

**DEMO/ CONSTRUCTION NOTE KEY**

- D1** Remove existing Cased Opening as Required & Infill Wall to match Existing.
- D2** Remove existing Window Unit & Reframe as Required to Infill Wall to match Existing.
- D3** Provide added Interior Wall & Door as Shown
- D4** Remove existing Bathroom Fixtures to Receive new Bathroom Fit-Up
- D5** Remove existing Kitchen Cabinetry & Fixtures to Receive new Kitchen Design Fit-Up.
- D6** Remove existing Window Unit & Wall Area as Required & Frame to Receive New Window as Indicated on Plan.
- D7** Remove existing Door & Wall as Required For New Room Entry as shown.

**RENOVATION NOTES:**

All existing construction requiring removal in order to accomplish the new work shown on these drawings shall be the responsibility of the contractor. The contractor shall exercise care so that only the construction indicated or implied to be removed shall be demolished.

Since "as-Built" conditions may vary, Contractor shall verify existing conditions in the field for obtaining measurements as req'd to perform the work. Contractor to provide design/build for the mechanical/plumbing and electrical work required. Consult mechanical/plumbing and electrical contractors for exact sizing, location, and specifications to meet heating and cooling loads, climatic conditions and building orientation requirements.

All mechanical, plumbing, and electrical trade works must be coordinated with structural work by contractor.

**Legend**

- New Construction
- Construction to be removed
- Existing construction to remain

**GENERAL FLOOR PLAN NOTES:**

All dimensions are to face of framing member, or centerline of wall (unless otherwise noted)

Top of Finish Floor elevations = GC Field verify

**I. Applicable Building Codes**

International Residential Code 2018  
Rhode Island State Building Code: SBC-2 State Building Code Effective February 1, 2022.  
Rhode Island State Fire Code

In Addition to the above, All work shall conform to All State and Federal Rules, including all applicable Agencies and Local Ordinances.

