

LIST OF DRAWINGS

The list of drawings below reflects the drawings included in the May 24, 2022 Preliminary Plan submission.

Sheet No. Sheet Title

GI-002 200' Radius Map

CN-101 General Notes & Legend Sheet
C-1 Existing Conditions Plan
CP-101 Site Demolition Plan

CE-101 Soil Erosion and Sedimentation Control Plan

CS-102 Site Plan

CG-101 Grading & Drainage Plan

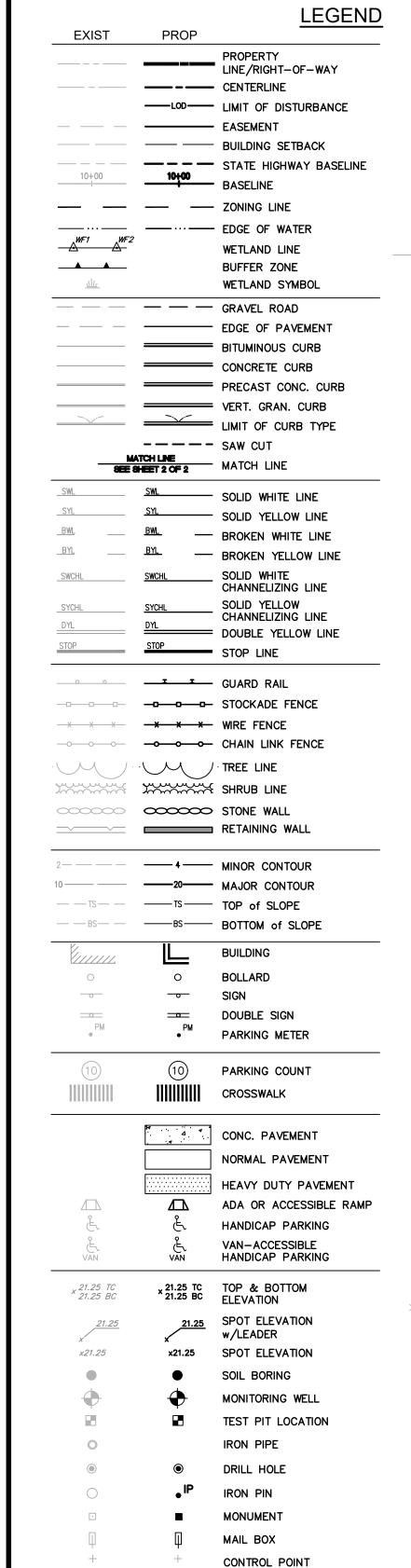
CU-101 Utility Plan

CD-501 – CD-506 Construction Details
SL.1.00 P&Z Site Lighting Plan
SD.10 Garden Level Floor Plan

SD.11 First Floor Plan
SD.12 Second Floor Plan
SD.13 Third Floor Plan
SD.20 Exterior Elevations
SD.30 Exterior Renderings

SD.40 Conceptual Exterior Massing





E\// 0=	DD 0 =	
EXIST	PROP	
12" D	— D —	DRAINAGE LINE
12" 5	— s —	SEWER LINE
	<u> </u>	OVERHEAD ELECTRIC, TELEPHONE & FIRE ALARM
	w	WATER LINE
FP	——FP——	FIRE PROTECTION LINE
		GAS LINE
	——G—— ——Е——	UNDERGROUND ELECTRIC
T		TELEPHONE LINE
	·	
C	——с—	CABLE TV
E/T/C — -	—Е/T/C——	ELECTRIC, TELEPHONE & CABLE TV LINES
EB CB	⊞ ^{CB}	CATCH BASIN
DCB	DCB	DOUBLE CATCH BASIN
<u></u>	<u>шш D</u> I	DRAIN INLET
D DMH	⊕ рмн	DRAIN MANHOLE
		TRENCH DRAIN
Ι	r	PLUG/STUB
		FLARED END SECTION
		HEADWALL
GT	GT	GREASE TRAP
CS	CS	CONTROL STRUCTURE
S SMH	(S) SMH	SEWER MANHOLE
o ^{CO}	° co	CLEAN OUT
W	W	WATER MANHOLE
WG	o ^{wg}	WATER GATE
GV	GV	GATE VALVE
₩ <u>\$</u>	⋈	WATER SHUTOFF
Δ	Δ	THRUST BLOCK
→	-	REDUCER
A	A	TEE
TSV	TSV	TAPPING SLEEVE, VALVE, &
• ≻	→→	BOX RISER
€	€	PRESSURE REDUCER
¥	¥	SIAMESE CONNECTION (FIRE
_	_	DEPARTMENT CONNECTION)
		FIRE HYDRANT
WM ⊡	WM ⊡	WATER METER
PIV	PIV ●	POST INDICATOR VALVE
	®	WELL
GG	O ^{GG}	GAS GATE
GM	GM ⊡	GAS METER
Œ	Œ	ELECTRIC MANHOLE
EB	EB	ELECTRIC BOX
EM	EM •	ELECTRIC METER
T	T	TRANSFORMER
<u>.</u>	Ф	LIGHT POST
•	•	FLOOD LIGHT
0-III	•=	LIGHT POLE (1 LUMINARIES)
H+H	■◆■	LIGHT POLE (2 LUMINARIES)
m - m	### #	LIGHT POLE (3 LUMINARIES)
ref.	= =	LIGHT POLE (4 LUMINARIES)
*	*	WALL PACK
*		LIGHT POLE W/SHEILDS
_	<u> </u>	LIGHT FOLL W/SHLILDS
± 		·
<u>-</u>	1	TELEPHONE MANHOLE
TS •	TS •	TELEPHONE MANHOLE TRAFFIC SIGNAL
± ↑ ↑ ↑ ↑		TELEPHONE MANHOLE TRAFFIC SIGNAL SIGNAL BOX
	① TS S	TELEPHONE MANHOLE TRAFFIC SIGNAL

PULL BOX

——SF—— SILT FENCE

HAYBALES

PB

HAND HOLE

♦ HAYBALE CHECK DAMS

ARREVIATIONS

	<u> LVIATIONS</u>		
GENERAL APPROX BIT BW CC CCB ELEV EXIST GC MAX MIN NTS PCC PROP R&D R&R R&S TOS TW TYP VGC	APPROXIMATE BITUMINOUS PAVEMENT BOTTOM OF WALL CONCRETE CURB CAPE CODE BERM ELEVATION EXISTING GRANITE CURB MAXIMUM MINIMUM NOT TO SCALE PRECAST CONCRETE CURB PROPOSED REMOVE AND DISPOSE REMOVE AND RESET REMOVE AND RESET REMOVE AND STACK TOP OF SLOPE TOP OF WALL TYPICAL VERTICAL GRANITE CURB	UTILITY CB CMP CPP DCB DI F&G F&C HDPE HYD INV PVC RCP RD SMH TSV UP	CATCH BASIN CORRUGATED METAL PIPE CORRUGATED POLYETHYLENE PIPE DOUBLE CATCH BASIN DUCTILE IRON PIPE FRAME AND GRATE FRAME AND COVER HIGH DENSITY POLYETHYLENE HYDRANT INVERT ELEVATION POLYVINYL CHLORIDE PIPE REINFORCED CONCRETE PIPE ROOF DRAIN SEWER MANHOLE TAPPING SLEEVE, VALVE AND BOX UTILITY POLE

LEGEND NOTE

SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SHOWN ON THE DRAWINGS TO SCALE OR TO THEIR ACTUAL DIMENSION OR LOCATION. COORDINATE DETAIL SHEET DIMENSIONS. MANUFACTURERS' LITERATURE. SHOP DRAWINGS. AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.

GENERAL NOTES

- A. THE STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2018 EDITION, REVISIONS AND ALL CURRENT ADDENDA, ARE MADE A PART HEREOF, AS IF ATTACHED HERETO, ALL REFERENCES TO "STATE STANDARD SPECIFICATIONS" SHALL REFER TO THE LATEST EDITION OF THE STATE
- OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION B. THE STATE OF RHODE ISLAND STANDARD DETAILS, 2015 EDITION, AND ALL CURRENT REVISIONS, ARE MADE A PART HEREOF, AS IF ATTACHED HERETO. ALL REFERENCES TO "STATE STANDARD DETAILS" OR "R.I. STD.
- #.#.#" SHALL REFER TO THE LATEST EDITION OF THE STATE OF RHODE ISLANDS STANDARD DETAILS. C. THE STATE OF RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, 2016 EDITION, REVISIONS AND ALL CURRENT ADDENDA, ARE MADE A PART HEREOF, AS IF ATTACHED HERETO. ALL REFERENCES TO "SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" SHALL REFER TO THE LATEST EDITION OF THE STATE OF RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK.
- D. THE SITE-SPECIFIC SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC PLAN) PREPARED BY FUSS & O'NEILL, INC., DATED MAY 24, 2022, IS MADE A PART HEREOF, AS IF ATTACHED HERETO.

2. EXISTING CONDITIONS:

- SURVEY:
 PROPERTY BOUNDARY AND TOPOGRAPHICAL INFORMATION WERE OBTAINED FROM A PLAN TITLED EXISTING CONDITIONS PLAN, BY HORSLEY WITTEN GROUP, DATED APRIL 22, 2022.
- FLOOD ZONE:
 THE SUBJECT SITE LIES WITHIN ZONE X, AN AREA OUTSIDE, FROM 1-PERCENT ANNUAL-CHANCE FLOOD EVENT, PER FLOOD INSURANCE RATE MAP (FIRM) PANEL NO. 44007C0304J, REVISED 10/02/2015.
- <u>UTILITIES:</u>
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE ONLY AND HAVE NOT YET BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE.
- CURBING SHALL BE GRANITE (7.3.0 P) AND IN ACCORDANCE WITH THE CITY OF PROVIDENCE STANDARD
- BITUMINOUS CONCRETE PAVEMENT:
 BITUMINOUS PAVEMENTS SHALL MEET REQUIREMENTS OF PART 401 OF THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. ROADWAYS SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF PROVIDENCE STANDARD DETAILS FOR PERMANENT ROADWAY RESTORATION (GRANULAR BASE 60.2.1 P AND CONCRETE BASE 60.2.2 P).
- CEMENT CONCRETE SIDEWALKS:
 CEMENT CONCRETE SIDEWALKS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF PROVIDENCE STANDARD DETAIL 43.1.0 P. ALL PORTLAND CEMENT CONCRETE USED IN THE CONSTRUCTION OF THE CEMENT CONCRETE SIDEWALKS SHALL BE CLASS A AND CONFORM TO THE REQUIREMENTS AS SET FORTH IN SUBSECTIONS 601.01.1 AND 601.03.1 OF THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- LANDSCAPE AREAS:
 ALL SURFACED AREAS OR DISTURBED AREAS NOT SPECIFIED ON THE PLANS SHALL RECEIVE 4 INCHES OF

TOPSOIL, SEED, MULCH, AND BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

- ALL SIGNAGE SHALL MEET MUTCD REQUIREMENTS AND COMPLY WITH STANDARDS IN RIDOT SECTIONS T.15. 4. UTILITIES:
- A. <u>STORM DRAINAGES:</u>
 STORM DRAIN PIPING SHALL BE SMOOTH LINED BE DOUBLE-WALL HIGH DENSITY POLYETHYLENE PIPE, (n=0.012) WITH WATER TIGHT JOINTS. THE SIZES OF ALL PIPES ARE NOTED ON THE PLANS. PIPES BETWEEN OUTFALLS AND THE NEAREST UP STREAM STRUCTURE SHALL BE REINFORCED CONCRETE PIPE WITH PRECAST CONCRETE FLARED END SECTIONS (R.I. STD. 2.3.0). ALL CATCH BASINS SHALL BE PRECAST CONCRETE, AS SPECIFIED ON THE DETAIL SHEETS, WITH BICYCLE SAFE GRATES, R.I. STANDARD 6.3.2, OR APPROVED EQUAL.
- ALL SEWER PIPE, UNLESS OTHERWISE SPECIFIED, SHALL BE POLYVINYL CHLORIDE (SDR 3 CLEAN OUTS SHALL BE INSTALLED WHERE THE DISTANCE FROM THE BUILDING TO THE MAIN SEWER IS GREATER THAN 100 FEET OR WHERE BENDS GREATER THAN 45° ARE PROPOSED. CLEAN OUTS SHALL BE MADE BY INSTALLING 'Y' AND ONE-EIGHTH BENDS OF THE SAME DIAMETER AS THE BUILDING SEWER, OR A MAXIMUM OF FOUR INCHES. THE CLEAN OUT SHALL BE BROUGHT UP FROM THE BUILDING SEWER TO FOUR INCHES BELOW GROUND LEVEL AND BE PROPERLY CAPPED] [FINISH GRADE WITH A ROADWAY BOX]. SEWER INSTALLATION PRACTICES AND APPURTENANCES SHALL BE IN ACCORDANCE WITH CITY DPW STANDARDS AND/OR THE NARRAGANSETT BAY COMMISSION.
- GAS AND ELECTRIC: COORDINATE AND INSTALL GAS, ELECTRIC, AND COMMUNICATIONS UTILITIES IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE APPROPRIATE UTILITY COMPANIES.
- WATER MAINS SHALL BE CEMENT LINED DUCTILE IRON, DUCTILE IRON SHALL BE CLASS 52 AND CONFORM TO AWWA C151. CEMENT LINING SHALL CONFORM TO AWWA C104 AND HAVE DOUBLE THICKNESS. JOINTS AT FITTINGS, VALVES, AND HYDRANT LATERALS SHALL BE MECHANICAL JOINTS, AWWA C11, WITH NEOPRENE GASKETS. JOINTS AT OTHER LOCATIONS SHALL BE PUSH-ON TYPE. AWWA C111, WITH NEOPRENE OR SYNTHETIC RUBBER GASKETS. FITTINGS SHALL BE CEMENT-LINED, DUCTILE IRON, AWWA C110, WITH A 250
- WATER SERVICE SHALL BE INSTALLED IN ACCORDANCE WITH PROVIDENCE WATER STANDARDS. WATER SERVICE, GREATER THAN 2-INCH DIAMETER, SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON AND CONFORM TO AWWA C151. CEMENT LINING SHALL CONFORM TO AWWA C104 AND HAVE DOUBLE THICKNESS. JOINTS AT FITTINGS, VALVES, AND HYDRANT LATERALS SHALL BE MECHANICAL JOINTS, AWWA C111, WITH NEOPRENE GASKETS. JOINTS AT OTHER LOCATIONS SHALL BE PUSH-ON TYPE, AWWA C111, WITH NEOPRENE OR SYNTHETIC RUBBER GASKETS. FITTINGS SHALL BE CEMENT-LINED, DUCTILE IRON, AWWA C110, WITH A 250 PSI MINIMUM.
- CURB STOP BOXES SHALL BE IN CONFORMANCE WITH PROVIDENCE WATER STANDARDS. ALL WATER GATES AND VALVES SHALL BE NRS, MEET AWWA C500 AND C509 STANDARDS, AND OPEN TO THE LEFT. ALL WATER LINES SHALL HAVE A MINIMUM OF 4.5 FEET OF GROUND COVER AND A MINIMUM OF 10 FOOT HORIZONTAL SEPARATION FROM THE SEWER SYSTEM. WHERE THE WATER MAIN CROSSES ANY UTILITY A VERTICAL CLEARANCE OF 18 INCHES MUST BE MAINTAINED. AT CROSSINGS BETWEEN WATER AND SEWER LINES, THE SEWER LINE SHALL BE SLEEVED AND ENCASED IN CONCRETE FOR A DISTANCE OF AT LEAST 10-FEET IN EACH DIRECTION OF THE CROSSING.

GENERAL CONSTRUCTION REQUIREMENTS

ARTICLE VII "SOIL EROSION AND SEDIMENT CONTROL"

- 1. THE SITE IS A REGULATED SITE UNDER THE RIDEM "RULES AND REGULATIONS FOR THE INVESTIGATION AND REMEDIATION OF HAZARDOUS MATERIALS RELEASES" ("REMEDIATION REGULATIONS"). AND A SITE-SPECIFIC REMEDIAL ACTION WORK PLAN (RAWP). COMPLY WITH THE RAWP AND RIDEM OFFICE OF WASTE MANAGEMENT REQUIREMENTS FOR ALL LAND DISTURBANCE ACTIVITIES AND CONSTRUCTION. ALL EXCESS EXCAVATED MATERIALS, EXCESS FILL, EXCESS CONSTRUCTION MATERIALS, AND DEBRIS SHALL BE REMOVED FROM THE SITE AND SHALL BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS, AND RAWP.
- 1.1. ALL EXISTING SOIL AT THE SITE IS CONSIDERED TO BE REGULATED SOIL, FALLS UNDER RIDEM JURISDICTION, AND AT THE END OF THE PROJECT, SHOULD BE COVERED BY A SOIL CAP. ALL EXCAVATED ON-SITE SOIL TO BE REMOVED FROM THE SITE BY THE CONTRACTOR MUST BE MANAGED IN ACCORDANCE WITH THE RAWP AND DISPOSED OF AT A RIDEM-APPROVED FACILITY.
- 1.2. PRIOR TO IMPORTATION TO THE SITE, ALL EARTHEN MATERIAL, INCLUDING BUT NOT LIMITED TO BACKFILL, BEDDING, BORROW, GRANULAR MATERIAL, FILL, GRAVEL BORROW, AND GRAVEL BASE, MUST BE LABORATORY ANALYZED AND APPROVED AS CLEAN FILL BY THE ENGINEER IN ACCORDANCE WITH THE RAWP.
- 2. THE SITE IS REGULATED UNDER OSHA 29 CFR 1910.120 AND 1926.65. ALL CONTRACTORS AND WORKERS SHALL MAINTAIN COMPLIANCE WITH HAZARDOUS WASTE OPERATIONS AND EMERGENCY RESPONSE (HAZWOPER) TRAINING AND CERTIFICATION REQUIREMENTS. 3. CONTRACTOR IS RESPONSIBLE FOR PREPARING AND FOLLOWING A SITE-SPECIFIC HEALTH AND SAFETY PLAN
- BE AVAILABLE FOR EXAMINATION BY THE OWNER AND ENGINEER, IF REQUESTED. 4. DISCHARGES FROM CONSTRUCTION SITE ARE REGULATED BY THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT RHODE ISLAND POLLUTANT DISCHARGE SYSTEM ELIMINATION (RIPDES) PROGRAM. THE PROJECT SHALL COMPLY WITH THE CONDITIONS OF THE RIPDES GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION SITE RUNOFF, AND THE CITY OF PROVIDENCE CODE OF ORDINANCES, CHAPTER V

(HASP) IN ACCORDANCE WITH OSHA 29 CFR 1910.120. A COPY MUST BE MAINTAINED ON-SITE AT ALL TIMES AND

- VERIFY THE PROPOSED LAYOUT WITH ITS RELATIONSHIP TO THE EXISTING SITE SURVEY AND CONFIRM ALL DIMENSIONS, SITE CONDITIONS, AND MATERIAL SPECIFICATIONS ARE CONSISTENT. NOTIFY THE OWNER AND ENGINEER IN WRITING OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING OR PROCEEDING WITH
- 6. OBTAIN ALL NECESSARY PERMITS, INSPECTIONS, BONDS, ETC. AND OTHER APPROVAL RELATED ITEMS WITH THE LOCAL AND STATE MUNICIPALITIES. APPLICATION FEES SHALL BE PAID BY OWNER. NO CONSTRUCTION SHALL COMMENCE UNTIL SUCH PERMITS HAVE BEEN SECURED AND THE CONTRACTOR HAS SUPPLIED THE REQUIRED
- METHODS AND MATERIALS USED IN THE CONSTRUCTION OF IMPROVEMENTS FOR THIS PROJECT SHALL CONFORM TO THE CURRENT CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE LOCAL MUNICIPALITY AND THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION.
- 8. DEVIATIONS OR CHANGES FROM THESE PLANS WILL NOT BE ALLOWED UNLESS APPROVED BY THE
- CONTACT 'DIG SAFE' AT 1-888-344-7233, 72 HOURS PRIOR, EXCLUDING WEEKENDS AND HOLIDAYS, TO ANY
- 10. THE EXISTENCE AND/OR LOCATION OF UTILITIES SHOWN ON THESE PLANS MAY BE ONLY APPROXIMATELY CORRECT. MAKE EXPLORATORY EXCAVATIONS AND LOCATE ANY EXISTING UTILITIES AND NOTIFY OWNER/ENGINEER OF ANY DISCREPANCIES FROM CONTRACT DOCUMENTS. THE OWNER SHALL BE NOTIFIED AS TO THE RELOCATIONS REQUIRED PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN HEREON AND ANY OTHER EXISTING UTILITIES NOT OF RECORD OR NOT SHOWN ON THESE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING, AT HIS/HER EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
- 11. AN APPROVED SET OF PLANS, SIGNED SOIL EROSION AND SEDIMENT CONTROL PLAN (AKA STORMWATER POLLUTION PREVENTION PLAN), AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE
- 12. THE CONTRACTOR IS RESPONSIBLE FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY
- CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. 13. IDENTIFY TREES TO BE REMOVED PRIOR TO CONSTRUCTION AND MARK THEM WITH CONSTRUCTION TAPE FOR
- REVIEW BY THE OWNER/ENGINEER. TREES AND OTHER EXISTING VEGETATION SHALL BE RETAINED WHEREVER FEASIBLE. DO NOT REMOVE TREES UNTIL REVIEWED AND APPROVED BY THE OWNER/ENGINEER.
- 15. RESTORE HARDSCAPE IMPROVEMENTS WITH MATCHING MATERIALS (I.E. ANY PAVEMENT, WALKS, CURBS, ETC.) THAT
- MUST BE CUT OR THAT ARE DAMAGED DURING CONSTRUCTION. 16. RESTORE DISTURBED LANDSCAPE AREAS TO ORIGINAL CONDITION (I.E. SEEDED, SODDED, PLANTED) UNLESS
- OTHERWISE DIRECTED WITHIN CONTRACT DOCUMENTS. 17. ADJUST UTILITY COVERS, GRATES, AND HAND HOLES TO FINISH GRADE.

