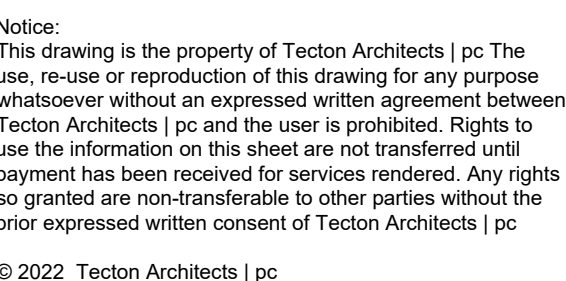
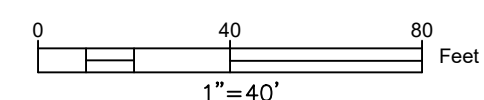


LIST OF DRAWINGS

The list of drawings below reflects the drawings included in the May 24, 2022 Preliminary Plan submission.

<u>Sheet No.</u>	<u>Sheet Title</u>
GI-002	200' Radius Map
CN-101	General Notes & Legend Sheet
C-1	Existing Conditions Plan
CP-101	Site Demolition Plan
CE-101	Soil Erosion and Sedimentation Control Plan
CS-102	Site Plan
CG-101	Grading & Drainage Plan
CU-101	Utility Plan
CD-501 – CD-506	Construction Details
SL.1.00	P&Z Site Lighting Plan
SD.10	Garden Level Floor Plan
SD.11	First Floor Plan
SD.12	Second Floor Plan
SD.13	Third Floor Plan
SD.20	Exterior Elevations
SD.30	Exterior Renderings
SD.40	Conceptual Exterior Massing



Project

**FRANK D. SPAZIANO
ELEMENTARY SCHOOL**

240 LABAN STREET
PROVIDENCE, RI 02909

SHAWN M. MARTIN

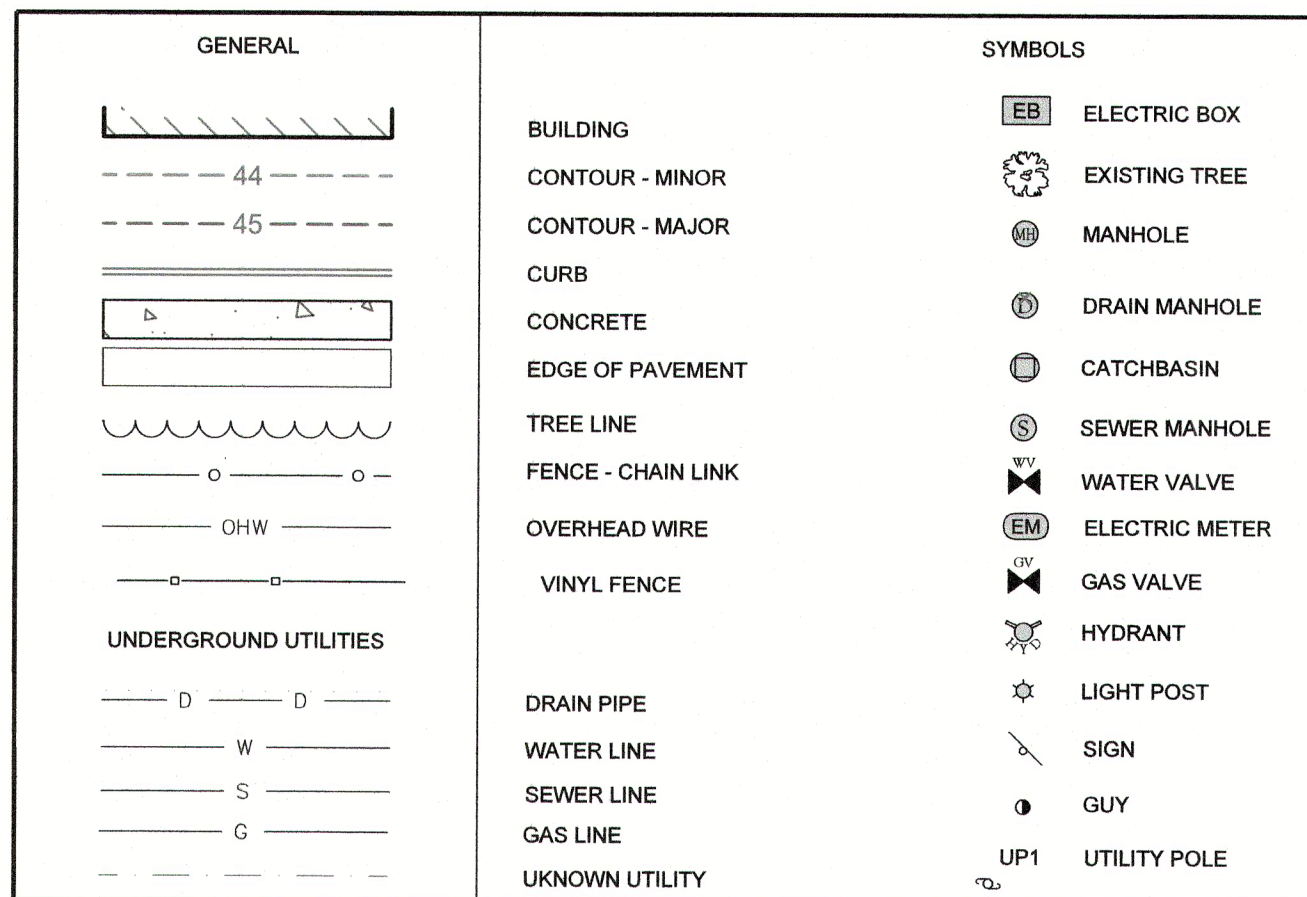
No. 7487

REGISTERED
PROFESSIONAL ENGINEER
(CIVIL)

Drawing Title

GI-002

LEGEND:

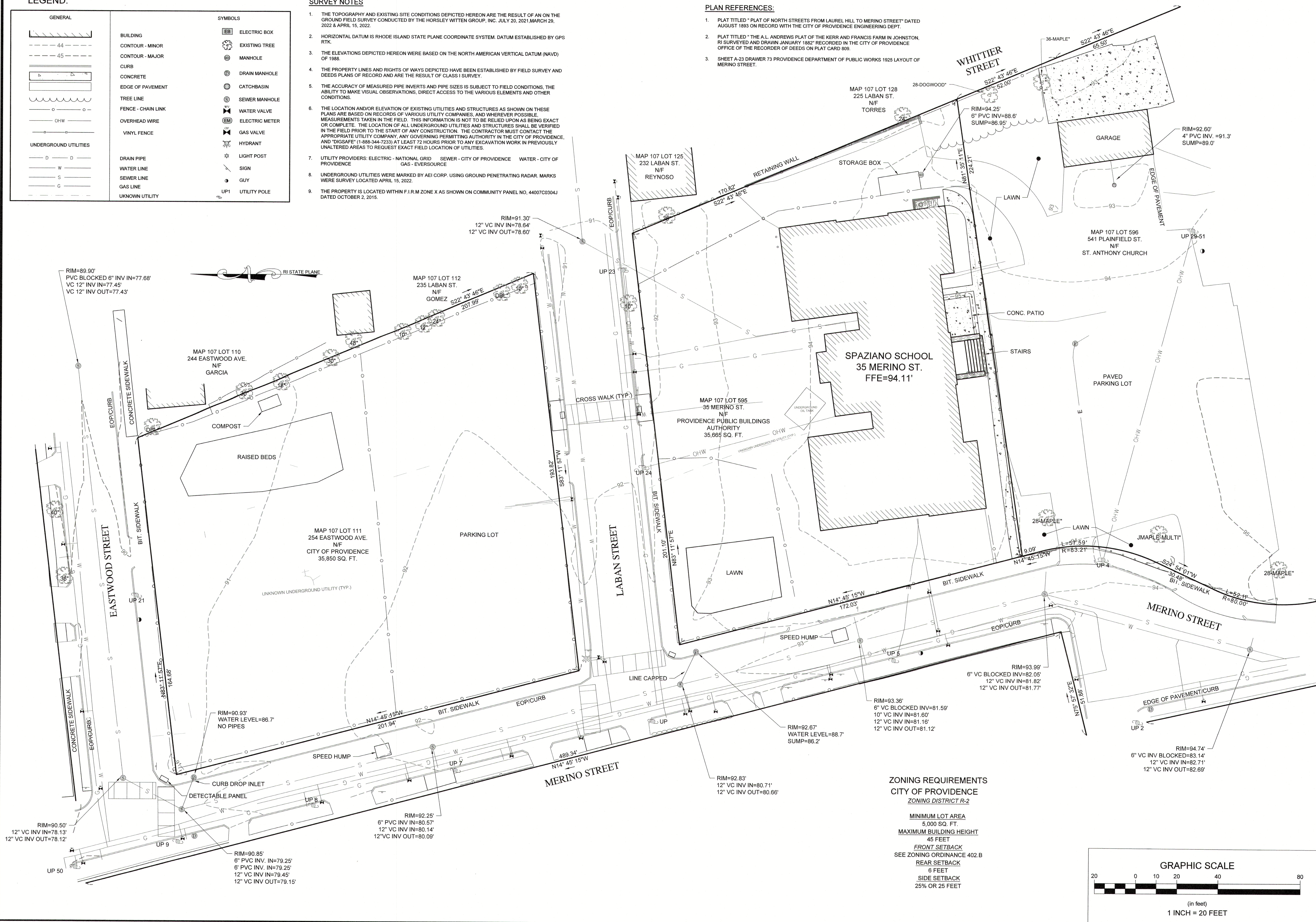



SURVEY NOTES

1. THE TOPOGRAPHY AND EXISTING SITE CONDITIONS DEPICTED HEREON ARE THE RESULT OF AN ON THE GROUND FIELD SURVEY CONDUCTED BY THE HORSLEY WITTEN GROUP, INC., JULY 20, 2021; MARCH 29, 2022 & APRIL 15, 2022.
2. HORIZONTAL DATUM IS RHODE ISLAND STATE PLANE COORDINATE SYSTEM. DATUM ESTABLISHED BY GPS RTK.
3. THE ELEVATIONS DEPICTED HEREON WERE BASED ON THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988.
4. THE PROPERTY LINES AND RIGHTS OF WAYS DEPICTED HAVE BEEN ESTABLISHED BY FIELD SURVEY AND DEEDS PLANS OF RECORD AND ARE THE RESULT OF CLASS I SURVEY.
5. THE ACCURACY OF MEASURED PIPE INVERTS AND PIPE SIZES IS SUBJECT TO FIELD CONDITIONS, THE ABILITY TO MAKE VISUAL OBSERVATIONS, DIRECT ACCESS TO THE VARIOUS ELEMENTS AND OTHER CONDITIONS.
6. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF VARIOUS UTILITY COMPANIES, AND WHEREVER POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD PRIOR TO THE START OF ANY CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE CITY OF PROVIDENCE, ANY GOVERNING PERMITTING AUTHORITY IN THE CITY OF PROVIDENCE, AND "DIGSAFE" (1-888-344-7235) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK IN PREVIOUSLY UNALTERED AREAS TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
7. UTILITY PROVIDERS: ELECTRIC - NATIONAL GRID SEWER - CITY OF PROVIDENCE WATER - CITY OF PROVIDENCE
 GAS - EVERSOURCE
8. UNDERGROUND UTILITIES WERE MARKED BY AEI CORP. USING GROUND PENETRATING RADAR. MARKS WERE SURVEYED LOCATED APRIL 15, 2022.
9. THE PROPERTY IS LOCATED WITHIN F.I.R.M ZONE X AS SHOWN ON COMMUNITY PANEL NO. 44007C0304J DATED OCTOBER 2, 2015.

