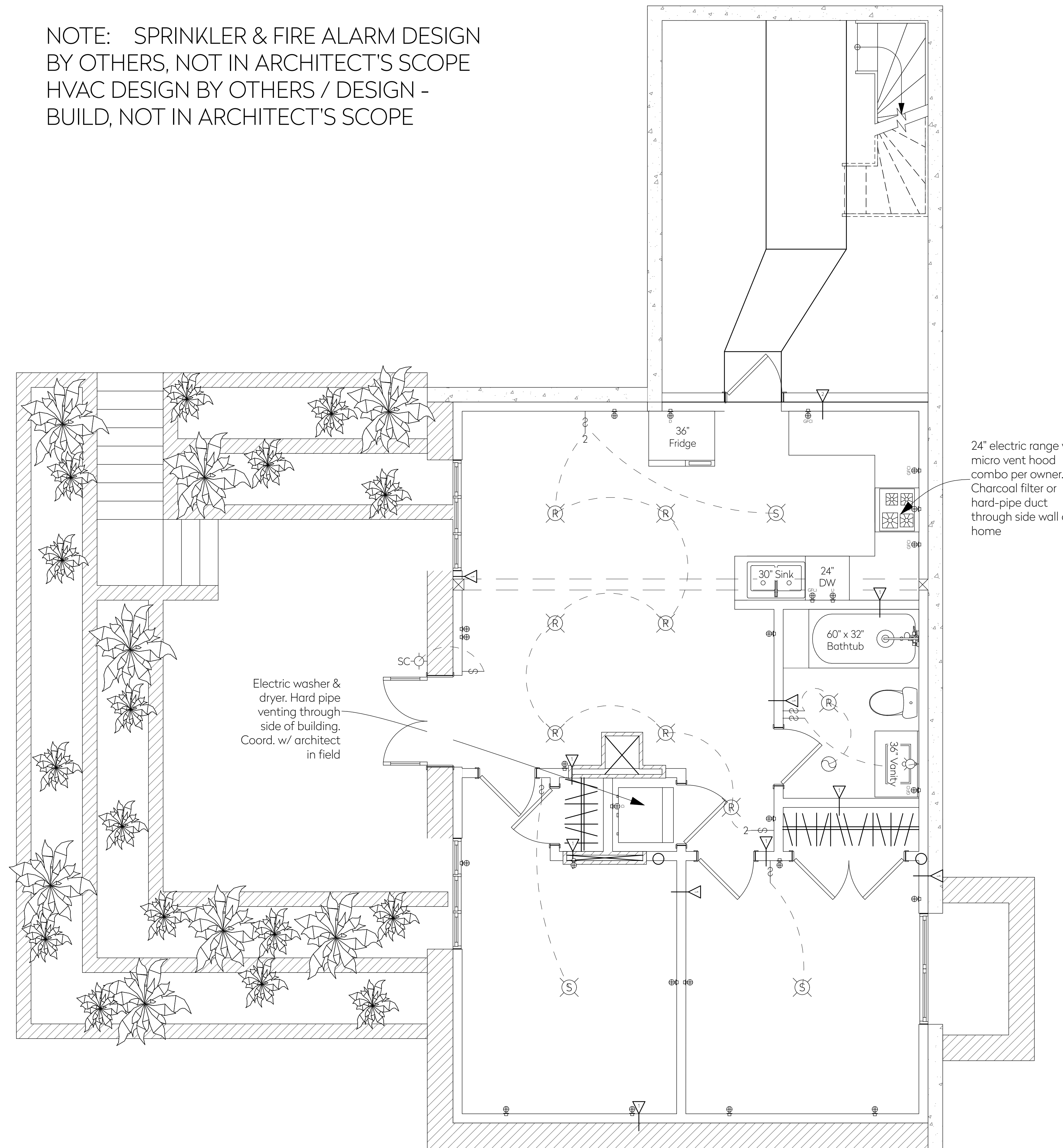


# Electrical Legend

SC-⊕	Outdoor Sconce
⊕	Vanity Light
⊕S	Semi-Flush Light
⊕R	Puck Light
⊕ 2	Two-Way Switch
⊕	Switch
⊕GFCI	GFCI Outlet
⊕D	Direct Outlet
⊕	Outlet
⊕	Vent Fan - Min 180 CFM w/ fire rated enclosure. Sealed, fire rated hard pipe vented directly to side wall of building.

