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By Athompson at 2:05 pm, Apr 03, 2020

**CITY OF PROVIDENCE
ZONING BOARD OF REVIEW**

APPLICATION FOR VARIANCE OR SPECIAL USE PERMIT

Check Each Type Zoning Relief Sought:

Variance – Use *
 Variance – Dimensional*
 Special Use Permit **

* Attach Appendix A to apply for a Use or Dimensional Variances

**Attach Appendix B to apply for a Special Use Permit

Applicant: Daniel Suero and Eugenio Ovalle

Address 90 Dixon Street, Providence, RI

Zip Code 02907

E-mail dsdannyka@gmail.com

Phone N/A

Home/Office

(401) 559-1397

Mobile (Cell)

Owner: Kaimanes Home Improvement LLC ;Dania Cruz

Address P.O. Box 2761, Providence, RI

Zip Code 02907

E-mail dsdannyka@gamil.com

Phone N/A

Home/Office

(401) 559-1397

Mobile (Cell)

Lessee: _____

Address N/A

Zip Code N/A

E-mail N/A

Phone: N/A

Home/Office

N/A

Mobile (Cell)

Does the proposal require review by any of the following (check each):

- Downtown Design Review Committee
- I-195 Redevelopment District Commission
- Capital Center Commission
- Historic District Commission

1. Location of Property: 187 Bucklin Street, Providence, Rhode Island
Street Address

2. Zoning District(s): R3
Special purpose or overlay district(s): N/A

3a. Date owner purchased the Property: (Lot 184: 9-24-2018)

3b. Month/year of lessee's occupancy: N/A

3. Dimensions of each lot:

Lot # <u>470</u>	Frontage <u>36'+/-</u>	depth <u>73'6"+/-</u>	Total area <u>2645</u>	sq. ft.
Lot # <u>486</u>	Frontage <u>40'+/-</u>	depth <u>56'6"+/-</u>	Total area <u>2064</u>	sq. ft.
Lot # <u>487</u>	Frontage <u>N/A</u>	depth <u>N/A</u>	Total area <u>2128</u>	sq. ft.

4. Size of each structure located on the Property:

Principal Structure: **Total gross square footage** N/A
Footprint N/A **Height** N/A **Floors** N/A

Accessory Structure: **Total gross square footage** N/A
Footprint N/A **Height** N/A **Floors** N/A

5. Size of proposed structure(s): **Total gross square footage:** 1196 sq. ft.
Footprint 26' x 46' **Height** 32'+/- **Floors** 2

6a. Existing Lot coverage: *(include all buildings, decks, etc.)* 0 sq. ft.

6b. Proposed Lot coverage: *(include new construction)* 0

7a. Present Use of Property (each lot/structure):
Vacant

7b. Legal Use of Property (each lot/structure) as recorded in Dept. of Inspection & Standards:
Vacant Land

8. Proposed Use of Property (each lot/structure):
Two Family on Lots 470 and 486 while maintaining Lot 487 as separate lot containing 2128 sq. feet.

9. Number of Current Parking Spaces: 0 (zero)

10. Describe the proposed construction or alterations (each lot/structure):
no construction proposed for Lot 487- 2 family to be constructed on 470&486

11. Are there outstanding violations concerning the Property under any of the following:

- Zoning Ordinance
- RI State Building Code
- Providence Housing Code

12. List all Sections of the Zoning Ordinance from which relief is sought and description of each section:

<u>2003.E</u>	<u>Merger of substandard lots of record - Seeking a lot area variance of 1072 sq. for Lot 487 to permit this lot to remain a separate lot.</u>
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APPENDIX A

APPLICATION FOR VARIANCE(S)

Rhode Island General Laws § 45-24-41(c) requires that the Applicant for a variance demonstrate:

- (1) That the hardship from which the applicant seeks relief is due to the unique characteristics of the subject land or structure and not to the general characteristics of the surrounding area; and is not due to a physical or economic disability of the applicant, excepting those physical disabilities addressed in § 45-24-30(16);
- (2) That the hardship is not the result of any prior action of the applicant and does not result primarily from the desire of the applicant to realize greater financial gain;
- (3) That the granting of the requested variance will not alter the general character of the surrounding area or impair the intent or purpose of the zoning ordinance or the comprehensive plan upon which the ordinance is based;
- (4) That the relief to be granted is the least relief necessary; and
- (5) (a) For a **use variance**: That the land or structure cannot yield any beneficial use if it is required to conform to the provisions of the zoning ordinance;
- (b) For a **dimensional variance**, that the hardship suffered by the owner of the subject property if the dimensional variance is not granted amounts to more than a mere inconvenience.