PLAN REFERENCES:

1. PLAT TITLED "PLAT OF NORTH STREETS FROM LAUREL HILL TO MERINO STREET" DATED AUGUST 1893 ON RECORD WITH THE CITY OF PROVIDENCE ENGINEERING DEPT.
2. PLAT TITLED "THE A.L. ANDREWS PLAT OF THE KERR AND FRANCIS FARM IN JOHNSTON, RI SURVEYED AND DRAWN JANUARY 1882" RECORDED IN THE CITY OF PROVIDENCE OFFICE OF THE RECORDER OF DEEDS ON PLAT CARO 809.
3. SHEET A-23 DRAWER 73 PROVIDENCE DEPARTMENT OF PUBLIC WORKS 1925 LAYOUT OF MERINO STREET.

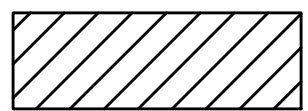


Survey Provided By: Horsley Witten Group 90 Route 6A Sandwich, MA 02563 Phone: (508) 833-5600 Fax: (508) 833-3150 Dated: April 15, 2022	Prepared For: Tecton Architects 17 Railroad Ave. Westerly, RI 02891	Plan Set: <div>SPAZIANO SCHOOL 254 EASTWOOD AVE PROVIDENCE, RHODE ISLAND</div> Plan Title: <div>EXISTING CONDITIONS PLAN</div>	<div><p>Horsley Witten Group, Inc. <i>Sustainable Environmental Solutions</i> www.horsleywitten.com 90 Route 6A Sandwich, MA 02563 508-833-6000 voice 508-833-3150 fax</p></div>	Revisions				
				Date	By	Description	Rev.	
							△	
							△	
							△	
							△	
							△	
Date: April 22, 2022			Checked By: DWM					
Designed By: -			Drawn By: JJP					
Sheet Number:								
Project Number: 21079		Sheet : 1 of 1						
C - 1								

A
B
C
D
E
F
G
H
J
K

- NOTES
1. PROTECT ITEMS INDICATED TO REMAIN DURING CONSTRUCTION.
 2. WITHIN LIMITS OF COMPREHENSIVE SITE DEMOLITION.
 - 2.1. STRIP AND TEMPORARILY STOCKPILE TOPSOIL FOR OR RECLAIM.
 - 2.2. REMOVE EXISTING HARDSCAPED SURFACES (E.G., PAVED AREAS, SIDEWALKS, CONCRETE PADS, PAVERS, ETC.)
 3. UNLESS OTHERWISE NOTED, EXISTING SITE FEATURES AND LANDSCAPING (E.G. LIGHT POLES, FENCES, BOLLARDS, PLANTINGS, TREES, BUT NOT LIMITED TOO, ETC.) WITHIN LIMIT OF COMPREHENSIVE SITE DEMOLITION SHALL BE REMOVED, COORDINATE WITH OWNER, ARCHITECT, AND ENGINEER FOR ITEMS NOT DEPICTED ON THIS PLAN PRIOR TO DEMOLITION.
 4. UNLESS OTHERWISE NOTED, EXISTING UTILITY STRUCTURES, PIPING, CONDUITS, AND OTHER APPURTENANCES WITHIN LIMIT OF COMPREHENSIVE SITE DEMOLITION SHALL REMAIN.
 - 4.1. PRIOR TO CONSTRUCTION, VERIFY EXISTING UTILITY ROUTING, EXISTING UTILITIES THAT SERVICE OTHER DEVELOPMENTS SHALL REMAIN
 5. COORDINATE WITH OWNER FOR ITEMS TO BE SALVAGED.

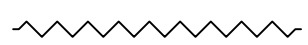
LEGEND



LIMIT OF COMPREHENSIVE SITE DEMOLITION



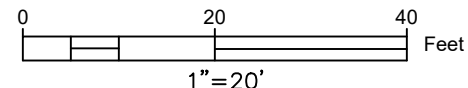
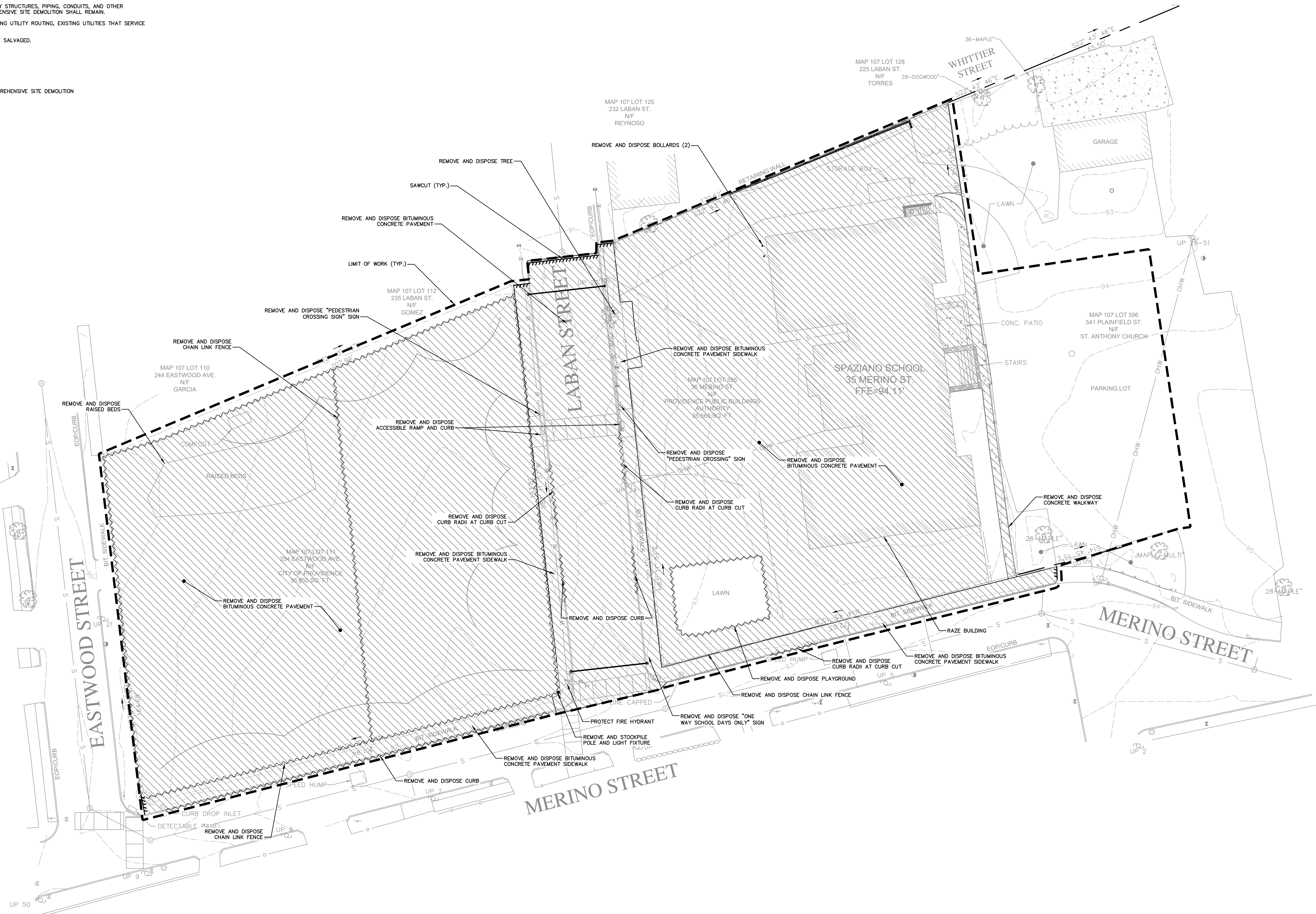
LIMIT OF WORK



DEMOLISH



SAWCUT



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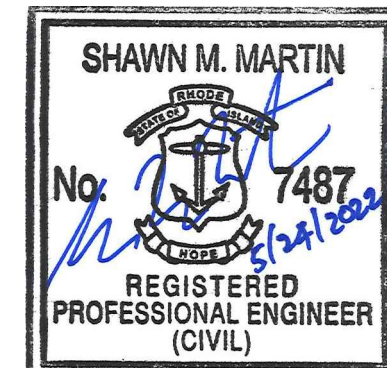
CITY OF PROVIDENCE
25 DORRANCE STREET
PROVIDENCE, RI 02903

Project

**FRANK D. SPAZIANO
ELEMENTARY SCHOOL**
240 LABAN STREET
PROVIDENCE, RI 02909

Seals

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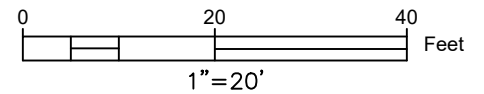
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2.	5/24/2022	ISSUED FOR PRELIMINARY PLAN REVIEW

Drawing Title

**SITE DEMOLITION
PLAN**

Project Manager: BK Project No: 20211274 A10
Project Architect: TECTON Production Leader: PL
Project Designer: AFJKT Peer Reviewer: BK/SMM
Drawing Number