SOIL EROSION AND SEDIMENT CONTROL INSTALLATION

- FOLLOW THE SITE-SPECIFIC SESC PLAN, SITE PREPARATION PLAN, EROSION AND SEDIMENT CONTROL SPECIFICATION, AS WELL AS RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK AND THE CITY OF PROVIDENCE SOIL EROSION AND SEDIMENT CONTROL (ARTICLE VII) IN THE CODE OF ORDINANCES IN CONSTRUCTING THE EROSION AND SEDIMENT CONTROLS INDICATED ON THE PLANS. ALL EROSION AND SEDIMENT CONTROL
- MEASURES OR WORKS AND REHABILITATION MEASURES MUST CONFORM TO OR EXCEED THESE REQUIREMENTS. 2. THE TIMELY INSTALLATION, INSPECTION, AND MAINTENANCE/REPLACEMENT OF SEDIMENT AND EROSION CONTROL DEVICES TO ENSURE PROPER OPERATION AND PERMIT COMPLIANCE IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL CONSTRUCTION OF THE PROJECT IS COMPLETE AND ACCEPTED BY THE OWNER. THE OWNER IS RESPONSIBLE THEREAFTER. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONTINUE TO BE MAINTAINED IN EFFECTIVE CONDITION UNTIL SITE STABILIZATION.
- 3. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES, INSTALL ALL EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN ON THE PLAN, OR AS DIRECTED BY THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND LOCAL MUNICIPALITY, OR AS MAY BE REQUIRED TO PREVENT SEDIMENT FLOW TO STORM

SOIL EROSION AND SEDIMENT CONTROL INSPECTION

- A SITE-SPECIFIC SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC PLAN) HAS BEEN PREPARED. THE SESC PLAN MUST BE REVIEWED AND SIGNED BY THE OWNER, OPERATOR (I.E CONTRACTOR), AND CONTRACTOR'S DESIGNATED SESC INSPECTOR. A HARD-COPY OF THE SIGNED SESC PLAN, INCLUDING ALL INSPECTION REPORTS. CORRECTIVE ACTION LOGS, AND ADDENDA, MUST BE KEPT ON SITE AT ALL TIMES THROUGHOUT CONSTRUCTION.
- . AN INSPECTION OF STORMWATER CONTROL MEASURES MUST BE CONDUCTED BY THE CONTRACTOR AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS, AND WITHIN TWENTY-FOUR (24) HOURS AFTER ANY STORM EVENT WHICH GENERATES AT LEAST 0.25 INCHES OF RAINFALL PER TWENTY-FOUR (24) HOUR PERIOD.
- PREPARE AN INSPECTION REPORT SUMMARIZING THE SCOPE OF THE INSPECTION, NAME(S) AND TITLES OF PERSONNEL MAKING THE INSPECTION, THE DATE(S) OF THE INSPECTION, MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE SESC PLAN, AND CORRECTIVE ACTIONS WHICH MUST BE MADE. SUCH REPORTS MUST IDENTIFY ANY INCIDENTS OF NONCOMPLIANCE. WHERE AN INSPECTION DOES NOT IDENTIFY ANY INCIDENTS OF NONCOMPLIANCE, A INSPECTION REPORT MUST STILL BE PREPARED TO CERTIFY THAT THE SITE IS IN COMPLIANCE WITH THE SESC PLAN AND RIPDES PERMIT. THE INSPECTION REPORT MUST BE SIGNED BY THE INSPECTOR AND OPERATOR AND KEPT WITH THE ON-SITE SESC PLAN.
- FOLLOWING AN INSPECTION, ALL CORRECTIVE ACTIONS MUST BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS. A CORRECTIVE ACTION LOG MUST BE SIGNED BY THE OPERATOR AND KEPT WITH THE ON-SITE SESC PLAN.
- 5. BASED ON THE RESULTS OF THE INSPECTIONS, THE SESC PLAN MUST BE REVISED AS APPROPRIATE, BUT IN NO CASE LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING THE INSPECTION. SUCH MODIFICATIONS MUST PROVIDE FOR IMPLEMENTATION OF ANY CHANGES TO THE SESC PLAN WITHIN SEVEN (7) CALENDAR DAYS FOLLOWING THE
- 6. IF AN INSPECTION REVEALS A DISCHARGE OF SEDIMENTS TO THE WATERS OF THE STATE OR A SEPARATE STORM SEWER SYSTEM, THE PERMITTEE MUST NOTIFY THIS OFFICE OF THE NATURE OF THE DISCHARGE, THE MEASURES
- TAKEN TO CLEAN UP THE DISCHARGE, AND THE MEASURES TAKEN TO PREVENT FUTURE RELEASES. 7. A HARD COPY OF THE COMPLETE SESC PLAN, INCLUDING ALL INSPECTION REPORTS, CORRECTIVE ACTION LOGS, AND ADDENDA, MUST BE RETAINED BY THE OWNER FOR AT LEAST FIVE (5) YEARS FROM THE DATE THAT THE SITE HAS UNDERGONE FINAL STABILIZATION.
- 8. THE CITY OF PROVIDENCE BUILDING OFFICIAL OR HIS/HER DESIGNEE SHALL PERFORM PERIODIC INSPECTIONS OF ALL WORK. THE CONTRACTOR SHALL NOTIFY THE BUILDING OFFICIAL FOR A FINAL INSPECTION AT THE PROJECT COMPLETION. THE CONTRACTOR SHALL INDICATE TO THE BUILDING OFFICIAL THAT ALL GRADING, DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, AND LANDSCAPING CONFORM TO THE CITY'S APPROVAL OF SUBMITTED PLANS, SPECIFICATIONS, CONDITIONS, AND OTHER APPLICABLE PROVISIONS.

SPILL PREVENTION AND RESPONSE PROCEDURE

- I. ANY INADVERTENT OR DELIBERATE DISCHARGE OF WASTE OIL OR ANY OTHER POLLUTANT TO THE STORMWATER SYSTEM (I.E. INFILTRATION BEST MANAGEMENT PRACTICES, OR CLOSED-CONDUIT DRAINAGE SYSTEM THAT DISCHARGES TO MUNICIPAL SEPARATE STORM SEWER SYSTEM OR WATER BODY) REQUIRES IMMEDIATE NOTIFICATION TO THE RIDEM OIL POLLUTION CONTROL PROGRAM AT (401) 277-2284, AS PER THE OIL POLLUTION CONTROL REGULATIONS. DURING NON-WORKING HOURS, NOTIFICATION OF SPILLS CAN BE MADE TO THE RIDEM DIVISION OF ENFORCEMENT AT (401) 222-3070 (THE 24-HOUR EMERGENCY RESPONSE PHONE NUMBER).
- 2. ANY INCIDENT OF GROUNDWATER CONTAMINATION RESULTING FROM THE IMPROPER DISCHARGE OF POLLUTANTS TO THE STORMWATER DISPOSAL SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AS WELL AS ANY OTHER PARTIES THAT THE RIDEM DETERMINES TO BE RESPONSIBLE FOR THE CONTAMINATION. PURSUANT TO STATE LAWS AND REGULATIONS, THE RIDEM MAY REQUIRE THE PROPERTY OWNER, CONTRACTOR, AND OTHER
- RESPONSIBLE PARTIES TO REMEDIATE ANY INCIDENTS THAT MAY ADVERSELY IMPACT GROUNDWATER QUALITY. 3. UPON TRANSFER OF THE PROPERTY, THE NEW OWNER SHALL BE INFORMED AS TO THE LEGAL RESPONSIBILITIES

STORMWATER MAINTENANCE PROGRAM

ASSOCIATED WITH DISPOSAL SYSTEM, AS INDICATED ABOVE.

- OPERATION AND MAINTENANCE OF STORMWATER MANAGEMENT SYSTEM SHALL BE CONDUCTED IN ACCORDANCE WITH SITE-SPECIFIC LONG-TERM OPERATION & MAINTENANCE PLAN.
- 2. THE CONTRACTOR IS RESPONSIBLE FOR OPERATION AND MAINTENANCE OF STORMWATER MANAGEMENT SYSTEM UNTIL COMPLETION OF CONSTRUCTION AND OWNER ACCEPTANCE. THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM ONCE CONSTRUCTION IS COMPLETE.



This drawing is the property of Tecton Architects | pc The use, re-use or reproduction of this drawing for any purpose whatsoever without an expressed written agreement between Tecton Architects | pc and the user is prohibited. Rights to use the information on this sheet are not transferred until payment has been received for services rendered. Any rights so granted are non-transferable to other parties without the prior expressed written consent of Tecton Architects | pc © 2022 Tecton Architects I pc



Client/ Contractor

CITY OF PROVIDENCE

25 DORRANCE STREET PROVIDENCE, RI 02903

FRANK D. SPAZIANO **ELEMENTARY SCHOOL**

> 240 LABAN STREET PROVIDENCE, RI 02909

NOT FOR CONSTRUCTION

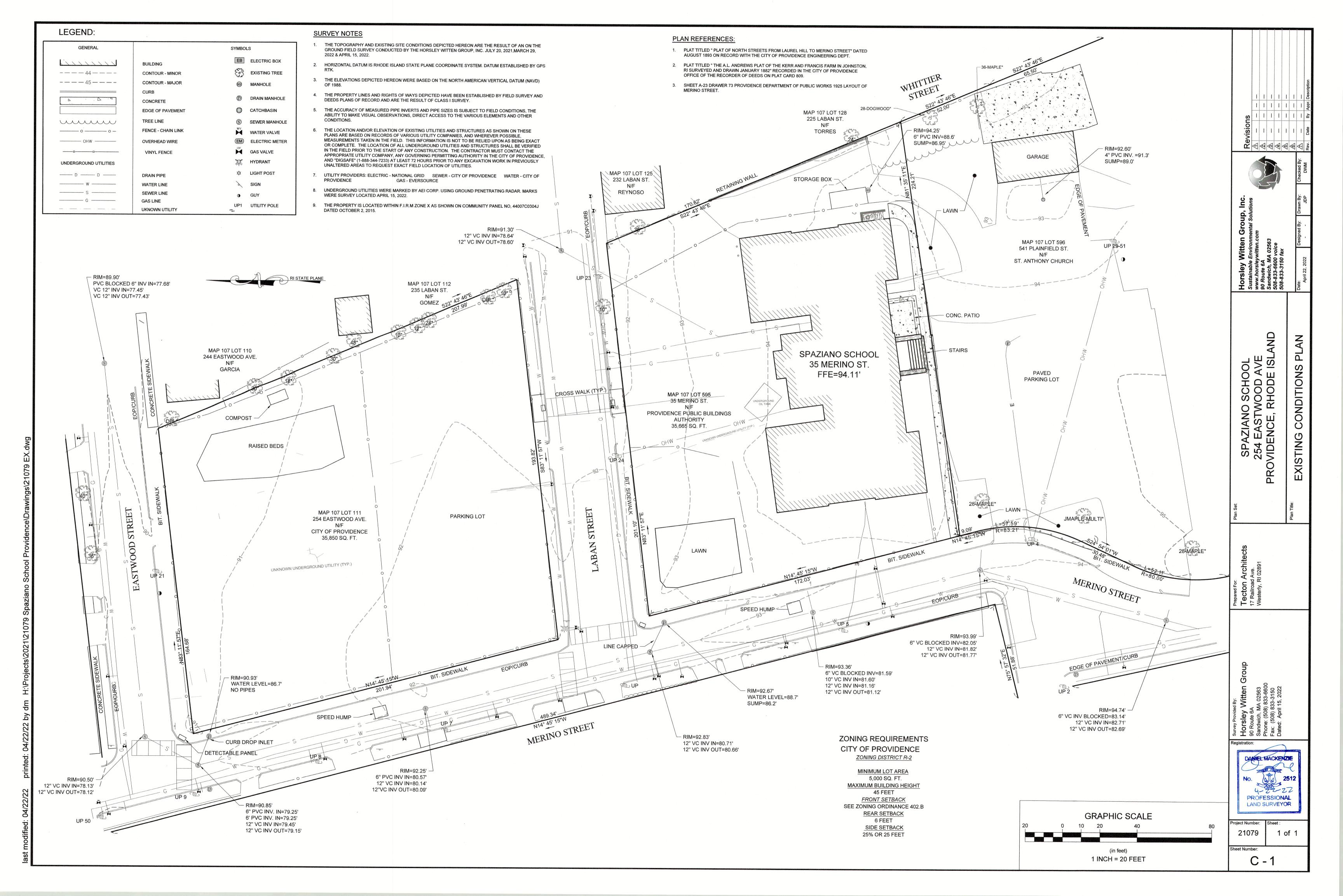


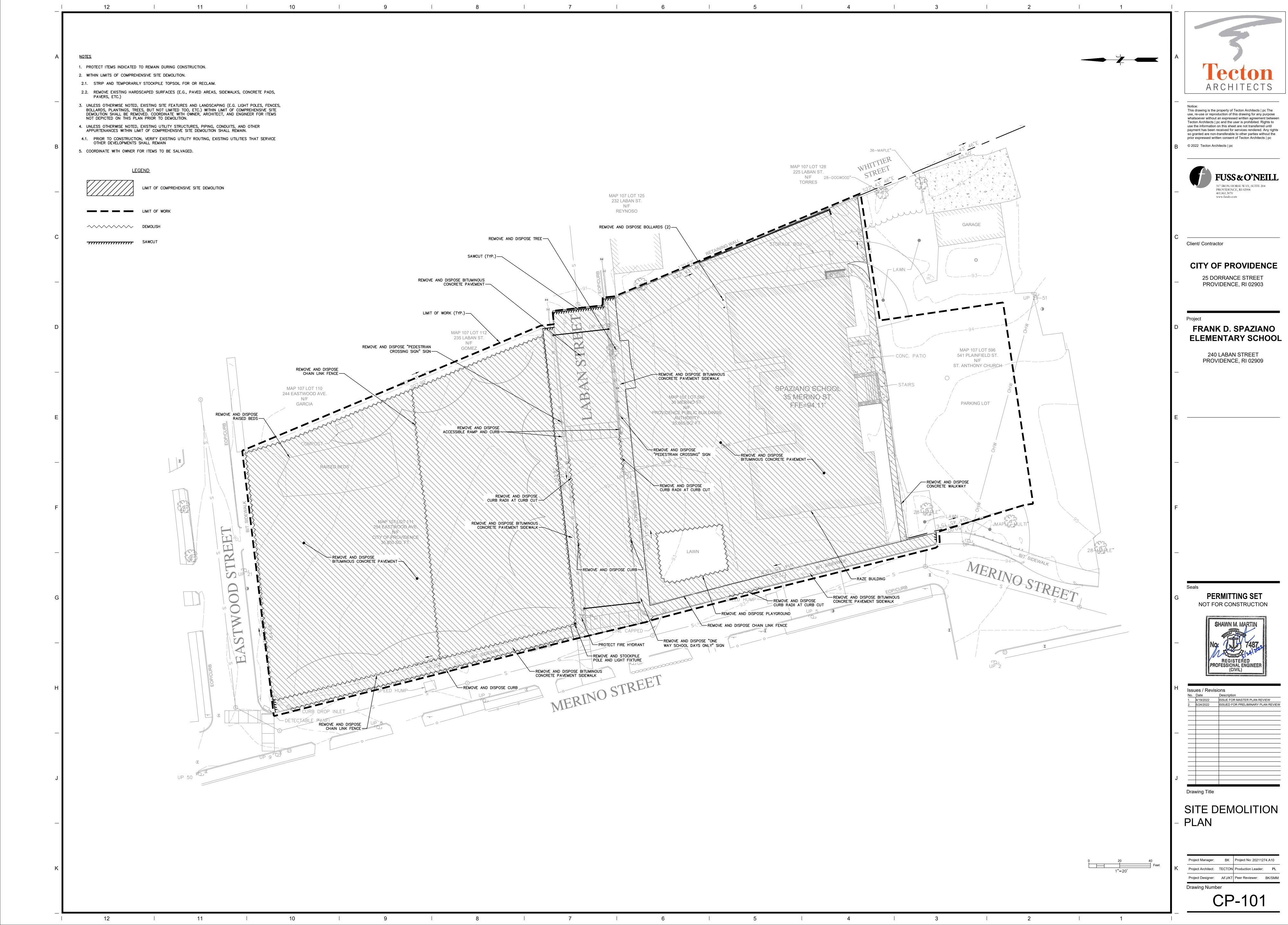
No.	Date	Description
1.	4/19/2022	ISSUE FOR MASTER PLAN REVIEW
2.	5/24/2022	ISSUED FOR PRELIMINARY PLAN REVI

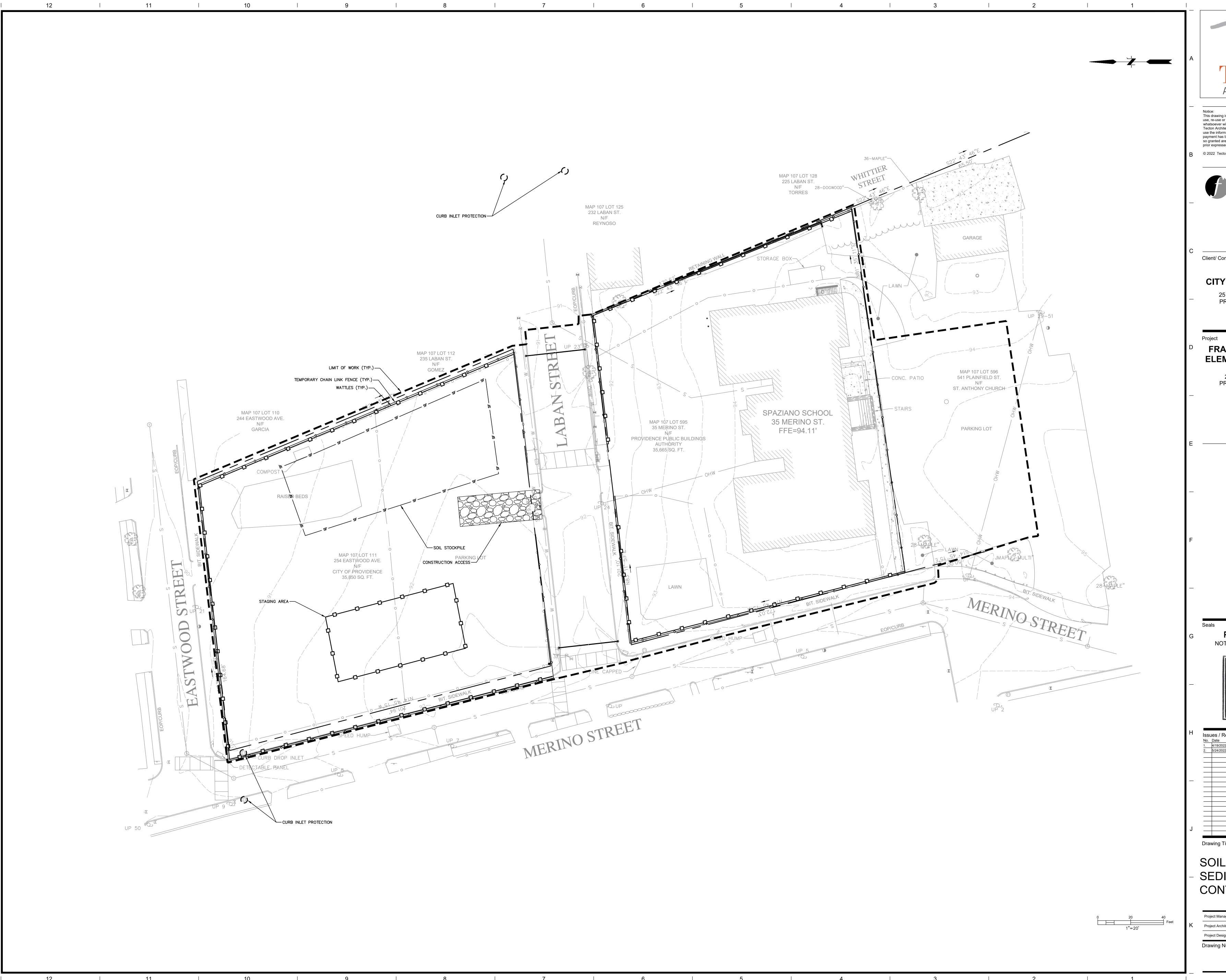
GENERAL NOTES & LEGEND SHEET

Project Architect: TECTON Production Leader: Project Designer: AFJ/KT Peer Reviewer: BK/SMM **Drawing Number**

CN-101









This drawing is the property of Tecton Architects | pc The use, re-use or reproduction of this drawing for any purpose whatsoever without an expressed written agreement between Tecton Architects | pc and the user is prohibited. Rights to use the information on this sheet are not transferred until payment has been received for services rendered. Any rights so granted are non-transferable to other parties without the prior expressed written consent of Tecton Architects | pc © 2022 Tecton Architects | pc



