



Record No: ZBR-26-17

Zoning Board of Review Application

Status: Active

Submitted On: 5/6/2026

Primary Location

275 Elmwood Ave
Providence, RI 02907

Owner

Knight Memorial Library

[Redacted]
[Redacted]

Applicant

Ryan Rodrigues

[Redacted]
[Redacted]
[Redacted]

Owners and Applicants Information

Who is Submitting this Application?*

Other

Name and Professional Title of Person Submitting the Application*

Kevin Fox, General Contractor

Owners Name*

Providence Public Library/Knight Memorial Library

Owner Mailing Address*

[Redacted]
[Redacted]

Owner Email*

[Redacted]

Owner Phone*

[Redacted]

Name of Applicant, if different than owner

Jack Martin

Applicant Mailing Address, if different than owner

Applicant Email, if different than owner

Applicant Phone, if different than owner

Attorney Name

Attorney Mailing Address

Attorney Email

Attorney Phone

Owner Attestation and Signature Page* 

Signed - JM-PPL Owners Authorization Form KML_encrypted_.pdf

For fillable pdf of the Owner Attestation and Signature Page please visit the Applications and Forms section of our website: <https://www.providenceri.gov/inspection/boards-of-review/>

Type of Application

Application Type*

Dimensional Variance

List all Zoning Ordinance Sections from which a variance is sought. Include Section Number, Section Title, and Quantity of relief, if applicable (eg. 4' setback where 6' required)*

Zoning Ordinance Section 1303/Table 13-2. Please allow to install 3 pavillions on front lawn area. The areas have been revised on L-4.00. They are as follows from left to right: 54'6" from face of primary structure to start of accessory structure. 27'-0" from primary structure to start of accessory structure, and 26'-5" from primary structure to start of accessory structure.

Summarize any changes proposed for the Property (use, construction/renovation, site alteration):*

We are installing 3 pavillions for outdoor spaces at the Knight Memorial Library

Subject Property Information

Address of Subject Property*

275 Elmwood Avenue

Plat*

44

Lot(s)* ?

403

Existing Zoning Use of the Property*

Cultural Facility

Proposed Zoning Use of the Property*

Cultural Facility

Base Zoning District*

C-2 General Commercial District

Base Zoning District 2 (if applicable)

C-2 General Commercial District

Overlay Zoning District (if applicable)

HD Historic District Overlay District

Overlay Zoning District 2 (if applicable)

—

Overlay Zoning District 3 (if applicable)

—

Date Owner Purchased the Property*

03/17/1917

Start Date of Lessee's Occupancy

—

Are there outstanding violations concerning the Property under the City of Providence Zoning Ordinance?*

No

Are there outstanding violations concerning the Property under the RI State Building or Property Maintenance Code(s)?*

No

Appendix A: Application for Variance(s)

1. What is the specific hardship from which the applicant seeks relief?*

To build 3 pavillions in the front lawn area

2. Specify all unique characteristics of the land or structure that cause the hardship:*

Gazebos are not allowed in the front yard area. They are placed in the front yard as the front yard has more space to hold them, whereas the back yard area is taken up by parking and is near residential homes. Being in the front would attract passerby to stop and interact with the space, and possibly using the library.

3 (a) Is the hardship caused by an economic disability?*

No

3 (b) Is the hardship caused by a physical disability?*

No

3 (c) If the response to subsection (b) is "yes," is the physical disability covered by the Americans with Disabilities Act of 1990 (ADA), 42 U.S.C. § 12101 et seq.? *

No

4. Did the owner/applicant take any prior action with respect to the Property that resulted in the need for the variance requested? (Examples include, but are not limited to, any changes the owner/applicant made to the structure(s), lot lines, or land, or changes in use of the Property)?*

No

5. If you are seeking a USE VARIANCE, set forth all facts that demonstrate that the Property cannot have any beneficial use if you are required to use it in a manner allowed in the zoning district:*

N/A

6. If you are seeking a DIMENSIONAL VARIANCE, set forth all facts that indicate that if the variance is not granted, the hardship the owner/applicant will suffer is more than a mere inconvenience:*

ARPA funds are being used on this job. If we cannot get this completed before then, funds disappear and we cannot put these in.

COMMUNITY LIBRARIES OF PROVIDENCE

**KNIGHT MEMORIAL LIBRARY
GARDEN PROJECT**

275 ELMWOOD AVENUE,
Providence, RI 02907

CONSTRUCTION DOCUMENTS [04/09/26]

SHEETS:

- L-0.00 - COVER SHEET
- L-1.00 - LANDSCAPE DEMOLITION PLAN
- L-3.00 - LANDSCAPE MATERIALS PLAN
- L-4.00 - LANDSCAPE LAYOUT PLAN
- L-5.00 - PLANTING PLAN
- L-6.00 - SITE DETAILS - "RED GARDEN"
- L-6.10 - SITE DETAILS - "BLUE GARDEN"
- L-6.20 - SITE DETAILS - "YELLOW GARDEN"
- L-7.00 - SITE DETAILS
- L-7.10 - SITE DETAILS
- L-7.20 - SITE DETAILS
- L-8.00 - PLANTING DETAILS



THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR CONFIRMING AND CORRELATING ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATIONS PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING THEIR WORK IN A SAFE MANNER, AND OF COORDINATING HIS/HER WORK WITH THAT OF ALL OTHER TRADES

Date	Name
8/26/25	BID SET
1/07/26	REVISED BID SET
4/09/26	CONSTRUCTION DOCUMENTS

PROJECT:

**KNIGHT MEMORIAL LIBRARY
GARDEN**

275 ELMWOOD AVENUE
PROVIDENCE, RI 02907

Registration



Project number	2405
Date	4-09-2026
Drawn by	AEA
Checked by	AEA
Scale	1"=16'-0"

Drawing Title

COVER SHEET

Sheet Number

L-0.00

DESIGN UNDER SKY

LANDSCAPE ARCHITECTURE

DESIGN UNDER SKY, LLC
95 CLEMENCE STREET
PROVIDENCE, RI 02803
T: 401.339.4122
www.designundersky.com

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KNIGHT MEMORIAL LIBRARY GARDEN

275 ELMWOOD AVENUE
PROVIDENCE, RI 02907

Registration

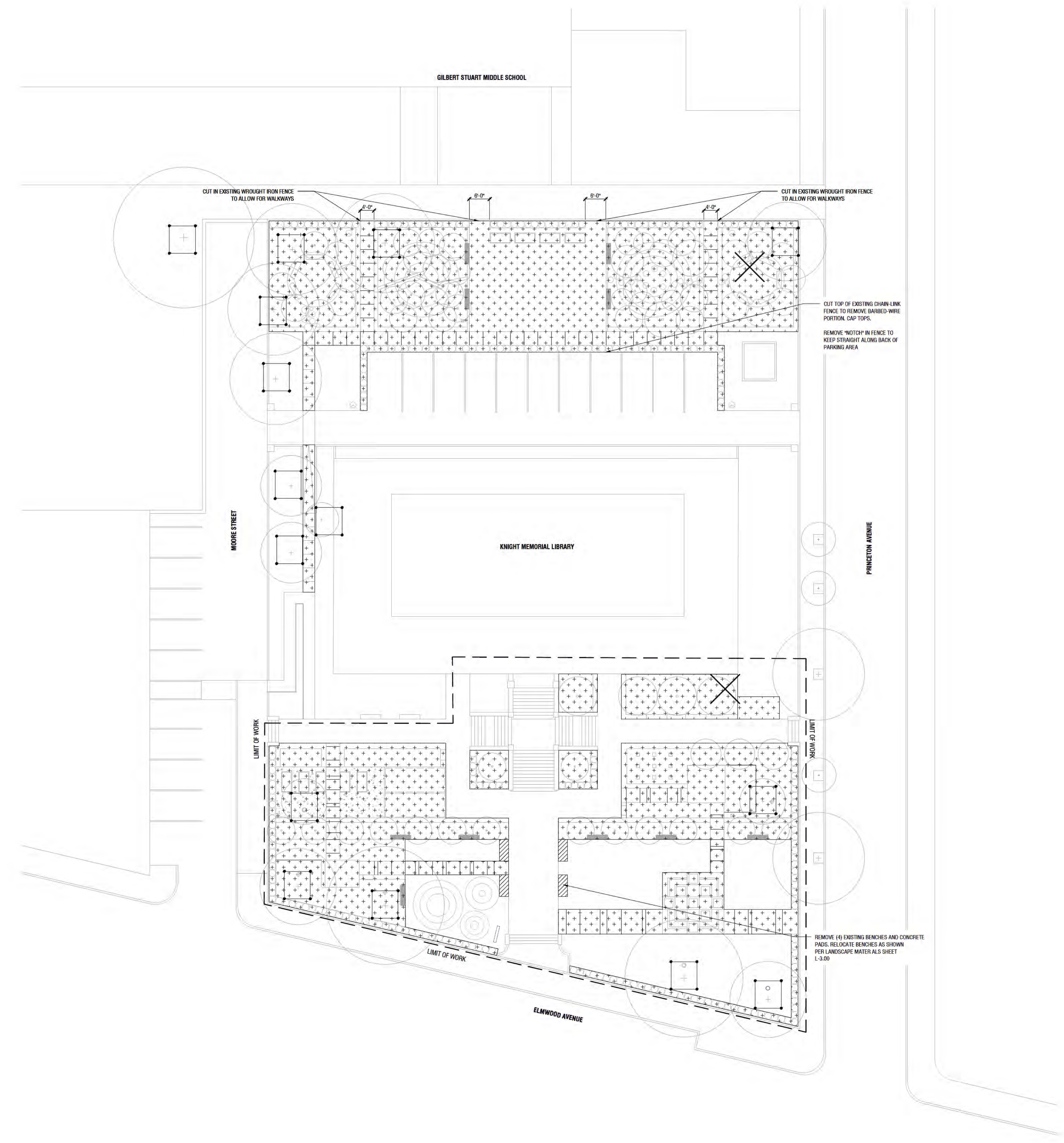


Project number	2405
Date	4-09-2026
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Scale	1"=16'-0"

Drawing Title
LANDSCAPE DEMOLITION PLAN

Sheet Number

L-1.00



DEMO LEGEND

- PAVING AND HARDSCAPE TO REMOVE
- REMOVE (CLEAR & GRUB) PLANTINGS
- TREE AND STUMP TO REMOVE AND DISPOSE
- TREE PROTECTION FENCING
-
-
-

NOTES:

1. DISPOSAL OF MATERIALS OFF SITE SHALL BE DONE IN A LEGAL MANNER.
2. ALL SALVAGED MATERIALS SHALL BE KEPT IN A SECURE LOCATION ON THE PREMISES. ALL MATERIALS REMAIN THE PROPERTY OF THE OWNER UNLESS SPECIFICALLY RELEASED TO THE CONTRACTOR IN WRITING.
3. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND DEMOLITION OF ALL UTILITIES AND SUBGRADE CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION STAGING AND LOGISTICS

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KNIGHT MEMORIAL LIBRARY GARDEN

275 ELMWOOD AVENUE
 PROVIDENCE, RI 02807

Registration

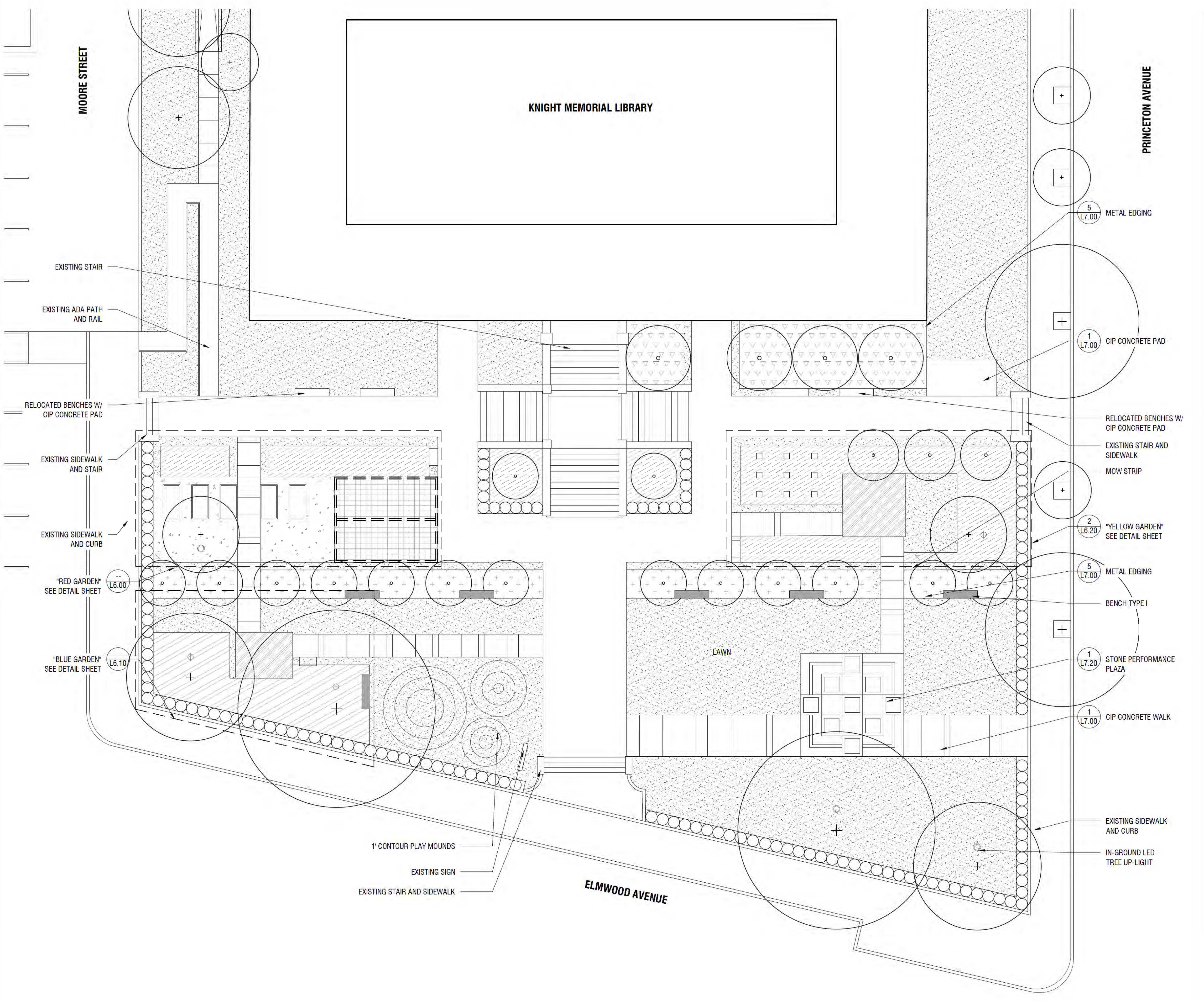


Project number	2405
Date	1-07-2026
Drawn by	AEA
Checked by	AEA
Scale	1"=8'-0"

Drawing Title
LANDSCAPE MATERIALS PLAN

Sheet Number

L-3.00



- MATERIALS LEGEND**
- LAWN
 - UNIT PAVING I
 - CIP EXPOSED AGGREGATE PAVING
 - DECOMPOSED GRANITE PAVING
 - PLANTING TYPE I
 - PLANTING TYPE II
 - PLANTING TYPE III
 - STABILIZED WOOD CHIPS
 - CUSTOM BENCH TYPE I
 - LED FLOOD LIGHT
 - LED IN-GROUND LIGHT
 - GARDEN HOSE CONNECTION
 - EXISTING TREE
 - PROPOSED TREE

NOTE* PROVIDE METAL EDGING AT ALL WOOD CHIP, PLANTING, STONE PAVING, AND DECOMPOSED GRANITE AREAS



MOORE STREET

PRINCETON AVENUE

KNIGHT MEMORIAL LIBRARY

54'-6"

27'-0"

26'-5"

7'-5" 6'-0" 5'-5" 6'-0" 9'-3" 12'-2" 6'-6"

CORNER OF EXISTING SIDEWALK

4'-10" 4'-10" 4'-11"

ALIGN

4'-2"

4'-7"

4'-0"

1'-6"

2'-0"

1'-0"

3'-0"

1'-0"

3'-0"

3'-5"

3'-4"

18'-0"

18'-0"

4'-0"

6'-0"

2'-0"

4'-3"

6'-0"

1'-0"

5'-0"

3'-0"

4'-0"

7'-0"

1'-0"

2'-0"

13'-8" 4'-0" 31'-0"

7'-0" 14'-11"

1'-0" 1'-0" 2'-8" 2'-0" 4'-0" 1'-4"

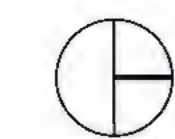
6'-0" 5'-0"

2'-0" 4'-0" 3'-3" 4'-0" 3'-0" 4'-0" 1'-0" 1'-0" 2'-0" 2'-0" 3'-3" 4'-0" 3'-0" 4'-0" 4'-4" 4'-4"

5'-8" 9'-2" 6'-0" 14'-0" 6'-0" 8'-7" 6'-3" 6'-4" 4'-0" 10'-2" 7'-2"

4'-0" 4'-0" 3'-0" 4'-0" 3'-0" 4'-0" 3'-0" 4'-0" 4'-4" 4'-4" 1'-0" 1'-0" 2'-0" 2'-0" 3'-5" 6'-8" 10'-0" 14'-0" 4'-0" 19'-8" 6'-9" 13'-9" 9'-1" 6'-5" 4'-10" 4'-10" 4'-11" 3'-3" 3'-4" 3'-4" 3'-4" 1'-9" 3'-3" 3'-0" 2'-0" 1'-0" 3'-0" 6'-9" 19'-5" 6'-8" 19'-8" 14'-0" 4'-0" 30'-5" 8'-6" 6'-0" 14'-0" 6'-0" 10'-0" 1'-0" 2'-0" 4'-0" 6'-0" 2'-0" 4'-3" 6'-0" 1'-0" 5'-0" 3'-0" 4'-0" 7'-0" 1'-0" 2'-0"

ELMWOOD AVENUE



DESIGN UNDER SKY

LANDSCAPE ARCHITECTURE

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Date	Name
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1/07/26	REVISED BID SET
4/09/26	CONSTRUCTION DOCUMENTS

PROJECT:

KNIGHT MEMORIAL LIBRARY GARDEN

275 ELMWOOD AVENUE
PROVIDENCE, RI 02807

Registration



Project number	2405
Date	1-07-2026
Drawn by	AEA
Checked by	AEA
Scale	1"=8'-0"

Drawing Title
LANDSCAPE LAYOUT PLAN

Sheet Number

L-4.00

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PROJECT: KNIGHT MEMORIAL LIBRARY GARDEN

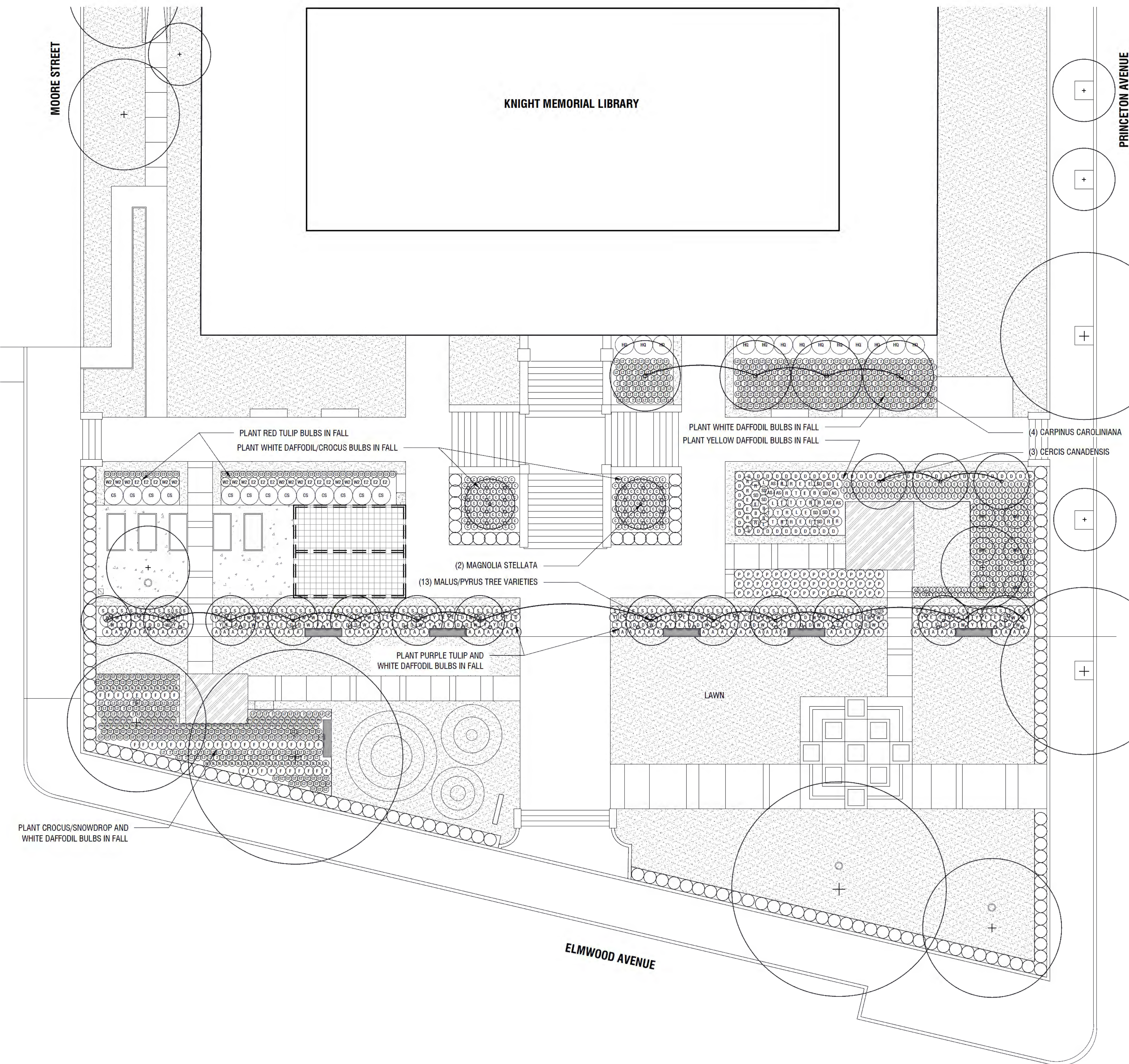
275 ELMWOOD AVENUE
PROVIDENCE, RI 02907



Registration	
Project number	2405
Date	04-09-2026
Drawn by	AEA
Checked by	AEA
Scale	1"=8'-0"
Drawing Title	PLANTING PLAN

Sheet Number

L-5.00

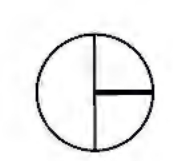


PLANT MATERIALS LIST

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
TREES AND SHRUBS					
	4	CARPINUS CAROLINIANA	AMERICAN HORNBEECH	2" CAL.	B&B
	13	MIX OF FRUITING MALUS/PYRUS TREES	APPLE/PEAR TREES (VAR. TBD)	2" CAL.	B&B
	3	CERCIS CANADENSIS	REDBUD	2" CAL.	B&B
	2	MAGNOLIA STELLATA	STAR MAGNOLIA	6/7' HT.	B&B
○	150	TAXUS X MEDIA 'DENSIFORMIS'	DENSIFORMIS SPREADING YEW	18/24"	B&B
⊙	13	CORNUS SERICEA 'ARCTIC FIRE'	ARCTIC FIRE RED TWIG DOGWOOD	#3	CONT.
⊙	6	HAMAMELIS VIRGINIANA 'ARNOLD'S PROMISE'	WITCH HAZEL	#7	CONT.
⊙	13	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	#7	CONT.
PERENNIALS / GRASSES / GROUNDCOVERS					
⊙	65	SESLEERIA AUTUMNALIS	AUTUMN MOOR GRASS	#1	CONT.
⊙	86	SCHIZACHYRIUM SCOPARIUM 'STANDING OVATION'	STANDING OVATION LITTLE BLUESTEM	#1	CONT.
⊙	80	DESCHAMPSIA CESPISOTA	TUFTED HAIR GRASS	#1	CONT.
⊙	48	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	#1	CONT.
⊙	51	EGHINACEA PURPUREA	PURPLE CONEFLOWER	#1	CONT.
⊙	12	EGHINACEA SOMBRERO SALSIA RED	RED CONEFLOWER	#1	CONT.
⊙	42	MONARDA FISTULOSA	BEE BALM	#1	CONT.
⊙	14	MONARDA 'CHERRY POPS'	CHERRY POPS BEE BALM	#1	CONT.
⊙	44	ACHILLEA MILLEFOLIUM	YARROW	#1	CONT.
⊙	7	COREOPSIS 'EARLY SUNRISE'	TICKSEED	#1	CONT.
⊙	15	RUDBECKIA 'GOLDSTURM'	CONEFLOWER	#1	CONT.
⊙	6	ASCLEPIAS TUBEROSA	BUTTERFLY WEED	#1	CONT.
⊙	5	LIATRIS SPICATA 'KOBOLD'	GAYFEATHER	#1	CONT.
⊙	6	ASTER NOVAE ANGLIAE 'PURPLE DOME'	ASTER	#1	CONT.
⊙	9	SOLIDAGO 'FIREWORKS'	GOLDENROD	#1	CONT.
⊙	40	TIARELLA CORDIFOLIA	FOAMFLOWER	#1	CONT.
⊙	432	CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	#1	CONT.
⊙	116	CAREX FLACCA 'BLUE ZINGER'	GLAUCOUS SEDGE	#1	CONT.
⊙	40	CAREX TENUCULMIS 'CAPPUCCINO'	CAPPUCCINO SEDGE	#1	CONT.
⊙	461	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILY TURF	#1	CONT.
⊙	33	SISYRINCHIUM 'LUCERNE'	BLUE-EYED GRASS	#1	CONT.
⊙	58	PHLOX DIVARICATA 'BLUE MOON'	PHLOX	#1	CONT.
⊙	77	ALLIUM 'GLOBEMASTER'	GIANT ONION	#1	CONT.
SEED, SOD, BULBS					
	3,500 SF	ALL EXISTING LAWN AREAS AND AREAS DISRUPTED BY CONSTRUCTION TO BE SEeded AND HYDRATED WITH LAWN ALTERNATIVE SEED MIX (SOD AS ALTERNATE)			
	500	NARCISSUS (YELLOW AND WHITE)	DAFFODIL (PLANTED IN FALL)	BULB	QTY. ALLOWANCE
	200	TULIP (RED AND PURPLE)	TULIP (PLANTED IN FALL)	BULB	QTY. ALLOWANCE
	2,000	CROCUS AND/OR SNOW DROPS	[PLANTED IN FALL]	BULB	QTY. ALLOWANCE

- - EXISTING TREE
- ⊙ - PROPOSED TREE

PLANTING NOTE:
PROPOSED TREES ARE INTENDED TO BE PLANTED IN A SERIES OF COMMUNITY PLANTING DAYS WHEN FEASIBLE WITH THE ASSISTANCE OF THE LANDSCAPE CONTRACTOR.



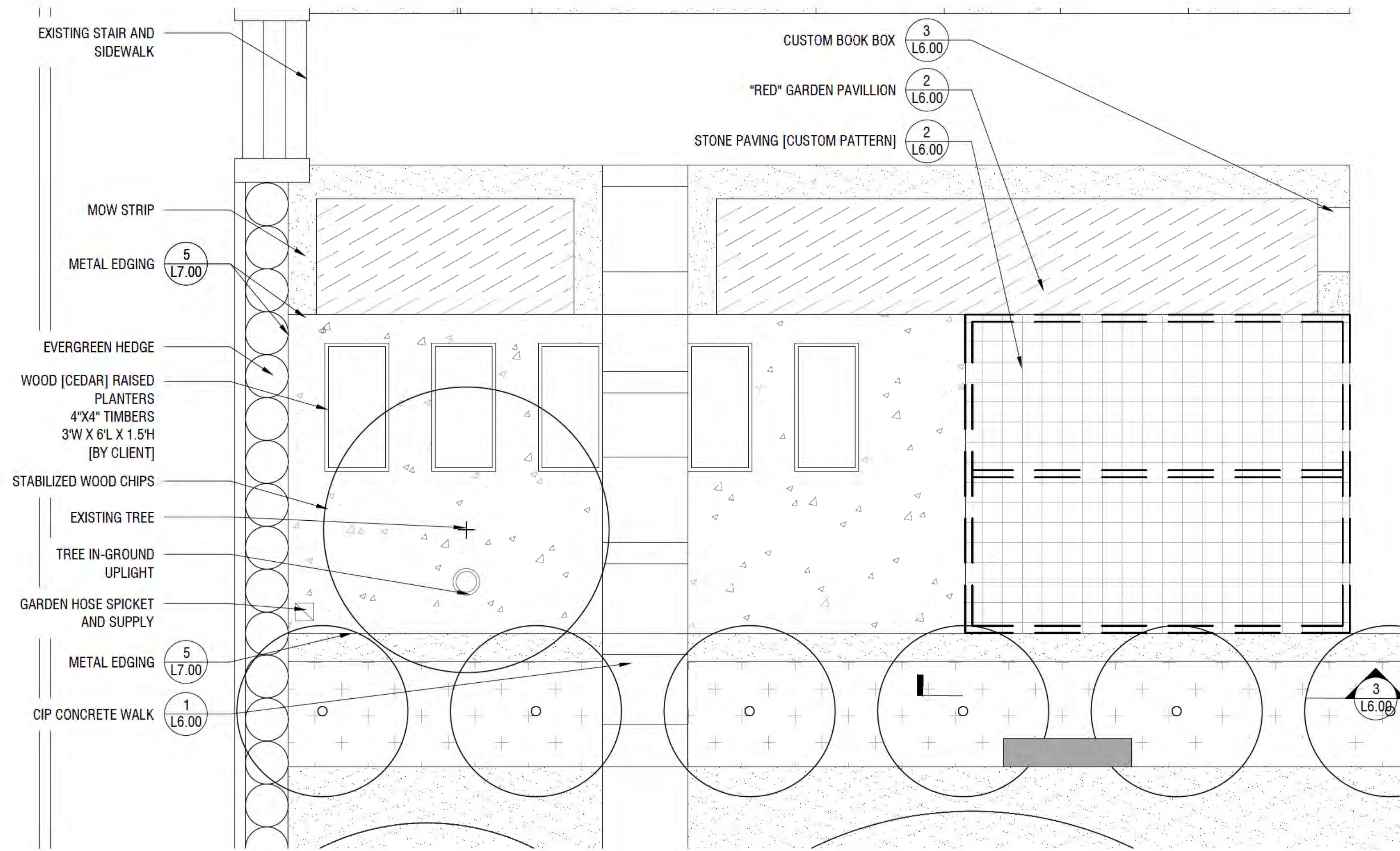
DESIGN UNDER SKY

LANDSCAPE ARCHITECTURE

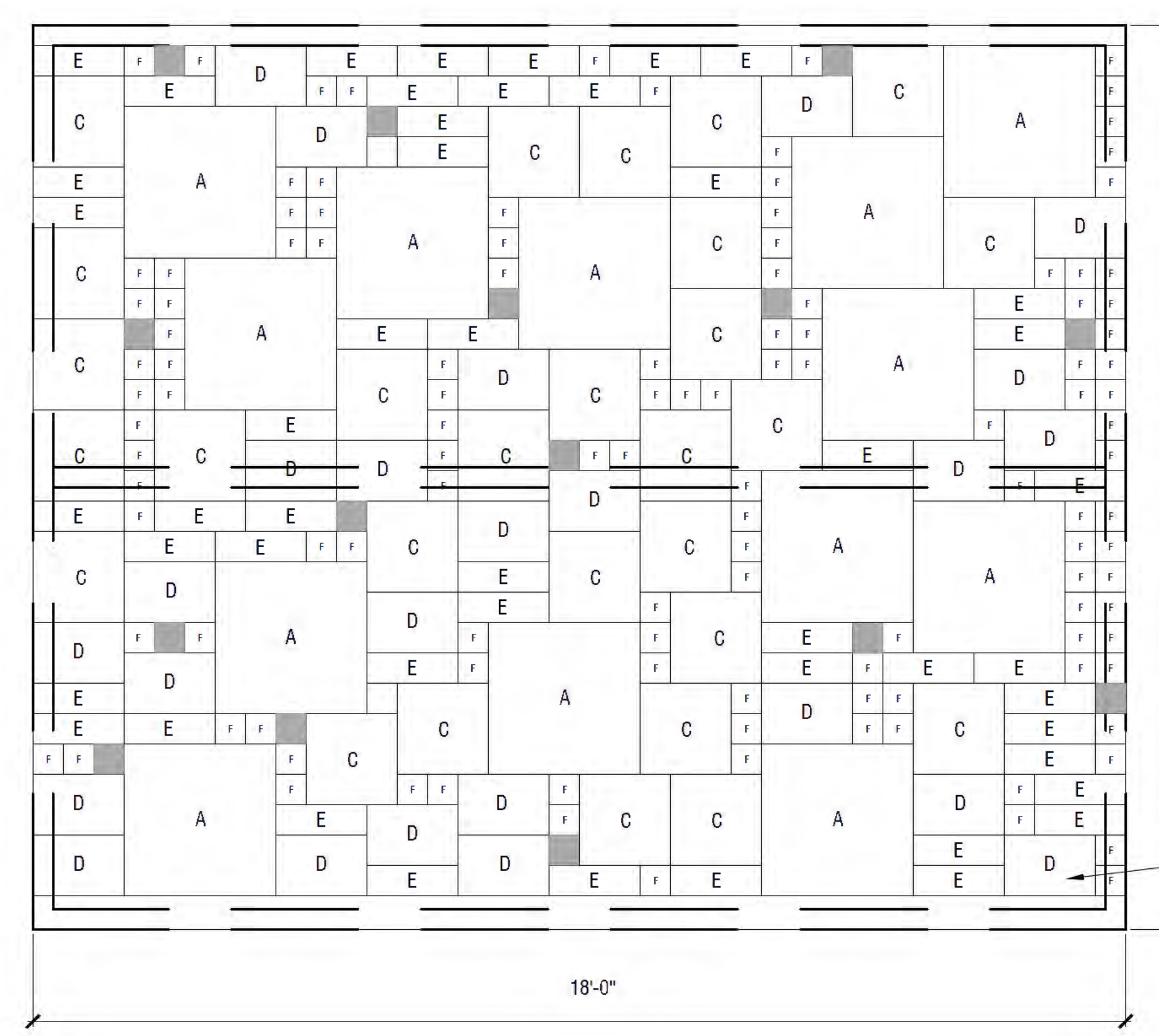
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1 "RED GARDEN" ENLARGEMENT PLAN
SCALE: 1/4"=1'-0"