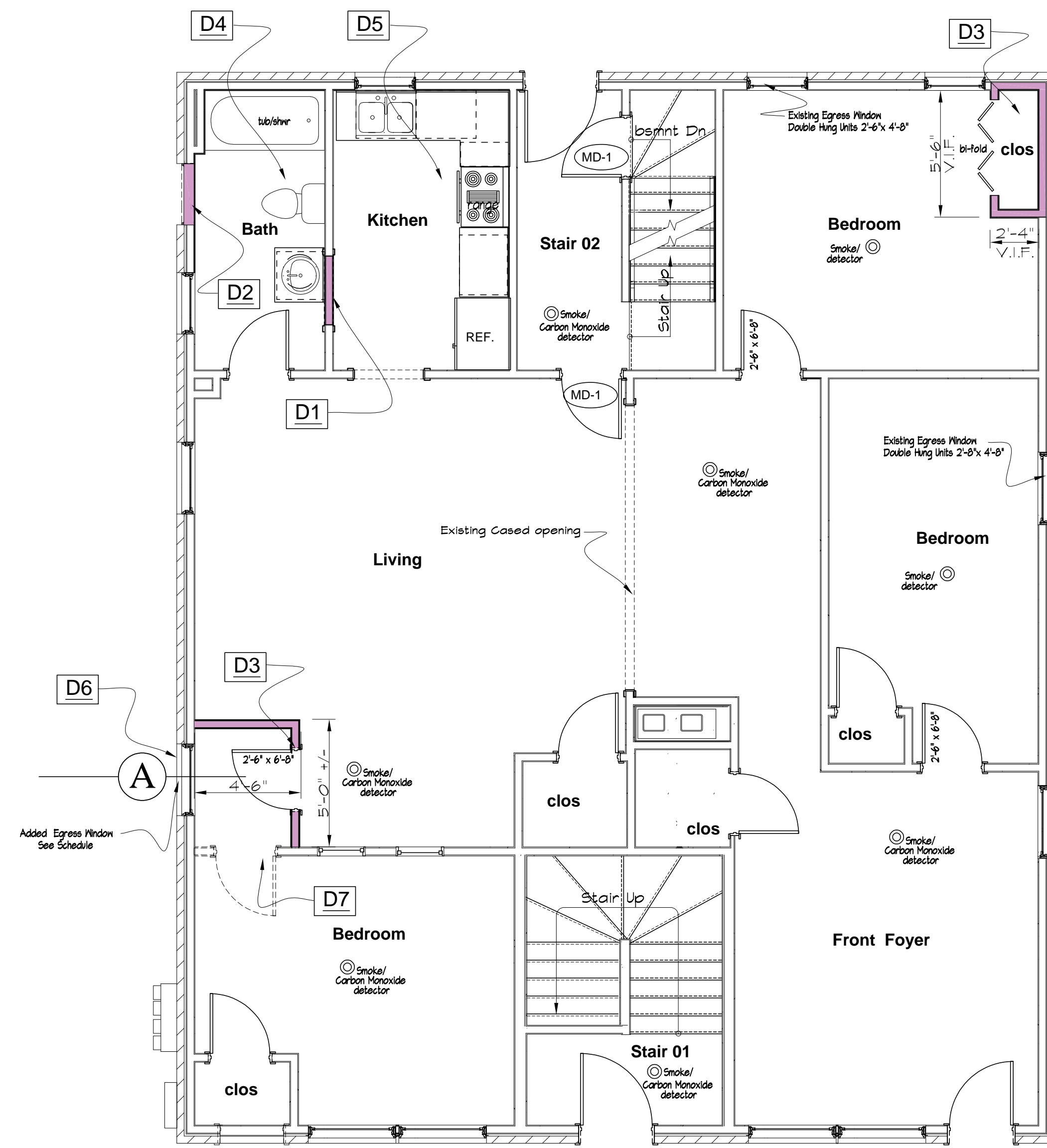
**INTERIOR DOOR SCHEDULE**

KEY	WIDTH	HEIGHT	THICK.	TYPE	MATERIAL	REMARKS
MD1	2'-8"	6'-8"	1 3/4"	MD	Panel Door	20 Minute Rated w/ Spring Closer Hinges & Positive Latching Lock Sets.

