

ARCHITECTURAL

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— — — BUILDING SITE



TAPA: TRINITY ACADEMY FOR THE PERFORMING ARTS
275 WESTMINSTER STREET
PROVIDENCE, RI 02903
MAP: 25 / LOT: 347

PROJECT TITLE:
TAPA PHASE II

275 WESTMINSTER STREET
PROVIDENCE, RI 02903

PROJECT NUMBER:
2325

ISSUED FOR:
SCHEMATIC
02/29/2024
STAMP:

ARCHITECT
Eric Army, AIA

Signal Works
11 Aleppo Street
Providence, RI 02909
p 401 . 400 . 2724

Owner
TRINITY ACADEMY FOR THE
PERFORMING ARTS

275 Westminster Street
Providence, R. I. 02903
p 401.x

ABBREVIATIONS

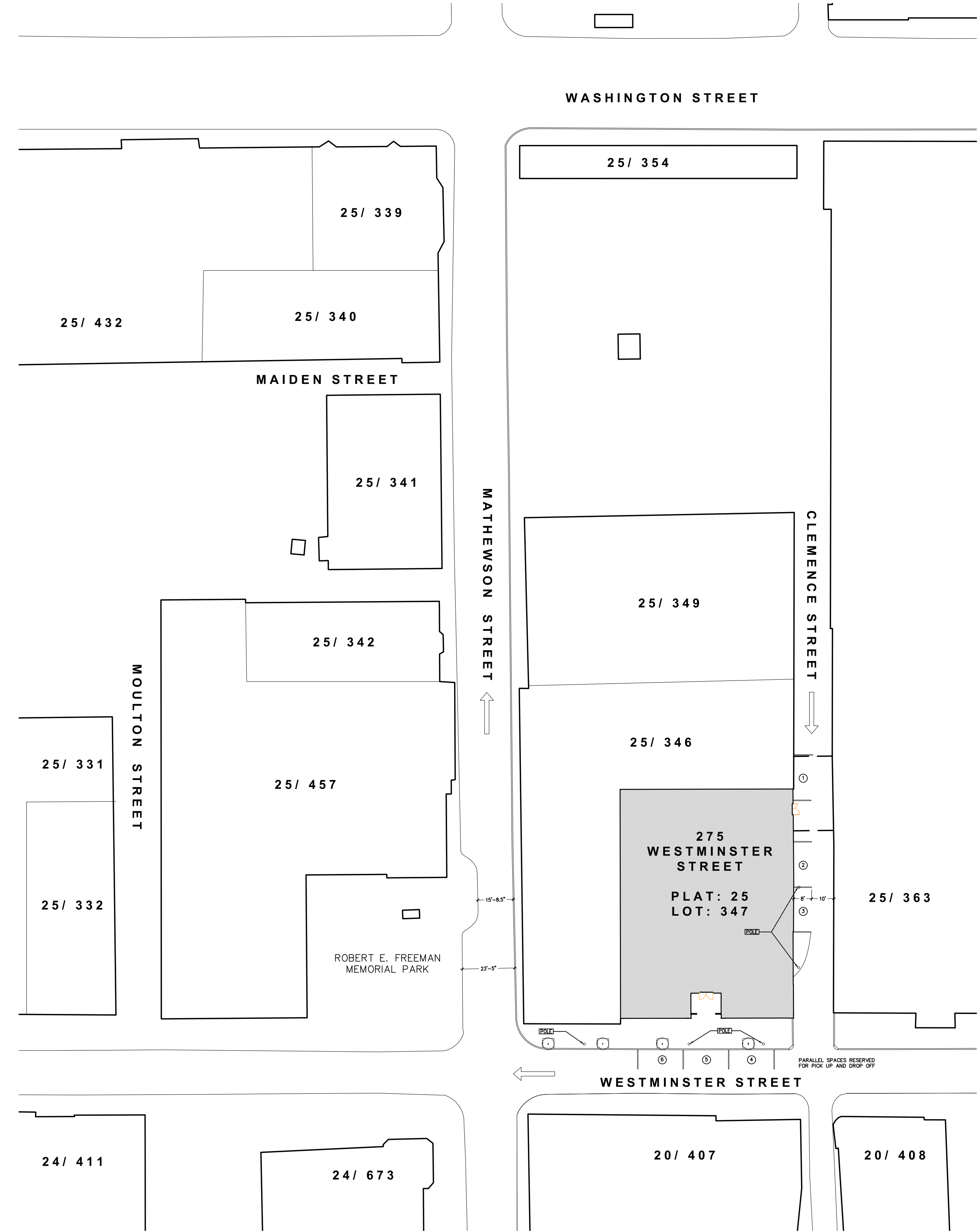
& L Ø CL Ø #	AND ANGLE AT CENTERLINE DIAMETER NUMBER	HDCP HB HC HDWD HDWE HM HORIZ HP HR HGT	HANDICAP HOSE BIB HOLLOW CORE HARDWOOD HARDWARE HOLLOW METAL HORIZONTAL HIGH POINT HOUR HEIGHT
ACOUS ACT ADDEN ADD'L ADJ AFF ACGR AHU AL APPX APPROX ARCH ASPH AWT	ACOUSTICAL ACOUSTICAL CEILING TILE ADDENDUM ADDITIONAL ADJUSTMENTS ABOVE FINISHED FLOOR AGGREGATE AIR HANDLER UNIT ALUMINUM APPENDIX APPROXIMATE ARCHITECTURAL ASPHALT ACOUSTICAL WALL TREATMENT	ID INSUL INT INTERM JA JT KIT LAB LAM LAV LCC LH LKR LP LT	INSIDE DIMENSION INSULATION INTERIOR INTERMEDIATE JANITOR JOINT KITCHEN LABORATORY LAMINATE LAVATORY LEAD COATED COPPER LEFT HAND LOCKER LOW POINT LIGHT
CAB CB CEM CER CU CLAD CLG CLO CLP CLR CNTR CO COL COMP CONC CONN CONSTR CONT CORR CPT CT CTR CTSK	CABINET CATCH BASIN CEMENT CERAMIC CONTROL JOING CLADDING CEILING CLOSET CLAP BOARD CLEAR COUNTER CASED OPENING COLUMN COMPRESSIBLE CONCRETE CONNECTION CONSTRUCTION CONTINUOUS CORRIDOR CARPET CERAMIC TILE CENTER COUNTERSUNK	MATL MAX M.O.E. MECH MEMB MEP METAL MFR MIN MISC MO MR MTD MUL N NIC NO NOM NTS	MATERIAL MAXIMUM MEANS OF EGRESS MECHANICAL MEMBRANE MECHANICAL, ELECTRICAL, PLUMBING METAL MANUFACTURER MINIMUM MISCELLANEOUS MASONRY OPENING MOISTURE RESISTANT MOUNTED MULLION NORTH NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE
DBL DEPT DF DET DIA DIM DISP DN DO DR DWR DS DSP DWG	DOUBLE DEPARTMENT DRINKING FOUNTAIN DETAIL DIAMETER DIMENSION DISPENSER DOWN DOOR OPENING DOOR DRAWER DOWNSPOUT DRY STANDPIPE DRAWING	PART PC PCT PERF PL PLAM PLAS PLUMB PLYWD PNL POL POLY PR PS PT	PARTITION PRECAST PORCELAIN CERAMIC TILE PERFORATED PLASTIC PLASTIC LAMINATE PLASTER PLUMBING PLYWOOD PANEL POLISHED POLYETHYLENE PAIR PULL STATION PAINT
E EA EJ ELEC ELEV EMER ENCL EP EPS EQ EQPT EVTR EWC EXIST ETR EXPO EXP EXT	EAST EACH EXPANSION JOIN ELECTRICAL ELEVATION EMERGENCY ENCLOSURE REINFORCED ELECTRICAL PANELBOARD EXTRUDED POLYSTYRENE EQUAL EQUIPMENT ELEVATOR ELECTRIC WATER COOLER EXISTING EXISTING TO REMAIN EXPOSED EXPANSION EXTERIOR	R RAD RB RCP RD REF REINF REM REQ'D REQ'MTS RESI REV RM RO ROW	RISER RADIUS RESILIENT BASE REFLECTED CEILING PLAN ROOF DRAIN REFERENCE REINFORCED REMOVE REQUIRED REQUIREMENTS RESISTANT REVISION ROOM ROUGH OPENING RIGHT OF WAY
FA FAP FBO/IBC FBO/IBO FC FD FDC FDN FE FEC FHC FF FIN FL FLASH FLUOR FM FOC FOF FOS FOW FP FRPF FRP FRT FS FTG FURR FUT	FIRE ALARM FIRE ALARM PANEL FURNISHED BY OWNER/ INSTALLED BY CONTRACTOR FURNISHED BY OWNER/ INSTALLED BY OWNER FLOOR DRAIN FIRE DEPARTMENT CONNECT FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FIRE HOSE CABINET FINISH FLOOR FINISH FLOOR FLASHING FLUORESCENT FLOOR MAT FACE OF CONCRETE FACE OF FINISH FACE OF STUD FACE OF WALL FIRE PROTECTION FIREPROOF FIRE RATED FIBERGLASS REINFORCED PLASTIC FIRE RETARDANT TREATED FULL SIZE FOOT OF FEET FOOTING FURRING FUTURE	S SC SCHED SECT SECT SH SHWR SHT SIM SPEC SQ SS STD STL STOR STRUCT SUSP SYM SYS T&G TBD THK TOC TOP TOS TOW TYP UNF UNO UON VEN VB VERT VEST VIF W W/ WB WC WD W/O WP WT WWF	SOUTH SOLID CORE SCHEDULE SECTION SEAMLESS FLOORING SHELF SHOWER SHEET SIMILAR SPECIFICATION SQUARE STAINLESS STEEL STAINED STEEL STORAGE STRUCTURE SUSPENDED SYMMETRICAL SYSTEM TONGUE AND GROOVE TO BE DETERMINED THICK TOP OF CURB TOP OF PARAPET TOP OF SLAB TOP OF WALL TYPICAL UNFINISHED UNLESS NOTED OTHERWISE UNLESS OTHERWISE NOTED VENEER VAPOR BARRIER VERTICAL VESTIBULE VERIFY IN FIELD WEST WITH WOOD BASE WATER CLOSET WOOD WITHOUT WATERPROOF WEIGHT WELDED WIRE FABRIC

SYMBOLS

	ELEVATION (IN PLAN)
	WALL SECTION
	DETAIL
	INTERIOR ELEVATION
	DOOR TAG
	FINISH TAG
	WINDOW TAG
	WINDOW CONDITIONS TAG
	WALL TYPE
	CEILING TYPE
	ROOM TAG
	DATUM/SPOT ELEVATION
	REVISION TAG
	CALLOUT
	COLUMN GRID REFERENCE
	NOTE
	ALIGN FINISHES OF NOTED ELEMENTS
	TITLE MARK

MATERIALS

	ALUMINUM		GRAVEL
	BATT INSULATION		GYPSUM PLASTER
	BRICK, STONE MASONRY		PLYWOOD
	CONCRETE		RIGID INSULATION
	CONCRETE MASONRY		STEEL
	EARTH		DIMENSIONAL LUMBER
			BLOCKING



1 SITE PLAN
A0.3 1/32"=1'-0"

ARCHITECTURAL SITE PLAN
DIAGRAMMATIC ONLY. PROFESSIONAL
SURVEY OWNER'S RESPONSIBILITY.
SITE BOUNDARIES, SETBACKS ETC TO
BE CONFIRMED W/PROFESSIONAL
SURVEY PRIOR TO ANY CONSTRUCTION.