NOTE: CEILINGS TO HAVE CONTINUOUS 1-HOUR FIRE RATING. ALL PENETRATIONS & JUNCTION BOXES TO BE UL LISTED FOR A MINIMUM 1-HOUR FIRE RATING

NOTE: SPRINKLER & FIRE ALARM DESIGN BY OTHERS, NOT IN ARCHITECT'S SCOPE  
 HVAC DESIGN BY OTHERS / DESIGN-BUILD, NOT IN ARCHITECT'S SCOPE



1 A104 Basement RCP  
 SCALE: 3/8" = 1'-0"

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Proposed Basement RCP

A104

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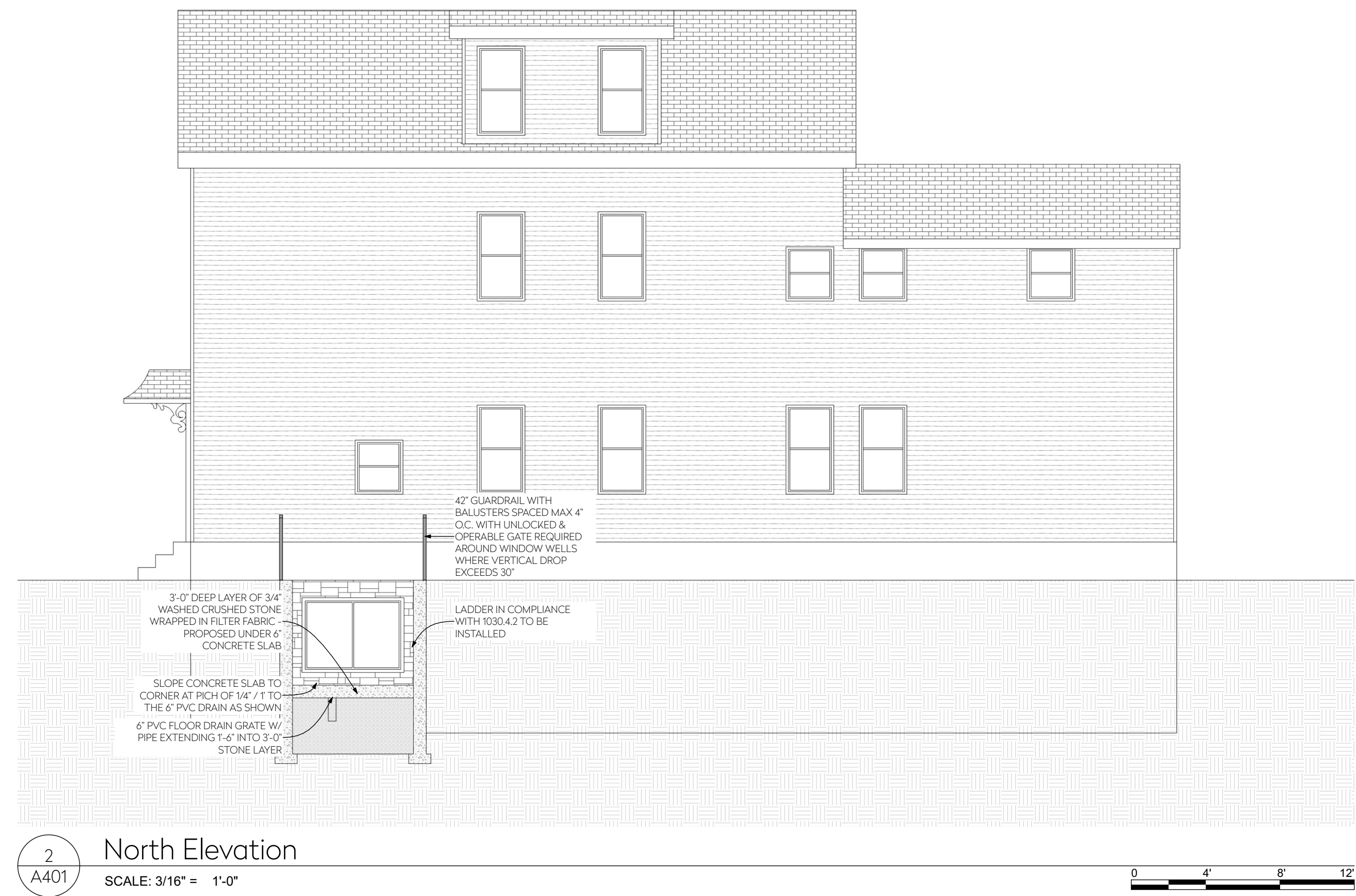
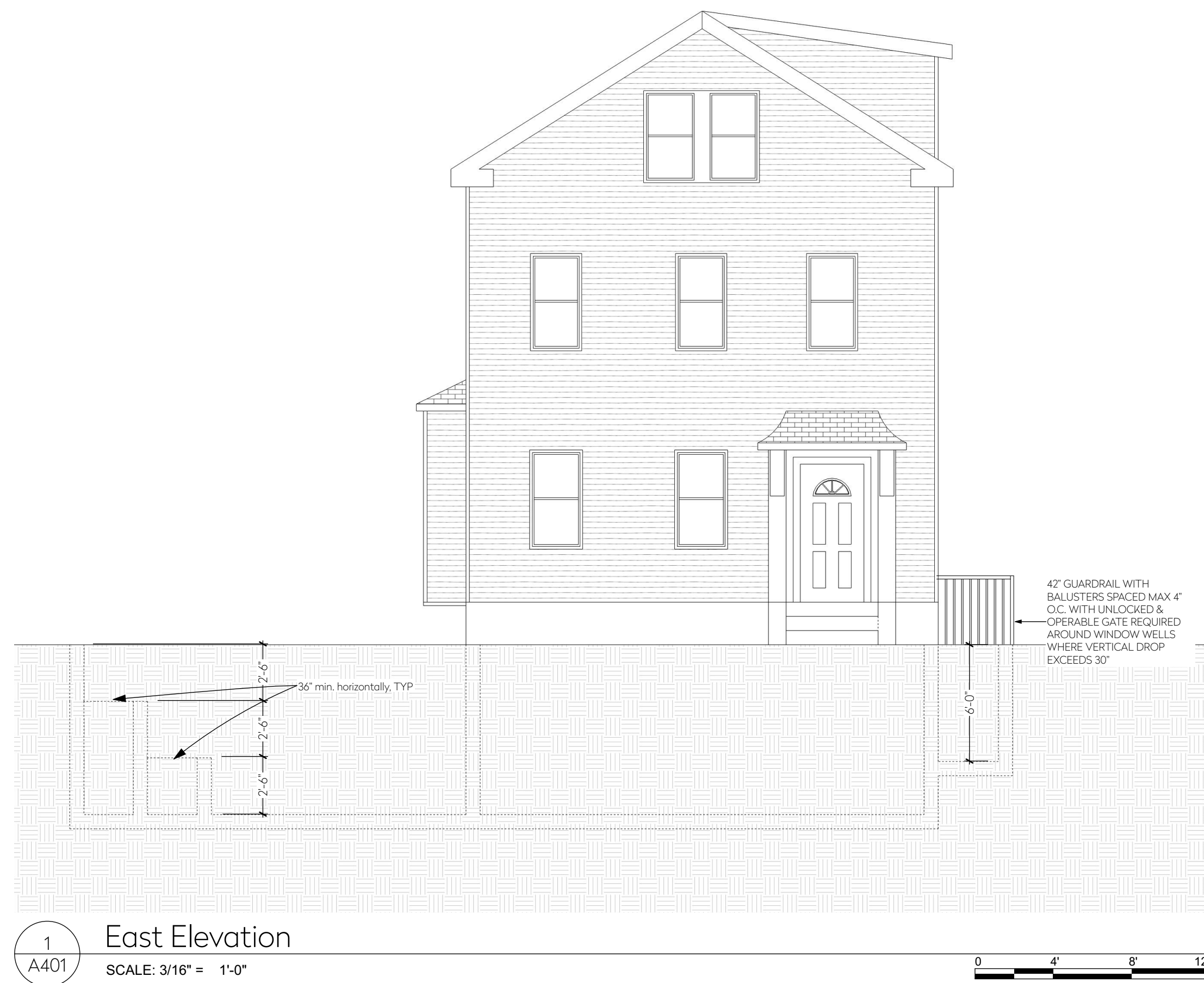
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North & East Elevations

