RECEIVED

By Athompson at 2:05 pm, Apr 03, 2020

CITY OF PROVIDENCE ZONING BOARD OF REVIEW

APPLICATION FOR VARIANCE OR SPECIAL USE PERMIT

Check Each Type Zoning Reli	ef Sought:	<u>X</u>	Variance – Use * Variance – Dimensional* Special Use Permit **
* Attach Appendix A to apply f **Attach Appendix B to apply f			
Applicant: Daniel Suero and Eugenie		Address 90 C Zip Code 029	Dixon Street, Providence, RI
E-mail dsdannyka@gmail.c	om	(401) 559-1397	
Home/Office		Mobile (Cell)	
Owner: Kaimanes Home Improvement L	LC ;Dania Cruz	Address P.O Zip Code 029	. Box 2761, Providence, RI
E-mail dsdannyka@gamail.	com	Zip Code <u></u>	<u></u>
Phone N/A		(401) 559-1397	
Home/Office		Mobile (Cell)	
Lessee:		Address N/A	
T '1 N/A		Zip Code N/A	<u> </u>
E-mail N/A Phone: N/A		N/A	
Home/Office		Mobile (Cell)	
Does the proposal require revi Downtown Desi I-195 Redevelop Capital Center O Historic District	ign Review Cor pment District C Commission	nmittee	nch):
1. Location of Property:		, Providence, Rhode Island	
	Street Address		
2. Zoning District(s):	R3		
Special purpose or overlay	district(s):	N/A	
3a. Date owner purchased the	Property:	(Lot 184: 9-24-2018)	
3b. Month/year of lessee's occ	upancy:	N/A	

3.	Dimension	is of eacl	h lot:									
	Lot #	470	Frontage _	36'+/-	depth	73'6"+/-	_ Total	area	2645		sq.	ft.
	Lot #	486	Frontage _	40'+/-	depth	56'6"+/-	Total	area	2064		sq.	ft.
	Lot # _	487	Frontage _	N/A	depth	N/A	_ Total	area	2128		sq.	ft.
4.	Size of eac	ch struct	ure located	on the Pro	perty:							
	Princi	pal Stru	cture:	Total	gross	square foo	tage	N/A				
	j	Footpr				ght <u>N/A</u>		Floo	ors _	N/A		
	Access	sory Stru	icture: To	tal gross so	uare i	footage	N/A					
		Footpr			_	ght N/A	_	Floo	ors _	N/A		
5.	Size of pro	posed st	ructure(s):	Total	gross	square foo	tage:	1196	sq. ft.			
	•		int <u>26' x 46'</u>			ght <u>32'+/-</u>		Floo	ors _	2		
6a.	Existing L	ot cover	age: (includ	de all buildii	ngs, de	cks, etc.) _	sq. ft.					
6b.	Proposed 1	Lot cove	rage: (inclu	ıde new con.	structi	on) <u>0</u>						
7a.	Present Us	se of Pro	perty (each	ı lot/structu	ıre):							
7b.	Legal Use Vacant		erty (each l	ot/structure	e) as r	ecorded in	Dept. o	of Insp	pecti	on &	Stand	dards:
8.	-		roperty (ea			e lot containing	2128 sq. fe	et.				
9.	Number o	f Currer	nt Parking S	Spaces:	0 (zer	0)						
10	Doscribo t	ha nrone	osed constru	uction or al	toroti	ons (aach l	ot/strue	etura)				
10.			or Lot 487- 2 fami			`	ou sti ut		•			
			 									
11.	Are there	Zoning RI State	ling violation Ordinance Building Cence Housin	Code	ning th	e Property	y under	any o	of the	e follo	owing	:
12.		ections o	f the Zonin	ng Ordinan	ce fro	m which 1	elief is	soug	ht a	nd de	escript	tion of each
	section: 2003.E		Merger of substar	ndard lots of record	- Seeking	a lot area variance	of 1072 sq.	for Lot 48	7 to per	mit this Ic	ot to remai	n a separate lot.
		_										
		_										

Applicant seeks to merge Lots 470 and 486 to create a lot of 4709 sq. ft. to construct a two-family dwelling. Relief required because Lot 478 merged by operation of law- seek to maintain Lot 478 as separate lot

The undersigned acknowledge(s) and agree(s) that members of the Zoning Board of Review and its staff may enter upon the exterior of the Property in order to view the Property prior to any hearing on the application.

The undersigned further acknowledge(s) that the statements herein and in any attachments or appendices are true and accurate, and that providing a false statement in this application may be subject to criminal and/or civil penalties as provided by law, including prosecution under the State and Municipal False Claims Acts. Owner(s)/Applicant(s) are jointly responsible with their attorneys for any false statements.

Owner(s):	Applicant(s): Daniel Suero		
Kaimanes Home Improvement LLC (Lots 470 & 486)			
Type Name	Type Name		
Signature	Signature		
Dinia Cruz (Lot 487)	Eugenio Ovalle		
Type Name	Type Name		
	Signature		

All requirements listed and described in the Instruction Sheet must be met or this application will not be considered complete.

APPENDIX A

APPLICATION FOR VARIANCE(S)

Rhode Island General Laws § 45-24-41(c) requires that the Applicant for a variance demonstrate:

- (1) That the hardship from which the applicant seeks relief is due to the unique characteristics of the subject land or structure and not to the general characteristics of the surrounding area; and is not due to a physical or economic disability of the applicant, excepting those physical disabilities addressed in § 45-24-30(16);
- (2) That the hardship is not the result of any prior action of the applicant and does not result primarily from the desire of the applicant to realize greater financial gain;
- (3) That the granting of the requested variance will not alter the general character of the surrounding area or impair the intent or purpose of the zoning ordinance or the comprehensive plan upon which the ordinance is based;
- (4) That the relief to be granted is the least relief necessary; and
- (5) (a) For a **use variance**: That the land or structure cannot yield any beneficial use if it is required to conform to the provisions of the zoning ordinance;
 - (b) For a **dimensional variance**, that the hardship suffered by the owner of the subject property if the dimensional variance is not granted amounts to more than a mere inconvenience.