CP-101




project

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PROVIDENCE, RI 02909

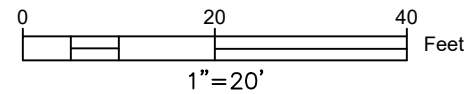
SHAWN M. MARTIN

No.  7487

REGISTERED
PROFESSIONAL ENGINEER
(CIVIL)

[illegible]

CE-101



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PROVIDENCE, RI 02908
401.861.3070
www.fandol.com

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Issues / Revisions

No.	Date	Description
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2.	5/24/2022	ISSUED FOR PRELIMINARY PLAN REVIEW

Drawing Title

SITE PLAN

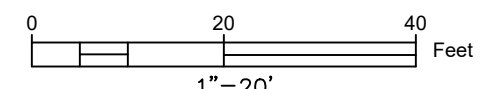
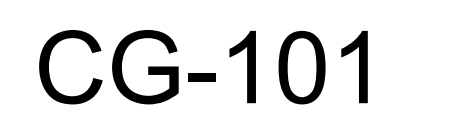
Project Manager:	BK	Project No: 20211274.A10
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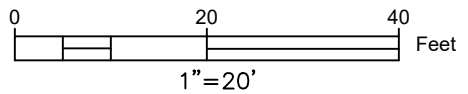
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Project Designer:	AFJ/KT	Peer Reviewer:	BK/SMN
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Drawing Number

CS-102





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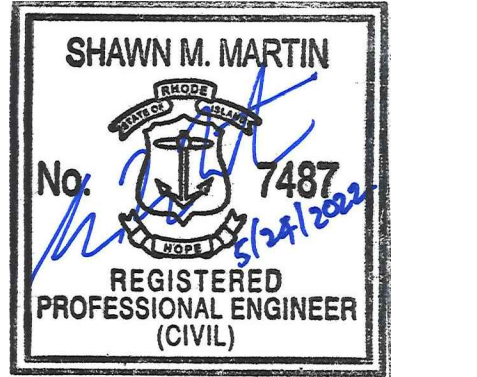
project

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PROVIDENCE, RI 02909

eals

PERMITTING SET
NOT FOR CONSTRUCTION



Issues / Revisions	
No.	Description
1	ISSUE FOR MASTER PLAN REVIEW
2	ISSUED FOR PRELIMINARY PLAN REVIEW

Drawing Title

UTILITY PLAN

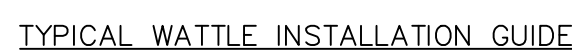
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Project Architect:	TECTON	Production Leader:	PL
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Project Designer:	AFJ/KT	Peer Reviewer:	BK/SMM
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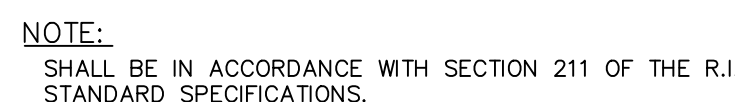
Drawing Number

CU-101



- WATTLES

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CONSTRUCTION ACCESS (R.I. STD. 9.9.0)

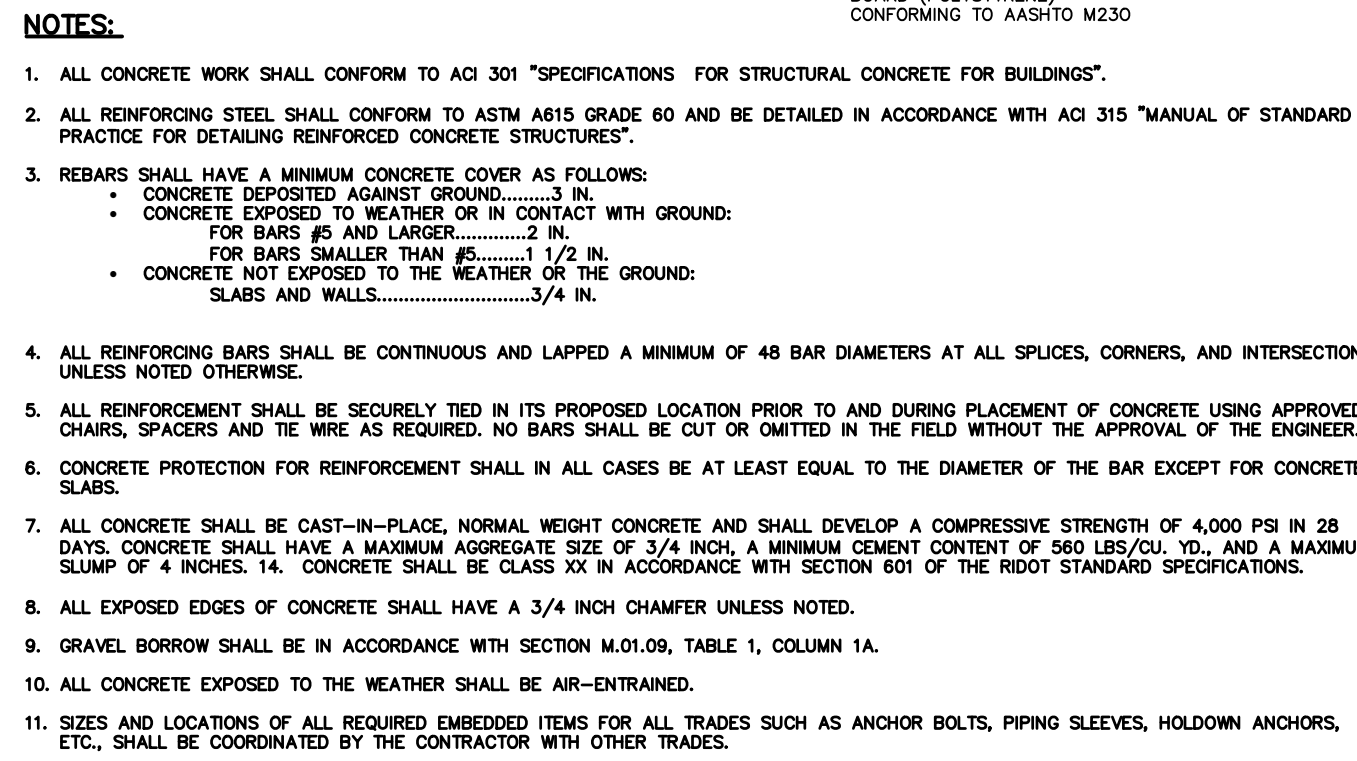
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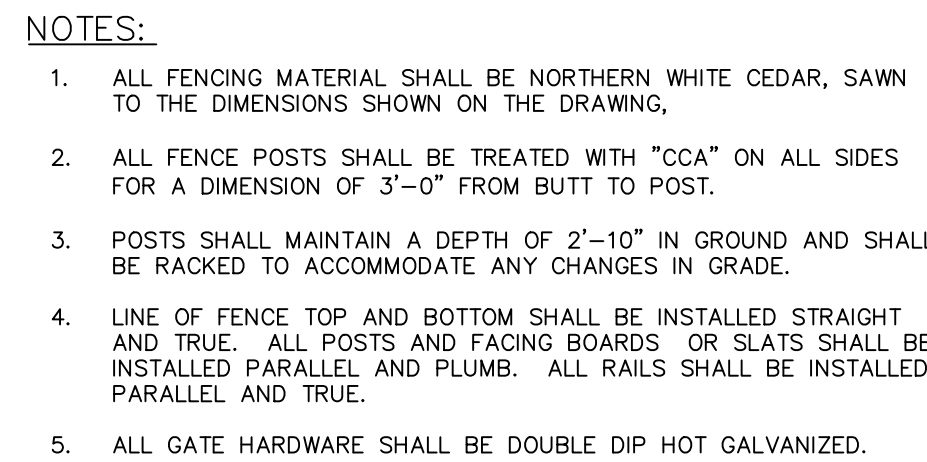
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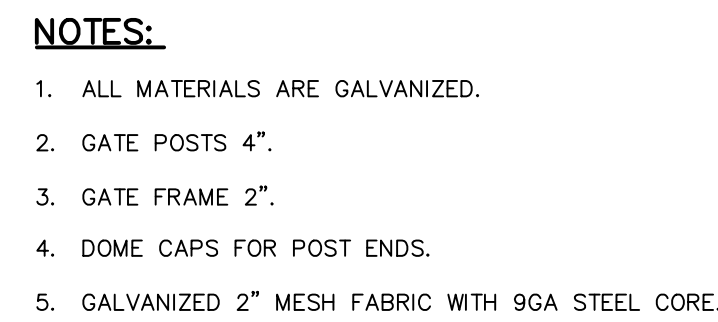
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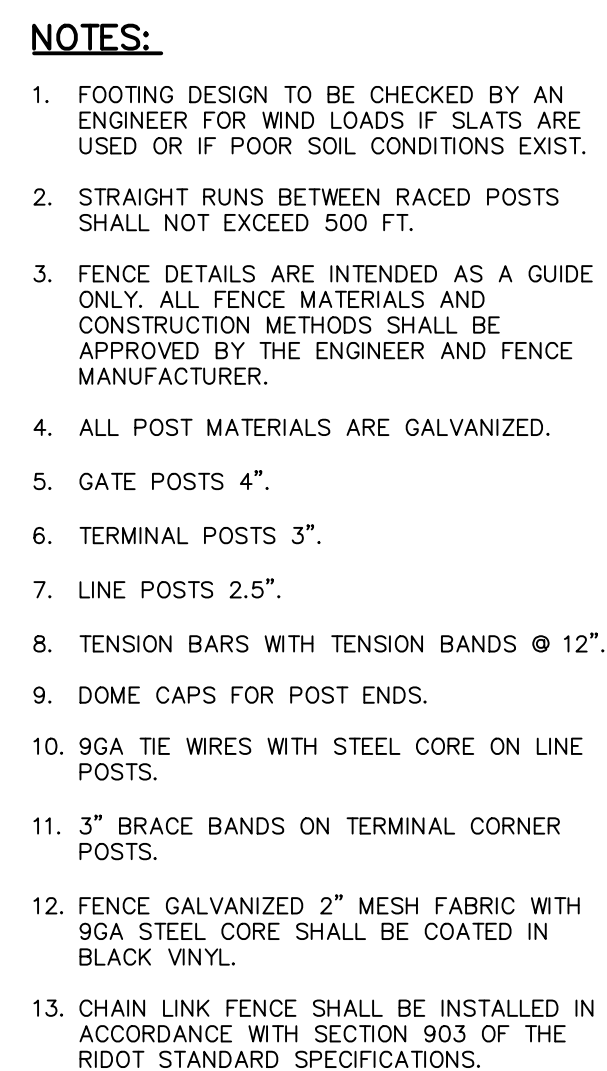
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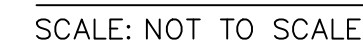
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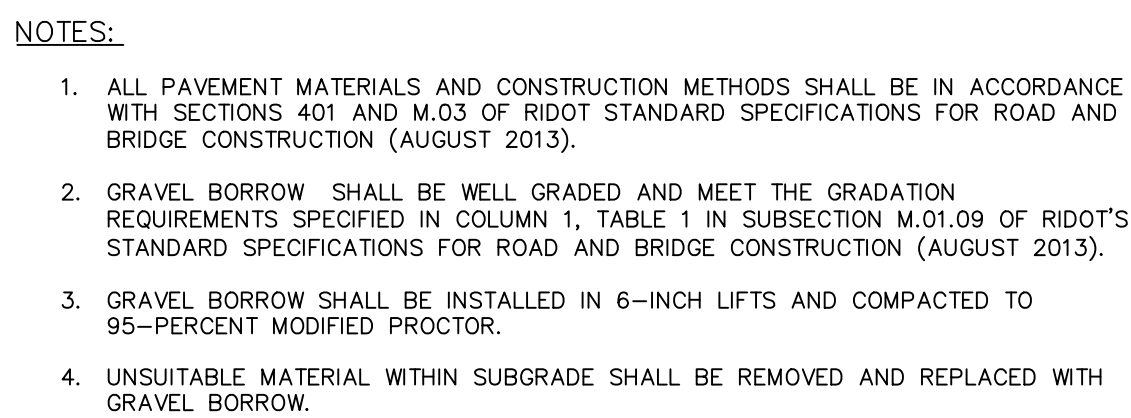
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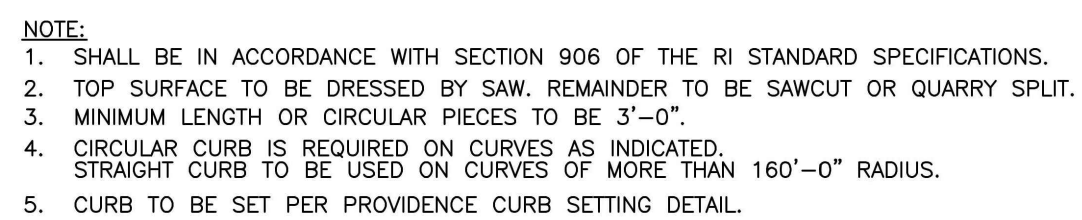
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CD-503