Client/ Contractor

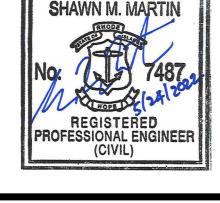
CITY OF PROVIDENCE

25 DORRANCE STREET PROVIDENCE, RI 02903

FRANK D. SPAZIANO **ELEMENTARY SCHOOL**

240 LABAN STREET PROVIDENCE, RI 02909

PERMITTING SET NOT FOR CONSTRUCTION

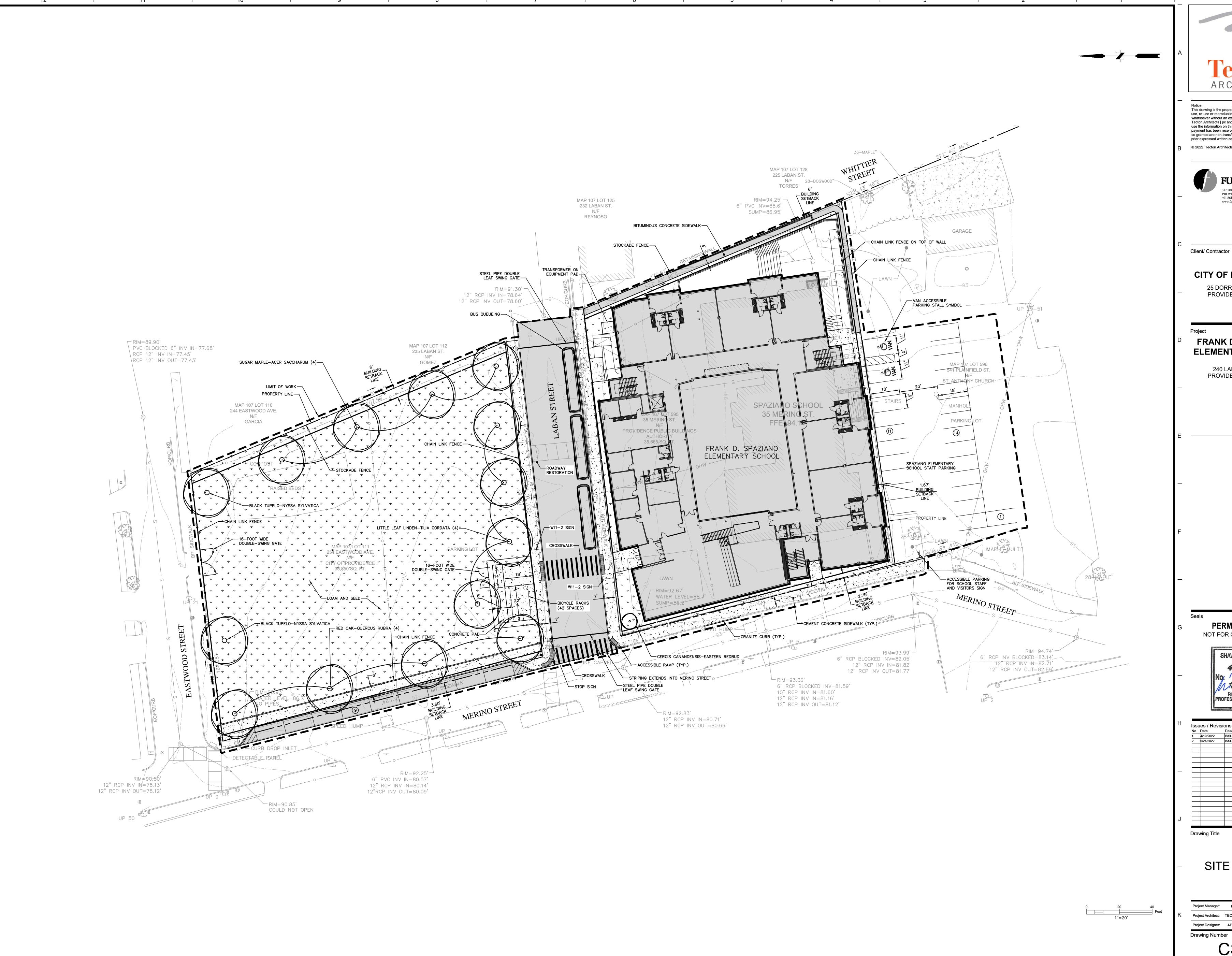


No.	Date	Description
1.	4/19/2022	ISSUE FOR MASTER PLAN REVIEW
2.	5/24/2022	ISSUED FOR PRELIMINARY PLAN REVI
	-	
	-	
	1	
_		
	1	
_	1	

SOIL EROSION AND SEDIMENTATION CONTROL PLAN

Project Designer: AFJ/KT Peer Reviewer: BK/SMM Drawing Number

CE-101





This drawing is the property of Tecton Architects | pc The use, re-use or reproduction of this drawing for any purpose whatsoever without an expressed written agreement between Tecton Architects | pc and the user is prohibited. Rights to use the information on this sheet are not transferred until payment has been received for services rendered. Any rights so granted are non-transferable to other parties without the prior expressed written consent of Tecton Architects | pc © 2022 Tecton Architects | pc



CITY OF PROVIDENCE

25 DORRANCE STREET PROVIDENCE, RI 02903

FRANK D. SPAZIANO **ELEMENTARY SCHOOL**

240 LABAN STREET PROVIDENCE, RI 02909

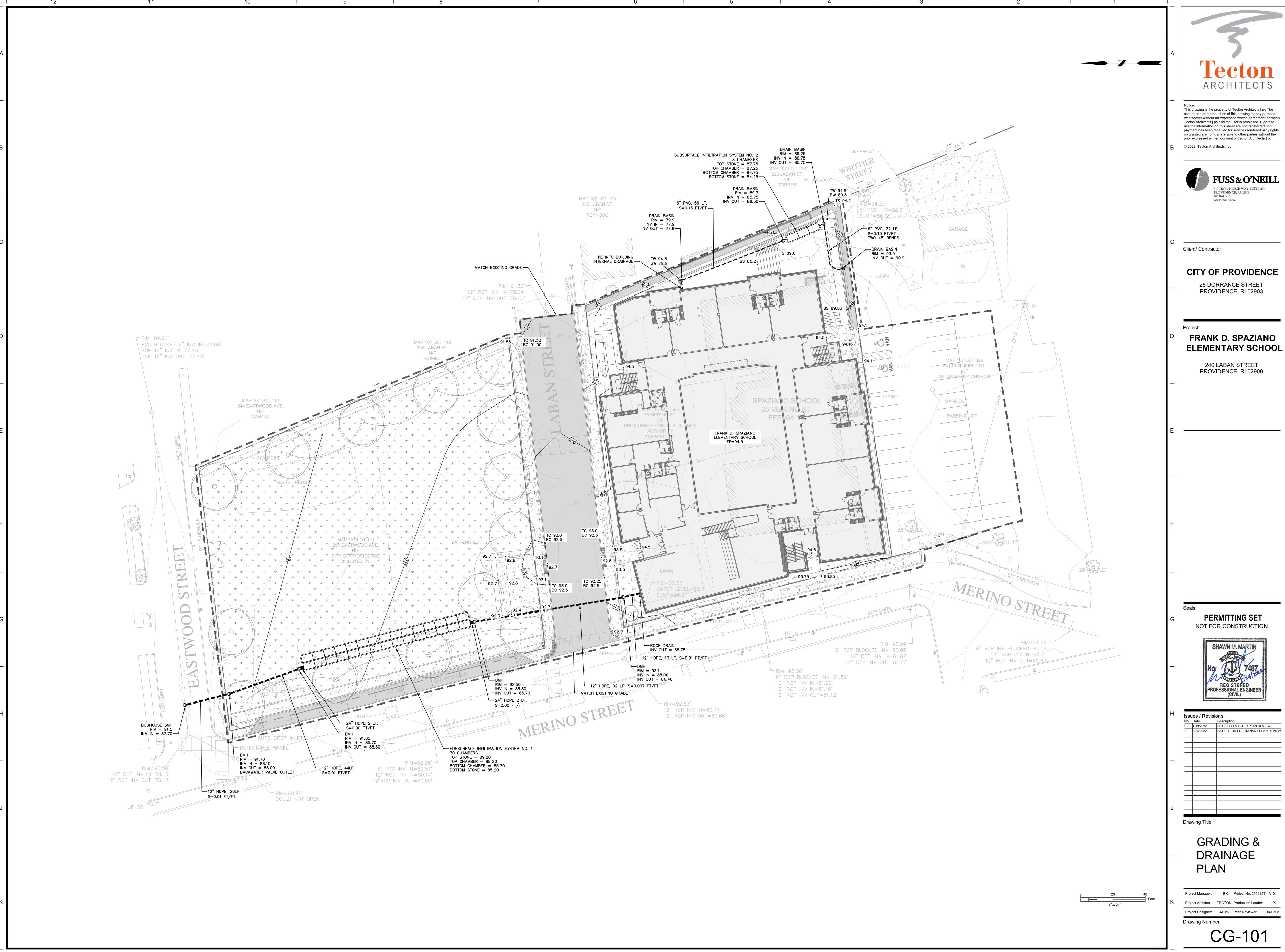
NOT FOR CONSTRUCTION



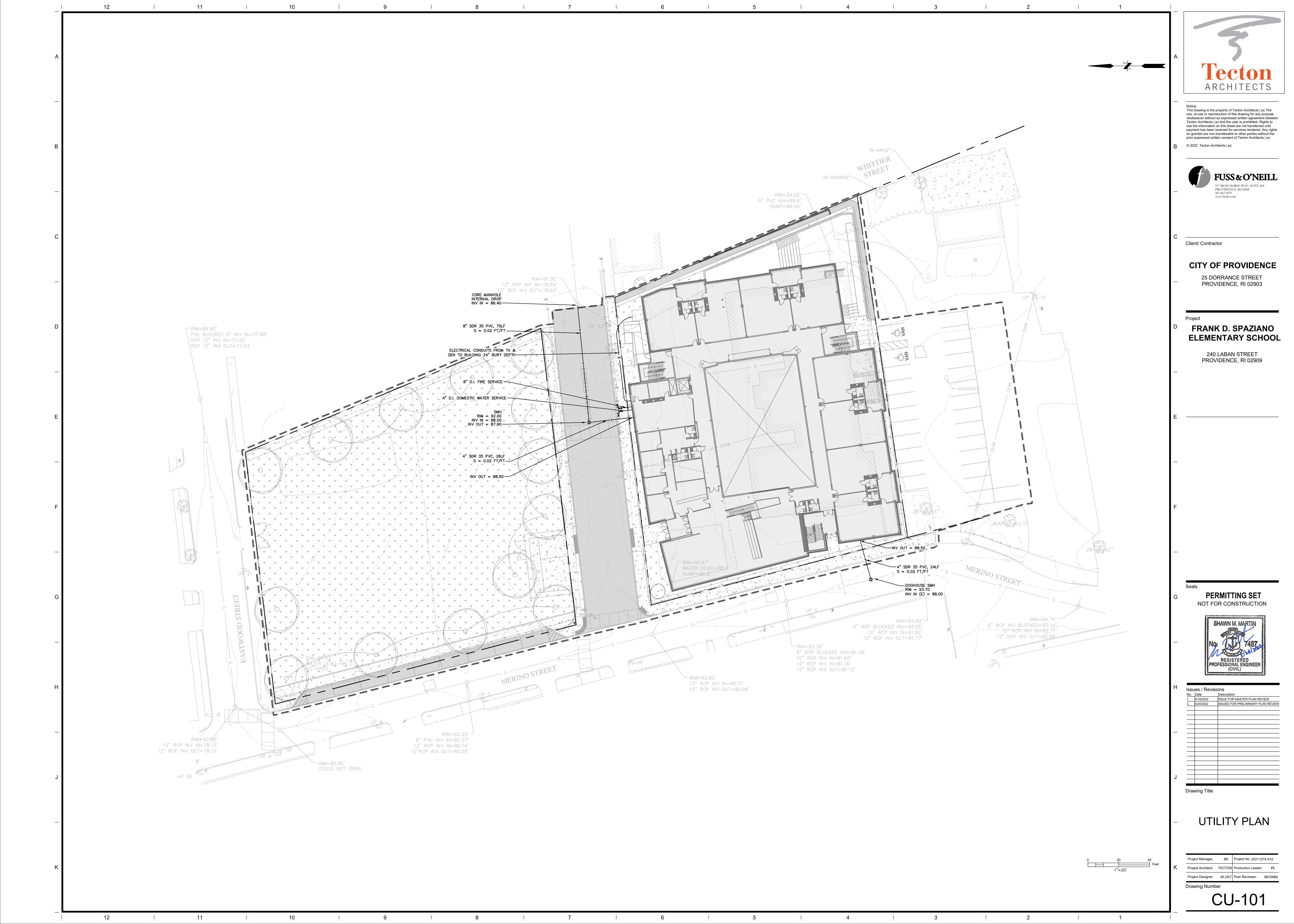
<u>No.</u>	Date	Description
1.	4/19/2022	ISSUE FOR MASTER PLAN REVIEW
2	5/24/2022	ISSUED FOR PRELIMINARY PLAN REVIE

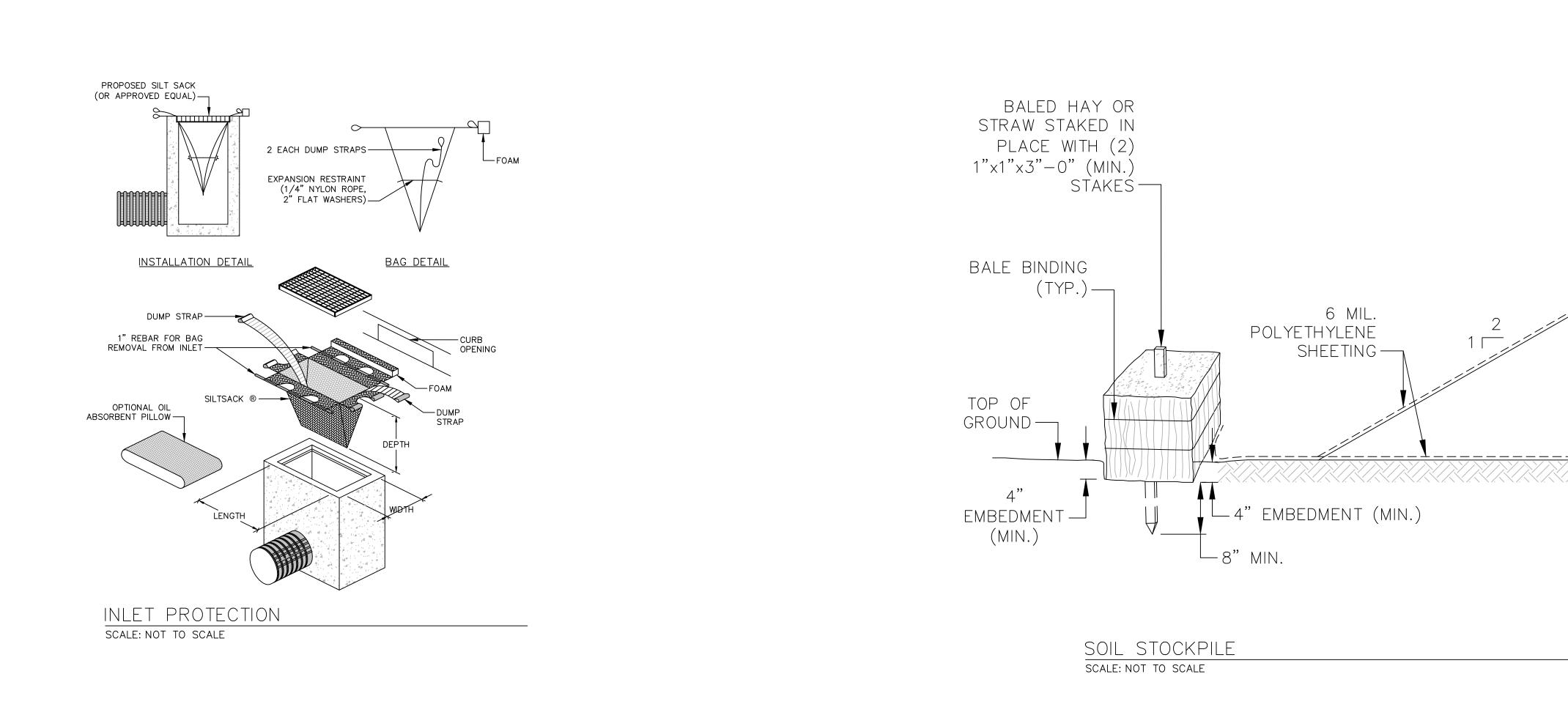
SITE PLAN

	Project Manager:	ВК	Project No: 2021127	74.A10
K	Project Architect:	TECTON	Production Leader:	PL
	Project Designer:	AFJ/KT	Peer Reviewer:	BK/SMM
	Drawing Numb	er		



Project Designer: AFJ/KT Peer Reviewer: BK/SMM





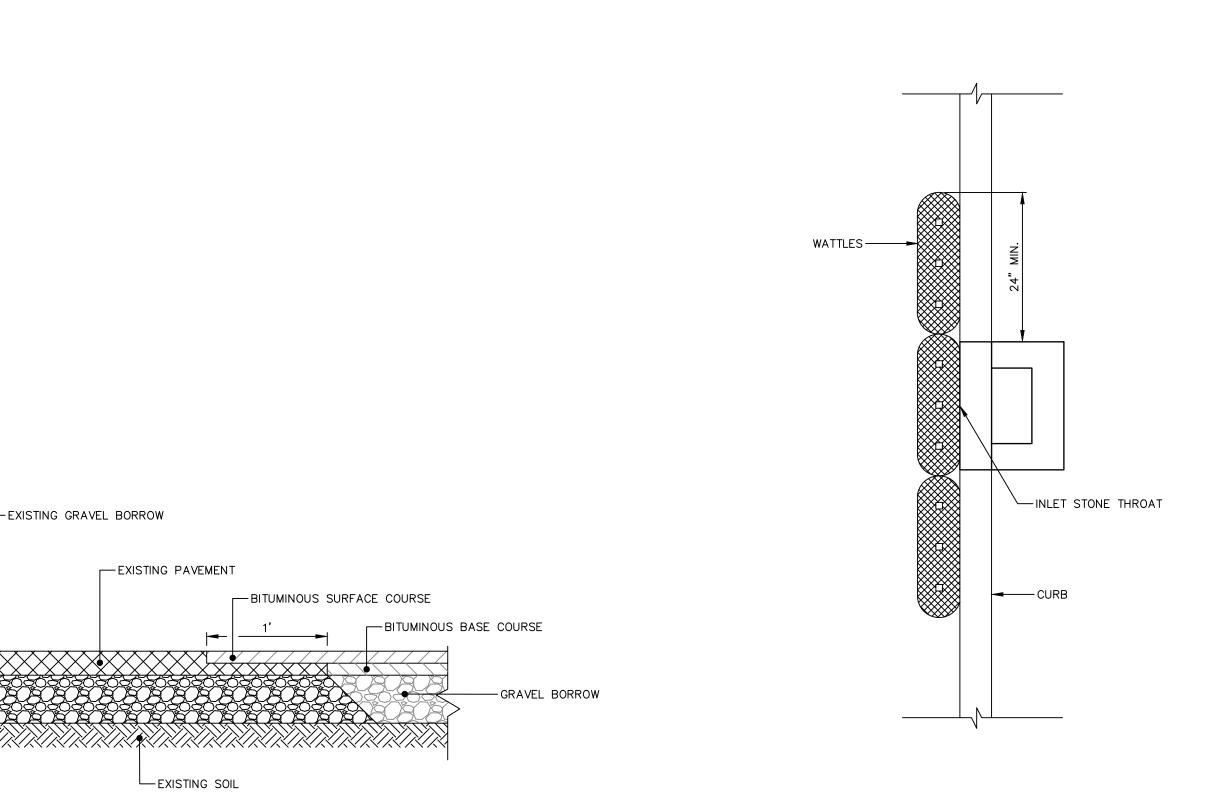
CRUSHED STONE —

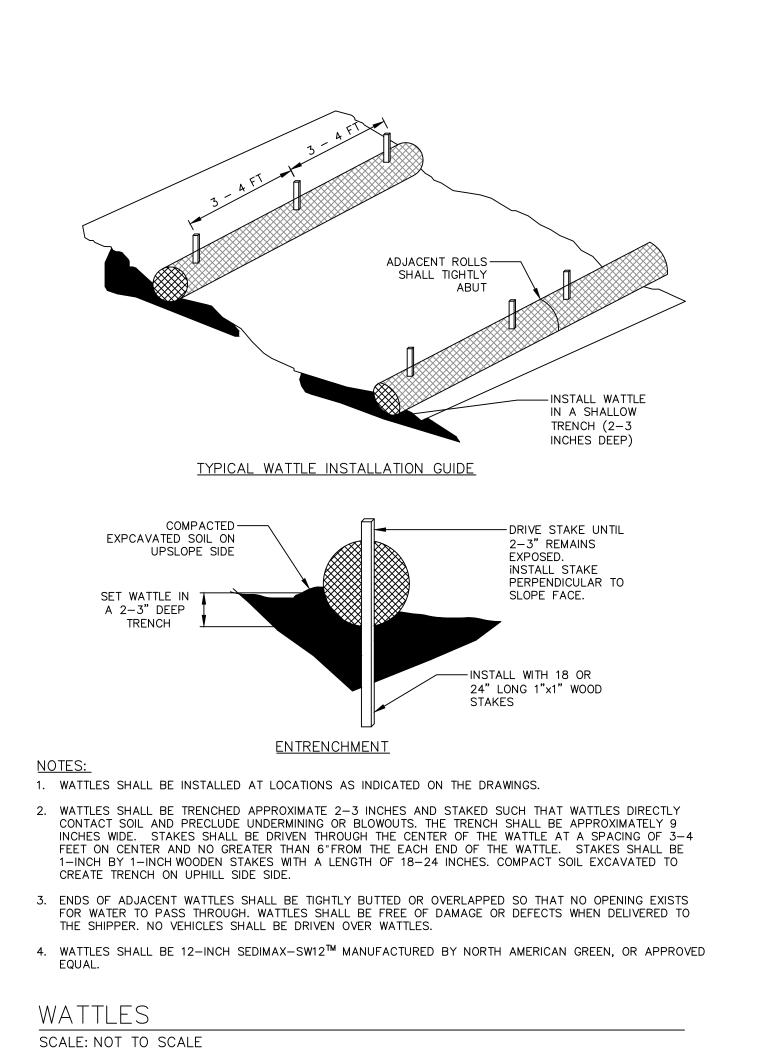
STANDARD SPECIFICATIONS.