Please provide the following information:

1.	What is the specific hardship from which the applicant I can't build since lot 487 is merge	seeks relied with	e f? my	lots	(486	& 4	170)
	by zoning ordinance.						
2.	Specify any and all unique characteristics of the land of Lots under separate ownership at thi			cause t	he hard	ship?	·
3.	(a) Is the hardship caused by an economic disability?						
	 (b) Is the hardship caused by a physical disability? (c) If the response to subsection (b) is "yes," is the phy with Disabilities Act of 1990 (ADA), 42 U.S.C. § 121 Yes No 	sical disab	oility (Ame	ricans
1.	Did the owner/applicant take any prior action with respect to the variance requested? (Examples include, owner/applicant made to the structure(s), lot lines, or law Yes No _x	but are n	ot lin	nited to	, any cl	hange	es the
	If "yes," describe any and all such prior action(s), and s	state the n	onth	/year ta	ken.		

to pr	ate any and all facts that support your position that you are seeking the least relief neces lessen or eliminate the hardship (for example, why there are no viable alternatives to poosed plan).
Th	e only way to construct a dwelling on lots 470 and 486 is to obtain the relief requested.
	you are seeking a USE VARIANCE, set forth all facts that demonstrate that the Prop
	strict.
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di:	strict.
	strict.
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N//	strict.
[f	you are seeking a DIMENSIONAL VARIANCE, set forth all facts that indicate that if riance is not granted, the hardship the owner/applicant will suffer is more than a r
If va	you are seeking a DIMENSIONAL VARIANCE, set forth all facts that indicate that if
If va	you are seeking a DIMENSIONAL VARIANCE, set forth all facts that indicate that if riance is not granted, the hardship the owner/applicant will suffer is more than a reconvenience.
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Signature

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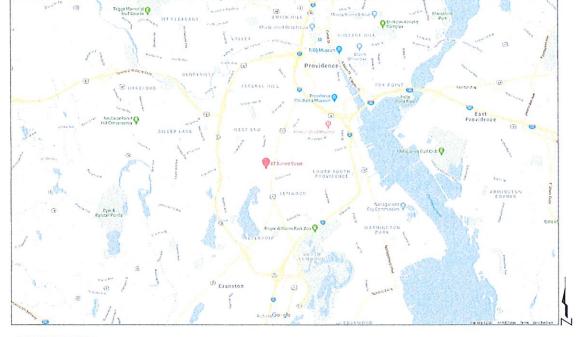
TWO FAMILY HOUSE

87 & 91 BURNETT ST PROVIDENCE, RI. 02907





RIGHT SIDE VIEW



ZONING MAP

GENERAL NOTES

IT IS UNDERSTOOD THAT ALL CONSTRUCTION WORK FOR EACH OF THE SCOPE ITEMS WILL BE INCLUDED THAT IS NECESSARY FOR THAT ITEM TO BE COMPLETE, LEGAL, CODE COMPLIANT AND FULLY OFERATIONAL. THE BUILDING WILL BE OCCUPIED DURING CONSTRUCTION.

 IN CASE OF A DISCREPANCY, ERROR OR OMISSION IN THE CONTRACT DOCUMENTS, THE MORE STRINGENT INTERPRETATION SHALL GOVERN. NOTWITHSTANDING THE ABOVE. THE TERM'S OF THE SCOPE OF WORK SUPERSEDE THE SPECIFICATION WHERE A CONFLICT OCCURS.

3. THE CONTRACTOR SHALL BE RESPONSIBLE TO FAMILIARIZE HIMSELF THOROUGHLY WITH ALL DRAWINGS, SPECIFICATIONS, FIELD CONDITIONS AND OTHER REQUIREMENTS OF THIS PROJECT AND SHALL REPORT ANY DISCREPANCES TO THE ARCHITECT. THE DRAWINGS REFLECT CONDITIONS REASONABLY INTERPRETED FROM THE EXISTING VISIBLE CONDITIONS OR FROM DRAWINGS OR INFORMATION FURNISHED BY THE OWNER BUT CANNOT BE GUARANTEED BY THE ARCHITECT.

4. ANY DELETIONS OR ADDITIONS IN THE SCOPE OF WORK MUST BE DONE BY WRITTEN AGREEMENT BETWEEN THE CONTRACTOR AND THE OWNER.

5. THE CONTRACTOR SHALL PERFORM ALL WORK ACCORDING TO THE RHOOE ISLAND BUILDING CODE AND ALL OTHER REGULATIONS OF THE GOVERNING MUNICIPALITIES AND THE BEST TRADE PRACTICES. ALL PROTECTION OF PEDESTRIAN AND OCCUPIED AREAS, SHALL BE PROVIDED AND PERFORMED PRIOR TO THE COMMENCEMENT OF ANY WORK.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ALL MEASUREMENTS AND OBTAINING OR ESTABLISHING ALL DIMENSIONS AND QUANTITIES PRIOR TO BIDDING AND AS NICESSAYT TO GROBE, FABRICATE, OR INSTALL ALL ITEMS AND PERFORM ALL WORK ALL DIMENSIONS ON PLANS ARE TO BE CONSIDERED APPROXIMATE UNTIL FIELD VERIFIED BY GC. DISCREPANCIES GREATER THAN 2' SHALL BE REPORTED TO THE ARCHITECT PRIOR CONSTRUCTION.

7. THE CONTRACTOR IS RESPONSIBLE FOR THE ACTS AND OMSSIGNS OF HIS SUBCONTRACTORS OR SUPPLIERS AND OF PERSONS EITHER DIRECTLY OR INDIRECTLY EMPLOYED BY HIM OR THEM.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPAIR OR REPLACE ANY PART OF THE BUILDING DAMAGED BY HIM OR HIS SUBCONTRACTORS DURING PERFORMANCE OF THE WORK.

ANY STRUCTURAL DAWAGE OR OTHER CONSTRUCTION DEFICIENCIES UNCOVERED DURING CONSTRUCTION SHALL BE IDENTIFIED IN WRITING TO THE OWNER FOR REVIEW BY OWNERS ARCHITECT AND THEN CORRECTED AT A MUTUALLY AGREED UPON COST.

10. THE CONTRACTOR SHALL SUBMIT TO THE OWNER THE AVAILABLE STYLES, PATTERNS AND COLORS FOR ALL ITEMS IN THE SCOPE OF, THE OWNER SHALL MAKE HIS SELECTIONS FROM THIS SUBMISSION AND THESE SELECTIONS SHALL BE THE FINSHICOLOR SCHEDULE.