SITE INFORMATION NOTES:

MAP / LOT:	25-347
LOT AREA:	7,967 SF
TOTAL BUILDING AREA:	49,253 SF (INCLUDES 8,845 SF AT BASEMENT LEVEL)
ZONE:	R-1A / DOWN CITY OVERLAY DISTRICT
EXISTING BUILDING TYPE:	III B
EXISTING USE:	EDUCATION
PROPOSED USE:	EDUCATION
NUMBER OF STORIES:	5 STORIES
SPRINKLERS:	YES



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CONSULTANT:

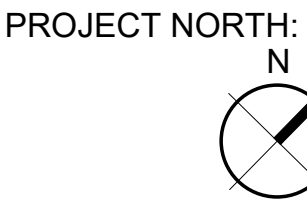
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INFORMATION



PROJECT ARCHITECT: EA
DRAWN: DD
PROJECT NUMBER:
#2325

SHEET NUMBER: A0.1
REV: ~

GENERAL CONDITIONS NOTES:

1. THE CONTRACTOR SHALL VISIT THE SITE AND BE FULLY COGNIZANT OF ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY PROPOSITIONS OR BIDS. IF ANY ASBESTOS, KNOWN MATERIALS CONTAINING ASBESTOS OR ANY MATERIALS CLASSIFIED BY THE EPA AS HAZARDOUS MATERIALS ARE DISCOVERED, THEN THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE OWNER, AS REQUIRED, FOR THE REMOVAL OF THESE CONDITIONS. PRIOR TO THE BEGINNING OF THIS PROJECT, IF THE CONTRACTOR PARTICIPATES IN ANY PORTION OF THE REMOVAL PROCESS IN HIS COORDINATION WITH THE OWNER, THEN THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A WRITTEN STATEMENT RELEASING THE OWNER OF ANY FUTURE LIABILITY FROM THE CONTRACTOR, HIS EMPLOYEES AND ANY SUBCONTRACTORS HIRED BY THE CONTRACTOR RELATED TO THIS WORK. THESE DRAWINGS AND SPECIFICATIONS DO NOT REPRESENT AN ASSESSMENT OF THE PRESENCE OR AN ASSESSMENT OF THE ABSENCE OF ANY TOXIC OR HAZARDOUS MATERIALS ON THIS PROJECT SITE. THE OWNERS ARE SOLELY RESPONSIBLE FOR SUCH AN ASSESSMENT AND SHOULD BE CONSULTED FOR ANY QUESTIONS THEREIN. IF THE CONTRACTOR DISCOVERS ANY TOXIC OR HAZARDOUS MATERIALS, AS DEFINED BY THE APPROPRIATE GOVERNING AUTHORITIES, IN THE COURSE OF HIS WORK, HE MUST NOTIFY THE OWNERS IN WRITING, AS PER THE GUIDELINES BY ALL GOVERNING AUTHORITIES. THE CONTRACTOR SHALL RESOLVE THE APPLICABLE REGULATIONS AND PROCEDURES WITH THE OWNER AT THE TIME OF DISCOVERY.
2. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES, LAWS, ORDINANCES AND LOCAL MUNICIPAL REGULATIONS AND AMENDMENTS RELATED TO THIS PROJECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNER AT ONCE UPON DISCOVERY OF ANY CONFLICTS OR DISCREPANCIES BETWEEN THE AFOREMENTIONED AND THE WORK CONTRACTED FOR THIS PROJECT OR A CHANGE OF AN APPLICABLE CODE OR STATUTE BY LOCAL AUTHORITIES.
3. THE CONTRACTOR SHALL COORDINATE AND BE RESPONSIBLE FOR ALL WORK BY HIS SUBCONTRACTORS AND THEIR COMPLIANCE WITH ALL THESE GENERAL NOTES. THE CONTRACTOR SHALL IDENTIFY ANY CONFLICTS BETWEEN THE WORKS OF THE SUBCONTRACTORS, AS DIRECTED BY THESE DRAWINGS, DURING THE LAYOUT OF THE AFFECTED TRACES. THE CONTRACTOR SHALL REVIEW THESE CONDITIONS WITH THE ARCHITECTURAL DESIGNER FOR DESIGN CONFORMANCE BEFORE BEGINNING ANY INSTALLATION.
4. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING AND PROPOSED DIMENSIONS AND CONDITIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNER AT ONCE UPON THE DISCOVERY OF ANY CONFLICTS OR DISCREPANCIES BETWEEN THE AFOREMENTIONED AND THE DRAWINGS AND SPECIFICATIONS OF THIS PROJECT. THE CONTRACTOR SHOULD FOLLOW DIMENSIONS AND SHOULD NOT SCALE THESE DRAWINGS. IF DIMENSIONS ARE REQUIRED BUT NOT SHOWN, THEN THE CONTRACTOR SHALL REQUEST THE DIMENSIONS FROM THE OWNER BEFORE BUILDING ANY PART OF THE PROJECT, WHICH REQUIRES THE MISSING DIMENSIONS.
5. ANY CHANGES, ALTERNATIVES OR MODIFICATIONS TO THESE DRAWINGS AND SPECIFICATIONS MUST BE APPROVED IN WRITING BY THE OWNER, AND ONLY WHEN SUCH WRITTEN APPROVAL CLEARLY STATES THE AGREED COST OR CREDIT FOR THE MODIFICATION. IF THE CONTRACTOR WISHES TO MAKE ANY CHANGES TO THE DRAWINGS OR OTHER DOCUMENTS, NOT SHOWN OR INCLUDED IN THE PERMIT OR CONSTRUCTION DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL REQUEST THE MISSING INFORMATION, DRAWINGS OR DOCUMENTS FROM THE OWNER BEFORE STARTING OR PROCEEDING WITH THE CONSTRUCTION AFFECTED BY THE MISSING INFORMATION, DRAWINGS OR DOCUMENTS.
6. THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS TO PROVIDE THE DESIGN GUIDANCE FOR THE CONTRACTOR TO REASONABLY PLAN FOR ALL ITEMS NECESSARY FOR A COMPLETE WORKING MECHANICAL AND PLUMBING SYSTEMS, AS DIAGRAMMATICALLY DESCRIBED AND SHOWN IN THESE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, FINAL DIMENSIONS AND PROCEDURES FOR THE WORK SHOWN ON THESE DRAWINGS AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENACT THE AFOREMENTIONED IN COMPLIANCE WITH GENERALLY ACCEPTED STANDARDS OF PRACTICE FOR THE CONSTRUCTION INDUSTRY FOR THE TYPE OF WORK SHOWN ON THESE DRAWINGS AND SPECIFICATIONS. THE OWNER RESERVES THE RIGHT OF REVIEW FOR ALL MATERIALS AND PRODUCTS FOR WHICH NO SPECIFIC BRAND NAME OR MANUFACTURER IS IDENTIFIED IN THESE DRAWINGS AND SPECIFICATIONS. (77) THE CONTRACTOR SHALL VERIFY WITH THE OWNER THE NEED FOR SHOP DRAWINGS OR SAMPLES OF MATERIALS OR PRODUCTS, WHICH WERE NOT IDENTIFIED IN THESE DRAWINGS OR SPECIFICATIONS, AS WELL AS ANY MATERIAL, PRODUCT OR EQUIPMENT SUBSTITUTIONS PROPOSED IN PLACE OF THOSE ITEMS IDENTIFIED IN THESE DRAWINGS AND SPECIFICATIONS.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND COORDINATE ALL UTILITY CONNECTIONS, UTILITY COMPANIES' REQUIREMENTS AND INCLUDE ANY RELATED COSTS ASSOCIATED WITH THIS RESPONSIBILITY IN THE PROPOSAL OR BID. THE CONTRACTOR IS ALSO RESPONSIBLE FOR WRITING LETTERS OF CONFORMATION REGARDING OPERATIVE AGREEMENTS FOR THIS PROJECT BETWEEN THE CONTRACTOR AND THE LOCAL FIRE DEPARTMENT; THE LOCAL WATER AGENCY; THE LOCAL NATURAL OR PROPANE GAS PROVIDER; THE LOCAL ELECTRICITY PROVIDER; THE LOCAL TELEPHONE SERVICE PROVIDER; THE LOCAL CABLE TV PROVIDER; THE OWNER'S SECURITY SERVICE PROVIDER AND ANY UNNAMED UTILITY TYPE SERVICE PROVIDER. THE CONTRACTOR SHALL PROVIDE COPIES OF ANY SUCH AGREEMENTS TO THE OWNER, IF REQUIRED OR REQUESTED.
8. THE CONTRACTOR IS FULLY RESPONSIBLE TO ENACT THE APPROPRIATE SAFETY PRECAUTIONS REQUIRED TO MAINTAIN A SAFE WORKING ENVIRONMENT. THE CONTRACTOR SHALL ALSO INDEMNIFY AND HOLD HARMLESS THE OWNER, THEIR CONSULTANTS AND EMPLOYEES FROM ANY PROBLEMS, WHICH RESULT FROM THE CONTRACTOR'S PERFORMANCE OF THE WORK RELATED TO THE SAFETY OF THE CONSTRUCTION SITE.
9. THE CONTRACTOR SHALL CARRY THE APPROPRIATE WORKMAN'S COMPENSATION AND LIABILITY INSURANCE, AS REQUIRED BY THE LOCAL GOVERNMENT AGENCY HAVING JURISDICTION FOR THIS ISSUE, AS WELL AS COMPLY WITH THE GENERALLY ACCEPTED INDUSTRY STANDARDS OF PRACTICE FOR A PROJECT OF THIS SCOPE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY WITH THE OWNER, IF HE WILL BE REQUIRED TO CARRY FIRE INSURANCE OR OTHER TYPES OF INSURANCE, AS WELL AS, MAKING THE OWNER ADDITIONALLY INSURED ON THEIR POLICIES FOR THE DURATION OF THE PROJECT. HE SHOULD ALSO ASSIST THE OWNER IN IDENTIFYING THE AMOUNT OF COVERAGE REQUIRED FOR THEIR CO-INSURANCE NEEDS.
10. THE CONTRACTOR SHALL MAINTAIN A CLEAN AND ORDERLY JOB SITE ON A DAILY BASIS. THE CONTRACTOR SHALL NOT UNREASONABLY ENCLUMBER THE SITE WITH MATERIALS OR EQUIPMENT. THE CONTRACTOR SHALL NOT ENDANGER EXISTING STRUCTURES AND ANY NEWLY CONSTRUCTED STRUCTURE BY OVERLOADING THE AFOREMENTIONED WITH MATERIALS OR EQUIPMENT. THE CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION TO REMAIN AND NEW CONSTRUCTION AFTER IT IS INSTALLED. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE TEMPORARY ENCLOSURES OR PROTECTION, AS NEEDED, TO PROTECT THE EXISTING STRUCTURE AND ANY NEWLY CONSTRUCTED STRUCTURES FROM THE ILL EFFECTS OF WEATHER FOR THE DURATION OF THE ENTIRE CONSTRUCTION PROCESS.
11. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY DAMAGE INCURRED BY HIM OR HIS SUBCONTRACTORS TO ANY EXISTING STRUCTURE OR WORK, ANY STRUCTURE OR WORK IN PROGRESS; UNUSED MATERIAL INTENDED FOR USE IN THE PROJECT; OR ANY EXISTING SITE CONDITION WITHIN THE SCOPE OF WORK INTENDED BY THESE DRAWINGS AND SPECIFICATIONS. THIS RESPONSIBILITY WILL INCLUDE ANY MATERIALS AND LABOR REQUIRED TO CORRECT SUCH DAMAGE TO THE OWNER'S SATISFACTION AT NO COST TO THE OWNER UNLESS AGREED TO BY THE OWNER IN WRITING.
12. THE CONTRACTOR SHALL WARRANTY ACCORDING TO STATE CONSTRUCTION LAW ALL WORK DONE BY HIM, HIS EMPLOYEES AND HIS SUBCONTRACTORS AGAINST ALL VISIBLE DEFECTS OR ERRORS THAT BECOME APPARENT WITHIN THE FIRST YEAR AFTER THE COMPLETION OF THE PROJECT, AS ACCEPTED BY THE OWNER. THE CONTRACTOR SHALL, ADDITIONALLY, WARRANTY ALL DEFECTS AND ERRORS NOT VISIBLE, BUT CONTAINED WITHIN CONSTRUCTED STRUCTURE, FOR A PERIOD OF TEN YEARS FROM THE COMPLETION OF THE PROJECT, ALSO ACCORDING TO STATE CONSTRUCTION LAW. ANY AND ALL DEFECTS AND ERRORS THAT DO BECOME APPARENT SHALL BE PROMPTLY REPAIRED BY THE CONTRACTOR TO THE OWNER'S SATISFACTION AT NO COST TO THE OWNER FOR MATERIALS OR LABOR. ALTERATIONS OR CHANGES TO THIS WARRANTY MUST BE MUTUALLY AGREED TO IN WRITING BY BOTH THE CONTRACTOR AND THE OWNER.
13. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE APPROPRIATENESS OF THE APPLICATION OF ALL THE PRODUCT SELECTIONS SHOWN OR INTENDED IN THESE DRAWINGS AND SPECIFICATIONS. THE INTENDED MEANING OF "APPROPRIATENESS" IS THE PROPER SYSTEM, MODEL AND SPECIFIC SELECTION REQUIRED FOR THE INTENDED USE AS SHOWN ON THESE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE MOST CURRENT MODEL NAME OR NUMBER FROM THE SELECTED MANUFACTURER. THE CONTRACTOR IS RESPONSIBLE TO VERIFY THAT ANY INSTALLERS, WHICH HE SELECTS FOR THE VARIOUS PRODUCTS WILL FOLLOW ALL THAT PRODUCT MANUFACTURERS REQUIRED AND RECOMMENDED METHODS AND PROCEDURES TO ACHIEVE THE DESIRED RESULTS CLAIMED BY SUCH MANUFACTURERS FOR THEIR PRODUCTS. IN ADDITION, THESE DRAWINGS AND SPECIFICATIONS IDENTIFY SOME REQUIRED SYSTEMS AND PRODUCTS IN GENERIC TERMS. THE CONTRACTOR IS RESPONSIBLE TO MAKE SPECIFIC SELECTIONS FOR THESE SYSTEMS AND PRODUCTS THAT SATISFY THE SAME CONDITIONS OUTLINED ABOUT THE IDENTIFIED MANUFACTURED ITEMS.
14. IT IS THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS TO IDENTIFY THE SCOPE OF WORK FOR A DESIGN AND BUILD TYPE OF MECHANICAL AND PLUMBING INSTALLATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE: THE NECESSARY LABOR FAMILIAR WITH THIS TYPE OF INSTALLATION; ALL NECESSARY MATERIALS, TOOLS, EQUIPMENT, TRANSPORTATION, TEMPORARY CONSTRUCTION; AND ANY SPECIAL OR OCCASIONAL SERVICES REQUIRED TO INSTALL A COMPLETE WORKING MECHANICAL AND PLUMBING SYSTEMS, AS DIAGRAMMATICALLY DESCRIBED AND SHOWN IN THESE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE TO VERIFY ANY INFORMATION THAT IS NOT INDICATED IN THESE DRAWINGS AND SPECIFICATIONS BUT IS REQUIRED FOR THE PERFORMANCE OF THE INSTALLATION.
15. IT IS THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS TO IDENTIFY THE SCOPE OF WORK FOR A DESIGN AND BUILD TYPE OF FIRE SPRINKLER INSTALLATION THROUGHOUT THE ENTIRE STRUCTURE. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE: THE NECESSARY LABOR FAMILIAR WITH THIS TYPE OF INSTALLATION; ALL NECESSARY MATERIALS, TOOLS, EQUIPMENT, TRANSPORTATION, TEMPORARY CONSTRUCTION; AND ANY SPECIAL OR OCCASIONAL SERVICES, INCLUDING THE PROCUREMENT OF ALL PERMITS REQUIRED TO INSTALL A COMPLETE WORKING SYSTEM. THE CONTRACTOR WILL ALSO BE RESPONSIBLE TO VERIFY ANY INFORMATION THAT IS NOT INDICATED IN THESE DRAWINGS AND SPECIFICATIONS BUT IS REQUIRED FOR THE PERFORMANCE OF THE INSTALLATION.
16. IF THE CONTRACTOR FINDS FAULT WITH, DISAGREES WITH, OBJECTS TO, OR WOULD LIKE TO CHANGE THE SCOPE OF THESE GENERAL NOTES OR HIS STATED RESPONSIBILITIES, AS OUTLINED IN THESE GENERAL NOTES, THEN THE CONTRACTOR MUST RESOLVE SUCH CHANGES WITH THE OWNER IN WRITING BEFORE SIGNING A CONTRACT. FAILURE TO DO SO SHALL CONSTITUTE AN UNDERSTANDING OF THESE GENERAL NOTES AND THEIR ACCEPTANCE BY THE CONTRACTOR.
17. THE CONTRACTOR SHALL IDENTIFY IN HIS PROPOSAL OR BID, WHICH PERMITS HE EXPECTS TO OBTAIN AND WHICH PERMITS AND APPLICATION FEES HE EXPECTS THE OWNER TO PROVIDE.
18. THE CONTRACTOR IS RESPONSIBLE TO IDENTIFY ANY CONFLICTS BETWEEN HIS CONTRACT WITH THE OWNER AND THESE DRAWINGS. THE ARCHITECTURAL DESIGNER, THE CONTRACTOR AND THE OWNER SHALL REVIEW THESE CONFLICTS IN ORDER TO AMEND ONE OF THESE DOCUMENTS BEFORE THE START OF THE CONSTRUCTION. IF A CONFLICT IS DISCOVERED WITHOUT THIS PRIOR RESOLUTION, THEN THESE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY OTHER DOCUMENTS IN RESOLVING A CONFLICT.
19. THE CONTRACTOR SHALL ASSUME THAT SITE MEETINGS WITH THE OWNER, THE ARCHITECTURAL DESIGNER AND THE CONTRACTOR PRESENT SHALL BE HELD ONCE EVERY WEEK, UNLESS THEY ARE MUTUALLY CHANGED OR CANCELED. THE CONTRACTOR SHALL KEEP WRITTEN NOTES OF ALL RELEVANT INFORMATION DISCUSSED AT THESE MEETINGS AND PROVIDE COPIES TO THE OWNER AND THE ARCHITECTURAL DESIGNER, UNLESS DIFFERING ARRANGEMENTS ARE RESOLVED WITH THE ARCHITECTURAL DESIGNER AND THE OWNER. THE ARCHITECTURAL DESIGNER SHALL PROVIDE ANY REQUESTED SKETCHES OR ANY REQUESTED INFORMATION THAT IS REQUIRED AND REQUESTED DURING THESE MEETINGS. THE OWNER AND THE CONTRACTOR SHALL ALSO PROVIDE ANY REQUESTED INFORMATION THAT IS REQUIRED DURING THESE MEETINGS.
20. THE ARCHITECTURAL DESIGNER OR THE OWNER CAN WRITE AND ISSUE FIELD ORDERS FOR CHANGES TO THE DRAWINGS AND SPECIFICATIONS, AS REQUESTED BY OWNER OR THE CONTRACTOR. IF ADDITIONAL (OR DELETION OF) COST TO THE PROJECT IS REQUIRED, THEN THESE FIELD ORDERS SHALL BECOME THE BASIS OF A CHANGE ORDER.
21. THE CONTRACTOR SHALL WRITE AND ISSUE ALL CHANGE ORDERS, WHICH SHALL INCLUDE A COST BREAKDOWN FOR ALL THE WORK DESCRIBED IN SUCH A CHANGE ORDER. ANY CHANGE ORDER WILL NOT BE BINDING TO THE OWNER UNTIL BOTH THE CONTRACTOR AND THE OWNER HAVE SIGNED IT.
22. UPON SUBSTANTIAL COMPLETION THE CONTRACTOR SHALL NOTIFY THE ARCHITECTURAL DESIGNER, WHO SHALL COORDINATE A WALK-THROUGH OF THE PROJECT WITH THE OWNER AND THE CONTRACTOR AND THEN PROVIDE A PUNCH LIST OF ITEMS TO COMPLETE. ARRANGEMENTS FOR FINAL PAYMENT WILL BE MADE AT THAT TIME.