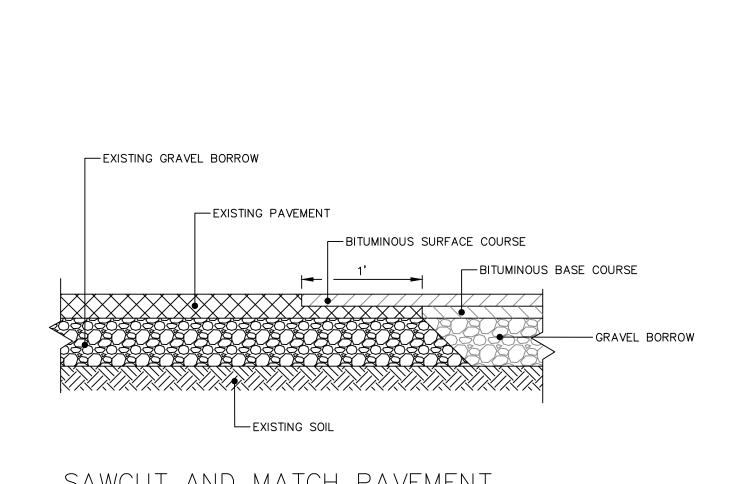
SCALE: NOT TO SCALE

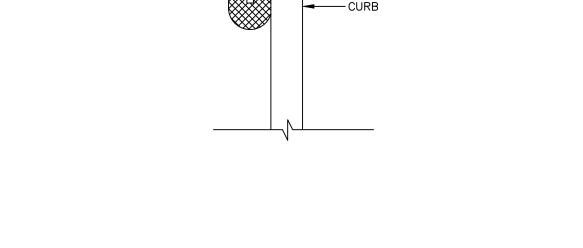
SHALL BE IN ACCORDANCE WITH SECTION 211 OF THE R.I.

REQUIRED









AREA OF

---HEAVY-DUTY

SILTFENCE

FABRIC (TOP

AND BOTTOM)

FABRIC

- COMPACTED

BACKFILL IN

TRENCH

-BURY FLAP OF

IN BOTTOM OF TRENCH

— 6" MIN.

CORD SEWN IN

STOCKPILE

METAL CONNECTION

SUPPORT NETTING

HEIGHT VARIES

(HEAVY DUTY

PLASTIC MESH) -

2"x2"x4'-6"

(MAX.) OAK

CABLE 1/8"ø (MIN.)—

STAGING AREA DISTURBANCE

CONSTRUCTION ACCESS (R.I. STD. 9.9.0) SAWCUT AND MATCH PAVEMENT SCALE: NOT TO SCALE

CURB INLET PROTECTION SCALE: NOT TO SCALE

This drawing is the property of Tecton Architects | pc The use, re-use or reproduction of this drawing for any purpose whatsoever without an expressed written agreement between Tecton Architects | pc and the user is prohibited. Rights to use the information on this sheet are not transferred until payment has been received for services rendered. Any rights so granted are non-transferable to other parties without the prior expressed written consent of Tecton Architects | pc © 2022 Tecton Architects | pc



Client/ Contractor

CITY OF PROVIDENCE

25 DORRANCE STREET PROVIDENCE, RI 02903

FRANK D. SPAZIANO **ELEMENTARY SCHOOL**

> 240 LABAN STREET PROVIDENCE, RI 02909

PERMITTING SET NOT FOR CONSTRUCTION

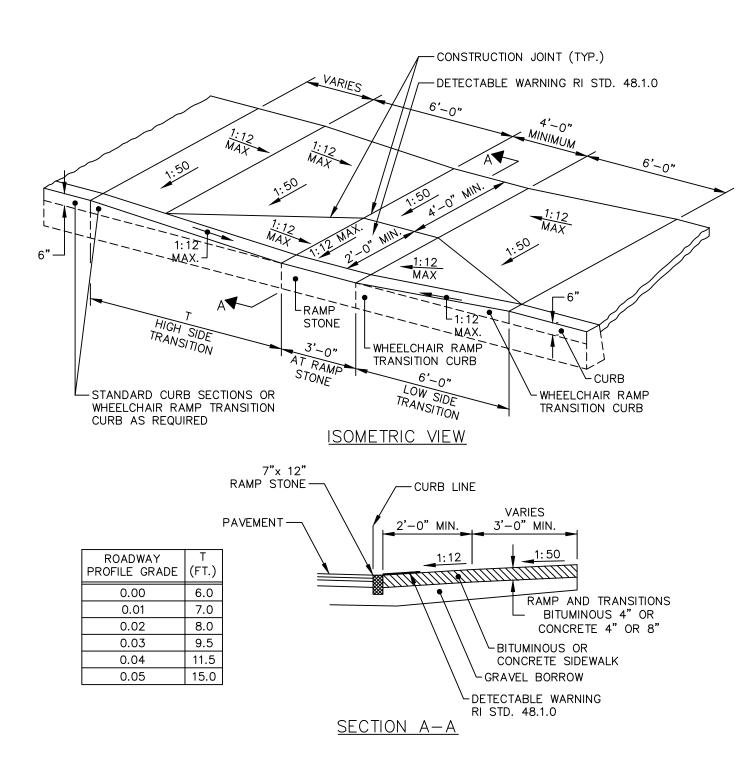


<u> 100.</u>	Date	Description
<u>1. </u>	4/19/2022	ISSUE FOR MASTER PLAN REVIEW
2	5/24/2022	ISSUED FOR PRELIMINARY PLAN R

CONSTRUCTION **DETAILS**

Project Designer: AFJ/KT Peer Reviewer: BK/SMM Drawing Number

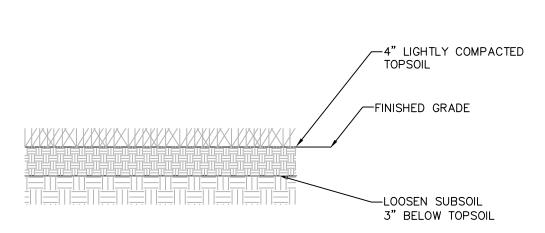
CD-501



ACCESSIBLE RAMP-TYPE I (R.I. STD.

43.3.0)

SCALE: NOT TO SCALE



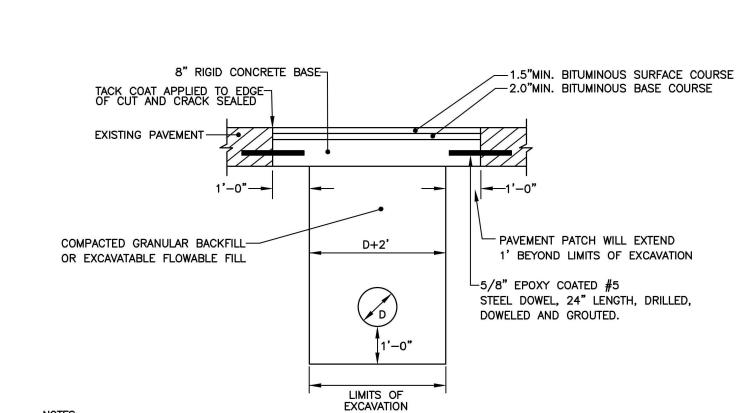
NOTES:

1. REUSE TOPSOIL ON-SITE. VERIFY SUITABILITY OF STOCKPILED TOPSOIL TO PRODUCE LOAM. CLEAN TOPSOIL OF ROOTS, PLANTS, SOFT, STONES, CLAY LUMPS, AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH. 1.1. SUPPLEMENT WITH IMPORTED OR MANUFACTURED LOAM FROM OFF-SITE SOURCES WHEN QUANTITIES ARE INSUFFICIENT, OBTAIN TOPSOIL DISPLACED FROM NATURALLY WELL-DRAINED CONSTRUCTION OR MINING SITES WHERE TOPSOIL OCCURS AT LEAST 4 2. LOAM OR RESPREAD TOPSOIL SHALL CONFORM TO ASTM D5268, WITH PH BETWEEN 5.5 AND 7, A MINIMUM OF 6 PERCENT ORGANIC MATERIAL CONTENT, FREE OF STONES 1/4 INCH OR LARGER AND FREE OF OTHER EXTRANEOUS MATERIALS. SHALL NOT BE OBTAINED FROM

AGRICULTURAL LAND, BOGS, OR MARSHES. 3. ALL SURFACED AREAS OR DISTURBED AREAS NOT SPECIFIED ON THE PLANS SHALL RECEIVE 4 INCHES OF LOAM OR RESPREAD TOPSOIL, SEED, MULCH, AND BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. 4. SEED MIX SHALL BE "HART'S LOW GROW MIXTURE" OR APPROVED EQUAL BY ENGINEER.

LOAM AND SEED

SCALE: NOT TO SCALE

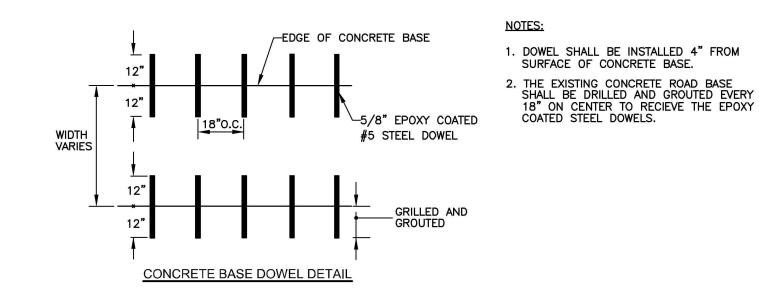


CONCRETE ROAD BASE MUST BE RESTORED TO THE EXISTING DEPTH OR A MINIMUM OF 8 INCHES. A MINIMUM
OF 3.5 INCHES OF BITUMINOUS CONCRETE SURFACE COURSE MEETING RIDOT SPECIFICATIONS, SECTION 401
SHALL BE PLACED OVER BASE.

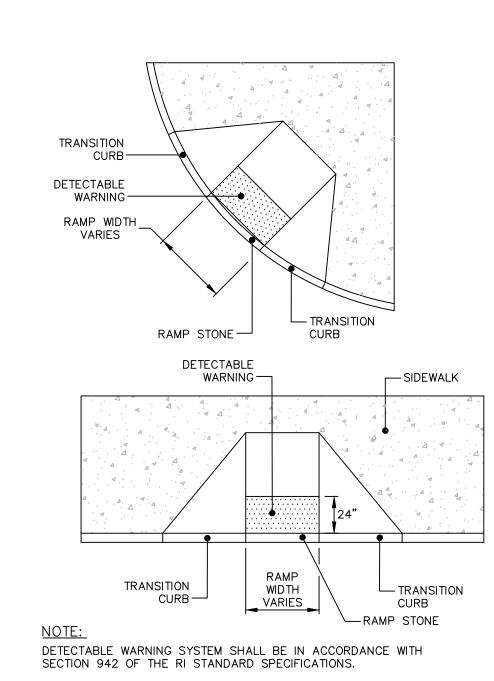
2. 8 INCH RIGID CONCRETE BASE SHALL BE TYPE XX (28 DAY -4000 PSI) PER RIDOT SPECIFICATIONS, SECTION 601. 3. PRIOR TO PERMANENT RESTORATION, ALL EDGES OF THE EXCAVATED AREA AND ONE FOOT BEYOND SHALL BE SAWCUT TO A CLEAN, SQUARE EDGE.

4. GRANULAR SUBGRADE MATERIAL SHALL BE COMPACTED TO 95% OF THE MODIFIED PROCTOR DENSITY (AASHTO T80), MEETING RIDOT SPECIFICATIONS, SECTION 301. 5. EXCAVATABLE FLOWABLE FILL (CONTROLLED DENSITY FILL, CDF) SHALL ADHERE TO RIDOT SPECIFICATIONS, SECTION 603. 6. IF EXCAVATION IS ON A PROTECTED STREET, THE REMAINING ROADWAY OUTSIDE THE TRENCH TO THE NEAREST CURB SHALL BE MILLED 1.5 INCHES WITH A 1.5 INCH BITUMINOUS CONCRETE SURFACE OVERLAY. THE JOINTS SHALL BE SEALED USING INFRARED TECHNOLOGY. THE LENGTH OF THE NEW PAVED AREA MUST BE A MINIMUM OF 10 FEET TO ALLOW FOR PROPER COMPACTION.

7. IF EXCAVATION IS ON NON PROTECTED STREET, AND THE DISTANCE FROM EDGE OF EXCAVATION TO EDGE OF ROADWAY IS TWO FEET OR LESS, THE REMAINING AREA TO SUCH EDGE OF ROADWAY SHALL BE REMOVED AND REPLACED IN CONJUNCTION WITH THE PERMANENT PAVEMENT RESTORATION.



ROADWAY RESTORATION (PROVIDENCE STD. 60.3.0 P) SCALE: NOT TO SCALE



1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I.

2. WHEN ANY OBSTRUCTION LOCATED IN THE SIDEWALK FALLS WITHIN A CROSSWALK AREA, THE WHEELCHAIR RAMP WILL BE PLACED SUCH THAT THE OBSTRUCTION FALLS OUTSIDE

AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP TO BE LOCATED OUTSIDE OF THE CROSSWALK, AND IT IS TO

4. DRAINAGE FACILITIES ARE TO BE LOCATED UP-GRADE OF

5. LOCATION OF WHEELCHAIR RAMPS IS AS SHOWN ON

6. IN NO INSTANCE SHALL THE SIDEWALK CROSS SLOPE

EXCEED 1:50 EXCEPT WITHIN THE RAMP AREA.

7. AN UNOBSTRUCTED PATH OF TRAVEL WITH A MINIMUM

9. WHERE THE ROAD PROFILE EXCEEDS 5% THE HIGH SIDE

11. THE ENTRANCE OF THE WHEELCHAIR RAMP SHALL BE

12. THE WHEELCHAIR RAMP SHALL BE CENTERED RADIALLY, OPPOSITE THE RADIUS POINT WHEN POSSIBLE.

TO BE 3'-0" (GREATER LENGTH PREFERRED).

942 OF THE RI STANDARD SPECIFICATIONS.

13. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES

14. ALL REQUIRED CUTTING OF CURB PIECES TO BE PAID FOR

15. DETECTABLE WARNINGS TO BE PAID FOR UNDER SECTION

16. 8" CONCRETE DEPTH FOR RADIUS WHEELCHAIR RAMPS

ONLY. USE 4" DEPTH FOR TANGENT (MID-BLOCK) LOCATIONS.

10. IN NO CASE, WHERE A STOP LINE IS WARRANTED, SHALL A RAMP BE PLACED BEHIND THE STOP LINE.

(TRANSITIONS), MUST NOT EXCEED 1:12. HOWEVER, THESE

SLOPES MAY BE FLATTER THAN 1:12 WHEN WARRANTED BY

TRANSITION LENGTH (T) SHALL BE EIGHTEEN FEET (18'-0").

WIDTH OF 3'-0" SHALL BE MAINTAINED.

8. THE WHEELCHAIR RAMP SLOPE AND SIDE SLOPES

BE CENTERED WHENEVER POSSIBLE.

ALL WHEELCHAIR RAMPS.

SURROUNDING CONDITIONS.

UNDER COST OF CURB.

CONTRACT DRAWINGS.

DETECTABLE WARNING SYSTEM (R.I. STD.

SCALE: NOT TO SCALE

7/16" HOLE O.C.

B (2'-0" MAX.) *

AT WEATHERED ROCK, DEPTH AS PER ENGINEER

SIGNS UP TO 28 SQ. FT.

USE BRACING FOR SIGN WIDTH EQUAL TO OR GREATER THAN 3'-0"

SIGNS UP TO 12 SQ. FT.

(SEE DETAIL "A")

ROADWAY-

SCALE: NOT TO SCALE

6"MIN. (TYP.)

||----||----|

SIGNS UP TO 8'-0"Wx4'-0"H DETAIL "A"

INTERVAL.

3. FOR INSTALLATION IN GROUND OR BITUMINOUS CONCRETE DRIVE SIGN POST ANCHOR TO REQUIRED DEPTH SO THAT THE HOLE.

3. FOR INSTALLATION IN GROUND OR BITUMINUOS CONCRETE DRIVE SIGN POST AND REQUIRED BET IN PLACE.

WILL MATCH TO SIGN POST ABOVE GROUND FOR THE BOLT CONNECTION. INSERT SIGN POST AND BOLT IN PLACE.

4. FOR INSTALLATION IN CONCRETE SEE STD. 25.3.0 AND FOLLOW THE PROCEDURE IN NOTE 2.

5. FOR INSTALLATION IN LEDGE LESS THAN 3'-0" BELOW GRADE SEE DETAIL ABOVE.

6. EDGE OF SIGN SHALL BE 1'-6" (MIN.) FROM EDGE OF CURB IN URBAN AREAS AND 6'-0" (MIN.) FROM EDGE OF CURB IN EDGE OF CURB IN RURAL AREAS.

7. INSTALLATION PROCEDURES SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

8. BREAKAWAY SIGN SUPPORTS SHALL BE FABRICATED FROM STEEL AND SHALL CONFORM TO THE BREAKAWAY DESIGN SHOWN ON THIS SHEFT.

8. BREARAWAT SIGN SOPPORTS SHALL BE FABRICATED FROM STEEL AND SIZE CONTROL TO THE BRISDIANT CONTROL

9. STEEL POSTS SHALL CONFORM TO ASTM—A361, FY= 55 KSI, THE CROSS SECTION OF THE POST SHALL BE SQUARE TUBE
FORMED OF 12 GAUGE (.105" U.S.S. GAUGE) COLD—ROLLED CARBON STEEL SHEETS WHICH HAVE BEEN ZINC COATED
(1.25 OZ.) CONFORMING TO ASTM—A525, CAREFULLY ROLLED TO SIZE AND WELDED DIRECTLY IN THE CORNER BY HIGH
FREQUENCY RESISTANCE WELDING OR EQUAL AND EXTERNALLY SCARED TO AGREE WITH CORNER RADII. STANDARD CORNER
RADIUS SHALL BE 3/32" PLUS OR MINUS 1/64".

10. ALL BOLTS SHALL CONFORM TO ASTM—A307, CLASS A.

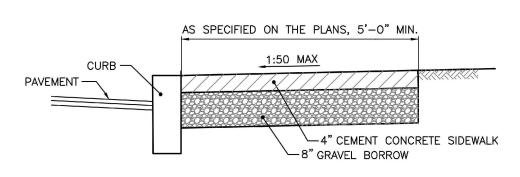
11. ALL BOLTS, NUTS AND WASHERS SHALL BE GALVANIZED AS PER ASTM—A153.

12. FOR SIGNS GREATER THAN 32 SQ. FT., REFER TO STD. 30.1.0, 30.1.1, 30.2.0, 30.2.1, 30.3.0, 30.3.1, 30.4.0, 30.4.1,
30.4.2 AND 30.4.3.

SIGN POST SELECTION AND INSTALLATION

DETAILS SQUARE POST (SIGNS UP TO

 $8'-0"W \times 4'-0"H$ (R.I. STD. 24.1.0)



1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS. 2. SEE CURB SETTING DETAIL WHERE APPLICABLE. 3. RUNNING SLOPE OF SIDEWALK SHALL NOT EXCEED 8.3% (1:12). TYPICALLY, RUNNING SLOPE SHALL MATCH ROAD SLOPE.

4. CROSS SLOPE OF SIDEWALK SHALL NOT EXCEED 2% (1:50). 5. SIDEWALK MAY BE SUBJECT TO GRASS STRIP INSTALLATION. CONSULT WITH DPW ENGINEERING

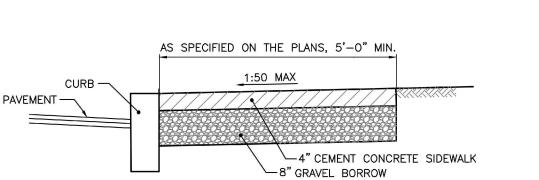
6. GRAVEL BORROW BASE SHALL COMPACT TO ACHEIVE SOIL DENSITY VALUES OF 95% MODIFIED PROCTOR DENSITY (AASHTO T180). 7. SIDEWALK REPAIRS TWENTY FEET OR LONGER ARE SUBJECT TO REQUIREMENTS HEREIN.

SIDEWALK REPAIRS SHORTER THAN TWENTY FEET SHALL MAKE EVERY EFFORT TO MEET

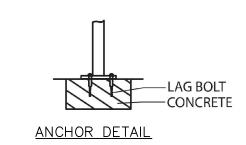
REQUIRED SLOPES. 8. CONTROLL JOINTS SHALL BE INSTALLED EVERY 5 FEET IN EACH DIRECTION. 9. EXPANSION JOINTS SHALL BE INSTALLED EVERY 20 FEET IN EACH DIRECTION AT FOUNDATIONS AND WALLS AND IN A SQUARE PATTERN AROUND MANHOLE COVERS, HYDRANTS, SIGN POSTS AND UTILITY POLES. THE EXPANSION JOINT SHALL BE THE FULL DEPTH OF THE SIDEWALK AND FILLED WITH AN APPROVED TYPE OF PREMOLDED

CEMENT CONCRETE SIDEWALK SCALE: NOT TO SCALE

EXPANSION JOINT FILLER.



