

MAY 21 2020

CITY OF PROVIDENCE
ZONING BOARD OF REVIEW

APPLICATION FOR VARIANCE OR SPECIAL USE PERMIT

Check Each Type Zoning Relief Sought:

<input type="checkbox"/>
<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>

Variance – Use *
Variance – Dimensional*
Special Use Permit **

* Attach Appendix A to apply for a Use or Dimensional Variances

**Attach Appendix B to apply for a Special Use Permit

Applicant: J. P. Morgan Chase Bank

Address 10 S. Dearborn -15th Fl. Chicago, IL

Zip Code 60603

E-mail christopher.m.foit@chase.com

Phone 312-355-3388

Home/Office

Mobile (Cell)

Owner: 280 Valley Street LLC (K. Doko)

Address 58 Amaral Street, Riverside, RI

Zip Code 02915

E-mail kseacommercial@earthlink.r

Phone 401-434-2640

Home/Office

Mobile (Cell)

Lessee: J. P. Morgan Chase Bank

Address _____

Zip Code _____

E-mail _____

Phone: _____

Home/Office

Mobile (Cell)

Does the proposal require review by any of the following (check each):

- _____ Downtown Design Review Committee
- _____ I-195 Redevelopment District Commission
- _____ Capital Center Commission
- _____ Historic District Commission

1. **Location of Property:** 280-284 Valley Street

Street Address

C-2

2. **Zoning District(s):** _____

Special purpose or overlay district(s): _____

3a. **Date owner purchased the Property:** #280 - 12/3/2007, #284 - 2/28/2014

3b. **Month/year of lessee's occupancy:** 12/2020

3. Dimensions of each lot:

Plat 65	Lot # <u>23</u>	Frontage <u>226.58 ft</u>	depth <u>87 ft. (avg.)</u>	Total area <u>10,875</u>	sq. ft.
Plat 65	Lot # <u>24, 25</u>	Frontage <u>65.34 ft</u>	depth <u>90' ft. (avg.)</u>	Total area <u>5,881</u>	sq. ft.
	Lot # _____	Frontage _____	depth _____	Total area _____	sq. ft.

4. Size of each structure located on the Property:

Principal Structure:	Total gross square footage	<u>3120 SF</u>
Footprint <u>3120 SF</u>	Height <u>12 ft.</u>	Floors <u>1</u>

Accessory Structure:	Total gross square footage	_____
Footprint _____	Height _____	Floors _____

5. Size of proposed structure(s):	Total gross square footage:	<u>3375 Sf</u>
Footprint <u>3375 Sf</u>	Height <u>26.3</u>	Floors <u>1</u>

6a. Existing Lot coverage: (include all buildings, decks, etc.) 15.12 %

6b. Proposed Lot coverage: (include new construction) 16.5 %

7a. Present Use of Property (each lot/structure):
Commercial (Retail)

7b. Legal Use of Property (each lot/structure) as recorded in Dept. of Inspection & Standards:
Commercial

8. Proposed Use of Property (each lot/structure):
Commercial (Financial Institution)

9. Number of Current Parking Spaces: 20 (Existing Use)

10. Describe the proposed construction or alterations (each lot/structure):
Demolition of existing convenience store to allow Construction of a new Chase Bank branch office with associated parking, utilities and remote Drive-Thru(s).

11. Are there outstanding violations concerning the Property under any of the following: None Known

- Zoning Ordinance
- RI State Building Code
- Providence Housing Code

12. List all Sections of the Zoning Ordinance from which relief is sought and description of each section:

<u>Sect. 502</u>	<u>Front Setback 0 - 5ft. - Relief requested to allow 5.56 ft. Front Setback</u>
<u>Sect. 503</u>	<u>Build To Percentage 60 % - Relief requested for 100 % to avoid existing obst</u>
<u>Sect. 120</u>	<u>Special Use Permit - Stand-Alone ATM (ATM allowed in C-2 with Approval)</u>

13. Explain the changes proposed for the Property.

Relief is required for the Front Setback and Build To Percentage to avoid an obstruction created by the Traffic Signal Controller that is situated on a concrete pad that partially obstructs the ability of the Applicant to meaningfully construct a building in compliance with the requirements. Clearance is needed to maintain operation of the traffic control device.

The Special Use Permit for remote ATM machine(s) is an integral part of the current operation. This feature is allowed in this district with special approval.

The undersigned acknowledge(s) and agree(s) that members of the Zoning Board of Review and its staff may enter upon the exterior of the Property in order to view the Property prior to any hearing on the application.

The undersigned further acknowledge(s) that the statements herein and in any attachments or appendices are true and accurate, and that providing a false statement in this application may be subject to criminal and/or civil penalties as provided by law, including prosecution under the State and Municipal False Claims Acts. Owner(s)/Applicant(s) are jointly responsible with their attorneys for any false statements.

Owner(s):

Konstantinos Dokos (280 Valley Street, LLC)

Type Name

Signature

Type Name

Signature

Applicant(s):

Christopher Foit (JP Morgan Chase)

Type Name

Signature

Type Name

Signature

All requirements listed and described in the Instruction Sheet must be met or this application will not be considered complete.

APPENDIX A

APPLICATION FOR VARIANCE(S)

Rhode Island General Laws § 45-24-41(c) requires that the Applicant for a variance demonstrate:

- (1) That the hardship from which the applicant seeks relief is due to the unique characteristics of the subject land or structure and not to the general characteristics of the surrounding area; and is not due to a physical or economic disability of the applicant, excepting those physical disabilities addressed in § 45-24-30(16);
- (2) That the hardship is not the result of any prior action of the applicant and does not result primarily from the desire of the applicant to realize greater financial gain;
- (3) That the granting of the requested variance will not alter the general character of the surrounding area or impair the intent or purpose of the zoning ordinance or the comprehensive plan upon which the ordinance is based;
- (4) That the relief to be granted is the least relief necessary; and
- (5) (a) For a **use variance**: That the land or structure cannot yield any beneficial use if it is required to conform to the provisions of the zoning ordinance;
(b) For a **dimensional variance**, that the hardship suffered by the owner of the subject property if the dimensional variance is not granted amounts to more than a mere inconvenience.

Please provide the following information:

1. **What is the specific hardship from which the applicant seeks relief?**

Proximity to the existing irregularly-shaped Residential Zone Boundary on and adjacent to the Project Site; existing configuration of property lines; avoidance of existing traffic signal controller. +

2. **Specify any and all unique characteristics of the land or structure that cause the hardship?**

Property is at an intersection with two front yards with more than a 90-degree angle presenting a hardship for complete compliance with the "Build-To" provision; avoidance of existing traffic device.

3. (a) Is the hardship caused by an economic disability? Yes _____ No X

(b) Is the hardship caused by a physical disability? Yes _____ No X

(c) If the response to subsection (b) is "yes," is the physical disability covered by the Americans with Disabilities Act of 1990 (ADA), 42 U.S.C. § 12101 et seq.?

Yes _____ No _____

4. **Did the owner/applicant take any prior action with respect to the Property that resulted in the need for the variance requested? (Examples include, but are not limited to, any changes the owner/applicant made to the structure(s), lot lines, or land, or changes in use of the Property)?**

Yes _____ No X

If "yes," describe any and all such prior action(s), and state the month/year taken.

5. State any and all facts to support your position that the applicant is not seeking the variance(s) primarily in order to obtain greater financial gain.

Applicant wishes to develop the property consistent with the intent of the Setback requirement and promote pedestrian use by people in the neighborhood. Given the conditions of setbacks due to adjacent zoning district and lot configuration, and signal controller represents a hardship.

6. State any and all facts that support your position that you are seeking the least relief necessary to lessen or eliminate the hardship (for example, why there are no viable alternatives to your proposed plan).

The building is positioned with minimal clearance from the traffic signal equipment, and the zone district boundary on and adjacent to the site encumbers the building and parking area required for this reasonable, and benign use. Coupled with the street line configuration, these conditions create a hardship, and minimal relief is requested in order for the redevelopment to proceed.

7. If you are seeking a USE VARIANCE, set forth all facts that demonstrate that the Property cannot have any beneficial use if you are required to use it in a manner allowed in the zoning district.

N/A

8. If you are seeking a DIMENSIONAL VARIANCE, set forth all facts that indicate that if the variance is not granted, the hardship the owner/applicant will suffer is more than a mere inconvenience.

The intent of the regulation is satisfied, minimal relief is required to allow a meaningful redevelopment of the property. Relief would be required for virtually any reasonable future use. Compliance is provided on the Valley Street side, and positioning the building as proposed avoids existing traffic safety control device at the intersection of Valley Street and Atwells Avenue.

APPENDIX B

APPLICATION(S) FOR SPECIAL USE PERMIT

1. Identify the section(s) of the Ordinance that provides for the special use permit.
Section 1202(C) - ATM. Proposed use is allowed within the C-2 District (with Special Approval), and the design meets the standards stated in that section (3 car stacking & ATM not in ROW). #
2. State all facts that demonstrate that the proposed special use will not substantially injure the use and enjoyment of neighboring property.
ATMs are "remote" and dimly lit, and viewcreens are not directed towards on-coming traffic or towards adjacent residential properties. No voice commands or internal teller is required for operation. Substantial landscaping will serve as a screening device to surrounding properties.
3. State all facts that demonstrate that the proposed special use will not significantly devalue neighboring property.
The proposed redevelopment is proposed by a reputable financial institution and will be performed responsibly. The proposed use is benign and is not a nuisance use. The expectation is that redevelopment will increase the property values of the area.
4. State all facts that demonstrate that the proposed special use will not be detrimental or injurious to the health or welfare of the community.
The proposed Special Use is allowed within the underlying zoning district. The effective screening, green space and landscaping will minimize illumination levels, and benefit the neighborhood. The proposed Special Use meets the standards set forth in Section 1202 (C).

**IF THE APPLICANT IS AN EDUCATIONAL OR HEALTH CARE INSTITUTION,
COMPLETE PAGES 10 AND 11 BELOW**

Zoning Relief Summary

Plat 65, Lot 991 (Formerly Lots 23, 24 & 26) 280-284 Valley Street Providence, RI

Special Use Permit

Per Sect. 1202 C – Stand-Alone ATM

The Special Use is allowed within the underlying Zoning C-2 District and meets the tests of the design standards (3 car stacking and not located within the right-of-way).

Additionally, the ATM screens are dimly lit and are not directed towards adjacent residential buildings or properties; or on-coming traffic or the driver's eye. Landscape buffers and screening also provide a visual barrier to prevent creating a distraction. Given the commercial characteristics of the area, with commercial signage and street lighting, the proposed relief is requested for this benign use.

