

CITY OF PROVIDENCE
BUILDING BOARD OF REVIEW

INSPECTION & STANDARDS
RECEIVED

OCT 27 2025

APPLICATION APPEALING THE DECISION OF THE BUILDING OFFICIAL, OR
FOR A VARIATION OR MODIFICATION FROM CERTAIN SECTIONS OF THE RI STATE BUILDING CODE

Check Type of Building Board Application:

- Variance – variation from, or modification of, certain sections of the RI State Building Code
 Appeal of a decision of the Building Official

If a section of the application is not applicable, please indicate this by using N/A in that field.

Applicant: Georges Marcellus Applicant Mailing Address
Email: georgemarcellus@hotmail.com Street: 184 Potters Ave
Phone: 561-909-9844 City, State, Zip: Providence, RI 02905

Owner: Georges Marcellus Owner Mailing Address
Email: georgemarcellus@hotmail.com Street: 184 Potters Ave
Phone: 561-909-9844 City, State, Zip: Providence, RI 02905

Appellant: _____ Appellant Mailing Address
Email: _____ Street: _____
Phone: _____ City, State, Zip: _____

Attorney: _____ Attorney Mailing Address
Email: _____ Street: _____
Phone: _____ City, State, Zip: _____

1. Subject Department of inspection + Standards Permit Number: BLDG-25-1204
2. Street Address of Subject Property: 184 Potters Ave
Assessor's Plat and Lot Numbers of Subject Property: 48-616
3. Base Zoning District(s): R-3
Overlay District(s): None

4. Date owner purchased the Property: 2024-12-24

5. Building construction type(s): 5B

6. Dimensions of each lot:

| | | | |
|------------------|------------------|------------------|---------------------------------|
| Lot # <u>616</u> | Width <u>40'</u> | Depth <u>80'</u> | Total area <u>3,200</u> sq. ft. |
| Lot # _____ | Width _____ | Depth _____ | Total area _____ sq. ft. |

7. Size of existing structure(s) located on the Property:

| | |
|--|-----------------------------|
| <u>Principal Structure:</u> | <u>Accessory Structure:</u> |
| Area of Footprint <u>1,021.53 sq.ft.</u> | Area of Footprint _____ |
| Overall Height <u>~38'</u> | Overall Height _____ |
| # of Stories <u>3</u> | # of Stories _____ |

8. Size of proposed structure(s) located on the Property:

| | |
|-------------------------------------|-----------------------------|
| <u>Principal Structure:</u> | <u>Accessory Structure:</u> |
| Area of Footprint <u>No changes</u> | Area of Footprint _____ |
| Overall Height <u>No changes</u> | Overall Height _____ |
| # of Stories <u>No changes</u> | # of Stories _____ |

9. Present Legal Zoning Use of the Property: Residential - 2 family

10. Proposed Zoning Use of the Property: Residential - 3 family

11. Number of Parking Spaces:

of existing spaces 2 # of proposed spaces 3

12. Are there outstanding violations concerning the Property under any of the following:

Providence Zoning Ordinance RI State Building or Property Maintenance Code(s)

Owner has received a Violation from the City of Providence for an illegal third floor unit.

13. Summarize all changes proposed for the Property (use, construction/renovation, site alteration):

For interior alteration to change use from two-family dwelling to three-family dwelling.

14. If application is for variance, list RI State Building Code Sections from which a variance is sought:

| <u>Section Number</u> | <u>Section Title + Required relief (e.g. dimensional deficiency of 6" on a landing)</u> |
|-----------------------|---|
| <u>3404.1</u> | <u>ALTERATIONS</u> |
| <u>420.4/903.2.8</u> | <u>Automatic Sprinkler System. Group R</u> |
| <u>1011.5.2</u> | <u>Riser Height and Tread Depth</u> |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |

QUESTIONS 15 AND 16 TO BE ANSWERED ONLY IF APPLICATION IS AN APPEAL

15. IF application is an appeal of a decision of the Building Official, please indicate if:

- Appellant is the Owner of the subject Property
 Appellant is an aggrieved party that is not the Owner of the subject Property

16. IF application is an appeal of a decision of the Building Official, please indicate the grounds for the appeal:

SEE ATTACHED EXPLANATION OF REQUEST

IF MORE ROOM IS NEEDED TO ANSWER ANY OF THE ABOVE QUESTIONS, PLEASE SUBMIT AN ADDENDUM TO THIS APPENDIX WITH COMPLETE RESPONSES.

The undersigned acknowledge(s) and agree(s) that members of the Building Board of Review and its staff may enter upon the Property in order to view the Property prior to any hearing on the application.

The undersigned further acknowledge(s) that the statements herein and in any attachments or appendices are true and accurate, and that providing a false statement in this application may be subject to criminal and/or civil penalties as provided by law, including prosecution under the State and Municipal False Claims Acts. Owner(s)/Applicant(s) are jointly responsible for any false statements.

Owner(s):

Georges Marcellus

Type Name

Georges Marcellus

Signature

Georges Marcellus

Type Name

Signature

Applicant(s)/Appellant(s):

Georges Marcellus

Type Name

Georges Marcellus

Signature

Georges Marcellus

Type Name

Signature

All applicable requirements listed and described on the Instruction Sheet shall be met or this application will not be considered complete.

Please contact the Office of the Boards of Review with questions:

Telephone – 401-680-5375

Email – bsath@providenceri.gov

A fillable PDF copy of this document can be found online at the Boards of Review webpage linked from the Department of Inspection + Standards: <https://www.providenceri.gov/inspection-standards/>

EXPLANATION OF REQUEST:

THE DENIAL OF THIS PERMIT IS FOR THESE SECTIONS:

SECTION 3404.1

Except as provided by section 3401.4 or this section, alterations to any building or structure shall comply with the requirements of the code for new construction. Alterations shall be such that the existing building or structure is no less complying with the provisions of this code than the existing building or structure was prior to the alteration.

420.4 Automatic Sprinkler System

Group R occupancies shall be equipped throughout with an automatic sprinkler system in accordance with Section 903.2.8.

903.2.8 Group R

An automatic sprinkler system installed in accordance with Section 903.3 shall be provided throughout all buildings with a Group R fire area.

This existing home has an illegal third floor apartment unit. The goal of this project is to legalize this unit by implementing interior alterations. As part of this process, we are verifying and upgrading fire separations between the units (ceilings and walls, 1 hour), installing self-closing fire rated doors into stairwells and common areas (1 hour), as well as incorporating smoke stop canisters at all ranges. Our request is to do this work without the need for installation of a sprinkler system.

1011.5.2 Riser Height and Tread Depth

Stair riser heights shall be 7 inches maximum and 4 inches minimum. Winder treads shall have a minimum tread depth of 11 inches between the vertical planes of the foremost projection of adjacent treads at the intersections with the walkline and a minimum tread depth of 10 inches within the clear width of the stair.

This is an existing home, built many years ago. The existing interior stairs, at the front, do not meet the requirements of 1011.5.2

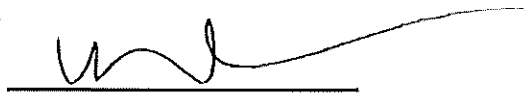
Please note that we have:

- 1. Added fire rated doors at the stairwell.*
- 2. Enclosed and fire rated front stairwell.*
- 3. Added second means of egress through exterior stairs serving all floors.*
- 4. Added smoke and CO detectors throughout the building.*
- 5. Added smoke stop canisters at all ranges on all floors.*

| | | | | |
|---|--|--|---------------------------------------|--|
| NOTICE OF REFUSAL OF PERMIT APPLICATION | CITY OF PROVIDENCE DEPT OF INSPECTIONS AND STANDARDS 444 Westminster Street - Providence, RI. 02903 Joseph A. Doorley – Municipal Building | | APPLICATION DATE 09/16/2025 | APPLICATION NO. BLDG-25-1204 |
| | | | DATE OF REFUSAL 10/21/2025 | A P P E A L F E E \$440 |
| LOCATION 184 Potters Ave. Providence, RI 02905 | | PAGE NUMBER 1 of 1 | | |
| APPLICANT David Sisson | TITLE Applicant | ADDRESS 345 Taunton Ave. 2 nd floor, East Providence, RI 02914 | | |
| PROPERTY OWNER'S NAME Georges Marcellus Sr, Trustee | | PROPERTY OWNER'S FULL ADDRESS 184 Potters Ave. Providence, RI 02905 | | |
| THE APPLICATION FOR A CERTIFICATE OF OCCUPANCY FOR THE ABOVE LOCATION HAS BEEN REFUSED BECAUSE THE PROVISIONS OF THE RHODE ISLAND STATE CODE HAVE NOT BEEN COMPLIED WITH IN THE FOLLOWING PARTICULARS. | | | | |
| SCOPE OF PERMIT: For interior alteration to change use from two-family dwelling to three-family dwelling. | | | | |
| BUILDING DESCRIPTION: <u>Three (3) story, existing structure.</u> | | | | |
| USE GROUP(S): <u>R-2 – Three Family Dwelling</u> | | TYPE OF CONSTRUCTION: <u>V-B (Existing)</u> | | |
| LOCATION OF SPRINKLERS (IF ANY): <u>N/A</u> | | C.O. REQUIRED: <u>YES</u> | | |
| FLOOR AREAS / USES Basement: 870 Square Feet / Residential Unit #1 First floor: 850 Square Feet / Residential Unit #1 Second Floor: 906 Square Feet / Residential Unit #2 Third Floor: 816 Square Feet / Residential Unit #3 | | | | |
| Has the proposed scope of work been completed? <input type="radio"/> Yes <input checked="" type="radio"/> No Has a violation been noted for this property? <input type="radio"/> Yes <input checked="" type="radio"/> No | | | | |
| RISBC-1 Rhode Island Building Code (510-RICR-00-00-1) | | CODE SECTIONS AND REASONS FOR REFUSAL | | |
| Section 3404.1 | Alterations Except as provided by section 3401.4 or this section, alterations to any building or structure shall comply with the requirements of the code for new construction. Alterations shall be such that the existing building or structure is no less complying with the provisions of this code than the existing building or structure was prior to the alteration. | | | |
| Section 420.4 | Automatic sprinkler system. Group R occupancies shall be equipped throughout with an automatic sprinkler system in accordance with Section 903.2.8. | | | |
| Section 903.2.8 | Group R. An automatic sprinkler system installed in accordance with Section 903.3 shall be provided throughout all buildings with a Group R fire area. | | | |
| ** | Whereas, No fire suppression system is proposed. | | | |
| Section 1011.5.2 | Riser height and tread depth. Stair riser heights shall be 7 inches (178 mm) maximum. | | | |
| ** | Whereas, the proposed risers are 8.25 inches. | | | |

Discipline: --Building Code-

Signed



Yaniv Eini-Gal
Plans Examiner Supervisor

Signed

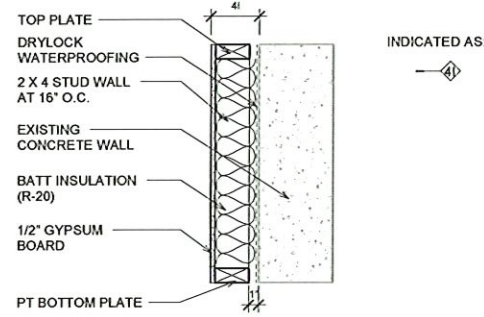


John Botelho
Building Official

Applicant Property Owner

A

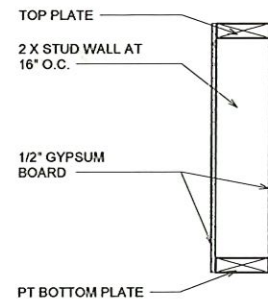
B



①1 FURRING WALL SYSTEMS
1 1/2" = 1'-0"

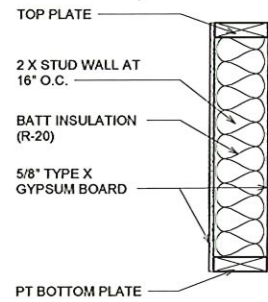
INDICATED AS:
 = 2 X 4 WALL
 = 2 X 6 WALL

C



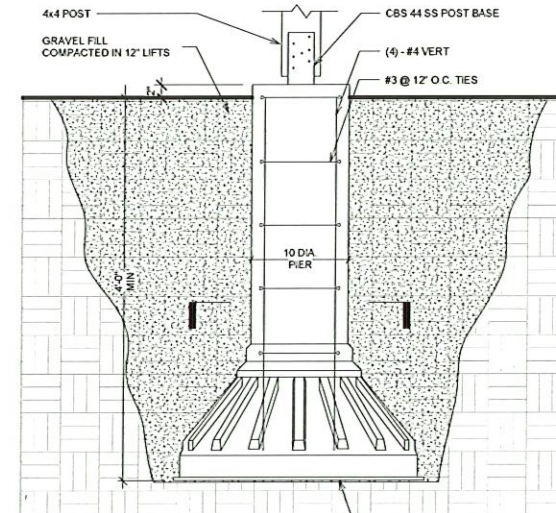
①1 INTERIOR WALL SYSTEMS
1 1/2" = 1'-0"

INDICATED AS:
 = 2 X 4 WALL
 = 2 X 6 WALL
 NOTE: ALL WALLS 2X4 UNLESS NOTED OTHERWISE



①2 FIRE RATED WALL SYSTEMS
1 1/2" = 1'-0"

INDICATED AS:
 = 2 X 4 WALL
 = 2 X 6 WALL
 1 HR PER GA #WP3514



NOTES:
 1 - CONCRETE FOR FOOTINGS SHALL CONSIST OF TYPE I OR TYPE II PORTLAND CEMENT AND HAVE A MINIMUM $f_c=4200$ psi.
 2 - STEEL REINFORCEMENT SHALL HAVE A MINIMUM $F_y=60,000$ psi.
 3 - REINFORCEMENT SHALL BE MAINTAINED THROUGHOUT THE HEIGHT OF PIER. PROVIDE CENTERING DEVICES AS REQUIRED.
 4 - ALL FOOTINGS SHALL BEAR ON UNDISTURBED NATURAL SOILS (i.e. NOT FILL) WITH A MINIMUM BEARING CAPACITY OF 2000 PSF. OVER EXCAVATE AS REQUIRED TO BE SOILS WITH ADEQUATE BEARING CAPACITY.

①3 DECK "BIGFOOT" FOOTING
1" = 1'-0"

D

ARCHITECT

DAVID SISSON ARCHITECTURE PC
 345 TAUNTON AVE
 EAST PROVIDENCE RI 02914
 TEL: 401-595-7070
 DAVE@DS-ARCH.COM

| Sheet List | |
|--------------|---|
| Sheet Number | Sheet Name |
| A0.0 | COVER SHEET |
| A0.1 | SITE PLAN |
| A1.0 | GENERAL NOTES & SPECIFICATIONS |
| A2.0 | FIRE AND LIFE SAFETY PLANS BASEMENT, 1ST FL, 2ND FL & 3RD FL |
| A3.0 | DEMOLITION BASEMENT & 1ST FL |
| A3.1 | DEMOLITION 2ND FL & 3RD FL |
| A4.0 | PLANS BASEMENT & 1ST FL |
| A4.1 | PLANS 2ND FL & 3RD FL |
| A5.0 | ELEVATIONS |
| A5.1 | ELEVATIONS |
| A6.0 | REFLECTED CEILING PLANS BASEMENT & 1ST FL |
| A6.1 | REFLECTED CEILING PLANS 2ND FL & 3RD FL |
| A7.0 | INTERIOR ELEVATIONS |
| A7.1 | INTERIOR ELEVATIONS |
| A8.0 | DETAILS |
| A8.1 | DETAILS |

PROJECT INFORMATION

ASSESSORS MAP #. 48
 ASSESSORS LOT #. 616
 LOT SIZE: 3,200 SF

STREET ADDRESS: 184 POTTERS AVE., PROVIDENCE RI 02905

OWNER:
 GEORGES MARCELLUS ST, TRUSTEE
 184 POTTERS AVE
 PROVIDENCE RI 02905

YEAR BUILT: 1920

NARRATIVE SCOPE OF WORK: 3 FAMILY RENOVATION

TYPE OF CONSTRUCTION: 5B

BUILDING USE / OCCUPANCY: R2 (RESIDENTIAL, THREE FAMILY)

BASE ZONING DISTRICT: RA
 OVERLAY ZONING DISTRICT: NONE

PROPOSED LIVING UNITS: 3

CODES:

- 2018 INTERNATIONAL BUILDING CODE
- RHODE ISLAND STATE BUILDING CODE SBC-1
- 2018 INTERNATIONAL FIRE CODE
- RHODE ISLAND FIRE SAFETY CODE
- 2024 INTERNATIONAL ENERGY CONSERVATION CODE
- SBC-8 RHODE ISLAND STATE ENERGY CONSERVATION CODE
- 2018 INTERNATIONAL PLUMBING CODE
- SBC-3 RHODE ISLAND STATE PLUMBING CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- SBC-4 RHODE ISLAND STATE MECHANICAL CODE
- SBC-5 RHODE ISLAND STATE ELECTRICAL CODE
- NFPA 70: NATIONAL ELECTRICAL CODE (NEC)
- 2018 INTERNATIONAL FUEL GAS CODE
- PROVIDENCE ZONING ORDINANCE

ENERGY CODE INFORMATION

EXISTING ALTERATION
 FILL EXPOSED WALL, CEILING, AND FLOOR CAVITIES WITH INSULATION

NEW CONSTRUCTION (IECC 2024)

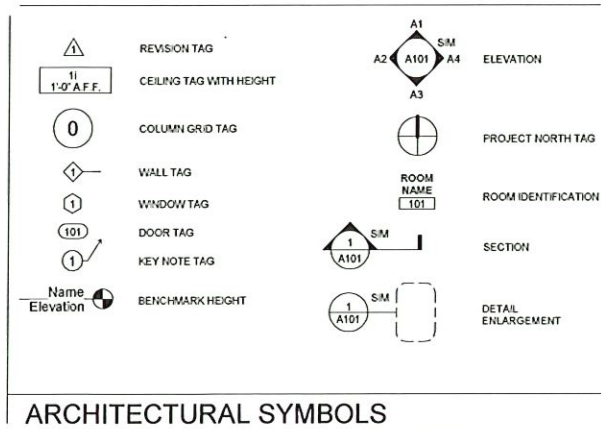
- CEILING: R-49 INSULATION
 WALL INSULATION: R-20 BATT INSULATION
 BASEMENT WALL: R-15 RIGID INSULATION OR R-19 BATT INSULATION
 FLOOR INSULATION: R-30 BATT INSULATION
 WINDOWS: U-VALUE 0.30 OR BETTER
 SKYLIGHT: U-VALUE .55 OR BETTER

1

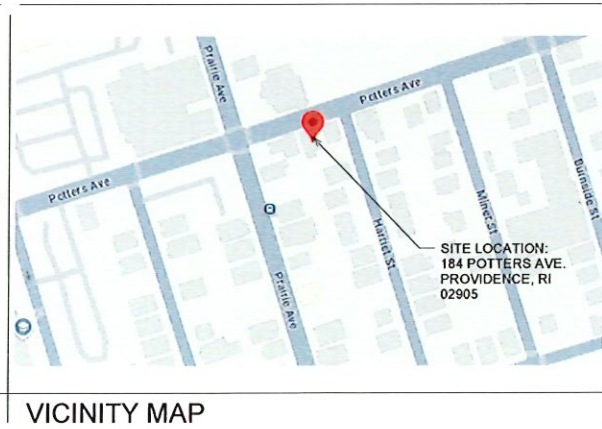
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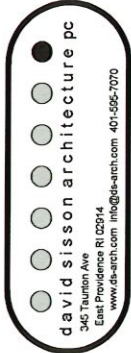
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ARCHITECTURAL SYMBOLS



VICINITY MAP



DATE SIGNED:
 2025-08-17



ZONING TABLE
 MAP = 48
 LOT = 616
 BASE ZONING DISTRICT: R-3
 OVERLAY ZONING DISTRICT: NONE

BUILDING COVERAGE ALLOWED
 UNDERSIZED LOT OF RECORD 3,200 / 5,000 = 0.64 (64%)
 LOT IS 64% OF REQUIRED
 INCREASE BY PROPORTION UNDERSIZED = 36% INCREASE
 ALLOWED AT 45% = 1,440 SF
 136% OF ALLOWED = 1,440 x 1.36 = 1,958 SF ALLOWED (61.18%)

| ITEM | REQUIRED | REQUIRED W/ 64% RELIEF | PROVIDED | RELIEF REQUESTED? |
|----------------------------------|-----------------------------|------------------------|------------------------------|------------------------------|
| LOT SIZE | EXISTING LOTS NONE | - | 3,200 SF | NO |
| MINIMUM LOT WIDTH | NONE | - | 45' | NO |
| HEIGHT | 45' NOT MORE THAN 3 STORY | - | LESS THAN 45' / 3 STORY | NO |
| MAX BUILDING COVERAGE | 45% (1,440 SF) | 61.18% (1,958 SF) | 31.9% (1,021.53 SF) EXISTING | NO |
| MAX IMPERV. SURFACE COVERAGE | 65% (2,060 SF) | - | 64.8% (2,073.62 SF) EXISTING | NO |
| TOTAL MIN PERV. SURFACE COVERAGE | 1,000 SF | - | 60% (2,060 SF) PROPOSED | NO |
| MAX IMPERV. FRONT YARD COVERAGE | 33% (61.18 SF) | - | 1,049.14 SF EXISTING | NO |
| MAX IMPERV. REAR YARD COVERAGE | 50% (749.16 SF) | - | 1,114.59 SF PROPOSED | NO - EXISTING NON CONFORMING |
| FRONT SETBACK | 5'-6" (AVERAGE WITHIN 100') | - | 94.60% (77.33 SF) EXISTING | YES |
| REAR SETBACK | 30' | 19.2' | 50.8% (74.16 SF) PROPOSED | NO |
| SIDE SETBACK | 6' | 3.84' | 35.56% (532.63 SF) EXISTING | NO - EXISTING NON CONFORMING |
| SIDE SETBACK | 6' | 3.84' | 35.81% (538.53 SF) PROPOSED | NO |
| SIDE SETBACK | 6' | 3.84' | 2'-0 1/2" EXISTING | NO - EXISTING NON CONFORMING |
| SIDE SETBACK | 6' | 3.84' | 37'-5 1/2" EXISTING | NO |
| SIDE SETBACK | 6' | 3.84' | 12'-0" EXISTING | NO |
| SIDE SETBACK | 6' | 3.84' | 1'-5" EXISTING | NO - EXISTING NON CONFORMING |