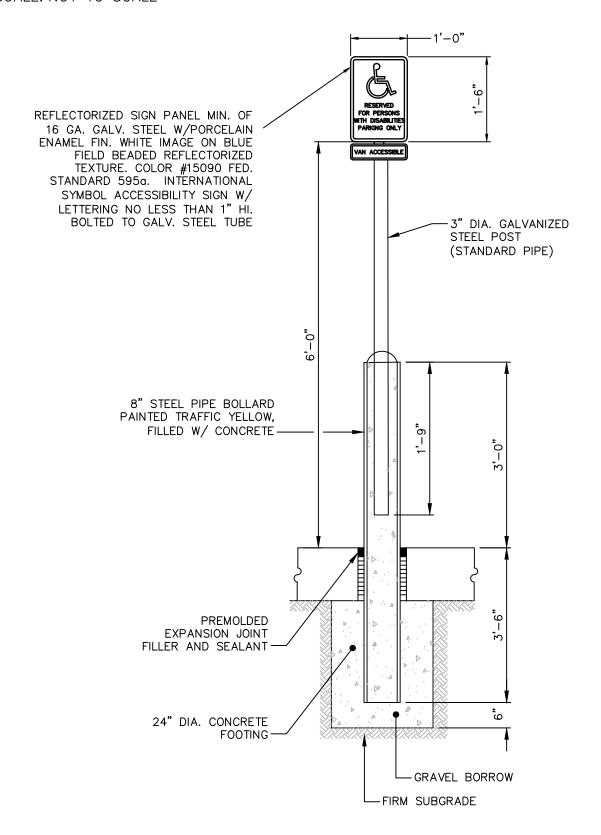
── 91-7/8"±1"**──** 2" SCHED 40 PIPE (2-3/8" O.D.) **ELEVATION**



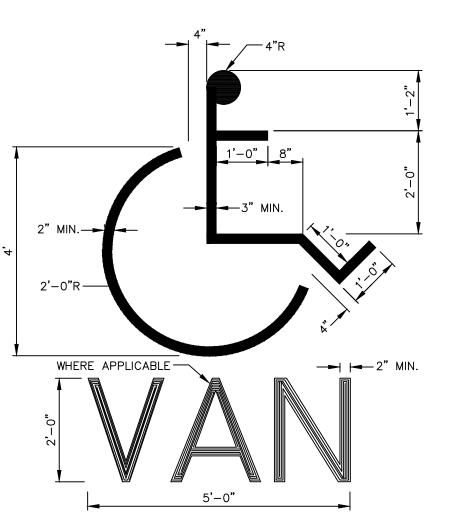
<u>ISOMETRIC</u>

1. OWNER SHALL SELECT AND APPROVE FINAL COLOR FOR BICYCLE RACKS

BICYCLE RACK SCALE: NOT TO SCALE

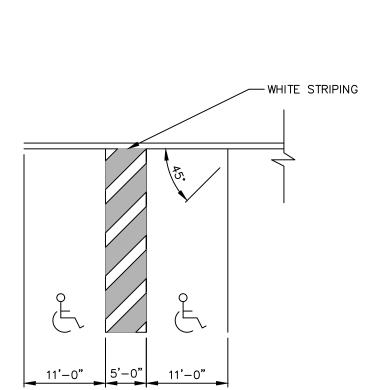


VAN ACCESSIBLE PARKING SIGN SCALE: NOT TO SCALE



SYMBOL SHALL BE CENTERED IN THE PARKING STALL.

VAN ACCESSIBLE PARKING STALL SYMBOL SCALE: NOT TO SCALE



VAN ACCESSIBLE PARKING STALL LAYOUT SCALE: NOT TO SCALE



This drawing is the property of Tecton Architects | pc The use, re-use or reproduction of this drawing for any purpose whatsoever without an expressed written agreement between Tecton Architects | pc and the user is prohibited. Rights to use the information on this sheet are not transferred until payment has been received for services rendered. Any rights so granted are non-transferable to other parties without the prior expressed written consent of Tecton Architects | pc © 2022 Tecton Architects | pc



Client/ Contractor

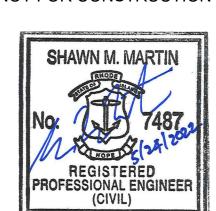
CITY OF PROVIDENCE 25 DORRANCE STREET

PROVIDENCE, RI 02903

FRANK D. SPAZIANO **ELEMENTARY SCHOOL**

> 240 LABAN STREET PROVIDENCE, RI 02909

PERMITTING SET NOT FOR CONSTRUCTION

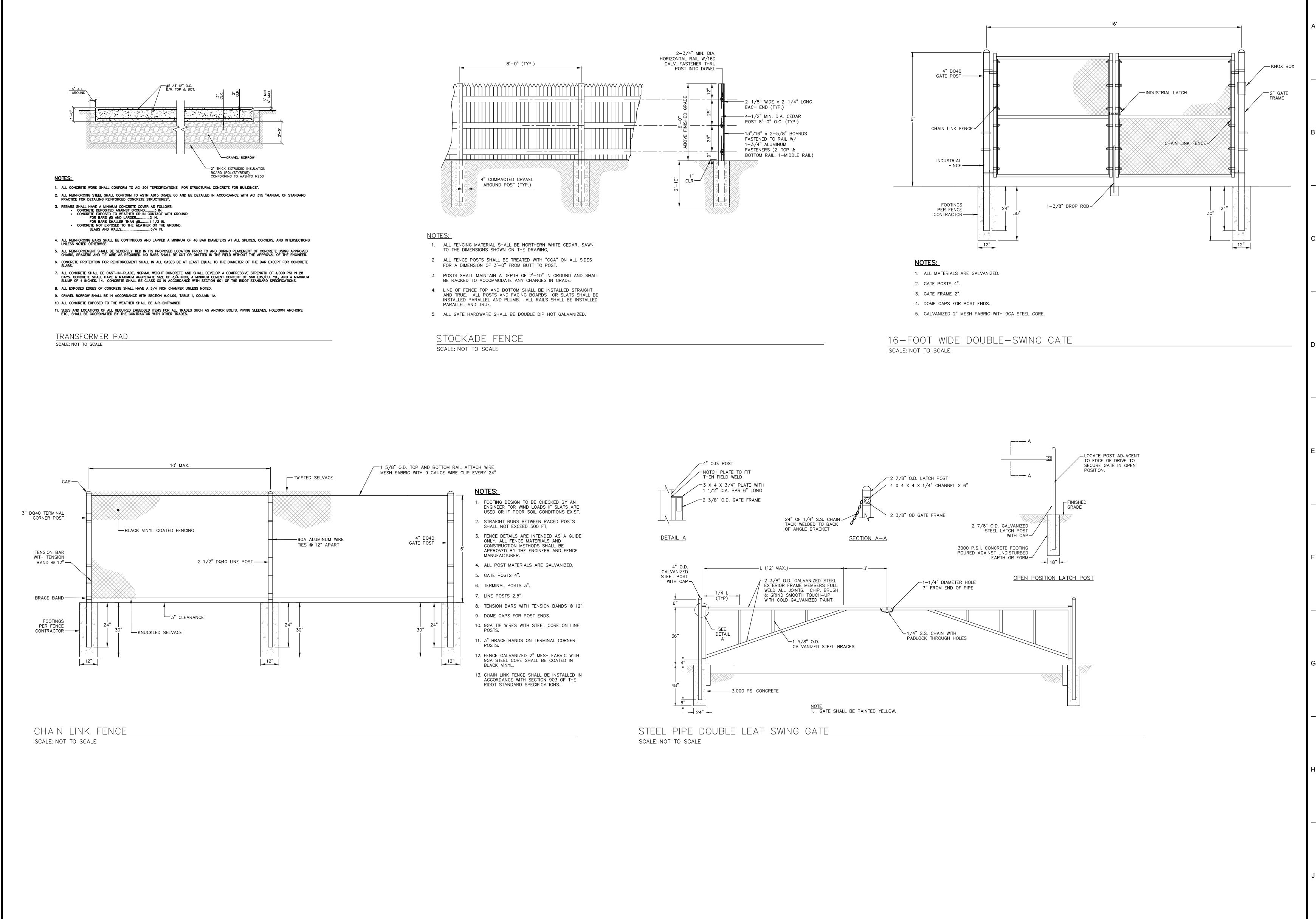


	ies / Revisio	DNS Description
1.	4/19/2022	ISSUE FOR MASTER PLAN REVIEW
2.	5/24/2022	ISSUED FOR PRELIMINARY PLAN REVIEW
Dra	wing Title	

CONSTRUCTION **DETAILS**

Project Manager: BK Project No: 20211274.A10 Project Architect: TECTON Production Leader: PL Project Designer: AFJ/KT Peer Reviewer: BK/SMM **Drawing Number**

CD-502



Tecton ARCHITECTS

Notice:
This drawing is the property of Tecton Architects | pc The use, re-use or reproduction of this drawing for any purpose whatsoever without an expressed written agreement between Tecton Architects | pc and the user is prohibited. Rights to use the information on this sheet are not transferred until payment has been received for services rendered. Any rights so granted are non-transferable to other parties without the prior expressed written consent of Tecton Architects | pc



Client/ Contractor

CITY OF PROVIDENCE
25 DORRANCE STREET

PROVIDENCE, RI 02903

oject

FRANK D. SPAZIANO ELEMENTARY SCHOOL

> 240 LABAN STREET PROVIDENCE, RI 02909

Seals

G

PERMITTING SET

NOT FOR CONSTRUCTION



No.	Date	Description
1.	4/19/2022	ISSUE FOR MASTER PLAN REVIEW
2.	5/24/2022	ISSUED FOR PRELIMINARY PLAN REVIE

CONSTRUCTION DETAILS

Project Manager: BK Project No: 20211274.A10

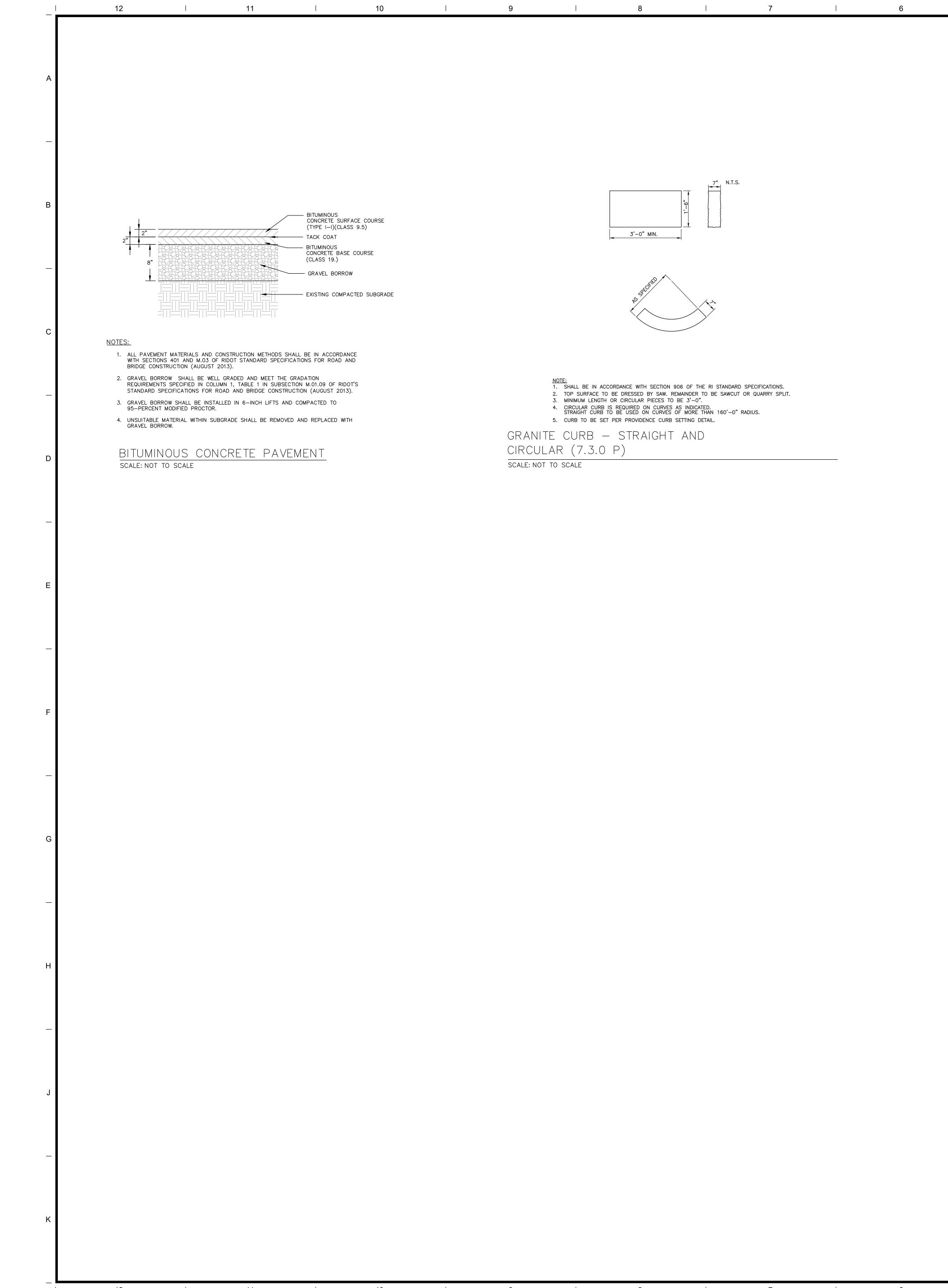
Project Architect: TECTON Production Leader: PL

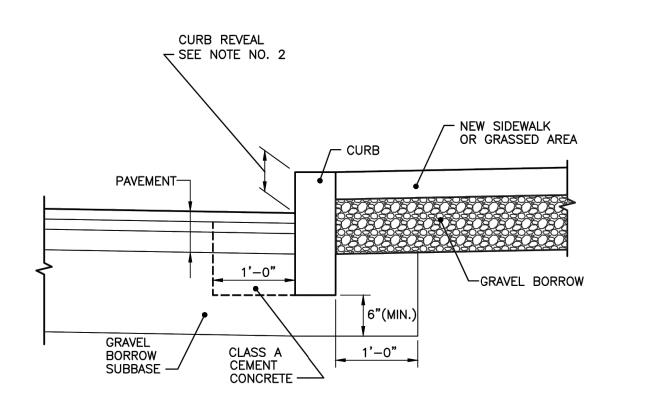
Project Designer: AFJ/KT Peer Reviewer: BK/SMM

Drawing Number

CD-503

11 1 10 1 9 1 8 1 7 1 6 1 5 1 4 1 3 1 2





NOTES:

1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.

2. NEW CURBING CONSTRUCTION SHALL BE SET AT A 6 INCH REVEAL OR AS INDICATED ON PLANS OR DIRECTED BY PROVIDENCE DPW. NEW CURBING INSTALLED ADJACENT TO EXISTING CURBING SHALL MATCH THE EXISTING REVEAL OR A MINIMUM OF 4 INCHES, WHICHEVER IS GREATER. IF ADJACENT EXISTING REVEAL IS LESS THAN 4 INCHES, THE FIRST SECTION OF NEW CURB SHALL TRANSITION TO 4" REVEAL,

CURB SETTING DETAIL (7.6.0 P)

SCALE: NOT TO SCALE

Tecton

ARCHITECTS

Notice:
This drawing is the property of Tecton Architects | pc The use, re-use or reproduction of this drawing for any purpose whatsoever without an expressed written agreement between Tecton Architects | pc and the user is prohibited. Rights to use the information on this sheet are not transferred until payment has been received for services rendered. Any rights so granted are non-transferable to other parties without the prior expressed written consent of Tecton Architects | pc



Client/ Contractor

CITY OF PROVIDENCE

25 DORRANCE STREET PROVIDENCE, RI 02903

ect

FRANK D. SPAZIANO ELEMENTARY SCHOOL

240 LABAN STREET PROVIDENCE, RI 02909

Sea

PERMITTING SET
NOT FOR CONSTRUCTION



No.	Date	Description
1.	4/19/2022	ISSUE FOR MASTER PLAN REVIEW
2.	5/24/2022	ISSUED FOR PRELIMINARY PLAN REVI
_		
_		
_		
_		
_		

CONSTRUCTION DETAILS

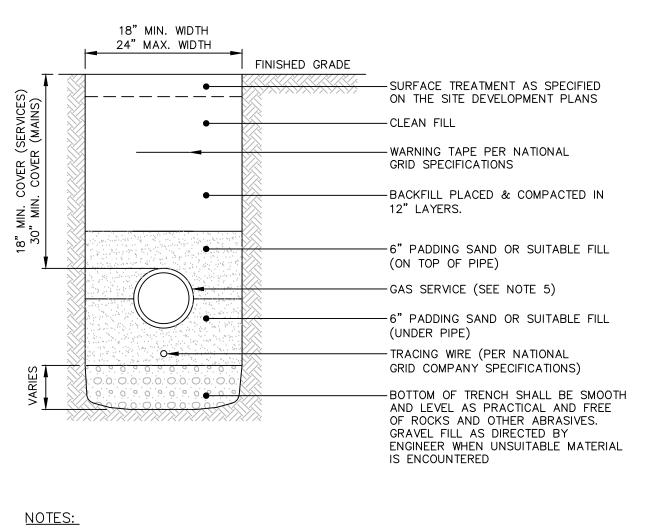
Project Manager: BK Project No: 20211274.A10

Project Architect: TECTON Production Leader: PL

Project Designer: AFJ/KT Peer Reviewer: BK/SMM

Drawing Number

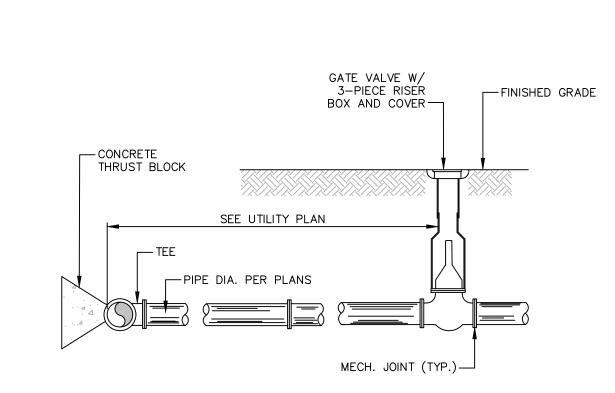
CD-504



- 1. ALL BEDDING MATERIAL AND INITIAL BACKFILL SHALL BE CLEAN, FREE OF DEBRIS AND RUBBLE, AND FREE OF MATERIALS WHICH MAY CAUSE POLLUTION OF GROUNDWATER.
- 2. SPOIL SHOULD BE SET BACK A MINIMUM OF TWO (2) FEET IN ACCORDANCE WITH OSHA REGULATIONS.
- 3. GAS SERVICE MUST HAVE A MINIMUM HORIZONTAL SEPARATION OF THREE (3) FEET FROM PARALLEL UTILITIES. A ONE FOOT SEPARATION MUST BE MAINTAINED WHEN CROSSING OTHER
- 4. THE MAXIMUM TRENCH DEPTH FOR GAS MAINS IS 48—INCHES WHILE THE MAXIMUM TRENCH DEPTH FOR SERVICES IS 36—INCHES.
- 5. MATERIAL SHALL BE DETERMINED BY UTILITY SERVICE PROVIDER.

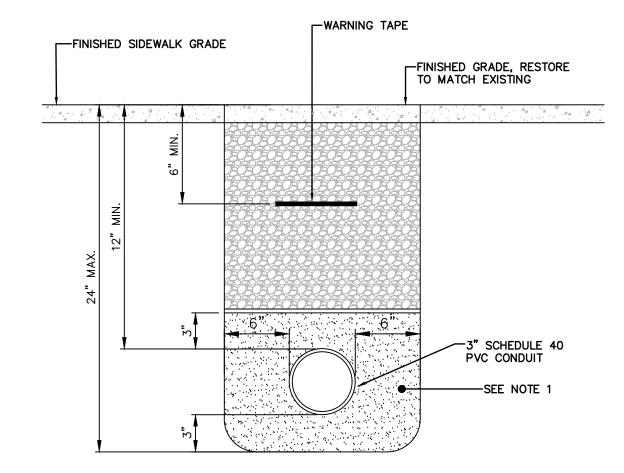
GAS TRENCH

SCALE: NOT TO SCALE



WATER SERVICE CONNECTION

SCALE: NOT TO SCALE

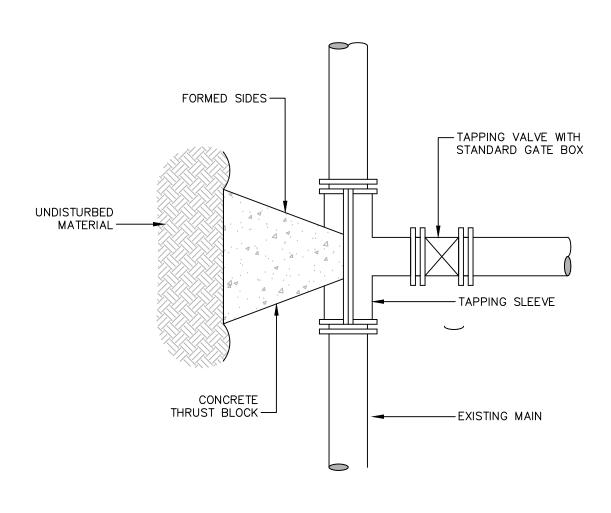


NOTES:

- 1. CONDUIT BEDDING AND BACKFILL SHALL CONSIST OF PLANTING SOIL WITHIN TREE FILTERS AND ASTM C33 SAND OUTSIDE FOOTPRINT OF TREE FILTERS.
- CONDUIT SALL HAVE A MINIMUM OF 3" OF VERTICAL SEPARATION AT UTILITY CROSSINGS.