Please provide the following information:

1. What is the specific hardship from which the applicant seeks relief?

I can't build since lot 487 is merged with my lots (486 & 470)
by zoning ordinance.

2. Specify any and all unique characteristics of the land or structure that cause the hardship?

Lots under separate ownership at this time.

3. (a) Is the hardship caused by an economic disability? Yes _____ No _____

(b) Is the hardship caused by a physical disability? Yes _____ No _____

(c) If the response to subsection (b) is "yes," is the physical disability covered by the Americans with Disabilities Act of 1990 (ADA), 42 U.S.C. § 12101 et seq.?

Yes n/a _____ No n/a _____

4. Did the owner/applicant take any prior action with respect to the Property that resulted in the need for the variance requested? (Examples include, but are not limited to, any changes the owner/applicant made to the structure(s), lot lines, or land, or changes in use of the Property)?

Yes _____ No _____

If "yes," describe any and all such prior action(s), and state the month/year taken.

N/A

5. State any and all facts to support your position that the applicant is not seeking the variance(s) primarily in order to obtain greater financial gain.

Because no structure could be built if relief is not granted; the request is not primarily to obtain greater financial gain.

6. State any and all facts that support your position that you are seeking the least relief necessary to lessen or eliminate the hardship (for example, why there are no viable alternatives to your proposed plan).

The only way to construct a dwelling on lots 470 and 486 is to obtain the relief requested.

7. If you are seeking a USE VARIANCE, set forth all facts that demonstrate that the Property cannot have any beneficial use if you are required to use it in a manner allowed in the zoning district.

N/A

8. If you are seeking a DIMENSIONAL VARIANCE, set forth all facts that indicate that if the variance is not granted, the hardship the owner/applicant will suffer is more than a mere inconvenience.

The inability to construct any structure on the property results in a hardship amounting to more than a mere inconvenience.

13. Explain the changes proposed for the Property.

Applicant seeks to merge Lots 470 and 486 to create a lot of 4709 sq. ft. to construct a two-family dwelling. Relief required because Lot 478 merged by operation of law- seek to maintain Lot 478 as separate lot

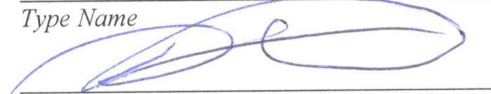
The undersigned acknowledge(s) and agree(s) that members of the Zoning Board of Review and its staff may enter upon the exterior of the Property in order to view the Property prior to any hearing on the application.

The undersigned further acknowledge(s) that the statements herein and in any attachments or appendices are true and accurate, and that providing a false statement in this application may be subject to criminal and/or civil penalties as provided by law, including prosecution under the State and Municipal False Claims Acts. Owner(s)/Applicant(s) are jointly responsible with their attorneys for any false statements.

Owner(s):


Kaimanes Home Improvement LLC (Lots 470 & 486)

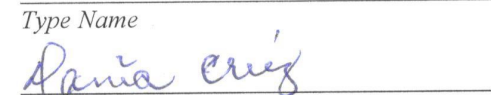
Type Name



Signature


Dinia Cruz (Lot 487)

Type Name



Signature

Applicant(s):

Daniel Suero 

Type Name



Signature

Eugenio Ovalle

Type Name



Signature

All requirements listed and described in the Instruction Sheet must be met or this application will not be considered complete.



200' RADIUS PLAN
SCALE: 1" = 50'-0"