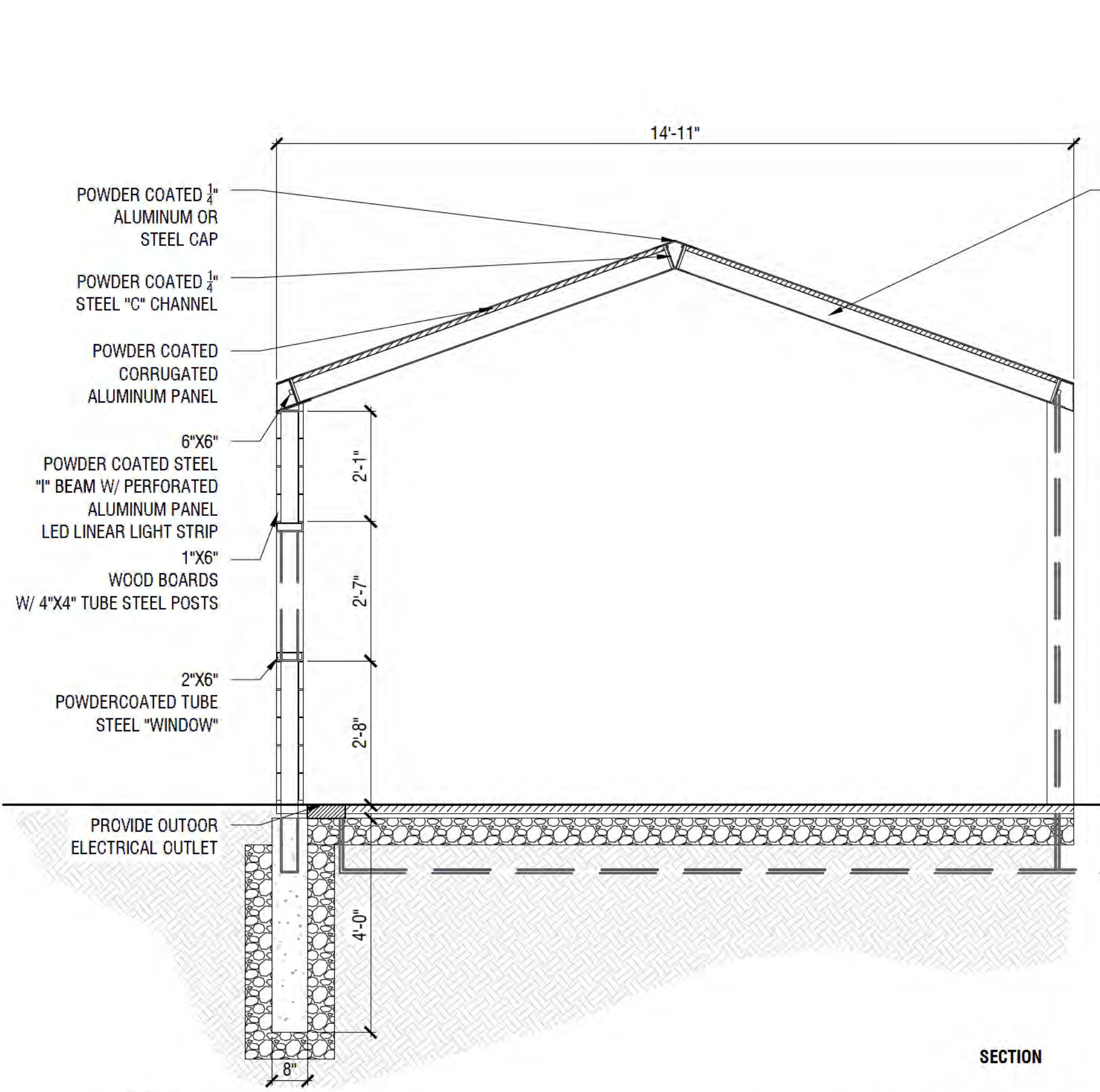


2 "RED GARDEN" STONE PAVING PLAN
SCALE: 1/2"=1'-0"

PAVER TYPE LEGEND

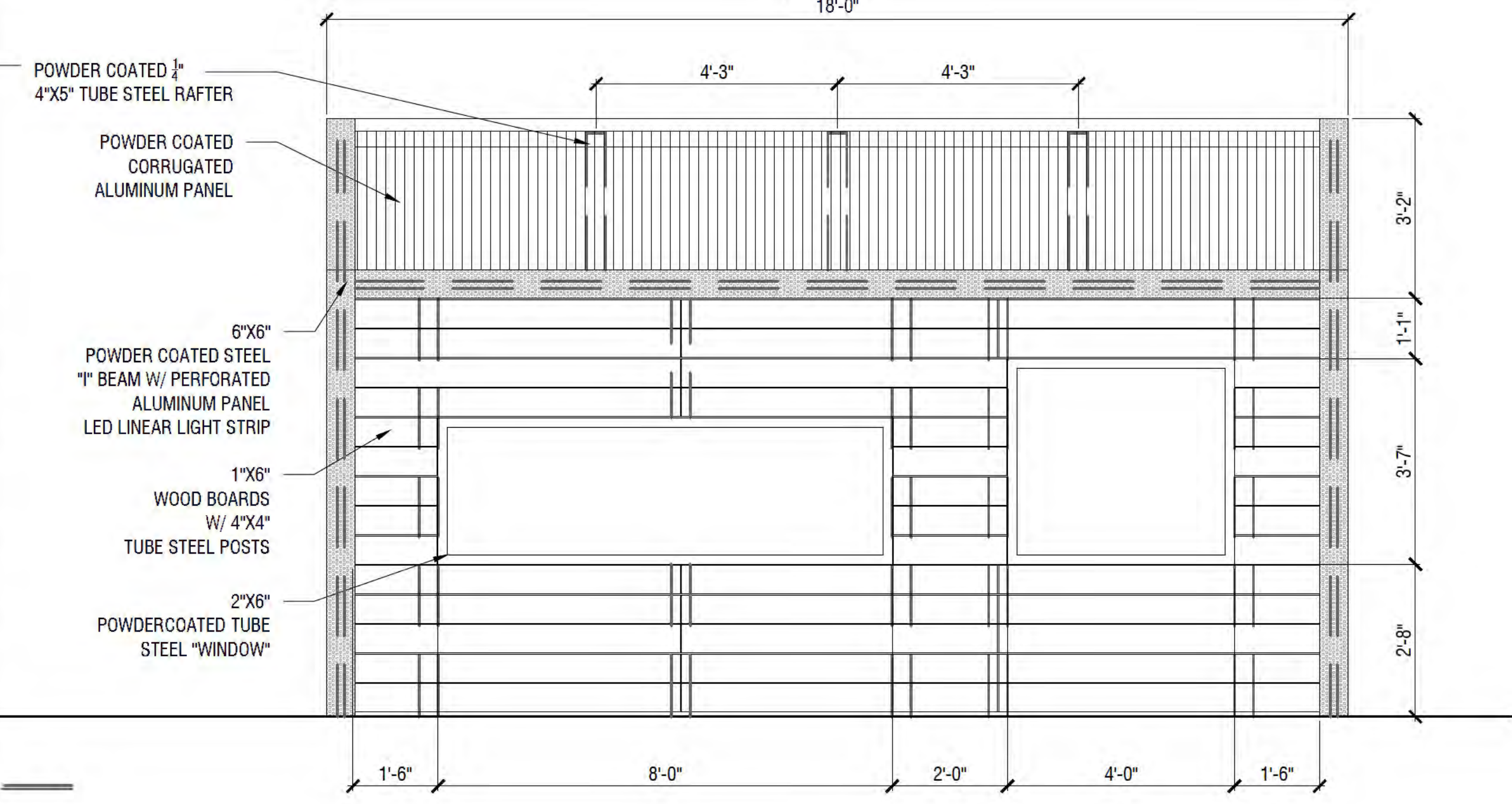
- A 30" x 30" x 2" GRANITE PAVER
- B 21" x 21" x 2" GRANITE PAVER
- C 18" x 18" x 2" GRANITE PAVER
- D 18" x 12" x 2" GRANITE PAVER
- E 18" x 6" x 2" GRANITE PAVER
- f 6" x 6" x 2" GRANITE PAVER
- 6" x 6" x 2" GRANITE PAVER COLOR II

APPROXIMATE LOCATION FOR OUTDOOR RECEPTACLE. STONE CUT TO FIT



3 "RED GARDEN" PAVILLION DETAIL-FOR REFERENCE ONLY [SEE SHOP DRAWINGS]
SCALE: 1/2"=1'-0"

NOTE: EACH PAVILLION TO HAVE OUTDOOR POWER SOURCE FOR CHARGING. LOCATION TBD.



ELEVATION

MATERIALS LEGEND

- LAWN
- UNIT PAVING I
- CIP EXPOSED AGGREGATE PAVING
- DECOMPOSED GRANITE PAVING
- PLANTING TYPE I
- PLANTING TYPE II
- PLANTING TYPE III
- STABILIZED WOOD CHIPS
- CUSTOM BENCH TYPE I
- LED FLOOD LIGHT
- LED IN-GROUND LIGHT
- GARDEN HOSE CONNECTION
- EXISTING TREE
- PROPOSED TREE

NOTE* PROVIDE METAL EDGING AT ALL WOOD CHIP, PLANTING, STONE PAVING, AND DECOMPOSED GRANITE AREAS

PROJECT:

KNIGHT MEMORIAL LIBRARY GARDEN

275 ELMWOOD AVENUE
PROVIDENCE, RI 02807



Registration	
Project number	2405
Date	4-09-2026
Drawn by	AEA
Checked by	AEA
Scale	SEE DRAWINGS

Drawing Title
SITE DETAILS - "RED GARDEN"

Sheet Number

L-6.00

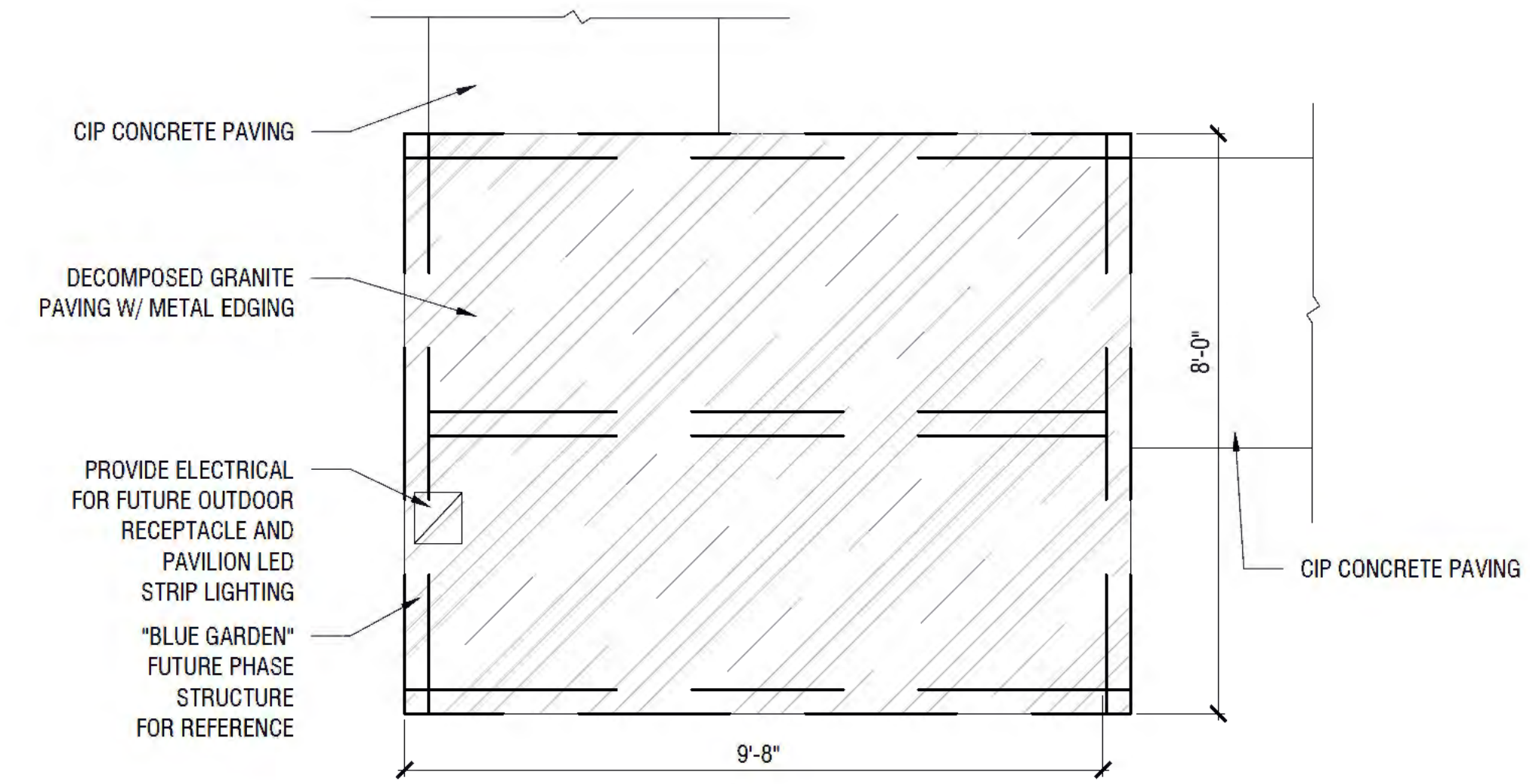
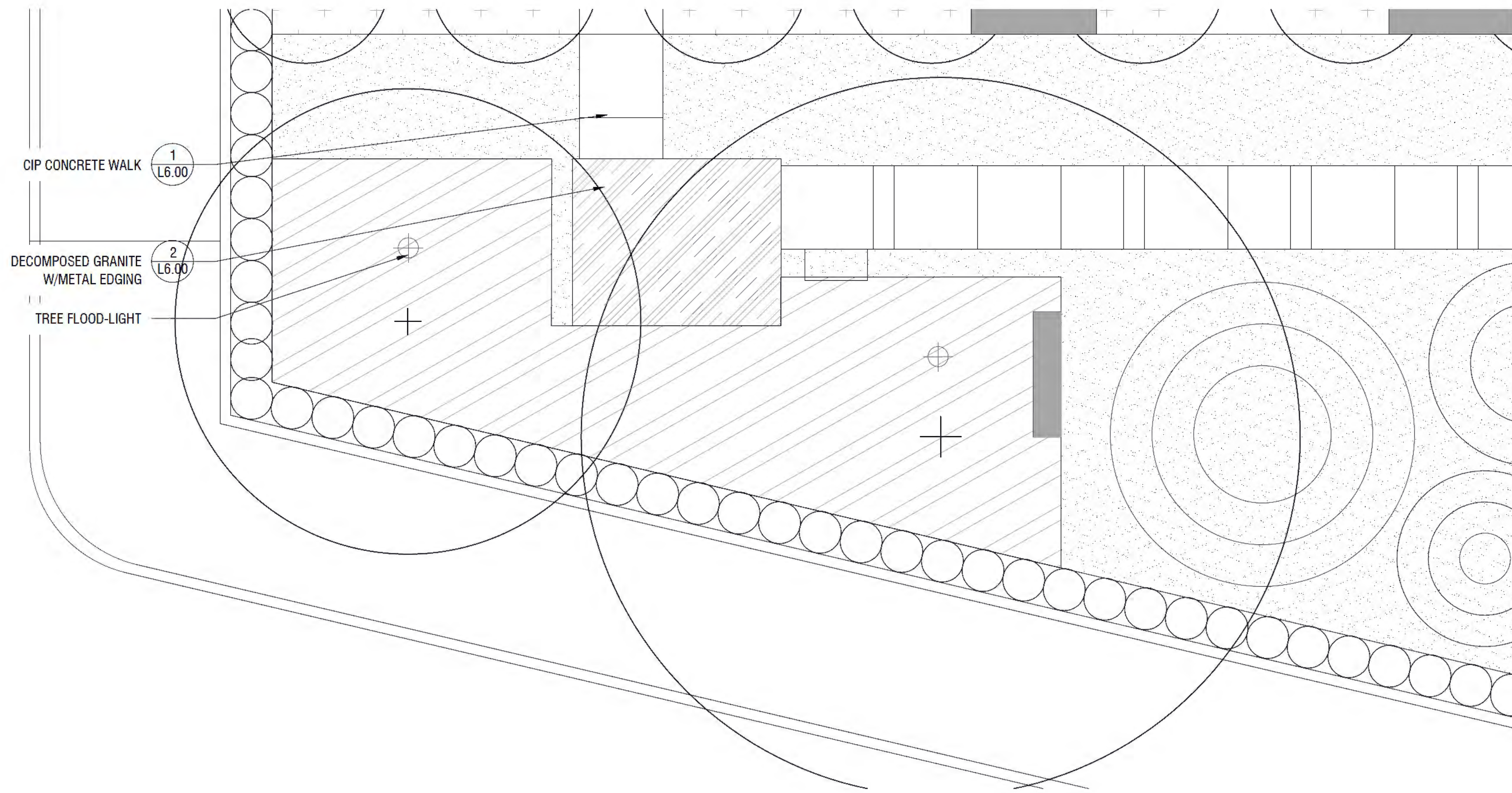
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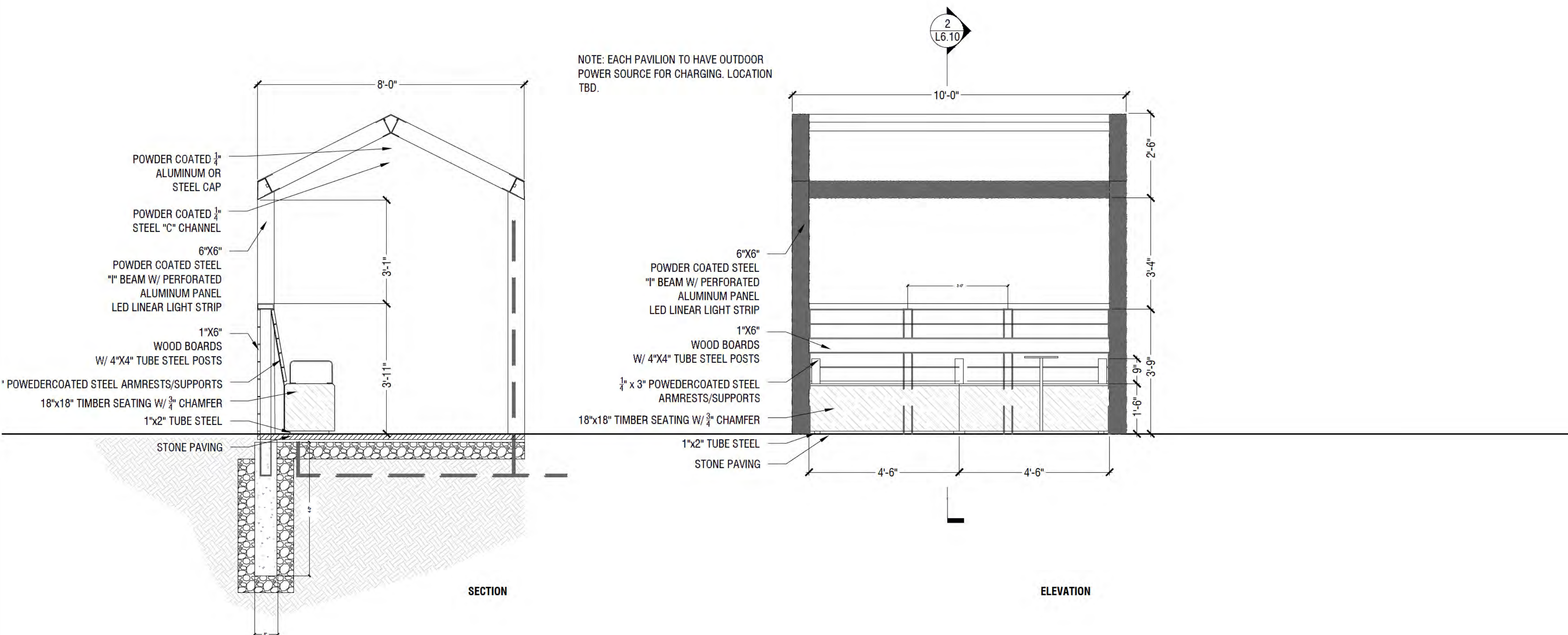
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Date	Name
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1 "BLUE GARDEN" ENLARGEMENT PLAN
SCALE: 1/4"=1'-0"