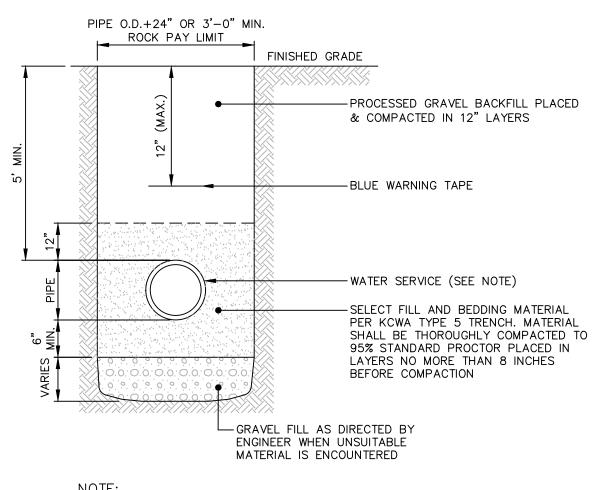
TELECOM CONDUIT TRENCH

SCALE: NOT TO SCALE



TAPPING SLEEVE AND VALVE CONNECTION

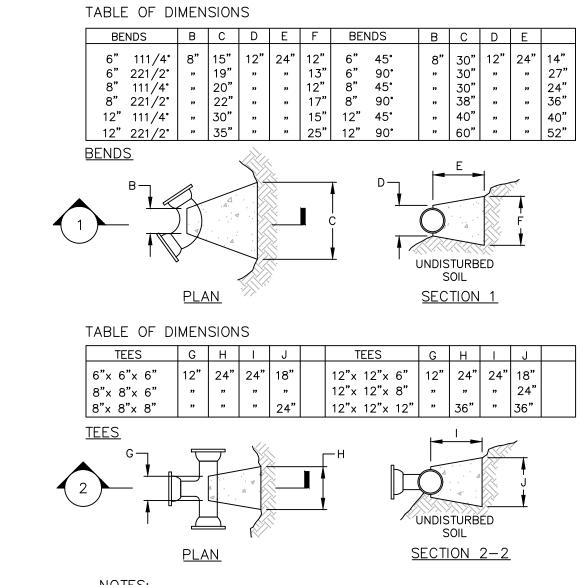
SCALE: NOT TO SCALE



NOIE:

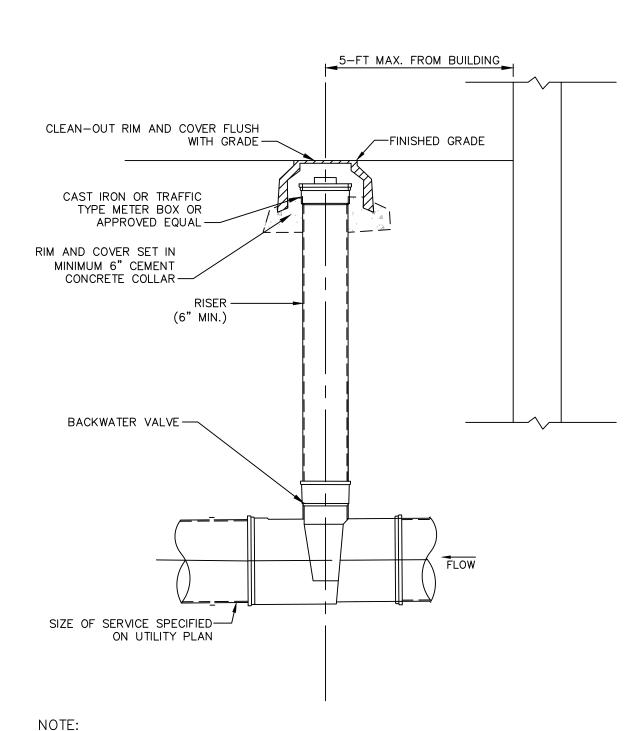
MATERIAL SHALL BE DETERMINED BY PROVIDENCE

WATER TRENCH
SCALE: NOT TO SCALE



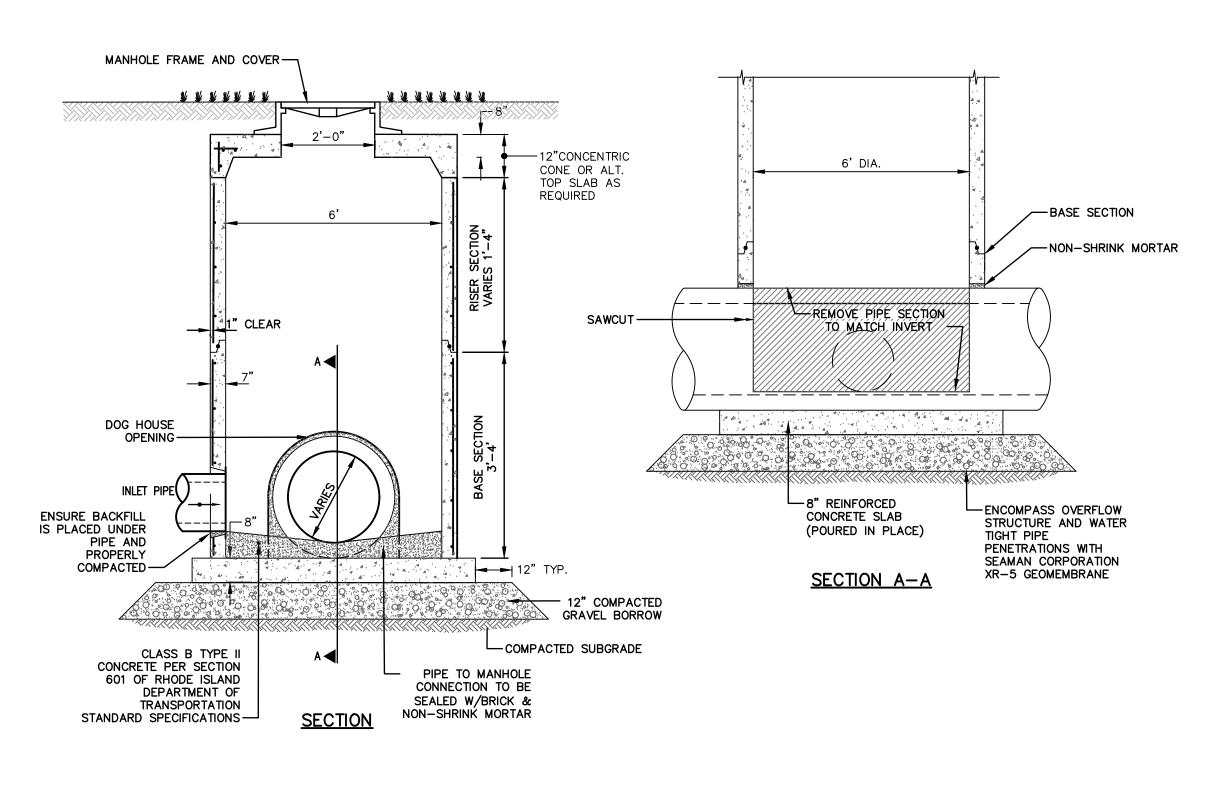
- 1. PROVIDE BLOCKS FOR TAPPING SLEEVES, DEAD ENDS, GATE VALVES,
 AND VERTICAL BENDS (SAME SIZE AS REQUIRED FOR TEES). PROVIDE
 ANCHOR RODS AT VERTICAL BENDS AND GATE VALVES.
- CONCRETE SHALL NOT BE PLACED AGAINST PIPE BEYOND FITTING.
 CONCRETE SHALL HAVE 3,000 PSI MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS.

CONCRETE THRUST BLOCK
SCALE: NOT TO SCALE



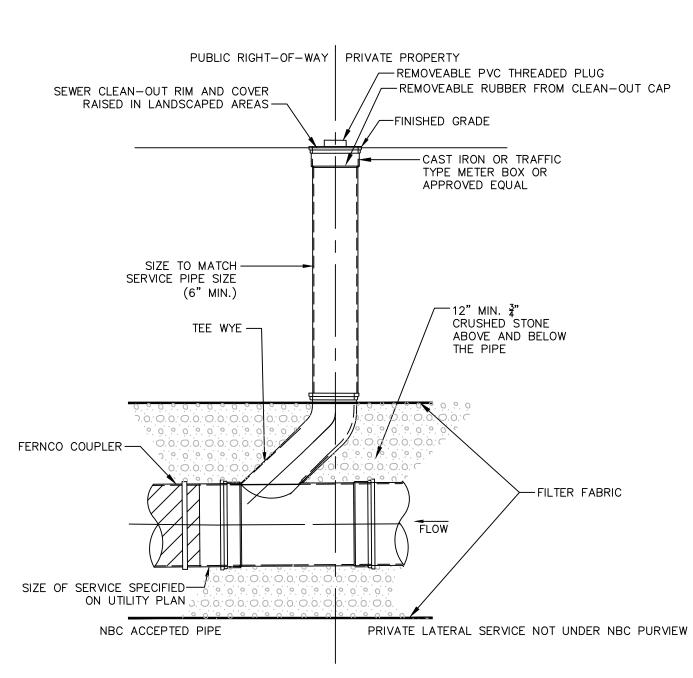
1. BACKWATER VALVE WITH RISER UNIT AS SHALL BE MANUFACTURED BY CLEAN CHECK, INC. OR APPROVED EQUAL.

BACKWATER VALVE SCALE: NOT TO SCALE



DOGHOUSE SEWER MANHOLE

SCALE: NOT TO SCALE

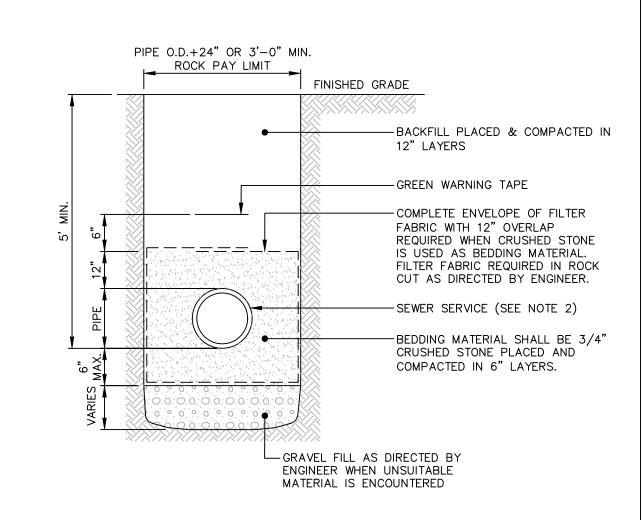


1. PLACE CLEAN-OUT WITHIN THE PUBLIC RIGHT-OF-WAY AT THE PROPERTY LINE.

2. CLEAN-OUT SHALL BE ACCESSIBLE AT ALL TIMES.

3. CLEAN-OUT SHALL BE INSTALLED AND MAINTAINED PER NBC RULES AND REGULATIONS.

SEWER CLEAN—OUT scale: NOT TO SCALE



NOTES:

 SEWER TO BE INSULATED WITH 2" RIGID FOAM WHEN LESS THAN 4' COVER IS PROVIDED.

2. SEE UTILITY PLAN FOR PIPE MATERIAL.

SEWER TRENCH
SCALE: NOT TO SCALE

CONSTRUCTION DETAILS

Project Manager:	BK	Project No: 2021127	74.A10
Project Architect:	TECTON	Production Leader:	PL
Project Designer:	AFJ/KT	Peer Reviewer:	BK/SMM
Drawing Numb	er		

This drawing is the property of Tecton Architects | pc The use, re-use or reproduction of this drawing for any purpose whatsoever without an expressed written agreement between

Tecton Architects | pc and the user is prohibited. Rights to

so granted are non-transferable to other parties without the

317 IRON HORSE WAY, SUITE 204

PROVIDENCE, RI 02908

CITY OF PROVIDENCE

25 DORRANCE STREET

PROVIDENCE, RI 02903

FRANK D. SPAZIANO

ELEMENTARY SCHOOL

240 LABAN STREET

PROVIDENCE, RI 02909

PERMITTING SET

NOT FOR CONSTRUCTION

4/19/2022 ISSUE FOR MASTER PLAN REVIEW

Issues / Revisions

Drawing Title

401.861.3070

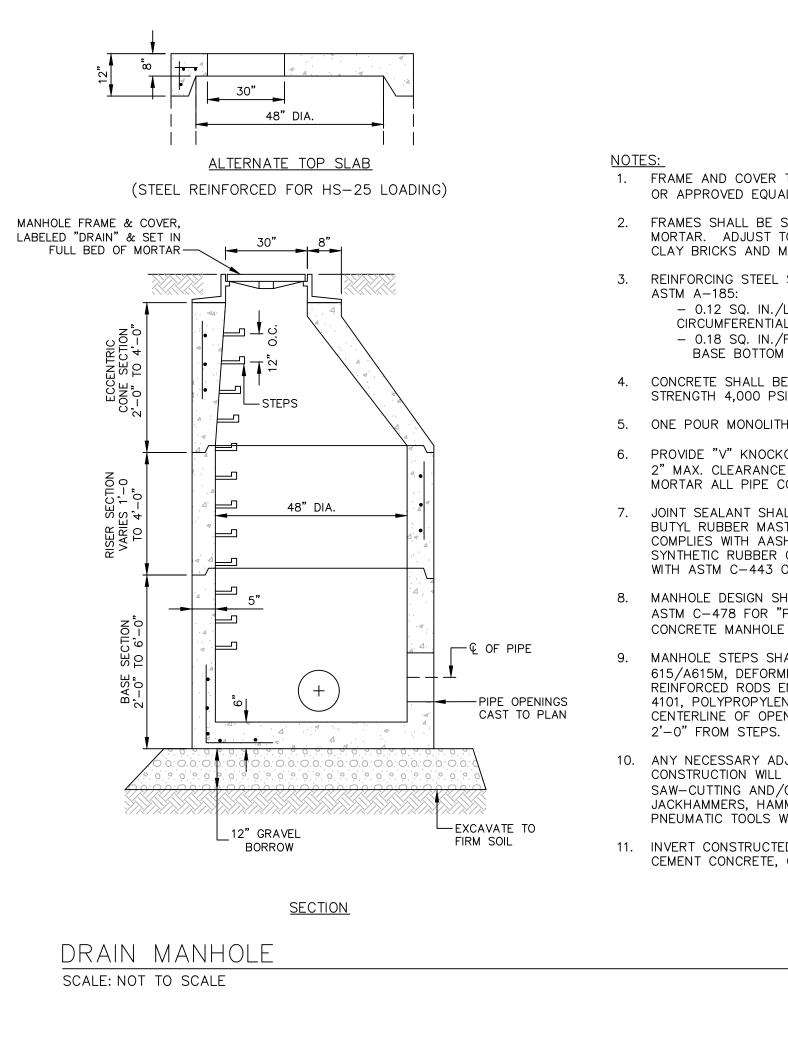
prior expressed written consent of Tecton Architects | pc

© 2022 Tecton Architects | pc

Client/ Contractor

use the information on this sheet are not transferred until payment has been received for services rendered. Any rights

CD-505



1. FRAME AND COVER TO BE R.I. STD. 6.2.1 OR APPROVED EQUAL. LETTERING: "DRAIN" 2. FRAMES SHALL BE SET IN FULL BED OF MORTAR. ADJUST TO GRADE WITH RED CLAY BRICKS AND MORTAR. 3. REINFORCING STEEL SHALL CONFORM TO ASTM A-185: - 0.12 SQ. IN./LIN. FT. CIRCUMFERENTIAL - 0.18 SQ. IN./FT. (BOTH WAYS) BASE BOTTOM

4. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4,000 PSI TYPE II CEMENT.

5. ONE POUR MONOLITHIC BASE SECTION.

6. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE.

MORTAR ALL PIPE CONNECTIONS. 7. JOINT SEALANT SHALL BE PREFORMED BUTYL RUBBER MASTIC TYPE SEAL THAT COMPLIES WITH AASHTO M198 OR SYNTHETIC RUBBER GASKET THAT COMPLIES WITH ASTM C-443 OR C-361.

8. MANHOLE DESIGN SHALL CONFORM TO ASTM C-478 FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."

9. MANHOLE STEPS SHALL BE ASTM A 615/A615M, DEFORMED, 1/2-INCH STEEL REINFORCED RODS ENCASED IN ASTM D 4101, POLYPROPYLENE PLASTIC. THE CENTERLINE OF OPENING MUST BE WITHIN

10. ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.

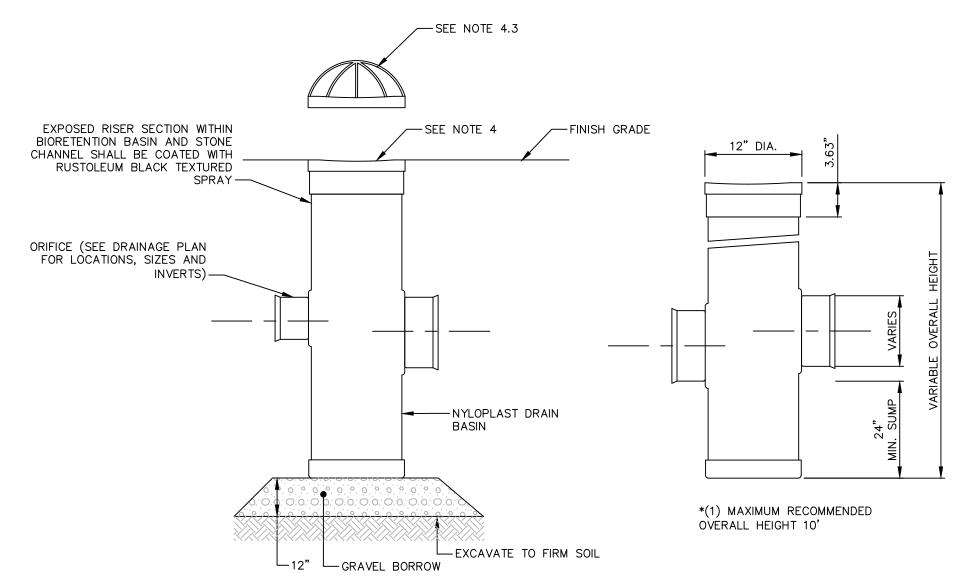
11. INVERT CONSTRUCTED OF BRICK OR CEMENT CONCRETE, CLASS D.

PIPE O.D.+24" OR 3'-0" MIN. FINISHED GRADE — - ROADWAY PAVEMENT REPAIR COMPACTED IN 12" LAYERS TO BOTTOM OF PAVEMENT INITIAL BACKFILL -----BEDDING MATERIAL -GRAVEL FILL AS DIRECTED BY ENGINEER WHEN UNSUITABLE MATERIAL OR ROCK IS ENCOUNTERED

SEE UTILITY PLAN FOR PIPE MATERIAL.

STORM DRAIN TRENCH

SCALE: NOT TO SCALE



1. SEE DRAINAGE FOR PIPE SIZE, PIPE, MATERIAL, AND INVERTS.

2. GRAVEL BORROW SHALL BE COMPACTED TO 95-PERCENT MODIFIED PROCTOR.

3. GRAVEL BORROW SHALL CONFORM TO M.01.09, TABLE 1, COLUMN IA OF THE STANDARD SPECIFICATIONS.

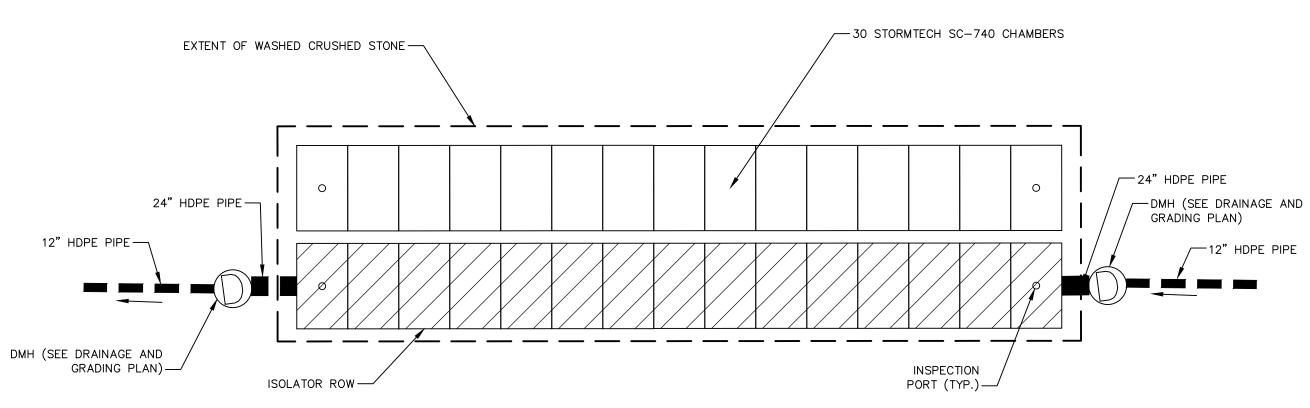
4. SEE DRAINAGE PLAN FOR LOCATION AND TYPE OF GRATE OR COVER. GRATE AND COVER PRODUCTS ARE SPECIFIED BELOW:

4.1. SQUARE SOLID COVERS SHALL BE SQUARE 12" DUCTILE IRON COVERS MANUFACTURED BY ADS AND SHALL BE NYLOPLAST PART # 1299CGC, OR APPROVED EQUAL.

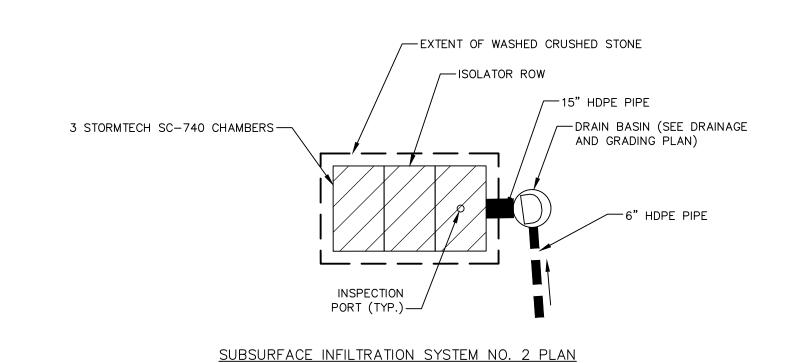
4.2. SQUARE GRATES SHALL BE MANUFACTURED BY ADS AND SHALL BE NYLOPLAST PART # 1299CGS, OR APPROVED EQUAL.

4.3. DOME GRATES SHALL BE MANUFACTURED BY ADS AND SHALL BE NYLOPAST PART # 1299CGD, OR APPROVED EQUAL.

DRAIN BASIN SCALE: NOT TO SCALE



SUBSURFACE INFILTRATION SYSTEM NO. 1 PLAN



1. ENGINEER SHALL INSPECT EXCAVATION AREA PRIOR TO PLACEMENT OF GEOTEXTILE AND WASHED CRUSHED

GEOTEXTILE SHALL COMPLETELY ENVELOP SYSTEM. OVERLAP ADJACENT GEOTEXTILE ROLLS PER AASHTO M288 SEPARATION GUIDELINES.

3. WASHED CRUSHED STONE PLACED BELOW CHAMBERS.

SURROUNDING CHAMBERS. 5. BEGIN COMPACTION AFTER 12" OF MATERIAL OVER THE

NO COMPACTION IS REQUIRED FOR EMBEDMENT STONE

CHAMBERS IS REACHED. COMPACT ADDITIONAL MATERIAL IN 6" LIFTS TO 95% MODIFIED PROCTOR DENSITY. USE ADDITIONAL GRAVEL BORROW AS NECESSARY WHERE ELEVATIONS DICTATE ADDITIONAL MATERIAL

ABOVE EMBEDMENT STONE.