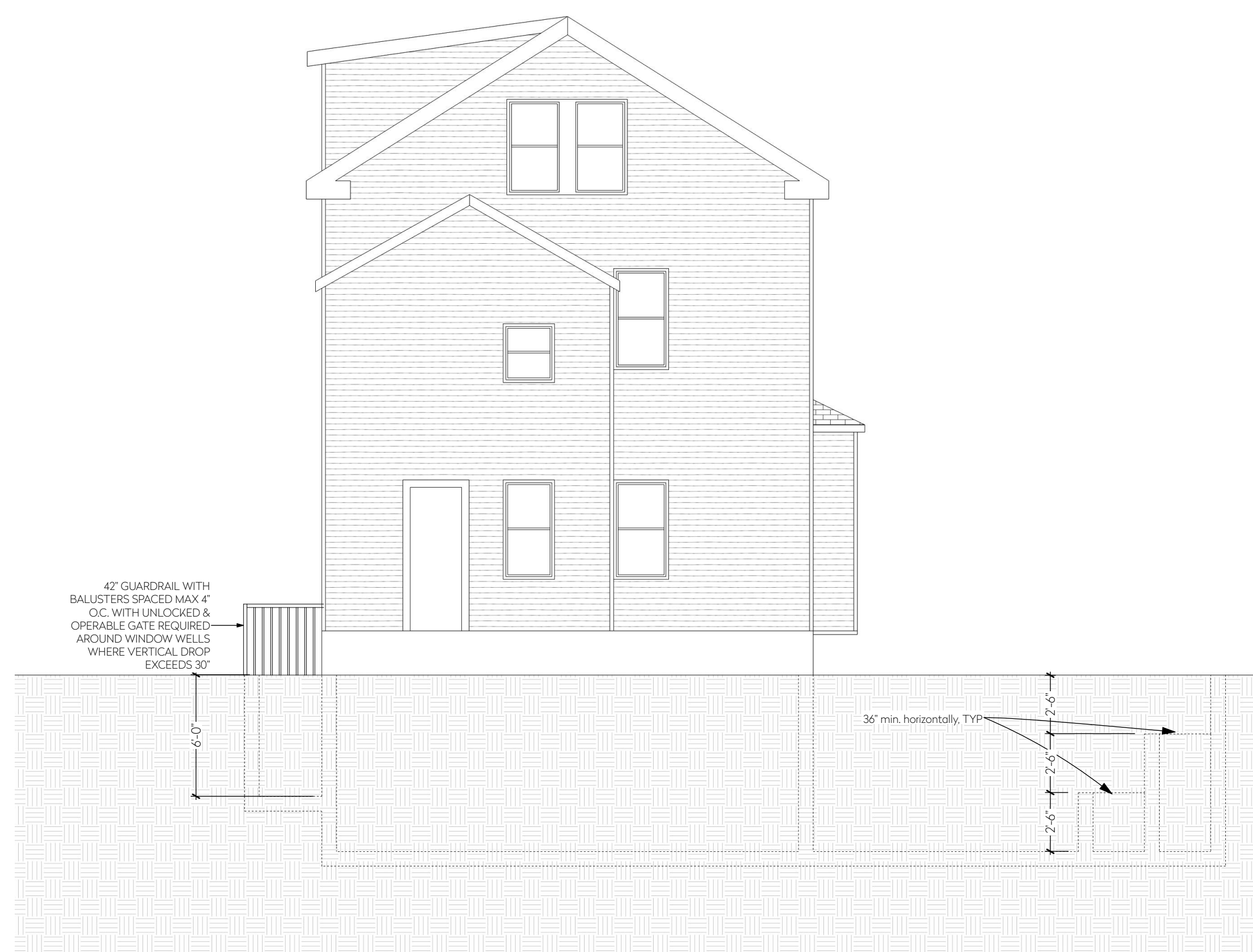
A401

GUARD RAILS:  
PER IBC 1015.2:  
GUARDS SHALL BE LOCATED ALONG OPEN-SIDED WALKING SURFACES,  
INCLUDING MEZZANINES, EQUIPMENT PLATFORMS, AISLES, STAIRS,  
RAMPS & LANDINGS THAT ARE LOCATED MORE THAN 30" MEASURED  
VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN  
36" HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. GUARDS SHALL BE  
ADEQUATE IN STRENGTH & ATTACHMENT IN ACCORDANCE WITH  
SECTION 1607.8



NOTE: REINFORCED CONCRETE FOOTINGS,  
STEMWALLS, SLABS & ASSOCIATED  
DETAILS TO BE DESIGNED BY STRUCTURAL  
ENGINEER - NOT IN ARCHITECT'S SCOPE

GUARD RAILS:  
 PER IBC 1015.2:  
 GUARDS SHALL BE LOCATED ALONG OPEN-SIDED WALKING SURFACES,  
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 SECTION 1607.8



1 West Elevation  
 SCALE: 3/16" = 1'-0"  
 0 4 8 12



2 South Elevation  
 SCALE: 3/16" = 1'-0"  
 0 4 8 12

NOTE: REINFORCED CONCRETE FOOTINGS,  
 STEMWALLS, SLABS & ASSOCIATED  
 DETAILS TO BE DESIGNED BY STRUCTURAL  
 ENGINEER - NOT IN ARCHITECT'S SCOPE