PARKING: (3) SPACES REQUIRED

BUILDING COVERAGE CALCULATION

| EXISTING | SF |
|--------------------|----------|
| EXISTING BUILDING | 1,021.53 |
| TOTAL: 1,021.53 SF | |

| PROPOSED | SF |
|--------------------|----------|
| PROPOSED 3 FAM | 1,021.53 |
| TOTAL: 1,021.53 SF | |

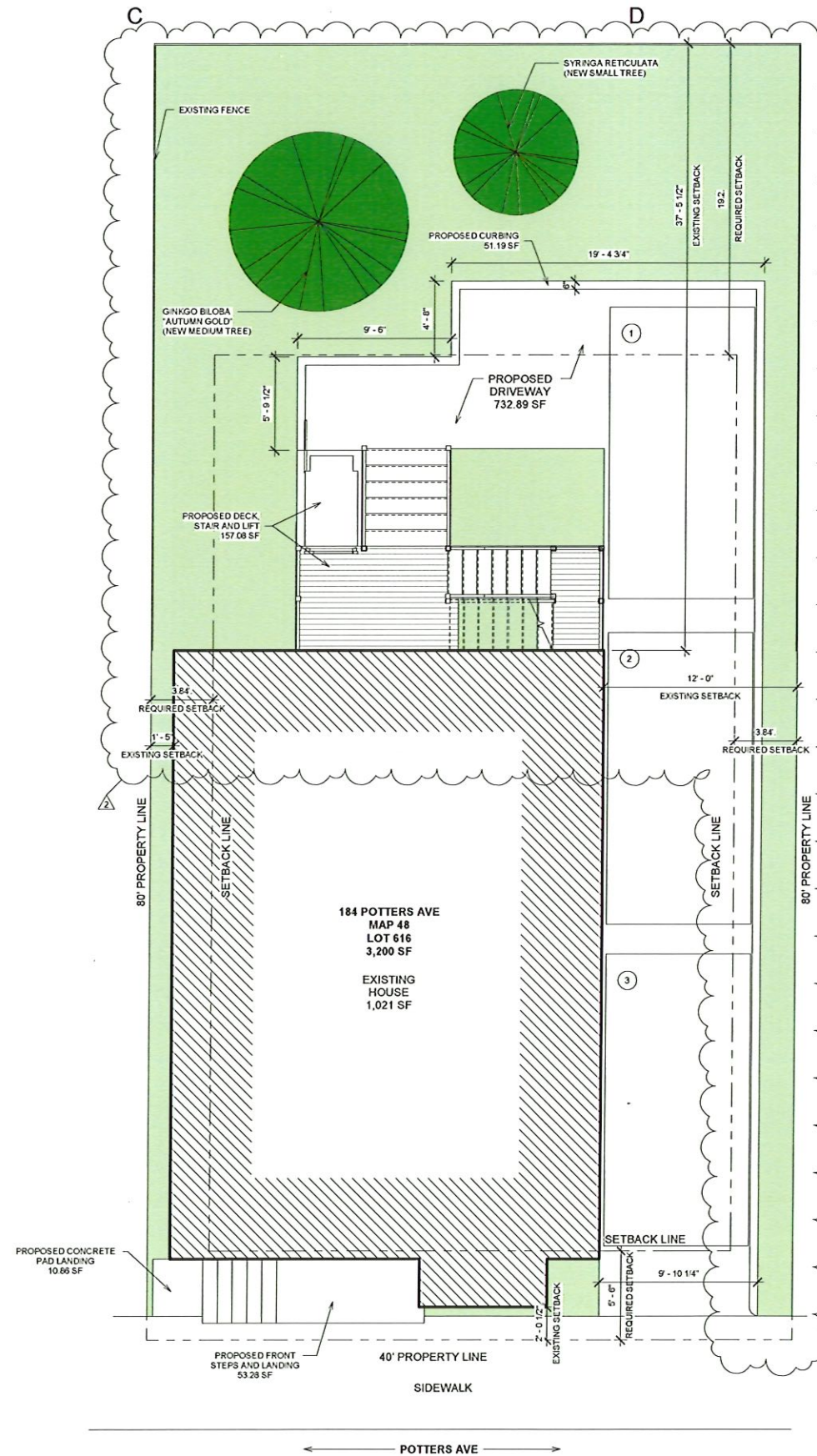
IMPERVIOUS SURFACE COVERAGE CALCULATION

| EXISTING | SF |
|--|-------------|
| EXISTING BUILDING | 1,021.53 SF |
| EXISTING FRONT STEPS | 21.97 SF |
| EXISTING FRONT PAVED AREA | 30.73 SF |
| EXISTING SIDEWALK | 54.12 SF |
| EXISTING LOWER REAR STEPS | 37.5 SF |
| EXISTING DRIVEWAY | 681.19 SF |
| EXISTING LOWER REAR AND RETAINING WALL | 218.58 SF |
| TOTAL: 2,073.62 SF (64.8%) | |

| PROPOSED | SF |
|----------------------------------|-------------|
| EXISTING HOUSE | 1,021.53 SF |
| PROPOSED FRONT STEPS AND LANDING | 53.28 SF |
| PROPOSED CONCRETE PAD LANDING | 10.66 SF |
| PROPOSED SIDEWALK | 53.17 SF |
| PROPOSED DRIVEWAY | 732.89 SF |
| PROPOSED CURBING | 51.19 SF |
| PROPOSED DECK, STAIR AND LIFT | 157.08 SF |
| TOTAL: 2,000 (65%) | |

TREE CANOPY CALCULATION (SECTION 1503)

| | |
|--|-------------|
| TOTAL SQUARE FOOTAGE OF LOT: | 3,200 SF |
| REQUIRED COVERAGE (30% OF LOT) | 960 SF |
| PROPOSED TREES: | |
| - GINKGO BILOBA "AUTUMN GOLD" (NEW MEDIUM TREES (700 SF EACH)) | 700 SF |
| - SYRINGA RETICULATA (NEW SMALL TREES (300 SF EACH)) | 300 SF |
| TOTAL PROPOSED CANOPY COVERAGE (30% CANOPY COVERAGE) | 1,000.00 SF |



3 SITE - PROPOSED
 1/4" = 1'-0"

DAVID SISSON ARCHITECTURE PC
 345 Taunton Ave
 East Providence RI 02914
 www.dsa-arch.com info@dsa-arch.com 401-595-1070

| REV. # | DATE | DESCRIPTION | REVISION SET |
|--------|------------|-------------|--------------|
| 1 | 2025-08-17 | PERMIT SET | REVISION 1 |
| 2 | 2025-08-17 | REVISION 2 | REVISION 2 |

184 Potters Ave
 Providence, RI 02905
 PROJECT NUMBER: 25054

SITE PLAN

DATE SIGNED:
 2025-08-17

A0.1

A

1 GENERAL REQUIREMENTS

- 1. THESE DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. WHERE LACK OF INFORMATION, OR ANY DISCREPANCY SHOULD APPEAR IN THE DRAWINGS OR SPECIFICATIONS, REQUEST WRITTEN INTERPRETATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
2. NO CHANGES, MODIFICATIONS OR DEVIATIONS SHALL BE MADE FROM THE DRAWINGS OR SPECIFICATIONS WITHOUT FIRST SECURING WRITTEN PERMISSION FROM THE ARCHITECT.
3. ALL MATERIALS USED SHALL BE EQUAL TO OR EXCEED ALL APPLICABLE STATE OR LOCAL CODES AND REQUIREMENTS.
4. CONTRACTOR SHALL REMOVE PROMPTLY AND LEGALLY ALL ACCUMULATED DEBRIS, PROTECT ALL EXPOSED PORTIONS OF WORK FROM ELEMENTS, AVOID OVER-LOADING STRUCTURE, AND SECURELY STORE ALL ITEMS TO BE USED FOR CONSTRUCTION.
5. ALL EXISTING UTILITIES AND CITY SERVICES ARE TO BE MAINTAINED, KEPT IN SERVICE, AND PROTECTED AGAINST DAMAGE DURING CONSTRUCTION. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
6. ALL EXITS TO BE OPERABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE.
7. ALL WORK AS OUTLINED IN THESE DOCUMENTS, SHALL STRICTLY CONFORM TO ALL APPLICABLE CODES AND ORDINANCES. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENT SHALL GOVERN AND BE MET.
8. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL FEES, PERMITS, LICENSES, ETC., NECESSARY FOR PROPER COMPLETION OF THE WORK. ALL PERMITS, LICENSES, ETC. SHALL BE OBTAINED BEFORE WORK BEGINS.
9. THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION OR AS OTHERWISE NOTED IN THE SPECIFICATIONS.
10. PROVIDE ADEQUATE CONCEALED BLOCKING AND ANCHORING FOR ALL CEILING AND WALL MOUNTED EQUIPMENT, HARDWARE AND ACCESSORIES.
11. WHEN A SYSTEM OR ASSEMBLY IS CALLED OUT FOR, ALL NECESSARY PARTS AND MATERIALS REQUIRED FOR A COMPLETE INSTALLATION SYSTEM SHALL BE AND INSTALLED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.
12. UNLESS OTHERWISE NOTED, ELECTRICAL CONDUITS, PLUMBING LINES, ETC., SHALL BE RUN CONCEALED AND FRAMING SHALL BE ADEQUATE SIZE TO ACCOMPLISH RESULT WITHOUT CAUSING ANY CHANGES IN THE WALL OR FLOOR FINISHES.
13. COORDINATE WITH ALL TRADES THE LOCATION OF SLEEVES OR OTHER PRESET ACCESSORIES INVOLVING OTHER TRADES.
14. IT IS THE INTENT OF THESE CONTRACT DOCUMENTS TO DEFINE A COMPLETE FINISHED FACILITY. ANY MATERIAL, SYSTEM, EQUIPMENT OR ASSEMBLY WHICH NORMALLY WOULD BE REQUIRED SHALL BE PROVIDED AS IF SPECIFICALLY NOTED.
15. WHEN WORK IS NOT CALLED OUT AS REQUIRED TO COMPLETE THE PROJECT, IT SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER AND BE OF THE BEST MATERIALS AND WORKMANSHIP.
16. BEFORE FINAL DRAWINGS AND SPECIFICATIONS ARE ISSUED FOR CONSTRUCTION, THEY SHALL BE SUBMITTED TO ALL AGENCIES TO INSURE THEIR COMPLIANCE WITH ALL APPLICABLE LOCAL AND NATIONAL CODES. IF CODE DISCREPANCIES IN DRAWINGS AND/OR SPECIFICATIONS APPEAR, THE ARCHITECT SHALL BE NOTIFIED OF SUCH DISCREPANCIES IN WRITING BY THE CONTRACTOR, BUILDING OFFICIAL, AND ALLOWED TO ALTER THE DRAWINGS AND SPECIFICATIONS SO AS TO COMPLY WITH GOVERNING CODES BEFORE CONSTRUCTION BEGINS.
17. UPON WRITTEN RECEIPT OF APPROVAL FROM THE GOVERNING OFFICIAL, APPROVED FINAL DRAWINGS AND SPECIFICATIONS SHALL BE SUBMITTED TO THE ARCHITECT BY THE CONTRACTOR IF CODE DISCREPANCIES ARE DISCOVERED DURING THE CONSTRUCTION PROCESS, THE ARCHITECT SHALL BE NOTIFIED AND ALLOWED AMPLE TIME TO REMEDY SAID DISCREPANCIES.
18. ALL WORK PERFORMED SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL BUILDING CODES, ORDINANCES AND REGULATIONS, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.
19. ALL CONTRACTORS, SUPPLIERS, AND FABRICATORS SHALL BE RESPONSIBLE FOR THE CONTENT OF THE DRAWINGS, AND FOR THE SUPPLY AND DESIGN OF APPROPRIATE MATERIALS AND WORK PERFORMANCE.
20. ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE HANDLED, APPLIED, INSTALLED, ERECTED, USED, LEASED, AND CONDITIONED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS.
21. ALL ALTERNATES ARE AT THE OPTION OF THE OWNER AND SHALL BE AT THE OWNER'S REQUEST, CONSTRUCTED IN ADDITION TO OR IN LIEU OF THE TYPICAL CONSTRUCTION, AS INDICATED ON THE DRAWINGS.

DESIGN LOADS

Table with columns for location (ROOF, FLOOR, BALCONIES AND DECKS, SOIL PRESSURE) and load types (DEAD LOAD, LIVE LOAD, WIND LOAD, etc.) with corresponding values.

FOR OR TO START OF CONSTRUCTION, VERIFY DESIGN LOADS WITH GOVERNING CODES AND SITE CONDITIONS. CHECK WITH LOCAL BUILDING AGENCIES FOR WIND, SEISMIC, SNOW AND OTHER SPECIAL LOADING CONDITIONS. IF DISCREPANCIES ARE DISCOVERED, ARCHITECT SHALL BE NOTIFIED.

BASIC WIND SPEED = 100 MPH PER TABLE R301.2(4) (VxI = BASIC WIND SPEED + 1.291 = 129 MPH (VxI)) TOPOGRAPHIC EFFECTS = NO WEATHERING - SEVERE FINISH LINE EARTH = 47 TERMITES = MODERATE TO HEAVY PER FIGURE R301.2(1) ICE SHEILD UNDERLAYMENT REQUIRED = YES WIND EXPOSURE CATEGORY = SURFACE ROUGHNESS B, EXPOSURE B (PER R301.2.1.4) CLIMATE ZONE = SA

WIND-BORNE DEBRIS REGION = NO PER R301.2 (WIND ZONE 1) HURRICANE-PRONE REGIONS = YES PER R301 PROTECTION OF OPENINGS = NO PER R301.2.1.2 (ONLY REQ'D IN WIND ZONE 3) DESIGN PER RHODE ISLAND STATE ONE AND TWO FAMILY DWELLING CODE APPENDIX AA - NO (ONLY REQUIRED IN WIND ZONES 2 AND 3) HEADERS NOT SHOWN ON DRAWINGS PER "HEADER SCHEDULE" THIS SHEET

2 SITE WORK

- A. PERFORM EXCAVATION, ACCORDING TO GOOD COMMON CONSTRUCTION PRACTICES, TO THE LINES, GRADES, AND ELEVATIONS INDICATED ON THE DRAWINGS.
B. PROVIDE CONSISTENT COMPACTION OF THE TOP 8" OF SUB-GRADE, FILL, AND BACKFILL MATERIAL BENEATH STRUCTURES, WALLS, AND PAVEMENTS TO MEET THE STATED SOIL PRESSURE.
C. PROVIDE SOIL POSIONING TO CONTROL TERMITES AS REQUIRED BY GOVERNING CODES.
D. PROVIDE AND INSTALL VENTILATION FOR RADON GAS AS REQUIRED BY LOCAL BUILDING AGENCIES AND GOVERNING CODES.
E. TOP OF FOUNDATION ELEVATION IS ASSUMED TO BE 6" ABOVE THE FINAL GRADE AT THE OPERATED GARAGE DOOR OPENING. CHANGES IN THE FOUNDATION ELEVATION RELATIVE TO THE FINAL GRADE WILL RESULT IN CHANGES TO THE FOUNDATION DRAWINGS AS WELL AS CHANGES TO THE GARAGE HOUSE ENTRY STAIR.
F. PROVIDE FOOTING DRAINS PER R405.1. DRAINS SHALL BE PROVIDED AROUND FOUNDATIONS PERFORATED PIPE SHALL BE INSTALLED AT OR BELOW THE AREA TO BE PROTECTED AND SHALL DISCHARGE BY GRAVITY OR MECHANICAL MEANS INTO AN APPROVED DRAINAGE SYSTEM. PERFORATED DRAINS SHALL BE SURROUNDED BY AN APPROVED FILTER MEDIUM OR THE FILTER MEDIUM SHALL COVER THE WASHED GRAVEL OR CRUSHED ROCK COVERING THE DRAIN. PERFORATED PIPE SHALL BE PLACED ON A MINIMUM OF 2 INCHES OF WASHED GRAVEL OR CRUSHED ROCK NOT LESS THAN ONE 8" SIZE LARGER THAN THE FILTER MEDIUM OR PERFORATION AND COVERED WITH NOT LESS THAN 6 INCHES OF THE SAME MATERIAL.

3 CONCRETE

- A. PROVIDE CONCRETE COMPLYING WITH ASTM C04 UNLESS OTHERWISE NOTED, CONCRETE SHALL HAVE THE FOLLOWING 28 DAY COMPRESSIVE STRENGTHS AS MINIMUMS:
1. CONCRETE FOOTINGS AND FOUNDATIONS: 3,000 PSI
2. CONCRETE FLOOR SLABS, WALLS, DRIVES, AND PATIOS: 3,500PSI
3. PROVIDE CONSTRUCTION JOINTS SO PANEL SIZE DOES NOT EXCEED 400SF.
B. PROVIDE REINFORCEMENT OF THE SIZE AND SPACING INDICATED ON DRAWINGS. REINFORCING SHALL COMPLY WITH THE FOLLOWING MINIMUMS:
1. BARS: ASTM A615, GRADE 60, DEFORMED BARS.
2. WELDED WIRE FABRIC: ASTM A185

A

B

- C. UNLESS NOTED OTHERWISE, ALL SLABS ON GRADE SHALL BE 4" THICK, REINFORCED WITH #6 @ 14" W X W W.M., AND PLACED OVER 4" MINIMUM COMPACTED SAND OR GRAVEL FILL. INTERIOR SLABS SHALL BE PLACED OVER 6 W.M. STABILIZED POLYETHYLENE VAPOR BARRIER COORDINATE WITH RADON REMOVAL PROCEDURES.
D. FOOTING SIZES SHOWN ARE TYPICAL ONLY FOR STATED SOIL PRESSURE AND CONSISTENT COMPACTION. CONTRACTOR SHALL BE RESPONSIBLE FOR FOOTINGS COMPLYING WITH THE DESIGN REQUIREMENTS OF SPECIFIC SOIL CONDITIONS.
E. PRECAST CONCRETE LINTELS SHALL BE INSTALLED AND REINFORCED AS PER MANUFACTURER'S SPECIFICATIONS. ARCHITECT SHALL NOT BE RESPONSIBLE FOR DESIGN OF PRECAST CONCRETE LINTELS.

4 MASONRY

- A. PROVIDE STANDARD WEIGHT HOLLOW LOAD-BEARING CONCRETE MASONRY UNITS (CMU) COMPLYING WITH ASTM C90, GRADE N, TYPE 1.
B. REINFORCEMENT SHALL COMPLY WITH THE FOLLOWING AS MINIMUMS:
1. BARS: ASTM A615, GRADE 60, FORMED BARS.
2. WIRE JOINT REINFORCEMENT ASTM A82, GALVANIZED.
C. PROVIDE MORTAR TYPE "S" IN ACCORDANCE WITH ASTM C270.
D. PROVIDE GROUT IN ACCORDANCE WITH ASTM C476. MINIMUM COMPRESSIVE STRENGTH SHALL BE 3000 PSI UNLESS NOTED OTHERWISE.
E. PROVIDE REINFORCEMENT IN VERTICAL CELLS OR CONCRETE MASONRY UNITS (FULLY EMBEDDED IN GROUT) AS FOLLOWS:
1. TYPICAL REINFORCEMENT SHALL BE ONE #5 AT EACH CORNER, AT BOTH SIDES OF OPENINGS AND AT MAXIMUM SPACING OF 48" OC.
2. REINFORCE ALL VERTICAL CELLS OF CONCRETE MASONRY UNITS SUPPORTING CONCENTRATED LOAD (BEAMS, STRUCTURAL COLUMNS, ETC.) AT 6" CMU, REINFORCE EACH VERTICAL CELL WITH ONE #5 AND SOLIDIFY WITH GROUT.
F. BEAM POCKETS SHALL BE PROVIDED FOR ALL BEAMS SUPPORTED BY CONCRETE AND/OR MASONRY, UNLESS NOTED OTHERWISE, AND SHALL COMPLY WITH THE FOLLOWING:
1. MINIMUM 4" BEARING.
2. HEIGHT AND WIDTH AS REQUIRED BY BEAM.
3. TREATED LUMBER BENEATH ALL WOOD BEAMS.
4. PROVIDE VERTICAL REINFORCING.