<u>24"STUB</u>

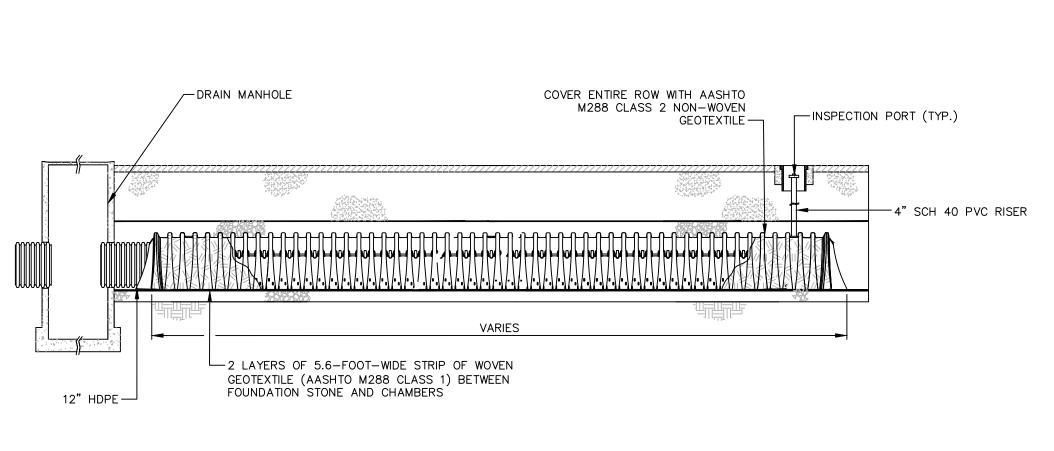
24" STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75". BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.

END CAP CONNECTION SCALE: NOT TO SCALE

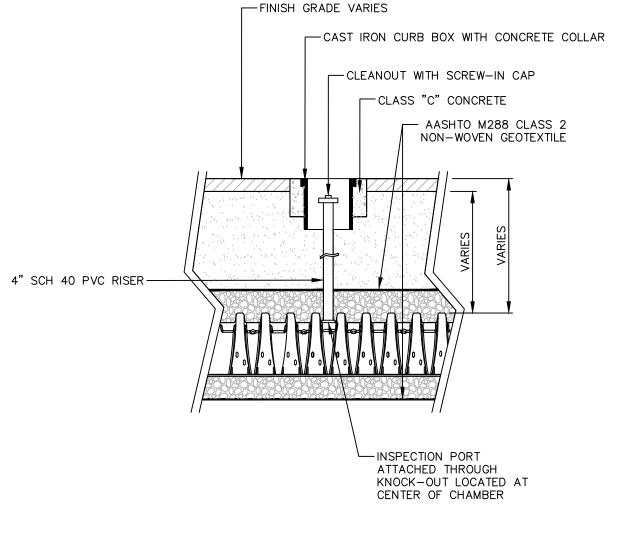
EMBEDMENT STONE SHALL BE A CLEAN, CRUSHED AND ANGULAR GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% STONE WITH AN AASHTO M43 DESIGNATION BETWEEN #3 AND #57 FINES, COMPACT IN 6" (150 mm) MAX LIFTS TO 95% PROCTOR DENSITY. SEE THE TABLE OF ACCEPTABLE FILL MATERIALS. CHAMBERS SHALL MEET THE REQUIREMENTS FOR ASTM F2418 POLYPROPLENE (PP) CHAMBERS -CHAMBERS SHALL BE BE DESIGNED IN ACCORDANCE WITH ASTM F2787 OR ASTM F2922 POLYETHYLENE (PE) CHAMBERS "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". ADS GEOSYTHETICS 601T NON-WOVEN GEOTEXTILE ALL AROUND CLEAN, CRUSHED, PAVEMENT LAYER (DESIGNED ANGULAR EMBEDMENT STONE BY SITE DESIGN ENGINEER) (450 mm) MIN* MAX 6" (150 mm) MIN PERIMETER STONE (760 mm) **EXCAVATION WALL** (CAN BE SLOPED OR VERTICAL) DEPTH OF STONE TO BE DETERMINED BY SITE DESIGN ENGINEER 6" (150 mm) MIN 12" (300 mm) MIN -0" (150 mm) MIN -- 51" (1295 mm) -- 12" (300 mm) TYP SITE DESIGN ENGINEER IS RESPONSIBLE FOR THE ENSURING THE REQUIRED BEARING -CAPACITY OF SUBGRADE SOILS

*MINIMUM COVER TO BOTTOM OF FLEXIBLE: PAVEMENT. FOR UNPAVED INSTALLATIONS WHERE RUTTING FROM VEHICLES MAY OCCUR, INCREASE COVER TO 24" (600 mm).

SUBSURFACE INFILTRATION SYSTEM SCALE: NOT TO SCALE



ISOLATOR ROW



INSPECTION PORT

CONSTRUCTION **DETAILS**

NOT FOR CONSTRUCTION

4/19/2022 ISSUE FOR MASTER PLAN REVIEW

Issues / Revisions

Drawing Title

This drawing is the property of Tecton Architects | pc The use, re-use or reproduction of this drawing for any purpose whatsoever without an expressed written agreement between

Tecton Architects | pc and the user is prohibited. Rights to

use the information on this sheet are not transferred until

prior expressed written consent of Tecton Architects | pc

© 2022 Tecton Architects | pc

Client/ Contractor

payment has been received for services rendered. Any rights

so granted are non-transferable to other parties without the

317 IRON HORSE WAY, SUITE 204

PROVIDENCE, RI 02908

CITY OF PROVIDENCE

25 DORRANCE STREET

PROVIDENCE, RI 02903

FRANK D. SPAZIANO

ELEMENTARY SCHOOL

240 LABAN STREET PROVIDENCE, RI 02909

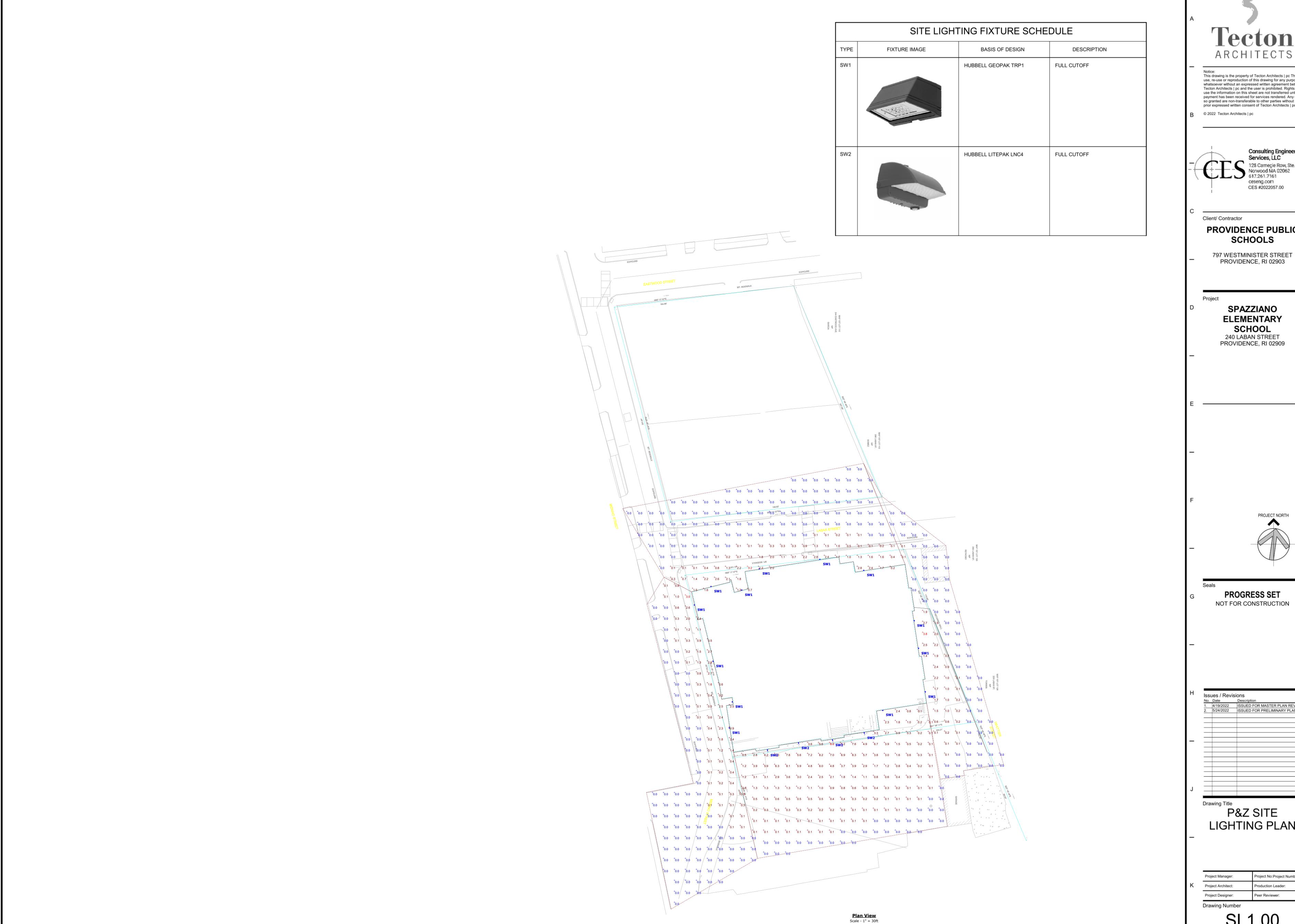
401.861.3070

www.fando.com

Project Manager: BK Project No: 20211274.A10 Project Architect: TECTON Production Leader: PL Project Designer: AFJ/KT Peer Reviewer: BK/SMM **Drawing Number**

CD-506

SCALE: NOT TO SCALE SCALE: NOT TO SCALE



This drawing is the property of Tecton Architects | pc The use, re-use or reproduction of this drawing for any purpose whatsoever without an expressed written agreement between Tecton Architects | pc and the user is prohibited. Rights to use the information on this sheet are not transferred until payment has been received for services rendered. Any rights so granted are non-transferable to other parties without the prior expressed written consent of Tecton Architects | pc © 2022 Tecton Architects | pc

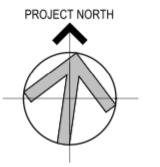


Client/ Contractor PROVIDENCE PUBLIC

SCHOOLS

PROVIDENCE, RI 02903

SPAZZIANO **ELEMENTARY** SCHOOL 240 LABAN STREET PROVIDENCE, RI 02909



PROGRESS SET NOT FOR CONSTRUCTION

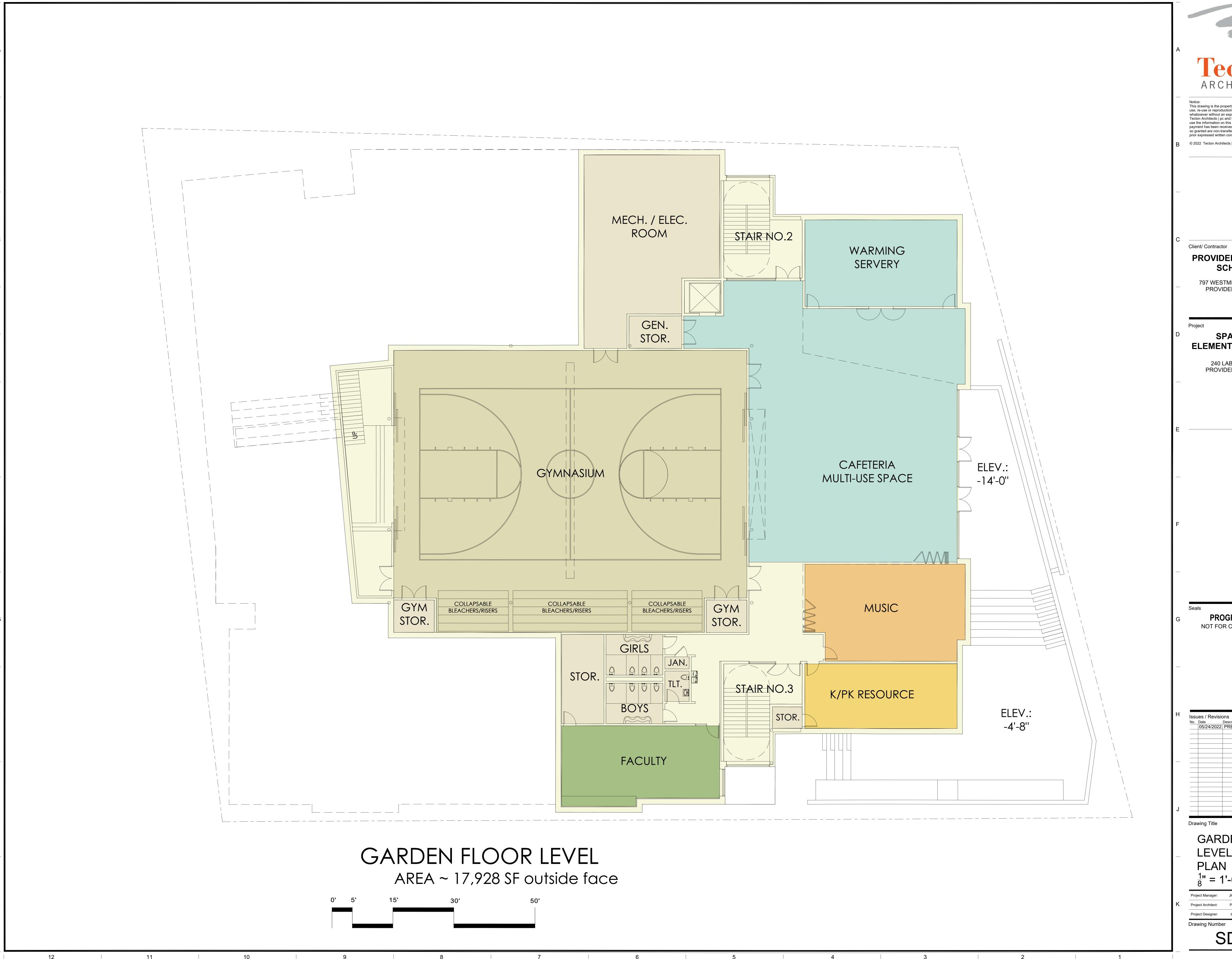
	Date	Description
1.	4/19/2022	ISSUED FOR MASTER PLAN REVIEW
2.	5/24/2022	ISSUED FOR PRELIMINARY PLAN REVI

P&Z SITE
LIGHTING PLAN

Project No:Project Number Project Manager: Project Architect: Production Leader: Project Designer:

Drawing Number

SL1.00





This drawing is the property of Tecton Architects | pc The use, re-use or reproduction of this drawing for any purpose whatsoever without an expressed written agreement between Tecton Architects | pc and the user is prohibited. Rights to use the information on this sheet are not transferred until payment has been received for services rendered. Any rights so granted are non-transferable to other parties without the prior expressed written consent of Tecton Architects | pc © 2022 Tecton Architects | pc

PROVIDENCE PUBLIC **SCHOOLS**

797 WESTMINSTER STREET PROVIDENCE, RI 02903

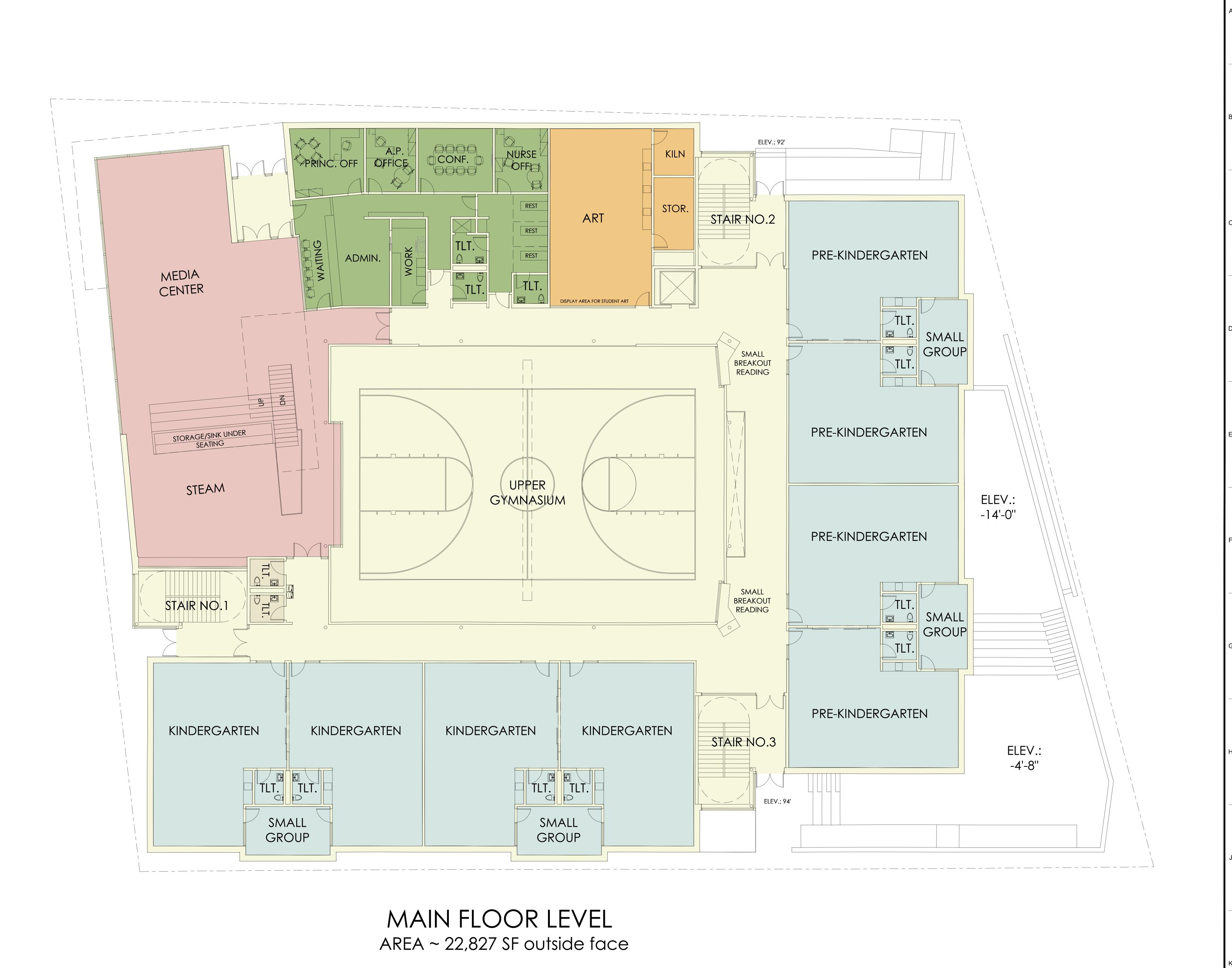
SPAZIANO ELEMENTRY SCHOOL

240 LABAN STREET PROVIDENCE, RI 02909

PROGRESS SET NOT FOR CONSTRUCTION

GARDEN

LEVEL FLOOR PLAN



Tecton

This drawing is the property of Tecton Architects | pc The use, re-use or reproduction of this drawing for any purpose whatsoever without an expressed written agreement between Tecton Architects | pc and the user is prohibited. Rights to use the information on this sheet are not transferred until payment has been received for services rendered. Any rights so granted are non-transferable to other parties without the prior expressed written consent of Tecton Architects | pc

Client/ Contractor

PROVIDENCE PUBLIC SCHOOLS

797 WESTMINSTER STREET PROVIDENCE, RI 02903

ect

SPAZIANO ELEMENTRY SCHOOL

240 LABAN STREET PROVIDENCE, RI 02909



PROGRESS SET

NOT FOR CONSTRUCTION

Issues / Revisions

No. Date Description

05/24/2022 PRELIM. PLAN SUBMISSION

FIRST FLOOR

PLAN $\frac{1}{8}$ " = 1'-0"

Project Manager: JH Project No: PRV01AR

K Project Architect: PA Production Leader: PL

Project Designer: ID Peer Reviewer: PR

SD 11



Tecton

This drawing is the property of Tecton Architects | pc The use, re-use or reproduction of this drawing for any purpose whatsoever without an expressed written agreement between Tecton Architects | pc and the user is prohibited. Rights to use the information on this sheet are not transferred until payment has been received for services rendered. Any rights so granted are non-transferable to other parties without the prior expressed written consent of Tecton Architects | pc

Client/ Contractor

PROVIDENCE PUBLIC SCHOOLS

797 WESTMINSTER STREET PROVIDENCE, RI 02903

oject

SPAZIANO ELEMENTRY SCHOOL

240 LABAN STREET PROVIDENCE, RI 02909

PROJECT NORTH

PROGRESS SET
NOT FOR CONSTRUCTION

Issues / Revisions

No. Date Description

05/24/2022 PRELIM. PLAN SUBMISSION

Drawing Title

SECOND FLOOR PLAN $\frac{1}{8}$ " = 1'-0"

Project Manager: JH Project No: PRV01AR

Project Architect: PA Production Leader: PL

Project Designer: ID Peer Reviewer: PR

Drawing Number



This drawing is the property of Tecton Architects | pc The use, re-use or reproduction of this drawing for any purpose Tecton Architects | pc and the user is prohibited. Rights to use the information on this sheet are not transferred until payment has been received for services rendered. Any rights so granted are non-transferable to other parties without the prior expressed written consent of Tecton Architects | pc © 2022 Tecton Architects | pc

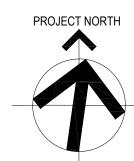
Client/ Contractor

PROVIDENCE PUBLIC SCHOOLS

797 WESTMINSTER STREET PROVIDENCE, RI 02903

SPAZIANO ELEMENTRY SCHOOL

240 LABAN STREET PROVIDENCE, RI 02909



PROGRESS SET NOT FOR CONSTRUCTION

Issues / Revisions

No. Date Description

05/24/2022 PRELIM. PLAN SUBMISSION

THIRD FLOOR

PLAN $\frac{1}{8}$ " = 1'-0"