11. WHEN A SPECIFIC BRAND OF MATERIAL OR EQUIPMENT IS SPECIFIED, THE CONTRACTOR MAY SUBSTITUTE ANOTHER BRAND OF EQUAL QUALITY AND VALUE IF ADDROGED BY THE CONTRACT ADDROGED BY THE CONTRACT ADDROGED BY THE CONTRACT ADDROG

12. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND FEES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING ALL INSPECTIONS AND OBTAINING ALL APPROVALS REQUIRED BY ALL GOVERNMENT AGENCIES HAVING JURISDICTION. NO WORK SHALL BE PERFORMED WITHOUT THE APPROPRIATE PERMITS PRESENT COPIES OF ALL TO OWNER.

13. THE CONTRACTOR SHALL FULLY GUARANTEE, WITHOUT QUALIFICATION EXCEPT FOR MISUSE OR ABUSE, THE SATISFACTORY PERFORMANCE OF THE WORK, BEGINNING ON THE DATE THE OWNER ACCEPTS THE WORK AND CONTINUING FOR A PERIOD OF ONE YEAR. THE COMPLETION OF THE WORK DOES NOT RELEVE THE CONTRACTOR OF RESPONSIBILITY UNDER THE SQUARAMTEE UNTIL THE EXPRIATION OF THE GUARANTEE PERIOD. SAMPLES, SHOP DRAWINGS AND/OR CATALOG CUTS SHALL BE SUBMITTED FOR APPROVAL PROCK TO INSTALLATION.

14. ADEQUATE AND LEGAL PROTECTION IS TO BE PROVIDED FOR ALL BUILDING OCCUPANTS AND PASSERS-BY, AND A SIDEWALK SHED SHALL BE CONSTRUCTED IF REQUIRED BY BLOODE.

 CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITE AND ADJOINING PROPERTIES AND SHALL CORRECT ALL DAMAGE CAUSED BY HIS WORK.

16. AT THE COMPLETION OF WORK AT THE END OF EACH DAY, ALL RUBBISH WILL BE REMOVED AND PROPERLY DISPOSED OF AND PREMISES LEFT BROOM CLEAN.

17. ALL PLUMBING, HEATING, AND ELECTRICAL WORK SHALL BE DONE BY LICENSED PLUMBERS AND ELECTRICANS. ALL SIZING OF PLUMBING, HEATING, AND ELECTRICAL WORK SHALL BE PERFORMED BY LICENSED CONTRACTORS OF THOSE TRADES. ALL FILING SHALL BE DOME BY THESE CONTRACTORS.

18. THE CONTRACTOR SHALL PROVIDE SUCH LABOR, MATERIALS AND EQUIPMENT AS REQUIRED FOR THE TIMELY COMPLETION OF HIS WORK, AND TO COMPLETE THE PROJECT

19. LOCATIONS OF EXISTING MECHANICAL, ELECTRICAL AND PLUMBING LINES, MASONRY WALLS & STRUCTURAL STEEL SHALL BE EXPOSED DURING DEMOLITION, WITH ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND PLANS IDENTIFIED TO THE ARCHITECT PRIOR TO CONSTRUCTION.

20. THESE DRAWINGS ARE SUPPLEMENTED BY SCOPES OF WORK, SPECIFICATIONS, AND OTHER CONTRACT DOCUMENTS. INFORMATION CONTAINED IN ANY ONE OF THE DOCUMENTS IS CONSIDERED AS PART OF ALL OF THE DOCUMENTS.

21. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR THE PROPER CONSTRUCTION, INSATALLATION OR OPERATION OR ANY PART OF THE WORK AS DETERMINED BY THE ARCHITECT SHALL BE INCLUED IN THE WORK AS IF IT WERE SPECIFIED OR INDICATED IN THE DRAWNOS.

ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS AND TO THE HIGHES STANDARDS OF THE TRADE.

23. ALL MATERIALS, ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT SHALL MET WITH THE FOLLOWING REQUIREMENTS:

A. SHALL BE ACCEPTABLE PRIOR TO THE EFFECTIVE DATE OR THE R.I. BUILDING CODE OR

B. SHALL BE ACCEPTED FOR USE UNDER THE PRESCRIBED CODE TEST METHOD BY THE COMMISSIONER OR

C. HAVE BOARD OF STANDARDS AND APPEALS APPROVAL

24. THE CONTRACTOR SHALL CARRY BUILDERS RISK INSURANCE WITH BROAD FORM EXTENDED COVERAGE COVERING THE VALUE OF HIS COMPLETED WORK.

25. THE CONTRACTOR SHALL BE RESPONSABLE FOR TEMPORARY PROTECTION, SECURITY AND SAFETY OF THE SITE DURING CONSTRUCTION.

CONSTRUCTION NOTES

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. LARGE SCALE DETAILS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.

PROPERLY, PROTECT, AND MAKE SAFE, FLOORS, WALLS, AND ADJACENT PROPERTY AS CONDITIONS AND CODE REQUERE.

DEMOLITION:

DEMOLITION OPERATIONS SHALL BE CONDUCTED SO AS TO MINIMIZE DUST AND
 AIRBORNE DEBRIS. MATERIAL SHALL BE CARRIED TO POINT OF REMOVAL FROM SITE

b. TAKE CARE IN CUTTING AND DEMOLITION OPERATIONS TO PRESERVE EXISTING

C. COORDINATE DEMOLITION AND REMOVAL WORK WITH THE WORK OF OTHER CONTRACTORS ON THE SITE, SO AS TO PREVENT CONFLICT OR DISRUPTION IN THE

ALL SHORING AND BRACING OF EXISTING CONSTRUCTION TO REMAIN SHALL BE PROVIDED DURING DEMOLITION AND SUBSEQUENT TRADES TO UNDERSIDE OF FLOOR ABOVE.

THE GENERAL CONTRACTOR SHALL EXECUTE ALL WORK WITHIN THE REGULATIONS OF THE BUILDING FOR DEMOLITION AND REMOVAL OF DEBRIS, INCLUDING OVERTIWE WORK REQUIRED.

f. ALL WORK DEMOLISHED SHALL BE REMOVE FROM THE PREVISES EXCEPT ITEMS TO BE REUSED OR RETURNED TO OWNER OR AS OTHERWISE DIRECTED.