200' RADIUS PLAN

87 & 91 BURNETT ST.
PROVIDENCE, RI.
02907

OWNERS / CLIENTS
KAIMANES HOME IMPROVEMENTS LLC.
P.O. BOX 2761
PROVIDENCE RI 02907

TEL. (401) 559-1397

DSDANNYKA@GMAIL.COM

PLAT: 43
LOT: 470 & 486
ZONING: R-3
LEGAL USE: VACANT LOTS
PROP USE: 2- FAMILY

DESIGNER
EUGENIO OVALLE

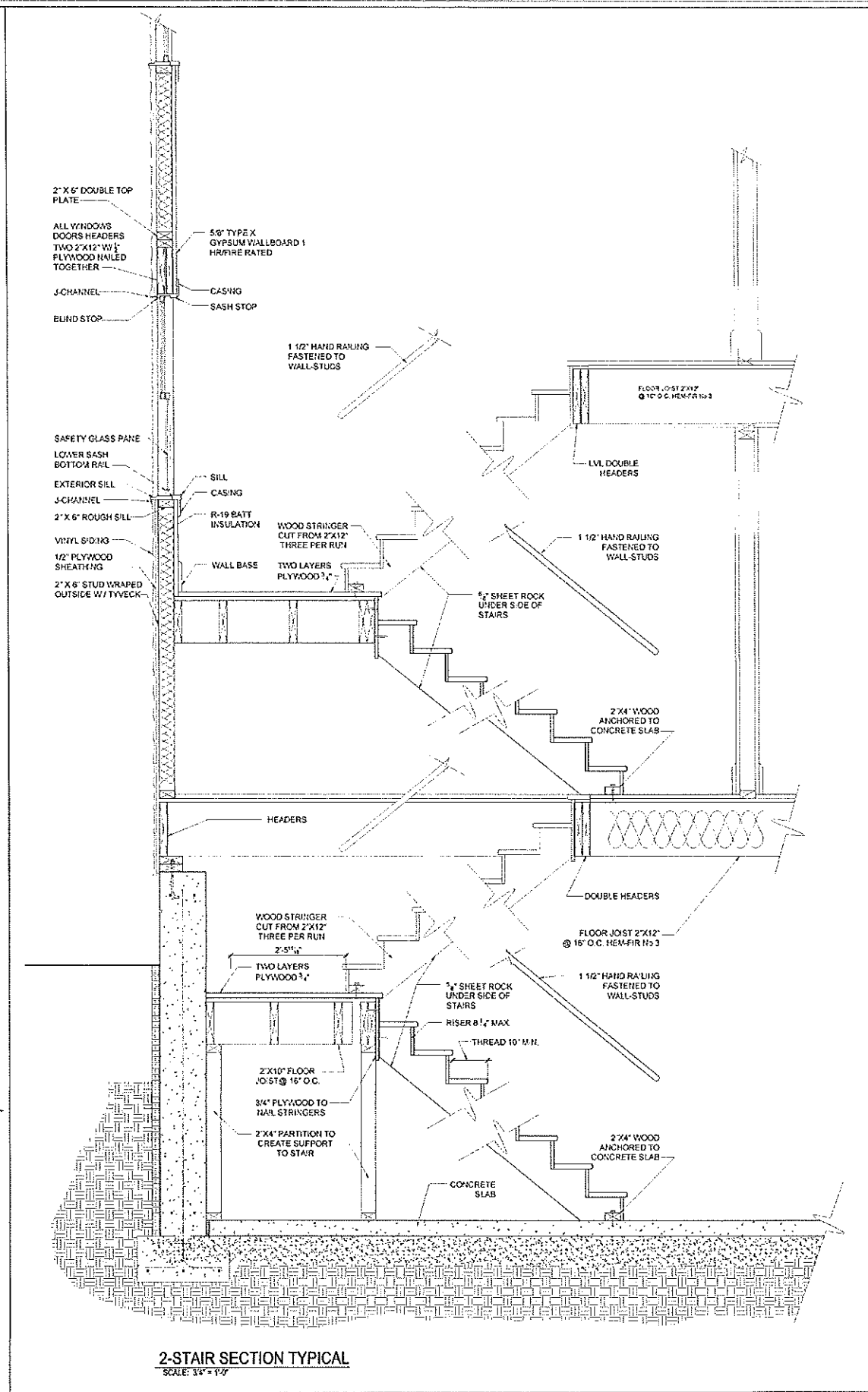
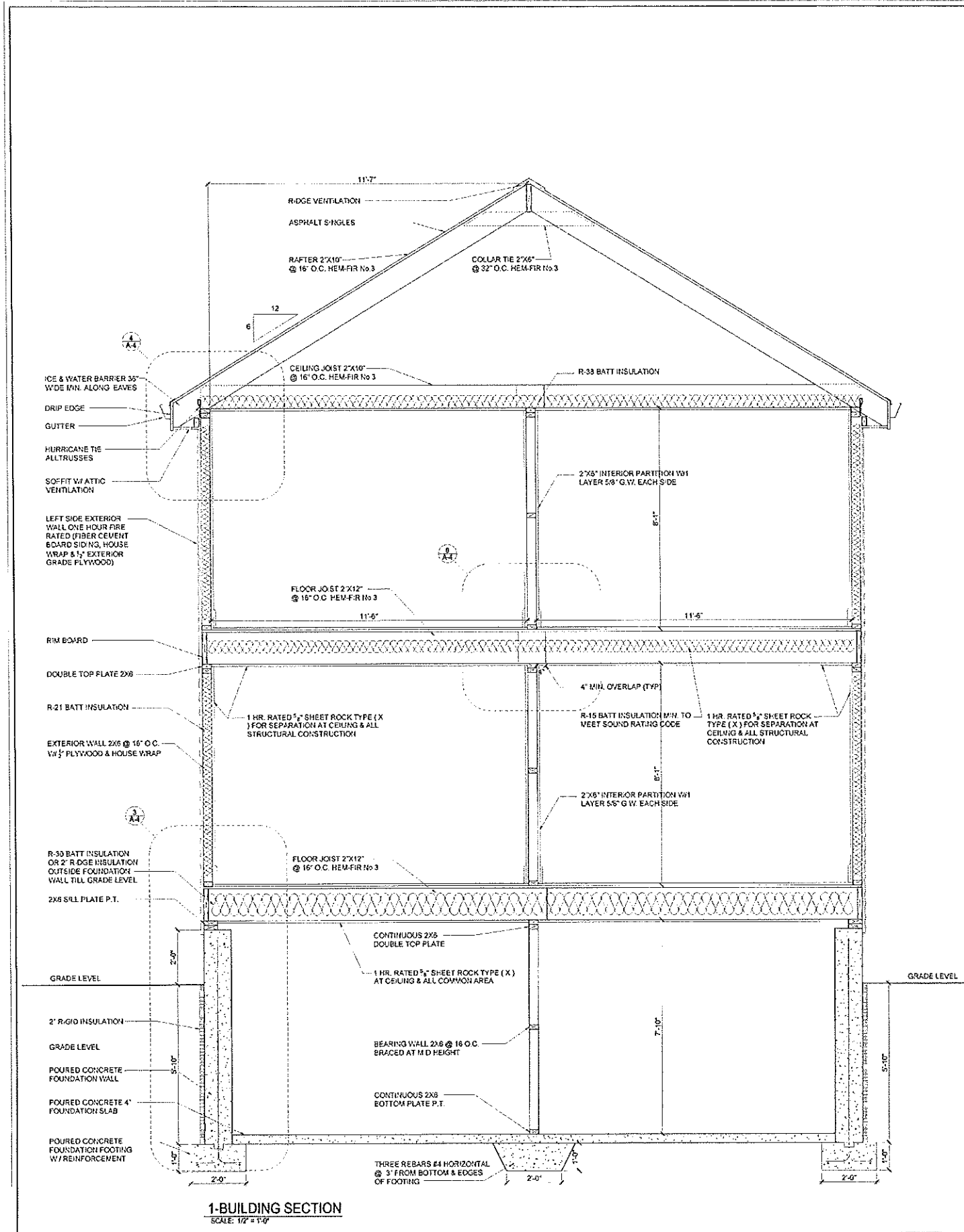
23 JOSLIN ST.
PROVIDENCE, RI 02909
TEL. 401 430-0596