Front Setback Variance (Atwells Avenue)

Per Sect. 502 A – Relief requested to allow front setback to vary between 5.56 feet and 8.56 feet along Atwells Avenue. Intent of compliance is satisfied by positioning the building adjacent to the right-of-way to promote pedestrian use. However, existing property boundary configuration, an obstruction at the intersection (traffic signal controller), and proximity of a Residential District restrict effective building placement and affect overall site design in complete compliance with this requirement. Compliance is substantially improved by granting this relief. Variance is for relief of 0.56-ft. to 3.56-ft.

Build to Percentage 60 % (Atwells Avenue)

Per Sect. 503 (A) 6 –The front setback “build to” percentage is achieved (65.7%) but is outside the front yard setback. For the reasons described above, namely; the existing non-rectangular lot line configuration, the obstruction at the intersection, and the close proximity of the Commercial – Residential Zoning district boundary, relief is requested if required.

Build to Percentage 40 % Corner Side (Valley Street)

Per Sect. 5 03 (A) 6 – Compliance with the corner side setback (0-5 ft.) is achieved, with the building face positioned off the line of Valley Street from 0 to 4.93-ft. from the street line. Given the existing unique site conditions at this property, relief is requested to allow a 28.1 % build-to percentage where 40 % is required. Compliance is drastically improved with approval of the proposed construction.



CLIFF ST

VALLEY ST

TURNER ST

NEWARK ST

ATWELLS AVE

ATWELLS AVE

CULTER ST

RSTOW ST

OS

KEY STREET

M-MU-75



1 inch = 50 feet

717

DESIGN AND DEVELOPMENT CONTACTS:

APPLICANT JPMORGAN CHASE BANK, N.A.
111 E. COURT STREET
2ND FLOOR
FLINT, MI 48502
CONTACT: TOM MOFFATT
(810) 869-1786

OWNER KONSTANTINOS DOKOS
58 AMARAL STREET
EAST PROVIDENCE, RI 02915

CIVIL ENGINEER CORE STATES GROUP
6060 NORTH CENTRAL EXPRESSWAY, SUITE 850
DALLAS, TX 75230
CONTACT: THOMAS PICKERING, P.E. (RI)
(214) 377-6420

ARCHITECT CORE STATES GROUP
201 S. MAPLE AVE., SUITE 300
AMBLER, PA 19002
CONTACT: KEN MACKENZIE, (RI)
(267) 464-8048

SURVEYOR GALLAS SURVEYING GROUP
2865 US ROUTE 1
NORTH BRUNSWICK, NEW JERSEY 08902
CONTACT: GREGORY S. GALLAS
(732) 422-6700

LANDSCAPE ARCHITECT EVERGREEN DESIGN GROUP
10777 WESTHEIMER ROAD, SUITE 1100
HOUSTON, TX 77042
CONTACT: RODNEY MCHABB
(800) 680-6630

GOVERNING AGENCIES CONTACTS:

PLANNING CITY OF PROVIDENCE
DEPARTMENT OF PLANNING AND DEVELOPMENT
444 WESTMINSTER STREET
PROVIDENCE, RI 02903
(401) 680-8400

BUILDING DEPARTMENT CITY OF PROVIDENCE
DEPARTMENT OF INSPECTION & STANDARDS
444 WESTMINSTER STREET
PROVIDENCE, RI 02903
(401) 680-5201

FIRE PREVENTION CITY OF PROVIDENCE
FIRE PREVENTION BUREAU
325 WASHINGTON STREET
PROVIDENCE, RI 02903
(401) 243-6050

UTILITY:

THE FOLLOWING COMPANIES WERE NOTIFIED BY THE RHODE ISLAND DIG SAFE SYSTEM AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST.
REQUEST NUMBER(S): 20192018709 & 20192018724

AT&T TRANSMISSION
ZAYO
CENTURY LINK
NATIONAL GRID ELECTRIC & GAS
PROVIDENCE WATER SUPPLY BOARD
VERIZON
COX COMMUNICATIONS INC.

APPLICANT AND OWNER SIGNATURES:

OWNER	DATE
APPLICANT	DATE

APPROVAL SIGNATURES:

PLANNING BOARD CHAIRMAN	DATE
PLANNING BOARD SECRETARY	DATE
TOWNSHIP ENGINEER	DATE

ALERT TO CONTRACTOR:

1. THE SITE WORK FOR THE PROPOSED DEVELOPMENT SHALL MEET OR EXCEED ALL CITY AND/OR COUNTY AND STATE STANDARDS FOR SITE WORK.
2. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY THE CITY OF PROVIDENCE CODES, CITY OF PROVIDENCE AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.

PRELIMINARY SITE PLAN APPROVAL

FOR



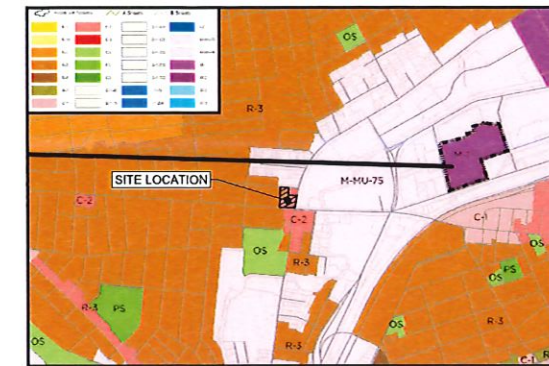
PROPOSED CHASE BANK

280 VALLEY STREET (PLAT 65 LOT 23)
284 VALLEY STREET (PLAT 65 LOT 24)
14 NEWARK STREET (PLAT 65 LOT 26)

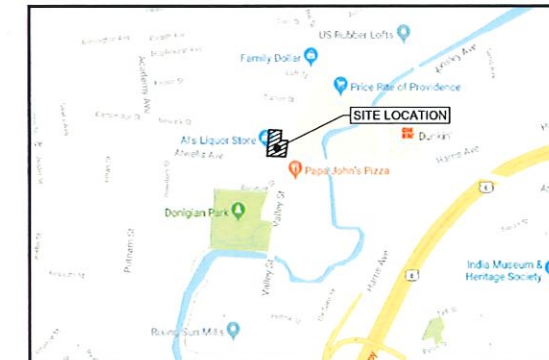
PROVIDENCE, RI 02908

CITY OF PROVIDENCE

PROVIDENCE COUNTY, RHODE ISLAND



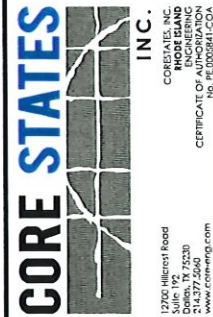
ZONING DISTRICT MAP
1" = 1000'



VICINITY MAP
1" = 500'



TAX MAP (PLAT 65)
1" = 500'



DOCUMENTS PREPARED BY CORE STATES, INC. INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN ANY WAY OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT

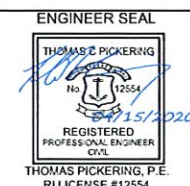


Know what's below. Call before you dig.