FIRESTOPPING AND FIRERETARDING:

a STRUCTURAL STEEL SUPPORTING MASONRY AND FIREPROOF FLOOR SLABS SHALL HAVE 2 HOUR RATED FIRE RETARDING AS INDICATED ON THE DRAWINGS.

b. WHERE PIPES AND/OR DUCTS PASS THROUGH FLOORS. SUCH OPENINGS SHALL BE COMPLETELY FIRESTOPPED WITH CONCRETE PRIOR TO CONSTRUCTION OF ENCLOSING PARTITIONS OR WALLS.

c. WHERE PIPES OR DUCTS PASS THROUGH WALLS, SUCH OPENINGS SHALL BE COMPLETELY FIRESTOPPED WITH NON-COMBUSTIBLE MATERIAL PRIOR TO APPLYING FINISH TO WALLS.

d EXTEND DUCT FIRE-RETARD NG TO UNDERSIDE OF ROOFING.

e. SUSPENDED GYPSUM BOARD CEILINGS SHALL BE OF 5/8" F.C. 60 GYPSUM BOARD.

KITCHENETTE DROP ARCHES (DA) SHALL BE 1'-0" MINIMUM BELOW CEILING.

g. PARTITIONS WHICH DIVIDE APARTMENTS SHALL BE EXTENDED THROUGH CEILING TIGHT TO UNDERSIDE OF FLOOR ABOVE, AS PER CETAILS, INCLUDING STUDS AND GYPSUM WALL BOARD.

a. PROVIDE 9 1/2" BATT THERMAL INSULATION BELOW ROOF.

b. PROVIDE 3-1/2" BATT THERMAL INSULATION IN FRAMING AT EXTERIOR WALLS.

c. PROVIDE 3" ACOUSTICAL BATT IN PARTITIONS BETWEEN OFFICES.

d. INSULATION AND ACOUSTICAL BATTS SHALL BE RUN FROM DOOR FRAME HEAD TIGHT TO UNDERSIDE OF FLOOR ABOVE.

ZONING INFORMATION

PLAT & LOT : 43 & 470, 486
ZONING: R-3
PROPOSED LIVING UNITS: 2
HEIGHT: 30'-0"±
OCCUPANCY: RESIDENTIAL
No. STORIES: 2

LIST OF DRAWINGS

S TITLE SHEET

-1 SITE PLAN

A-2 FOUNDATION, FIRST & SECOND FLOOR PLANS

A-3 BUILDING & STAIR SECTION

A-4 DETAILS

A-5 FRONT & RIGHT SIDE ELEVATIONS
A-6 REAR & LEFT SIDE ELEVATIONS

A-7 15% TRANSPARENCY ELEVATION

DOORS & WINDOWS SCHEDULE

SYM.	QUANT.	TYPE	SIZE	NOTE
1	5	HOLLOW METAL & GLASS	36X80	EXTERIOR
2	3	90 MIN. FIRE RATED	36X80	
3	22	MASONITE SIX PANEL	32X80	INTERIOR

		WINDOW SCHEDULE		
SYM.	QUANT.	TYPE	SIZE	UR-FACTOR
A	24	DOUBLE HUNG	34X57	.30 OR LESS
В	2	DOUBLE HUNG	34X41	.30 OR LESS
С	6	SLIDING	32X16	.30 OR LESS
D	2	3- DOUBLE HUNG	30X57	.30 OR LESS

NEW CONSTRUCTION TWO FAMILY DWELLING

87 & 91 BURNETT ST. PROVIDENCE, RI. 02907

OWNERS / CLIENTS
KAIMANES HOME
IMPROVEMENTS LLC.
P.O. BOX 2761
PROVIDENCE RI 02907

TEL. (401) 559-1397

DSDANNYKA@GMAIL.COM

PLAT: 43
LOT: 470 & 486
ZONING: R-3
LEGAL USE: VACANT LOTS
PROP USE: 2- FAMILY

DESIGNER EUGENIO OVALLE

23 JOSLIN ST. PROVIDENCE, RI 02909 TEL. 401 430-0596

GENERAL NOTE:

DO NOT MEASURE THESE DRAWINGS UNLESS OTHERWISE SPECFED.

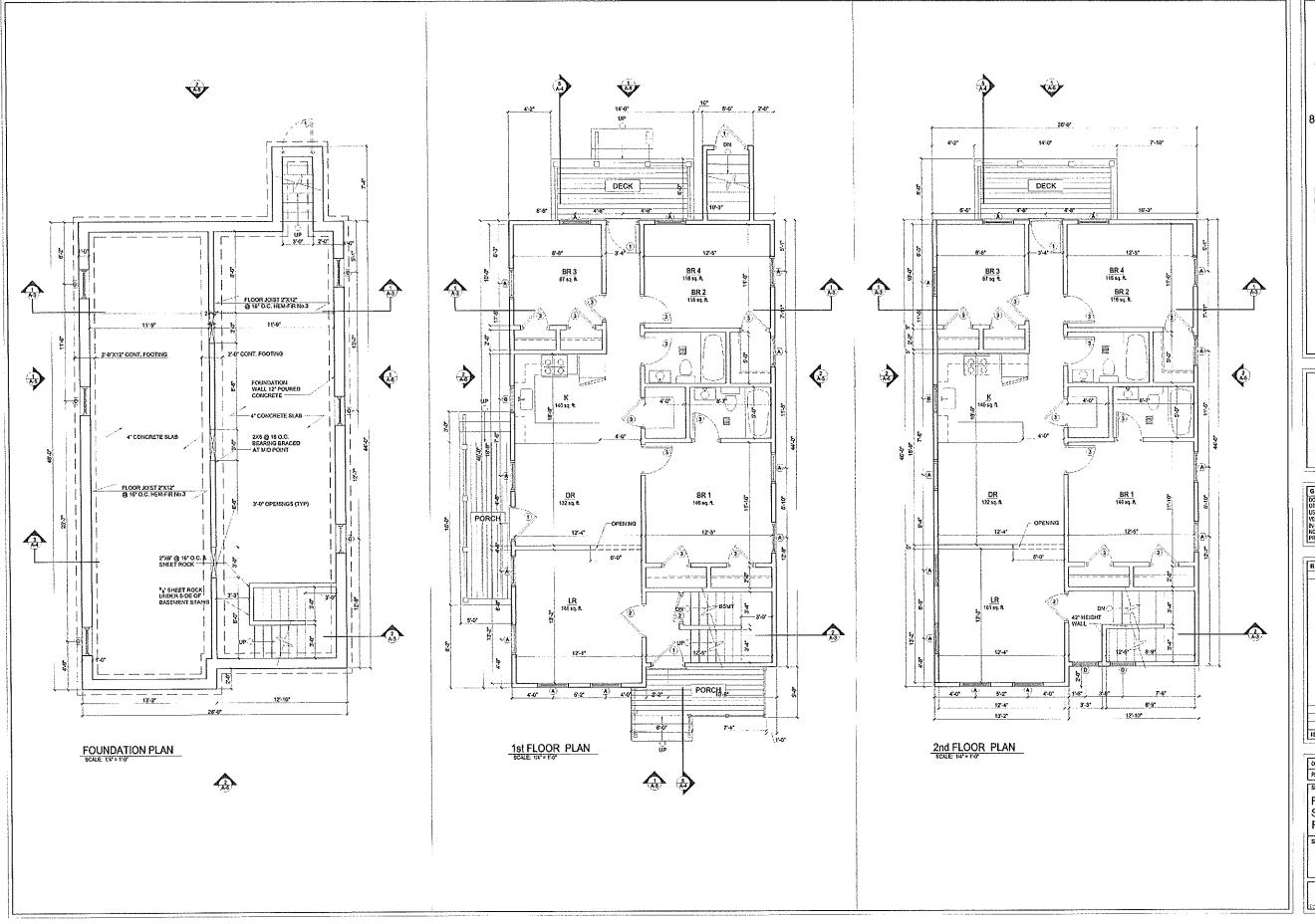
USE ANNOTATED DIMENSIONS ONLY.