GENERAL NOTE:
DO NOT MEASURE THESE DRAWINGS UNLESS OTHERWISE SPECIFIED.
USE ANNOTATED DIMENSIONS ONLY.
VERIFY ALL DIMENSIONS IN FIELD (V.I.F.).
IN CASE OF VARIANCES OR DISCREPANCIES NOTIFY ARCHITECT OR ENGINEER FOR RESOLUTION PRIOR TO COMMENCEMENT OF THE WORK.

REVISIONS:

ISSUE:

DRAWN BY: SSD	SCALE: AS NOTED
PROJECT No.: 2020-06	DATE: 02/13/2020
SHEET NAME: 200' RADIUS PLAN	
SHEET No. S-1	
Date & Time: Mar 02, 2020 - 10:43pm	



NEW CONSTRUCTION TWO FAMILY DWELLING

87 & 91 BURNETT ST.
PROVIDENCE, RI.
02907

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KAIMANES HOME IMPROVEMENTS LLC.
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LOT: 470 & 486
ZONING: R-3
LEGAL USE: VACANT LOTS
PROP USE: 2- FAMILY

DESIGNER EUGENIO OVALLE

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REVISIONS:

NO.	DESCRIPTION

ISSUE:

DRAWN BY: SSD SCALE: AS NOTED
PROJECT No: 2020-09 DATE: 02/13/2020

SHEET NAME:
BUILDING & STAIR SECTIONS

SHEET No:
A-3

NEW CONSTRUCTION TWO FAMILY DWELLING

87 & 91 BURNETT ST.
PROVIDENCE, RI.
02907

OWNERS / CLIENTS
KAIMANES HOME IMPROVEMENTS LLC.
P.O. BOX 2761
PROVIDENCE RI 02907
TEL. (401) 559-1397
DSDANNYKA@GMAIL.COM