DEMOLITION GENERAL NOTES:

1. THE DEMOLITION WORK SHOWN ON THESE DRAWINGS MAY NOT BE THE COMPLETE DEMOLITION REQUIRED TO ACCOMMODATE THE NEW WORK, WHICH IS SHOWN ELSEWHERE. THE INTENT OF THESE DRAWINGS IS TO GENERALLY SHOW THE DEMOLITION SCOPE OF WORK EXPECTED OF THE CONTRACTOR. THE CONTRACTOR WILL BE RESPONSIBLE TO COORDINATE ANY ADDITIONAL DEMOLITION WORK AND VERIFY THE EXTENT OF DEMOLITION REQUIRED IN ORDER TO ACCOMMODATE ANY NEW WORK.
2. ALL THE DIMENSIONS SHOWN, OR NOT SHOWN BUT REQUIRED, MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE INFORMATION SHOWN ON THESE DRAWINGS WAS DERIVED BY THE ARCHITECTURAL DESIGNER WITHOUT ANY SURVEYING OR ENGINEERING EQUIPMENT AND IS INTENDED TO BE HELPFUL, BUT NOT NECESSARILY ACCURATE.
3. ALL BIDS OR PROPOSALS MUST CLEARLY IDENTIFY WHAT WORK WILL BE PERFORMED AND WHAT WORK WILL NOT BE PERFORMED. THE CONTRACTOR WILL ALSO IDENTIFY ANY ALLOWANCES FOR WORK TOO UNCERTAIN TO BID FROM THE INFORMATION SHOWN ON THESE DRAWINGS.
4. THE CONTRACTOR WILL COORDINATE THE CAPPING AND PATCHING OF ALL EXISTING PLUMBING FIXTURES, SPRINKLER SYSTEMS AND RELATED EQUIPMENT SHOWN TO BE REMOVED WITH THE EXISTING ROUGH-IN SYSTEM TO REMAIN. THE CONTRACTOR WILL VERIFY THE WORK REQUIRED FOR INSTALLING AND CONNECTING NEW PLUMBING FIXTURES AND RELATED EQUIPMENT, AS SHOWN ON THE NEW WORK PLANS, TO THE REMAINING EXISTING SYSTEM. THE CONTRACTOR WILL REVIEW WITH THE ARCHITECTURAL DESIGNER IN THE FIELD ANY CONDITIONS THAT WILL CONFLICT WITH THIS INTENT.
5. THE CONTRACTOR WILL COORDINATE THE CAPPING AND PATCHING OF THE MECHANICAL SYSTEM AND RELATED DEVICES SHOWN TO BE REMOVED WITH THE EXISTING SYSTEM TO REMAIN. THE CONTRACTOR WILL VERIFY THE WORK REQUIRED FOR INSTALLING ANY NEW MECHANICAL SYSTEM AND RELATED EQUIPMENT, AS SHOWN ON THE NEW WORK PLANS, TO THE REMAINING EXISTING SYSTEM OR EQUIPMENT. THE CONTRACTOR WILL REVIEW WITH THE ARCHITECTURAL DESIGNER IN THE FIELD ANY CONDITIONS THAT WILL CONFLICT WITH THIS INTENT.
6. THE CONTRACTOR WILL COORDINATE THE CAPPING AND PATCHING OF ALL EXISTING ELECTRICAL FIXTURES AND RELATED EQUIPMENT SHOWN TO BE REMOVED WITH THE EXISTING SYSTEM TO REMAIN. THE CONTRACTOR WILL VERIFY THE WORK REQUIRED FOR INSTALLING AND CONNECTING NEW ELECTRICAL FIXTURES AND RELATED EQUIPMENT, AS SHOWN ON THE NEW WORK PLANS, TO THE REMAINING EXISTING SYSTEM. THE CONTRACTOR WILL REVIEW WITH THE ARCHITECTURAL DESIGNER IN THE FIELD ANY CONDITIONS THAT WILL CONFLICT WITH THIS INTENT.
7. THE CONTRACTOR WILL PROTECT EXISTING MATERIALS TO REMAIN, AS REQUIRED. DAMAGE TO EXISTING MATERIALS TO REMAIN, BECAUSE OF INADEQUATE PROTECTION SHALL BE FIXED, REPAIRED OR REPLACED, AS REQUIRED BY THE ARCHITECTURAL DESIGNER, AT THE SOLE EXPENSE OF THE CONTRACTOR INCLUDING BUT NOT NECESSARILY LIMITED TO LABOR AND MATERIALS.
8. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR OBTAINING ANY ADDITIONAL PERMITS, ENGINEERING, SHORING AND ANY CONSTRUCTION DOCUMENTS BY OTHERS RELATED TO THIS WORK, WHETHER OR NOT THEY ARE REQUIRED, FROM THE LOCAL AUTHORITIES.
9. THE CONTRACTOR IS RESPONSIBLE TO PROPERLY STORE AND PROTECT ANY MATERIAL DESIGNATED ON THE DRAWINGS TO BE SALVAGED AND RE-INSTALLED AS PART OF THE NEW WORK INTENT.