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South & West Elevations

A402

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Sections

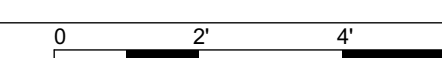
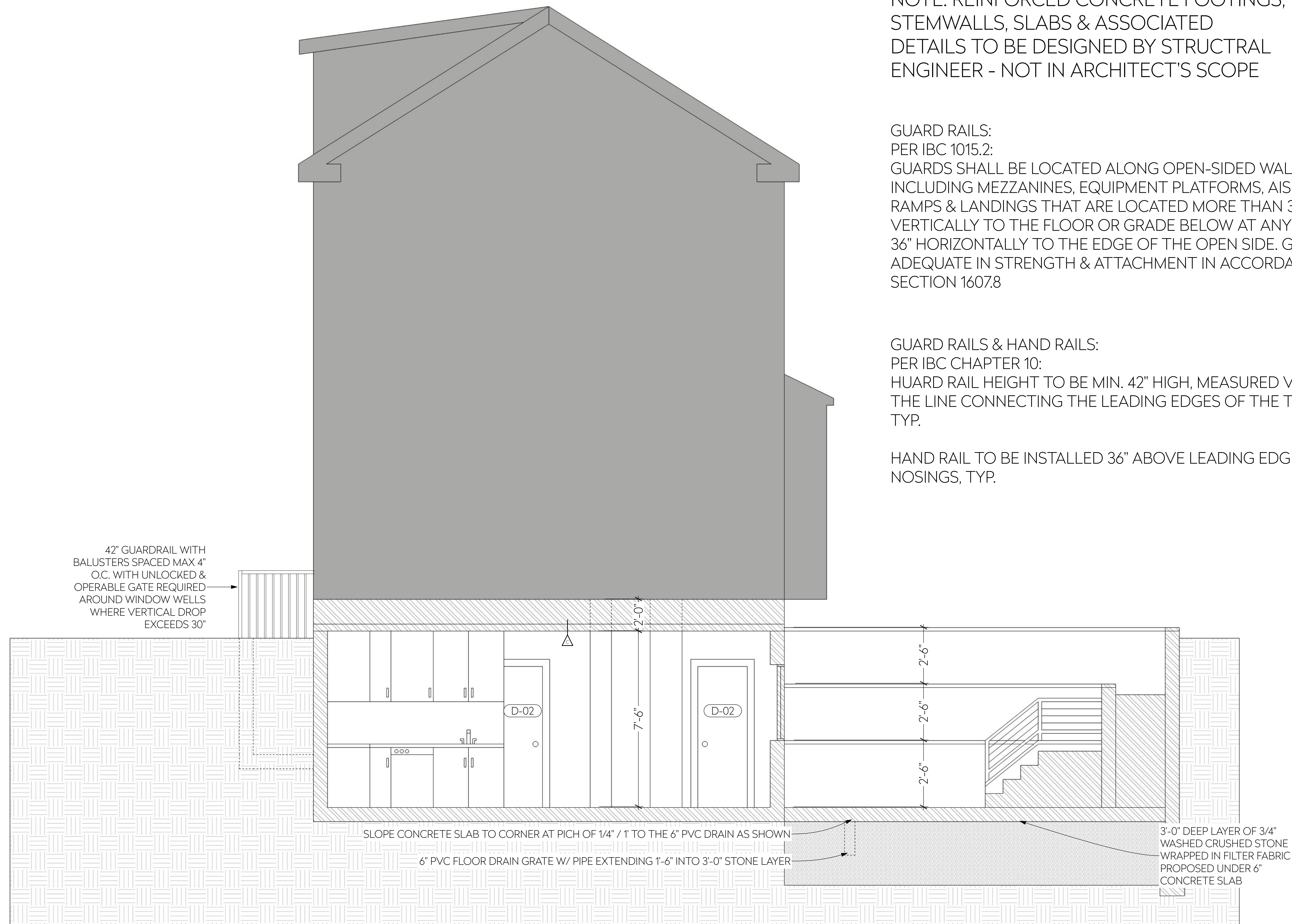
A501

NOTE: REINFORCED CONCRETE FOOTINGS,  
STEMWALLS, SLABS & ASSOCIATED  
DETAILS TO BE DESIGNED BY STRUCTURAL  
ENGINEER - NOT IN ARCHITECT'S SCOPE

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36" HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. GUARDS SHALL BE  
ADEQUATE IN STRENGTH & ATTACHMENT IN ACCORDANCE WITH  
SECTION 1607.8

GUARD RAILS & HAND RAILS:  
PER IBC CHAPTER 10:  
GUARD RAIL HEIGHT TO BE MIN. 42" HIGH, MEASURED VERTICALLY FROM  
THE LINE CONNECTING THE LEADING EDGES OF THE TREAD NOSINGS,  
TYP.

HAND RAIL TO BE INSTALLED 36" ABOVE LEADING EDGES OF THE TREAD  
NOSINGS, TYP.