REV	DATE	COMMENT	BY
--	03/04/20	ISSUE FOR BID	KGF
1	03/13/20	RESOLUTION COMPLIANCE RESUBMISSION	HR

DOCUMENT SITE PLAN APPROVAL FOR CHASE BANK

SITE LOCATION
280 & 284
VALLEY STREET
14 NEWARK STREET
PROVIDENCE, RI



SHEET TITLE COVER SHEET

JOB #: JPM-25595
DATE: 06/10/19
SCALE: AS SHOWN
DRAWN BY: XXX
CHECKED BY: XXX

SHEET NO.
CV-1

GENERAL SITE NOTES

- ALL CONSTRUCTION MATERIALS AND TECHNIQUES OF INSTALLATION SHALL MEET PERFORMANCE VALUES OF THE MATERIALS SPECIFIED AND COMPLY WITH ALL TOWNSHIP/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THIS PROJECT IS CONSTRUCTED IN ACCORDANCE WITH THESE DOCUMENTS AND IN COMPLIANCE WITH CODES INDICATED HEREIN. THE QUALITY OF WORKMANSHIP AND INSTALLATION OF MATERIALS SPECIFIED BY THE ARCHITECT/ENGINEER ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE ARCHITECT/ENGINEER WILL NOT BE HELD RESPONSIBLE FOR ANY SUBSTANDARD OR INSUFFICIENT WORKMANSHIP, MATERIALS, OR SERVICES PROVIDED IN THE EXECUTION OF ANY PHASE OF CONSTRUCTION OF THIS PROJECT.
- ALL MATERIALS ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS. THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL MANUFACTURER'S WARRANTIES WILL BE HONORED.
- ALL CONDITIONS SHOWN TO BE "EXISTING" SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ARCHITECT/ENGINEER FOR REVIEW. CHANGES TO THE ORIGINAL DESIGN OF THE PROJECT DUE TO EXISTING SITE CONDITIONS MUST BE APPROVED BY BOTH THE OWNER AND THE ARCHITECT/ENGINEER PRIOR TO MAKING ANY CHANGES.
- CONTRACTOR TO REVIEW AND FOLLOW CONSTRUCTION TECHNIQUES/SPECIFICATIONS OUTLINED IN THE SITE GEOTECHNICAL REPORT. ANY CONFLICTS WHICH MAY ARISE SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF EXISTING FIELD CONDITIONS AND OF ALL DRAWINGS AND SPECIFICATIONS RELATED TO THEIR FIELD. THE FAILURE TO ACQUAINT HIMSELF WITH THIS PROJECT AND HIS FIELD OF SERVICE SHALL NOT RELIEVE HIM OF ANY RESPONSIBILITY FOR NOT PERFORMING HIS WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED DUE TO THE GENERAL CONTRACTOR'S FAILURE TO CONVEY THE NECESSARY KNOWLEDGE TO FAMILIARIZE WORKERS AND SUBCONTRACTORS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THE SAFETY OF ALL PERSONS ON THE JOB SITE AT ALL TIMES INCLUDING (BUT NOT LIMITED TO) SUBCONTRACTORS, FACILITY EMPLOYEES, VENDORS, DESIGN STAFF PROFESSIONALS AND INSPECTION PERSONNEL.
- THE GENERAL CONTRACTOR SHALL PROVIDE DUMPSTERS, PORTABLE TOILETS AND TEMPORARY POWER FOR UNRESTRICTED PROJECT RELATED USE BY OTHERS FOR THE DURATION OF THE PROJECT.
- THE GENERAL CONTRACTOR SHALL COORDINATE PROJECT PHASING AND STORAGE OF MATERIALS WITH THE OWNER.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR RECEIVING, UNLOADING, STORING AND PROTECTING OF MATERIALS AND EQUIPMENT SUPPLIED BY THE OWNER UNTIL IT HAS BEEN INSTALLED AND ACCEPTED BY THE OWNER.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE AREA CLEAN AND FREE OF DEBRIS AT ALL TIMES DURING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL POWER WASH THE ENTIRE CONSTRUCTION AREA PRIOR TO TURNOVER TO THE OWNER.
- EXISTING PAVING THAT WILL REMAIN AFTER CONSTRUCTION SHALL BE PROTECTED FROM DAMAGE. AREAS OF EXISTING PAVING THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE SAWCUT, THEN REMOVED AND REPLACED.
- THE GENERAL CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL PUBLIC AND PRIVATE UTILITIES, INCLUDING IRRIGATION, SPECIFIC TO THIS PROJECT PRIOR TO THE START OF ANY DEMOLITION OR CONSTRUCTION. SHOULD ANY UTILITY REQUIRE RELOCATION, CONTRACTOR SHALL COORDINATE WITH THE OWNER AND THE ARCHITECT/ENGINEER.
- SAWCUT AND REMOVE PORTIONS OF EXISTING PAVING ONLY AS REQUIRED TO INSTALL NEW UTILITIES OR TO CONSTRUCT PROPOSED FACILITIES PER THIS PLAN. REPLACE PORTIONS REMOVED TO MATCH EXISTING FLUSH AND SMOOTH.
- PROVIDE TEMPORARY CHAIN LINK FENCING, MINIMUM 6'-0" HIGH, AROUND ENTIRE AREA OF CONSTRUCTION. FIELD VERIFY EXACT LOCATION AND SPECIFICATIONS OF FENCE WITH THE OWNER PRIOR TO START OF CONSTRUCTION. REMOVE FENCING AT COMPLETION OF PROJECT AND PATCH PAVING AS REQUIRED AT FENCE POST HOLES.
- ALL DIMENSIONS AND RADII ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.
- CONTRACTOR SHALL MATCH PROPOSED CURB AND GUTTER, CONCRETE, AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.
- CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM TO REMAIN DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN, EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY OWNER PRIOR TO CONSTRUCTION START.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF BUILDING APPURTENANCES, STAIRS, RAMPS, SLOPE PAVING, SIDEWALKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED OR SOD, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS IN THE CONTRACT DOCUMENTS.
- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER OF RECORD BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM THE DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL.
- IN THE EVENT THE CONSTRUCTION IS ABANDONED PRIOR TO THE COMPLETION OF THE PROJECT, ALL CONSTRUCTION AND STOCKPILED VEGETATIVE DEBRIS AND FILL WILL BE REMOVED FROM THE SITE AND THE SITE WILL BE STABILIZED PER RIDOT GENERIC PERMIT FOR STORM WATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (NPDES).
- THESE PLANS ARE INTENDED TO AND SHALL COMPLY WITH AMERICANS WITH DISABILITIES ACT AND THE NEW JERSEY ACCESSIBILITY LAW.
- ALL VEGETATION FROM CLEARING AND GRUBBING WILL BE DISPOSED OF OFF-SITE.
- CONTRACTOR IS RESPONSIBLE FOR PERMITTING, INSTALLATION AND MAINTENANCE OF ALL MAINTENANCE OF TRAFFIC OPERATIONS DURING CONSTRUCTION. MAINTENANCE OF TRAFFIC SHALL CONFORM TO RIDOT/GOVERNING AGENCY STANDARDS.
- ALL DESIGN AND CONSTRUCTION MUST CONFORM TO THE MINIMUM STANDARDS SET DOWN IN THE TOWNSHIP/COUNTY DEVELOPMENT CODE, ZONING, AND/OR RELATED ORDINANCES, AND MINIMUM TESTING FREQUENCY REQUIREMENTS.

GENERAL UTILITY NOTES

- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- ALL ELECTRICAL, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED SAID ENGINEER BY ENGINEER.
- PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND HIS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
- PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR SHALL VERIFY THAT "STUB OUTS" FOR POWER, TELEPHONE, FIBER OPTICS, WATER AND SEWER (IF APPLICABLE) HAVE BEEN PROVIDED BY OTHERS (IF APPLICABLE) AT THE AREA ADJACENT TO THE PROPOSED BUILDING. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL CONNECTIONS AT THE BUILDING.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULE FOR INSTALLATION WITH THE UTILITY COMPANIES AND THE OWNER. ALL EXISTING CONDITIONS THAT ARE REMOVED OR DISRUPTED DURING THE PLACEMENT OF NEW UTILITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL CONDITIONS. ANY EXISTING UTILITIES DISRUPTED DURING PLACEMENT OF NEW UTILITIES SHALL BE REPAIRED AND OPERATING NORMALLY THE SAME DAY OF DISRUPTION. ITEMS THAT MAY NEED TO BE REPLACED OR REPAIRED INCLUDE BUT ARE NOT LIMITED TO: EXISTING ASPHALT PAVING, EXISTING CONCRETE PAVING, WATER LINES, IRRIGATION LINES, GRASS AREAS, LANDSCAPING, AND SITE LIGHTING. THE GENERAL CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL EXISTING ITEMS THAT WILL BE DISRUPTED DURING THE PLACEMENT OF NEW UTILITIES AND PROVIDE THE OWNER A DETAILED PHASING SCHEDULE OUTLINING THE TIMELINE FOR INSTALLATION OF NEW UTILITIES INCLUDING THE PROPOSED TIMES THAT EXISTING ITEMS WILL BE DISRUPTED. THE NEW UTILITIES TRENCH WIDTH AND DEPTH SHALL MEET ALL LOCAL AND STATE REQUIREMENTS FOR THE DISPLACEMENT OF ALL UTILITIES. IF DIRECTIONAL BORING IS USED FOR INSTALLATION, THE ABOVE LISTED ITEMS ARE STILL REQUIRED TO BE SUBMITTED TO THE OWNER.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL SANITARY SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RINGS & COVERS. SANITARY MANHOLES IN UNPAVED AREAS SHALL BE 2" ABOVE FINISH GRADE WITH WATER TIGHT LIDS.
- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- UNDERGROUND UTILITY LINES SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- REFER TO ARCHITECTURAL DRAWINGS FOR TIE-IN OF ALL UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
- EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
- THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES, GRAVITY SEWER LINES AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE IN ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
- DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATER TIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
- ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACKFILLED AND COMPACTED IN ACCORDANCE WITH SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- SHOP DRAWINGS FOR ALL MATERIALS AND APPURTENANCE SHALL BE SUBMITTED TO AND APPROVED BY THE GOVERNING UTILITY DEPARTMENT. CONTRACTOR TO COPY THE ENGINEER OF RECORD WITH APPROVED DRAWINGS AS REQUIRED. NO WORK IS TO BEGIN UNTIL SHOP DRAWINGS HAVE BEEN REVIEWED, APPROVED AND RETURNED TO THE CONTRACTOR.
- AT LEAST THREE WEEKS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE TOWNSHIP/COUNTY AND THE UTILITY COMPANY AND SUPPLY THEM WITH ALL REQUIRED SHOP DRAWINGS, THE CONTRACTOR'S NAME, STARTING DATE, PROJECTED SCHEDULE AND OTHER INFORMATION AS REQUIRED. THE TOWNSHIP/COUNTY ENGINEERING INSPECTION OFFICE SHALL ALSO BE CONTACTED FIVE DAYS PRIOR TO CONSTRUCTION TO ENSURE AVAILABILITY OF INSPECTION PERSONNEL. ANY WORK PERFORMED PRIOR TO NOTIFYING THE TOWNSHIP/COUNTY ENGINEERING INSPECTION OFFICE OR WITHOUT A DEPARTMENT INSPECTOR PRESENT MAY BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE SOLE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING WATER MAINS, FORCE MAINS, SANITARY SEWER AND STORM MAINS AND MAINTAIN A MINIMUM CLEARANCE BETWEEN WATER MAINS AND OTHER UTILITIES AT ALL POINTS ALONG THEIR LENGTH AS REQUIRED IN THE PLANS, DETAILS, AND SPECIFICATIONS.
- SANITARY SEWER, FORCE MAINS, SEWER LATERALS, AND STORM SEWERS SHOULD CROSS UNDER WATER MAINS AND/OR WATER SERVICES WHENEVER POSSIBLE. SANITARY SEWERS, FORCE MAINS, SEWER LATERALS, AND STORM SEWERS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE BOTTOM OF THE UPPER PIPE AND THE TOP OF THE LOWER PIPE.
- TREES SHALL BE PLACED SO AS TO AVOID BURIED UTILITIES.

GRADING NOTES:

- ALL PAVING AND GRADING CONSTRUCTION MATERIALS AND METHODS SHALL MEET THE STANDARD SPECIFICATIONS AND REQUIREMENTS OF THE TOWNSHIP.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL CUT OR FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED.
- PRECAST STRUCTURES ARE REQUIRED.
- STORM PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS. PRIOR TO FINAL INSPECTION.
- EXISTING CONTOUR INTERVALS SHOWN AT 1.0 FOOT.
- PROPOSED CONTOUR INTERVALS SHOWN AT 1.0 FOOT.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 2" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE NJDEP OR APPLICABLE STATE GENERAL PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1 V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT, UNLESS OTHERWISE NOTED.
- CONTRACTOR TO MAINTAIN 1.5% MAXIMUM CROSS-SLOPE ON ALL SIDEWALKS AND CROSSWALKS. CONTRACTOR TO MODIFY PAVEMENT GRADES AS NECESSARY TO MAINTAIN MAXIMUM CROSS-SLOPE IN CROSSWALKS.
- CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES WITH 2% MINIMUM SLOPE IN PAVEMENT AREAS AND 1.5% MINIMUM SLOPE IN PAVED AREAS UNLESS OTHERWISE NOTED.
- FOLLOWING DEMOLITION, CLEARING/GRUBBING OPERATIONS, DESIGN CUTS, AND ADDITIONAL CUTTING TO REMOVE UNSUITABLE CONDITIONS AND PRIOR TO FILL PLACEMENT AND NEW CONSTRUCTION, THE ENTIRE SITE SHOULD BE PROOF-COMPACTED WITH MULTIPLE PERPENDICULAR PASSES OF A LARGE (15-TON STATIC WEIGHT) VIBRATORY ROLLER TO COMPACT LOOSE, NEAR SURFACE SOILS. HOWEVER, DEPENDING ON THE GROUNDWATER LEVEL AT THE TIME OF CONSTRUCTION, IT MAY BE NECESSARY TO OPERATE THE ROLLER IN STATIC MODE IN ORDER TO MINIMIZE DRAWING WATER UP THROUGH THESE TYPICALLY GRANULAR SOIL TYPES LOOSE, SOFT, WET OR UNSTABLE SOILS IDENTIFIED DURING THE PROOF-COMPACTATION SHOULD BE EXCAVATED TO AN ACCEPTABLE BEARING STRATUM AS DETERMINED BY A PSI REPRESENTATIVE. IF NECESSARY, ABANDONED FOUNDATIONS, SLABS AND UTILITIES SHOULD BE REMOVED ENTIRELY BELOW THE PROPOSED BUILDING AND PAVEMENT AREAS. ANY REQUIRED BACKFILL OR NEW FILL SHOULD COMPLY WITH SECTION 3.3 STRUCTURAL FILL MATERIAL AND PLACEMENT. THE PLACEMENT OF A GEOTEXTILE AND/OR COARSE GRADED STONE MAY BE REQUIRED TO STABILIZE THE UNDERCUT.
- CONTRACTOR TO ADD WATERPROOFING AT ALL LOCATIONS WHERE THE EXTERIOR GRADE IS PROPOSED ABOVE THE FINISHED FLOOR ELEVATION. CONTRACTOR TO COORDINATE WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION.