2 "BLUE GARDEN" PAVING PLAN
SCALE: 1/2"=1'-0"



2 "BLUE GARDEN" PAVILLION DETAIL - FOR REFERENCE ONLY [SEE SHOP DRAWINGS]
SCALE: 1/2"=1'-0"

MATERIALS LEGEND

- LAWN
- UNIT PAVING I
- CIP EXPOSED AGGREGATE PAVING
- DECOMPOSED GRANITE PAVING
- PLANTING TYPE I
- PLANTING TYPE II
- PLANTING TYPE III
- STABILIZED WOOD CHIPS

- CUSTOM BENCH TYPE I
- LED FLOOD LIGHT
- LED IN-GROUND LIGHT
- GARDEN HOSE CONNECTION
- EXISTING TREE
- PROPOSED TREE

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Scale	SEE DRAWINGS

Drawing Title

SITE DETAILS - "BLUE GARDEN"

Sheet Number

L-6.10

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 PROVIDENCE, RI 02907

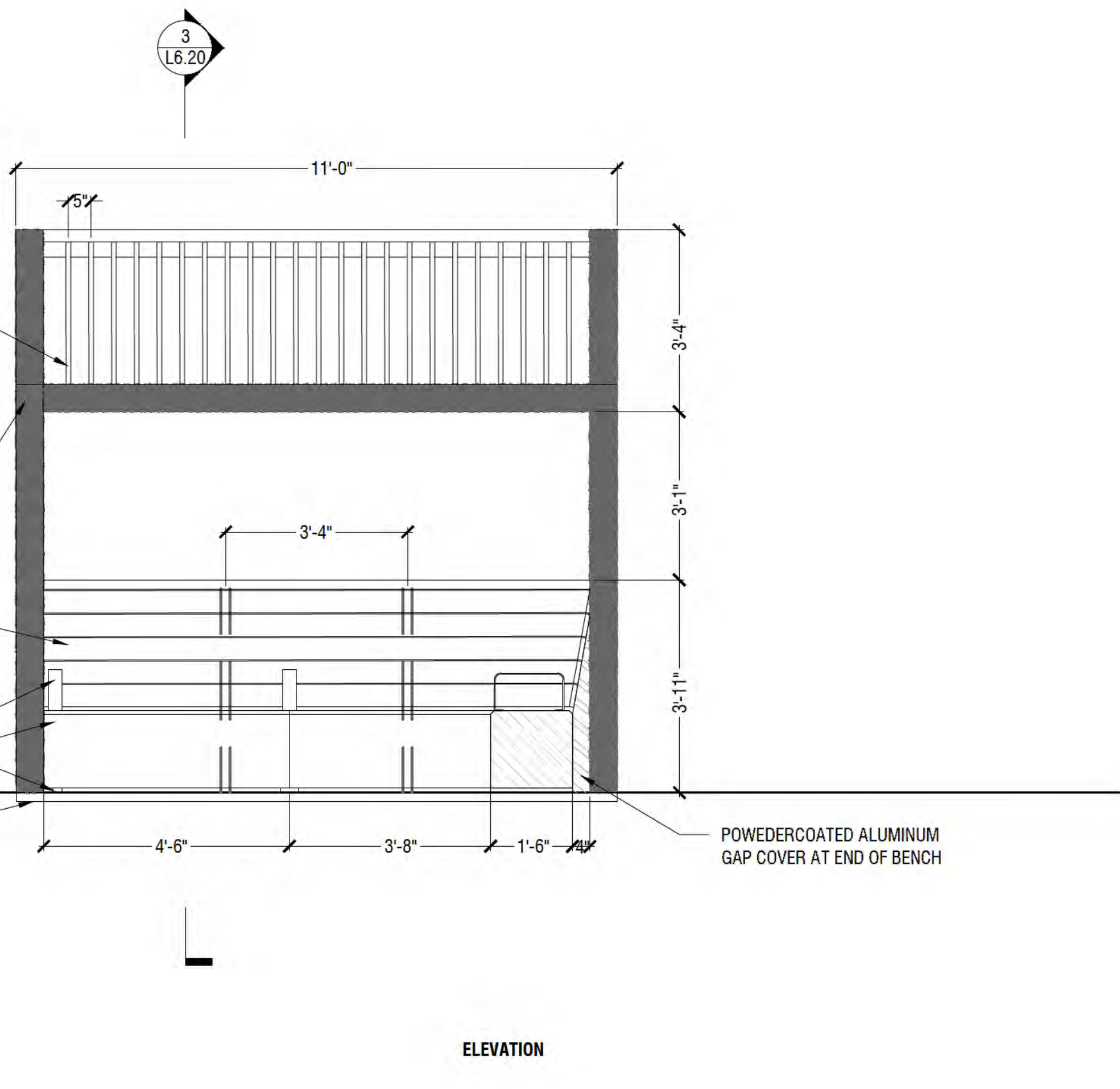
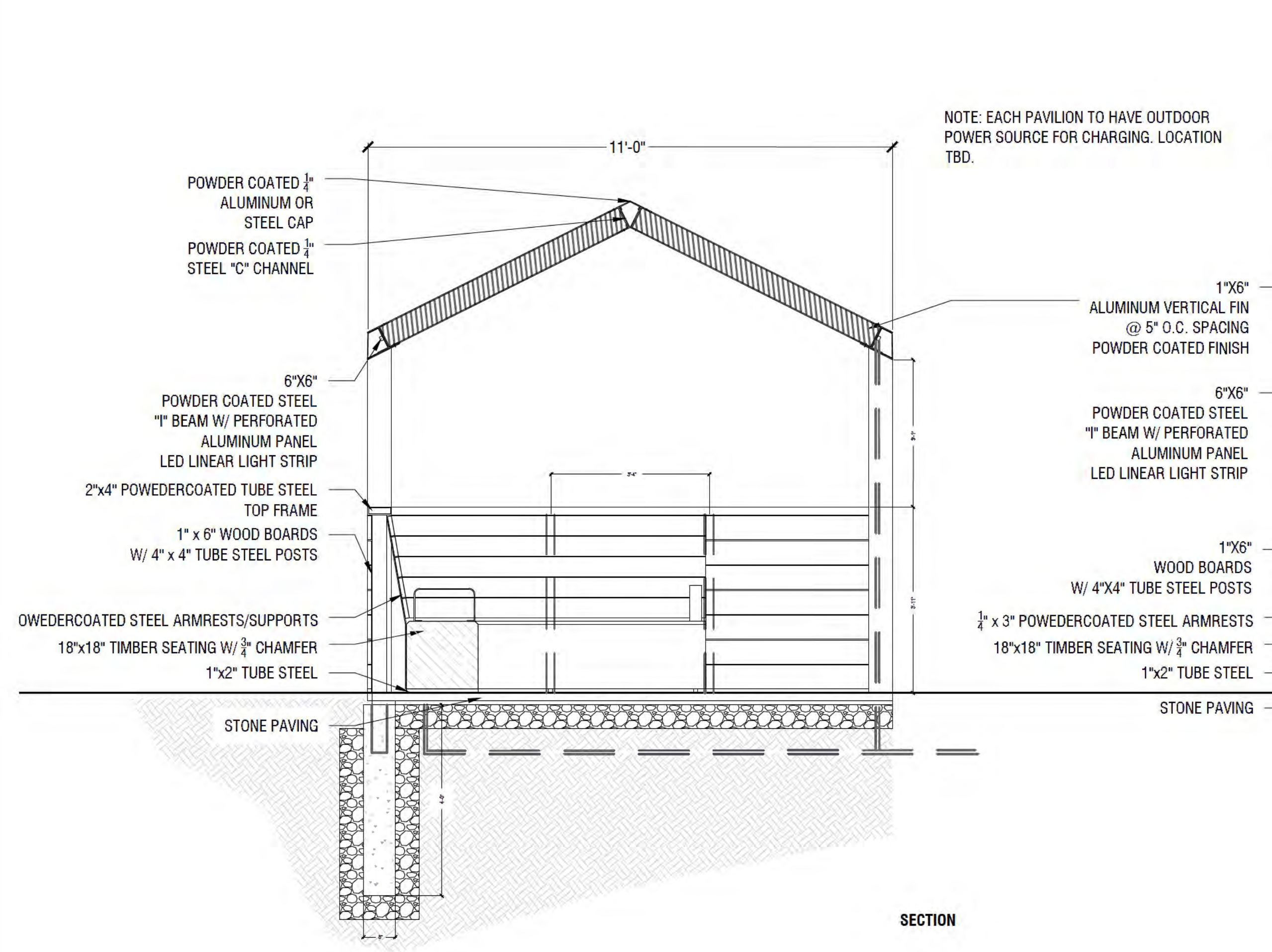
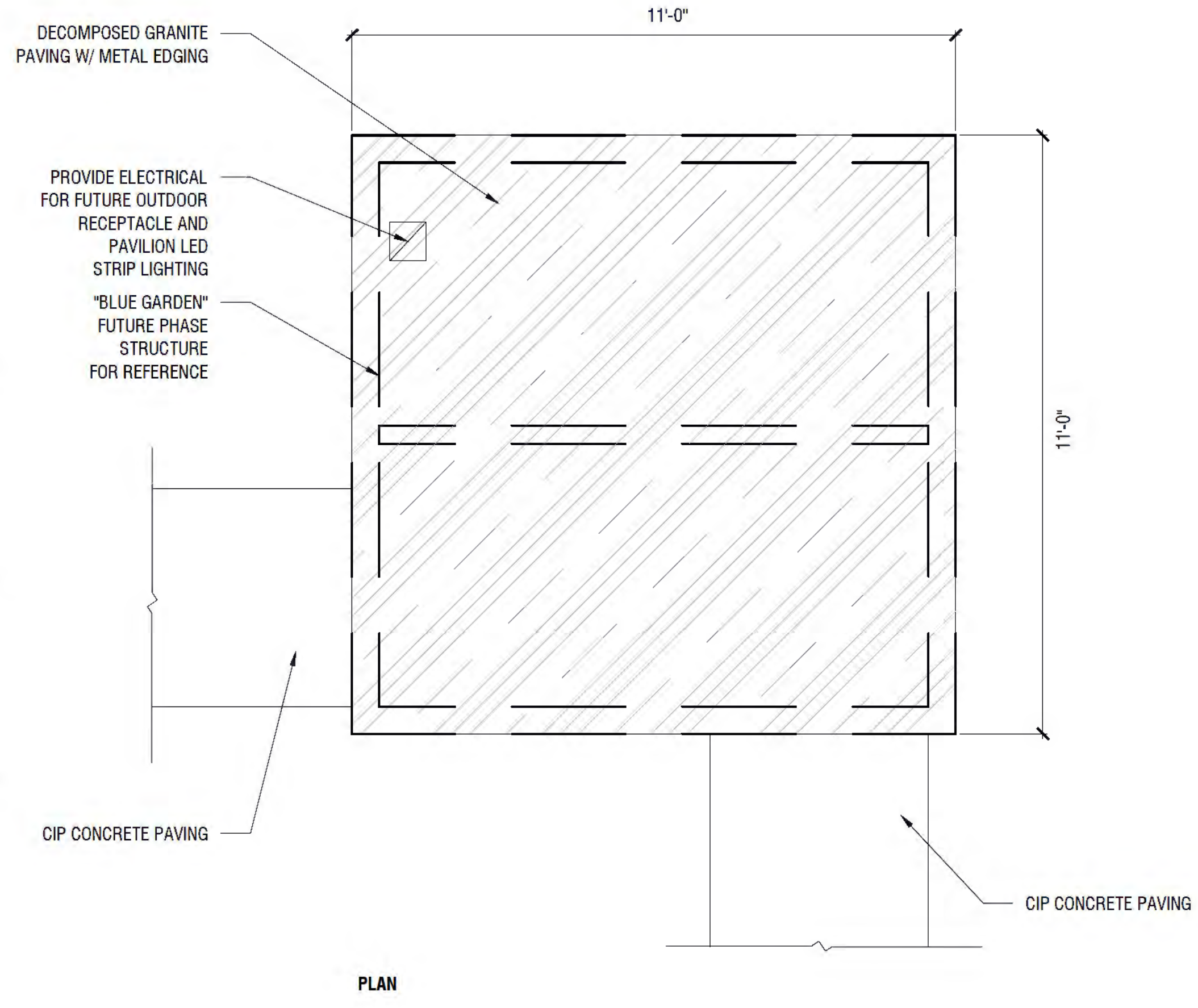
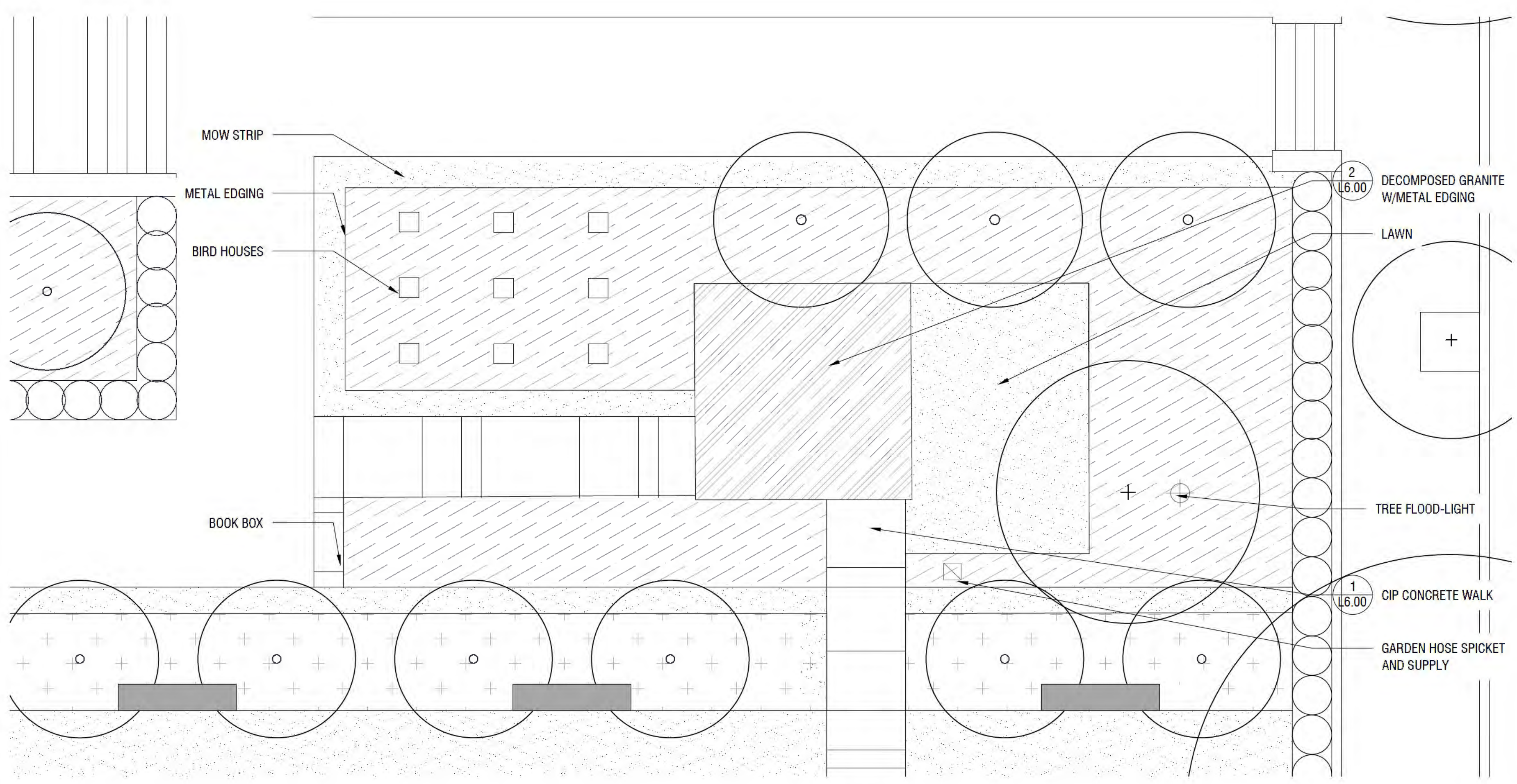


Registration	
Project number	2405
Date	4-09-2026
Drawn by	AEA
Checked by	AEA
Scale	SEE DRAWINGS

Drawing Title
 SITE DETAILS - "YELLOW GARDEN"