5 METALS

- A. ALL STRUCTURAL STEEL SHALL COMPLY WITH APPROPRIATE ASTM SPECIFICATIONS AS FOLLOWS: ASTM A36, A572, A575, AND A587.
B. ALL STEEL CONNECTIONS SHALL BE DESIGNED ACCORDING TO AISC MANUAL OF STEEL CONSTRUCTION AND SHALL BE DETAIL BY A QUALIFIED STRUCTURAL STEEL DETAILER & STAMPED BY A LICENSED STRUCTURAL ENGINEER. CONTRACTOR TO SUBMIT STEEL SHOP DRAWINGS TO ARCHITECT PRIOR TO STEEL ERECTION.
C. RETRACTABLE STAIRS: ATTIC LADDERS SHALL BE "LIST" AS MANUFACTURED BY FAIRBANK.
D. UNLESS NOTED OTHERWISE, RAFTERS, CEILING JOISTS, COLLAR TIES, AND PURLINS SHALL BE SIZED AND SPACED IN ACCORDANCE WITH FHA REQUIREMENTS OR GOVERNING CODES, WHICHEVER IS MORE RESTRICTIVE.
E. STAIR CONSTRUCTION SHALL CONSIST OF (3)X12 STRINGERS, 5/4" OR 2X THICK TREAD AND 3/4" THICK RISERS OR, SHALL BE FABRICATED BY COMPONENT MANUFACTURER.
F. ALL WOOD PLATES BEARING ON CONCRETE OR MASONRY SHALL BE PRESURE TREATED AT EXTERIOR WALLS. INSTALL PLATES OVER FOAM BULL SEALER GASKET.
G. PROVIDE 2" NOMINAL PRESURE TREATED LUMBER OVER 6 W.M. STABILIZED POLYETHYLENE BENEATH FULL BEARING OF WOOD BEAMS BEARING ON CONCRETE OR MASONRY.
H. PROVIDE SHARON STROM WALL GARAGE PORTAL SYSTEM AROUND ALL OVERHEAD DOORS WITH A WIDTH GREATER THAN 8". INSTALL GARAGE PORTAL SYSTEM PER MANUFACTURER'S RECOMMENDED GUIDELINES.
I. ALL FRAMING SHALL BE ERECTED TRUE TO LINE, PLUMB AND LEVEL, AND SHALL BE FASTENED TO LEVEL OF THE FULL STRENGTH OF THE ASSEMBLY IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
J. DIMENSION LUMBER BEAMS FRAMING INTO FLUSH STEEL AND LVL BEAMS SHALL BE SET 1/4" ABOVE THE TOP OF BEAM TO ACCOMMODATE SHIMS.
K. ALL CONTINUOUS POSTS SHALL BE LATERALLY BRACED IN BOTH DIRECTIONS AT EACH FLOOR AND CEILING LEVEL.
L. ALL ENGINEERED PRODUCTS SHALL BE STORED AND INSTALLED IN ACCORDANCE WITH PRODUCT MANUFACTURER'S SPECIFICATIONS AND INSTALLATION DETAILS. WITH THE EXCEPTION OF MANUFACTURER PROVIDED KNOCKOUTS, NO HOLES SHALL BE FIELD-DRIILLED IN MEMBERS. IF HOLES ARE REQUIRED, NOTIFY THE ARCHITECT PRIOR TO ORDERING AFFECTED MEMBERS.
M. FLOOR SHEATHING SHALL BE GULFED AND NAILED.
N. PROVIDE 2X WOOD BLOCKING OR RM JOIST AT ALL SAWN LUMBER FLOOR JOIST SUPPORT POINTS.
O. PROVIDE BLOCKING OR RM BOARD AT ALL ENGINEERED FLOOR JOIST SUPPORT POINTS USE JOIST MANUFACTURER'S PRODUCTS AND COMPLY WITH JOIST MANUFACTURER'S INSTALLATION DETAILS.
P. PROVIDE 2X SOLID BLOCKING AT ALL RAFTER TAILS.
Q. SIZES OF DIMENSION LUMBER ARE NOMINAL. ALL LUMBER SHALL BE SURFACED FOUR SIDES, UNLESS NOTED OTHERWISE.
R. STRUCTURAL MEMBERS SHALL NOT BE IMPAIRED OR UNDERMINED BY IMPROPER CUTTING OR DRILLING.
S. ALL BUILD-UP LVL BEAMS SHALL BE ASSEMBLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

- B. PROVIDE LUMBER AND MATERIALS MEETING OR EXCEEDING THE FOLLOWING STANDARDS OF QUALITY:
1. FRAMING MEMBERS
A. ALL INTERIOR OR OTHER AREAS PROTECTED DIMENSION LUMBER SHALL BE SPRUCE-PLY - PER (SPT) GRADE NO. 2 OR BETTER FOR RAFTERS, JOISTS, HEADERS, AND STUDS. UNLESS NOTED OTHERWISE.
2. ALL HEADERS AND BEAMS SHALL BE FREE FROM SPLITS, CHECKS, AND SHAKES.
3. SHEATHING
A. ALL ROOF, FLOOR, AND WALL PANELS SHALL BE APA RATED EXPOSURE 1 SHEATHING COMPLYING WITH DOC P1 AND PS 2. FULL 4X8 PANELS SHALL BE USED TO THE MAXIMUM EXTENT PRACTICABLE.
B. FLOOR SHEATHING
1. MINIMUM SPAN RATIO: 32:16
2. MINIMUM THICKNESS: 23/32"
3. GULFED AND NAILED WITH TONGUE AND GROOVE JOINTS
4. FASTENERS: 8D COMMON AT 6" OC ALONG SUPPORTED EDGES AND 12" OC INTERMEDIATE.
C. ROOF SHEATHING
1. MINIMUM SPAN RATIO: 32:16
2. MINIMUM THICKNESS: 5/8" TAG
3. GULFED AND NAILED WITH TONGUE AND GROOVE JOINTS
4. FASTENERS: 8D COMMON
5. FASTENER SPACING GENERAL: 6" OC ALONG SUPPORTED EDGES AND 6" OC INTERMEDIATE, WITH IN 4 FT. OF GABLE END WALLS. 4" OC.
D. WALL SHEATHING
1. ALL EXTERIOR WALL SHEATHING (1/2" THICK PLYWOOD OR OSB SHEATHING PANELS) IS TO BE CLEANED FREE OF DEBRIS AND THEN NAILED TO THE FRAMING MEMBERS WITH 16D NAILS ON 4" O.C. (EDGES) & 6" O.C. (FIELD) NAILING PATTERN, UNLESS OTHERWISE NOTED. SOLID BLOCK ALL JOINTS. TYPICAL LAY OUT SHEATHING SUCH THAT THERE IS A MINIMUM OF 16" EXTENDING IN EACH DIRECTION FROM CORNER. IF THIS CANNOT BE ACHIEVED THEN STRAPPING MUST BE USED. CONTACT ARCHITECT FOR STRAPPING SPACING AND DEVELOPMENT LENGTH BEFORE INSTALLATION.
E. UNDERLAYMENT: 1/2" UWM-UNDERLAYMENT GRADE (AT VENT ONLY)
F. PROPER ORIENTED STRAND BOARD MAY BE SUBSTITUTED FOR PLYWOOD.
C. HOLD-DOWNS AND FRAMING CONNECTORS
1. ALL STRUCTURAL FRAMING CONNECTIONS, UNLESS SPECIFICALLY NOTED OTHERWISE, SHALL BE "STRONG TIE" AS MANUFACTURED BY THE S&M SPONG CO. IN ACCORDANCE WITH "WOOD CONSTRUCTION CONNECTORS" CATALOG C-0009. ALL FASTENERS (TYPE, SIZE, AND QUANTITY) SPECIFIED IN S&M SPONG'S CONNECTOR SCHEDULE SHALL BE INSTALLED. THE ABBREVIATION "S&S" ON THE DRAWINGS INDICATE FASTENERS/CONNECTORS AS MANUFACTURED BY S&M SPONG STRONG TIE.
2. ALL CONNECTORS AND FASTENERS FOR PRESURE PRESERVATIVE TREATED WOOD SHALL BE SHOP-COATED AND/OR STAINLESS STEEL TO SUIT THE SPECIFIC EXPOSURE(S) AND WOOD PRESERVATIVE(S) IN ACCORDANCE WITH S&M SPONG STRONG-TIE RECOMMENDATIONS. THE CONTRACTOR SHALL REVIEW DOCUMENTATION CONTAINED IN THE S&M SPONG STRONG-TIE CATALOG AND PROVIDE CONNECTORS AND FASTENERS THAT ARE ACCEPTABLE FOR THE EXPOSURE AND CHEMICAL PRESERVATIVES USED ON THE PROJECT. THE REVIEW SHALL CONSIST OF THE TYPE OF PRESERVATIVES, PRESERVATIVE RETENTION LEVEL(S), AND EXPOSURE ENVIRONMENT(S).
3. ALL CONNECTORS AND FASTENERS FOR EXPOSED PORCH AND DECK FRAMING IN COASTAL ENVIRONMENTS SHALL BE STAINLESS STEEL.
4. REINSTALL JOIST AND BEAM HANGERS CAPABLE OF SUPPORTING THE MAXIMUM ALLOWABLE LOAD OF JOIST OR BEAM BEING SUPPORTED.
D. LAMINATED VENEER LUMBER (LVL)
1. LAMINATED VENEER LUMBER SHALL BE 1.5E 7/16" CROWN LVL BY TRUS JOIST, OR APPROVED EQUAL, UNLESS OTHERWISE INDICATED.
2. PARALLEL STRAND LUMBER (PSL) PARALLEL STRAND LUMBER SHALL BE 1.5E PARALLEL PSL BY TRUSS JOIST, OR APPROVED EQUAL, UNLESS OTHERWISE INDICATED.
3. ENGINEERED WOOD JOISTS, JOISTS AND ACCESSORIES INCLUDING RM JOISTS SHALL BE THE PRODUCTS OF TRUS JOIST, OR APPROVED EQUAL.
4. USE EXTERIOR GRADE MICRO LAM IN ALL AREAS SUBJECT TO MOISTURE.
E. PLATE CONNECTED WOOD TRUSSES
1. DESIGN AND FABRICATION OF TRUSSES SHALL BE SUBJECT TO THIRD PARTY INSPECTION. TRUSSES SHALL BE DESIGNED FOR ALL COMBINED LOADS INCLUDING DEAD, LIVE, WIND, AND SNOW LOADS AS REQUIRED UNDER THE REFERENCED CODES. SNOW LOADS SHALL INCLUDE UNIFORM UNBALANCED, DRIFTING, AND/OR SLIDING TO SUIT EACH CONDITION. THE TRUSS SUPPLIER SHALL DESIGN ALL REQUIRED TRUSS CONFIGURATIONS, INCLUDING BUT NOT LIMITED TO COMMON, CRIDER, JACK, H.P. VALLEY, AND SPECIAL.
2. IF THE TRUSS SUPPLIER PROPOSES TO USE DIMENSION LUMBER OVERFRAMING TO SUIT VARIOUS CONDITIONS IN ADDITION TO ANY SUCH LOCATIONS SHOWN ON THE DRAWINGS, THAT WORK SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR SUCH THAT ALL WORK IS INCLUDED UNDER THE CONTRACT.

B

C

- 5. TRUSSES SHALL BE DESIGNED SUCH THAT BUCKLING OF ANY INDIVIDUAL MEMBERS IS RESISTED INTERNALLY BY THE JOIST OR ALL TRUSS THROUGH SUITABLE MEANS, SUCH AS T-OR L BRACING.
6. TRUSSES SHALL BE ERECTED IN ACCORDANCE WITH TPI AND TRUSS MANUFACTURER PUBLICATIONS. PROVIDE ALL TEMPORARY BRACINGS AS SHOWN ON SUBMITTALS AND IN APPLICABLE PUBLICATIONS.
7. PROVIDE WOOD TRUSSES ABLE TO SUSTAIN THE STATED LOADS FOR THE SPANS, PROFILES, AND ARRANGEMENT SHOWN ON THE DRAWINGS. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER AND/OR ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN AND SPACING OF ALL TRUSSES. CONTRACTOR TO SUBMIT TRUSS DRAWINGS AND/OR ROOF FRAMING DRAWINGS TO ARCHITECT FOR REVIEW PRIOR TO CONSTRUCTION.
8. PROVIDE HURRICANE CLIPS, HOLD DOWNS, STRAPS AND OTHER CONNECTORS AS REQUIRED BY TRUSS MANUFACTURER. DESIGN OF ALL CONNECTORS BY TRUSS MANUFACTURER.
9. PRESURE TREATED LUMBER
A. DIMENSION LUMBER FOR THE FOLLOWING LOCATIONS SHALL BE PRESURE PRESERVATIVE-TREATED (PT) SOUTHERN PINE #1 OR BETTER:
- PORCHES, DECKS AND OTHER FRAMING EXPOSED TO THE WEATHER
- INTERIOR WOOD JOISTS WITHIN 18" OF EXPOSED GROUND
- INTERIOR TRUSS OR BUILT-UP BEAMS WITHIN 12" OF EXPOSED GROUND
- SILL PLATES
- ALL WALL FRAMING AND SHEATHING LESS THAN 6" FROM EXPOSED GROUND
- ALL PT LUMBER TO BE TREATED WITH A PENETRATING WATER REDUCER (SUCH AS BOILED LINDSEED OIL) IN ORDER TO INCREASE THE LIFE OF THE STRUCTURE. ALL PT LUMBER IS TO HAVE ANY CUT END FIELD TREATED WITH WOLMAN'S WOODLOF COPPERCOAT.
G. WOOD INSTALLATION
A. UNLESS NOTED OTHERWISE, PROVIDE:
1. DOUBLE HEADER JOISTS AND TRIMMERS AT ALL FLOOR OPENINGS.
2. DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO JOISTS.
3. DOUBLE JOISTS OR JOISTS AT 17" O.C. AT ALL KITCHENS AND BATHS.
4. PROVIDE HEADERS PER "HEADER SCHEDULE" OR AS INDICATED ON THE DRAWINGS.
5. ONE ROW OF 1X3 CROSS-BRACING OR METAL BRIDGING FOR EACH 8' 0" OF JOIST SPAN.
B. STUD SPACING AT ALL EXTERIOR AND BEARING WALLS SHALL BE 16" O.C. MINIMUM. C. STUD WALLS SHALL NOT EXCEED THE FOLLOWING HEIGHTS WITHOUT CONTINUOUS LATERAL SUPPORT PERPENDICULAR TO THE PLANE OF THE WALL AT THE STATED HEIGHT OR LESS STUDS:
1. BEARING WALLS
A. 2X4 10' 0" OR LESS
B. 2X6 12' 0"
2. NON-BEARING WALLS
A. 2X4 14' 0"
B. 2X6 20' 0"
D. UNLESS NOTED OTHERWISE, RAFTERS, CEILING JOISTS, COLLAR TIES, AND PURLINS SHALL BE SIZED AND SPACED IN ACCORDANCE WITH FHA REQUIREMENTS OR GOVERNING CODES, WHICHEVER IS MORE RESTRICTIVE.
E. STAIR CONSTRUCTION SHALL CONSIST OF (3)X12 STRINGERS, 5/4" OR 2X THICK TREAD AND 3/4" THICK RISERS OR, SHALL BE FABRICATED BY COMPONENT MANUFACTURER.
F. ALL WOOD PLATES BEARING ON CONCRETE OR MASONRY SHALL BE PRESURE TREATED AT EXTERIOR WALLS. INSTALL PLATES OVER FOAM BULL SEALER GASKET.
G. PROVIDE 2" NOMINAL PRESURE TREATED LUMBER OVER 6 W.M. STABILIZED POLYETHYLENE BENEATH FULL BEARING OF WOOD BEAMS BEARING ON CONCRETE OR MASONRY.
H. PROVIDE SHARON STROM WALL GARAGE PORTAL SYSTEM AROUND ALL OVERHEAD DOORS WITH A WIDTH GREATER THAN 8". INSTALL GARAGE PORTAL SYSTEM PER MANUFACTURER'S RECOMMENDED GUIDELINES.
I. ALL FRAMING SHALL BE ERECTED TRUE TO LINE, PLUMB AND LEVEL, AND SHALL BE FASTENED TO LEVEL OF THE FULL STRENGTH OF THE ASSEMBLY IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
J. DIMENSION LUMBER BEAMS FRAMING INTO FLUSH STEEL AND LVL BEAMS SHALL BE SET 1/4" ABOVE THE TOP OF BEAM TO ACCOMMODATE SHIMS.
K. ALL CONTINUOUS POSTS SHALL BE LATERALLY BRACED IN BOTH DIRECTIONS AT EACH FLOOR AND CEILING LEVEL.
L. ALL ENGINEERED PRODUCTS SHALL BE STORED AND INSTALLED IN ACCORDANCE WITH PRODUCT MANUFACTURER'S SPECIFICATIONS AND INSTALLATION DETAILS. WITH THE EXCEPTION OF MANUFACTURER PROVIDED KNOCKOUTS, NO HOLES SHALL BE FIELD-DRIILLED IN MEMBERS. IF HOLES ARE REQUIRED, NOTIFY THE ARCHITECT PRIOR TO ORDERING AFFECTED MEMBERS.
M. FLOOR SHEATHING SHALL BE GULFED AND NAILED.
N. PROVIDE 2X WOOD BLOCKING OR RM JOIST AT ALL SAWN LUMBER FLOOR JOIST SUPPORT POINTS.
O. PROVIDE BLOCKING OR RM BOARD AT ALL ENGINEERED FLOOR JOIST SUPPORT POINTS USE JOIST MANUFACTURER'S PRODUCTS AND COMPLY WITH JOIST MANUFACTURER'S INSTALLATION DETAILS.
P. PROVIDE 2X SOLID BLOCKING AT ALL RAFTER TAILS.
Q. SIZES OF DIMENSION LUMBER ARE NOMINAL. ALL LUMBER SHALL BE SURFACED FOUR SIDES, UNLESS NOTED OTHERWISE.
R. STRUCTURAL MEMBERS SHALL NOT BE IMPAIRED OR UNDERMINED BY IMPROPER CUTTING OR DRILLING.
S. ALL BUILD-UP LVL BEAMS SHALL BE ASSEMBLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

7 THERMAL AND MOISTURE PROTECTION

- A. PROVIDE THERMAL BUILDING INSULATION AT ASSEMBLIES ADJACENT TO EXTERIOR OR UNHEATED SPACES MEETING THE REQUIREMENTS LISTED ON SHEET A01.
B. INSTALL 1/2" STABILIZED POLYETHYLENE VAPOR BARRIER AGAINST INTERIOR FACE OF ALL THERMAL INSULATION.
C. WATERPROOF FOUNDATION WALLS AT EXCAVATED AREAS FROM FOOTING TO FINISHED GRADE WITH TWO COATS OF ASPHALT BASED WATERPROOFING COMPOUND. PROVIDE DRAINAGE MAT AND DRAIN INTO FOUNDATION DRAINS.
D. ROOFING SHALL BE 2X4 LVL COMPOSITION SHINGLES INSTALLED OVER 3/16" ROOF FLEET ON ROOF SHEATHING. MINIMUM SLOPE, FASTENERS, UNDER LAYMENT, AND EXPOSURE ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
E. PROVIDE FLASHING AND SHEET METAL REQUIRED TO PREVENT PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING. IN ADDITION TO COMPLYING WITH GOVERNING CODES, COMPLY WITH PERTINENT RECOMMENDATIONS CONTAINED IN THE CURRENT EDITION OF "ARCHITECTURAL SHEET METAL MANUAL" PUBLISHED BY SMCNA. ALL IRON SHEET METAL FLASHING SHALL BE HOT-DIPPED GALVANIZED COMPLYING WITH ASTM A93.
F. PROVIDE GUTTERS AND DOWNSPOUTS TO PROVIDE POSITIVE ROOF AND SITE DRAINAGE. PROVIDE ATTIC AND ROOF VENTILATION AS REQUIRED BY GOVERNING CODES AND AS SHOWN ON THE DRAWINGS. PROVIDE APPROPRIATE SOFFIT AND ROOF VENTS.
G. SKYLIGHTS SHALL BE SELECTED BY THE CONTRACTOR AND APPROVED BY THE OWNER. INSTALL SKYLIGHTS ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
H. INSTALL WATER AND ICE BARRIER (BUTYLENE OR EQUAL) OVER ROOF SHEATHING AT ALL EAVES AND VALLEYS. INSTALL PER CODE AND PER MANUFACTURER'S RECOMMENDATIONS.
B. DOORS AND WINDOWS
A. EXTERIOR DOORS SHALL BE SELECTED BY THE OWNER.
B. HOUSE-TO-GARAGE DOORS SHALL BE FIRE RATED DOORS APPROVED BY GOVERNING CODES. FFAC DESIGN TO BE SELECTED BY THE OWNER.
C. INTERIOR DOORS SHALL BE SELECTED BY THE OWNER.
D. EXTERIOR WINDOWS SHALL BE ALUMINUM OR VINYL CLAD WOOD WINDOWS MANUFACTURED BY PELLA CORP.
E. GLAZING IN ALL DOORS AND WINDOWS SHALL COMPLY WITH GOVERNING CODES.
F. INSTALL EGRESS WINDOWS UNITS IN ACCORDANCE WITH GOVERNING CODES.
G. DOOR AND WINDOW SIZES INDICATED ON DRAWINGS ARE AS FOLLOWS: 36" H REPRESENTS A DOOR OR WINDOW 3'-0" WIDE X 8'-8" HIGH. JAMB DEPTH TO BE COORDINATED BY THE CONTRACTOR.
H. FLASHING HARDWARE SHALL BE SELECTED BY THE OWNER. INSTALL HARDWARE IN ACCORDANCE WITH GOVERNING CODES.