CONSTRUCTION GENERAL NOTES:

1. THE CONTRACTOR WILL BE RESPONSIBLE TO MAINTAIN THE SECURITY OF THE JOB SITE DURING THE CONSTRUCTION PROCESS UNTIL FINAL ACCEPTANCE BY THE OWNER OR UNTIL AN ALTERNATE DATE, AS MUTUALLY AGREED BETWEEN THE OWNER AND THE CONTRACTOR.
2. THE CONTRACTOR WILL VERIFY THE ROUGH-IN DIMENSIONS AND REQUIREMENTS FROM THE APPROPRIATE MANUFACTURER OR FABRICATOR FOR DOORS, WINDOWS, EQUIPMENT, CABINETRY, PLUMBING FIXTURES, ELECTRICAL FIXTURES, APPLIANCES AND ANY OTHER DEVICES BEFORE PROCEEDING TO LAY OUT AREAS WHERE SUCH ITEMS ARE LOCATED.
3. ALL CONNECTIONS AND FASTENERS ARE INTENDED TO BE CONCEALED, UNLESS OTHERWISE NOTED. WHERE SUCH DEVICES CAN NOT BE CONCEALED AS INTENDED NOTIFY THE ARCHITECTURAL DESIGNER FOR REVIEW OF DESIGN CONFORMANCE.
4. FIRELOCKING SHALL BE PROVIDED IN ALL LOCATIONS IDENTIFIED BY LOCAL / STATE BUILDING CODE AND IN ANY ADDITIONAL LOCATIONS IDENTIFIED BY THE LOCAL AUTHORITIES OR LOCAL ORDINANCES
5. THE CONTRACTOR WILL VERIFY ALL ROOF AND FRAMING SPACES REQUIRED TO BE VENTILATED WITH THE LOCAL FIELD INSPECTOR OR LOCAL CODE AND PROVIDE THE APPROPRIATE NET FREE VENTILATION AREA, BUT IN NO CASE SHALL IT BE LESS THAN 1/50TH OF THE AREA OF THE SPACE TO BE VENTILATED. WHEN THE MEANS OF THE VENTILATION IS VISIBLE FROM A COMMONLY USED SPACE, PASSAGEWAY, YARD OR PUBLIC RIGHT OF WAY, THE CONTRACTOR SHALL REVIEW THIS SITUATION WITH THE ARCHITECTURAL DESIGNER FOR DESIGN CONFORMANCE BEFORE INSTALLING SUCH DEVICES, EQUIPMENT OR MATERIALS.
6. THE CONTRACTOR WILL VERIFY AND PROVIDE THE REQUIRED BLOCKING AND BACKING FOR ALL CABINETRY, WALL-MOUNTED ACCESSORIES, BUILT-IN EQUIPMENT, LIGHT FIXTURES OR OTHER DEVICES REQUIRING BLOCKING OR BACKING.
7. THE CONTRACTOR WILL VERIFY AND PROVIDE ALL CODE REQUIRED FIREPROOFING AT ALL PENETRATIONS INTO AND THROUGH A FIRE RATED FLOOR, WALL, CEILING OR ROOF ASSEMBLY.
8. ALL CHANGES OR OFFSETS IN FLOOR FINISH MATERIAL WILL OCCUR UNDER A THRESHOLD, WHEN PROVIDED, OR AT THE CENTERLINE OF A DOOR TRANSITION UNLESS OTHERWISE INDICATED ON THE DRAWINGS. OTHER LOCATIONS OF THESE CONDITIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL DESIGNER IN THE FIELD FOR DESIGN CONFORMANCE BEFORE INSTALLING ANY MATERIAL.
9. THE SEALANT, CAULKING AND FLASHING LOCATIONS SHOWN ON THESE DRAWINGS ARE NOT INTENDED TO COVER ALL CONDITIONS REQUIRING THESE PRODUCTS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY ALL CONDITIONS REQUIRING THESE PRODUCTS, SIMILAR PRODUCTS AND REVIEW THESE CONDITIONS NOT IDENTIFIED IN THE DRAWINGS WITH THE ARCHITECTURAL DESIGNER FOR DESIGN CONFORMANCE.
10. COMPLETE ALL WORK REQUIRED TO MEET LOCAL / STATE ENERGY CONSERVATION REQUIREMENTS INCLUDING BUT NOT LIMITED TO ALL MANDATORY AND SPECIAL FEATURES, AS WELL AS ANY LOCAL ORDINANCES AND ANY NEW REQUIREMENTS IDENTIFIED BY THE LOCAL BUILDING FIELD INSPECTOR.
11. THE CONTRACTOR SHALL IDENTIFY IN HIS PROPOSAL WHICH UTILITY TYPE (WATER, ELECTRICITY, TELEPHONE, INTERNET, ETC.) CONNECTIONS, USE AND RELATED COSTS WILL BE INCLUDED IN HIS OVERHEAD AND WHICH COSTS HE EXPECTS THE OWNER TO PROVIDE. ANY UTILITY TYPE COST WHICH IS NOT IDENTIFIED, AS AN OWNER PROVIDED ITEM, WILL BE ASSUMED TO BE INCLUDED IN THE CONTRACTOR'S OVERHEAD COST.
12. THE CONTRACTOR SHALL IDENTIFY AND PROVIDE THE REQUIRED SIDEWALK AND PUBLIC PASSAGE ENCLOSURE PROTECTION AT ANY AFFECTED RIGHT-OF-WAY AREAS OR PUBLIC ACCESS LOCATIONS. THE CONTRACTOR WILL REVIEW ALL INTENDED SIGNAGE WITH THE ARCHITECTURAL DESIGNER FOR DESIGN CONFORMANCE.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION AND ANY DIRECTION FROM THE OWNER OR THE ARCHITECTURAL DESIGNER SHALL NOT BE CONSTRUED TO OVERRIDE THIS RESPONSIBILITY UNLESS MUTUALLY AGREED TO IN A WRITTEN DOCUMENT IDENTIFYING A SPECIFIC AREA OF WORK FOR WHICH THE CONTRACTOR WILL NOT BE RESPONSIBLE

MECHANICAL GENERAL NOTES:

1. IT IS THE INTENTION OF THE DESIGNER, THAT ALL MECHANICAL DUCTS, WIRING, EQUIPMENT AND OTHER MECHANICAL WORK WILL BE CONCEALED WITHIN THE WALL, FLOOR, CEILING OR ROOF STRUCTURE OF THE BUILDING, EXCEPT IN AREAS WITH OPEN CEILINGS OR IN UTILITY ROOMS. THE CONTRACTOR WILL REVIEW WITH THE DESIGNER ANY CONFLICTS WITH THIS INTENTION BEFORE FRAMING IS ENCLOSED OR ANY DEVICE IS INSTALLED.
2. ALL EXTERIOR AND INTERIOR GRILLES AND LOUVERS SHALL BE CENTERED OR ALIGNED WITH SIGNIFICANT ARCHITECTURAL DESIGNER OBJECTS SUCH AS DOORS, WINDOWS OR OTHER ADJACENT ELEMENTS. THE CONTRACTOR WILL REVIEW WITH THE DESIGNER ANY CONFLICTS WITH THIS INTENTION DURING THE REVIEW OF THE SYSTEM LAYOUT SUBMITTAL (SEE DESIGN/BUILD REQUIREMENTS).
3. THE CONTRACTOR WILL VERIFY THE DUCT ROUTE AND TERMINATION DEVICES AT THE EXTERIOR FOR ALL EXHAUST FANS, RANGE EXHAUST OR OTHER SIMILAR MECHANICAL-TYPE SYSTEMS WITH THE DESIGNER FOR DESIGN CONFORMANCE DURING THE SYSTEM LAYOUT SUBMITTAL REVIEW, UNLESS OTHERWISE APPROVED BY THE DESIGNER, THE INTENT FOR ALL TERMINATIONS TO THESE SYSTEMS IS TO OCCUR AT ROOF SURFACES, WHICH CAN NOT BE SEEN FROM THE STREET OR WITHIN A VERTICAL ROOFTOP SURFACES, SUCH AS A PARAPET WALL OR EXTERIOR WALL CONDITION, WHICH CAN NOT BE SEEN FROM THE GROUND.
4. THE CONTRACTOR WILL REVIEW ALL MECHANICAL-RELATED REQUIREMENTS OF RHODE ISLAND REGULATIONS / BUILDING CODE AND COMPLY WITH THE PROVISIONS SPECIFIED. IF ANY CONFLICTS RESULT WITH THE DESIGN INTENT, THE CONTRACTOR WILL REVIEW SUCH SITUATIONS WITH THE DESIGNER FOR DESIGN CONFORMANCE BEFORE INSTALLING.
5. THE CONTRACTOR WILL VERIFY AND IDENTIFY ANY REQUIRED BLOCKING IN THE FRAMING NECESSARY FOR MECHANICAL DEVICE SUPPORT OR ENCLOSURE.

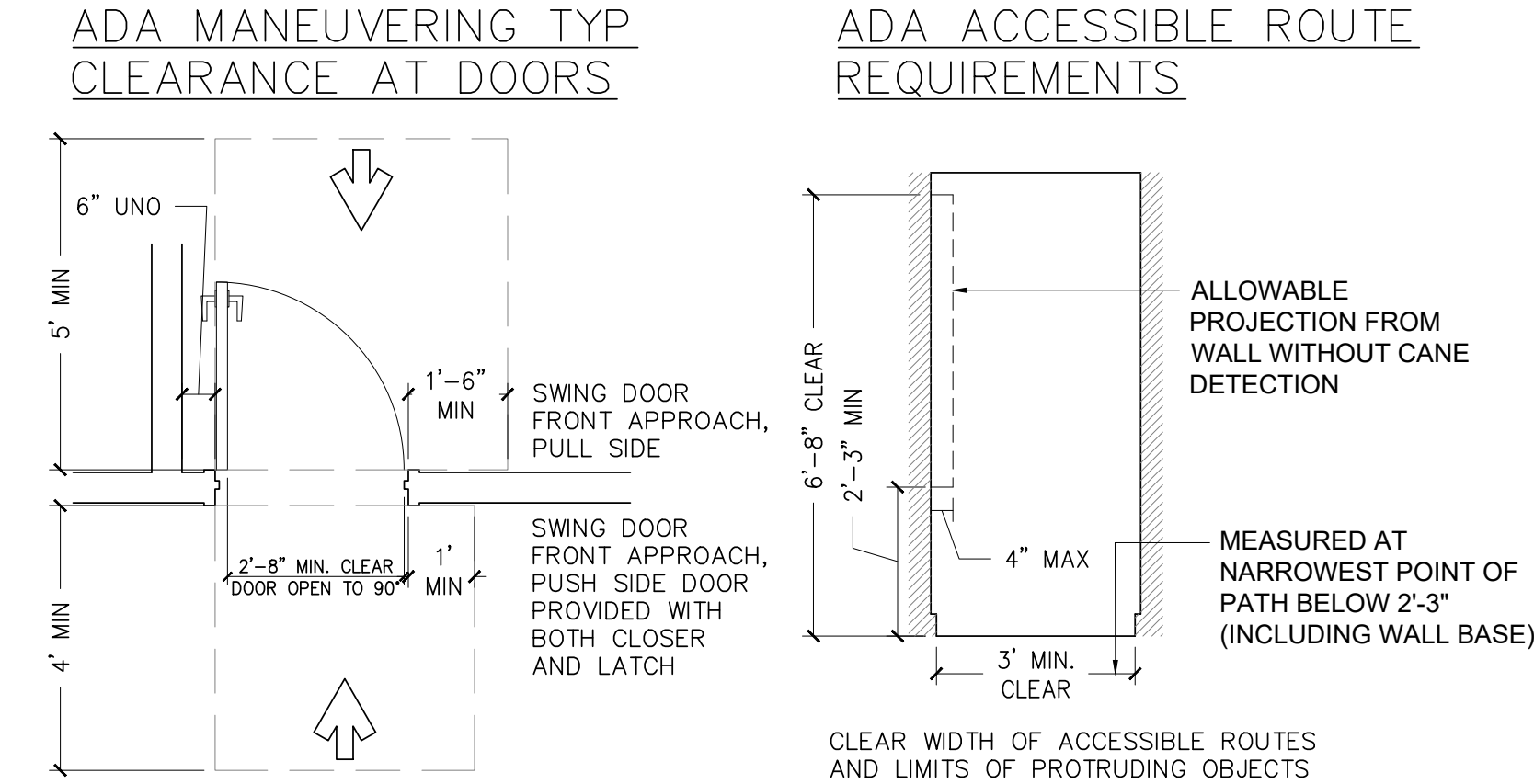
PLUMBING GENERAL NOTES:

1. THE CONTRACTOR WILL VERIFY AND IDENTIFY ALL REQUIRED BLOCKING IN THE FRAMING NECESSARY FOR PLUMBING FIXTURE SUPPORT OR ENCLOSURE.
2. THE CONTRACTOR WILL VERIFY THE ROUTE AND TERMINATION AT THE ROOF FOR ALL VENT STACKS. UNLESS OTHERWISE INDICATED ON THE DRAWINGS, IT IS THE INTENTION OF THE DESIGNER, THAT ALL SUCH TERMINATIONS OCCUR AT LOCATIONS NOT VISIBLE FROM THE STREET.
3. THE CONTRACTOR WILL REVIEW ALL PLUMBING RELATED REQUIREMENTS OF THE LOCAL BUILDING AND ENERGY CODES AND VERIFY THAT ALL NEW WORK WILL COMPLY WITH ALL THE PROVISIONS REQUIRED OF THIS PROJECT. IF ANY CONFLICTS EXIST WITH THE DESIGN INTENT, THE CONTRACTOR WILL REVIEW SUCH SITUATIONS WITH THE DESIGNER FOR DESIGN CONFORMANCE BEFORE INSTALLING.
4. IN ALL EXPOSED CEILING AREAS, THE CONTRACTOR SHALL REVIEW WITH THE DESIGNER ANY POTENTIAL VISIBLE PLUMBING LINES, DRAINS, FIXTURE SUPPORTS, CUTOUTS OR ANY OTHER PLUMBING RELATED WORK FOR DESIGN CONFORMANCE. THIS REVIEW WILL OCCUR IN THE FIELD PRIOR TO COMMENCING ANY WORK THAT WOULD AFFECT THE VISUAL QUALITY OF THE EXPOSED CEILING AREA.
5. THE CONTRACTOR WILL PROVIDE ACCESS PANELS AS NECESSARY TO SERVICE CONCEALED PLUMBING EQUIPMENT.
6. THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING THE WARRANTY INFORMATION AND RESPONSIBILITY WITH THE OWNER FOR ALL EQUIPMENT. IF SPECIAL ARRANGEMENTS ARE NOT COORDINATED, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL FIXTURES AND EQUIPMENT HE INSTALLS FOR A PERIOD OF TWO YEARS. ANY REPAIRS REQUIRED AND PERFORMED BY THE CONTRACTOR OR HIS DESIGNATED SUBCONTRACTOR WILL BE AT NO COST TO THE OWNER, INCLUDING PARTS AND LABOR COSTS.
7. THE FIXTURES AND EQUIPMENT LISTED IS PROVIDED FOR THE CONTRACTOR'S BENEFIT TO COORDINATE THE INSTALLATION OF THE SAME. THE CONTRACTOR CAN PROPOSE SUBSTITUTES FOR ALL FIXTURES AND EQUIPMENT LISTED, IF HE CAN DEMONSTRATE AN EQUAL QUALITY ALTERNATIVE AND IT IS APPROVED BY THE OWNER.

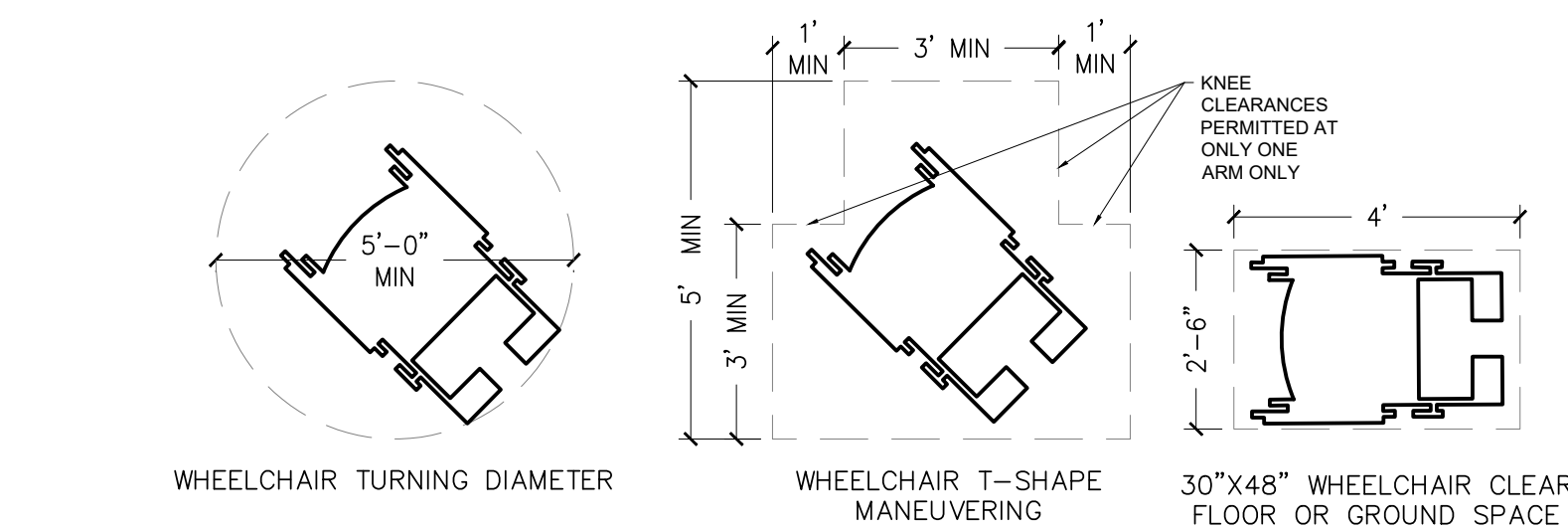
ARCHITECTURAL GENERAL NOTES:

1. ALL THE DIMENSIONS OF EXISTING CONDITIONS SHOWN, OR NOT SHOWN BUT REQUIRED, MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION. LABELED DIMENSIONS CONTROL THE DESIGN INTENT, DO NOT SCALE DRAWINGS. DIMENSIONS FOR PROPOSED WORK ARE NOT ADJUSTABLE WITHOUT APPROVAL FROM THE ARCHITECT.
2. PROVIDE ALL TEMPORARY FRAMING AND SHORING REQ'D TO SUPPORT EXISTING STRUCTURE DURING DEMOLITION AND ALTERATION OF ANY LOAD BEARING BUILDING COMPONENTS.
3. PROVIDE TEMPORARY, SECURE / WEATHER-PROOF ENCLOSURE @ ALL NEW AND ALTERED OPENINGS TO EXTERIOR DURING DEMOLITION AND CONSTRUCTION.
4. PROVIDE TEMPORARY DUST-PROOF BARRIERS BETWEEN AREA OF WORK AND EXISTING INTERIOR SPACES TO REMAIN.
5. PRIOR TO BEGINNING DEMOLITION, IDENTIFY WITH OWNER ANY APPLIANCES, CABINETS, FIXTURES OR OTHER ITEMS TO BE SELECTIVELY REMOVED AND STORED ONSITE FOR FUTURE REUSE.
6. DEMOLISH FIXTURES AND EQUIPMENT AS SHOWN, REMOVE ALL ASSOCIATED PLUMBING & WIRING NOT TO BE REUSED IN NEW WORK.
7. OWNER TO DETERMINE IN FIELD WITH CONTRACTOR EXTENT TO WHICH EXISTING FLOORING DISTURBED BY CONSTRUCTION WILL BE REMOVED AND REPLACED. CONTRACTOR SHALL SUGGEST APPROPRIATE STEPS TO ADEQUATELY REFINISH FLOORING AS NEEDED.
8. IN NO CASE SHALL DIMENSIONS BE SCALED FROM DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD BEFORE PROCEEDING WITH SUBSEQUENT WORK.
9. ALL DIMENSIONS ARE TO CENTER LINE (C/L) OF NEW WALLS AND FACE OF FINISH TO EXISTING WALLS UNLESS OTHERWISE NOTED.
10. DIMENSIONS MARKED "MIN." INDICATE A MINIMUM CLEARANCE THAT MUST BE MAINTAINED.
11. REFER TO SHEET A0.0 FOR SYMBOLS AND ABBREVIATIONS. REFER TO SHEETS A0.1, ET. AL. FOR GENERAL NOTES AND SPECIFICATIONS
12. ALL FINISH WALL SURFACES TO BE FLUSH UNLESS NOTED OTHERWISE. PROVIDE FURRING AS REQUIRED.
13. ALL GYP. BD. WALLS TO BE TAPED, SANDED AND PRIMED TO LEVEL 5 FINISH ("IMPERIAL" PLASTER SKIMCOAT, PRIMED AND PAINTED) UNLESS NOTED OTHERWISE.
14. ALL WORK SHALL COMPLY WITH CURRENTLY ADOPTED STATE BUILDING CODE AND ASSOCIATED CODES ADOPTED VIA INCORPORATION.
15. IF THE ARCHITECT HAS NOT BEEN RETAINED FOR CONSTRUCTION ADMINISTRATION, THEN THE ARCHITECT IS NOT RESPONSIBLE FOR SEEING THAT THE CONTRACTOR ADHERES TO THE CONSTRUCTION DRAWINGS.