Sheet Number

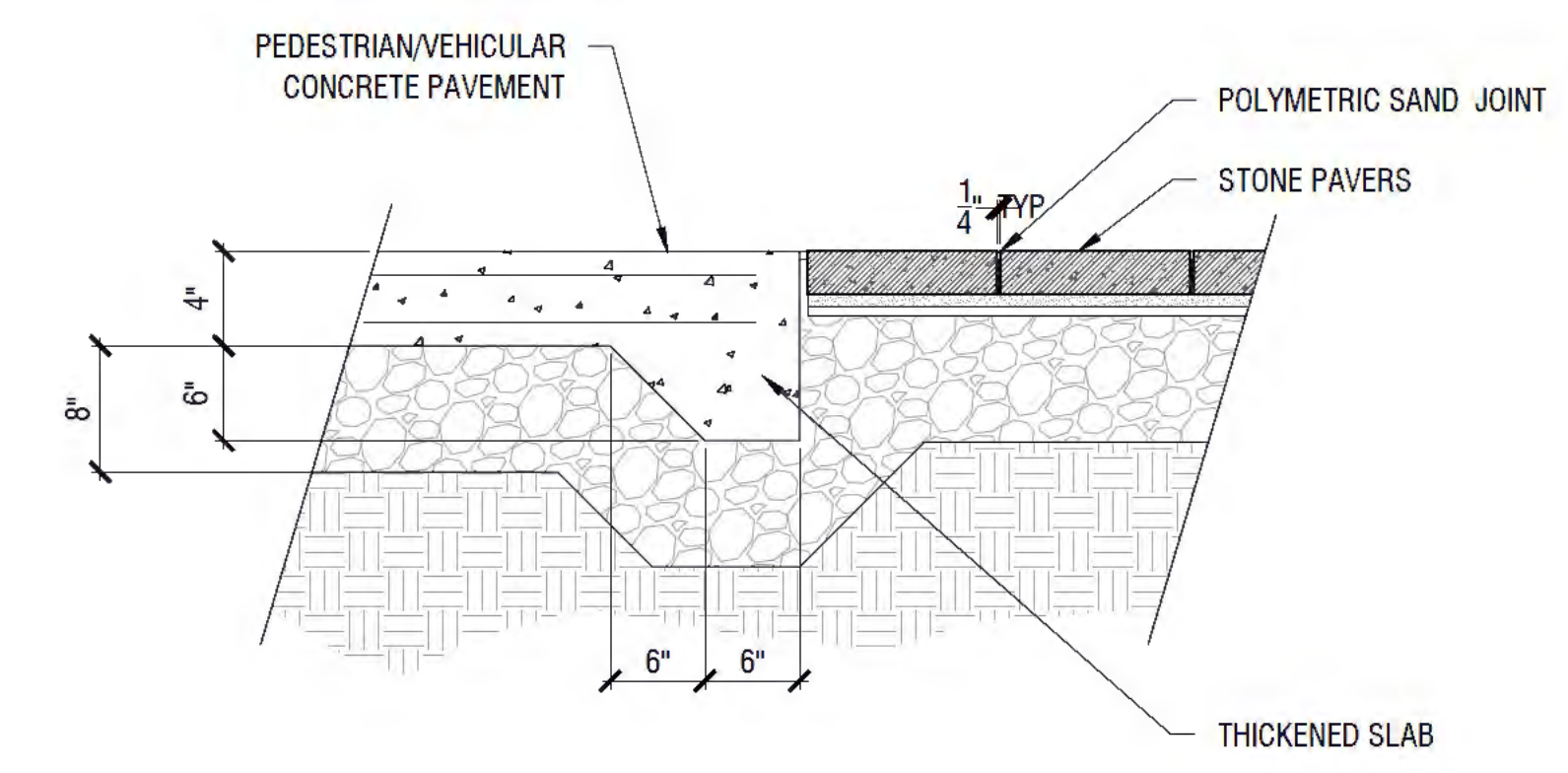
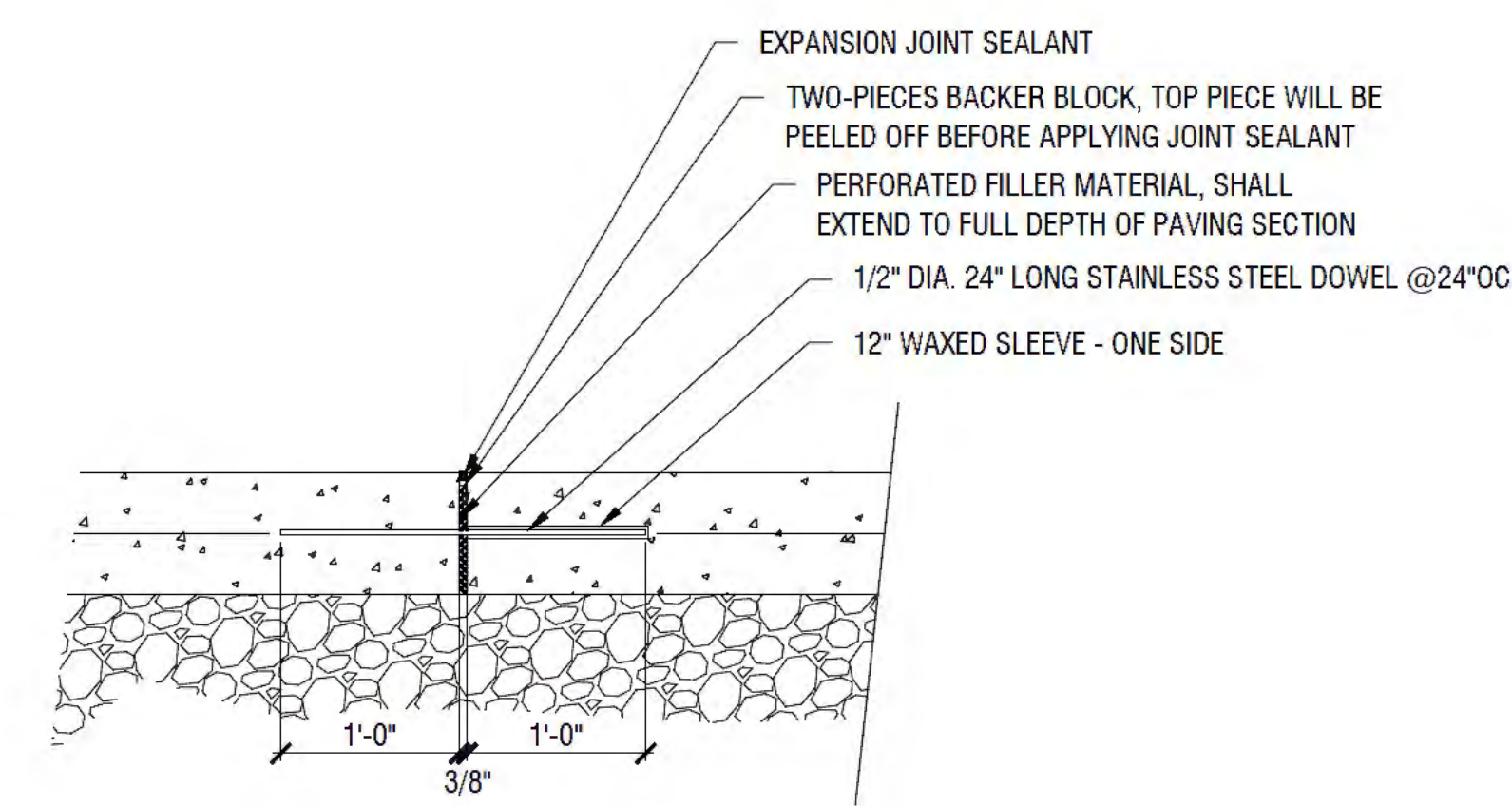
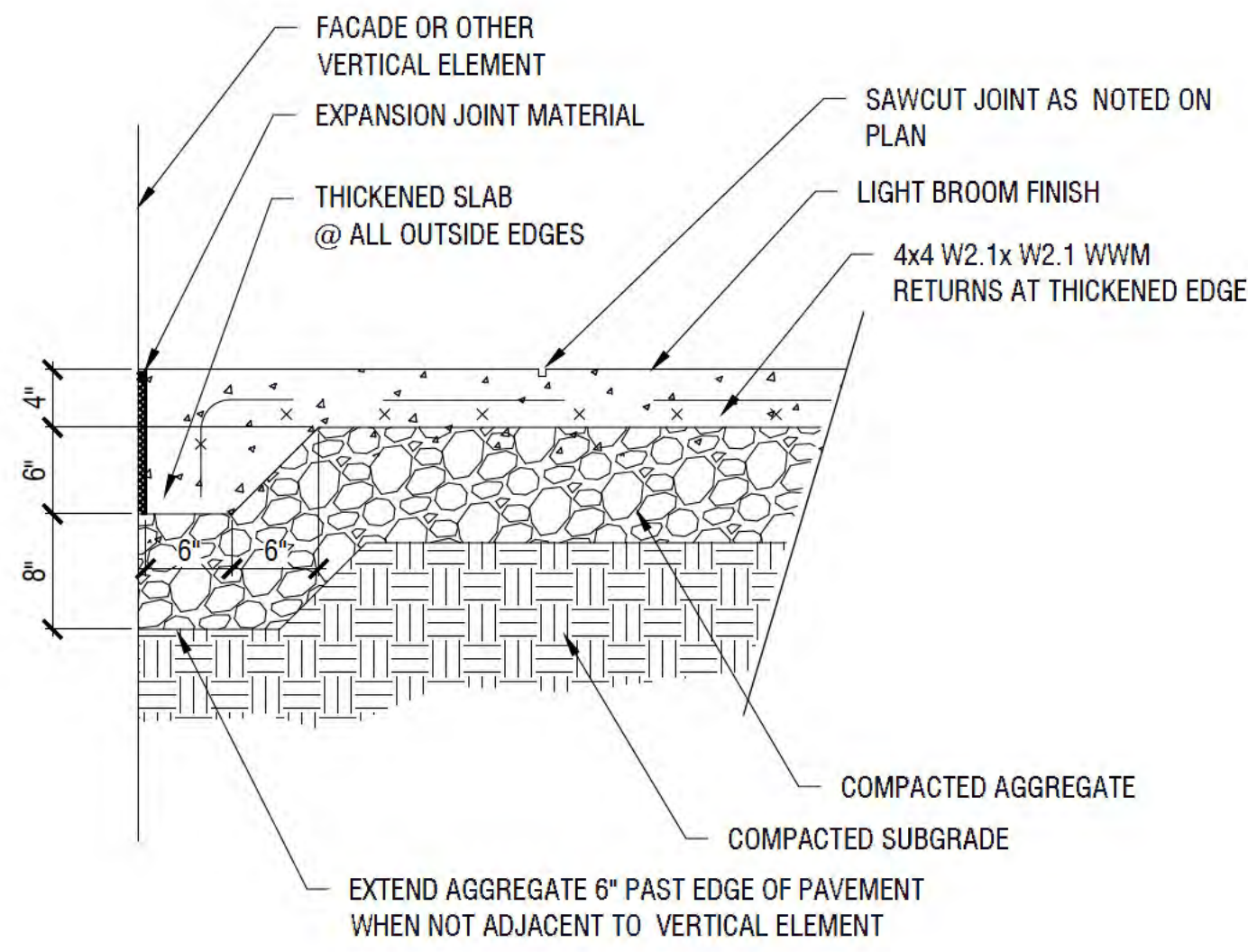
L-6.20



- MATERIALS LEGEND**
- LAWN
 - UNIT PAVING I
 - CIP EXPOSED AGGREGATE PAVING
 - DECOMPOSED GRANITE PAVING
 - PLANTING TYPE I
 - PLANTING TYPE II
 - PLANTING TYPE III
 - STABILIZED WOOD CHIPS
 - CUSTOM BENCH TYPE I
 - LED FLOOD LIGHT
 - LED IN-GROUND LIGHT
 - GARDEN HOSE CONNECTION
 - EXISTING TREE
 - PROPOSED TREE

NOTE* PROVIDE METAL EDGING AT ALL WOOD CHIP, PLANTING, STONE PAVING, AND DECOMPOSED GRANITE AREAS

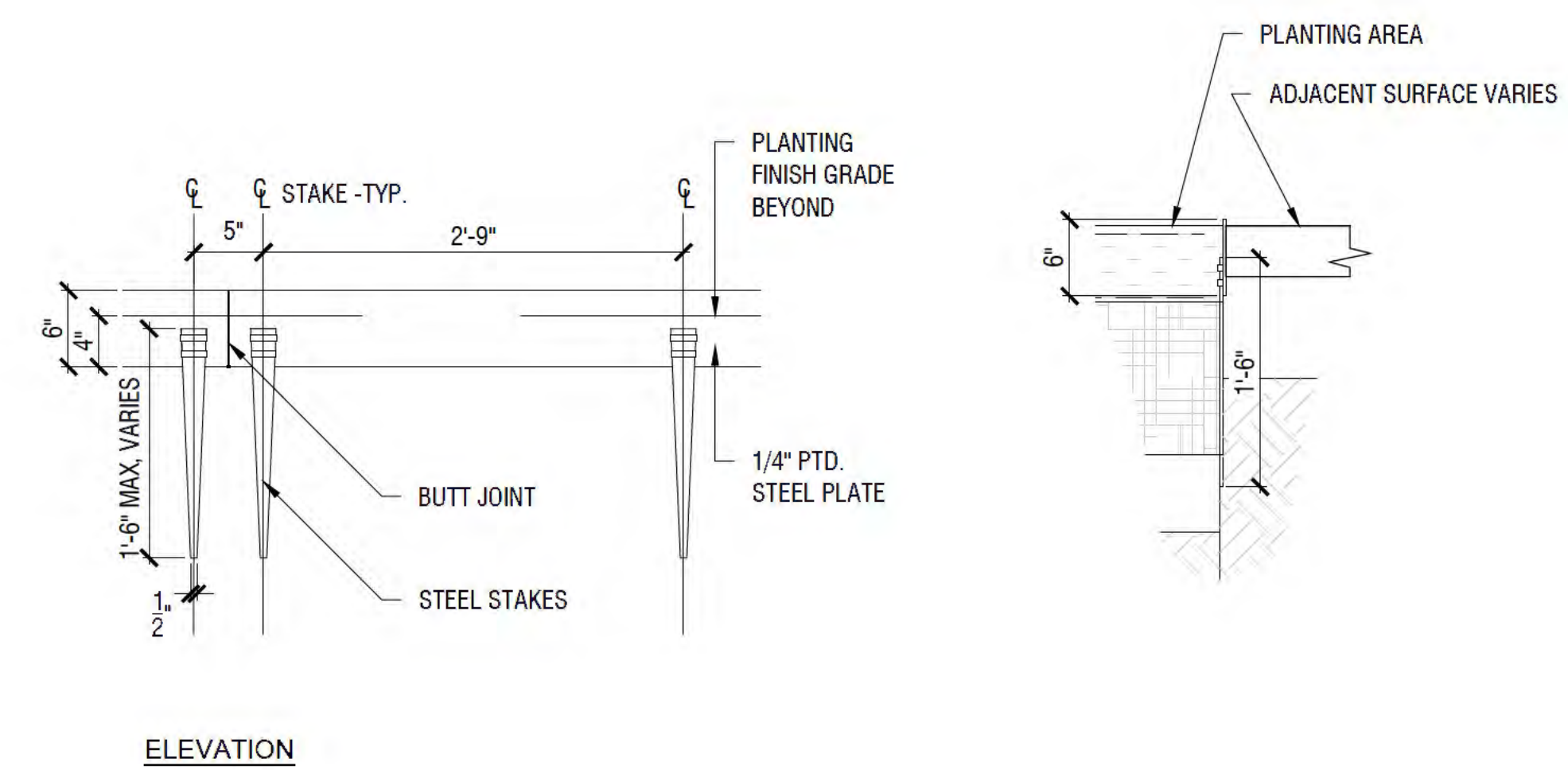
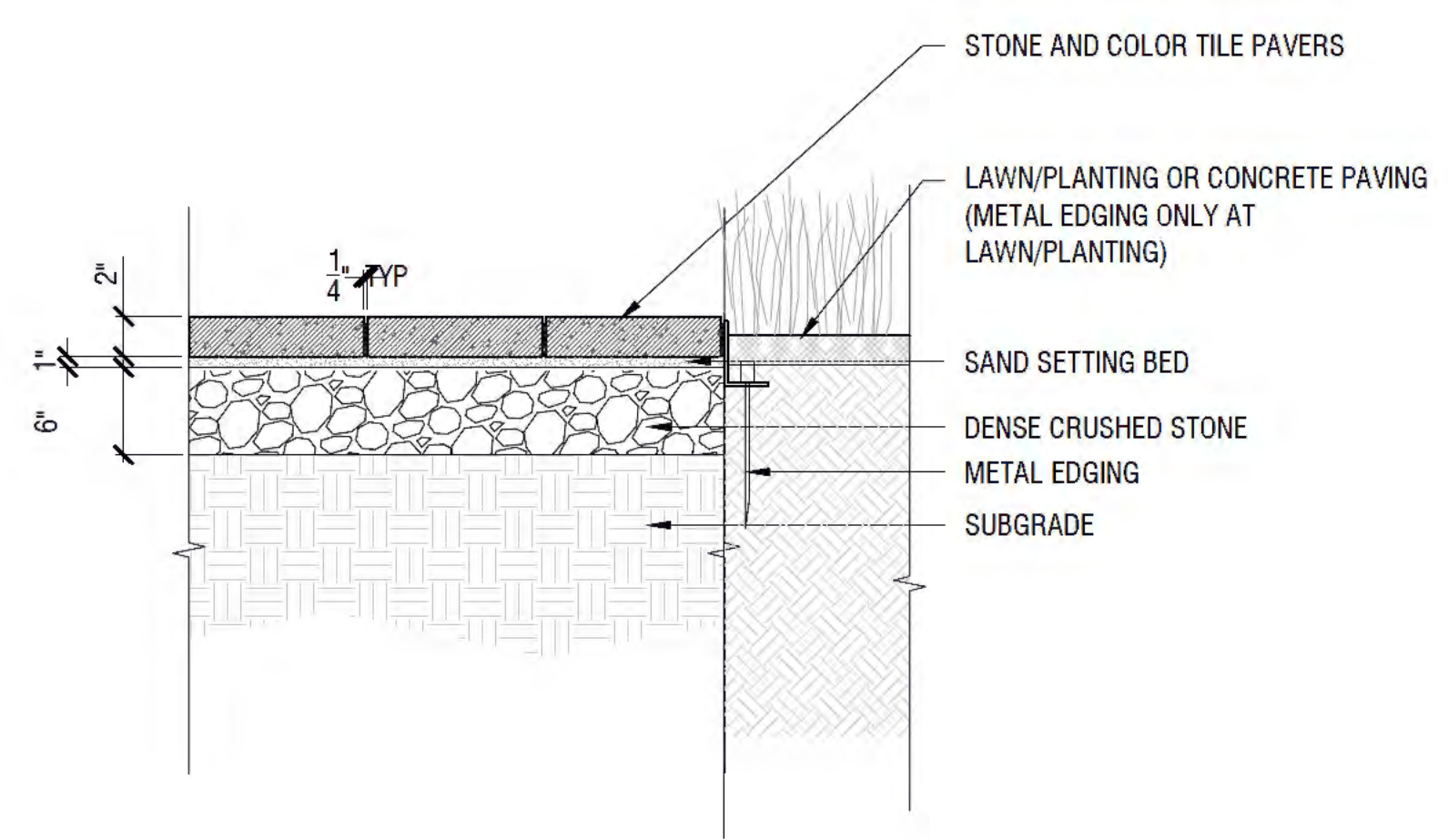
3 "YELLOW GARDEN" PAVILLION DETAIL - FOR REFERENCE ONLY [SEE SHOP DRAWINGS]
 SCALE: 1/2"=1'-0"