VERTY ALL DIMENSIONS ON PELD (M.F.).

N CASE OF VIRALINESS ON DISCREPANCIES NOTIFY ARCHITECT OR ENGINEER FOR RESOUTTON PRIOR TO COMMENCEMENT OF THE WORK.

REVIS	IONS:	
,,		

THE REAL PROPERTY.	
SHEET No.	
TITLE SHE	EET
SHEET NAME:	
PROJECT No.: 2020-06	DATE: 02/13/2020
	SCALE: AS NOTED



87 & 91 BURNETT ST. PROVIDENCE, RI. 02907

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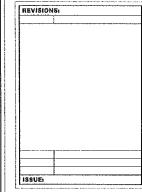
DSDANNYKA@GMAIL.COM

PLAT: 43 LOT: 470 & 486 ZONING: R-3 LEGAL USE: VACANT LOTS PROP USE: 2-FAMILY

DESIGNER EUGENIO OVALLE

23 JOSLIN ST. PROVIDENCE, RI 02909 TEL. 401 430-0596

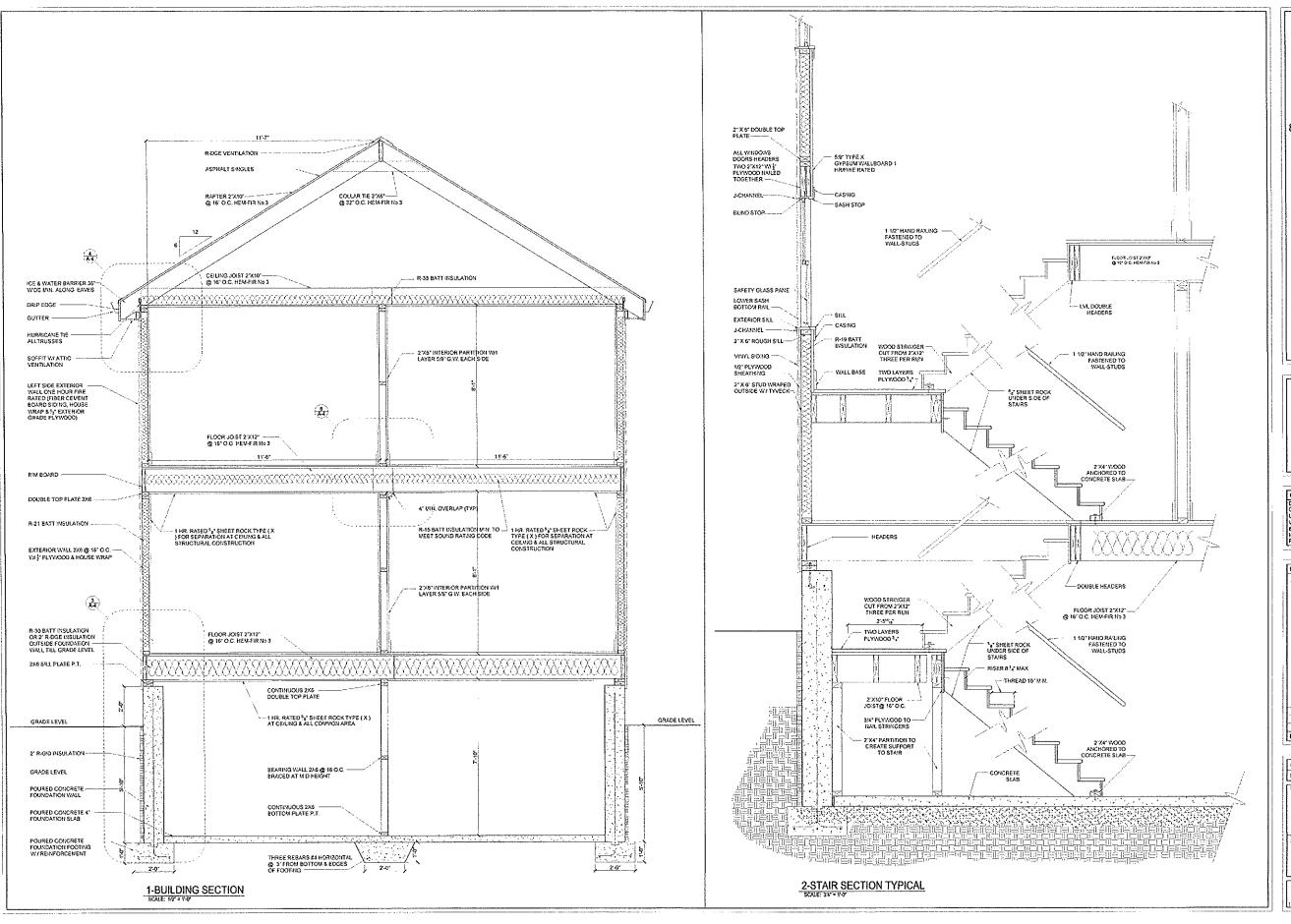
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	PROJECT No.: 2020-06	DATE: 02/13/2020
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	SECOND F	LOOR
	PLANS	
:		

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87 & 91 BURNETT ST. PROVIDENCE, RI. 02907

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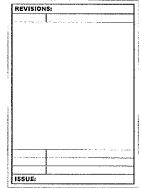
PLAT: 43 LOT: 470 & 486 ZONING: R-3 LEGAL USE: VACANT LOTS PROP USE: 2- FAMILY