9 FINISHES

- A. GYPSUM WALLBOARD, UNLESS NOTED OTHERWISE, SHALL BE PROVIDED AS FOLLOWS:
1. EXTERIOR WALLS, ONE LAYER 1/2" REGULAR WALLBOARD TO EXTERIOR FACE.
2. INTERIOR WALLS, ONE LAYER 1/2" REGULAR WALLBOARD EACH FACE.
3. CEILING, ONE LAYER 1/2" REGULAR WALLBOARD ON 1X3 WOOD STRAPPING AT 16" O.C.
4. GARAGE HOUSE COMMON WALLS (CEILING): ONE LAYER 5/8" TYPE "X" (FIRE RATED) WALLBOARD EACH FACE.
5. AT MULTIFAMILY RESIDENCES (2 OR MORE FAMILIES) ALL WALLS AND CEILING BOARD TO BE ONE LAYER 5/8" TYPE "X" (FIRE RATED) WALLBOARD EACH FACE.
6. BATHS: MOISTURE AND MOLD RESISTANT WALLBOARD AT ALL WALLS AND CEILINGS. PROVIDE TYPE X IN MULTIFAMILY RESIDENCES. PROVIDE CEMENT BOARD AS SUBSTRATE FOR CERAMIC TILE.
B. PROVIDE METAL CORNER BEAD AND TRIM AT ALL LOCATIONS RECOMMENDED BY THE GYPSUM WALLBOARD MANUFACTURER.
C. TAPE, FLOAT, AND SAND JOINTS AND FASTENERS OF GYPSUM WALLBOARD WITH THREE COATS OF JOINT COMPOUND AS REQUIRED TO OBTAIN A UNIFORMLY SMOOTH SURFACE. FINISHES SHALL BE SELECTED BY THE OWNER.

C

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10 PLUMBING, MECHANICAL, AND ELECTRICAL

- A. PLUMBING, MECHANICAL, AND ELECTRICAL INFORMATION AND LAYOUTS SHOWN ON THE DRAWINGS IS SCHEMATIC IN DESIGN AND SHALL BE REVIEWED BY SUB-CONTRACTORS, SUPPLIERS, AND BUILDING OFFICIALS FOR COMPLIANCE WITH GOVERNING CODES AND GOOD COMMON CONSTRUCTION PRACTICES. THE ARCHITECT SHALL BE NOTIFIED BY THE CONTRACTOR OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
B. PLUMBING, MECHANICAL, AND ELECTRICAL EQUIPMENT SHALL BE SELECTED BY THE OWNER. DESIGN AND INSTALLATION OF PLUMBING, MECHANICAL, AND ELECTRICAL EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE APPROPRIATE LICENSED CONTRACTORS AND SUBCONTRACTORS. DESIGN SHALL BE SUBMITTED FOR OWNER'S REVIEW PRIOR TO ORDERING AND INSTALLATION OF EQUIPMENT.
C. SERVICE PANELS SHALL BE SELECTED BY THE ELECTRICAL SUB-CONTRACTOR.
D. ALL HVAC EQUIPMENT SHALL BE INDIVIDUALLY SWITCHED.
E. ALL OUTDOOR, BATH, AND GARAGE AND SPA WALL RECEPTACLES SHALL BE PROVIDED WITH GROUND FAULT CIRCUIT PROTECTION IN ACCORDANCE WITH GOVERNING CODES.
F. DRYER AND RANGE HOOD VENTS SHALL BE EXTENDED TO THE EXTERIOR.
G. PROVIDE PLUMBING VENTS IN ACCORDANCE WITH GOVERNING CODES. MINIMIZE NUMBER AND LOCATION FOR MINIMAL VISUAL IMPACT.
H. INSTALL TYPE AND NUMBER OF SMOKE DETECTORS IN ACCORDANCE WITH GOVERNING CODES & UL17. PROVIDE HARDWARE AND INTERCONNECTED SMOKE AND CO DETECTORS WITH BATTERY BACKUP PER CODE REQUIREMENTS & AS DIRECTED BY THE LOCAL BUILDING DEPT.
I. CONNECT WATER, GAS, AND ELECTRIC SERVICES IN ACCORDANCE WITH GOVERNING CODES. ELECTRICAL SYSTEM TO BE DESIGNED BY LICENSED CONTRACTOR. ALL ELECTRICAL CALCULATIONS AND WIRE SIZE TO BE PROVIDED BY A LICENSED ELECTRICAL CONTRACTOR. CONTRACTOR TO VERIFY LOCATION, FIXTURE TYPES AND EQUIPMENT WITH OWNER PRIOR TO PURCHASE AND INSTALLATION. PROVIDE POWER FOR ALL APPLIANCES. LOCATE NEW ELECTRICAL DEVICES PER NEC REQUIREMENTS & OWNER'S REQUIREMENTS. RECONNECT EXISTING FIXTURES TO NEW SWITCH LOCATIONS AS REQUIRED IN THE FIELD. PROVIDE DAMPERS AS DIRECTED BY OWNER.
J. ALL TV, TELEPHONE AND OTHER LOW VOLTAGE WIRING NOT SHOWN SYSTEM TO BE DESIGNED/BUILT BY CONTRACTOR FOR LOCATIONS OF ALL LOW VOLTAGE WIRING. MECHANICAL SYSTEM TO BE DESIGNED/BUILT BY MECHANICAL CONTRACTOR. MECHANICAL SYSTEM TO BE INSTALLED BY A LICENSED MECHANICAL CONTRACTOR. VERIFY EQUIPMENT TYPE WITH OWNER PRIOR TO PURCHASE AND INSTALLATION.
K. PLUMBING SYSTEM TO BE DESIGNED/BUILT BY PLUMBING CONTRACTOR. PLUMBING SYSTEM TO BE INSTALLED BY A LICENSED PLUMBING CONTRACTOR.
L. ALL EXISTING UTILITIES AND CITY SERVICES ARE TO BE MAINTAINED, KEPT IN SERVICE, AND PROTECTED AGAINST DAMAGE DURING CONSTRUCTION.
M. UNLESS OTHERWISE NOTED, ELECTRICAL CONDUITS, PLUMBING LINES, ETC., SHALL BE RUN CONCEALED AND FRAMING SHALL BE ADEQUATE SIZE TO ACCOMPLISH RESULT WITHOUT CAUSING ANY CHANGES IN THE WALL PLANE.

11 MISCELLANEOUS

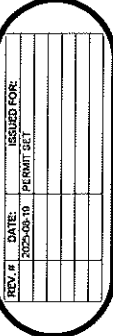
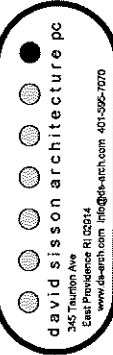
- A. THIS SET OF CONSTRUCTION DRAWINGS IS INTENDED FOR DESIGN INTENT ONLY. ALTHOUGH MANY JURISDICTIONS WILL ACCEPT THESE DRAWINGS AS SUFFICIENT FOR A CONSTRUCTION PERMIT, THESE DRAWINGS ARE NOT INTENDED, AND SHOULD NOT BE CONSTRUED, AS A COMPLETE SET OF CONSTRUCTION DRAWINGS. THESE DRAWINGS WILL HAVE TO BE ADAPTED TO MEET LOCAL ZONING AND/OR SITE CONDITIONS AND ADDITIONAL DETAILING WILL NEED TO BE COMPLETED ON SITE BY THE BUILDER.
B. INSTALL PREFABRICATED FIREPLACE UNITS AS SHOWN ON DRAWINGS.
1. FIREPLACE UNITS SHALL BE "HEAT-N-GLO" OR AS APPROVED BY OWNER.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AS RECOMMENDED BY THE MANUFACTURER AND AS REQUIRED BY GOVERNING CODES, INCLUDING MANTEL AND HEARTH DESIGN AND LOCATION.
3. HEARTH SHALL BE OF NON-COMBUSTIBLE MATERIAL.
C. ROOM SIZES SHOWN ON THE PLANS INDICATE ROOM DIMENSIONS PRIOR TO INSTALLATION OF GYPSUM WALLBOARD. GYPSUM WALLBOARD THICKNESSES MUST BE SUBTRACTED FROM ROOM SIZES INDICATED FOR ACTUAL ROOM DIMENSIONS AND ARE SUBJECT TO CHANGE.

12 SUBMITTALS

- A. SUBMIT ROOF TRUSS AND/OR RAFTER LAYOUT PLAN AS COMPLETED BY THE MANUFACTURER FOR REVIEW PRIOR TO ORDERING ROOF TRUSSES AND/OR ROOF LUMBER PACKAGE. ALLOW ARCHITECT THE BUSINESS DAYS FOR COMPLETE REVIEW.
B. SUBMIT FLOOR TRUSS LAYOUTS SHOWING BEAM LOCATIONS, JOIST LAYOUT, LOCATIONS OF CONTINUOUS DUCT CHASES, AND MAXIMUM DUCT SIZE IN EACH CHASE. ALLOW ARCHITECT FIVE BUSINESS DAYS FOR COMPLETE REVIEW.
C. ARCHITECT WILL NOT BE RESPONSIBLE FOR ANY ERRORS IN THE ROOF AND/OR FLOOR FRAMING WITHOUT THE OPPORTUNITY TO REVIEW THE ROOF AND/OR FLOOR FRAMING LAYOUTS, FRAMING LAYOUTS, MEMBER SIZES, AND FLOOR/ROOF PENETRATIONS INDICATED ON THE DRAWINGS ARE FOR DESIGN INTENT ONLY. FINAL LAYOUTS SHALL BE THE RESPONSIBILITY OF BUILDER.

HEADER SCHEDULE (LONGER HEADER SPANS AS SHOWN ON DRAWINGS)

Table with columns: FLOOR, SPAN, HEADER SIZE, NUMBER OF JACK STUDS EACH END. Rows include First Floor and Second Floor headers.



A

B

C

D

KEYED NOTES

| FIRE AND LIFE SAFETY LEGEND | |
|-----------------------------|--|
| SYMBOL | DESCRIPTION |
| --- | 1 HOUR CONSTRUCTION |
| E → | EXIT |
| ↻ (10) | NUMBER OF OCCUPANTS EGRESS HWG & EGRESS DIRECTION |
| Ⓢ | 60 MINUTE SELF CLOSING RATED DOOR, FRAME AND HARDWARE |
| Ⓢ | HARDWIRED & INTERCONNECTED SMOKE DETECTOR W/ BATTERY BACK UP |
| Ⓢ | HARDWIRED & INTERCONNECTED CO DETECTOR W/ BATTERY BACK UP |

CODE REVIEW:
 USES: R2 (RESIDENTIAL, 3 UNITS)
 TYPE OF CONSTRUCTION: TYPE 5B PER TABLE 601
 ALLOWED: 40 FEET / 2 STORY / 7000 SF / STORY / PER TABLE 504.3504.4.506.2
 ACTUAL: APPROX 33' - 2" FEET / 2.5 STORY / 2,573 SF MAX PER STORY
 TABLE 1004.1.2 OCCUPANT LOADS:
 R (RESIDENTIAL) = 200 GROSS / PER OCCUPANT
 1 HOUR SEPARATION REQUIRED BETWEEN UNITS
 EXIT ACCESS TRAVEL DISTANCE 200 MAX TABLE 1017.2

DAVID SIBSON ARCHITECTURE PC
 345 Thurston Ave
 East Providence RI 02824
 www.dsarch.com info@dsarch.com 401-595-1070

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184 Potters Ave
 Providence, RI 02805
 PROJECT NUMBER: 25954

FIRE AND LIFE SAFETY PLANS
 SAFETY PLANS
 BASEMENT, 1ST FL,
 2ND FL & 3RD FL



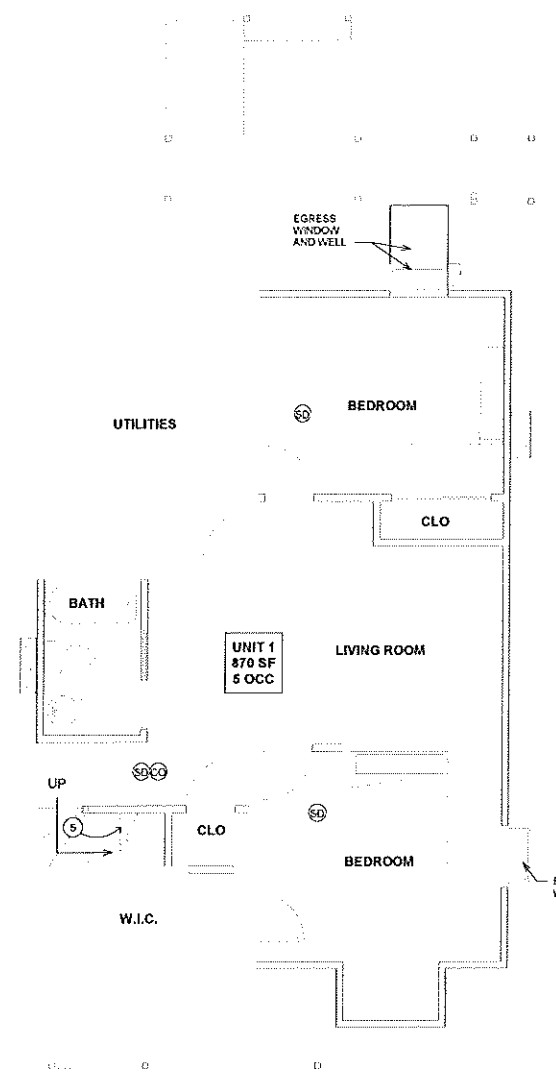
DATE SIGNED:
 2025-05-17
 A2.0

1

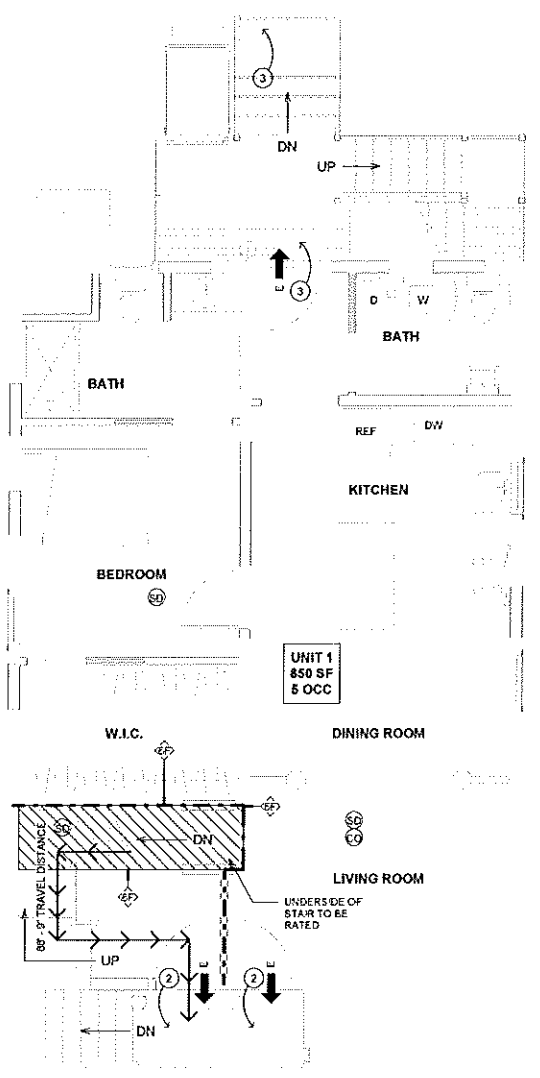
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3

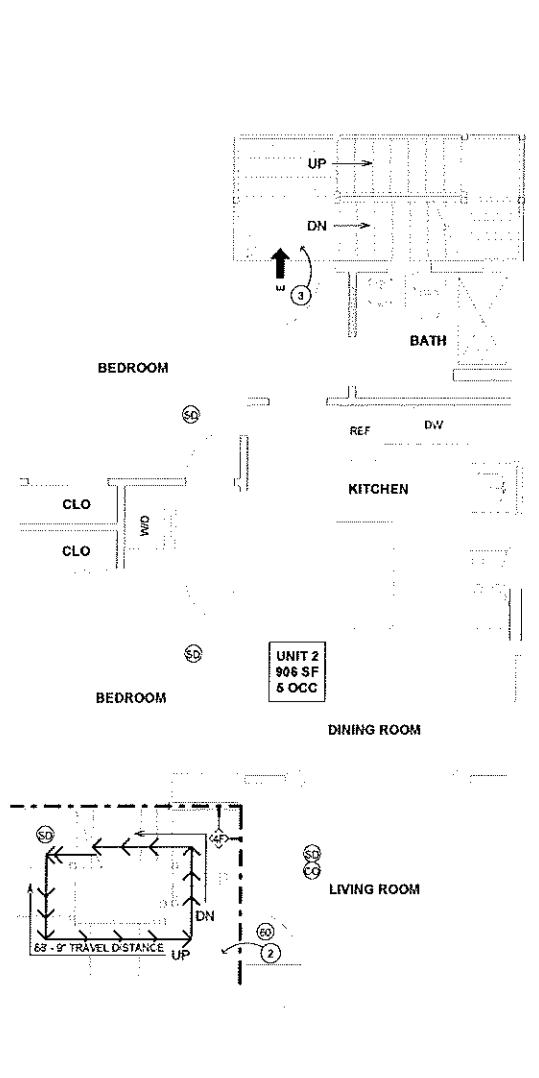
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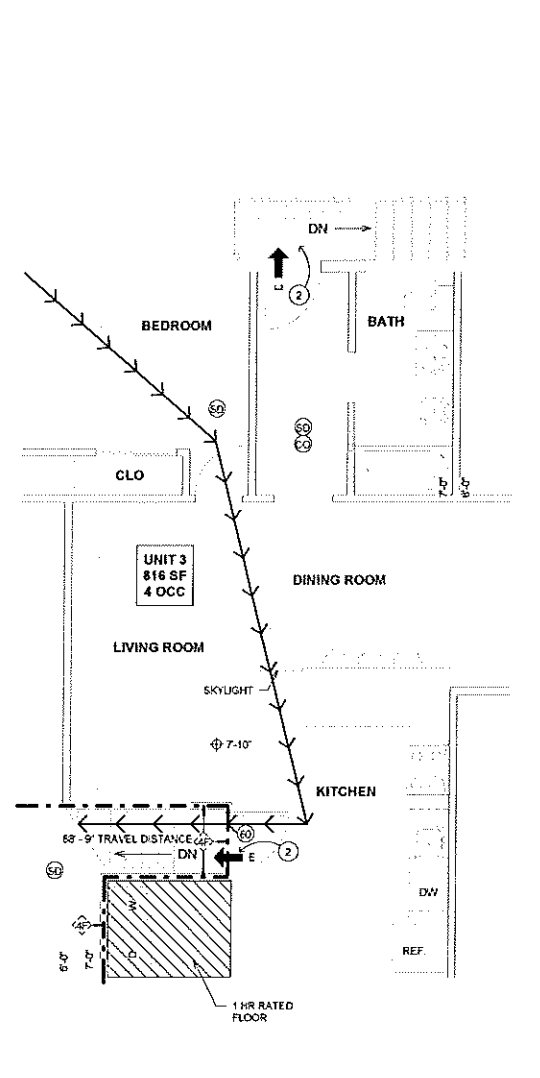
A2 FLS - UNIT 1 BASEMENT
 1/4" = 1'-0"



B4 FLS - UNIT 1 1ST FL
 1/4" = 1'-0"



C2 FLS - UNIT 2 2ND FL
 1/4" = 1'-0"



D4 FLS - ADU 3RD FL
 1/4" = 1'-0"