SEAL



CONSULTANTS

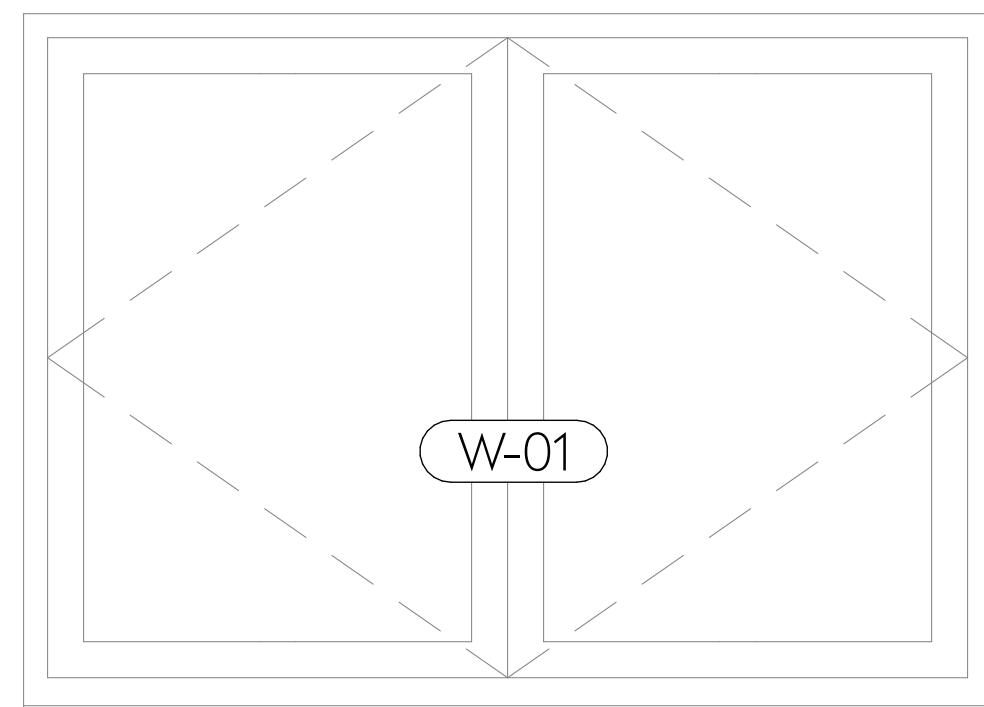
150 Bridgman Street  
150 Bridgman St  
Providence, RI 02909