DESIGNER EUGENIO OVALLE

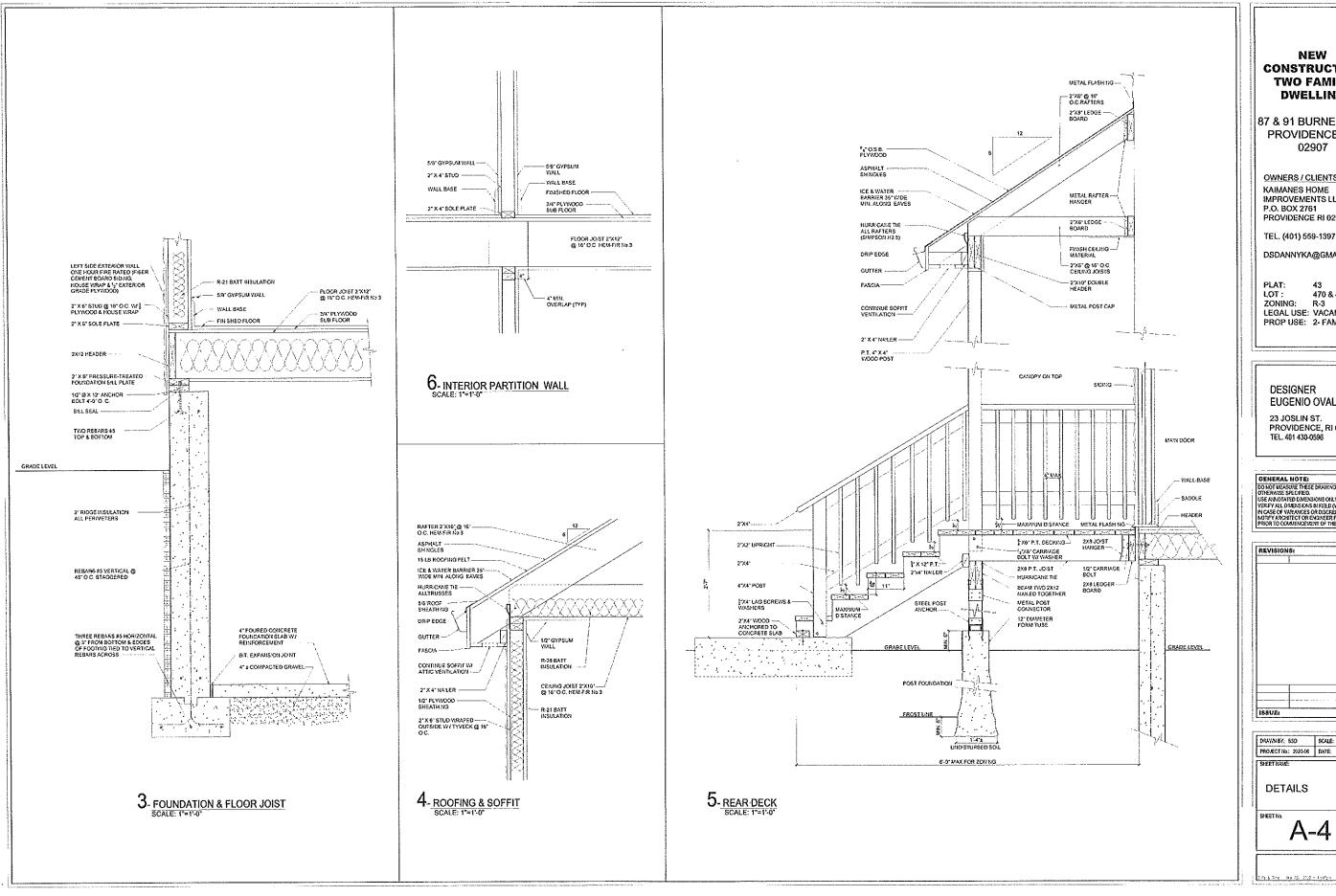
23 JOSLIN ST. PROVIDENCE, RI 02909 TEL. 401 430-0596

GENERAL NOTE:

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PRIOR TO COMMENCEMENT OF THE WORK.



1	
ERAWNBY: SSO	SCALE: AS NOTED
PROJECT No.: 2020-08	DATE: 02/13/2020
SHEET KAVE:	
BUILDING SECTIONS	
SHÆET NO. A -	-3



87 & 91 BURNETT ST. PROVIDENCE, RI. 02907

OWNERS / CLIENTS KAIMANES HOME IMPROVEMENTS LLC. P.O. BOX 2761 PROVIDENCE RI 02907

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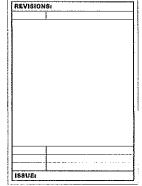
DSDANNYKA@GMAIL.COM

LOT: 470 & 486 R-3 ZONING: LEGAL USE: VACANT LOTS PROPUSE: 2- FAMILY

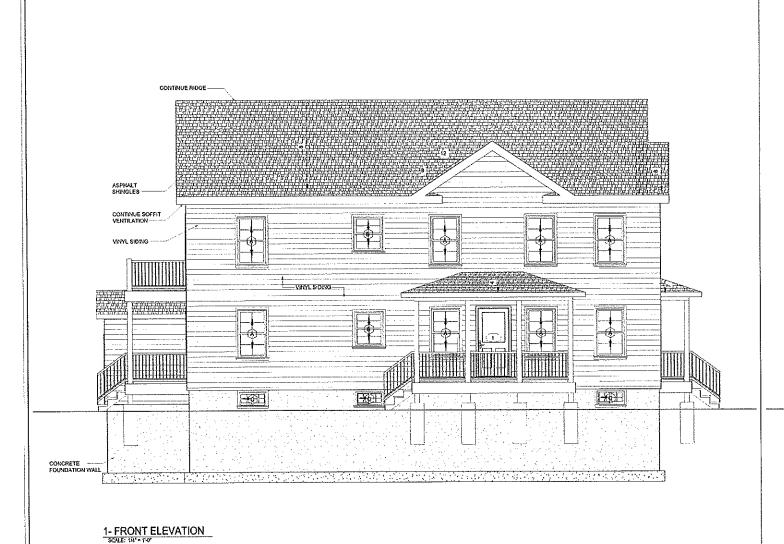
DESIGNER **EUGENIO OVALLE**

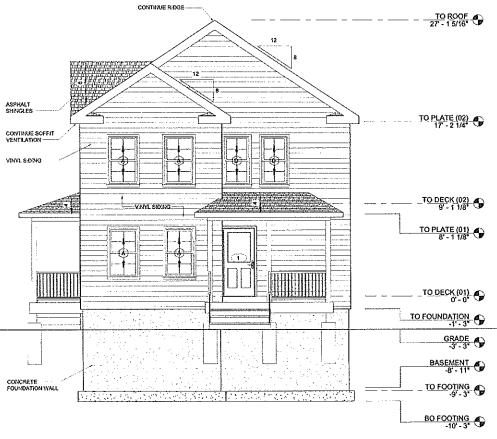
23 JOSLIN ST. PROVIDENCE, RI 02909 TEL. 401 430-0596