DEMOLITION NOTES:

- THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS AND CODES AND OBTAIN ALL REQUIRED PERMITS FOR ANY CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL CONTACT 811 DIG SAFELY BEFORE PERFORMING ANY EXCAVATION WORK.
- THE CONTRACTOR SHALL INSTALL ALL CONSTRUCTION FENCING AND EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO THE START OF ANY DEMOLITION OR CONSTRUCTION ACTIVITY.
- ALL STRUCTURES, UTILITIES, SITE IMPROVEMENTS AND TREES DESIGNATED ON THE DRAWINGS OR DIRECTED BY THE ENGINEER TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY ALL CONSTRUCTION OPERATIONS. THIS SHALL BE ACCOMPLISHED BY ERECTING BARRIERS, GUARDS AND ENCLOSURES AS SHOWN ON THE DRAWINGS OR OTHER APPROVED MEANS. PROTECTION SHALL BE MAINTAINED UNTIL ALL WORK IN THE VICINITY OF THE WORK BEING PROTECTED HAS BEEN COMPLETED.
- THE CONTRACTOR SHALL COMPLY WITH ALL DEMOLITION AND NEW CONSTRUCTION INSPECTIONS AS REQUIRED BY FEDERAL, STATE AND AUTHORITY HAVING JURISDICTIONAL LAWS, REGULATIONS AND BUILDING CODES. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL AUTHORITIES HAVING JURISDICTION) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY, UNLESS OTHERWISE NOTED.
- ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE CONTRACT DOCUMENTS.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH, VEGETATION FROM CLEARING AND GRUBBING, AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING FOR ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON-SITE LOCATIONS OF EXISTING UTILITIES.
- ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERFERED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION REGARDING ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY AND REMOVED TO THE PROPERTY LINE. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT OF WAY DURING CONSTRUCTION.
- CONTRACTOR TO REPLACE ALL DEAD AND/OR DAMAGED SHRUBS IN KIND.
- ALL BELOW GRADE CONSTRUCTION INCLUDING BELOW-GRADE WALLS, SLABS AND TANKS ARE TO BE REMOVED.
- PLAN DEPICTS ALL KNOWN STRUCTURES AND UTILITIES ABOVE AND/OR UNDERGROUND. ADDITIONAL UNDERGROUND UTILITIES AND/OR STRUCTURES MAY EXIST. CONTRACTOR SHALL NOTIFY ENGINEER OF RECORD IF ADDITIONAL UTILITIES OR STRUCTURES ARE ENCOUNTERED AND COORDINATE WITH THE MUNICIPALITY OR UTILITY COMPANY FOR PROPER REMOVAL OR RELOCATION.

STANDARD ABBREVIATIONS

AC	ACRES
ADA	AMERICANS WITH DISABILITY ACT
ARCH	ARCHITECTURAL
BC	BOTTOM OF CURB
BF	BASEMENT FLOOR
BK	BLOCK
BL	BASELINE
BLD	BUILDING
BOL	BOLLARD
BM	BENCH MARK
BRL	BUILDING RESTRICTION LINE
CF	CUBIC FEET
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CONN	CONNECTION
CONC	CONCRETE
CPP	CORRUGATED PLASTIC PIPE
CY	CUBIC YARDS
DEC	DECORATIVE
DEP	DEPRESSED
DIP	DUCTILE IRON PIPE
DOM	DOMESTIC
ELEC	ELECTRIC
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
ES	EDGE OF SHOULDER
EW	END OF WALL
EX	EXISTING
FES	FLARED END SECTION
FF	FINISH FLOOR ELEVATION
FH	FIRE HYDRANT
FG	FINISH GRADE
G	GRADE
GF	GARAGE FLOOR
GH	GRADE HIGH SIDE OF WALL
GL	GRADE LOW SIDE OF WALL
GR	GRATE
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HP	HIGH POINT
HOR	HORIZONTAL
HW	HEADWALL
INT	INTERSECTION
INV	INVERT
LF	LINEAR FOOT
LOC	LIMITS OF CLEARING
LOD	LIMITS OF DISTURBANCE
LOS	LINE OF SIGHT
LP	LOW POINT
LS	LANDSCAPE
MAX	MAXIMUM
MIN	MINIMUM
MH	MANHOLE
MJ	MECHANICAL JOINT
OC	ON CENTER
PC	POINT OF CURVATURE
PCCR	POINT OF COMPOUND CURVATURE, CURB RETURN
PI	POINT OF INTERSECTION
POG	POINT OF GRADE
POI	POINT OF INTEREST
PROP	PROPOSED
PT	POINT OF TANGENCY
PTCR	POINT OF TANGENCY, CURB RETURN
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RCRPR	REINFORCED CONCRETE WITH RUBBER GASKET
RET-WALL	RETAINING WALL
R/W	RIGHT OF WAY
S	SLOPE
SAW	SANITARY SEWER
SF	SQUARE FEET
STA	STATION
STM	STORM
TBR	TO BE REMOVED
TBLR	TO BE RELOCATED
TC	TOP OF CURB
TEL	TELEPHONE
TP	TREE PROTECTION
TW	TOP OF WALL
TYP	TYPICAL
UG	UNDERGROUND
UP	UTILITY POLE
WL	WATER LINE
W/M	WATER METER
+	PLUS OR MINUS
°	DEGREE
Ø	DIAMETER
#	NUMBER

CORE STATES INC.
 12006 Hillcrest Road
 Suite 102
 North Plainfield, NJ 07060
 www.corestates.com
 CERTIFICATE OF AUTHORIZATION No. PC00084634

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REV	DATE	COMMENT	BY
---	03/04/20	ISSUE FOR BID	KGF
1	03/13/20	RESOLUTION PERFORMANCE SUBMISSION	HR

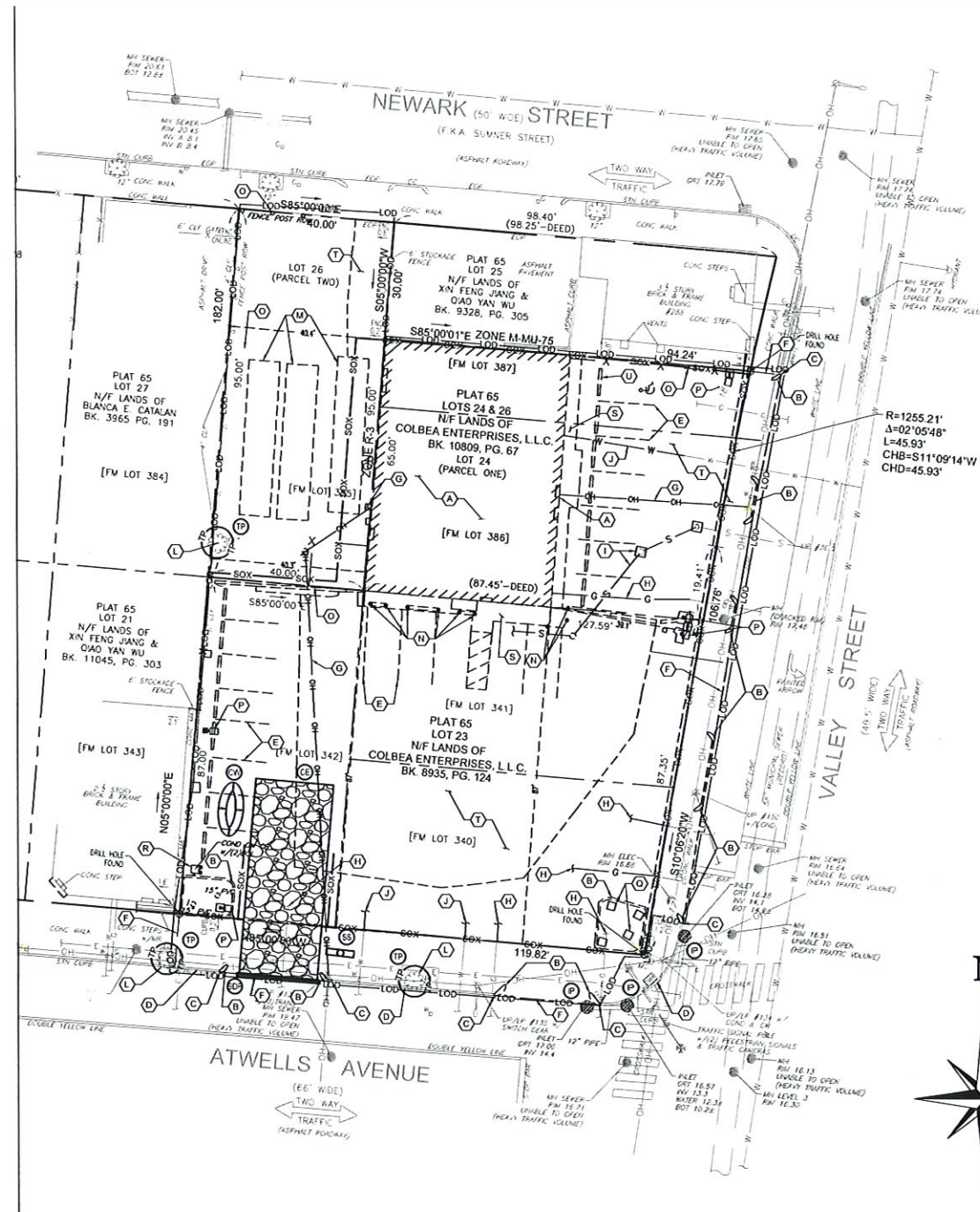
DOCUMENT SITE PLAN APPROVAL FOR CHASE BANK