ISSUE DATE

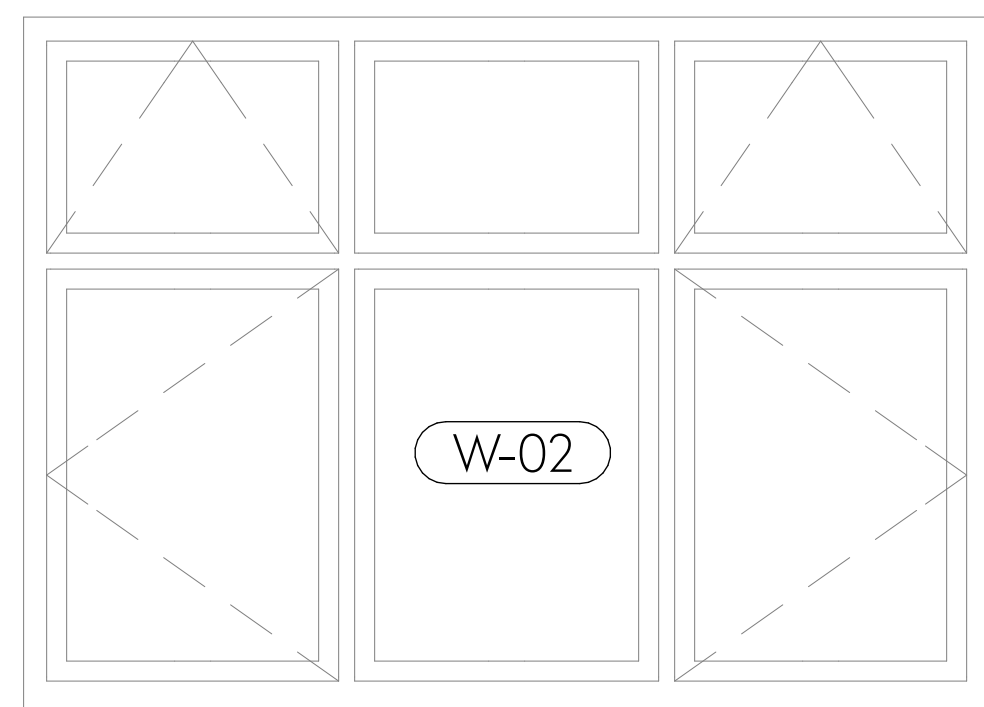
8/12/22

Details

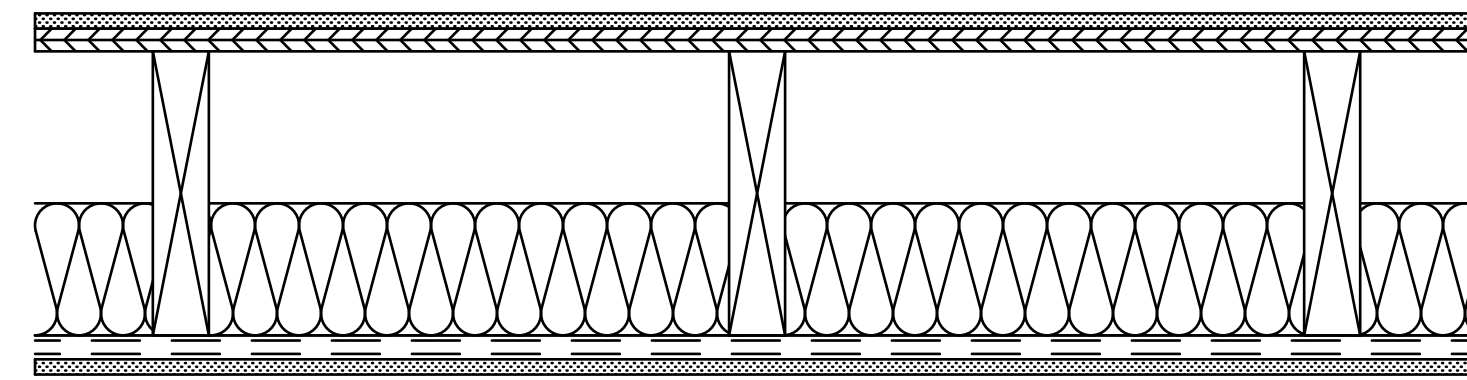
A701



2 Window W-01  
A701 SCALE: 1" = 1'-0"



3 Window W-02  
A701 SCALE: 1" = 1'-0"



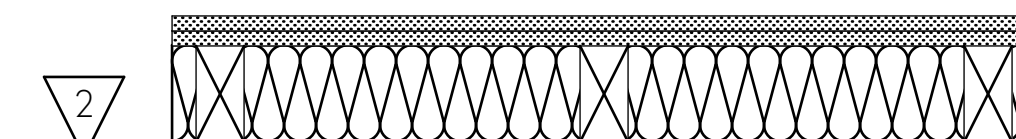
**Ceiling/Floor Assembly (1 HR) (L520 2)**

SUBFLOORING: Existing to remain, TYP.  
STRUCTURAL WOOD MEMBERS: Existing to remain, TYP  
INSULATION: 6" Rock Wool R-30  
7/8" 20 GA. Metal Hat Channel @ 16" O.C.  
GYPSUM BOARD: One layer 5/8" Type X GWB  
Fire tape all seams and screws, TYP.



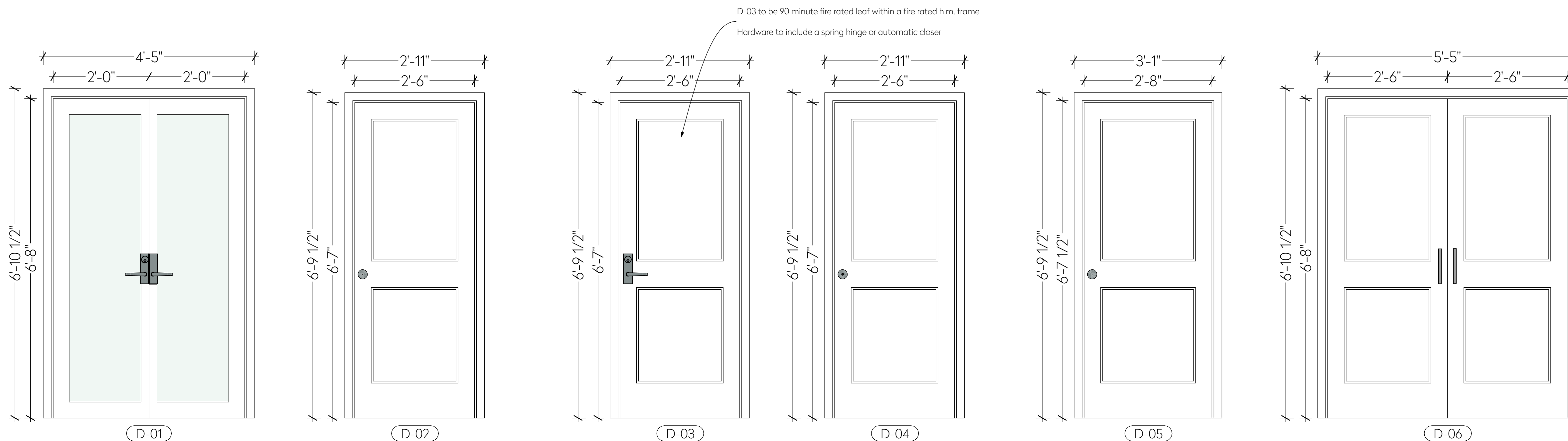
**Typical Interior Partition Wall**

2"x4" metal studs @ 16" OC  
1 layer of 5/8" GWB on both sides

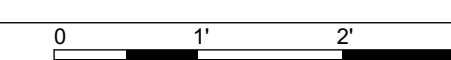


**Rated Partition Wall (2 HR) (UL419)**

2"x4" metal studs @ 16" OC  
3 1/2" sound batt insulation  
2 layers of 5/8" Type X GWB on both sides  
Bring tight to floor and ceiling, fire caulk all penetrations and fire tape all seams



3 Door Elevations  
A701 SCALE: 3/4" = 1'-0"



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3D Views

A702



GUARD RAILS & HAND RAILS:  
PER IBC CHAPTER 10:  
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TYP.