GENERAL NOTE: CEMERAL NOTE:
DO NOT MEASURE THESE BRAWNOS UNLESS
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USE ANOTATED DAMPISCORS (MELD (VLF.)
MICASE OF VARANCES OR DISCREPANCES
NOTEY AND OTHER OR DESPONS IN FIELD (VLF.)
PROCESSOR OR DISCREPANCES
NOTEY ASSENTED OR DESPONSES
PROOR TO COMMERCEMENT OF THE WORK.



DRAVANBY: SSD	SCALE: AS NOTED			
PROJECT No.: 2020-08	DATE: 02/13/2020			
SHEET HAVE				
DETAILS				
A-4				





87 & 91 BURNETT ST. PROVIDENCE, RI. 02907

OWNERS / CLIENTS
KAIMANES HOME
IMPROVEMENTS LLC.
P.O. BOX 2761
PROVIDENCE RI 02907

TEL. (401) 559-1397

DSDANNYKA@GMAIL.COM

PLAT: 43 LOT: 470 & 486 ZONING: R-3 LEGAL USE: VACANT LOTS PROP USE: 2- FAMILY

DESIGNER EUGENIO OVALLE

23 JOSLIN ST. PROVIDENCE, RI 02909 TEL. 401 430-0596

GENERAL NOTE:
DO NOT MEASURE THESE PRIMAGS MALESS
OTHERWISE SPECIFIED.
USE ANNOTATED DEVELOCATION ONLY.
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NOTES OF VARIANCES OF DISCREPANCES
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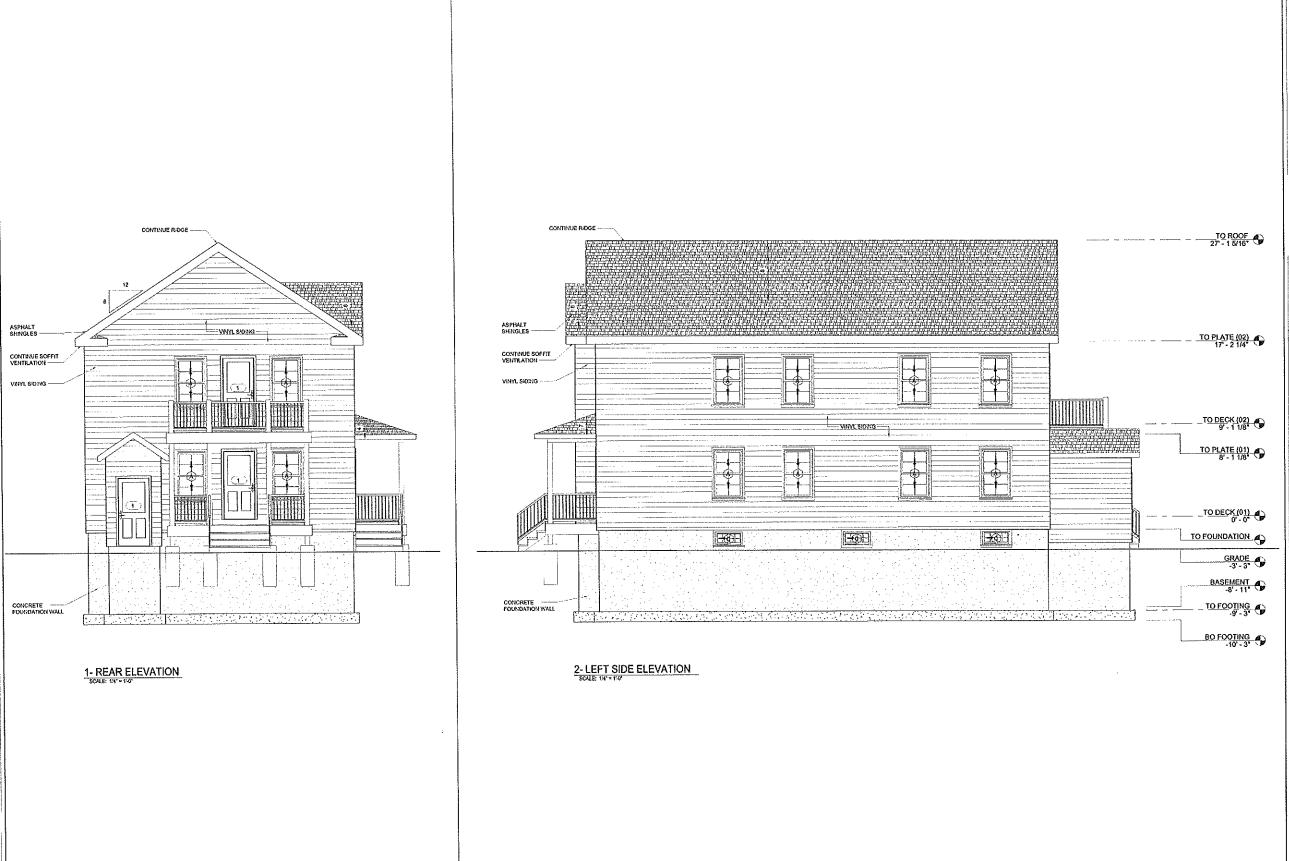
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DRAWNEY: SSO SCALE AS NOTED PROJECT NO.: 2004-05 DATE: 02/13/2000
SPECTIVALE: FRONT & RIGHT SIDE ELEVATIONS
SPECTIVO.