ENGINEER SEAL
 THOMAS C. PICKERING
 No. 12554
 03/15/2020
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 THOMAS PICKERING, P.E.
 RI LICENSE #12554

SHEET TITLE
GENERAL NOTES

JOB #: JPM-25895
DATE: 09/10/19
SCALE: AS SHOWN
DRAWN BY: XXXX
CHECKED BY: XXXX

SHEET NO
CV-2



GENERAL NOTES:

1. THIS PROJECT REFERENCES A SURVEY PREPARED BY:
 GALLAS SURVEYING GROUP
 2865 US ROUTE 1
 NORTH BRUNSWICK, NJ 08902
 DATE: JUNE 07, 2019
 BOUNDARY & TOPOGRAPHIC SURVEY
 LOTS 23, 24 & 26, PLAT 65
 280-286 VALLEY STREET
 14 NEWARK STREET
 CITY OF PROVIDENCE
 PROVIDENCE COUNTY
 STATE OF RHODE ISLAND

KEYED NOTES:

- A. EXISTING BUILDING AND CANOPIES TO BE REMOVED.
- B. EXISTING CURB TO BE REMOVED.
- C. LIMIT OF CURB REMOVAL. CONTRACTOR TO PROTECT IN PLACE EXISTING CURB AND REPAIR ANY DAMAGE DONE DURING CONSTRUCTION.
- D. EXISTING CURB TO REMAIN.
- E. EXISTING STRIPING TO BE REMOVED.
- F. PROPOSED SAWCUT LINE.
- G. EXISTING ELECTRICAL LINES AND METERS TO BE REMOVED. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY PRIOR TO CONSTRUCTION.
- H. EXISTING GAS LINE AND METERS TO BE REMOVED. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY PRIOR TO CONSTRUCTION.
- I. EXISTING SEWER LATERAL AND CLEANOUTS TO BE REMOVED AND CAPPED. CONTRACTOR TO COORDINATE SEWER DEMOLITION WITH UTILITY COMPANY.
- J. EXISTING WATER LINE TO BE REMOVED AND CAPPED. CONTRACTOR TO COORDINATE WATER LINE DEMOLITION WITH UTILITY COMPANY.
- K. EXISTING UNKNOWN UTILITY LINES TO BE RELOCATED OR REMOVED. CONTRACTOR TO PERFORM TEST PITS TO DETERMINE SIZE, TYPE AND LOCATION OF UTILITY AND COORDINATE WITH APPROPRIATE UTILITY COMPANY TO BE RELOCATED OR REMOVED.
- L. EXISTING TREE TO REMAIN AND BE PROTECTED IN PLACE. REFER TO CONSTRUCTION DRAWINGS FOR TREE PROTECTION DETAIL.
- M. EXISTING STORAGE TRAILERS TO BE REMOVED FROM SITE.
- N. EXISTING BOLLARDS TO BE REMOVED.
- O. EXISTING FENCING TO BE REMOVED.
- P. EXISTING LIGHT POLES AND ELECTRICAL LINES TO BE REMOVED. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY PRIOR TO CONSTRUCTION.
- Q. EXISTING SIGN TO BE REMOVED.
- R. EXISTING AIR COMPRESSOR AND ASSOCIATED UTILITIES TO BE REMOVED.
- S. CONCRETE WALK TO BE REMOVED.
- T. EXISTING PAVEMENT TO BE REMOVED.
- U. EXISTING WHEEL STOP TO BE REMOVED.

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---	03/04/20	ISSUE FOR B/D	HGF
1	03/13/20	RESOLUTION COMPLIANCE REVISIONS	HR

DOCUMENT SITE PLAN APPROVAL FOR CHASE BANK

SITE LOCATION
 280 & 284
 VALLEY STREET
 14 NEWARK STREET
 PROVIDENCE, RI

ENGINEER SEAL

SHEET TITLE
 DEMOLITION PLAN AND EROSION CONTROL PLAN

JOB #:	JPA-25695
DATE:	06/10/19
SCALE:	AS NOTED
DRAWN BY:	XXX
CHECKED BY:	XXX

SHEET NO
C-1

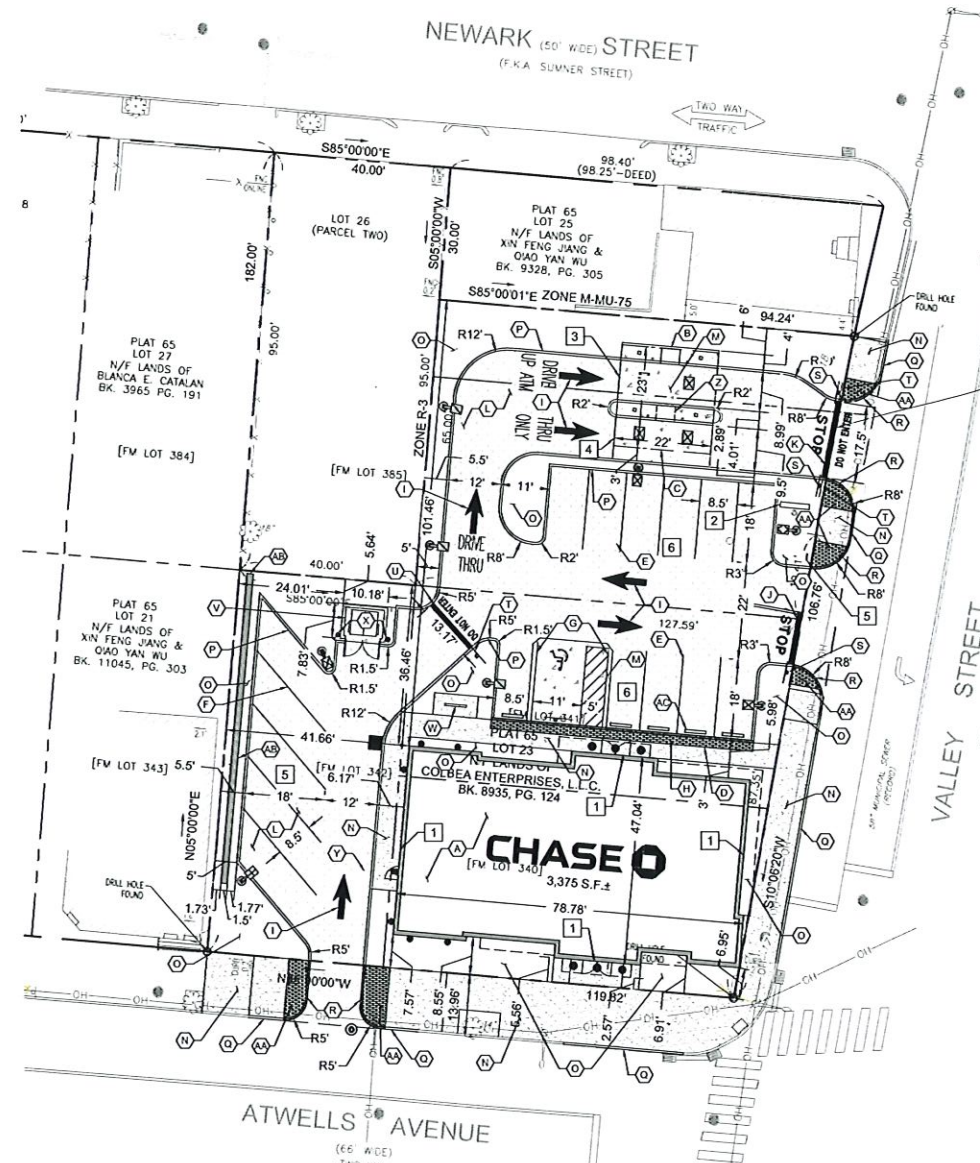
ALERT TO CONTRACTOR:
 PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ENGINEER AND OWNER SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

- E&S PLAN LEGEND**
- CONSTRUCTION ENTRANCE
 - SWPPP INFORMATION SIGN
 - CONCRETE WASHOUT AREA
 - SILT DIKE ON PAVEMENT
 - INLET PROTECTION
 - SILT SOXX (REFER TO DETAIL ON SHEET C-6.)
 - SILT SOXX (REFER TO DETAIL ON SHEET C-6.)
 - LIMITS OF DISTURBANCE

LIMITS OF DISTURBANCE:
 DISTURBED AREA = 0.54 AC

- EXISTING LEGEND**
- PROPERTY BOUNDARY LINE
 - CENTER LINE OF EXISTING ROADWAY
 - ADJOINING PROPERTY LINE
 - EXISTING CURB
 - EXISTING EDGE OF PAVEMENT
 - EXISTING FENCE
 - EXISTING BLOCK NUMBER
 - EXISTING LOT NUMBER
 - EXISTING 5' INTERVAL CONTOUR LINE
 - EXISTING 1' INTERVAL CONTOUR LINE
 - EXISTING TREE
 - EXISTING GAS MAIN
 - EXISTING UTILITY POLE
 - EXISTING STORM STRUCTURES
 - EXISTING SANITARY STRUCTURES
 - EXISTING WATER MAIN
 - EXISTING FIRE HYDRANT
 - EXISTING WATER VALVE
 - EXISTING UNDERGROUND ELECTRIC
 - EXISTING TELEPHONE
 - EXISTING OVERHEAD WIRES
 - EXISTING SANITARY
 - EXISTING STORM
 - DEMO CURB
 - DEMO GRAVEL ROAD
 - DEMO ASPHALT
 - DEMO PROPERTY LINE
 - DEMO TREE
 - DEMO UTILITY POLE
 - PROPOSED SAWCUT LINE
 - LIMITS OF DISTURBANCE

A
B
C
D
E
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I



ALERT TO CONTRACTOR:
PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ENGINEER AND OWNER SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