ARCHITECTURAL TYPICAL DETAILS:



WHEELCHAIR CLEAR FLOOR SPACE



11 Aleppo Street
Providence RI 02909
401.400.2724
SignalWorksArchitecture.com
CONSULTANT:

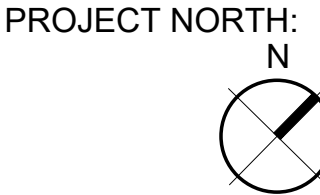
PROJECT TITLE:
TAPA PHASE II

275 WESTMINSTER STREET
PROVIDENCE, RI 02903

ISSUED FOR:
SCHEMATIC
02/29/2024
REVISIONS:

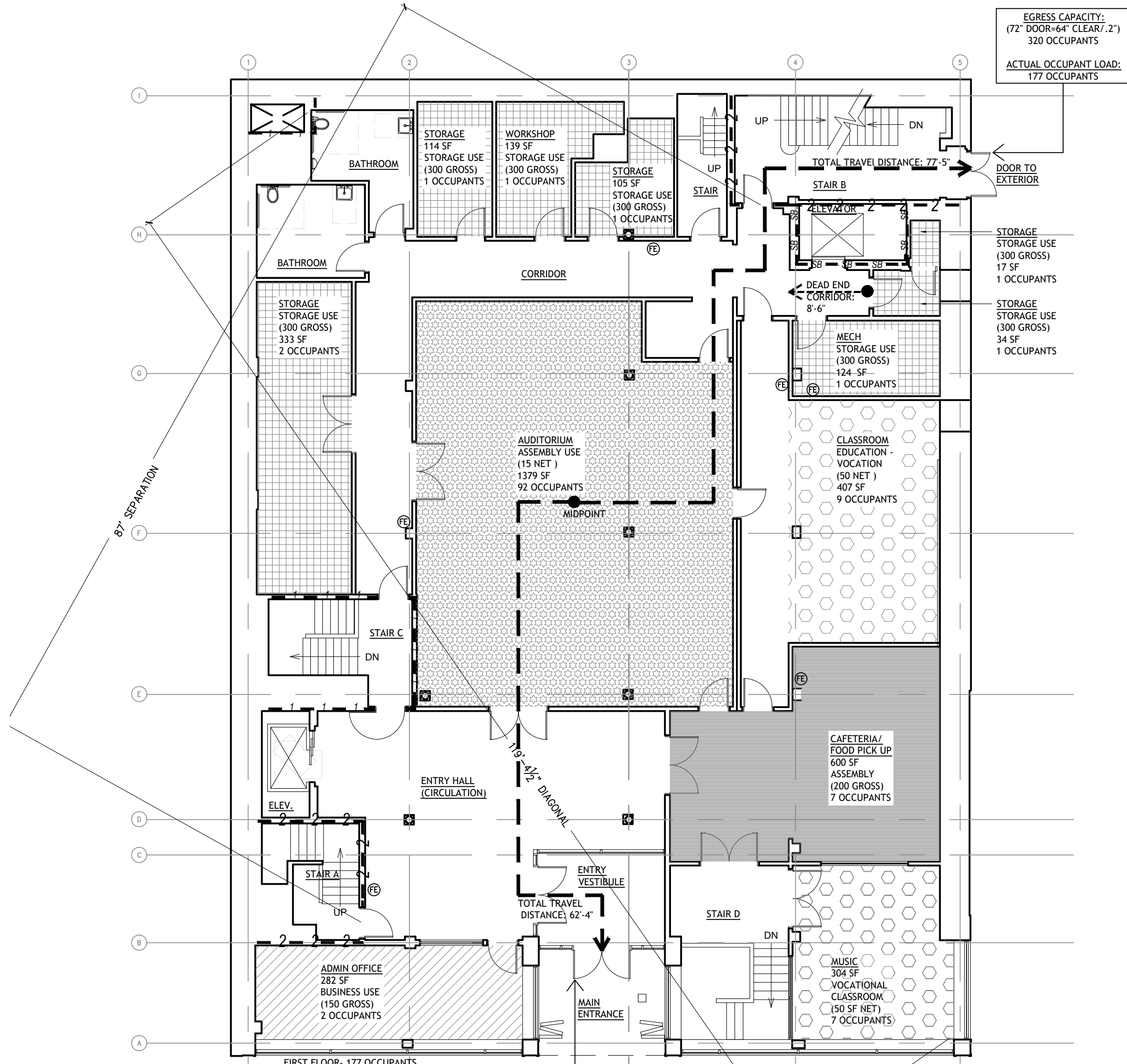
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SHEET TITLE:
CODE INFORMATION

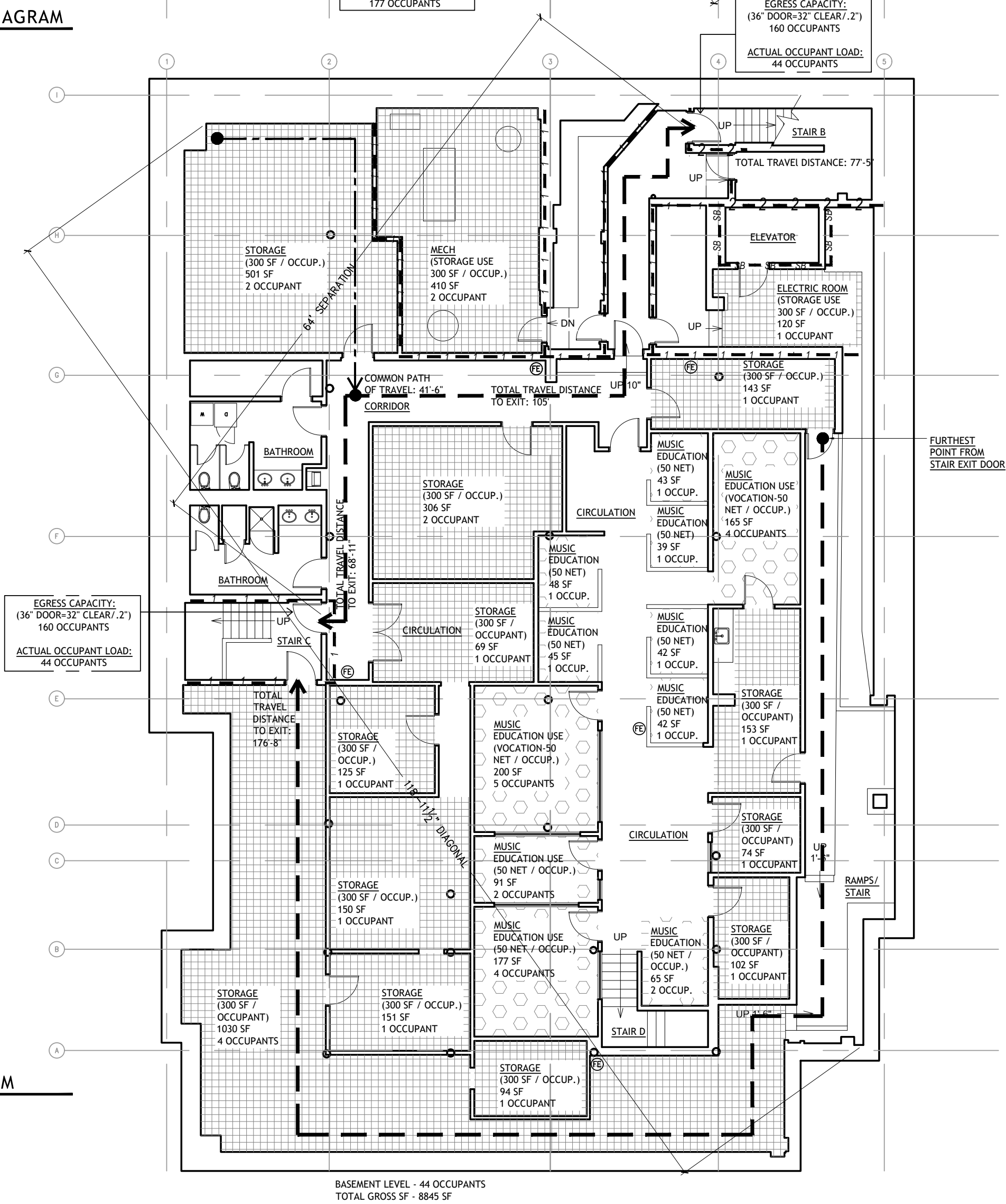


PROJECT ARCHITECT: EA
DRAWN: DD
PROJECT NUMBER:
#2325

SHEET NUMBER: A0.2
REV: ~



GROUND FLOOR EGRESS DIAGRAM
3/32"=1'-0"



BASEMENT EGRESS DIAGRAM
3/32"=1'-0"

USE GROUP SYMBOLS

BUSINESS: 150 GROSS SF / OCCUPANT	STORAGE / UTILITY: 300 GROSS SF / OCCUPANT	KITCHEN: 300 GROSS SF / OCCUPANT
EDUCATION: CLASSROOM - 20 NET / OCC. VOCATION - 50 NET / OCC.	ASSEMBLY: CONCENTRATED - 7 NET / OCC. UNCONCENTRATED - 15 NET / OCC.	LOCKER ROOM: 60 GROSS SF / OCCUPANT

EGRESS SYMBOLS

SEPARATION DESIGNATION: SMOKE PARTITION SMOKE BARRIER 1 HOUR RATED WALL 2 HOUR RATED WALL	EGRESS DESIGNATIONS: COMMON PATH TRAVEL: 75' TOTAL TRAVEL DISTANCE: 250' DEAD END CORRIDOR: 50'	FIRE EXTINGUISHERS: 75FT MAX TRAVEL DISTANCE REQUIREMENT: 1A PER 1500SF 2A REQUIRED FOR 2433SF 4(2A) PROVIDED PER FLOOR
---	--	--

OCCUPANCY CHART

FLOOR	FUNCTION	SF / OCCUPANT	OCCUPANT LOAD
BASEMENT:			44
STORAGE	STORAGE	300 SF / OCCUPANT	21
MUSIC ROOMS	EDUCATION-VOCATION	50 SF / OCCUPANT	23
FIRST FLOOR:			124
STORAGE	STORAGE	300 SF / OCCUPANT	7
MUSIC ROOMS	EDUCATION-VOCATION	50 SF / OCCUPANT	16
AUDITORIUM	ASSEMBLY	15 SF / OCCUPANT	92
FOOD PICK UP	KITCHEN	200 SF / OCCUPANT	7
STAFF OFFICE	BUSINESS	150 SF / OCCUPANT	2
SECOND FLOOR:			175
STORAGE	STORAGE	300 SF / OCCUPANT	4
CLASSROOMS	EDUCATION-CLASSROOM	20 SF / OCCUPANT	161
STAFF OFFICE	BUSINESS	150 SF / OCCUPANT	10
THIRD FLOOR:			194
STORAGE	STORAGE	300 SF / OCCUPANT	4
CLASSROOMS	EDUCATION-CLASSROOM	20 SF / OCCUPANT	185
STAFF OFFICE	BUSINESS	150 SF / OCCUPANT	5
FOURTH FLOOR:			173
STORAGE	STORAGE	300 SF / OCCUPANT	1
CLASSROOM	EDUCATION-CLASSROOM	20 SF / OCCUPANT	147
FILM	EDUCATION-VOCATION	50 SF / OCCUPANT	16
STAFF OFFICE	BUSINESS	150 SF / OCCUPANT	9
FIFTH FLOOR:			196
STORAGE	STORAGE	300 SF / OCCUPANT	1
CLASSROOM	EDUCATION-CLASSROOM	20 SF / OCCUPANT	176
STAFF OFFICE	BUSINESS	150 SF / OCCUPANT	4
DANCE	EDUCATION-VOCATION	50 SF / OCCUPANT	15
TOTAL BUILDING OCCUPANTS			906

ZONING SUMMARY

PLAT / MAP:	MAP 25 / LOT 347
LOT AREA:	7,967 SF
ZONE:	D-1-120
OVERLAY ZONING DISTRICT:	EDUCATIONAL INSTITUTIONAL OVERLAY
BUILDING USE: (BASEMENT - 3RD FLOOR)	EXISTING (E) EDUCATION PROPOSED NO CHANGE RELIEF NEEDED NO
(FOURTH AND FIFTH FLOOR)	(B) BUSINESS (E) EDUCATION YES
SETBACKS: FRONT SETBACK	A STREET : 0'-8" MIN. BUILD TO 80% B STREET: NONE NO CHANGE NO
REAR SETBACK	NONE NO CHANGE NO
SIDE YARD SETBACK	0' TO BUILD TO LINE NO CHANGE NO
COVERAGE:	
LOT AREA	7,967 SF
LOT COVERAGE	NA
LOT WIDTH	NA
MAX. BUILDING COVERAGE	NA
MAX. IMPERVIOUS	NA
MAX. IMPERVIOUS SURFACE COVERAGE	NA
TOTAL MAX. IMPERVIOUS SURFACE COVERAGE	NA
BUILDING HEIGHT:	
MAX. BUILDING HEIGHT	120' PER SECTION 602 B (4) EXISTING 5 STORIES NO CHANGE NO

ENERGY CODE REQUIREMENTS

(IN ACCORDANCE WITH RI STATE ENERGY CODE ADOPTING IECC 2018)

CLIMATE ZONE:	5
BUILDING ENVELOPE:	RISEC (IECC 2018) - C402.1.3
ROOF INSULATION ENTIRELY ABOVE DECK	R-30ci
ATTIC INSULATION AND OTHER	R-38
MASS WALL INSULATION	R-11.4ci
WOOD FRAMED WALLS AND OTHER	R-13 + R-3.8ci or R-20
BELOW GRADE WALL INSULATION	R-10 (MASS)
WOOD FRAMED FLOORS	R-30
FIXED WINDOWS	U-0.38
OPERABLE WINDOWS	U-0.45
ENTRANCE DOORS	U-0.77
ALL BUILDING ELEMENTS TO MEET 2021 RI ENERGY CONSERVATION CODE WITH IBC 2018 AMENDMENTS	