PLAT: 43
LOT: 470 & 486
ZONING: R-3
LEGAL USE: VACANT LOTS
PROP USE: 2-FAMILY

**DESIGNER
EUGENIO OVALLE**

23 JOSLIN ST.
PROVIDENCE, RI 02909
TEL. 401 430-0596

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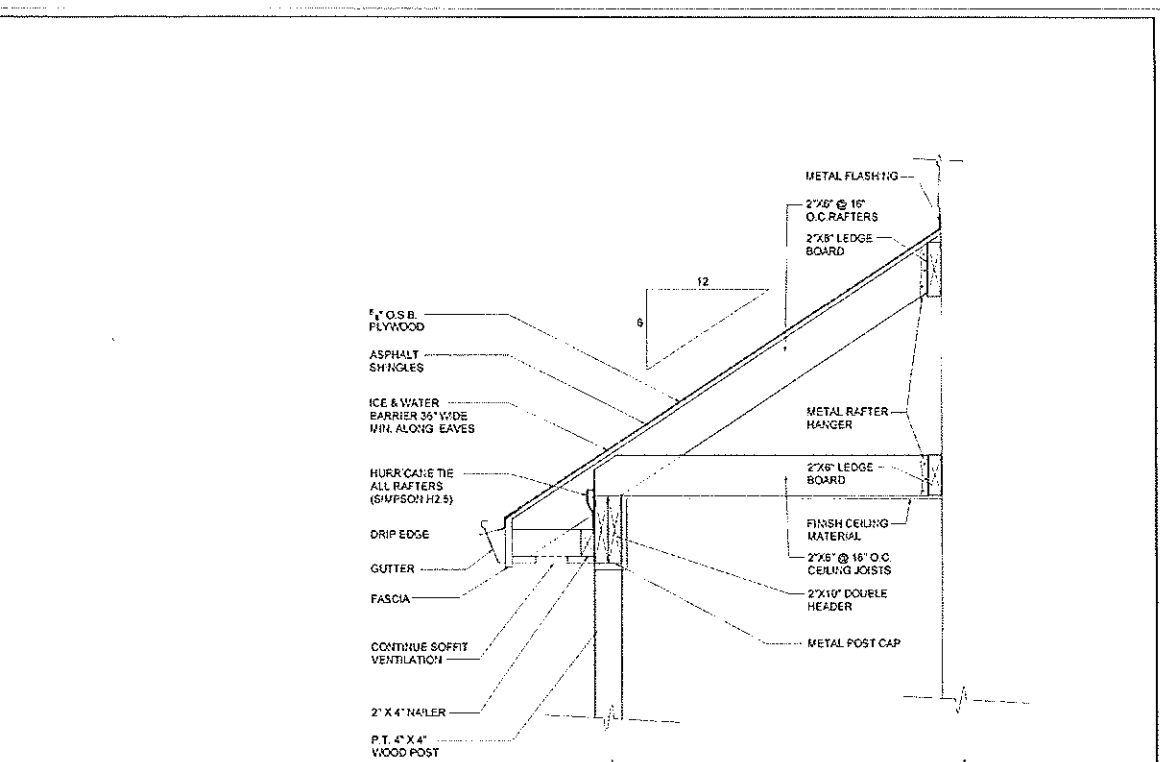