A-5

Secretifical dyson (1921) 1975;

2- RIGHT SIDE ELEVATION



87 & 91 BURNETT ST. PROVIDENCE, RI. 02907

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DSDANNYKA@GMAIL.COM

PLAT: 43 LOT: 470 & 486 ZONING: R-3 LEGAL USE: VACANT LOTS PROP USE: 2-FAMILY

DESIGNER EUGENIO OVALLE

23 JOSLIN ST. PROVIDENCE, RI 02909 TEL. 401 430-0596

GENERAL NOTE:
DO NOT DELEGRE DELES CRIMINGS DILESS
OTHERMISE SPECIFIED.
USE JAMPOTATED DIVIDISONS ONLY.
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PROR TO COMMENCEMENT THE WORK.

REVISIO	10)	
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DRAWMSY: 880	SCALE: AS NOTED				
PROJECT No.: 2020-08	DATE: 02/13/2929				
SHEET KAVE:					
REAR & LEFT SIDE ELEVATIONS					
A-6					
2012 \$ 74 m 36 m 72 m 73 m 74 m					



15% TRANSPARENCY ELEVATION

NEW CONSTRUCTION TWO FAMILY DWELLING

87 & 91 BURNETT ST. PROVIDENCE, RI. 02907

OWNERS / CLIENTS
KAIMANES HOME
IMPROVEMENTS LLC.
P.O. BOX 2761
PROVIDENCE RI 02907

TEL. (401) 559-1397

DSDANNYKA@GMAIL.COM

PLAT: 43 LOT: 470 & 486 ZONING: R-3 LEGAL USE: VACANT LOTS PROP USE: 2- FAMILY

DESIGNER EUGENIO OVALLE

23 JOSLIN ST. PROVIDENCE, RI 02909 TEL 401 430-0596

GENERAL NOTE:

DO NOT LEASURE THESE DRAWRYSS WALESS
OTHERWISE SPECIFIED.

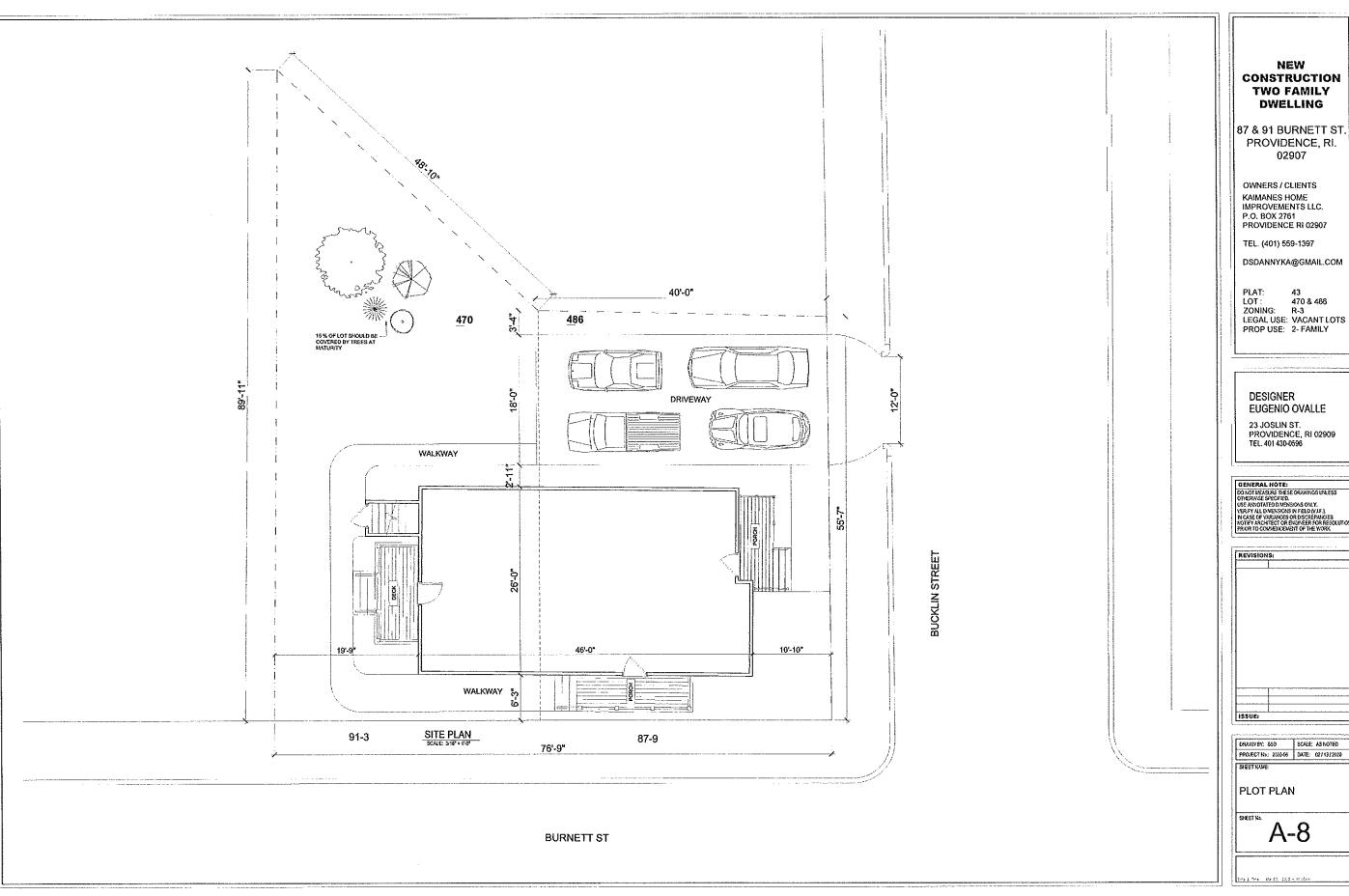
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PRICE TO COMMENCE HE FOR RESOLUTION
PRICE TO COMMENCE HE FOR RESOLUTION
PRICE TO COMMENCEMENT OF THE WORK.

 IONS:		

DRAWN BY: SSO SCALE AS NOTED
PROJECT No: 202946 DATE: 02/13/2020
SHEET NAME
15% TRANSPARENCY
ELEVATION

A-7

13+13-4 UP-02 1/20 U-33-5



CONSTRUCTION TWO FAMILY

KAIMANES HOME IMPROVEMENTS LLC. P.O. BOX 2761 PROVIDENCE RI 02907

PLAT: 43 LOT: 470 & 486 ZONING: R-3 LEGAL USE: VACANT LOTS PROP USE: 2- FAMILY



133061			
DRAWNBY: 850	SCALE: AS NOTED		
PROJECT No.: 2020-06	DATE: 02/13/2020		
SHEET KAME:			
PLOT PLAN			
A-8			