EGRESS REQUIREMENTS

NUMBER OF EXITS REQUIRED	2 EXITS	2 AT FIRST FLOOR	NFPA 15.2.4.2
REMOVEDNESS OF DOORS - 1 / 3 DIAGONAL	119' DIAGONAL / 40' MIN. 1/3	64' MIN. AT BASEMENT	NFPA 15.2.6.3
MAXIMUM TRAVEL DISTANCE	(E) EDUCATION (WITH SPRINKLER); 200'	176'-8" AT BASEMENT	NFPA 15.2.6.3
MAXIMUM DEAD END	(E) EDUCATION (WITH SPRINKLER); 50'	28'-11" - FIFTH FLOOR	NFPA 15.2.5.2
MAXIMUM COMMON PATH OF TRAVEL	(E) EDUCATION (WITH SPRINKLERS); 100'	41'-5"	NFPA 15.2.5.3.2
SPRINKLERED:	YES	YES	NFPA 15.2.3.2.1
MINIMUM CORRIDOR WIDTH	6'	6'	NFPA 7.2.2.2.1.1(b)
MINIMUM STAIR WIDTH	36" CLEAR	42" MIN AT BASEMENT	NFPA 15.2.2.2.2 / 15.2.2.2.3 / 7.2.1
MINIMUM DOOR WIDTH	36" (32" CLEAR)		
MINIMUM EGRESS CEILING HEIGHT	7'-6" (90")	EXISTING	NFPA
PROTRUDING OBJECTS: 1. 80" MINIMUM HEAD ROOM 2. 4" MAX. PROJECTION FROM 27" - 80" HEIGHT			

CODE SUMMARY

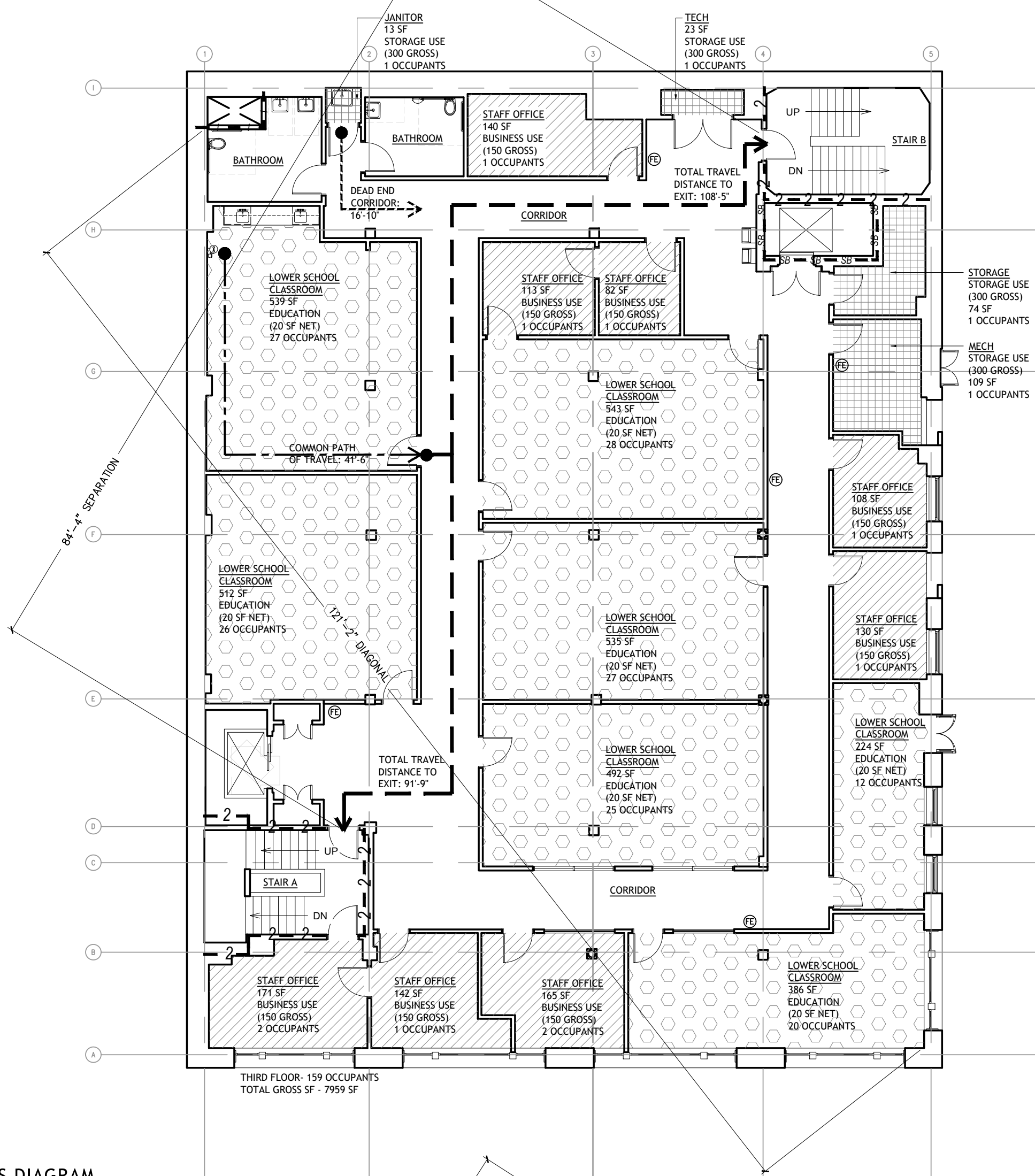
ENFORCING AGENCY: CITY OF PROVIDENCE, RI

APPLICABLE CODES
-2021 RHODE ISLAND BUILDING CODE ADOPTING IBC 2018
-RHODE ISLAND LIFE SAFTY CODE ADOPTING NFPA 101 2018
-ACCESSIBLE & USABLE BUILDING FACILITIES ANSI 117.1-2009

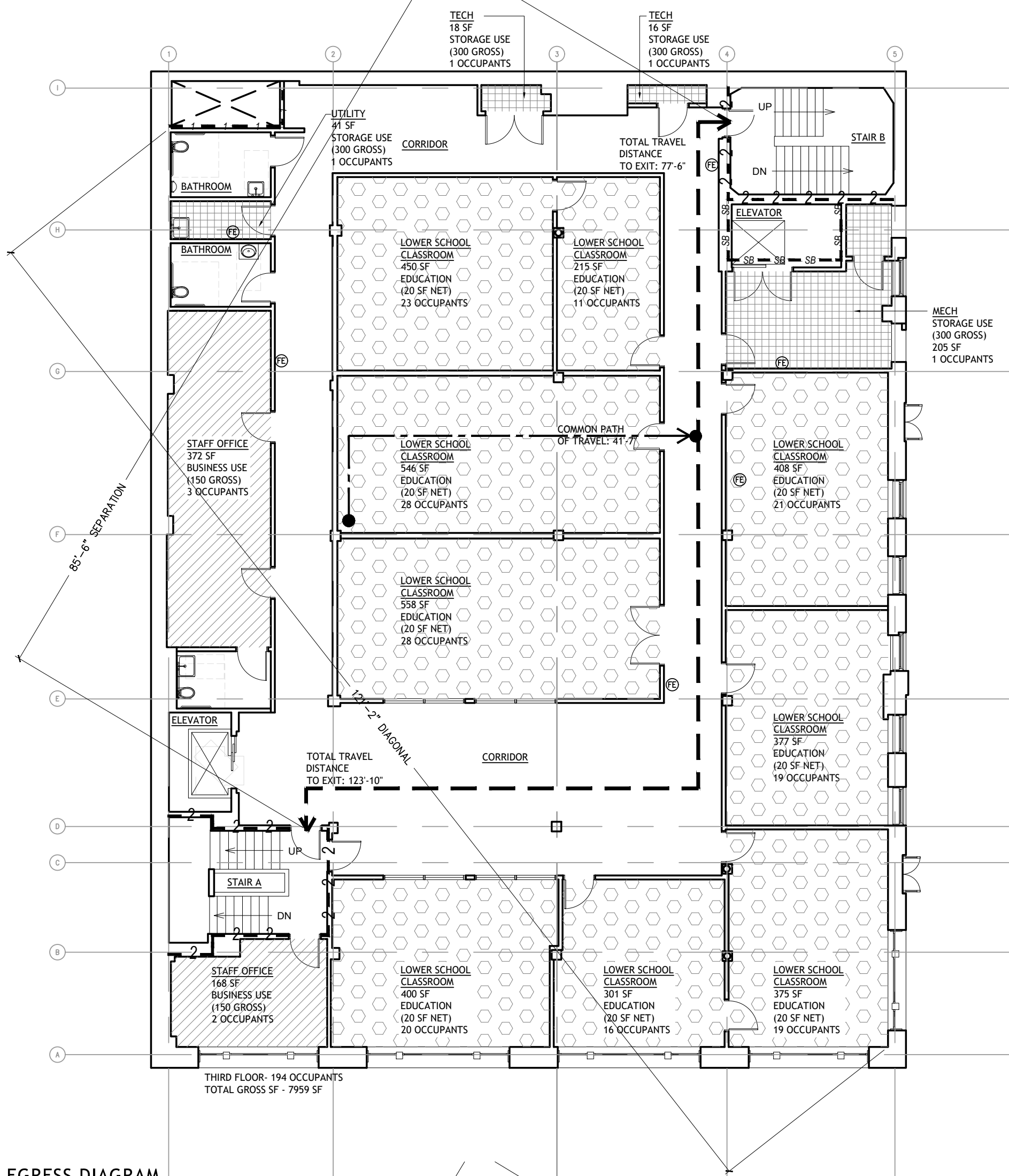
CODE DESCRIPTION	DESCRIPTION OR NOTES	
PROPOSED USE GROUP 4TH + 5TH FLR: EXISTING USE GROUP 4TH + 5TH FLR: EXISTING USE GROUP B, 1ST, 2ND + 3RD:	EDUCATION BUSINESS EDUCATION	
CONSTRUCTION TYPE:	IIIA (211)	
GROSS BUILDING AREA PER STORY:	FLOOR 1: 7959 GROSS SF FLOOR 2: 7959 GROSS SF FLOOR 3: 7959 GROSS SF FLOOR 4: 7959 GROSS SF FLOOR 5: 7959 GROSS SF BASEMENT: 8845 GROSS SF 39,795 GROSS SF (NOT INCLUDING BASEMENT)	
TOTAL BUILDING AREA (GSF):		
TOTAL ALLOWABLE BUILDING AREA PER USE (EDUCATION):	70,500 GROSS SF	IBC TABLE 506.2
ALLOWABLE HEIGHT IN FEET PER USE (E):	TYPE IIIA - 85' WITH SPRINKLERS	IBC TABLE 504.3
ALLOWABLE STORIES PER USE (E):	TYPE IIIA - 4 STORIES WITH SPRINKLERS	IBC TABLE 504.4
ACTUAL NUMBER OF STORIES:	5 STORIES RELIEF NEEDED FOR EDUCATION USE AT FIFTH FLOOR	
FIRE-RESISTANCE RATING FOR BUILDING ELEMENTS:	TYPE IIIA CONSTRUCTION PRIMARY STRUCTURAL FRAMING - 1 (b) HOUR BEARING WALLS (EXTERIOR)- 2 HOUR BEARING WALLS (INTERIOR) - 1 HOUR NON-BEARING WALLS (INTERIOR) - 0 HOUR FLOOR CONSTRUCTION - 1 HOUR ROOF CONSTRUCTION - 1 (b) (c) HOUR	IBC 508.4 IBC TABLE 601 IBC TABLE 601 IBC TABLE 601 IBC TABLE 601 IBC TABLE 601
FIRE-RESISTANCE DISTANCE	EXTERIOR WALLS W/IN 5' ADJACENT PROPERTY LINE	IBC TABLE 602
FIRE PROTECTION SYSTEMS	EXISTING SPRINKLER AND FIRE ALARM	IBC CHAPTER 9
ACCESSIBILITY	ACCESSIBLE ROUTES	IBC 2018 1104, 1105 / ANSI A117.1 2009, CHAPTER 3