1

2

3

4

A

B

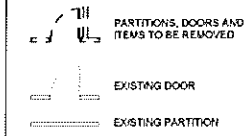
C

D

KEYED NOTES

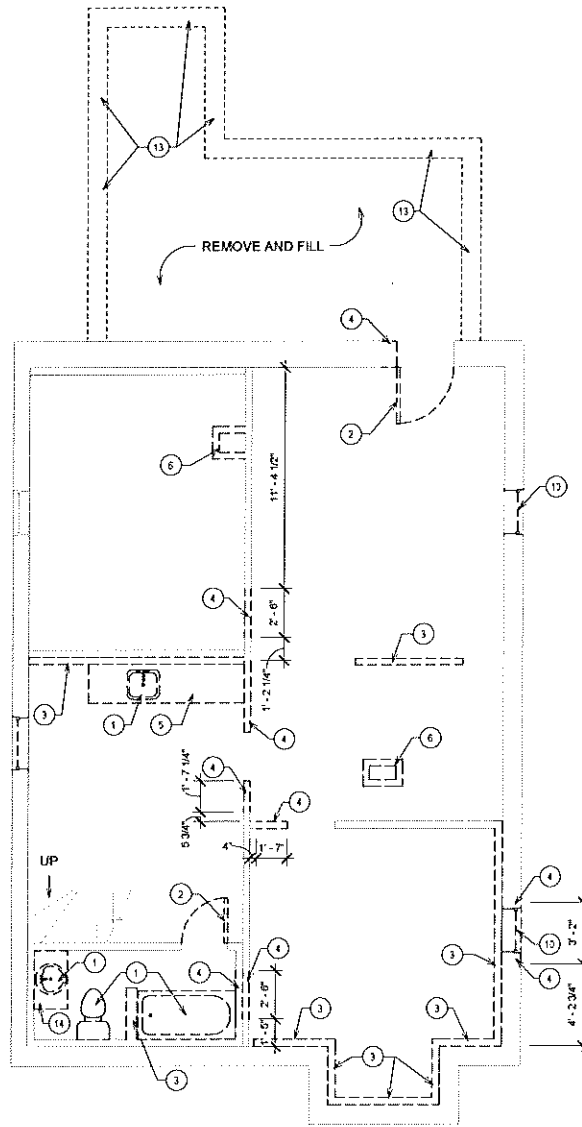
- 1 REMOVE PLUMBING FIXTURE
- 2 REMOVE DOOR
- 3 REMOVE WALL
- 4 REMOVE WALLS REQUIRED FOR NEW WORK
- 5 REMOVE UPPER AND LOWER KITCHEN CABINETS COMPLETE
- 6 REMOVE CHIMNEY COMPLETE
- 7 REMOVE DECK COMPLETE
- 8 REMOVE STAIR, LANDING, AND RAILING COMPLETE
- 9 REMOVE RAILING COMPLETE
- 10 REMOVE WINDOW
- 11 REMOVE SIDELITE AND TRANSOM COMPLETE
- 12 REMOVE APPLIANCES
- 13 REMOVE RETAINING WALL COMPLETE
- 14 REMOVE UPPER AND LOWER CABINETS COMPLETE

DEMOLITION LEGEND

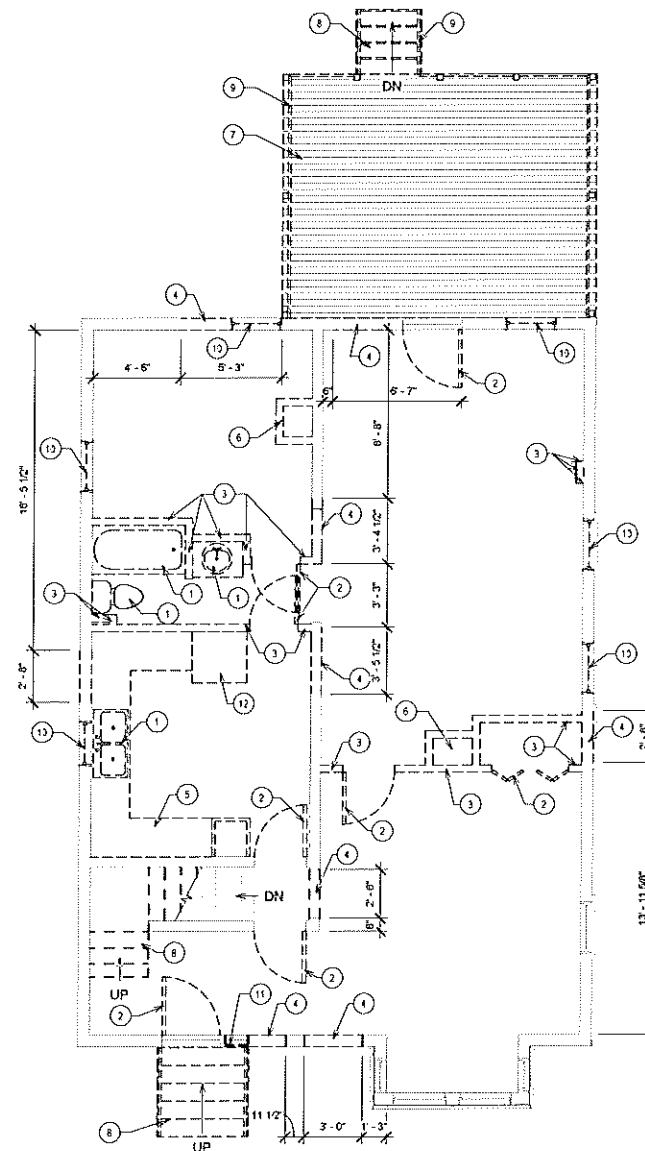


**DEMOLITION PLANS
GENERAL NOTES:**

1. COORDINATE DIMENSIONS OF ALL DEMOLITION WITH REQUIREMENTS OF NEW CONSTRUCTION. REFER TO PROPOSED PLANS FOR NEW CONSTRUCTION WHICH REQUIRES THIS DEMOLITION. DEMOLITION CONTRACTOR SHALL BE FULLY AWARE OF ALL NEW CONSTRUCTION AND DETAILS PRIOR TO DEMOLITION.
2. STABILIZE AND PROTECT ALL AREAS ADJACENT TO AREAS OF DEMOLITION. VERIFY PRIOR TO DEMOLITION THAT WALLS AND SLABS ARE NOT LOAD BEARING.
3. PROTECT IN PLACE ALL FIXTURES AND SURFACES SCHEDULED TO REMAIN.
4. REVIEW DISPOSITION OF ALL ITEMS TO BE REMOVED WITH THE OWNER.
5. PROCEED WITH CAUTION IN REMOVING WALLS AND ENCLOSURES. OPEN HOLES CAREFULLY TO INVESTIGATE THE PRESENCE OF MAJOR HVAC ELECTRICAL OR PLUMBING SYSTEMS. IF A CONFLICT IS IDENTIFIED, CONTACT ARCHITECT PRIOR TO CONTINUING WORK.
6. DEMOLITION PLANS AND SPECIFICATIONS DO NOT FULLY REPRESENT ALL DEMOLITION WORK REQUIRED TO INSTALL NEW WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS, BUT ARE INTENDED TO SERVE AS GENERAL DEMOLITION GUIDELINES.
7. ALL WORK INDICATED WITH DASHED LINES ARE TO BE REMOVED UNLESS OTHERWISE NOTED.
8. ALL WORK INDICATED WITH SOLID LINES ARE TO REMAIN UNLESS OTHERWISE NOTED.
9. WHERE ITEMS ARE REMOVED, PATCH SURFACES TO MATCH ADJACENT SURFACES TO OR TO RECEIVE NEW FINISHES WHERE SCHEDULED. PATCHING OF NEW OR EXISTING SURFACES SHALL EXTEND TO THE NEAREST NATURAL BREAK OR TERMINATION FOR A CLEAN, NATURAL UNBLEMISHED APPEARANCE AT THE END OF CONSTRUCTION.
10. REMOVE OR REPLACE EXISTING WALLS AND CEILING LOCATED IN UNALTERED AREAS TO COMPLETE ALL NEW WORK, WHETHER SHOWN ON THE DRAWINGS OR NOT. COORDINATE ALL WORK WITH OTHER TRADES.
11. REMOVE OR RELOCATE ANY ELECTRICAL DEVICES, PLUMBING AND MECHANICAL EQUIPMENT AS REQUIRED TO DO NEW WORK.
12. SALVAGE BRICK AT NEW OPENINGS TO BE REUSED AT FOUNDATION INFILLS.



DEMOLITION - BASEMENT
1/4" = 1'-0"



DEMOLITION - 1ST FL
1/4" = 1'-0"

david sisson architecture pc
 345 Taunton Ave
 East Providence RI 02914
 www.davidsson.com info@ds-a.com 401-566-7070

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184 Potters Ave
 Providence, RI 02905
 PROJECT NUMBER: 25054

DEMOLITION
BASEMENT & 1ST FL

DATE SIGNED:
 2025-09-17

A3.0

A

B

C

D

KEYED NOTES

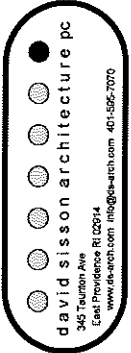
- 1 REMOVE RAILING COMPLETE
- 2 REMOVE DECK COMPLETE
- 3 REMOVE DOOR
- 4 REMOVE WINDOW
- 5 REMOVE WALL AS REQUIRED FOR NEW WORK
- 6 REMOVE WALL
- 7 REMOVE CHIMNEY COMPLETE
- 8 REMOVE PLUMBING FIXTURE
- 9 REMOVE APPLIANCES
- 10 REMOVE UPPER AND LOWER KITCHEN CABINETS COMPLETE
- 11 REMOVE ROOF COMPLETE
- 12 REMOVE STAIR, LANDING, AND RAILING COMPLETE
- 13 REMOVE UPPER AND LOWER CABINETS COMPLETE

DEMOLITION LEGEND

- PARTITIONS, DOORS AND ITEMS TO BE REMOVED
- EXISTING DOOR
- EXISTING PARTITION

DEMOLITION PLANS GENERAL NOTES:

1. COORDINATE DIMENSIONS OF ALL DEMOLITION WITH REQUIREMENTS OF NEW CONSTRUCTION. REFER TO PROPOSED PLANS FOR NEW CONSTRUCTION WHICH REQUIRES THIS DEMOLITION. DEMOLITION CONTRACTOR SHALL BE FULLY AWARE OF ALL NEW CONSTRUCTION AND DETAILS PRIOR TO DEMOLITION.
2. STABILIZE AND PROTECT ALL AREAS ADJACENT TO AREAS OF DEMOLITION. VERIFY PRIOR TO DEMOLITION THAT WALLS AND SLABS ARE NOT LOAD BEARING.
3. PROTECT IN PLACE ALL FIXTURES AND SURFACES SCHEDULED TO REMAIN.
4. REVIEW DISPOSITION OF ALL ITEMS TO BE REMOVED WITH THE OWNER.
5. PROCEED WITH CAUTION IN REMOVING WALLS AND ENCLOSURES. OPEN HOLES CAREFULLY TO INVESTIGATE THE PRESENCE OF MAJOR HVAC ELECTRICAL OR PLUMBING SYSTEMS. IF A CONFLICT IS IDENTIFIED, CONTACT ARCHITECT PRIOR TO CONTINUING WORK.
6. DEMOLITION PLANS AND SPECIFICATIONS DO NOT FULLY REPRESENT ALL DEMOLITION WORK REQUIRED TO INSTALL NEW WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS, BUT ARE INTENDED TO SERVE AS GENERAL DEMOLITION GUIDELINES.
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10. REMOVE OR REPLACE EXISTING WALLS AND CEILINGS LOCATED IN UNALTERED AREAS TO COMPLETE ALL NEW WORK, WHETHER SHOWN ON THE DRAWINGS OR NOT. COORDINATE ALL WORK WITH OTHER TRADES.
11. REMOVE OR RELOCATE ANY ELECTRICAL DEVICES, PLUMBING AND MECHANICAL EQUIPMENT AS REQUIRED TO DO NEW WORK.
12. SALVAGE BRICK AT NEW OPENINGS TO BE REUSED AT FOUNDATION INFILLS.



| REV. # | DATE | DESCRIPTION | DESIGNED BY | CHECKED BY |
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184 Potters Ave
Providence, RI 02905
PROJECT NUMBER: 25054

DEMOLITION 2ND FL
& 3RD FL



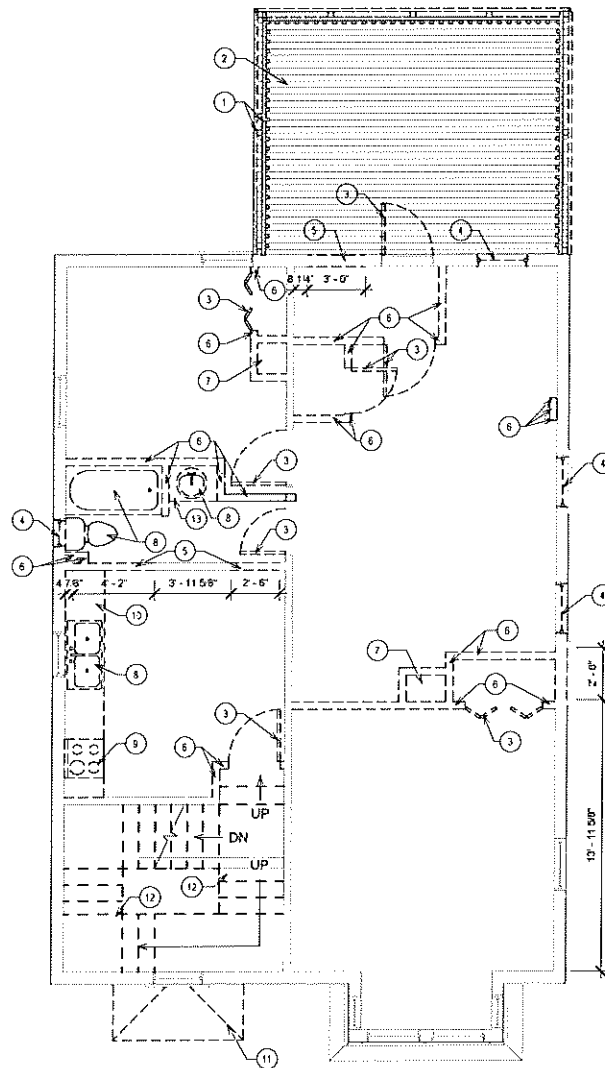
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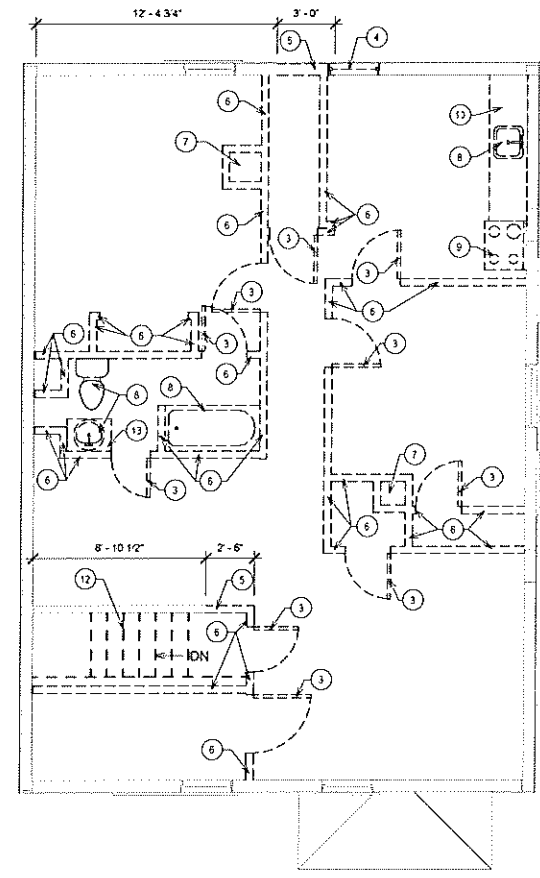
2

3

4



DEMOLITION - 2ND FL
1/4" = 1'-0"



DEMOLITION - 3RD FL
1/4" = 1'-0"

A

B

C

D

1

2

3

4

| ELECTRICAL LEGEND | |
|---------------------|--|
| DUPLEX OUTLET | |
| TV OUTLET | |
| GFI OUTLET | |
| REFRIGERATOR OUTLET | |
| 220V OUTLET | |
| MINI SPLIT SYSTEM | |

* MOUNT ONE OUTLET HIGH ONE OUTLET LOW FOR TV

KEYED NOTES

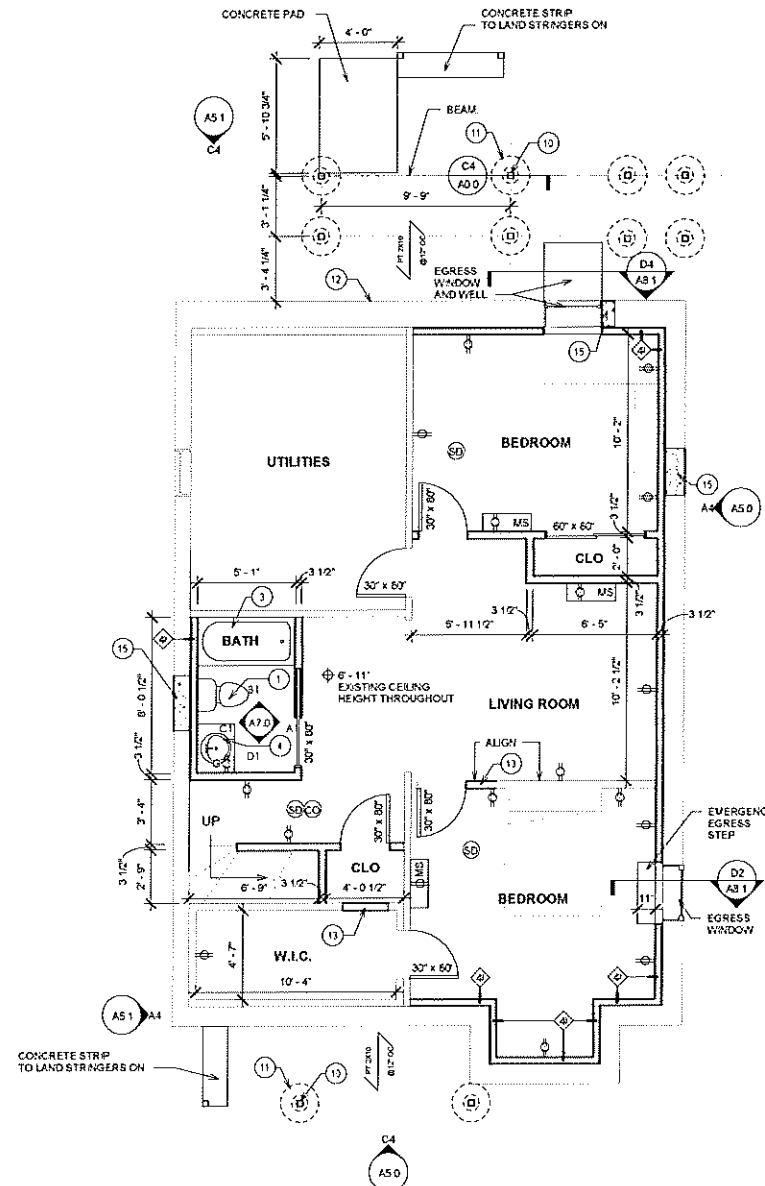
- TOILET
- 3'-0" X 5'-0" SHOWER
- TUB
- 2'-6" VANITY W/ SINK
- SMOKE STOP CANISTERS
- COUNTERTOP, BASE CABINETS BELOW, UPPER CABINETS ABOVE. PROVIDE UNDERCABINET LIGHTS TYP.
- SINK ON 30" BASE CABINET. CENTER SINK BASE ON WINDOW.
- RANGE WITH HOOD. DUCT HOOD OUTSIDE.
- 3'-7 1/2" ADA ACCESS-BLE VANITY W/ SINK
- POST. 4X4
- DECK - "BIGFOOT" FOOTING. SEE DETAIL C400
- LEDGER ALONG THIS WALL
- INFILL WALL
- INFILL EXISTING WALL. MATCH EXISTING SHINGLES
- INFILL EXISTING BRICK FOUNDATION. REUSE SALVAGED BRICKS FOR NEW OPENINGS

PLAN LEGEND

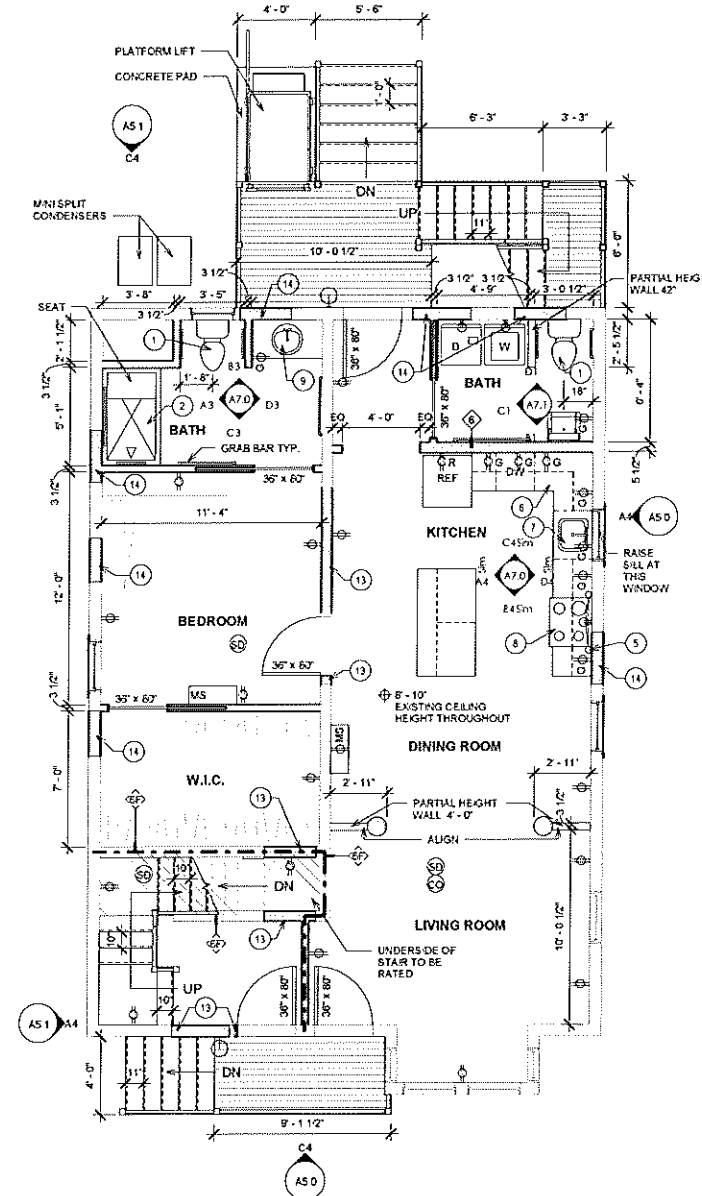
- EXISTING DOOR
- EXISTING PARTITION
- NEW DOOR
- FULL HEIGHT PARTITION
- PARTIAL HEIGHT PARTITION
- BEAM OVERHEAD
- CENTERLINE
- DIMENSION TO THE FACE OF FRAMING OR MASONRY AT NEW CONSTRUCTION, TYP.
- DIMENSION TO THE FACE OF FINISH AT EXISTING CONSTRUCTION
- COLUMN LOCATION
- CARBON MONOXIDE DETECTOR - HARDWIRED AND INTERCONNECTED
- SMOKE DETECTOR - HARDWIRED AND INTERCONNECTED
- HEAT DETECTOR - HARDWIRED AND INTERCONNECTED
- FIRE RATED DOOR 60 MIN W/ CLOSER