**WINDOW SCHEDULE**

KEY	WIDTH	HEIGHT	ANDERSEN UNIT NO.	TYPE	QTY REQ'D
<b>A</b>	3'-0"	4'-9"	244DH3049	DOUBLE HUNG	1

GC: Field Verify Dim's

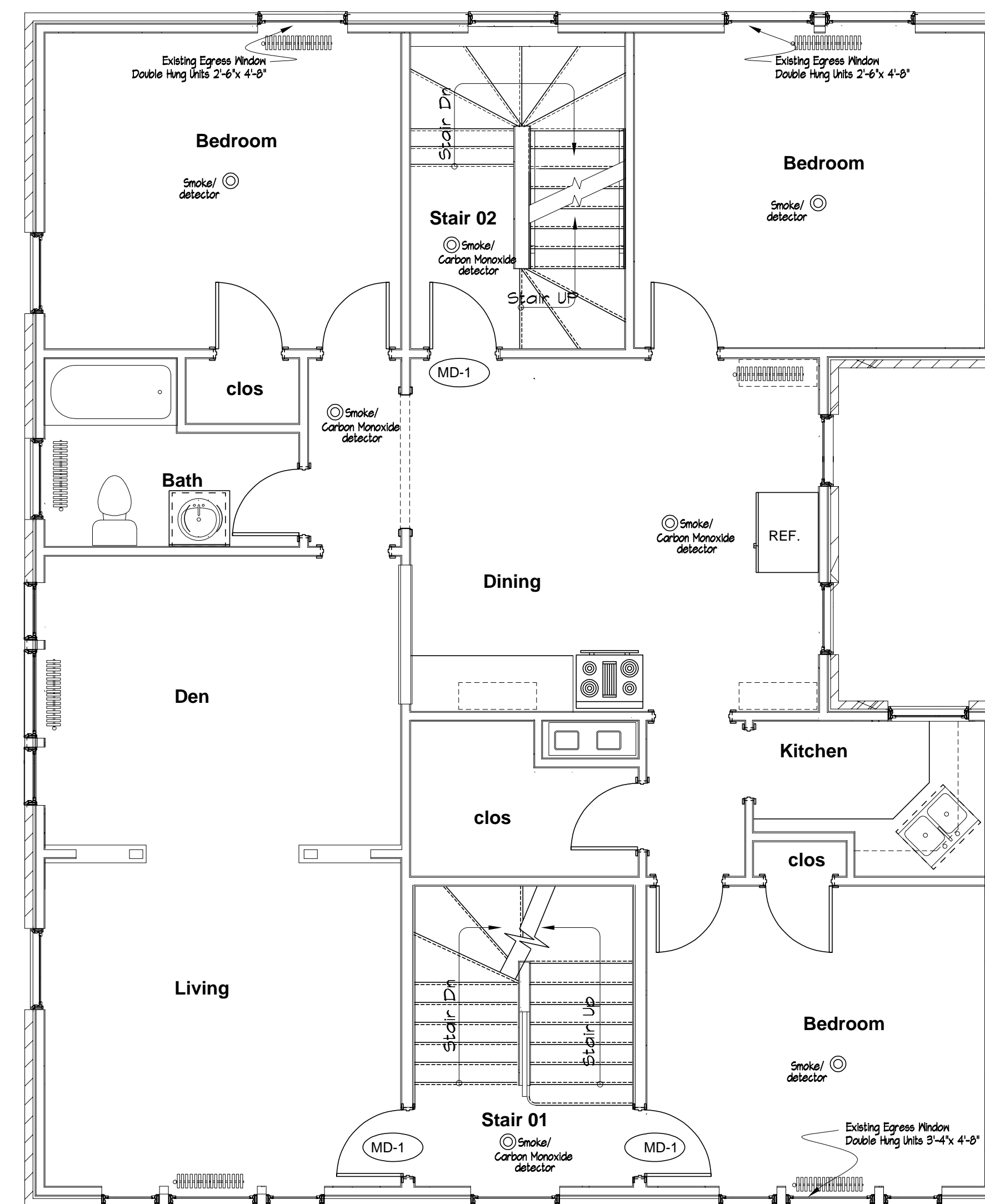
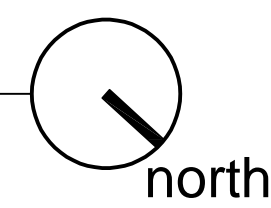


Unit "A"

**first floor renovation plan**

scale: 1/4"=1'-0"