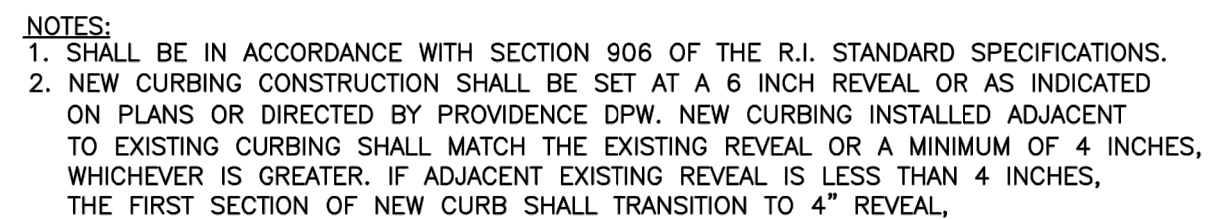


BITUMINOUS CONCRETE PAVEMENT
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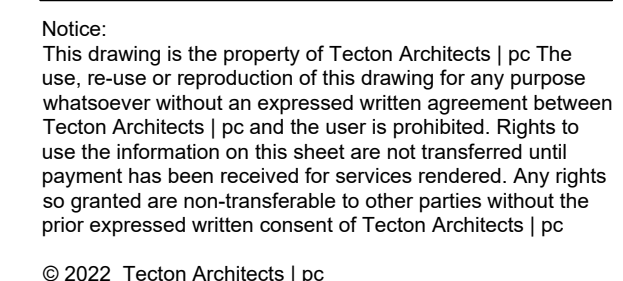
GRANITE CURB – STRAIGHT AND
CIRCULAR (7.3.0 P)

SCALE: NOT TO SCALE



CURB SETTING DETAIL (7.6.0 P)

SCALE: NOT TO SCALE



Client/ Contractor

CITY OF PROVIDENCE

25 DORRANCE STREET
PROVIDENCE, RI 02903

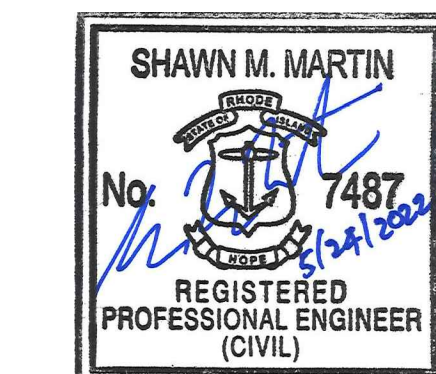
Project

FRANK D. SPAZIANO
ELEMENTARY SCHOOL

240 LABAN STREET
PROVIDENCE, RI 02909

Seals

PERMITTING SET
NOT FOR CONSTRUCTION



Issues / Revisions

[illegible]

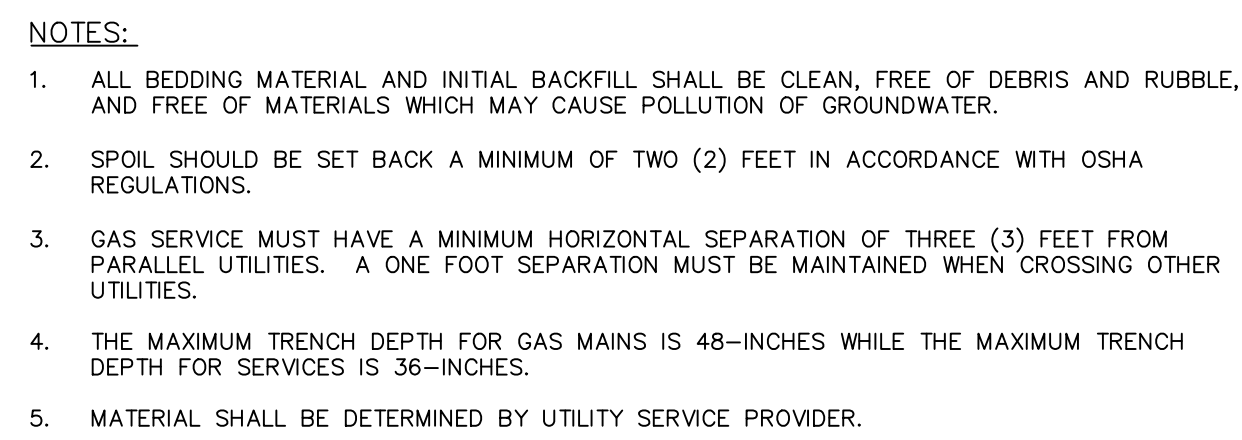
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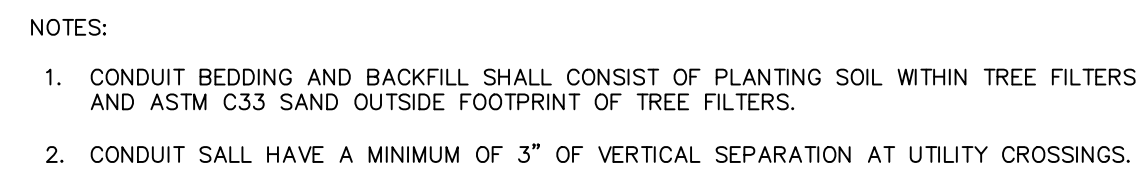
Project Manager:	BK	Project No: 20211274.A10
Project Architect:	TECTON	Production Leader: PL
Project Designer:	AFJ/KT	Peer Reviewer: BK/SMM

Drawing Number

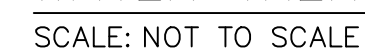
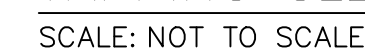
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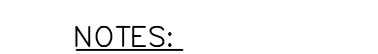
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BENDS	B	C	D	E	F	BENDS	B	C	D	E	
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6" 221/2"		19"	-	-	13"	6"	90"	-	30"	-	27"
8" 111/4"		20"	-	-	12"	8"	45"	-	30"	-	24"
8" 221/2"		22"	-	-	17"	8"	90"	-	38"	-	36"
12" 111/4"		30"	-	-	15"	12"	45"	-	40"	-	40"
12" 221/2"		35"	-	-	25"	12"	90"	-	60"	-	52"

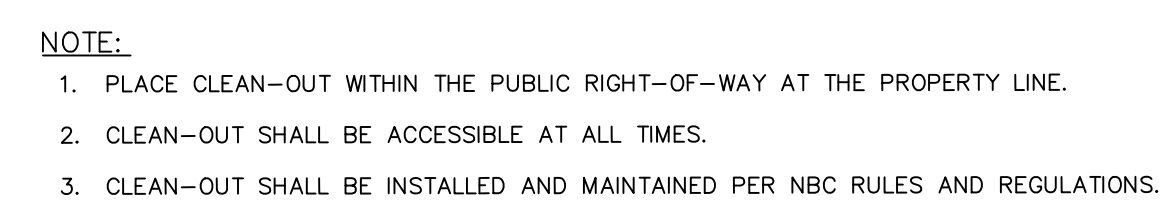
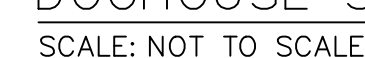
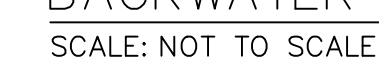


TEES	G	H	I	J	TEES	G	H	I	J
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8" x 8" x 6"	"	"	"	"	12" x 12" x 8"	"	"	"	24"
8" x 8" x 8"	"	"	"	24"	12" x 12" x 12"	"	36"	"	36"

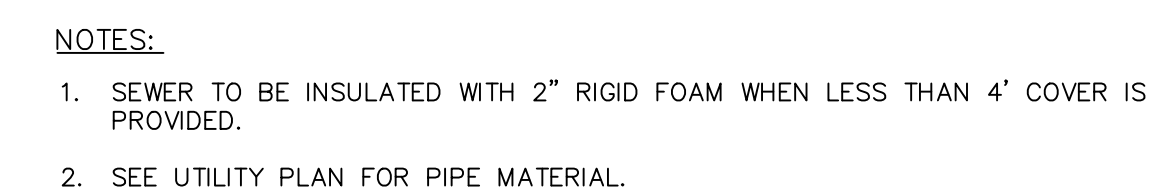


- NOTES:
1. PROVIDE BLOCKS FOR TAPPING SLEEVES, DEAD ENDS, GATE VALVES, AND VERTICAL BENDS (SAME SIZE AS REQUIRED FOR TEES). PROVIDE ANCHOR RODS AT VERTICAL BENDS AND GATE VALVES.
 2. CONCRETE SHALL NOT BE PLACED AGAINST PIPE BEYOND FITTING.
 3. CONCRETE SHALL HAVE 3,000 PSI MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS.