GENERAL NOTES

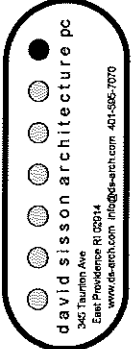
- VERIFY ALL DIMENSIONS IN THE FIELD. DO NOT SCALE DRAWINGS.
- ALL INTERIOR WALLS 2X4 AT 16" O.C. UNLESS NOTED OTHERWISE. PROVIDE DOUBLE TOP PLATES. SEE C1400.
- ALL DOOR JAMBS 4" OFF WALL UNLESS NOTED OTHERWISE.
- CENTER DOORS IN WALL UNLESS NOTED OTHERWISE.
- PROVIDE HARDWIRED AND INTERCONNECTED SMOKE AND CO DETECTORS WITH BATTERY BACKUP PER CODE REQUIREMENTS & AS DIRECTED BY THE LOCAL BUILDING DEPT.
- PROTECT IN PLACE ALL EXISTING FIXTURES AND SURFACES SCHEDULED TO REMAIN.
- PATCH AND REPAIR EXISTING WALLS LOCATED IN UNALTERED AREAS AFFECTED BY ALL NEW WORK, WHETHER SHOWN ON THE DRAWINGS OR NOT.
- PATCH, PAINT AND REFRESH ALL EXISTING WALLS, FLOORS, CEILINGS & TRIM THROUGHOUT REPLACE MATERIALS IN AND WHEN DAMAGED PAST POINT OF REPAIR.
- PLANS DO NOT FULLY REPRESENT ALL NEW WORK. THE CONSTRUCTION DOCUMENTS ARE INTENDED TO TO SERVE AS GENERAL GUIDELINES.
- DIMENSIONS SHOWN ARE FROM FACE OF STUD OR FACE OF EXISTING CONSTRUCTION UNLESS NOTED OTHERWISE.
- PROVIDE ELECTRICAL PER STATE ELECTRICAL CODE REQUIREMENTS. PROVIDE POWER FOR ALL APPLIANCES. LOCATE NEW ELECTRICAL DEVICES PER NEC REQUIREMENTS & OWNER'S REQUIREMENTS.
- PROVIDE PLUMBING PER STATE PLUMBING CODE REQUIREMENTS.
- HVAC SYSTEM TO BE DESIGN BUILD. PROVIDE PER STATE CODE REQUIREMENTS.
- PROVIDE SOLID WOOD BLOCKING AS REQUIRED.
- PROVIDE FIRE EXTINGUISHERS PER CODE AND PER REQUIREMENTS OF THE BUILDING OFFICIAL.
- INSTALL BATT INSULATION FULL DEPTH AT ALL EXPOSED STUD CAVITIES (CLOSED CELL SPRAY FOAM AT ATTIC ROOF CAVITIES).
- COVER ALL WALLS AND CEILINGS W/ 1/2" THICK GYPSUM BOARD UNLESS NOTED OTHERWISE.
- PROVIDE MOISTURE AND MOLD RESISTANT GYPSUM BOARD AT BATHROOMS UNLESS NOTED OTHERWISE.
- ALL APPLIANCES PROVIDED BY OWNER, INSTALLED BY CONTRACTOR.
- RECONNECT EXISTING FIXTURES TO NEW SWITCH LOCATIONS AS REQUIRED IN THE FIELD.
- PROVIDE DAMPERS AS DIRECTED BY OWNER.
- A-Y, CATV, TELEPHONE AND OTHER LOW VOLTAGE WIRING NOT SHOWN. SYSTEM TO BE DESIGN/BUILD. CONTACT OWNER FOR LOCATIONS OF ALL LOW VOLTAGE WIRING.



B0 FLOOR PLAN - UNIT 1 BASEMENT
1/4" = 1'-0"



C0 FLOOR PLAN - UNIT 1 1ST FL
1/4" = 1'-0"



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184 Potters Ave
Providence, RI 02905
PROJECT NUMBER: 25054

PLANS BASEMENT &
1ST FL



DATE SIGNED: 2025-09-17

A4.0

A

B

C

D

1

2

3

4

| ELECTRICAL LEGEND | |
|---------------------|----|
| DUPLEX OUTLET | ⊕ |
| TV OUTLET | ⊕ |
| GFI OUTLET | ⊕G |
| REFRIGERATOR OUTLET | ⊕R |
| 220V OUTLET | ⊕ |
| MINI SPLIT SYSTEM | MS |

* MOUNT ONE OUTLET HIGH ONE OUTLET LOW FOR TV

KEYED NOTES

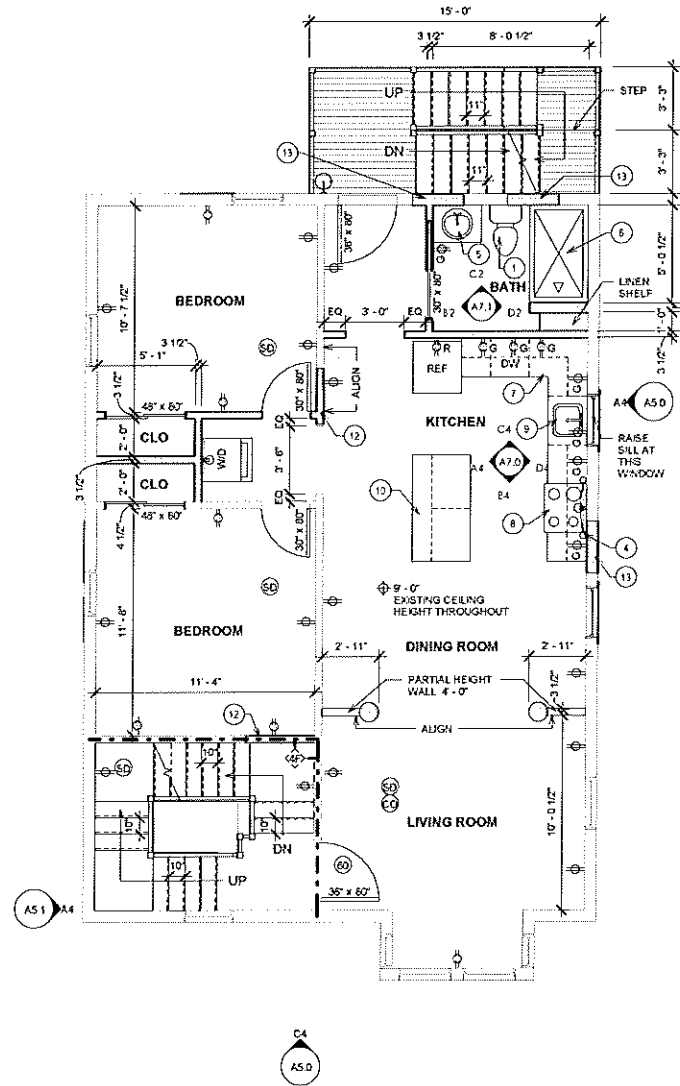
- TOILET
- TUB
- 5'-6" VANITY W/ (2) SINKS
- SMOKE STOP CANISTERS
- 2'-6" VANITY W/ SINK
- 3'-0" X 9'-0" SINKER
- COUNTERTOP, BASE CABINETS BELOW, UPPER CABINETS ABOVE. PROVIDE UNDERCABINET LIGHTS TYP.
- RANGE WITH HOOD. DUCT HOOD OUTSIDE.
- SINK ON 30" BASE CABINET. CENTER SINK BASE ON WINDOW.
- KITCHEN ISLAND
- SINK ON 30" BASE
- INFILL WALL
- INFILL EXISTING WALL MATCH EXISTING SHINGLES

PLAN LEGEND

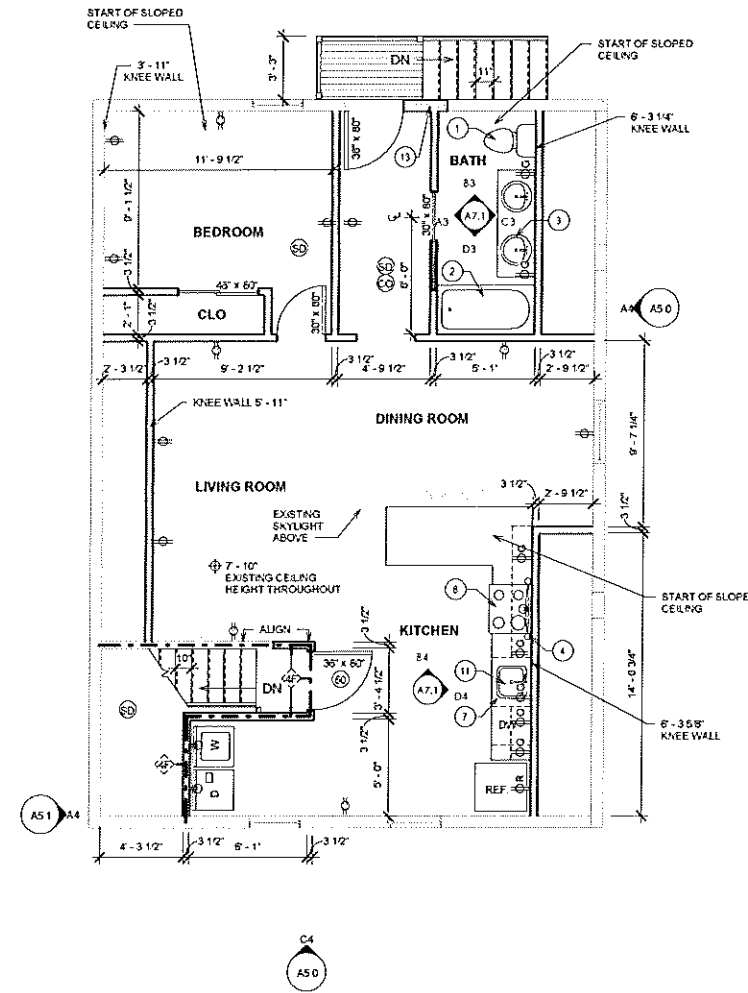
- EXISTING DOOR
- EXISTING PARTITION
- NEW DOOR
- FULL HEIGHT PARTITION
- PARTIAL HEIGHT PARTITION
- BEAM OVERHEAD
- CENTERLINE
- DIMENSION TO THE FACE OF FRAMING OR MASONRY AT NEW CONSTRUCTION, TYP.
- DIMENSION TO THE FACE OF FINISH AT EXISTING CONSTRUCTION
- DIMENSION TO THE FACE OF FINISH
- COLUMN LOCATION
- CARBON MONOXIDE DETECTOR - HARDWIRED AND INTERCONNECTED
- SMOKE DETECTOR - HARDWIRED AND INTERCONNECTED
- HEAT DETECTOR - HARDWIRED AND INTERCONNECTED
- FIRE RATED DOOR 60 MIN W/ CLOSER

GENERAL NOTES

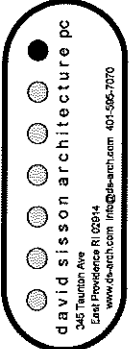
- VERIFY ALL DIMENSIONS IN THE FIELD. DO NOT SCALE DRAWINGS
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- ALL DOOR JAMBS 4" OFF WALL UNLESS NOTED OTHERWISE
- CENTER DOORS IN WALL UNLESS NOTED OTHERWISE
- PROVIDE HARDWIRED AND INTERCONNECTED SMOKE AND CO DETECTORS WITH BATTERY BACKUP PER CODE REQUIREMENTS & AS DIRECTED BY THE LOCAL BUILDING DEPT.
- PROTECT IN PLACE ALL EXISTING FIXTURES AND SURFACES SCHEDULED TO REMAIN
- PATCH AND REPAIR EXISTING WALLS LOCATED IN UNALTERED AREAS AFFECTED BY ALL NEW WORK, WHETHER SHOWN ON THE DRAWINGS OR NOT.
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- DIMENSIONS SHOWN ARE FROM FACE OF STUD OR FACE OF EXISTING CONSTRUCTION UNLESS NOTED OTHERWISE
- PROVIDE ELECTRICAL PER STATE ELECTRICAL CODE REQUIREMENTS. PROVIDE POWER FOR ALL APPLIANCES. LOCATE NEW ELECTRICAL DEVICES PER NEC REQUIREMENTS & OWNER'S REQUIREMENTS.
- PROVIDE PLUMBING PER STATE PLUMBING CODE REQUIREMENTS
- HVAC SYSTEM TO BE DESIGN BUILD. PROVIDE PER STATE CODE REQUIREMENTS
- PROVIDE SOLID WOOD BLOCKING AS REQUIRED
- PROVIDE FIRE EXTINGUISHERS PER CODE AND PER REQUIREMENTS OF THE BUILDING OFFICIAL
- INSTALL BATT INSULATION FULL DEPTH AT ALL EXPOSED STUD CAVITIES. CLOSED CELL SPRAY FOAM AT ATTIC ROOF CAVITIES
- COVER ALL WALLS AND CEILINGS W/ 1/2" THICK GYPSUM BOARD UNLESS NOTED OTHERWISE
- PROVIDE MOISTURE AND MOLD RESISTANT GYPSUM BOARD AT BATHROOMS UNLESS NOTED OTHERWISE
- ALL APPLIANCES PROVIDED BY OWNER, INSTALLED BY CONTRACTOR
- RECONNECT EXISTING FIXTURES TO NEW SWITCH LOCATIONS AS REQUIRED IN THE FIELD
- PROVIDE DIMMERS AS DIRECTED BY OWNER
- 22 A.V, CATV, TELEPHONE AND OTHER LOW VOLTAGE WIRING NOT SHOWN. SYSTEM TO BE DESIGN/BUILD. CONTACT OWNER FOR LOCATIONS OF ALL LOW VOLTAGE WIRING.



84 FLOOR PLAN - UNIT 2 2ND FL
1/4" = 1'-0"



84 FLOOR PLAN - ADU 3RD FL
1/4" = 1'-0"



| REV. # | DATE | DESCRIPTION |
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184 Potters Ave
PROVIDENCE, RI 02905
PROJECT NUMBER: 25554

PLANS 2ND FL & 3RD FL



DATE SIGNED:
2025-09-17

A4.1

A

B

C

D

KEYED NOTES

- 1 INFILL EXISTING WALL, MATCH EXISTING SHINGLES
- 2 TRIM TO MATCH EXISTING
- 3 INFILL EXISTING BRICK FOUNDATION, REUSE SALVAGED BRICKS FOR NEW OPENINGS
- 4 GUARDRAIL AT 42"
- 5 STAIR - MIN 11" TREAD, MAX 7" RISE, 42" GUARDRAIL W/ HANDRAIL BOTH SIDES AT 36" ABOVE NOSINGS, RETURN TO WALL OR POST BOTH ENDS
- 6 STAIR - MIN 11" TREAD, MAX 7" RISE, 42" GUARDRAIL W/ HANDRAIL ONE SIDE AT 36" ABOVE NOSINGS, RETURN TO WALL OR POST BOTH ENDS
- 7 TRIM

david sisson architecture pc

 346 Taunton Ave

 East Providence RI 02914

 www.dsisson.com info@dsisson.com 401-595-1970

| REV. # | DATE | REVISION FOR |
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184 Potters Ave

 Providence, RI 02905

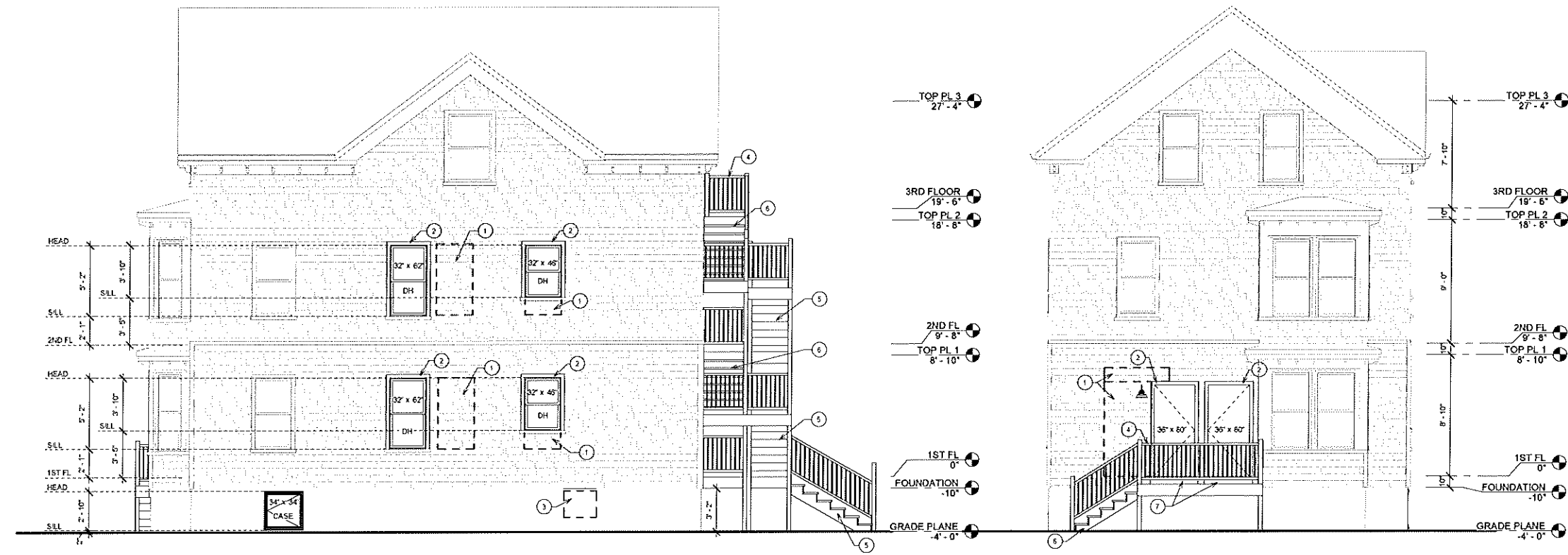
 PROJECT NUMBER: 25054

ELEVATIONS



DATE SIGNED: 2025-09-17

A5.0



A3 Elevation 3 - a
1/4" = 1'-0"

B3 Elevation 1 - a
1/4" = 1'-0"

1
2
3
4

A

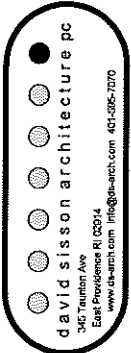
B

C

D

KEYED NOTES

- 1 INFILL EXISTING WALL. MATCH EXISTING SHINGLES
- 2 INFILL EXISTING BRICK FOUNDATION. REUSE SALVAGED BRICKS FOR NEW OPENINGS
- 3 TRIM TO MATCH EXISTING
- 4 GUARDRAIL AT 42"
- 5 STAIR - MIN 11" TREAD, MAX 7" RISER, 42" GUARDRAIL W/ HANDRAIL BOTH SIDES AT 36" ABOVE NOS-NGS, RETURN TO WALL OR POST BOTH ENDS
- 6 STAIR - MIN 11" TREAD, MAX 7" RISER, 42" GUARDRAIL W/ HANDRAIL ONE SIDE AT 36" ABOVE NOS-NGS, RETURN TO WALL OR POST BOTH ENDS
- 7 WHEELCHAIR LIFT. PROVIDE CONCRETE PAD.
- 8 NEW LIGHT FIXTURE
- 9 TRIM



| REV. # | DATE | DESCRIPTION |
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184 Potters Ave
Providence, RI 02905
PROJECT NUMBER: 25954