PLUMBING FIXTURE COUNT - IBC 2018 TABLE 2902.1

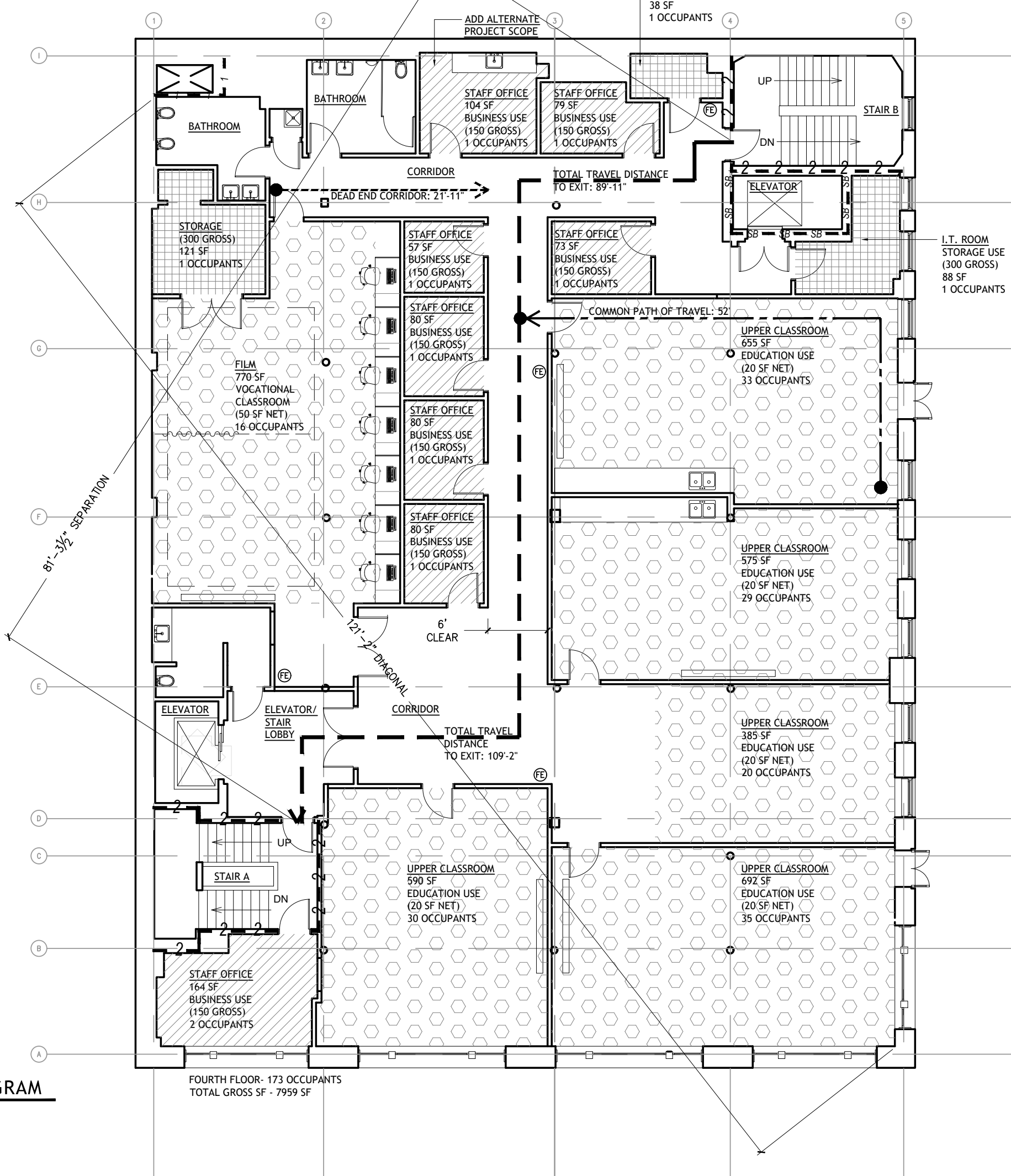
OCCUPANCY CLASSIFICATION	TOTAL OCCUPANTS	WATER CLOSETS		LAVATORIES		FOUNTAIN	OTHER
BASEMENT : GROUP "E" (EDUCATION)	44 OCCUPANTS	MALE (22 OCCUPANTS) 1 PER 50 (22/50= .44)	FEMALE (22 OCCUPANTS) 1 PER 50 (22/50= .44)	MALE (22 OCCUPANTS) 1 PER 50 (22/50= .44)	FEMALE (22 OCCUPANTS) 1 PER 50 (22/50= .44)	1 / 100 (44/100= .44)	1 SERVICE SINK
FIRST FLOOR : GROUP "E" (EDUCATION)	124 OCCUPANTS	MALE (62 OCCUPANTS) 1 PER 50 (62/50= 1.24)	FEMALE (62 OCCUPANTS) 1 PER 50 (62/50= 1.24)	MALE (62 OCCUPANTS) 1 PER 50 (62/50= 1.24)	FEMALE (62 OCCUPANTS) 1 PER 50 (62/50= 1.24)	1 / 100 (124/100= 1.24)	1 SERVICE SINK
SECOND FLOOR : GROUP "E" (EDUCATION)	175 OCCUPANTS	MALE (88 OCCUPANTS) 1 PER 50 (88/50= 1.76)	FEMALE (88 OCCUPANTS) 1 PER 50 (88/50= 1.76)	MALE (88 OCCUPANTS) 1 PER 50 (88/50= 1.76)	FEMALE (88 OCCUPANTS) 1 PER 50 (88/50= 1.76)	1 / 100 (175/100= 1.75)	1 SERVICE SINK
THIRD FLOOR : GROUP "E" (EDUCATION)	194 OCCUPANTS	MALE (97 OCCUPANTS) 1 PER 50 (97/50= 1.94)	FEMALE (97 OCCUPANTS) 1 PER 50 (97/50= 1.94)	MALE (97 OCCUPANTS) 1 PER 50 (97/50= 1.94)	FEMALE (97 OCCUPANTS) 1 PER 50 (97/50= 1.94)	1 / 100 (194/100= 1.94)	1 SERVICE SINK
FOURTH FLOOR : GROUP "E" (EDUCATION)	173 OCCUPANTS	MALE (87 OCCUPANTS) 1 PER 50 (87/50= 1.74)	FEMALE (87 OCCUPANTS) 1 PER 50 (87/50= 1.74)	MALE (87 OCCUPANTS) 1 PER 50 (87/50= 1.74)	FEMALE (87 OCCUPANTS) 1 PER 50 (87/50= 1.74)	1 / 100 (173/100= 1.73)	1 SERVICE SINK
FIFTH FLOOR : GROUP "E" (EDUCATION)	196 OCCUPANTS	MALE (98 OCCUPANTS) 1 PER 50 (98/50= 1.96)	FEMALE (98 OCCUPANTS) 1 PER 50 (98/50= 1.96)	MALE (98 OCCUPANTS) 1 PER 50 (98/50= 1.96)	FEMALE (98 OCCUPANTS) 1 PER 50 (98/50= 1.96)	1 / 100 (196/100= 1.96)	1 SERVICE SINK
TOTAL OCCUPANTS	906 OCCUPANTS						
TOTAL FIXTURES REQUIRED IN BUILDING		10 WATER CLOSET REQUIRED	10 WATER CLOSET REQUIRED	10 LAVATORY REQUIRED	10 LAVATORY REQUIRED	10 REQUIRED	1 REQUIRED
TOTAL FIXTURES PROVIDED IN BUILDING		11 PROVIDED IN BUILDING	11 PROVIDED IN BUILDING	11 PROVIDED IN BUILDING	11 PROVIDED IN BUILDING	X PROVIDED	2 PROVIDED



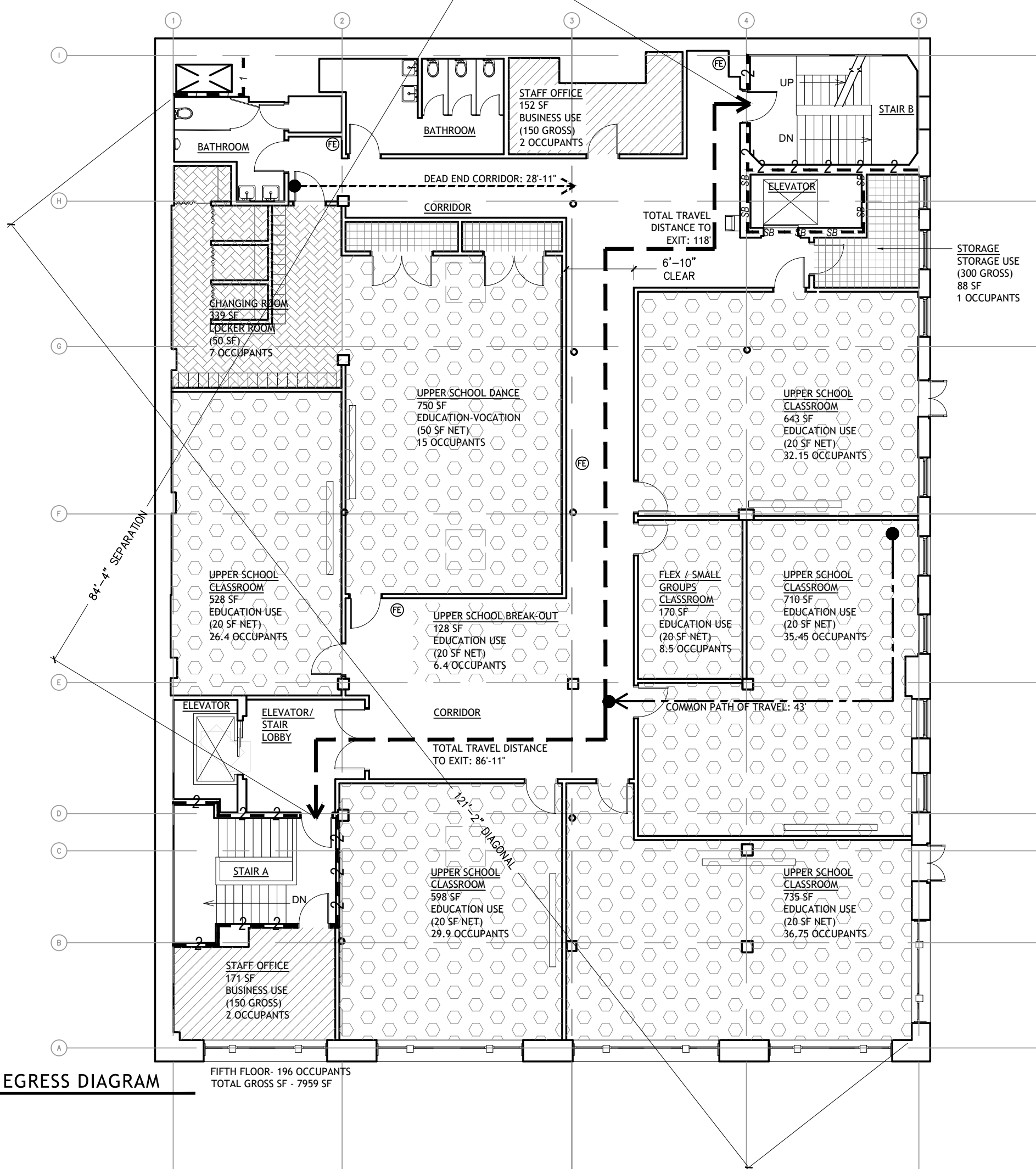
1 SECOND FLOOR EGRESS DIAGRAM
A0.3 3/32"=1'-0"



1 THIRD FLOOR EGRESS DIAGRAM
A0.3 3/32"=1'-0"



1 FOURTH FLOOR EGRESS DIAGRAM
A0.3 3/32"=1'-0"



1 FIFTH FLOOR EGRESS DIAGRAM
A0.3 3/32"=1'-0"