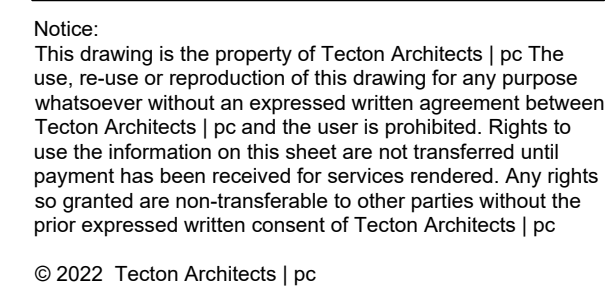
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SCALE: NOT TO SCALE



SCALE: NOT TO SCALE



Client/ Contractor

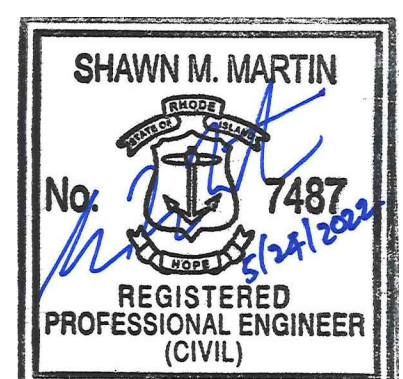
25 DORRANCE STREET
PROVIDENCE, RI 02903

Project

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PROVIDENCE, RI 02909

Seals

PERMITTING SET
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Issues / Revisions	
No.	Date
1.	4/19/2022
2.	5/24/2022

Drawing Title

Project Manager:	BK	Project No: 20211274.A10
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Project Architect:	TECTON	Production Leader:	PL
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Project Designer:	AE/JKT	Peer Reviewer:	BK/SMM
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Drawing Number

CD-505

C:\Users\ltharsh\Documents\R22-2022057 - MEP Central - Spazziano Elementary School_Initial.rvt 5/24/2022 11:20:17 AM



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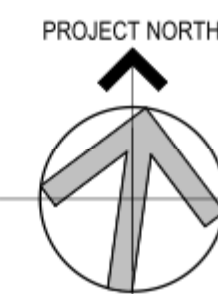
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PROVIDENCE PUBLIC SCHOOLS

797 WESTMINSTER STREET
PROVIDENCE, RI 02903

Project
SPAZZIANO ELEMENTARY SCHOOL
240 LABAN STREET
PROVIDENCE, RI 02909



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Issues / Revisions
No. Date Description
1. 4/19/2022 ISSUED FOR MASTER PLAN REVIEW
2. 5/24/2022 ISSUED FOR PRELIMINARY PLAN REVIEW

Drawing Title
P&Z SITE LIGHTING PLAN

Project Manager: Project No: Project Number
Project Architect: Production Leader:
Project Designer: Peer Reviewer:

Drawing Number

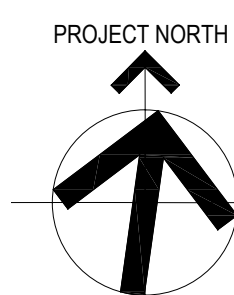
SL1.00

797 WESTMINSTER STREET
PROVIDENCE, RI 02903

Project

**SPAZIANO
ELEMENTARY SCHOOL**

240 LABAN STREET
PROVIDENCE, RI 02909



Seals

PROGRESS SET
NOT FOR CONSTRUCTION

[illegible]

Drawing Title

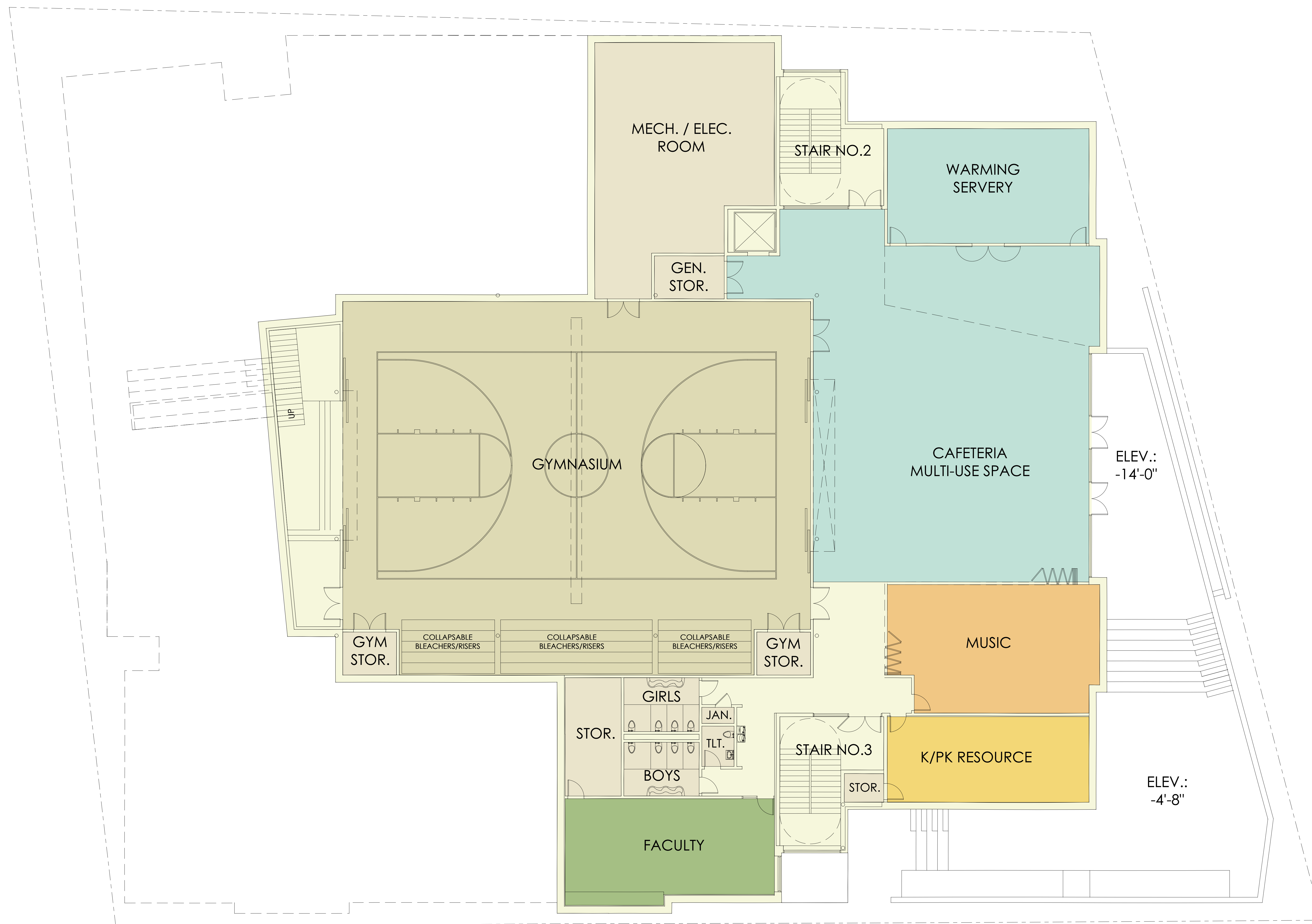
GARDEN
LEVEL FLOOR
PLAN

$\frac{1}{8}" = 1'-0"$

Project Manager:	JH	Project No:	PRV01AR
Project Architect:	PA	Production Leader:	PL
Project Designer:	ID	Peer Reviewer:	PR

Drawing Number

SD.10



GARDEN FLOOR LEVEL
AREA ~ 17,928 SF outside face



797 WESTMINSTER STREET
PROVIDENCE, RI 02903

240 LABAN STREET
PROVIDENCE, RI 02909

[illegible]