1 CIP CONCRETE
SCALE: 1"=1'-0"

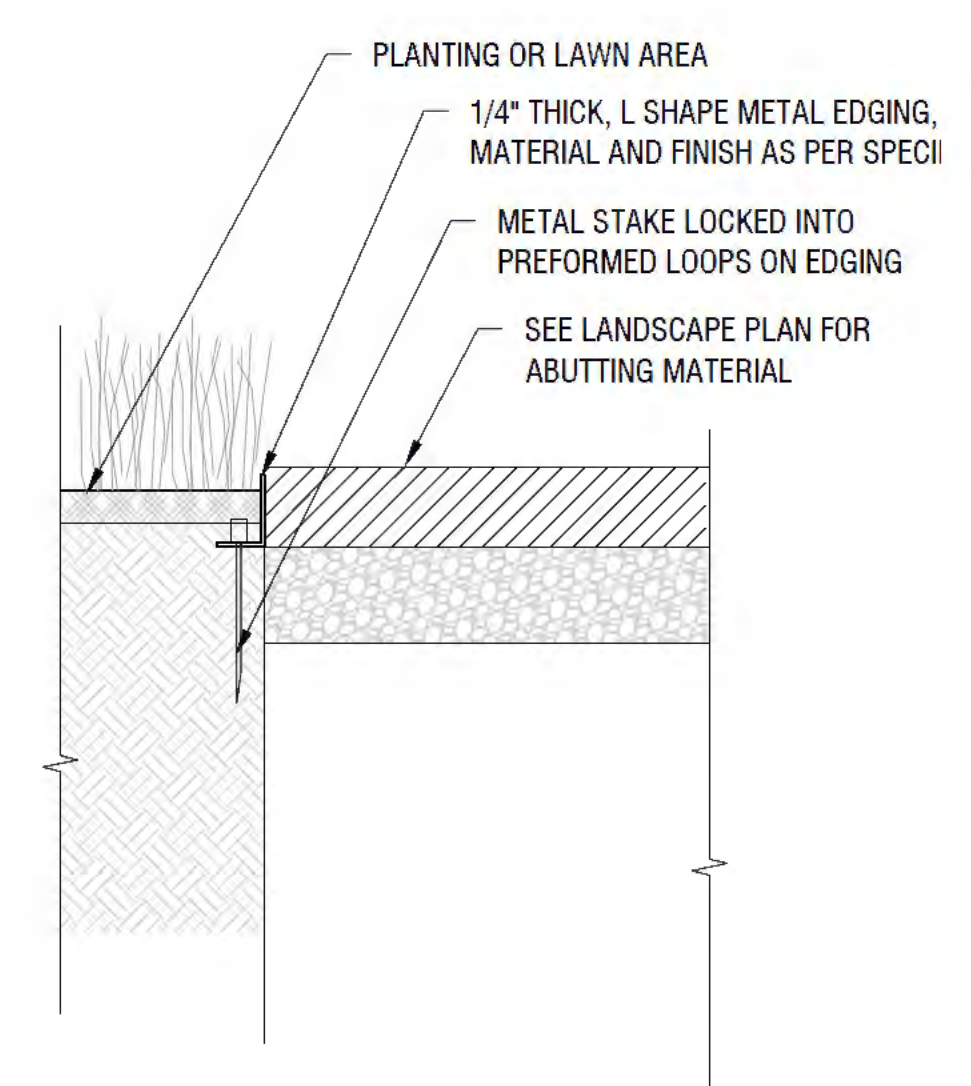
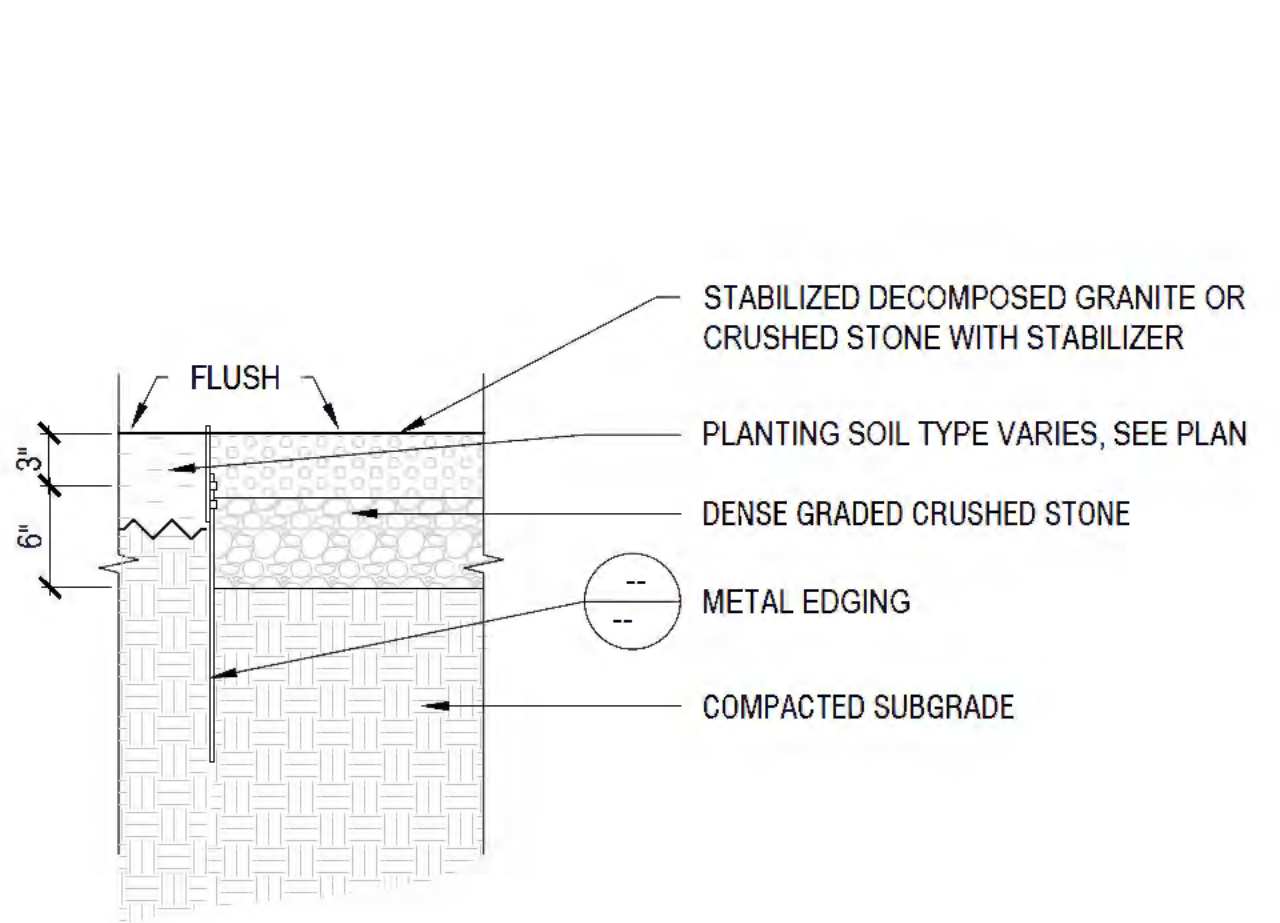
2 CIP CONCRETE EXPANSION JOINT
SCALE: 1"=1'-0"

3 CIP CONCRETE AT STONE PAVERS
SCALE: 1"=1'-0"



4 STONE PAVERS
SCALE: 1"=1'-0"

5 METAL EDGING
SCALE: 1"=1'-0"



6 DECOMPOSED GRANITE PAVING
SCALE: 1"=1'-0"

7 METAL EDGING AT STONE PAVERS
SCALE: 1"=1'-0"

DESIGN UNDER SKY

LANDSCAPE ARCHITECTURE

DESIGN UNDER SKY, LLC
95 CLEMENCE STREET
PROVIDENCE, RI 02803
T: 401.339.4122
www.designundersky.com

THE CONTRACTOR IS RESPONSIBLE FOR MATERIALS, DETAILS AND ACCURACY, FOR CONFIRMING AND CORRELATING ALL QUANTITIES AND DIMENSIONS, FOR SELECTING FABRICATIONS PROCESSES, FOR TECHNIQUES OF ASSEMBLY, FOR PERFORMING THEIR WORK IN A SAFE MANNER, AND OF COORDINATING HIS/HER WORK WITH THAT OF ALL OTHER TRADES

Date	Name
8/26/25	BID SET
1/07/26	REVISED BID SET
4/09/26	CONSTRUCTION DOCUMENTS

PROJECT:

KNIGHT MEMORIAL LIBRARY GARDEN
275 ELMWOOD AVENUE
PROVIDENCE, RI 02907

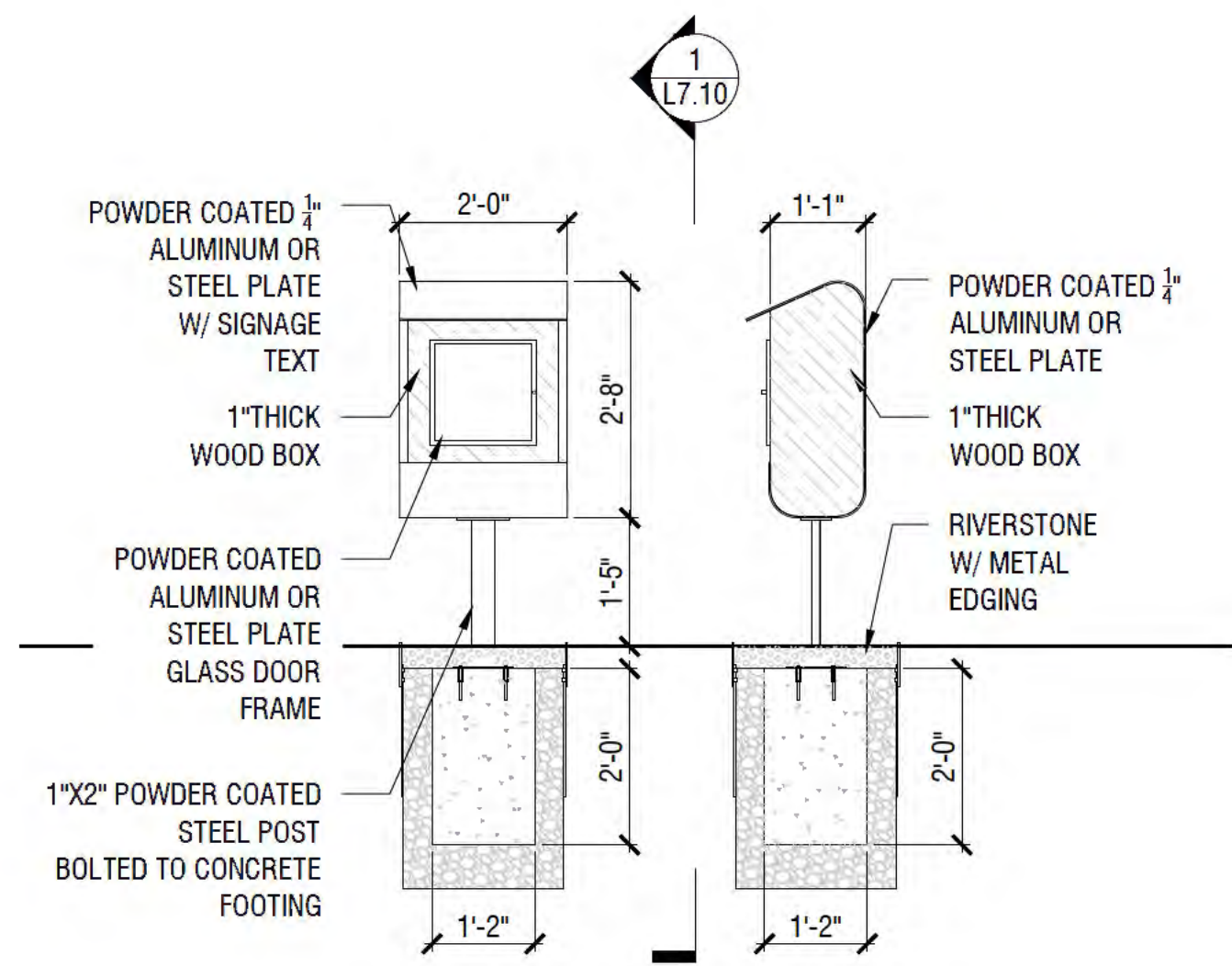


Project number	2405
Date	4-09-2026
Drawn by	AEA
Checked by	AEA
Scale	--
Drawing Title	