Drawing Number



2 EXTERIOR ELEVATION - LABAN STREET (NORTH)



1 EXTERIOR ELEVATION - MERINO STREET (WEST)

Tecton
ARCHITECTS

Notice:
This drawing is the property of Tecton Architects | pc The use, re-use or reproduction of this drawing for any purpose

whatsoever without an expressed written agreement between Tecton Architects | pc and the user is prohibited. Rights to use the information on this sheet are not transferred until payment has been received for services rendered. Any rights so granted are non-transferable to other parties without the prior expressed written consent of Tecton Architects | pc

Client/ Contractor

© 2022 Tecton Architects | pc

PROVIDENCE PUBLIC SCHOOLS

797 WESTMINSTER STREET PROVIDENCE, RI 02903

roject

SPAZIANO ELEMENTRY SCHOOL

> 240 LABAN STREET PROVIDENCE, RI 02909

PROGRESS SET NOT FOR CONSTRUCTION

Issues / Revisions

No. Date Description

05/06/2022 MASTER PLAN SUBMISSION

05/24/2022 PRELIM. PLAN SUBMISSION

rawing Title

EXTERIOR ELEVATIONS

Project Manager: JH Project No: PRV01AR

Project Architect: PA Production Leader: PL

Project Designer: ID Peer Reviewer: PR

Drawing Number



2 EXTERIOR VIEW - CORNER OF MERINO AND LABAN STREETS



1 EXTERIOR VIEW - FACING SOUTH

Notice:
This drawing is the property of Tecton Architects | pc The use, re-use or reproduction of this drawing for any purpose whatsoever without an expressed written agreement between Tecton Architects | pc and the user is prohibited. Rights to use the information on this sheet are not transferred until payment has been received for services rendered. Any rights so granted are non-transferable to other parties without the prior expressed written consent of Tecton Architects | pc © 2022 Tecton Architects | pc

Client/ Contractor

PROVIDENCE PUBLIC SCHOOLS

797 WESTMINSTER STREET PROVIDENCE, RI 02903

SPAZIANO ELEMENTRY SCHOOL

240 LABAN STREET PROVIDENCE, RI 02909

PROGRESS SET NOT FOR CONSTRUCTION

Drawing Title

EXTERIOR RENDERINGS

Drawing Number



Notice:
This drawing is the property of Tecton Architects | pc The use, re-use or reproduction of this drawing for any purpose whatsoever without an expressed written agreement between Tecton Architects | pc and the user is prohibited. Rights to use the information on this sheet are not transferred until payment has been received for services rendered. Any rights so granted are non-transferable to other parties without the prior expressed written consent of Tecton Architects | pc © 2022 Tecton Architects | pc

PROVIDENCE PUBLIC **SCHOOLS**

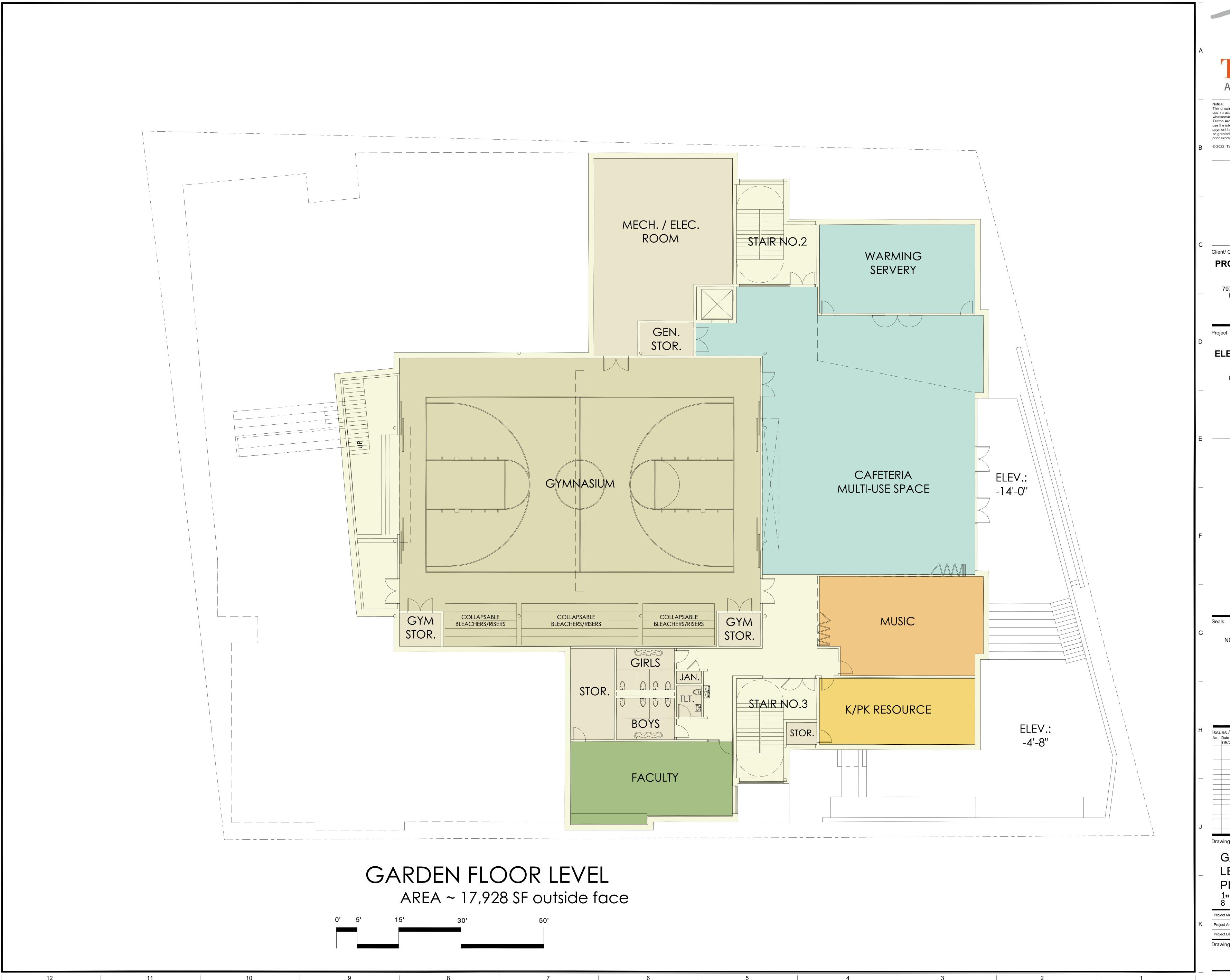
797 WESTMINSTER STREET PROVIDENCE, RI 02903

SPAZIANO ELEMENTRY SCHOOL

240 LABAN STREET PROVIDENCE, RI 02909

PROGRESS SET NOT FOR CONSTRUCTION

CONCEPTUAL **EXTERIOR** MASSING





This drawing is the property of Tecton Architects | pc The use, re-use or reproduction of this drawing for any purpose whatsoever without an expressed written agreement between Tecton Architects | pc and the user is prohibited. Rights to use the information on this sheet are not transferred until payment has been received for services rendered. Any rights so granted are non-transferable to other parties without the prior expressed written consent of Tecton Architects | pc © 2022 Tecton Architects | pc

Client/ Contractor

PROVIDENCE PUBLIC **SCHOOLS**

797 WESTMINSTER STREET PROVIDENCE, RI 02903

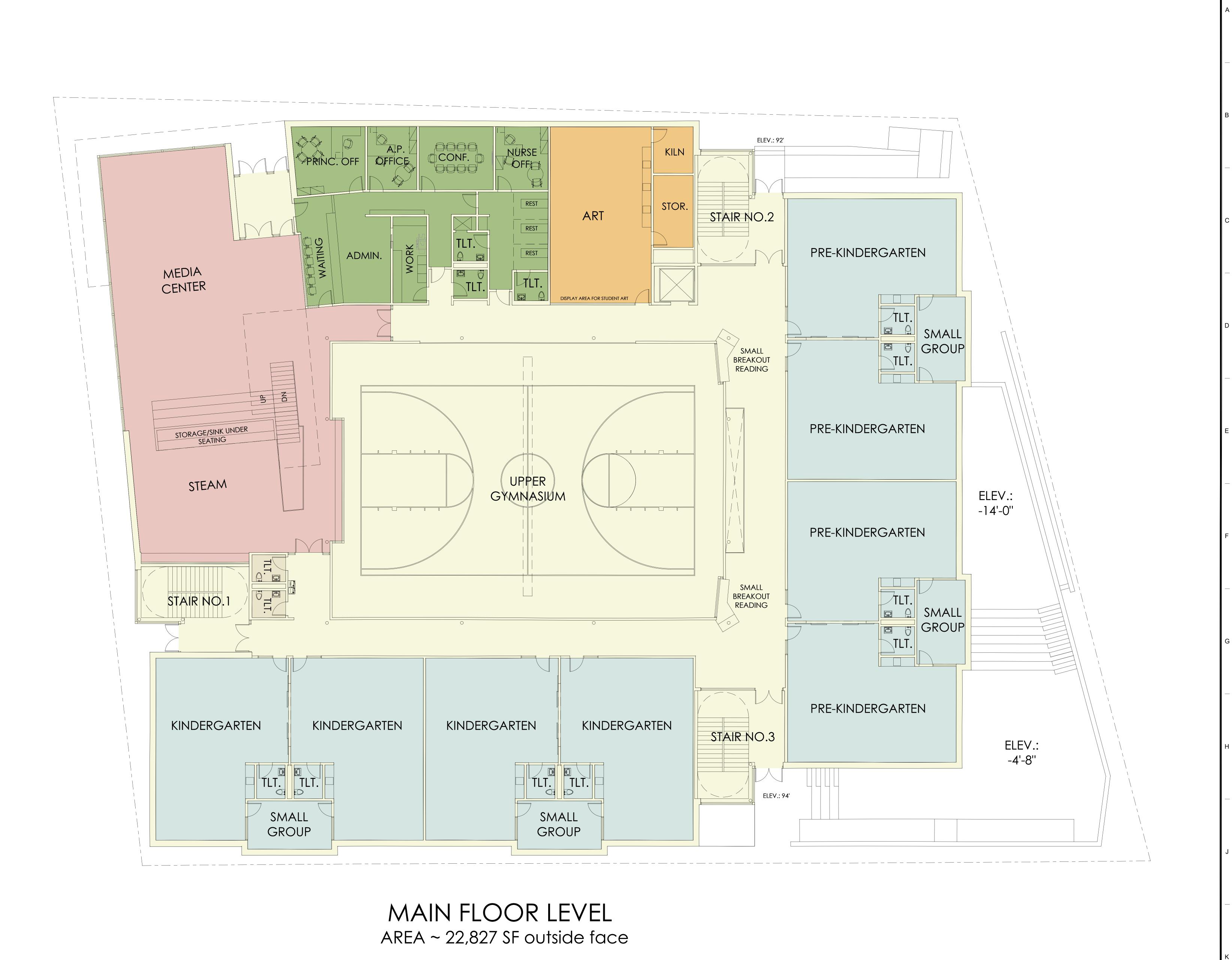
SPAZIANO ELEMENTRY SCHOOL

240 LABAN STREET PROVIDENCE, RI 02909

PROGRESS SET NOT FOR CONSTRUCTION

GARDEN LEVEL FLOOR

PLAN





This drawing is the property of Tecton Architects | pc The use, re-use or reproduction of this drawing for any purpose whatsoever without an expressed written agreement between Tecton Architects | pc and the user is prohibited. Rights to use the information on this sheet are not transferred until payment has been received for services rendered. Any rights so granted are non-transferable to other parties without the prior expressed written consent of Tecton Architects | pc

Client/ Contractor

PROVIDENCE PUBLIC SCHOOLS

797 WESTMINSTER STREET PROVIDENCE, RI 02903

oject

SPAZIANO ELEMENTRY SCHOOL

240 LABAN STREET PROVIDENCE, RI 02909



PROGRESS SET

NOT FOR CONSTRUCTION

Issues / Revisions

No. Date Description

05/24/2022 PRELIM. PLAN SUBMISSION

FIRST FLOOR

PLAN $\frac{1}{8}$ " = 1'-0"

Project Manager: JH Project No: PRV01AR

Project Architect: PA Production Leader: PL

Project Designer: ID Peer Reviewer: PR

Drawing Number



Tecton

This drawing is the property of Tecton Architects | pc The use, re-use or reproduction of this drawing for any purpose whatsoever without an expressed written agreement between Tecton Architects | pc and the user is prohibited. Rights to use the information on this sheet are not transferred until payment has been received for services rendered. Any rights so granted are non-transferable to other parties without the prior expressed written consent of Tecton Architects | pc

Client/ Contractor

PROVIDENCE PUBLIC SCHOOLS

797 WESTMINSTER STREET PROVIDENCE, RI 02903

oiect

SPAZIANO ELEMENTRY SCHOOL

240 LABAN STREET PROVIDENCE, RI 02909

PROJECT NORTH

PROGRESS SET
NOT FOR CONSTRUCTION

Issues / Revisions

No. Date Description

05/24/2022 PRELIM. PLAN SUBMISSION

Drawing Title

SECOND FLOOR PLAN $\frac{1}{8}$ " = 1'-0"

Project Manager: JH Project No: PRV01AR

Project Architect: PA Production Leader: PL

Project Designer: ID Peer Reviewer: PR

Drawing Number



This drawing is the property of Tecton Architects | pc The use, re-use or reproduction of this drawing for any purpose Tecton Architects | pc and the user is prohibited. Rights to use the information on this sheet are not transferred until payment has been received for services rendered. Any rights so granted are non-transferable to other parties without the prior expressed written consent of Tecton Architects | pc © 2022 Tecton Architects | pc

Client/ Contractor

PROVIDENCE PUBLIC SCHOOLS

797 WESTMINSTER STREET PROVIDENCE, RI 02903

SPAZIANO ELEMENTRY SCHOOL

240 LABAN STREET PROVIDENCE, RI 02909



PROGRESS SET NOT FOR CONSTRUCTION

Issues / Revisions

No. Date Description

05/24/2022 PRELIM. PLAN SUBMISSION

THIRD FLOOR

PLAN $\frac{1}{8}$ " = 1'-0"

Drawing Number



This drawing is the property of Tecton Architects | pc The use, re-use or reproduction of this drawing for any purpose whatsoever without an expressed written agreement between Tecton Architects | pc and the user is prohibited. Rights to use the information on this sheet are not transferred until payment has been received for services rendered. Any rights so granted are non-transferable to other parties without the prior expressed written consent of Tecton Architects | pc

> 797 WESTMINSTER STREET PROVIDENCE, RI 02903

240 LABAN STREET PROVIDENCE, RI 02909

ELEVATIONS

Project Manager: JH | Project No: PRV01AR Project Designer: ID Peer Reviewer: PR



Tecton

Notice:
This drawing is the property of Tecton Architects | pc The use, re-use or reproduction of this drawing for any purpose whatsoever without an expressed written agreement between Tecton Architects | pc and the user is prohibited. Rights to use the information on this sheet are not transferred until payment has been received for services rendered. Any rights so granted are non-transferable to other parties without the prior expressed written consent of Tecton Architects | pc

Client/ Contractor

PROVIDENCE PUBLIC SCHOOLS

797 WESTMINSTER STREET PROVIDENCE, RI 02903

roject

SPAZIANO ELEMENTRY SCHOOL

240 LABAN STREET PROVIDENCE, RI 02909

PROGRESS SET
NOT FOR CONSTRUCTION

06/14/2022 P.P. SUBMISSION UPDA

Drawing Title

EXTERIOR ELEVATIONS -RENDERED

Project Manager: JH Project No: PRV01AR

Project Architect: PA Production Leader: PL

Project Designer: ID Peer Reviewer: PR

Drawing Number



2 EXTERIOR VIEW - CORNER OF MERINO AND LABAN STREETS



EXTERIOR VIEW - FACING SOUTH

Tecton

Notice:
This drawing is the property of Tecton Architects | pc The use, re-use or reproduction of this drawing for any purpose whatsoever without an expressed written agreement between Tecton Architects | pc and the user is prohibited. Rights to use the information on this sheet are not transferred until payment has been received for services rendered. Any rights so granted are non-transferable to other parties without the prior expressed written consent of Tecton Architects | pc

Client/ Contractor

PROVIDENCE PUBLIC SCHOOLS

797 WESTMINSTER STREET PROVIDENCE, RI 02903

roject

SPAZIANO ELEMENTRY SCHOOL

240 LABAN STREET PROVIDENCE, RI 02909

PROGRESS SET NOT FOR CONSTRUCTION

Issues / Revisions

No. Date Description

05/06/2022 MASTER PLAN SUBMISSIO

05/24/2022 PRELIM. PLAN SUBMISSIO

06/14/2022 P.P. SUBMISSION UPDATE

Drawing Title

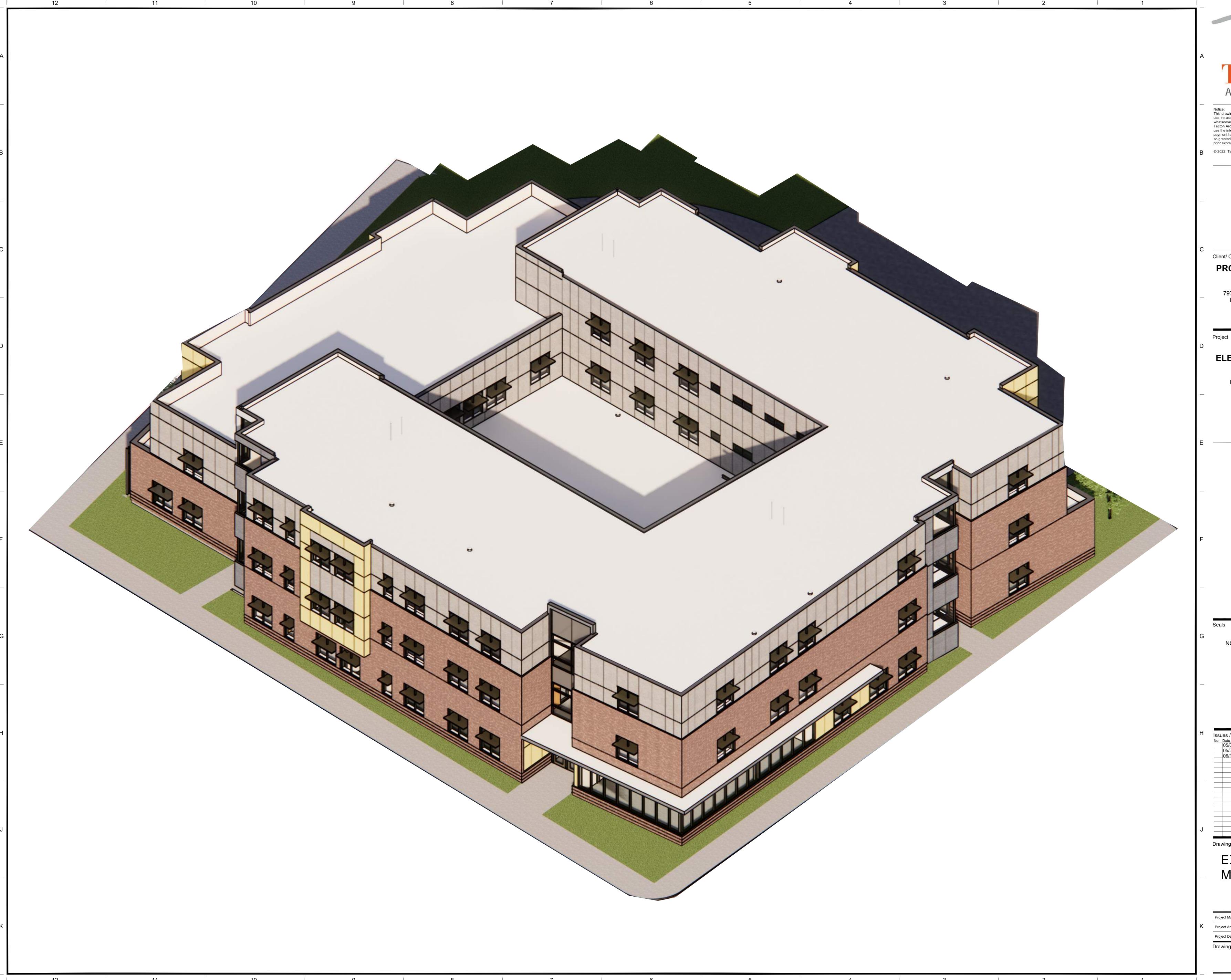
EXTERIOR RENDERINGS

Project Manager: JH Project No: PRV01AR

Project Architect: PA Production Leader: PL

Project Designer: ID Peer Reviewer: PR

Drawing Number



Notice:
This drawing is the property of Tecton Architects | pc The use, re-use or reproduction of this drawing for any purpose whatsoever without an expressed written agreement between Tecton Architects | pc and the user is prohibited. Rights to use the information on this sheet are not transferred until payment has been received for services rendered. Any rights so granted are non-transferable to other parties without the prior expressed written consent of Tecton Architects | pc © 2022 Tecton Architects | pc

Client/ Contractor

PROVIDENCE PUBLIC **SCHOOLS**

797 WESTMINSTER STREET PROVIDENCE, RI 02903

SPAZIANO ELEMENTRY SCHOOL

240 LABAN STREET PROVIDENCE, RI 02909

PROGRESS SET NOT FOR CONSTRUCTION

Issues / Revisions

No. Date Description

05/06/2022 MASTER PLAN SUBMISSION

05/24/2022 PRELIM. PLAN SUBMISSION

06/14/2022 P.P. SUBMISSION UPDATE

Drawing Title

EXTERIOR MASSING

Project Architect: PA Production Leader: PL Project Designer: ID Peer Reviewer: PR Drawing Number