FIRST FLOOR
PLAN
 $\frac{1}{8}'' = 1'-0''$

Drawing Number

SD.11



Client/ Contractor

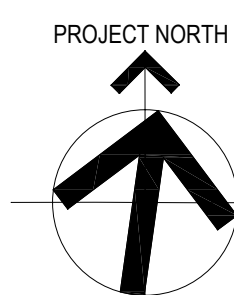
**PROVIDENCE PUBLIC
SCHOOLS**

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PROVIDENCE, RI 02903

Project

**SPAZIANO
ELEMENTARY SCHOOL**

240 LABAN STREET
PROVIDENCE, RI 02909



Seals

PROGRESS SET
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Drawing Title

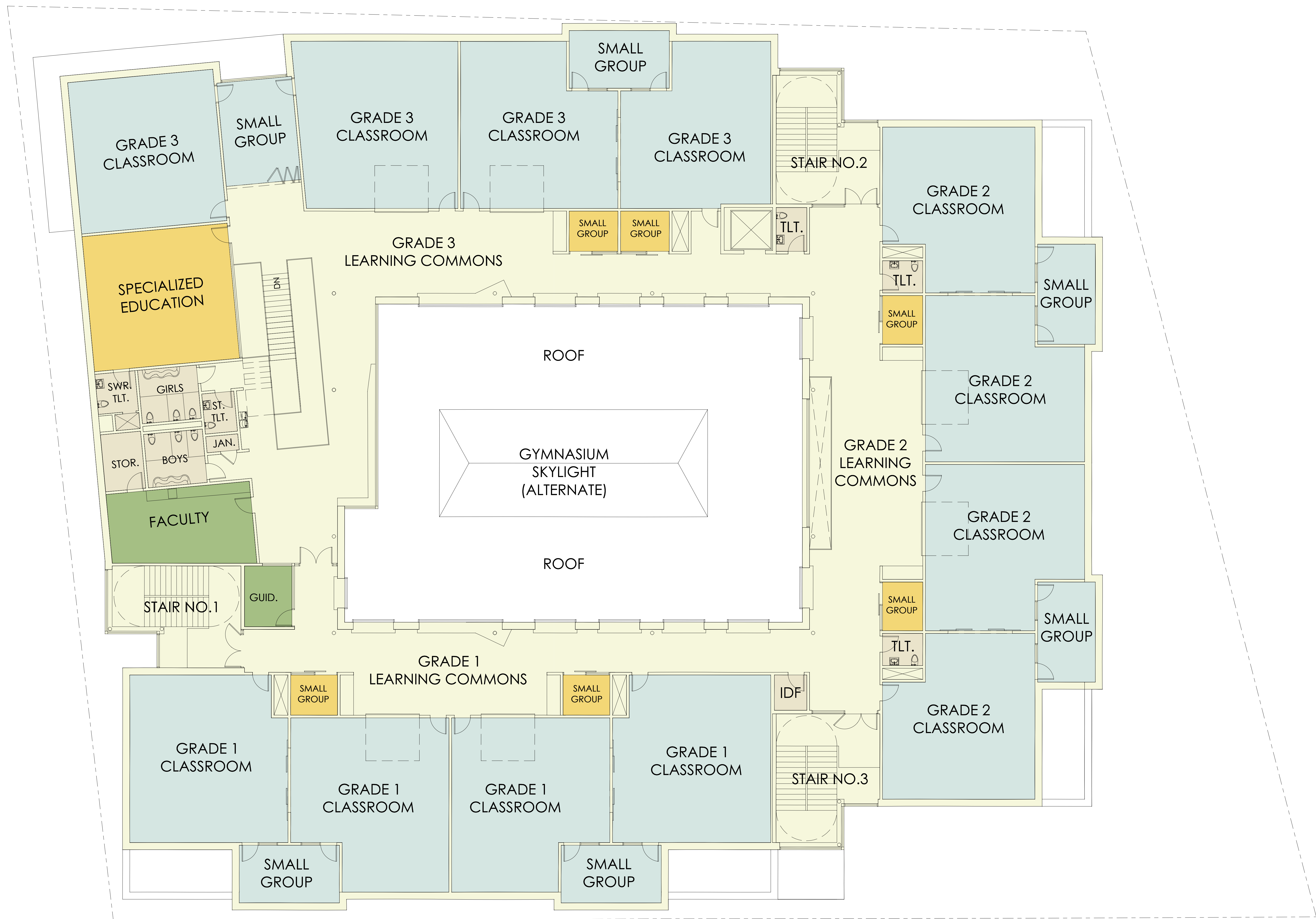
SECOND
FLOOR PLAN

$\frac{1"}{8} = 1'-0"$

Project Manager:	JH	Project No:	PRV01AR
Project Architect:	PA	Production Leader:	PL
Project Designer:	ID	Peer Reviewer:	PR

Drawing Number

SD.12



SECOND FLOOR LEVEL
AREA ~ 22,506 SF outside face

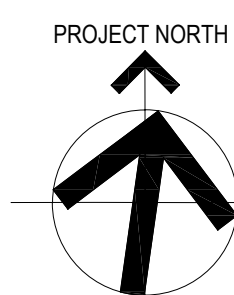


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PROVIDENCE, RI 02903

Project

**SPAZIANO
ELEMENTARY SCHOOL**

240 LABAN STREET
PROVIDENCE, RI 02909



Seals

PROGRESS SET
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[illegible]

Drawing Title

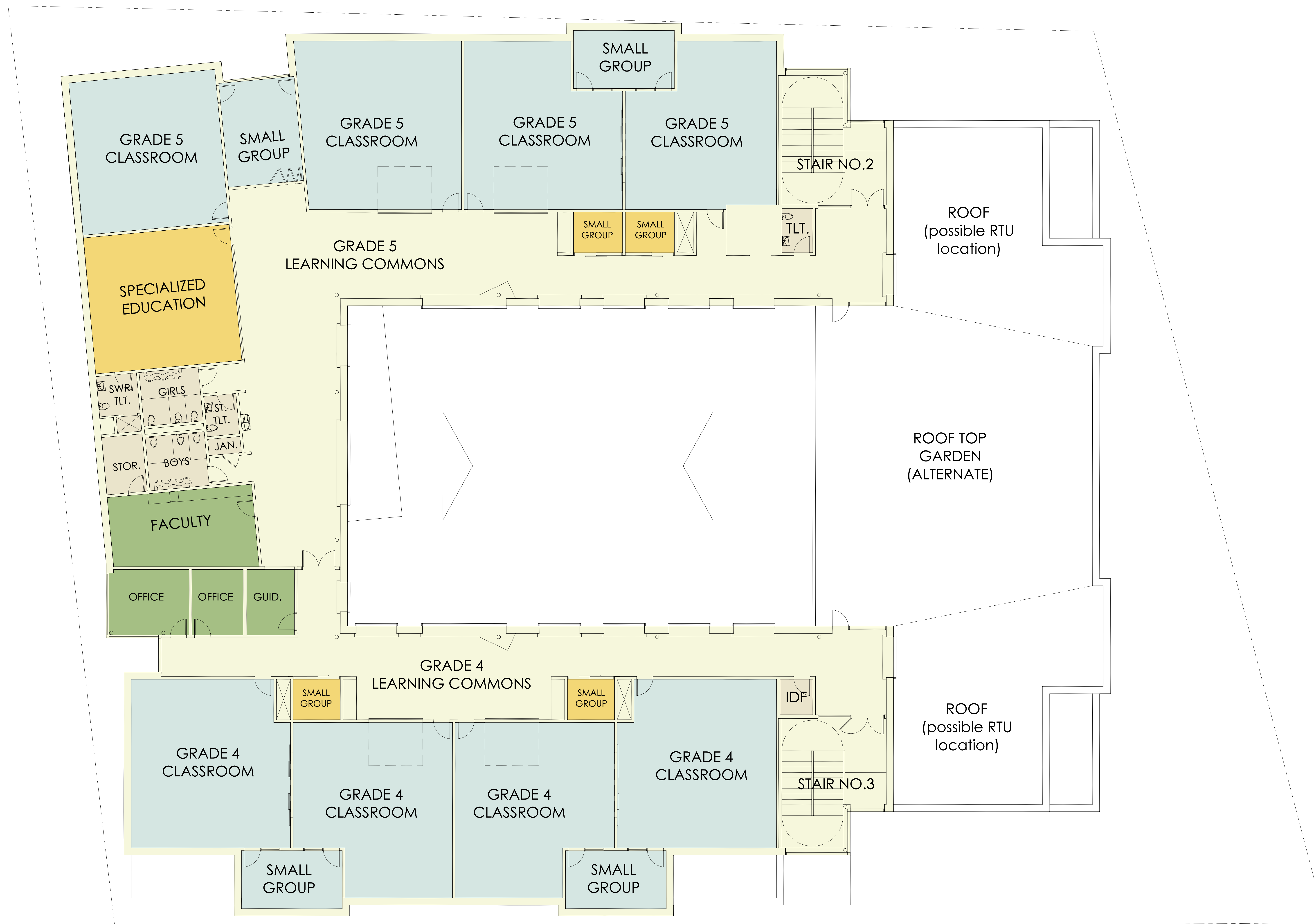
THIRD FLOOR
PLAN

$\frac{1"}{8} = 1'-0"$

Project Manager:	JH	Project No:	PRV01AR
Project Architect:	PA	Production Leader:	PL
Project Designer:	ID	Peer Reviewer:	PR

Drawing Number

SD.13



THIRD FLOOR LEVEL
AREA ~ 16,765 SF outside face



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2 EXTERIOR ELEVATION - LABAN STREET (NORTH)



1 EXTERIOR ELEVATION - MERINO STREET (WEST)

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Seals

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Issues / Revisions

No.	Date	Description
	05/06/2022	MASTER PLAN SUBMISSION
	05/24/2022	PRELIM. PLAN SUBMISSION

Drawing Title

EXTERIOR RENDERINGS

Project Manager:	JH	Project No:	PRV01AR
Project Architect:	PA	Production Leader:	PL
Project Designer:	ID	Peer Reviewer:	PR

Drawing Number

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PROGRESS SET

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[illegible]

Drawing Title

CONCEPTUAL
EXTERIOR
MASSING

Project Manager:	JH	Project No:	PRV01AR
Project Architect:	PA	Production Leader:	PL
Project Designer:	ID	Peer Reviewer:	PR

Drawing Number

SD.40

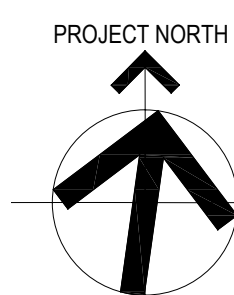


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Seals

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[illegible]