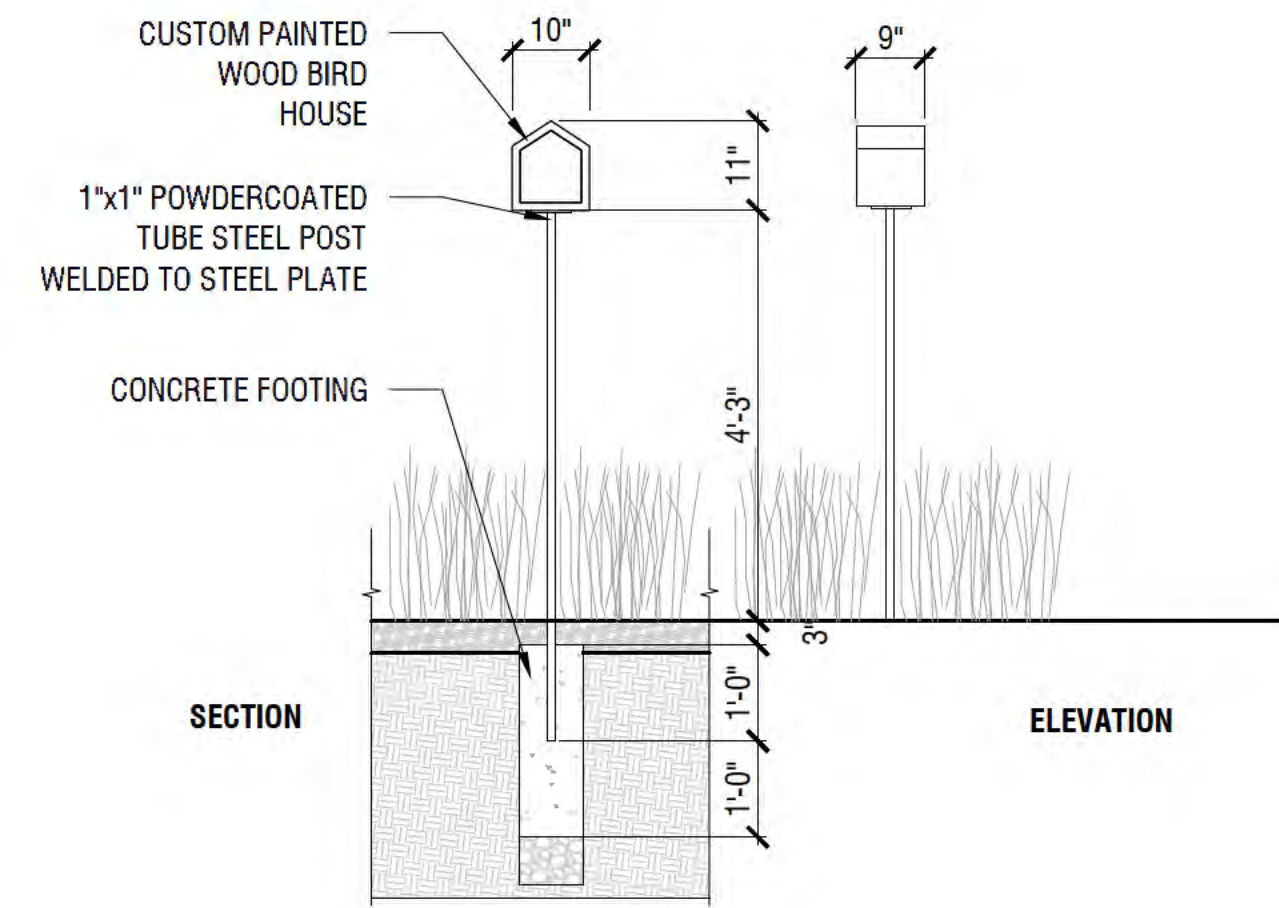
SITE DETAILS

Sheet Number

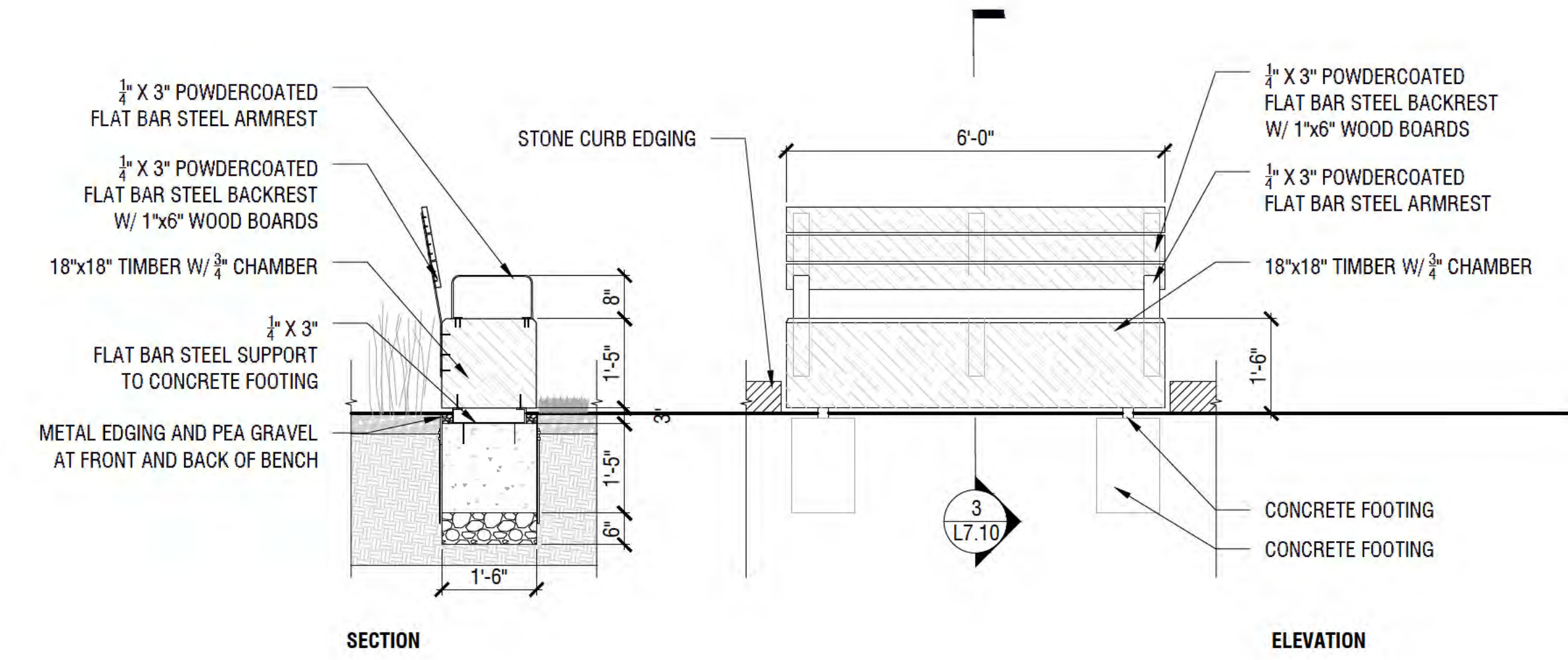
L-7.00



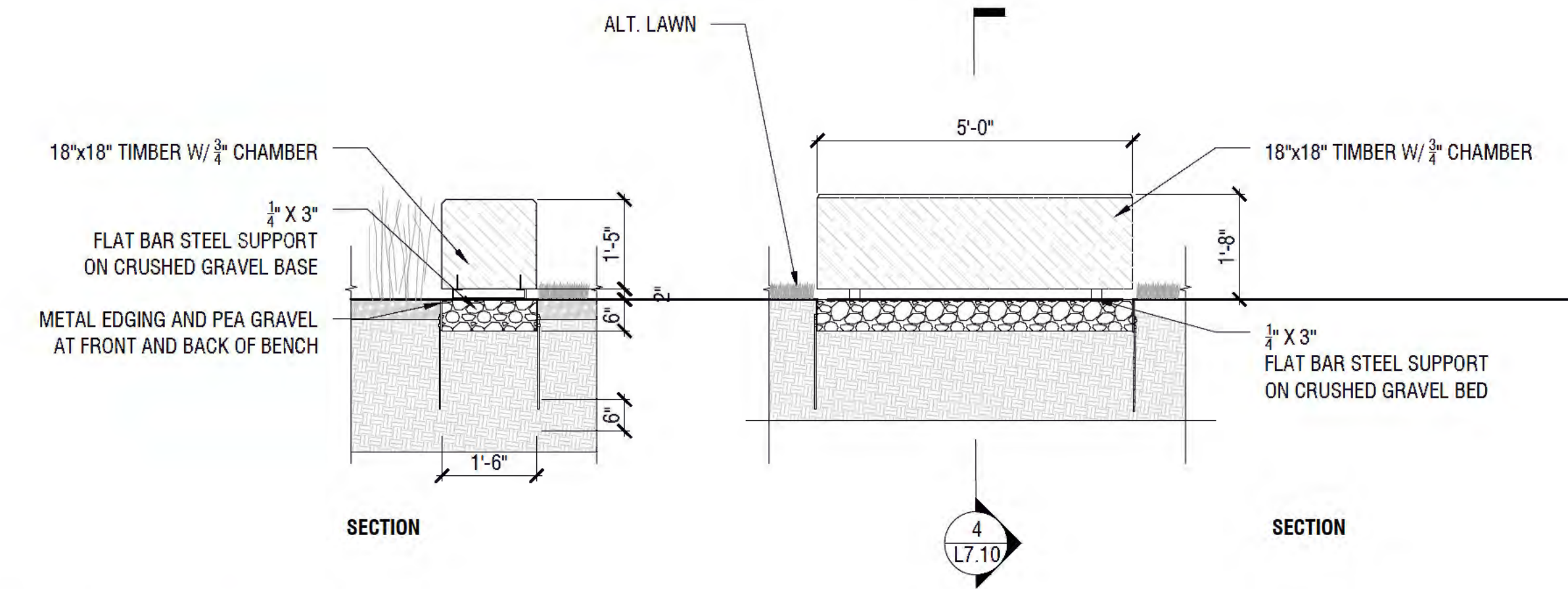
1 CUSTOM BOOK BOX
SCALE: 1/2"=1'-0"



2 CUSTOM BIRD HOUSE
SCALE: 1/2"=1'-0"



3 CUSTOM BENCH TYPE I
SCALE: 1/2"=1'-0"



4 CUSTOM BENCH TYPE II
SCALE: 1/2"=1'-0"

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KNIGHT MEMORIAL LIBRARY GARDEN

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PROVIDENCE, RI 02907



Project number	2405
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Scale	--

Drawing Title

SITE DETAILS - FOR REFERENCE ONLY

Sheet Number

L-7.10

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KNIGHT MEMORIAL LIBRARY GARDEN

275 ELMWOOD AVENUE
PROVIDENCE, RI 02907



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Scale	--

Drawing Title
SITE DETAILS

Sheet Number

L-7.20



1 EVENT PLAZA CUSTOM PAVING
SCALE: 1/2"=1'-0"

PLANTING NOTES:

1. CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND SHALL CONTINUE UNTIL FINAL ACCEPTANCE. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF WATERING AND MAINTENANCE.
2. THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN ON THESE DRAWINGS. CLARIFY ANY.
3. ALL MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
4. NO SUBSTITUTIONS FOR INDICATED PLANT VARIETIES SHALL BE ACCEPTED UNLESS AUTHORIZED BY THE LANDSCAPE DESIGNER.
5. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS THEIR ORIGINAL GRADES BEFORE DIGGING AT NURSERY.
6. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR (1) FULL YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
7. ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE DESIGNER AT THE NURSERY AND AT THE SITE.
8. ALL AREAS OF THE SITE WHICH HAVE BEEN DISTURBED AND NOT OTHERWISE DEVELOPED SHALL BE LOAMED WITH A MINIMUM DEPTH OF 6" OF TOPSOIL AND MULCHED AS SPECIFIED.
9. LANDSCAPE CONTRACTOR IS ENCOURAGED TO PROVIDE THE LANDSCAPE DESIGNER WITH CONCERNS AND/OR SUGGESTIONS WITH REGARD TO PROPOSED PLANT MATERIAL SELECTION PRIOR TO PLACING A PURCHASE ORDER.
10. ALL TREES TO BE LOCATED ADJACENT TO WALKS AND DRIVES SHALL HAVE 6' OF CLEAR HEIGHT TO FIRST BRANCHING.
11. CONTRACTOR SHALL VERIFY ALL TREE REMOVALS WITH LANDSCAPE DESIGNER PRIOR TO START OF CONSTRUCTION.
12. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED BY THE LANDSCAPE DESIGNER.
13. ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING.
14. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTAINER BALL SHALL BE CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
15. THE LOCATION OF TREES, SHRUBS AND BEDLINES SHALL BE STAKED FOR APPROVAL BY THE LANDSCAPE DESIGNER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE DESIGNER 48 HOURS PRIOR TO REQUIRED SITE VISIT.
16. ALL BROAD-LEAF EVERGREEN PLANTS SHALL BE SPRAYED WITH ANTI-DESSICANT AT THE BEGINNING OF THEIR FIRST WINTER ON SITE.
17. ALL PLANTS SHALL BE INSTALLED AS PER DETAILS AND CONTRACT SPECIFICATIONS. THE LANDSCAPE CONTRACTOR SHALL REFER TO NOTES PROVIDED FOR ADDITIONAL REQUIREMENTS.
18. ALL PLANTS AND STAKES SHALL BE SET PLUMB UNLESS OTHERWISE SPECIFIED.
19. THE LANDSCAPE CONTRACTOR SHALL PROVIDE LOAM FILL AS PER THE DETAILS OR CONTRACT SPECIFICATIONS.
20. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED BY THE CONTRACTOR AS NECESSARY TO INSURE HEALTH UNTIL FINAL ACCEPTANCE.
21. THE LANDSCAPE CONTRACTOR SHALL REFER TO THE PLANT LIST AND PLANTING SPECIFICATIONS FOR SEASONAL REQUIREMENTS AND OTHER RESTRICTIONS RELATED TO THE TIME OF PLANTING.

SEEDING NOTES:

NEW ENGLAND SEMI-SHADE GRASS AND FORBS MIX

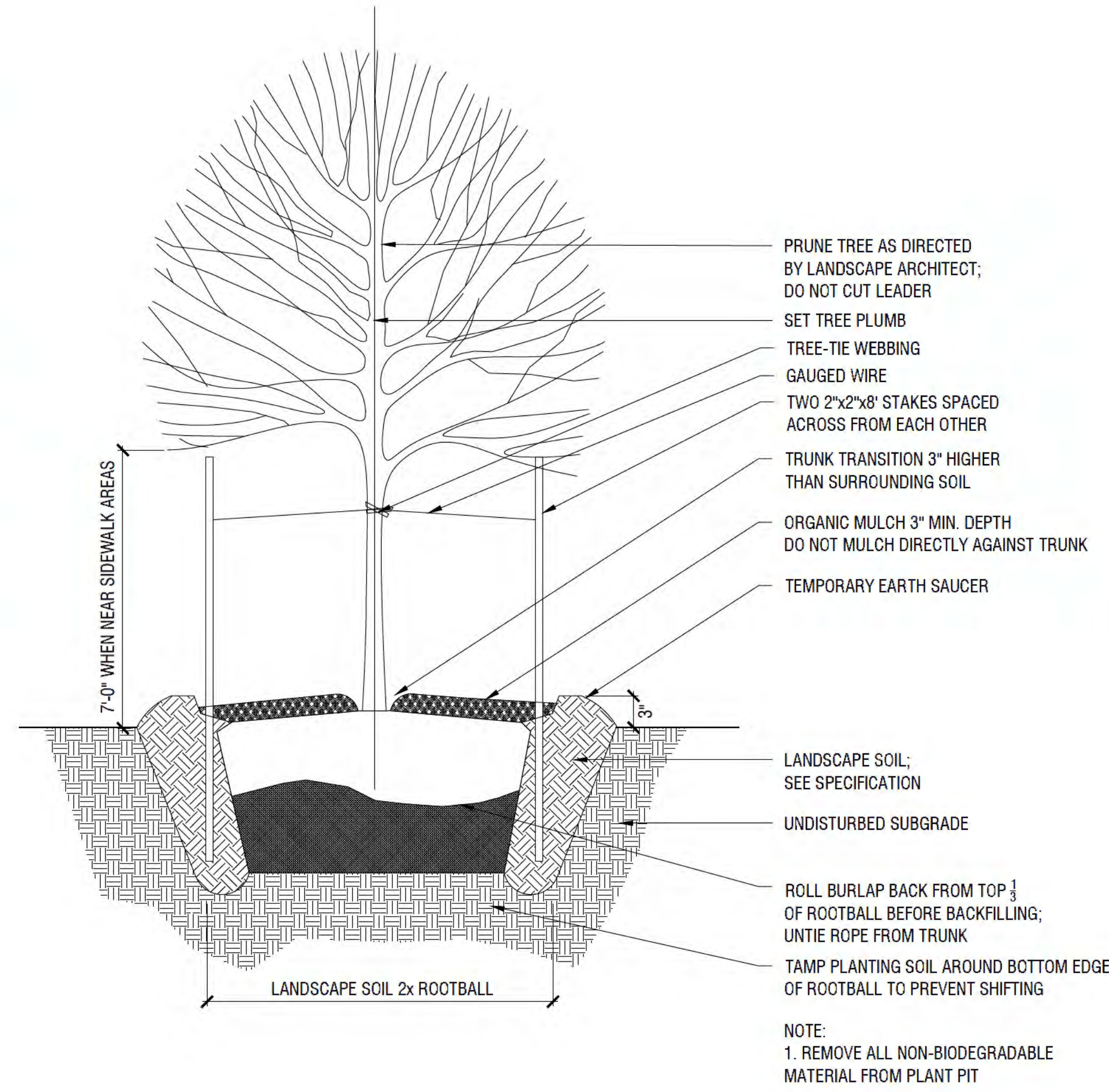
THE NEW ENGLAND SEMI-SHADE GRASS & FORB MIX CONTAINS A BROAD SPECTRUM OF NATIVE GRASSES AND FORBS THAT WILL TOLERATE SEMI-SHADE AND EDGE CONDITIONS. ALWAYS APPLY ON CLEAN, BARE SOIL. THE MIX MAY BE APPLIED BY HYDRO-SEEDING, BY MECHANICAL SPREADER, OR ON SMALL SITES IT CAN BE SPREAD BY HAND. LIGHTLY RAKE, OR ROLL TO ENSURE PROPER SEED TO SOIL CONTACT. BEST RESULTS ARE OBTAINED WITH A SPRING SEEDING. LATE SPRING AND EARLY SUMMER SEEDING WILL BENEFIT WITH A LIGHT MULCHING OF WEED-FREE STRAW TO CONSERVE MOISTURE. IF CONDITIONS ARE DRIER THAN USUAL, WATERING WILL BE REQUIRED. LATE FALL AND WINTER DORMANT SEEDING REQUIRE AN INCREASE IN THE SEEDING RATE. FERTILIZATION IS NOT REQUIRED UNLESS THE SOILS ARE PARTICULARLY INFERTILE. PREPARATION OF A CLEAN WEED-FREE SEED BED IS NECESSARY FOR OPTIMAL RESULTS.

APPLICATION RATE: 30 LBS/ACRE 1450 SQ. FT./LB

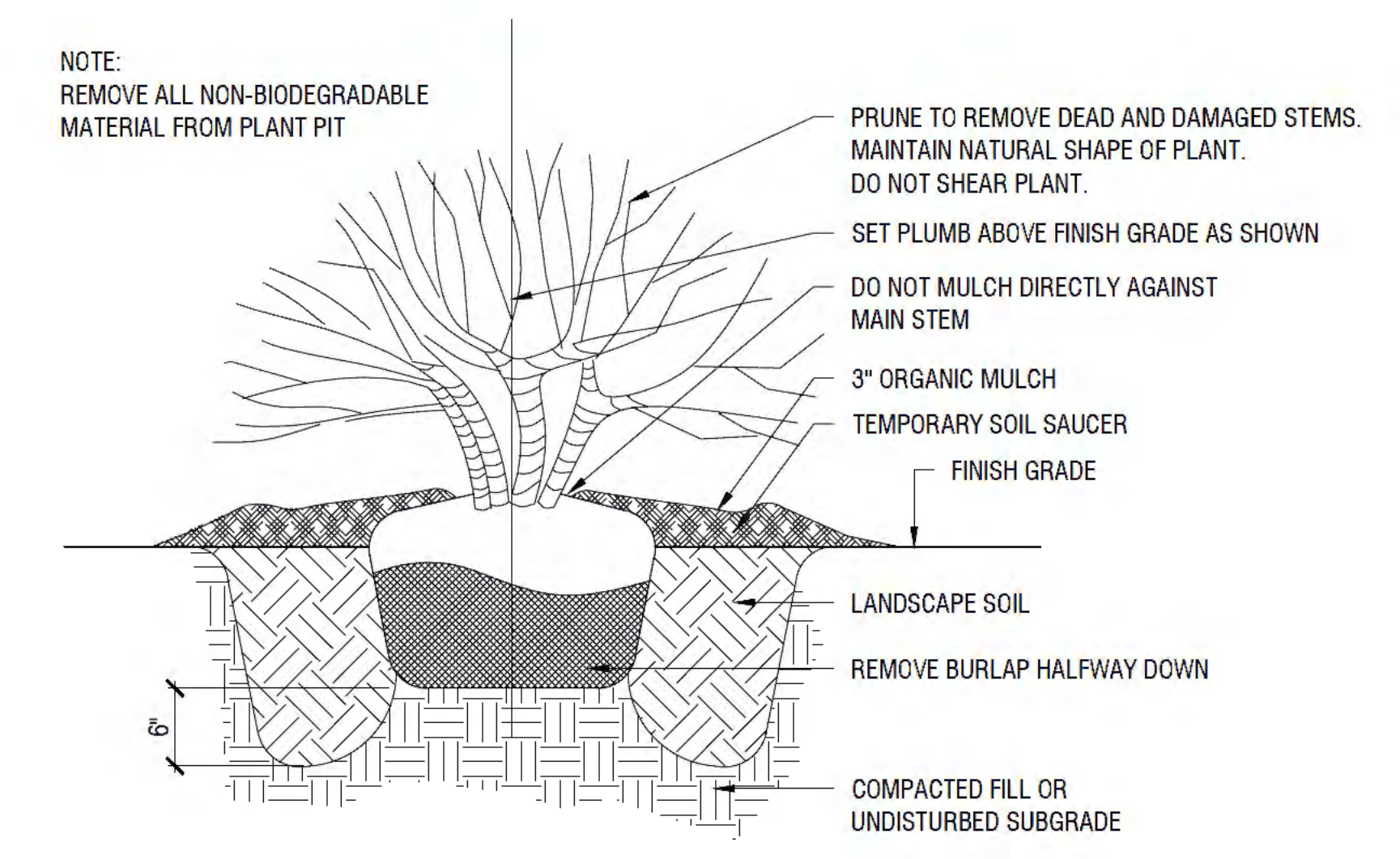
SPECIES: VIRGINIA WILDRYE (ELYMUS VIRGINICUS), CANADA WILD RYE (ELYMUS CANADENSIS), SHOWY TICKTREFOL (DESMODIUM CANADENSE), PARTRIDGE PEA (CHAMAECRISTA FASCICULATA), CREEPING RED FESCUE (FESTUCA RUBRA), COMMON MILKWEED (GLEPIAS SYRIACA), GOLDEN ALEXANDERS, (ZIZIA AUREA), DEER TONGUE (PANICUM CLANDESTINUM), BEARD TONGUE (PENSTEMON DIGITALIS), WHITE AVENS, (GEUM CANADENSE), OX EYE SUNFLOWER (HELIOPSIS HELIANTHIFORMIS), SPOTTED JOE PYE WOOD, (EUPATORIUM MACULATUM), BLUE WOOD ASTER (ASTER CORDIFOLIUS), GRASSLEAF GOLDENROD (EUTHAMIA DRACUNIFOLIA), EASTERN COLUMBINE (AQUILEGIA CANADENSIS), UPLAND BENTGRASS, (AGROSTIS PERENNANS), BLUE STEM GOLDENROD (SOLIDAGO CAESIA).