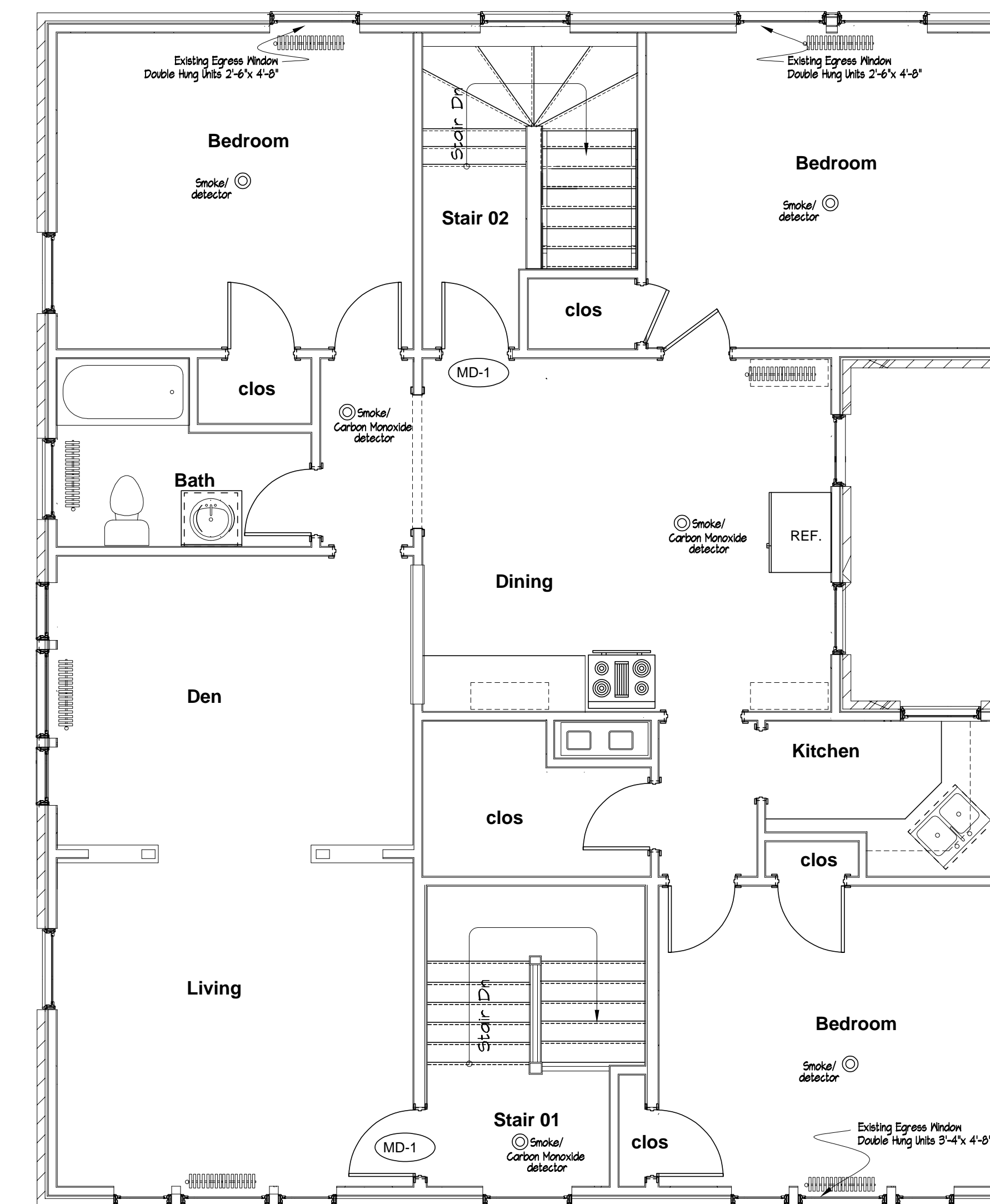
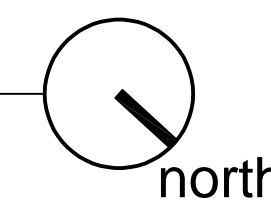
SEE SITE PLAN FOR ORIENTATION



Unit "B"

**second floor existing plan**

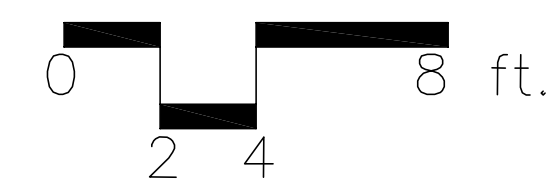
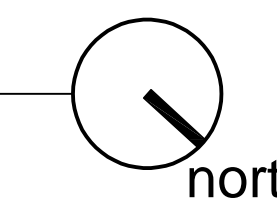
scale: 1/4"=1'-0"



Unit "C"

**third floor existing plan**

scale: 1/4"=1'-0"



Issued for Review

Issue

Job No.

Date: 1/24/23

**FLOOR PLAN**  
1st Floor  
2nd Floor  
3rd Floor

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