Drawing Title

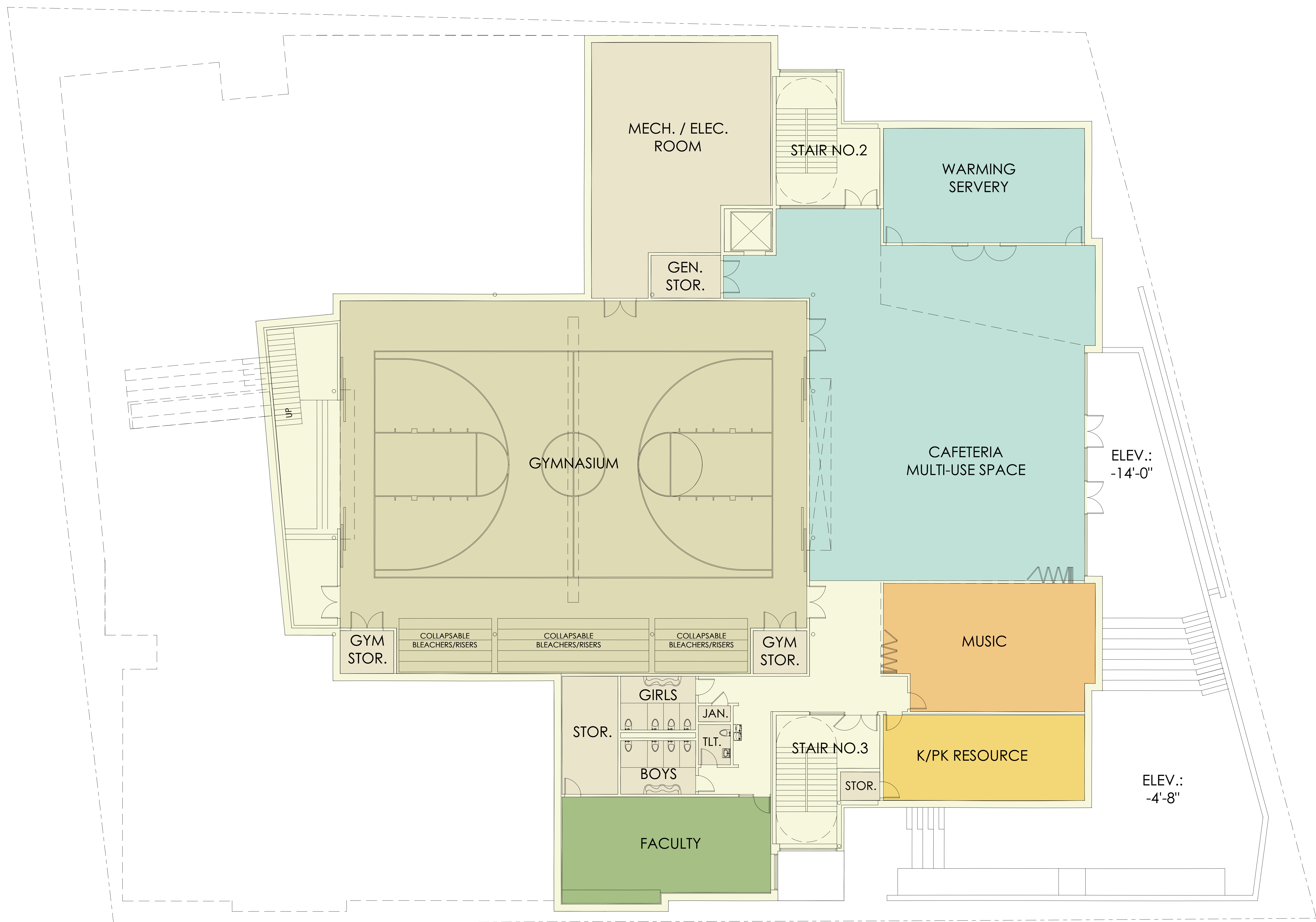
GARDEN
LEVEL FLOOR
PLAN

$\frac{1"}{8} = 1'-0"$

Project Manager:	JH	Project No:	PRV01AR
Project Architect:	PA	Production Leader:	PL
Project Designer:	ID	Peer Reviewer:	PR

Drawing Number

SD.10



GARDEN FLOOR LEVEL
AREA ~ 17,928 SF outside face



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[illegible]

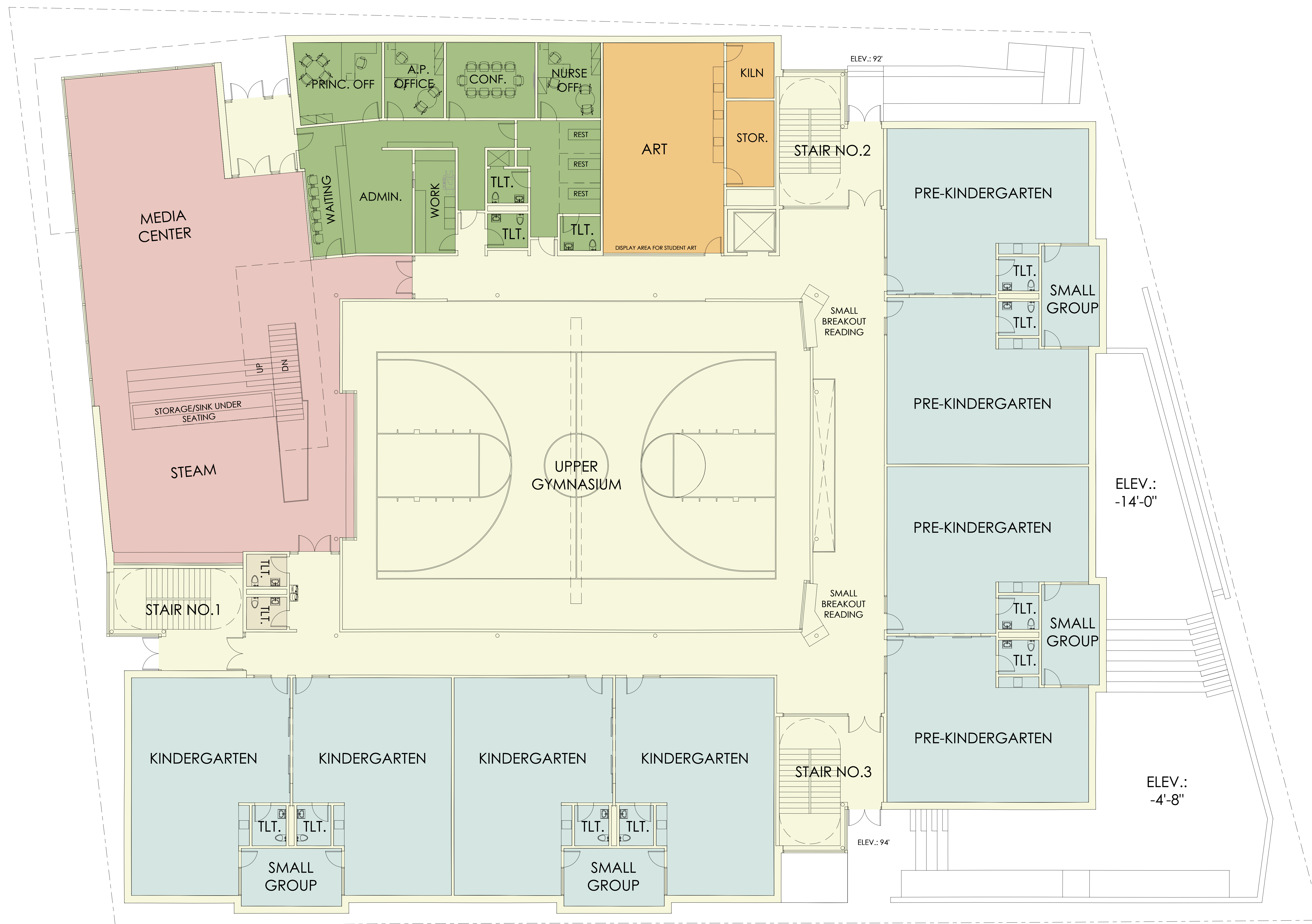
Drawing Title

FIRST FLOOR
PLAN
 $\frac{1}{8}'' = 1'-0''$

Project Manager:	JH	Project No:	PRV01AR
Project Architect:	PA	Production Leader:	PL
Project Designer:	ID	Peer Reviewer:	PR

Drawing Number

SD.11



MAIN FLOOR LEVEL
AREA ~ 22,827 SF outside face



Client/ Contractor

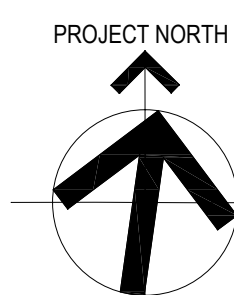
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Project

**SPAZIANO
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Seals

PROGRESS SET
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[illegible]

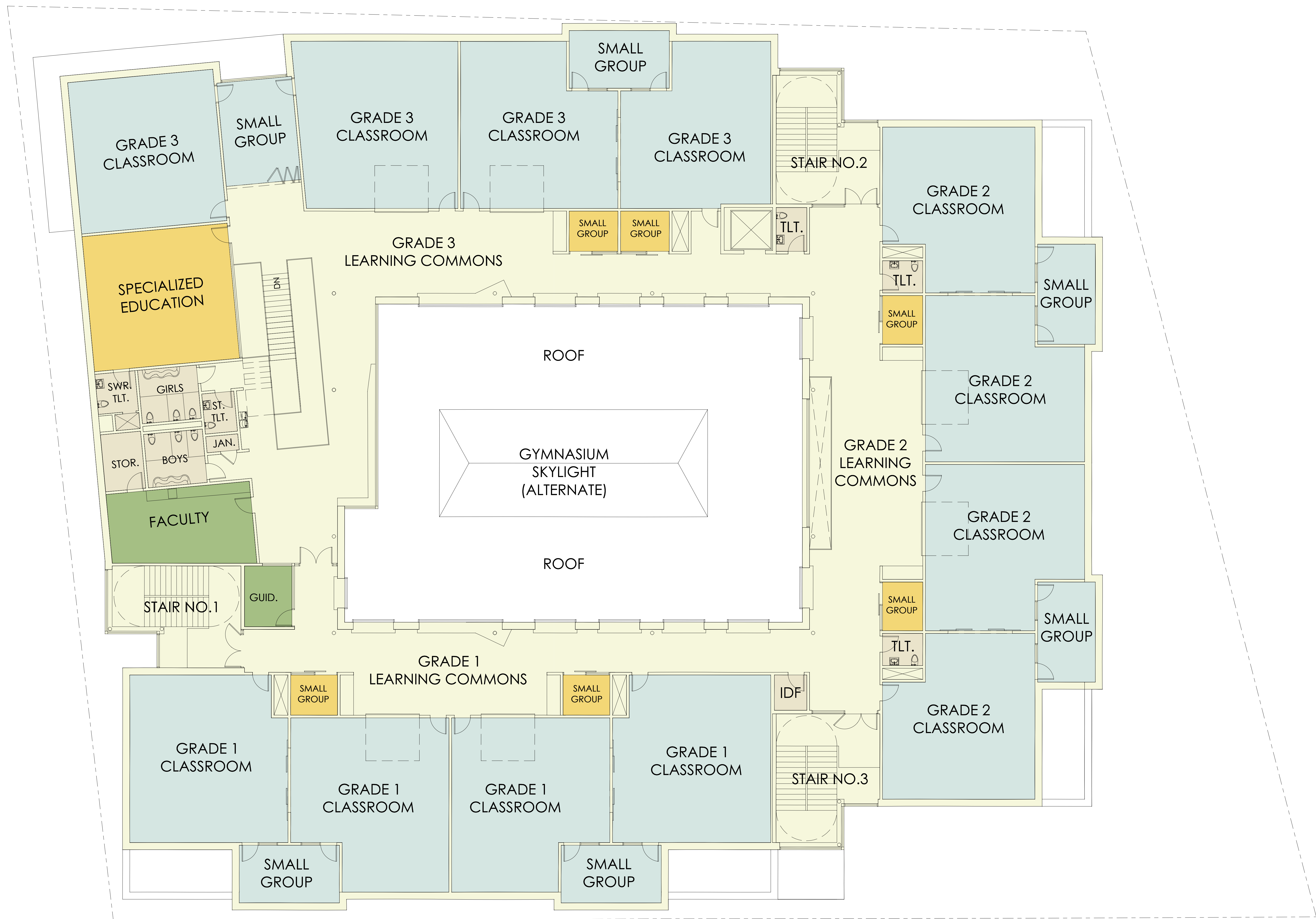
Drawing Title

SECOND
FLOOR PLAN

$\frac{1}{8}'' = 1'-0''$

Project Manager:	JH	Project No:	PRV01AR
Project Architect:	PA	Production Leader:	PL
Project Designer:	ID	Peer Reviewer:	PR