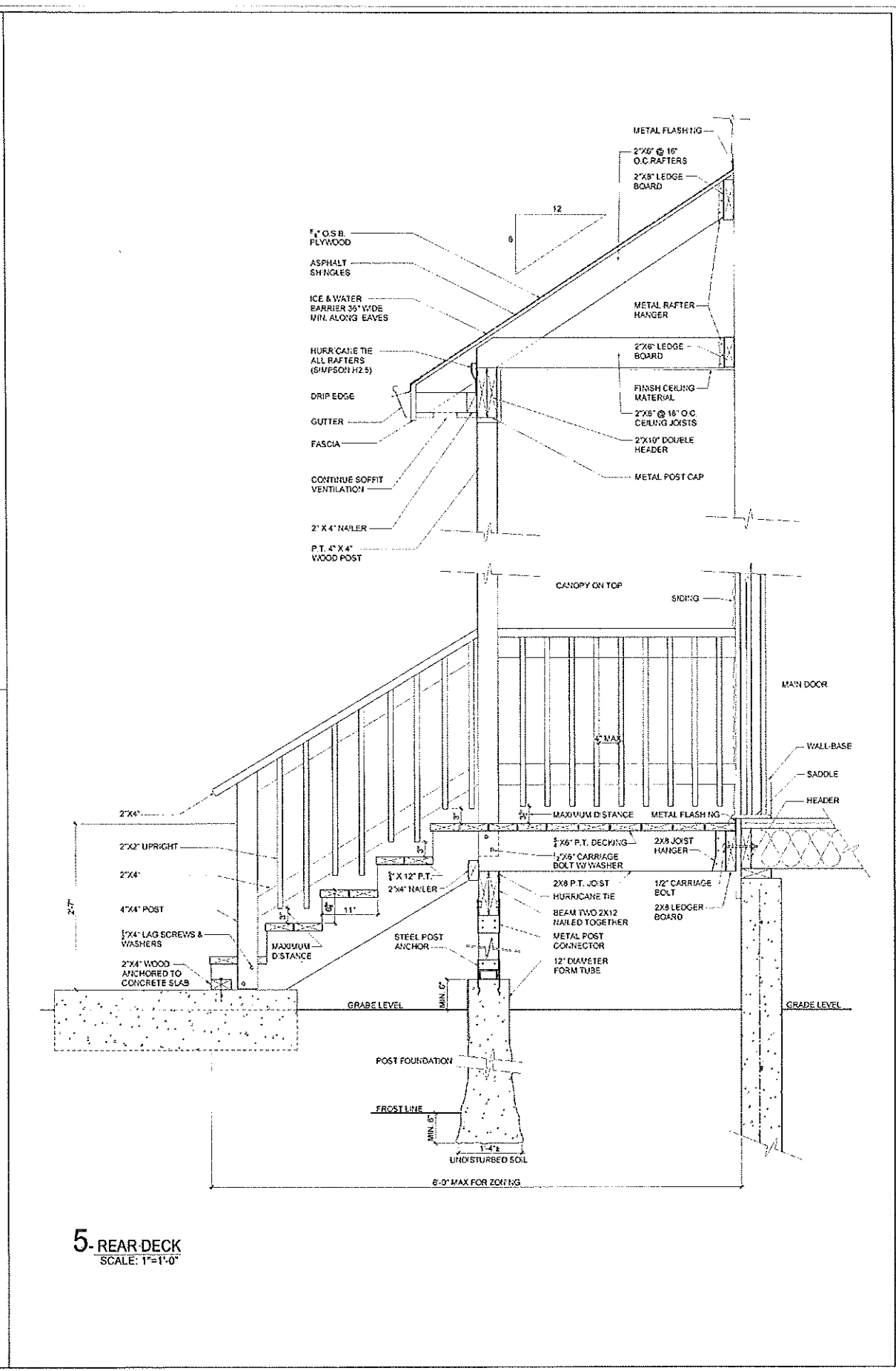
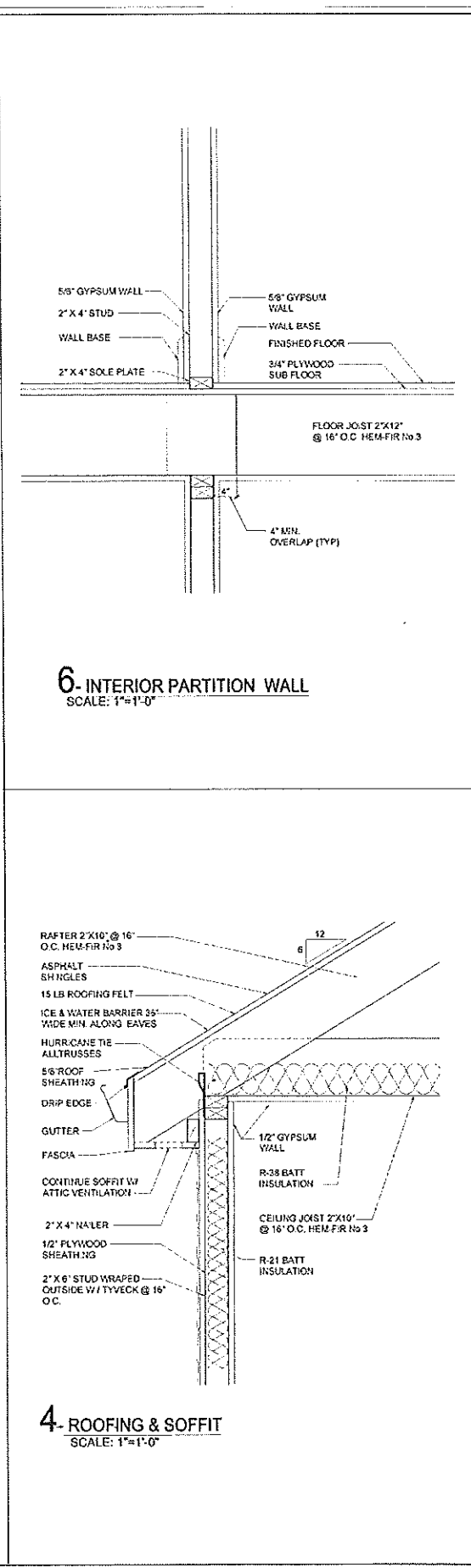
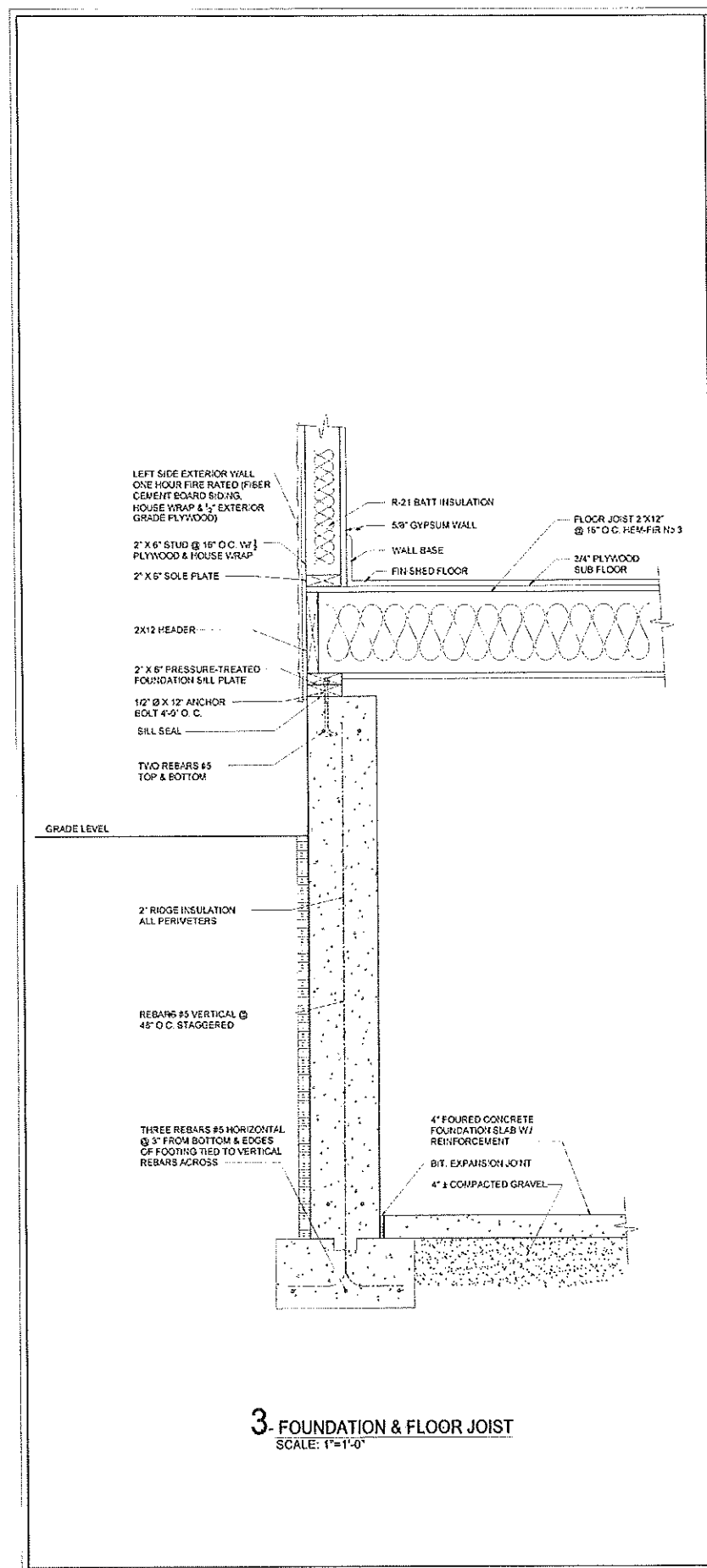
REVISIONS:

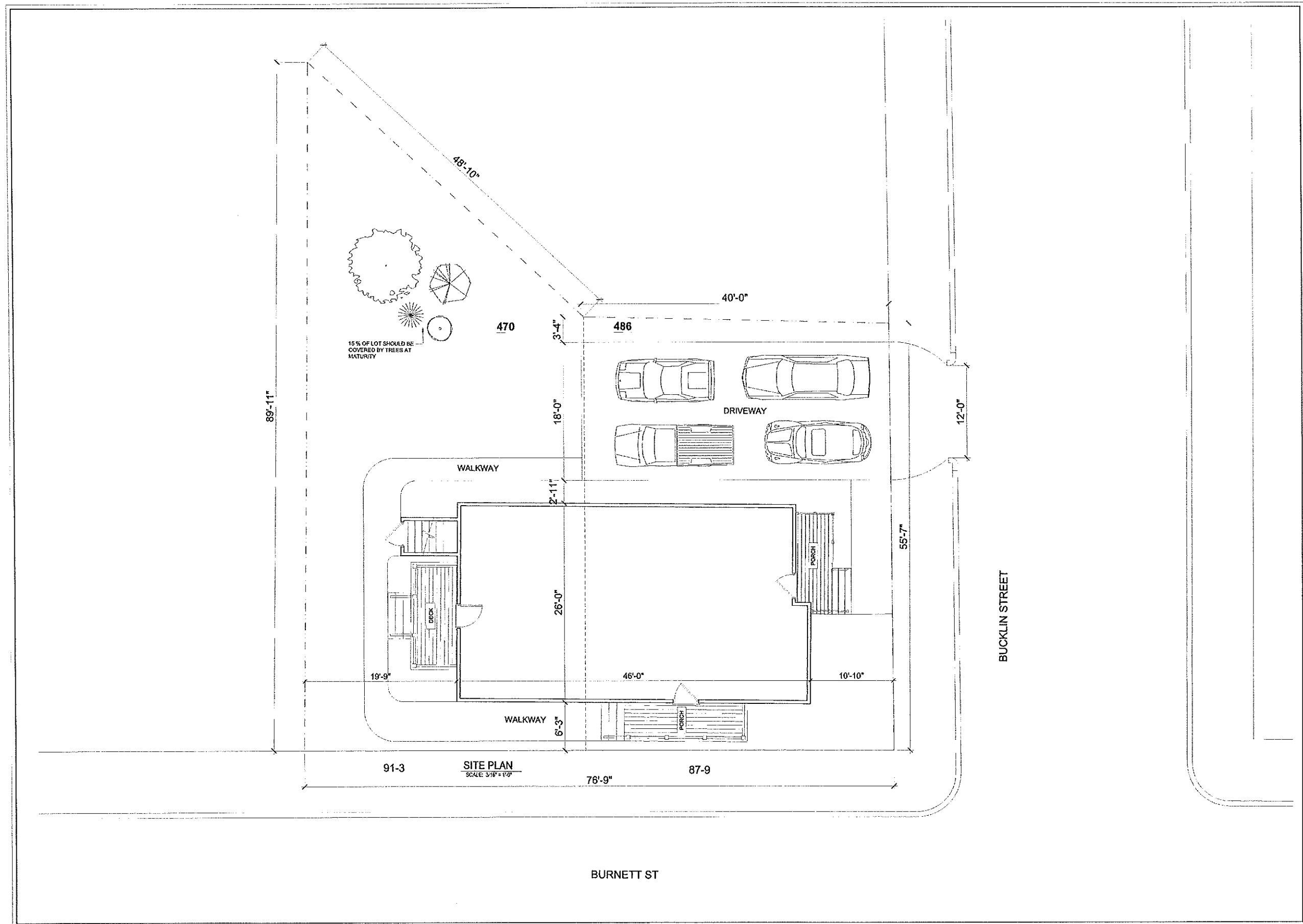
NO.	DESCRIPTION

DRAWN BY: SSO SCALE: AS SHOWN
PROJECT No: 2020-06 DATE: 02/13/2020

SHEET NAME:
DETAILS

SHEET No.
A-4





**NEW
CONSTRUCTION
TWO FAMILY
DWELLING**

87 & 91 BURNETT ST.
PROVIDENCE, RI.
02907

OWNERS / CLIENTS
KAIMANES HOME
IMPROVEMENTS LLC.
P.O. BOX 2761
PROVIDENCE RI 02907

TEL. (401) 559-1397

DSDANNYKA@GMAIL.COM

PLAT: 43
LOT: 470 & 486
ZONING: R-3
LEGAL USE: VACANT LOTS
PROP USE: 2- FAMILY

DESIGNER
EUGENIO OVALLE
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PROVIDENCE, RI 02909
TEL. 401 430-0586

GENERAL NOTE:
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USE ASSOCIATED DIMENSIONS ONLY.
VERIFY ALL DIMENSIONS IN FIELD (W.F.I.)
IN CASE OF VARIANCES OR DISCREPANCIES
NOTIFY ARCHITECT OR ENGINEER FOR RESOLUTION
PRIOR TO COMMENCEMENT OF THE WORK.

REVISIONS:

ISSUE:

DRAWN BY: SSD SCALE: AS NOTED
PROJECT No.: 2303-06 DATE: 02/13/2020

SHEET NAME
PLOT PLAN

SHEET No.
A-8