ELEVATIONS



DATE SIGNED:
2025-09-17

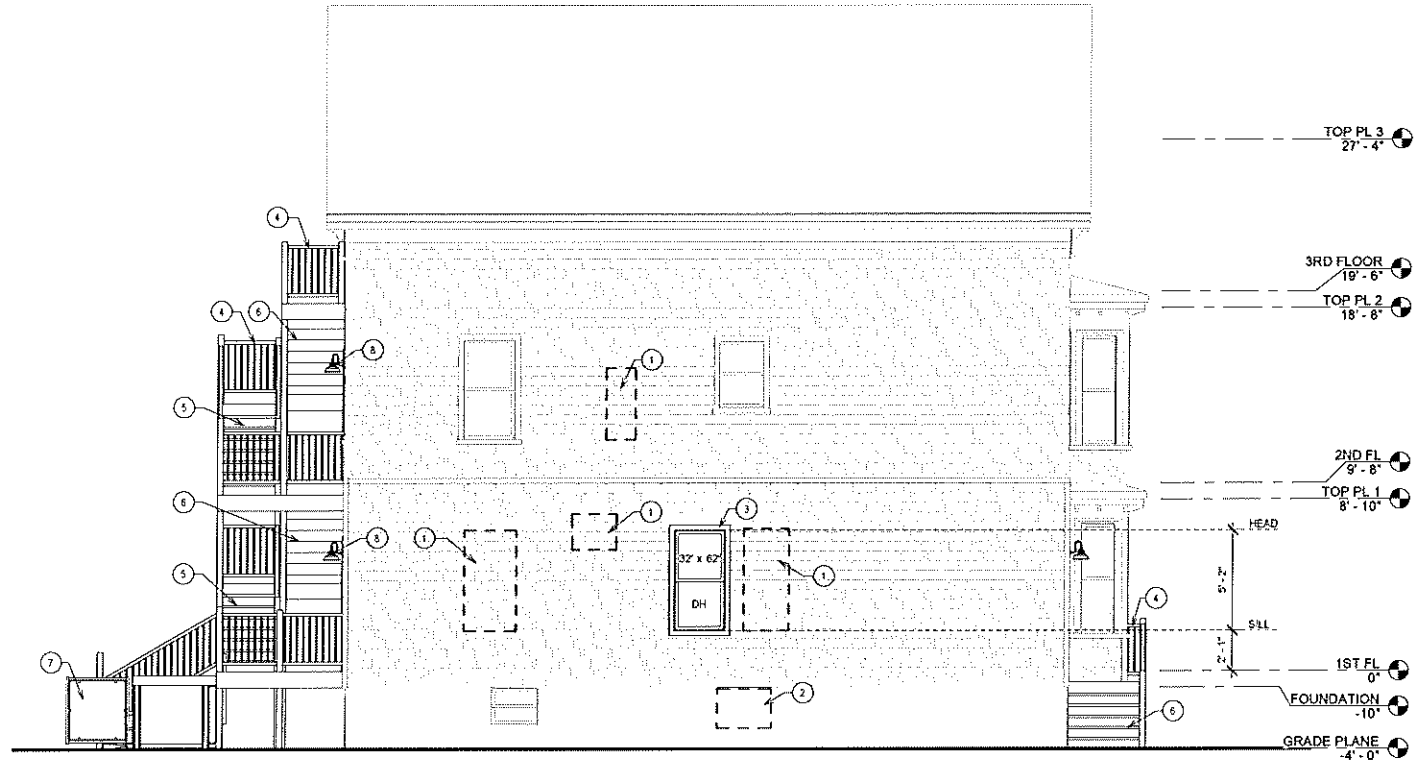
A5.1

1

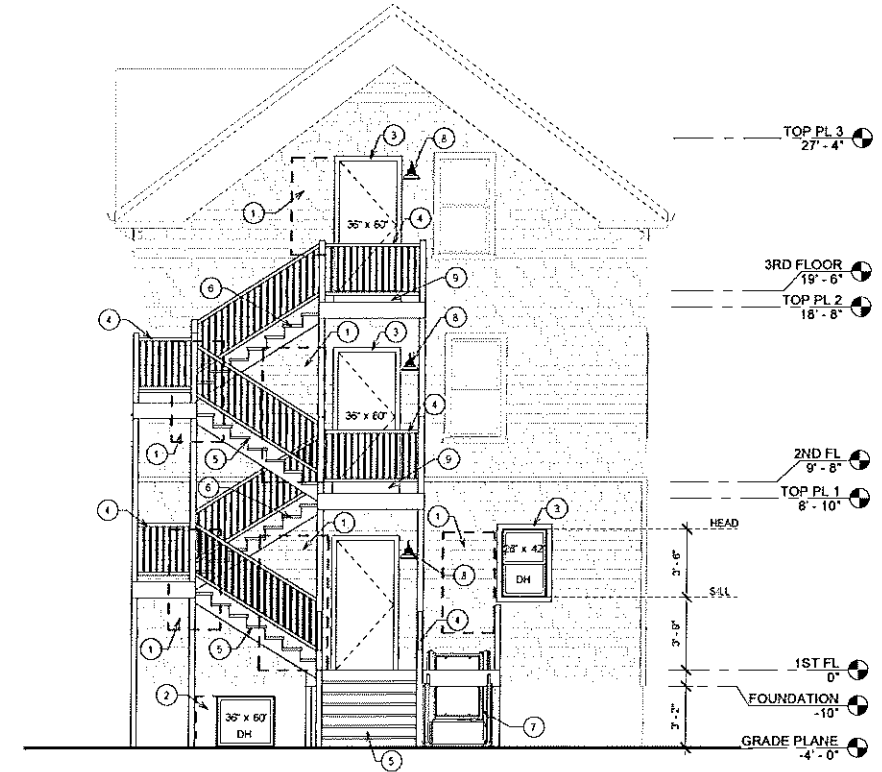
2

3

4



A4 Elevation 4 - a
1/4" = 1'-0"



A4 Elevation 2 - a
1/4" = 1'-0"

A

B

C

D

KEYED NOTES

| LIGHTING LEGEND | |
|-----------------------------|---|
| SWITCH | ⊕ |
| 3 WAY SWITCH | ⊕ |
| SWITCH / DIMMER | ⊕ |
| 3 WAY SWITCH / DIMMER | ⊕ |
| CAN LIGHT | ⊙ |
| PENDANT LIGHT | ⊙ |
| BATH FAN/LIGHT COMBO | ⊙ |
| VANITY LIGHT | ⊕ |
| UNDER CAB LIGHT | ⊕ |
| WALL MOUNTED EXTERIOR LIGHT | ⊕ |
| CEILING MT. LIGHT | ⊕ |
| UTILITY LIGHT | ⊕ |

NOTE:
 1. ALL LIGHTS TO BE LED
 2. ALL FIXTURES AS SELECTED BY OWNER

DAVID SISON ARCHITECTURE PC
 345 Thurston Ave
 East Providence RI 02814
 www.dsarch.com info@ds-arch.com 401-505-1070

| REV. # | DATE | DESCRIPTION | BY | CHK |
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184 Potters Ave
 Providence, RI 02805
 PROJECT NUMBER: 25054

REFLECTED CEILING
 PLANS BASEMENT &
 1ST FL

DAVID SISON ARCHITECT
 DATE SIGNED
 2025-09-17

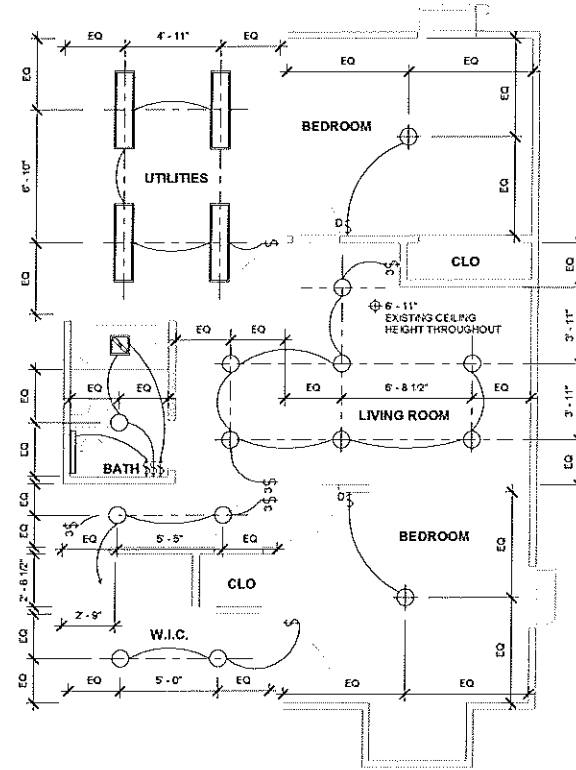
A6.0

1

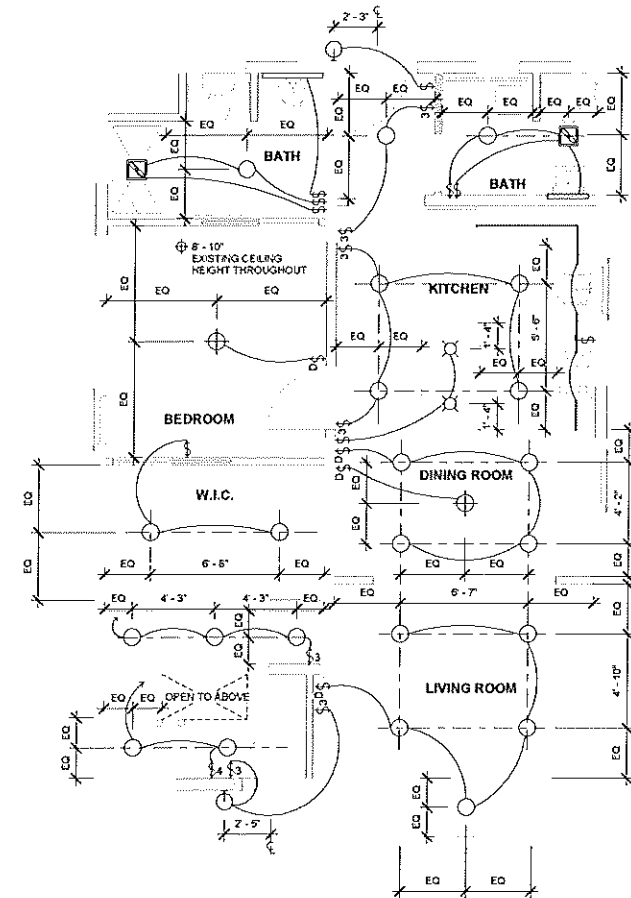
2

3

4



RCP - BASEMENT
 1/4" = 1'-0"



RCP - 1ST FL
 1/4" = 1'-0"

A

B

C

D

KEYED NOTES

| LIGHTING LEGEND | |
|-----------------------------|---|
| SWITCH | ⊞ |
| 3 WAY SWITCH | ⊞ |
| SWITCH / DIMMER | ⊞ |
| 3 WAY SWITCH / DIMMER | ⊞ |
| CAN LIGHT | ⊙ |
| PENDANT LIGHT | ⊙ |
| BATH FAN LIGHT COMBO | ⊙ |
| VANITY LIGHT | ⊙ |
| UNDER CAB LIGHT | ⊙ |
| WALL MOUNTED EXTERIOR LIGHT | ⊙ |
| CEILING MT. LIGHT | ⊙ |
| UTILITY LIGHT | ⊙ |

NOTE:
 1 ALL LIGHTS TO BE LED
 2 ALL FIXTURES AS SELECTED BY OWNER

DAVID SISSON ARCHITECTURE PC
 345 Taunton Ave
 East Providence RI 02914
 www.dsa-arch.com info@dsa-arch.com 401-585-1070

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184 Potters Ave
 PROVIDENCE, RI 02905
 PROJECT NUMBER: 25054

REFLECTED CEILING
 PLANS 2ND FL & 3RD
 FL

DAVID SISSON ARCHITECTURE PC
 ARCHITECT
 DATE SIGNED: 2025-09-17

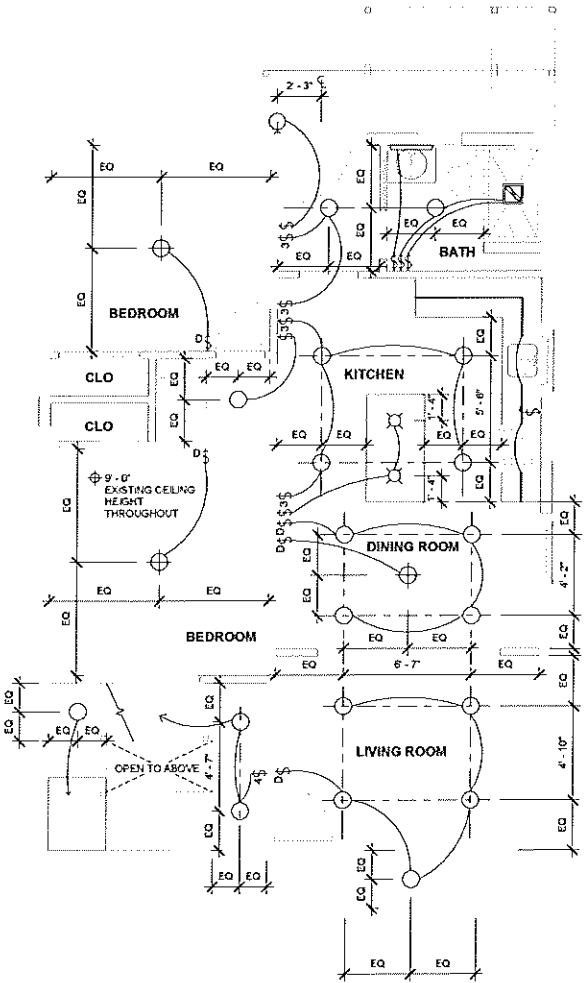
A6.1

1

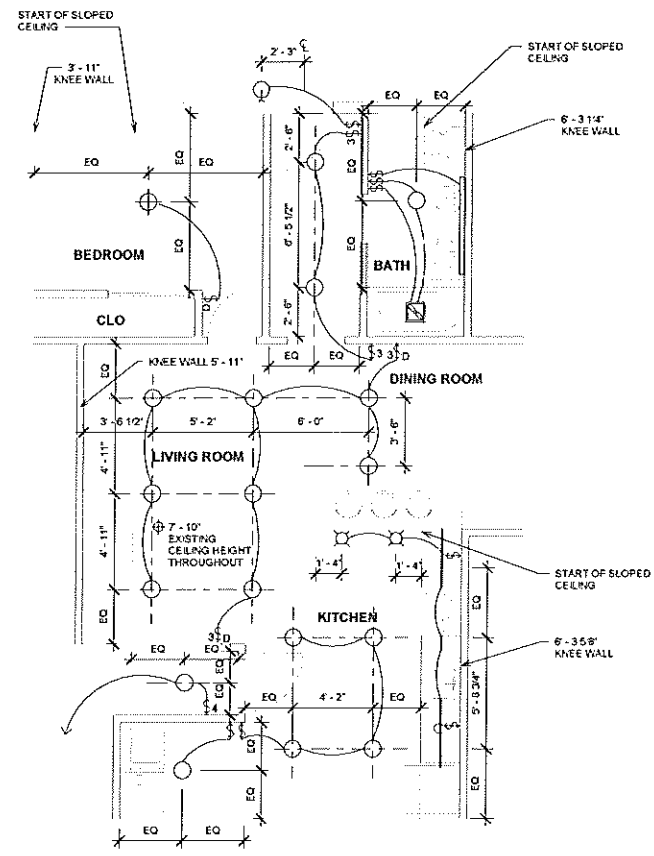
2

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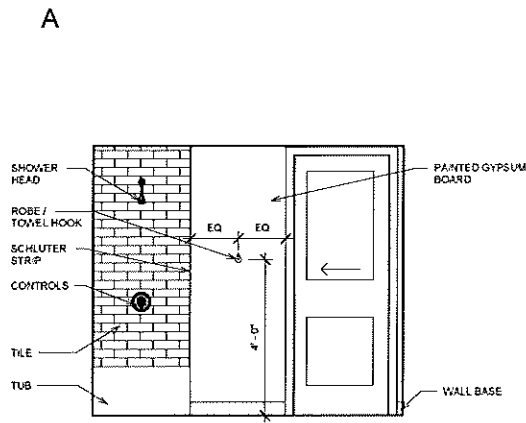


RCP - 2ND FL
 1/4" = 1'-0"

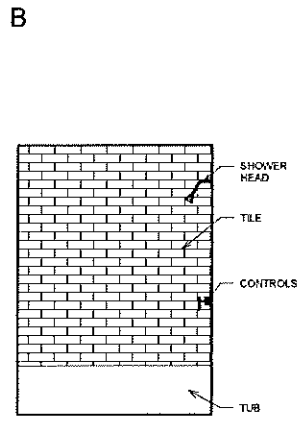


RCP - 3RD FL
 1/4" = 1'-0"

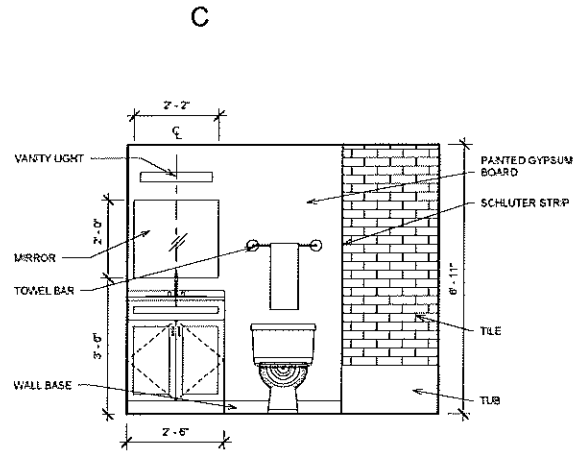
1



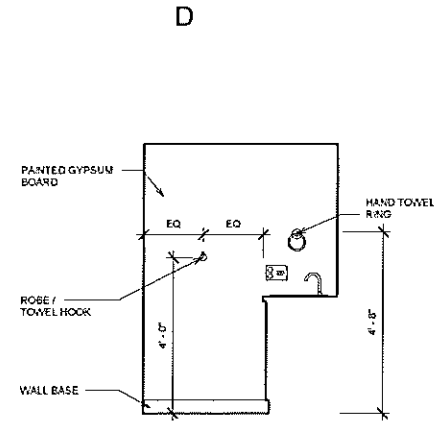
A1 BASEMENT BATH - INTERIOR ELEVATION 1
1/2" = 1'-0"



B1 BASEMENT BATH - INTERIOR ELEVATION 2
1/2" = 1'-0"

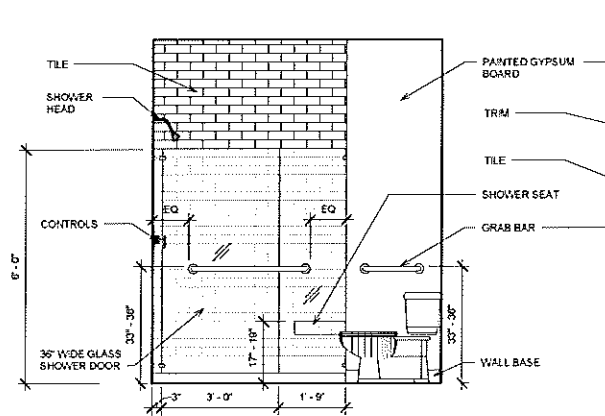


C1 BASEMENT BATH - INTERIOR ELEVATION 3
1/2" = 1'-0"

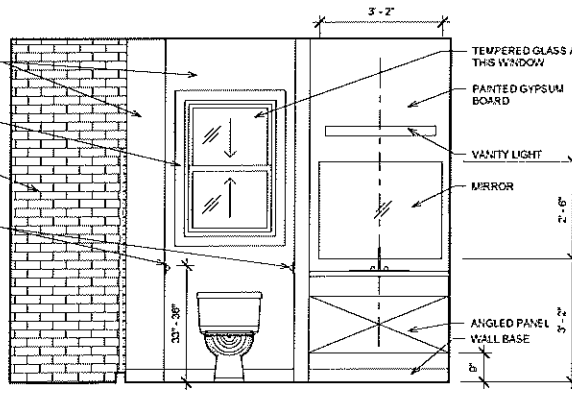


D1 BASEMENT BATH - INTERIOR ELEVATION 4
1/2" = 1'-0"

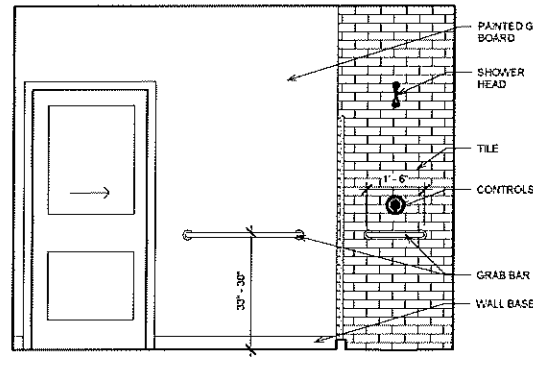
2



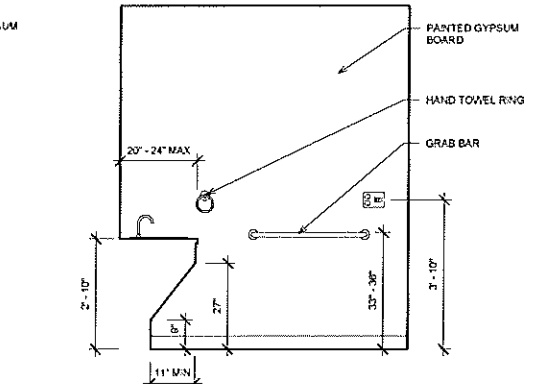
A3 1ST FL BATH - INTERIOR ELEVATION 1
1/2" = 1'-0"



B3 1ST FL BATH - INTERIOR ELEVATION 2
1/2" = 1'-0"



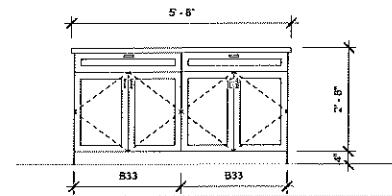
C3 1ST FL BATH - INTERIOR ELEVATION 3
1/2" = 1'-0"