IRRIGATION NOTES:

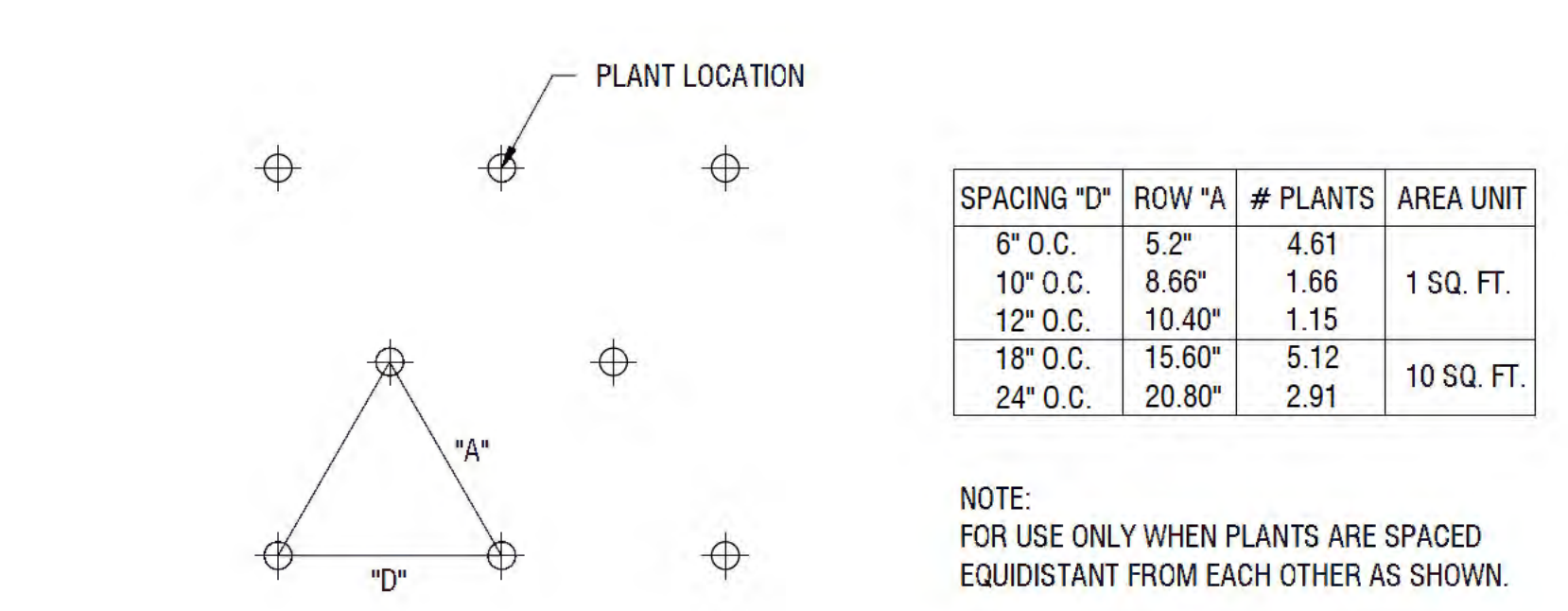
1. THE LIMITS OF THE DRIP IRRIGATION AND/OR UNDERGROUND IRRIGATION SYSTEM TO BE DESIGNED AND PROVIDED IS DELINEATED BY BEDLINES SHOWN ON SHEET L-2.607D. PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT REQUIRED BY OR INFERRED FROM THESE DRAWINGS TO COMPLETE IRRIGATION WORK.
2. COORDINATE IRRIGATION WORK WITH THE WORK OF GENERAL CONTRACTOR AND SUBCONTRACTORS OF OTHER RELATED TRADES.
3. PROVIDE ADDITIONAL WORK AND MATERIALS NOT LISTED IN THE DRAWINGS AND SPECIFICATIONS, BUT REQUIRED BY LOCAL AUTHORITIES, AT NO EXTRA COST TO THE OWNER.
4. MINIMUM WATER COVERAGES: DRIP SYSTEM, CONSISTENT WATER DELIVERY TO ROOT SYSTEM OF EACH PLANT. SPRINKLER SYSTEM, PLANTING AREAS-70%.
5. QUALITY ASSURANCE: ADHERE TO ALL APPLICABLE ASTM, MFG, NSA AND IA STANDARDS.
6. CODES: DESIGN AND INSTALL SYSTEM IN COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS OF GOVERNING AUTHORITIES HAVING JURISDICTION.
7. BID SUBMISSION: CONTRACTORS REQUIRED TO SUBMIT COMPONENTS LIST AT TIME OF BIDDING.
8. SHOP DRAWINGS: PRIOR TO CONSTRUCTION, PROVIDE FOR REVIEW BY LANDSCAPE DESIGNER SHOP DRAWINGS FOR IRRIGATION SYSTEM, INCLUDING PLAN LAYOUT AND LOCATIONS, TYPES, SIZES, CAPACITIES AND FLOW CHARACTERISTICS OF IRRIGATION SYSTEM COMPONENTS. INCLUDE WATER METERS, BACKFLOW PREVENTERS, VALVES, PIPING, SPRINKLERS AND DEVICES, ACCESSORIES, CONTROLS AND WIRING. SHOW AREAS OF SPRINKLER SPRAY AND OVERSPRAY.
9. WARRANTY OF ALL WORK FOR A PERIOD OF ONE YEAR, STARTING ON THE DATE OF LANDSCAPE DESIGNER'S ACCEPTANCE OF IRRIGATION SYSTEM, AGAINST DEFECTS IN MATERIALS, EQUIPMENT, WORKMANSHIP AND ANY REPAIRS REQUIRED RESULTING FROM LEAKS OR OTHER DEFECTS.



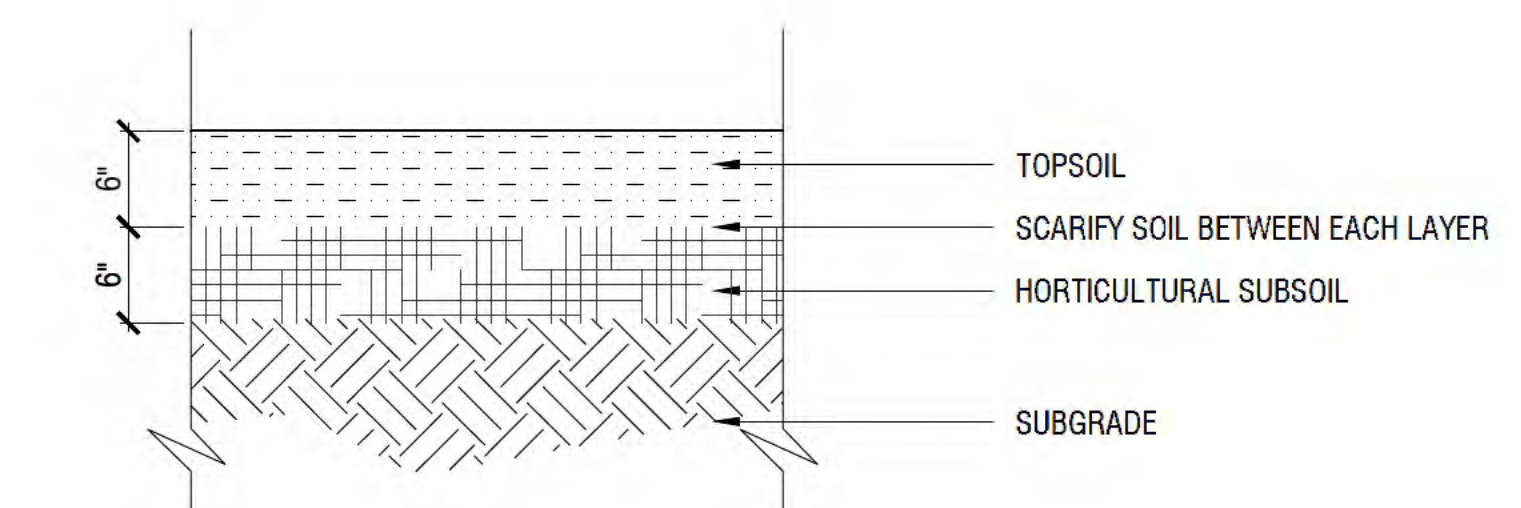
1 TREE IN PLANTING BED
SCALE: 1/2"=1'-0"



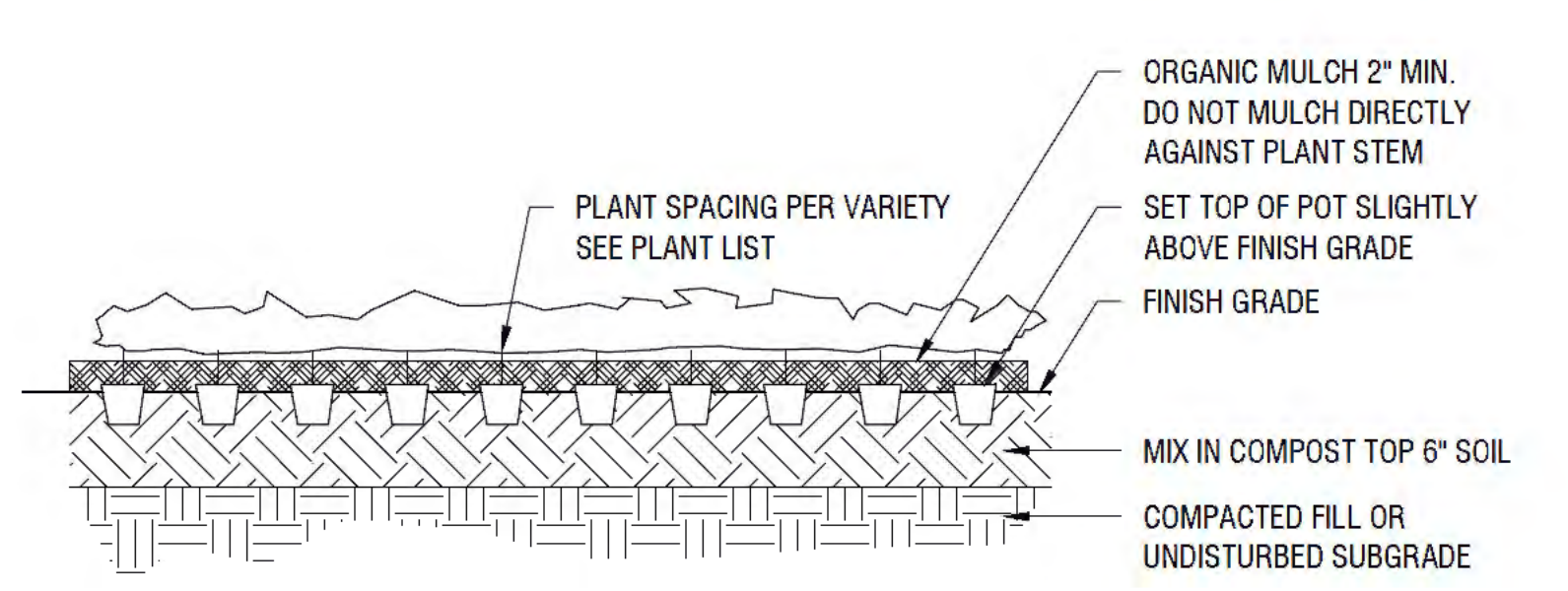
2 SHRUB PLANTING
SCALE: 1"=1'-0"



3 GROUNDCOVER PLANTING
SCALE: 1"=1'-0"



4 PLANTING SOIL PROFILE
SCALE: 1"=1'-0"



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Date	Name
8/26/25	BID SET
1/07/26	REVISED BID SET
4/09/26	CONSTRUCTION DOCUMENTS

PROJECT:

KNIGHT MEMORIAL LIBRARY GARDEN
275 ELMWOOD AVENUE
PROVIDENCE, RI 02907



Project number	2405
Date	4-09-2026
Drawn by	AEA
Checked by	AEA
Scale	--

Drawing Title
PLANTING DETAILS

Sheet Number

L-8.00



• KNIGHT MEMORIAL LIBRARY •




















Knight Memorial


Community
Libraries
of Providence

Welcome! ¡ Bienvenidos!





Subscribed, published and declared by the said William Henry Callahan, as and for his last will and testament, in the presence of us, who, at his request and in his presence and in the presence of each other, have subscribed our names, as witnesses thereto.

JAMES H. FAGAN, Pascoag, R.I.
MARY McPARTLIN, 741 Harris Ave.,
Woon. R.I.
DANIEL J. TORPEY, Pascoag, R.I.

Probated March 31, 1917.

A TRUE COPY.
(L.S.) ATTEST:

Annie Piché,
Deputy Town Clerk.

Recorded June 13, 1924 }
at 5.5 P.M. }

Witness: *Edward Joyce*

Recorder of Deeds.

KNOW ALL MEN BY THESE PRESENTS

THAT KNIGHT REALTY COMPANY, a corporation duly organized and existing under the laws of the State of Rhode Island, hereinafter called "the grantor" in consideration of the sum of ONE DOLLAR to it paid by KNIGHT MEMORIAL LIBRARY ASSOCIATION, a corporation duly created by special Act of the General Assembly passed at its January session, 1924 for the purpose of conducting a public library in the City of Providence, hereinafter called "the grantee", the receipt whereof is hereby acknowledged, does hereby remise, release and forever quitclaim unto it the grantee, its successors and assigns forever, all the right, title, interest, property, claim and demand which it now has, or of right ought to have, or claim, in and to

THAT PARCEL OR TRACT OF LAND in the City of Providence in said State of Rhode Island, together with the building or buildings thereon, including the building recently erected known as the Knight Memorial Library, situated on the westerly side of Elmwood Avenue extending along said Elmwood Avenue from Princeton Avenue to Moore Street, and bounded and described as follows:

Beginning at a point in the northerly line of Moore Street three hundred fifty (350) feet easterly from the intersection of the easterly line of Bucklin Street with said northerly line of Moore Street; thence continuing easterly two hundred thirty and 68/100 (230.68) feet more or less to Elmwood Avenue; thence running northerly bounding easterly on said Elmwood Avenue to Princeton Avenue; thence running westerly bounding northerly on said Princeton Avenue one hundred seventy-two and 68/100 (172.68) feet more or less to a point in the southerly line of Princeton Avenue three hundred fifty (350) feet easterly from the intersection of the easterly line of Bucklin Street with said southerly line of Princeton Avenue; thence running southerly bounding westerly on other land of this grantor one hundred eighty (180) feet more or less to Moore Street and the point or place of beginning. And however bounded and described, comprising those lots numbered 75 to 85, both inclusive, as laid out and delineated on a certain plat entitled "Plat of the Locust Grove Estate belonging to A.D. and J.Y. Smith Surveyed and platted Feb. 24, 1847 by Cushing & Walling", said plat being recorded in the Records of Land Evidence in said City of Providence on Plat Card No.255, except the easterly portion of lots numbered 80, 81, 82 and 83 now included in said Elmwood Avenue, said tract or parcel being also shown and designated as lot No.403 on Plat Card No.44 of the Tax Assessors' Plats in said City of Providence as such plats appeared during the year 1923.

TO HAVE AND TO HOLD the same, with all rights, privileges and appurtenances thereunto appertaining, unto and to the use of it the said grantee and its successors and assigns forever.

AND it the aforementioned grantor for itself and for its successors and assigns, does covenant with the said grantee, its successors and assigns, that it will warrant and defend the aforescribed premises unto the said grantee and its successors and assigns, forever, against the lawful claims and demands of all persons claiming by, through, or under it.

IN WITNESS WHEREOF, said Knight Realty Company has caused these presents to be executed and its corporate seal to be hereunto attached by its proper officer thereunto duly authorized this 14th day of June, in the year of our Lord one thousand nine hundred and twenty-four.

KNIGHT REALTY COMPANY. (L.S.)
By C. Prescott Knight President.

Signed and sealed in presence of:
Arthur M. Allen.

STATE OF RHODE ISLAND
COUNTY OF PROVIDENCE

In Providence on the 14th day of June, A.D. 1924 before me personally appeared C. Prescott Knight to me known and known by me to be the party executing the foregoing instrument in his capacity as President of the above named Knight Realty Company and he acknowledged said instrument, by him executed, to be his free act and deed individually and in his said capacity and the free act and deed of said corporation.

Arthur M. Allen.
Notary Public.

Recorded June 14, 1924
at 11.16 A.M.

Witness: *Edward Joyce*
Recorder of Deeds.

{ U.S.
Revenue Stamp
25¢ }

POWER OF ATTORNEY

KNOW ALL MEN BY THESE PRESENTS THAT I, CHARLES H. CHOATE, of the City of Lawrence, County of Essex, in the Commonwealth of Massachusetts, in consideration of RALPH F. CULVER, of the City of Cranston, County of Providence, and State of Rhode Island, undertaking to act with a broad and irrevocable power of attorney in matters of purchasing, taking, obtaining, selling, discharging and foreclosing mortgages, upon real estate situated in the State of Rhode Island, and in further consideration of the sum of ONE DOLLAR (\$1.00) and other valuable consideration to me paid by and moving from the said Ralph F. Culver, - the receipt whereof is hereby acknowledged, - have made, constituted and appointed, and by these presents do make, constitute and appoint, said Ralph F. Culver, his executors and administrators, my true and lawful attorney or attorneys irrevocable, for me and in my name, place and stead, and with full and absolute discretion, so far as said Ralph F. Culver may deem it best, to take, purchase, obtain, sell, assign, transfer, discharge and foreclose any of said mortgages, and to receive, collect and receipt for all payments on account of any of said mortgages, whether premiums, bonuses, interest or principal, and to expend such monies for any of the purposes aforesaid, and to defray any and all expenses, as in his judgment shall be deemed proper and best, and to employ counsel, and bring, prosecute and settle all and all manner of actions, cause of actions, debts, dues, claims and demands both in law and equity which I ever shall have for or by reason or means of any matter or thing relative to any of said mortgages, I hereby further expressly give and grant to my said attorney or attorneys full power and authority to do and perform all and every act and thing whatsoever requisite and necessary to be done in and about the premises as fully to all intents and purposes as if the same were expressly stated herein and as I might or could do if personally present at the doing thereof, with full power of substitution and revocation, hereby ratifying and confirming all that my said attorney or attorneys or his or their substitutes shall lawfully do or cause to be done by virtue hereof.