ZONING DATA (GENERAL COMMERCIAL DISTRICT - C2) - PLAT 65, LOTS 23, 24 & 26

ITEM	REQUIRED	EXISTING	PROPOSED	COMMENT
MIN LOT AREA	0 FEET	20,459 SF	20,459 SF	COMPLIANT
MIN LOT FRONTAGE	N/A	N/A	272.51 FT	COMPLIANT
MIN BUILDING FRONT SETBACK	0.5 FEET	N/A	2.57 FT	COMPLIANT
MIN INTERIOR SIDE SETBACK	0 FEET (10 FEET ABUTTING RESIDENTIAL DISTRICT)	N/A	41.66 FT	COMPLIANT
MIN CORNER SIDE SETBACK	0.5 FEET	N/A	0.0 FT	NONCOMPLIANT
MIN BUILDING REAR SETBACK	20 FEET	N/A	36.45 FT / 101.46 FT	COMPLIANT
MAX BUILDING HEIGHT	50 FEET	N/A	26.33 FT	COMPLIANT
MAX BUILDING LOT COVERAGE	N/A	15.12%	16.5%	COMPLIANT
MAXIMUM LOT COVERAGE	70%	94.16%	61.9%	COMPLIANT

LOT AREA IS CALCULATED BY THE COMBINATION OF LOTS 23, 24 & 26

PARKING CALCULATIONS:

EXISTING:
PLAT 65, LOT 23 = 13 SPACES
PLAT 65, LOTS 24 & 26 = 7 SPACES

PROPOSED:
PLAT 65, LOTS 23, 24 & 26 = 17 SPACES

REQUIRED:
MINIMUM ALLOWED FOR BANK USE = 1 SPACE FOR 500 GFA + 3 STACKING SPACES FOR DRIVE-THRU
3,500 SF / 500 SF + 3 STACKING = 10 SPACES
TOTAL MINIMUM = 10 SPACES MINIMUM

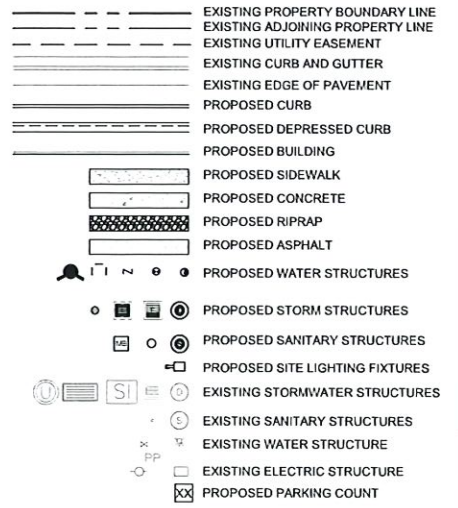
SIGNAGE KEY NOTES: 1

- PROPOSED WHITE w/ BLUE OCTAGON ILLUM CHANNEL LETTERS CHASE LOGO SIGN. (36.9 SF)
- PROPOSED DOUBLE-FACED ILLUMINATED MONUMENT SIGN. (12 SF)
- PROPOSED ILLUM DRIVE UP LANE DESIGNATOR 'ATM' SIGN. (3.1 SF)
- PROPOSED NON-ILLUMINATED CLEARANCE SIGN. (2.1 SF)
- PROPOSED DOUBLE FACED NON-ILLUMINATED DIRECTIONAL SIGN. (2.3 SF)

KEYED NOTES: A

- PROPOSED CHASE BANK
- PROPOSED DRIVE-UP ATM
- PROPOSED 22' x 23' CANOPY
- PROPOSED ADA COMPLIANT PARALLEL CURB RAMP
- PROPOSED 8.5' x 18' PARKING SPACE
- PROPOSED 45 DEGREE ANGLED PARKING SPACE. (STALL DIMENSION = 8.5' W x 18' L)
- PROPOSED 8' x 18' ACCESSIBLE PARKING SPACE AND AISLE.
- PROPOSED ACCESSIBLE PARKING SIGNAGE
- PROPOSED REFLECTIVE DIRECTIONAL STRIPING
- PROPOSED STOP BAR
- PROPOSED STOP AND DO NOT ENTER BAR
- PROPOSED PAVEMENT
- PROPOSED CONCRETE PAD
- PROPOSED CONCRETE SIDEWALK
- PROPOSED GRASSED/LANDSCAPED AREA
- PROPOSED CONCRETE CURB
- PROPOSED GRANITE CURB
- PROPOSED DEPRESSED CURB
- PROPOSED 'STOP' SIGN
- PROPOSED 'DO NOT ENTER' SIGN
- PROPOSED 'DO NOT ENTER' BAR
- PROPOSED TRASH ENCLOSURE
- PROPOSED BICYCLE RACK
- PROPOSED BOLLARD. REFER TO CONSTRUCTION DETAIL SHEETS.
- PROPOSED INLET. REFER TO RIDOT CONSTRUCTION DETAIL SHEET.
- PROPOSED FUTURE ATM. CONTRACTOR TO INSTALL ISLAND AND SEE ELECTRICAL DRAWINGS FOR FUTURE STUB UP LOCATIONS.
- PROPOSED ADA CURB RAMP
- PROPOSED RETAINING WALL. REFER TO CONSTRUCTION DETAILS
- PROPOSED WHEEL STOP.

SITE LEGEND



SIGNAGE TABLE

ITEM	PERMITTED	PROPOSED	COMMENT
FREESTANDING SIGNS			
MAXIMUM SIGN HEIGHT	15 FEET	4.21 FEET	COMPLIANT
MAXIMUM ALLOWED PER FRONTAGE	1 SIGN PER STREET LOT LINE	1 SIGN	COMPLIANT
MAXIMUM AREA ALLOWED	20SF	12 SF	COMPLIANT
WALL SIGNS			
MAXIMUM ALLOWED PER FRONTAGE	1 SIGN PER BUILDING WALL	ALLEY STREET = 1 SIGN	COMPLIANT
		NORTH BUILDING SIDE NO STREET = 1 SIGN	COMPLIANT
		WEST BUILDING SIDE NO STREET = 1 SIGN	COMPLIANT
		ATWELLS AVE = 1 SIGN	COMPLIANT
MAXIMUM AREA ALLOWED	2 SF PER LINER FOOT OF BUILDING	VALLEY STREET 42.72 FT X 2 SF/FT = 85.44 SF (36.9 SF)	COMPLIANT
		NORTH BUILDING SIDE 77.65 SF X 2 SF/FT = 155.3 SF (36.9 SF)	COMPLIANT
		WEST BUILDING SIDE 43 FT X 2 SF/FT = 86 SF (36.9 SF)	COMPLIANT
		ATWELLS AVE = 78.76 FT X 2 SF/FT = 157.56 SF (36.9 SF)	COMPLIANT
DIRECTIONAL SIGNS			
MAXIMUM AREA ALLOWED	4 SF PER SIGN	DRIVE UP LANE DESIGNATOR = 3.1 SF	COMPLIANT
	4 SF PER SIGN	CLEARANCE SIGN = 2.1 SF	COMPLIANT
	4 SF PER SIGN	DIRECTIONAL SIGN = 2.3 SF	COMPLIANT
MAXIMUM HEIGHT ALLOWED	4 FT	DRIVE UP LANE DESIGNATOR = 1.21 FT	COMPLIANT
	4 FT	CLEARANCE SIGN = 0.83 FT	COMPLIANT
	4 FT	DIRECTIONAL SIGN = 3 FT	COMPLIANT

CORE STATES INC.
CORE STATES, INC.
PROVIDENCE, RI
CERTIFICATE OF AUTHORIZATION
NO. PE000864.CA

12702 Henry Road
Suite 102
Providence, RI 02909
Phone: 401.237.5500
www.core-states.com

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CLIENT

REV	DATE	COMMENT	BY
--	03/04/20	ISSUE FOR BID	KGF
1	03/13/20	RESOLUTION COMPLIANCE REVISION	HR

DOCUMENT SITE PLAN APPROVAL FOR CHASE BANK

SITE LOCATION
280 & 284
VALLEY STREET
14 NEWARK STREET
PROVIDENCE, RI

ENGINEER SEAL

SHEET TITLE
SITE PLAN

JOB #: JPM-25695
DATE: 03/10/19
SCALE: AS SHOWN
DRAWN BY: XXX
CHECKED BY: XXX

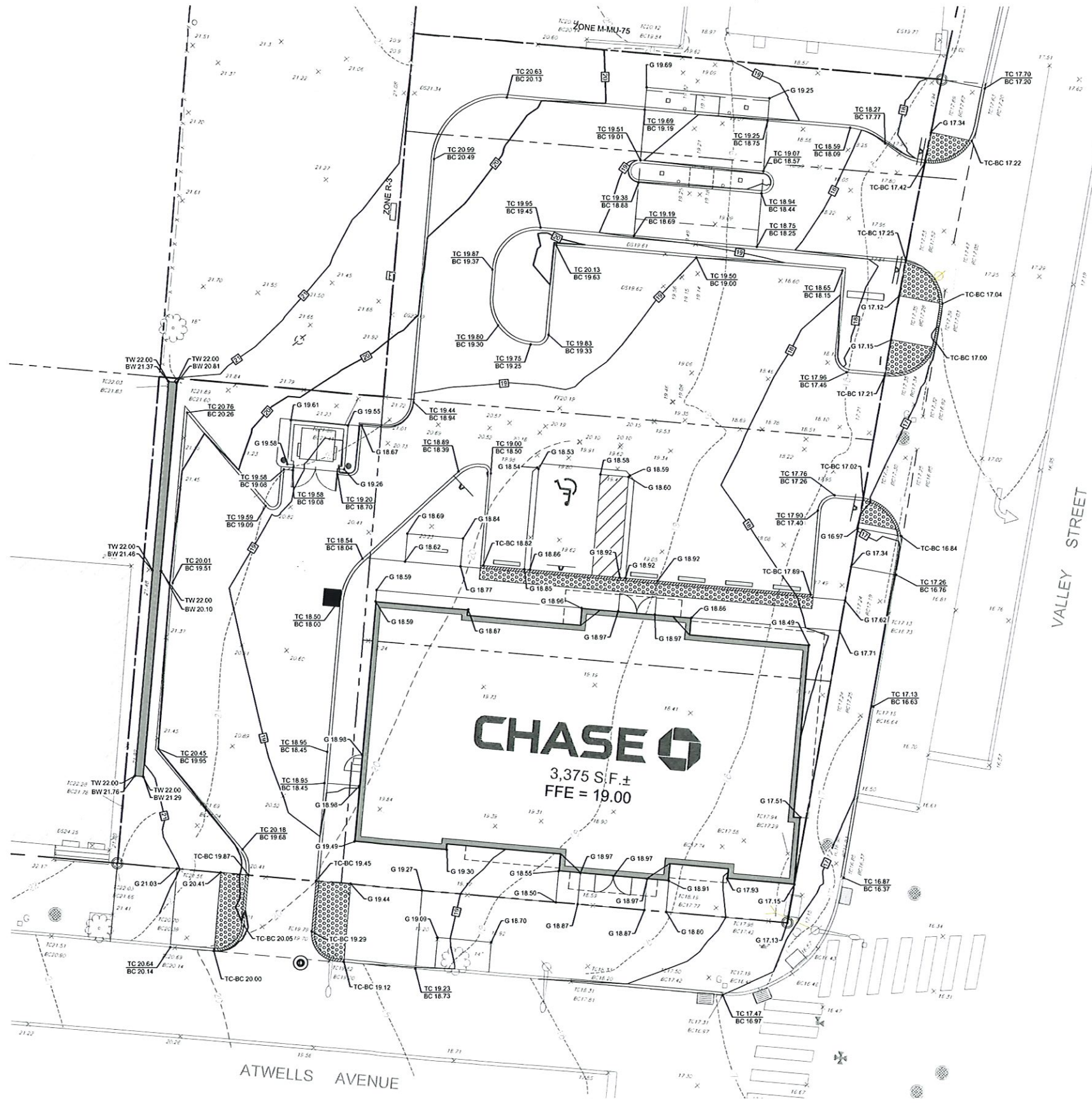
SHEET NO.
C-2

GENERAL NOTES:

- THIS PROJECT REFERENCES A SURVEY PREPARED BY:
GALLAS SURVEYING GROUP
2865 US ROUTE 1
NORTH BRUNSWICK, NJ 08902
DATE: JUNE 07, 2019
BOUNDARY & TOPOGRAPHIC SURVEY
LOTS 23, 24 & 26, PLAT 65
280-286 VALLEY STREET
14 NEWARK STREET
CITY OF PROVIDENCE
PROVIDENCE COUNTY
STATE OF RHODE ISLAND

GRADING LEGEND

- EXISTING PROPERTY BOUNDARY LINE
- EXISTING ADJOINING PROPERTY LINE
- EXISTING ROAD CENTERLINE
- PROPOSED ROAD CENTERLINE
- PROPOSED DITCH CENTERLINE
- EXISTING 5' INTERVAL CONTOUR LINE
- EXISTING 1' INTERVAL CONTOUR LINE
- PROPOSED 5' INTERVAL CONTOUR LINE
- PROPOSED 1' INTERVAL CONTOUR LINE
- PROPOSED TOP/BOTTOM CURB SPOT SHOTS
- PROPOSED GROUND SPOT SHOTS
- PROPOSED TOP/BOTTOM OF WALL SPOT SHOTS



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CORE STATES INC.
CORE STATES, INC.
RHODE ISLAND
CERTIFICATE OF AUTHORIZATION
No. PE.0008611.COA
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Suite 107
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CLIENT



Know what's below. Call before you dig.

REV	DATE	COMMENT	BY
---	03/04/20	ISSUE FOR B/D	KGF
1	03/13/20	RESOLUTION COMPLIANCE REQUIREMENTS	HR

DOCUMENT SITE PLAN APPROVAL FOR CHASE BANK

SITE LOCATION
280 & 284
VALLEY STREET
14 NEWARK STREET
PROVIDENCE, RI

ENGINEER SEAL

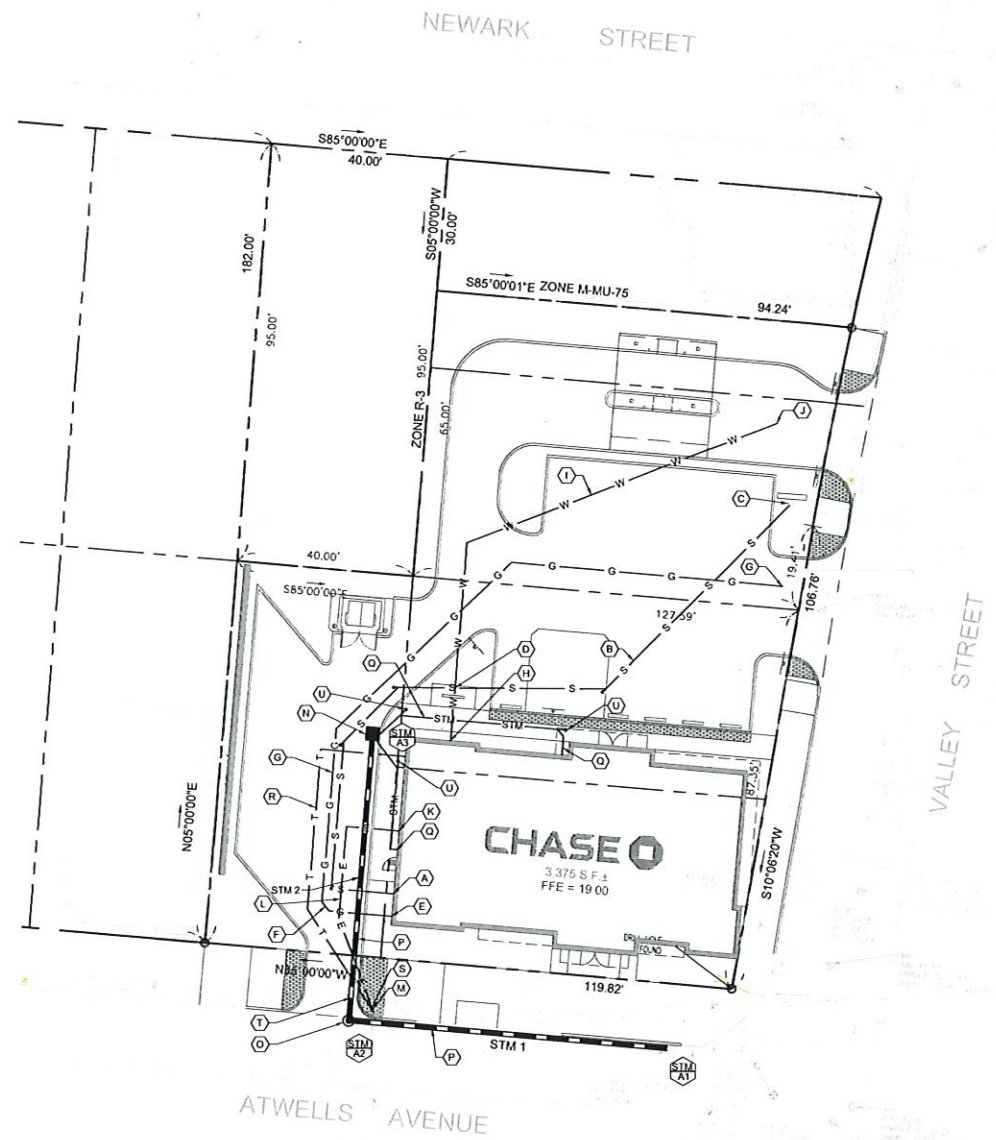
THOMAS PICKERING
No. 12554
03/15/2020
REGISTERED PROFESSIONAL ENGINEER
CIVIL
THOMAS PICKERING, P.E.
RI LICENSE #12554

SHEET TITLE
GRADING PLAN

JOB #:	JPM-25695
DATE:	06/10/19
SCALE:	AS SHOWN
DRAWN BY:	XXX
CHECKED BY:	XXX

SHEET NO
C-3

A
B
C
D
E
F
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H
I



STORM STRUCTURE TABLE								
STRUCTURE NAME	STRUCTURE TYPE	RM	IN/IN	INV OUT	PIPE NAME	PIPE LENGTH	PIPE SIZE AND TYPE	PIPE SLOPE
A1	EXISTING R.O.W. CATCH BASIN	17.00x11	14.65					
A2	48" DIA. CONCRETE MANHOLE	18.05x11	14.70	14.70	STM 1	72.37	12" ADS PIPE	0.50%
A3	PROPOSED NEW CATCH BASIN	10.04		15.42	STM 2	65.33	12" ADS PIPE	1.00%

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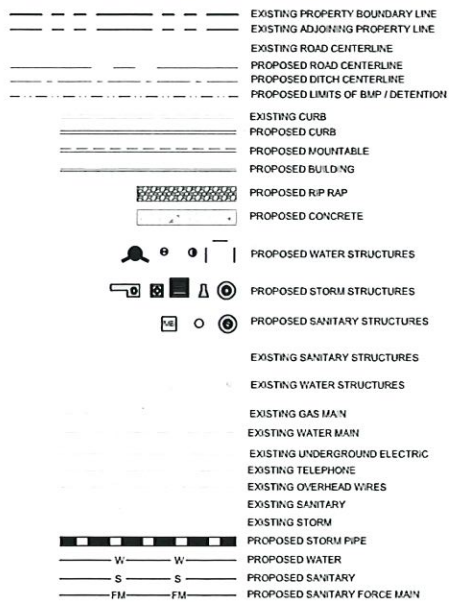
KEYED NOTES:

- A. PROPOSED SANITARY LATERAL BUILDING CONNECTION INVERT 17.00.
- B. PROPOSED 4" SDR 26 PVC SANITARY SEWER LATERAL AT A MINIMUM 1.0% SLOPE.
- C. PROPOSED NEW SANITARY SEWER LATERAL TIE-IN CONNECTION TO EXISTING SEWER MANHOLE, MINIMUM TIE-IN INVERT 14.45. COORDINATION WITH TOWN WATER & SEWER DEPARTMENT IS REQUIRED TO VERIFY INVERT OF EXISTING SANITARY SEWER MAIN. CONTRACTOR TO COORDINATE WITH ENGINEER OF RECORD PRIOR TO BEGINNING OF CONSTRUCTION.
- D. PROPOSED SEWER LINE AND WATER LINE CROSSING. SEWER LINE TO BE ENCASED IN CONCRETE FOR 20'. REFER TO CONSTRUCTION DETAIL SHEET.
- E. PROPOSED GAS METER.
- F. PROPOSED GAS SERVICE LINE. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY PRIOR TO CONSTRUCTION.
- G. PROPOSED GAS POINT OF CONNECTION AT EXISTING MAIN. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY PRIOR TO CONSTRUCTION.
- H. PROPOSED 1-1/2" WATER SERVICE LINE CONNECTION TO BUILDING.
- I. PROPOSED 1-1/2" WATER SERVICE LINE.
- J. PROPOSED NEW 1-1/2" WATER TAP ON EXISTING ON-SITE WATER LINE. CONTRACTOR TO VERIFY LOCATION OF EXISTING WATER LINE AND COORDINATE WITH UTILITY COMPANY AND ENGINEER OF RECORD PRIOR TO INSTALLATION.
- K. PROPOSED ELECTRICAL METER AND AUTOMATIC TRANSFER SWITCH. REFER TO ELECTRICAL DRAWINGS FOR SPECIFICATION.
- L. PROPOSED UNDERGROUND 4" ELECTRICAL CONDUIT. REFER TO ELECTRICAL DRAWINGS FOR SPECIFICATIONS.
- M. PROPOSED ELECTRICAL POINT OF CONNECTION AT UTILITY POLE. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY PRIOR TO INSTALLATION.
- N. PROPOSED STORM WATER RIDOT TYPE "F" INLET GRATE. REFER TO CONSTRUCTION DETAIL SHEET.
- O. PROPOSED DRAINAGE MANHOLE. REFER TO CONSTRUCTION DETAILS.
- P. PROPOSED 12" ADS STORM DRAIN LINE. REFER TO STORM STRUCTURE TABLE.
- Q. PROPOSED 6" PVC ROOF DRAIN PIPE. CONTRACTOR TO HOLD A MINIMUM 1.0% SLOPE.
- R. PROPOSED 2" TELEPHONE LINE. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY PRIOR TO CONSTRUCTION.
- S. PROPOSED TELEPHONE POINT OF CONNECTION AT UTILITY POLE. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY PRIOR TO INSTALLATION.
- T. PROPOSED ELECTRICAL LINE AND PROPOSED STORM PIPE CROSSING. CONTRACTOR TO PERFORM SOFT DIG TO LOCATE INVERT OF ELECTRICAL LINE AND VERIFY WITH EOR BEFORE PROCEEDING WITH INSTALLATION OF STORM PIPE.
- U. PROPOSED ROOF DRAIN CLEAN OUT.
- V. PROPOSED SANITARY LATERAL CLEAN OUT.