SD.12



SECOND FLOOR LEVEL
AREA ~ 22,506 SF outside face

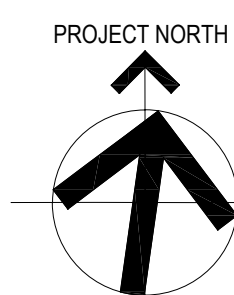


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Seals

PROGRESS SET
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[illegible]

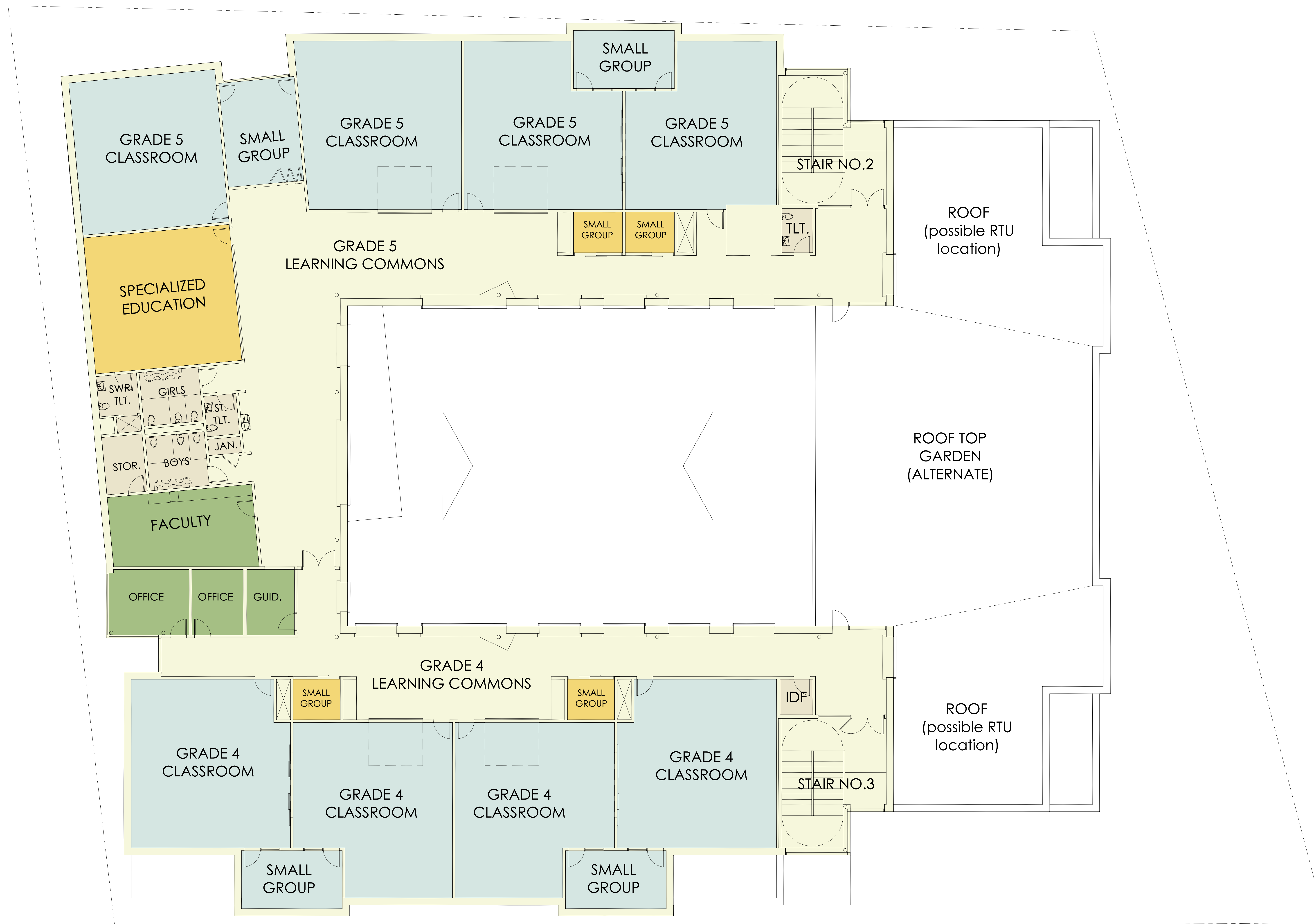
Drawing Title

THIRD FLOOR
PLAN

$\frac{1"}{8} = 1'-0"$

Project Manager:	JH	Project No:	PRV01AR
Project Architect:	PA	Production Leader:	PL
Project Designer:	ID	Peer Reviewer:	PR

SD.13



THIRD FLOOR LEVEL
AREA ~ 16,765 SF outside face



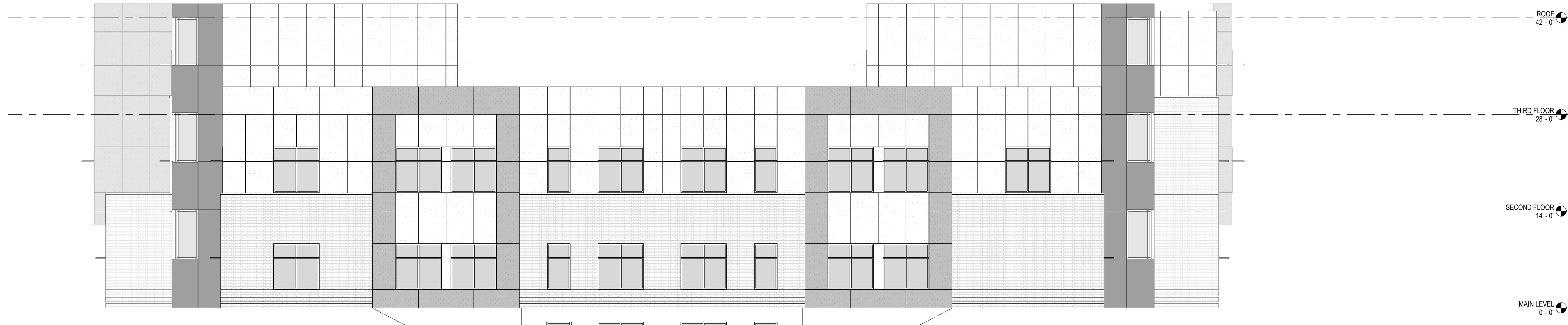
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4 EXTERIOR ELEVATION - NORTH



3 EXTERIOR ELEVATION - EAST



2 EXTERIOR ELEVATION - WEST



1 EXTERIOR ELEVATION - SOUTH

LEGEND - EXTERIOR ELEVATIONS

- BRICK VENEER
- CEMENT PANEL COLOR 1
- CEMENT PANEL COLOR 2
- CEMENT PANEL COLOR 3
- GLASS
- WINDOW FILM
- DOOR TAG: SEE SHEET A9.10
- CURTAIN WALL & STOREFRONT SYSTEM ELEVATION: SEE SHEETS A9.21, A9.22, A9.23 & A9.24

NOTES



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Issues / Revisions

No.	Date	Description
05/06/2022	05/06/2022	MASTER PLAN SUBMISSION
05/24/2022	05/24/2022	PRELIM. PLAN SUBMISSION
06/14/2022	06/14/2022	P.P. SUBMISSION UPDATE

Drawing Title

EXTERIOR ELEVATIONS

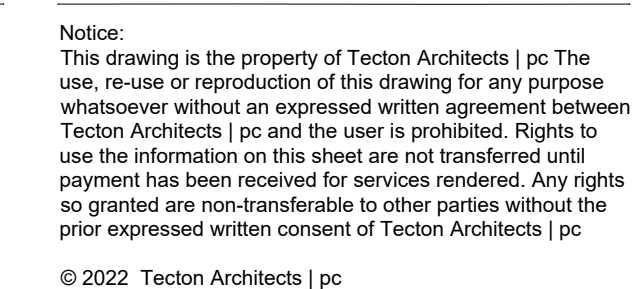
Project Manager: JH Project No: PRV01AR

Project Architect: PA Production Leader: PL

Project Designer: ID Peer Reviewer: PR

Drawing Number

SD.21



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Drawing Title

EXTERIOR
ELEVATIONS -
RENDERED

Project Manager:	JH	Project No:	PRV01AR
Project Architect:	PA	Production Leader:	PL
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2 EXTERIOR VIEW - CORNER OF MERINO AND LABAN STREETS



1 EXTERIOR VIEW - FACING SOUTH

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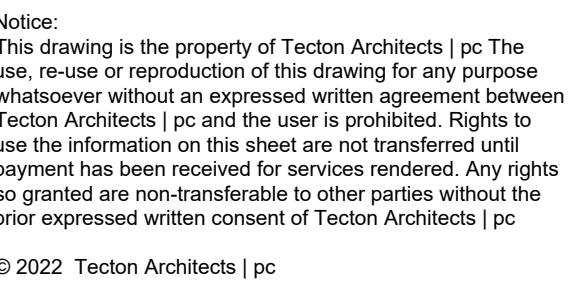
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Issues / Revisions	
No.	Description
05/06/2022	MASTER PLAN SUBMISSION
05/24/2022	PRELIM. PLAN SUBMISSION
06/14/2022	P.P. SUBMISSION UPDATE

Drawing Title
EXTERIOR RENDERINGS

Project Manager:	JH	Project No:	PRV01AR
Project Architect:	PA	Production Leader:	PL
Project Designer:	ID	Peer Reviewer:	PR

Drawing Number
SD.30



Project

**SPAZIANO
ELEMENTARY SCHOOL**

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No.	Date	Description
	05/06/2022	MASTER PLAN SUBMISSION
	05/24/2022	PRELIM. PLAN SUBMISSION
	06/14/2022	P.P. SUBMISSION UPDATE

Project Manager:	JH	Project No:	PRV01AR
Project Architect:	PA	Production Leader:	PL
Project Designer:	ID	Peer Reviewer:	PR

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