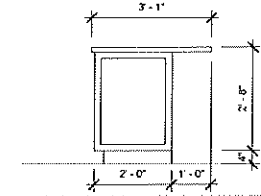
D3 1ST FL BATH - INTERIOR ELEVATION 4
1/2" = 1'-0"

3

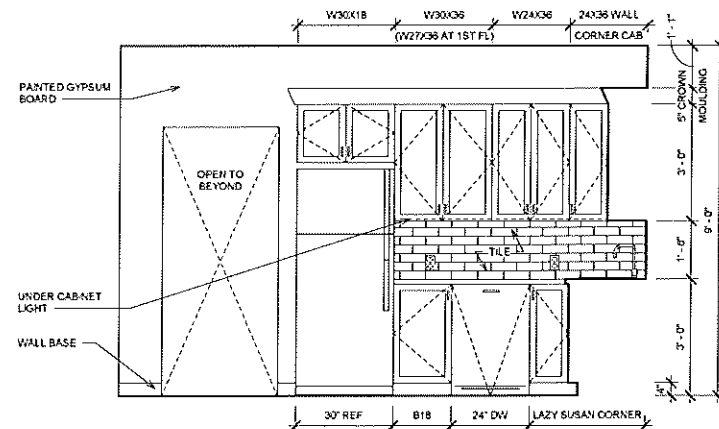
4



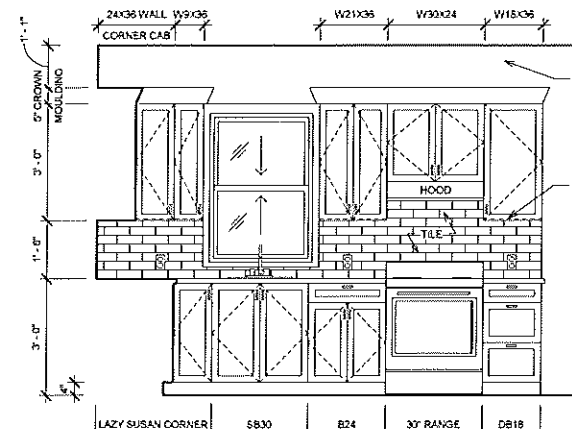
A4 1ST & 2ND FL KITCHEN - INTERIOR ELEVATION 1
1/2" = 1'-0"



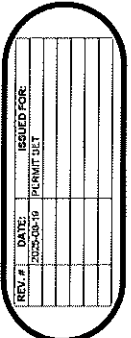
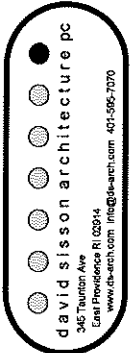
B4 1ST & 2ND FL KITCHEN - INTERIOR ELEVATION 2
1/2" = 1'-0"



C4 1ST & 2ND FL KITCHEN - INTERIOR ELEVATION 3
1/2" = 1'-0"



D4 1ST & 2ND FL KITCHEN - INTERIOR ELEVATION 4
1/2" = 1'-0"



184 Potters Ave
Providence, RI 02905
PROJECT NUMBER: 25054

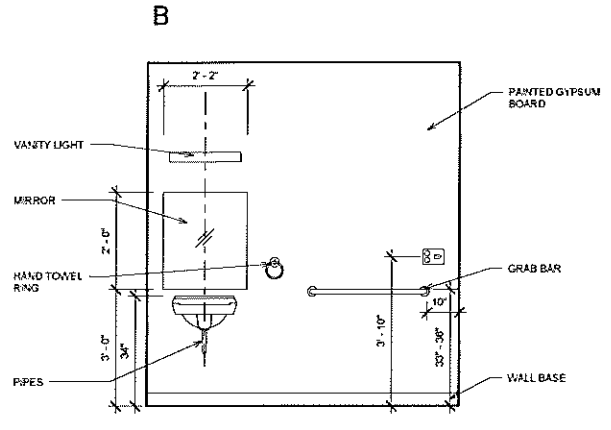
INTERIOR ELEVATIONS



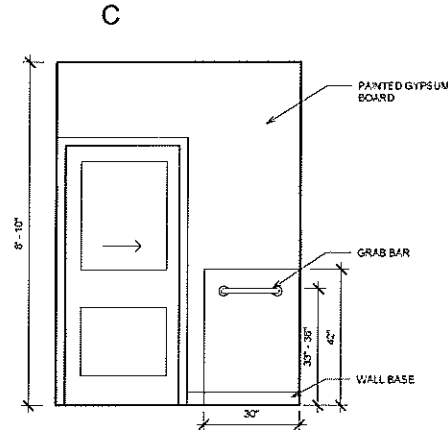
DATE SIGNED: 2025-09-17
A7.0

1

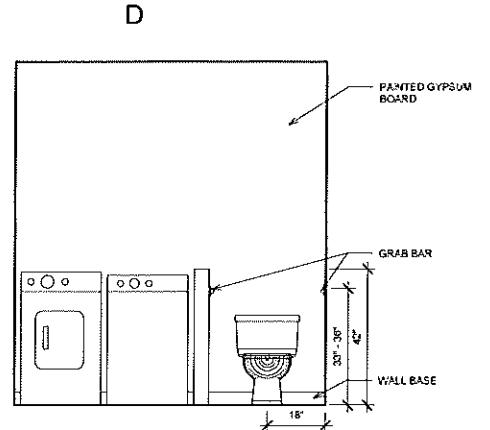
A



B) 1ST FL 1/2 BATH - INTERIOR ELEVATION 1
1/2" = 1'-0"

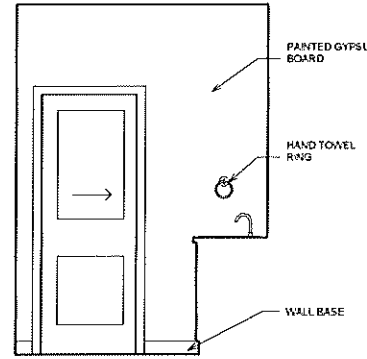


C) 1ST FL 1/2 BATH - INTERIOR ELEVATION 2
1/2" = 1'-0"

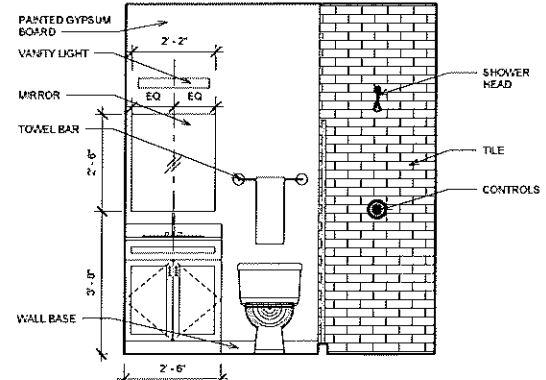


D) 1ST FL 1/2 BATH - INTERIOR ELEVATION 3
1/2" = 1'-0"

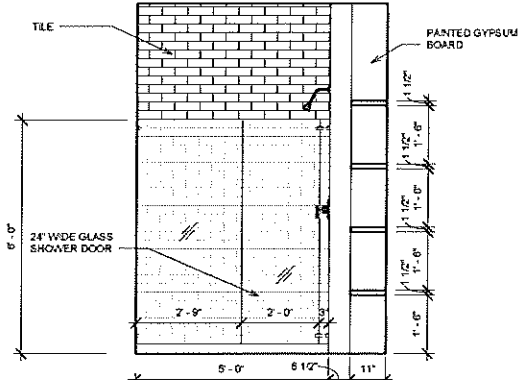
2



B2) 2ND FL BATH - INTERIOR ELEVATION 1
1/2" = 1'-0"

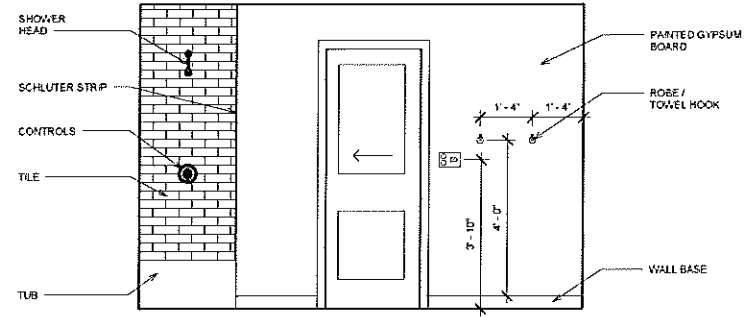


C2) 2ND FL BATH - INTERIOR ELEVATION 2
1/2" = 1'-0"

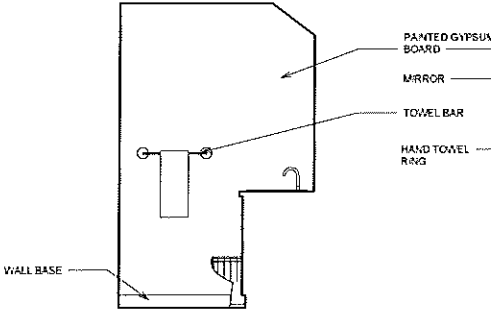


D2) 2ND FL BATH - INTERIOR ELEVATION 3
1/2" = 1'-0"

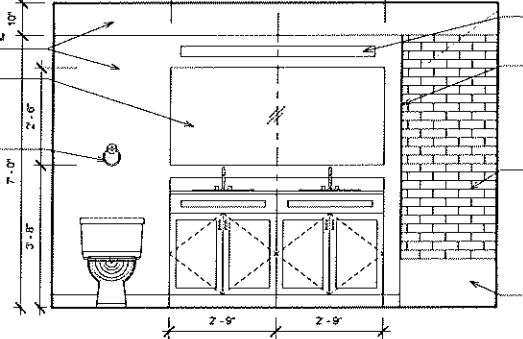
3



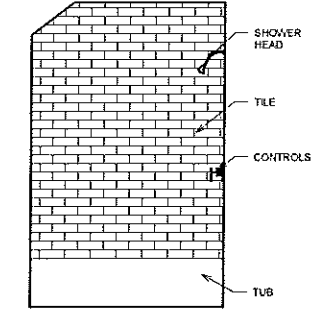
A3) ADU BATH - INTERIOR ELEVATION 1
1/2" = 1'-0"



B3) ADU BATH - INTERIOR ELEVATION 2
1/2" = 1'-0"

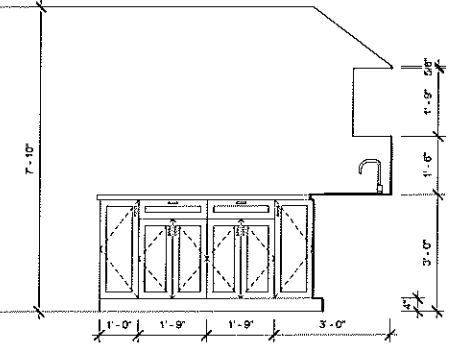


C3) ADU BATH - INTERIOR ELEVATION 3
1/2" = 1'-0"

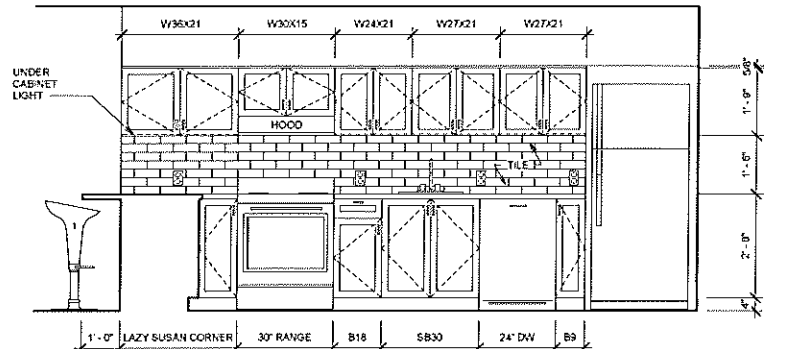


D3) ADU BATH - INTERIOR ELEVATION 4
1/2" = 1'-0"

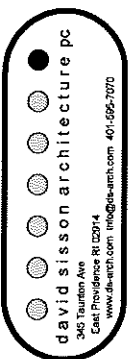
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B4) ADU KITCHEN - INTERIOR ELEVATION 1
1/2" = 1'-0"



D4) ADU KITCHEN - INTERIOR ELEVATION 2
1/2" = 1'-0"



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184 Potters Ave
Providence, RI 02805
PROJECT NUMBER: 25054

INTERIOR ELEVATIONS



DATE SIGNED:
2025-09-17

A7.1

1

2

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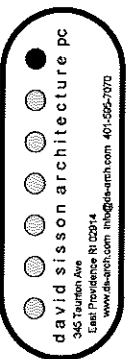
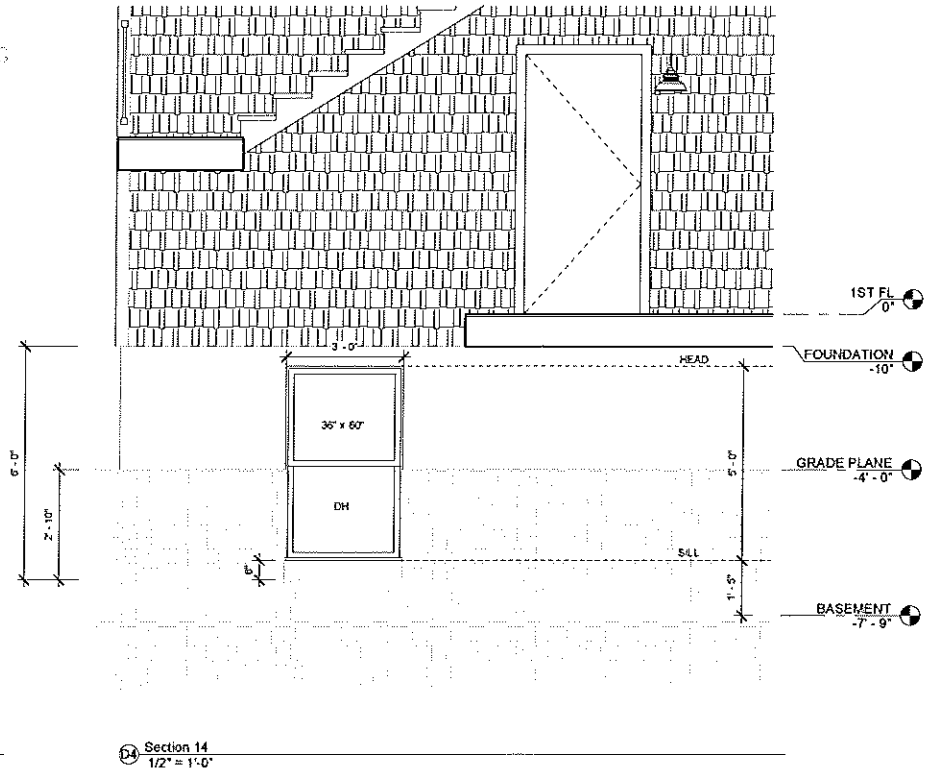
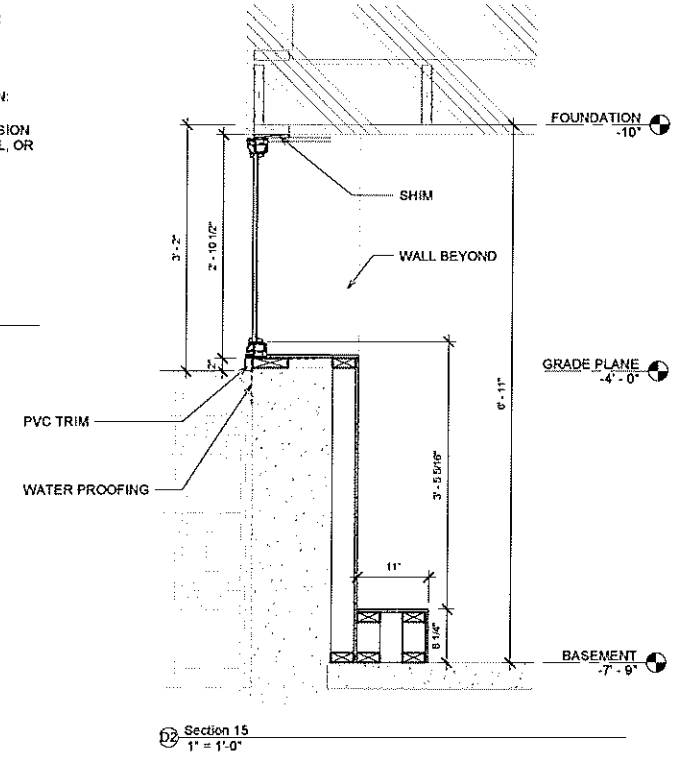
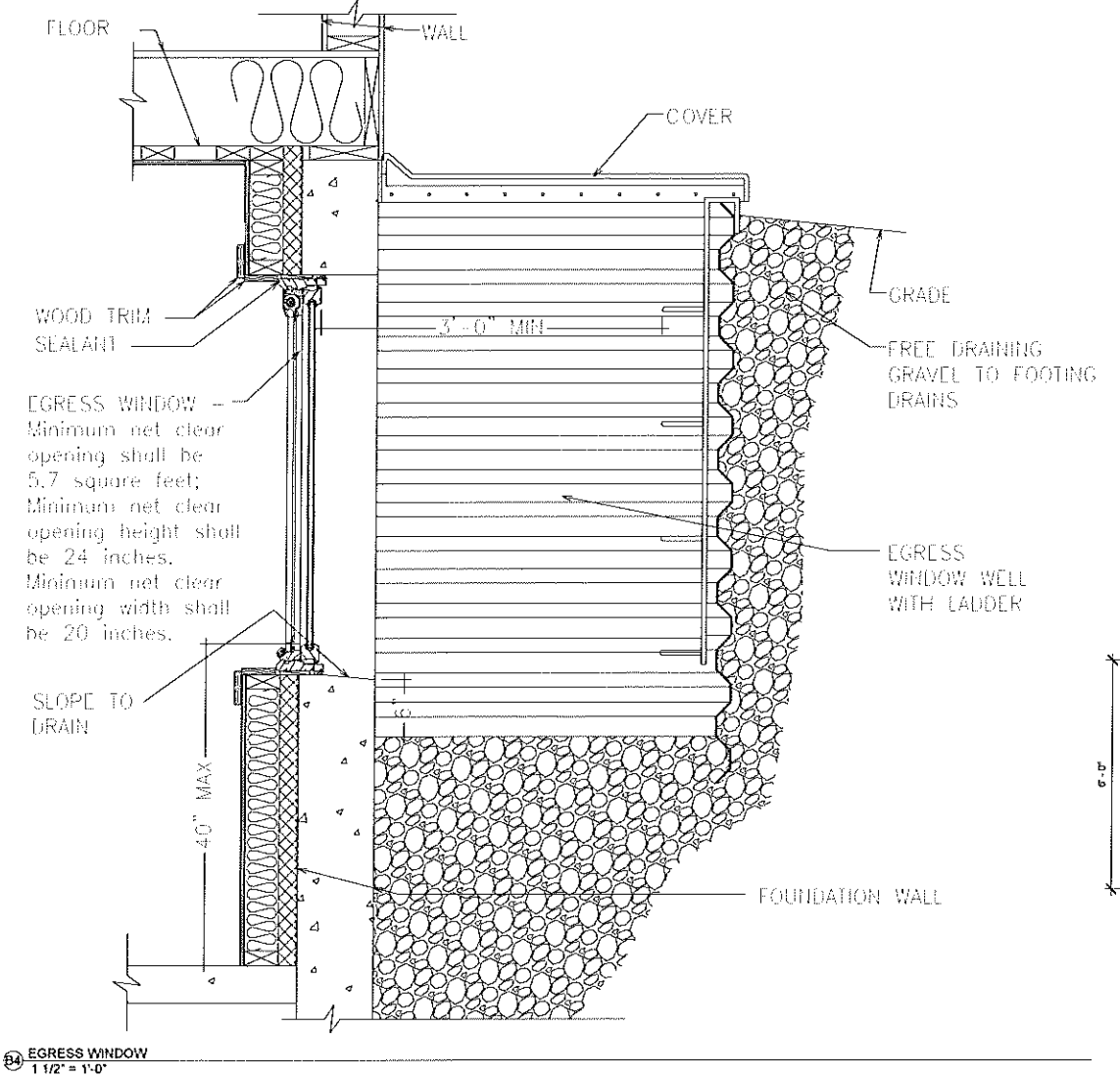
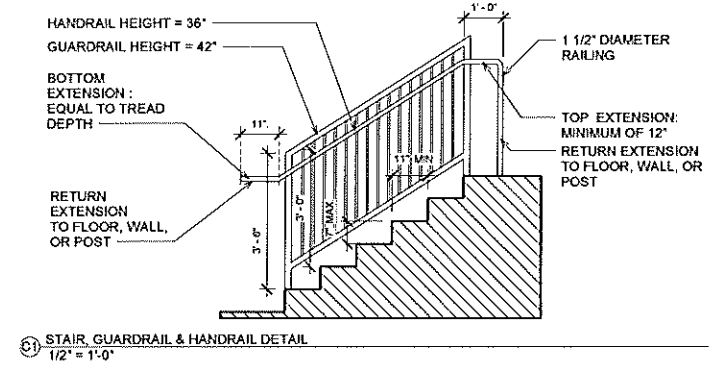
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184 Potters Ave
 Providence, RI 02865
 PROJECT NUMBER 25054

DETAILS



DATE SIGNED
 2023-09-17

A8.1