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NOSINGS, TYP.

NOTE: RENDERINGS NOT TO SCALE, SHOWN  
FOR ILLUSTRATIVE INTENT ONLY



SEAL



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150 Bridgham Street

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Providence, RI 02909

ISSUE DATE

8/12/22

3D Views

A703



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SEAL



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150 Bridgham Street

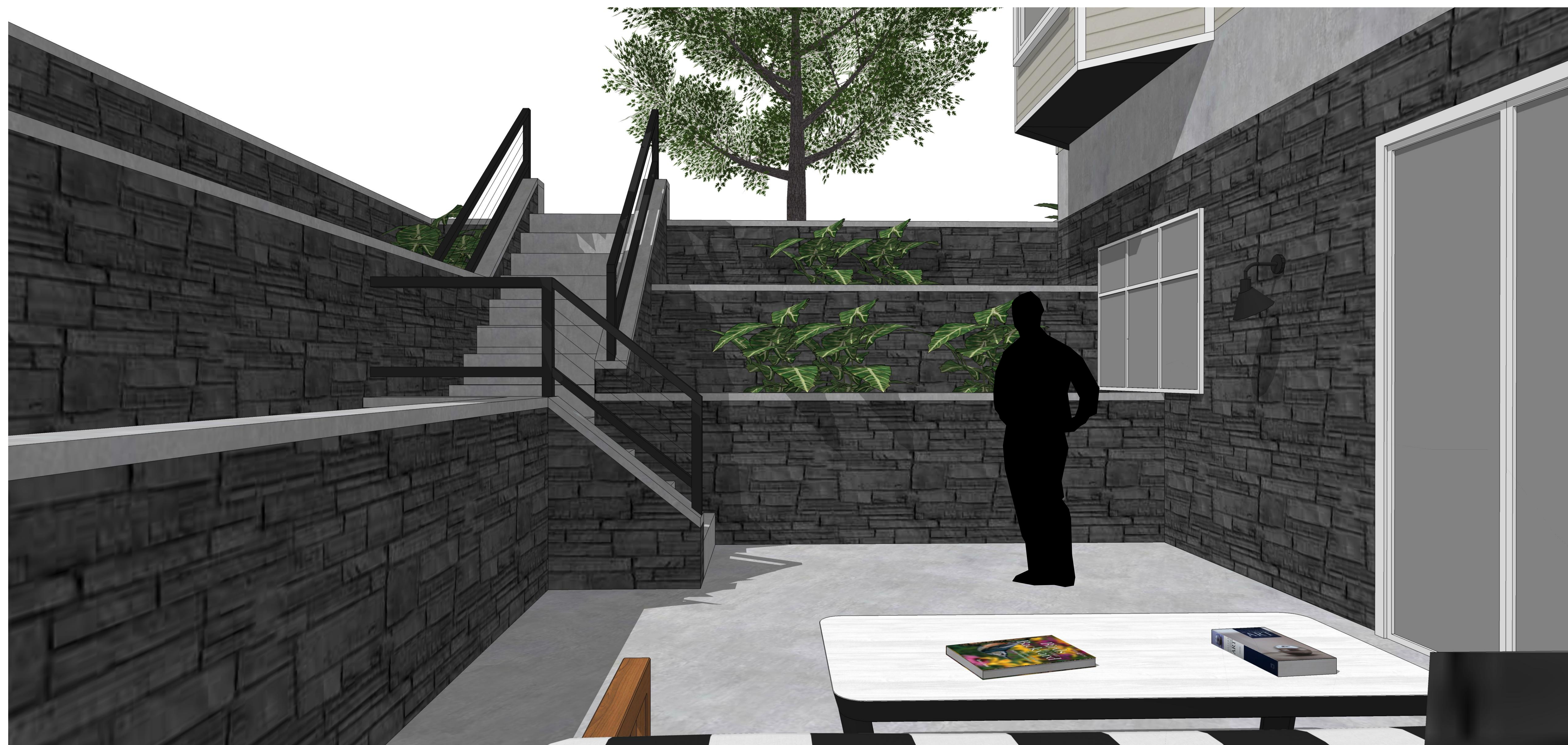
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Providence, RI 02909

ISSUE DATE

8/12/22

3D Views

A704



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SEAL



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3D Views

A705



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