UTILITY NOTES:

- 1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING COMPLETE OR EXACT. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- 2. REFER TO ARCHITECTURAL PLANS FOR SITE ELECTRICAL PLANS.
- 3. MINIMUM HORIZONTAL SEPARATION OF 10 FEET REQUIRED BETWEEN SANITARY SEWER AND WATER LINES.
- 4. MINIMUM VERTICAL SEPARATION OF 2 FEET REQUIRED BETWEEN SANITARY SEWER AND WATER LINES.
- 5. CONTRACTOR TO EVALUATE THE CONDITION OF THE EXISTING WATER CONNECTION FOR REUSE PRIOR TO CONSTRUCTION.
- 6. CONTRACTOR TO DETERMINE CONDITION OF THE EXISTING SANITARY LATERAL CONNECTION POINT BEFORE CONSTRUCTION WITH TVI INSPECTION.
- 7. CONTRACTOR TO PROVIDE POWER CONNECTIONS TO SITE LIGHTING AND BUILDING SIGNS AS REQUIRED.
- 8. CONTRACTOR TO MAINTAIN A MINIMUM OF 3 FEET OF COVER FOR ALL PROPOSED SEWER LATERALS AND A MINIMUM OF 4 FEET OF COVER OVER PROPOSED WATER LINES.
- 9. PROPOSED SANITARY SEWER LATERAL IS TO BE PRIVATELY OWNED AND MAINTAINED.
- 10. THE TOWNSHIP ENGINEER OR REPRESENTATIVE SHALL OBSERVE ALL TESTING OF THE BUILDING SEWER LATERAL. ALL EQUIPMENT AND MATERIALS REQUIRED FOR TESTING SHALL BE FURNISHED BY THE OWNER OF THE IMPROVED PROPERTY TO BE CONNECTED TO A SEWER. THE COST OF INSPECTION SHALL BE BORNE BY THE OWNER.
- 11. NO BUILDING SEWER SHALL BE COVERED UNTIL IT HAS BEEN INSPECTED, TESTED AND APPROVED. IF ANY PART OF A BUILDING SEWER IS COVERED PRIOR TO INSPECTION, TESTING AND APPROVAL, IT SHALL BE UNCOVERED FOR INSPECTION AND TESTED AT THE EXPENSE OF THE GENERAL CONTRACTOR.
- 12. SEPARATE UTILITY PERMIT APPLICATIONS WILL BE REQUIRED FOR ANY PROPOSED UTILITY WORK (GAS, ELECTRIC, WATER, ETC.) IN RIDOT ROW. APPLICANT HAS TO BE THE RESPECTIVE UTILITY COMPANY.
- 13. CONTRACTOR TO VERIFY SIZE AND INVERT OF EXISTING SANITARY TIE-IN PRIOR TO BEGINNING OF CONSTRUCTION TO SEE IF EXISTING LATERAL IS ADEQUATE FOR PROPOSED SANITARY SEWER LATERAL.

UTILITY LEGEND:



GENERAL NOTES:

- 1. THIS PROJECT REFERENCES A SURVEY PREPARED BY: GALLAS SURVEYING GROUP, 2865 US ROUTE 1, NORTH BRUNSWICK, NJ 08902. DATE: JUNE 07, 2019. BOUNDARY & TOPOGRAPHIC SURVEY, LOTS 23, 24 & 26, PLAT 65, 280-286 VALLEY STREET, 14 NEWARK STREET, CITY OF PROVIDENCE, PROVIDENCE COUNTY, STATE OF RHODE ISLAND.

CORE STATES INC.
CORRELATE, INC.
HOODLAND
ENGINEERING
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CLIENT



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1	03/13/20	RESOLUTION COMPLIANCE REVISION	HR

DOCUMENT SITE PLAN APPROVAL FOR CHASE BANK

SITE LOCATION
280 & 284
VALLEY STREET
14 NEWARK STREET
PROVIDENCE, RI

ENGINEER SEAL
THOMAS C. PICKERING
No. 12554
03/15/2020
REGISTERED PROFESSIONAL ENGINEER
CIVIL
THOMAS PICKERING, P.E.
RI LICENSE #12554

SHEET TITLE
UTILITY PLAN

JOB #:	JPM-25895
DATE:	03/10/19
SCALE:	AS SHOWN
DRAWN BY:	XXX
CHECKED BY:	XXX

SHEET NO.
C-4

LUMINAIRE SCHEDULE

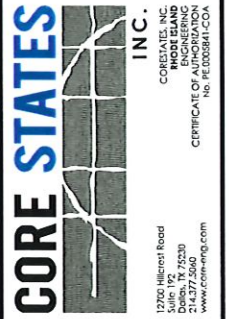
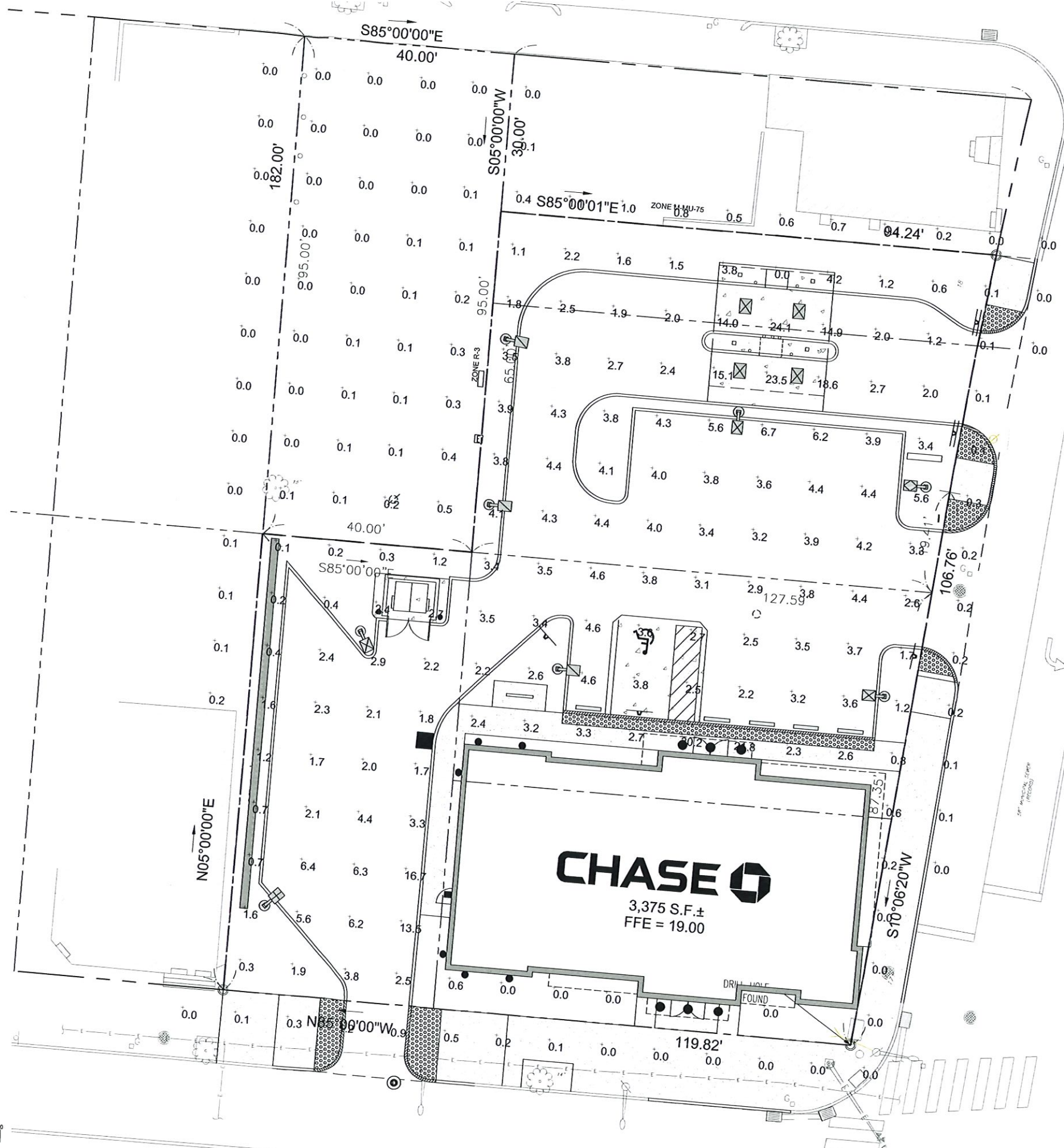
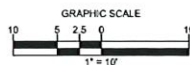
SYMBOL	MANUFACTURER	MODEL	CATALOG	QTY	DISTRIBUTION	MOUNT HT.
⊗	MCGRAW EDISON	GLEON GALLEON LED	GLEON-AF-01-LED-E1-SL3-7030-HSS	1	TYPE 3	17'-0"
⊗	MCGRAW EDISON	GLEON GALLEON LED	GLEON-AF-01-LED-E1-SL4-7030	3	TYPE 4	17'-0"
⊗	MCGRAW EDISON	GLEON GALLEON LED	GLEON-AF-01-LED-E1-SL4-7030-HSS	3	TYPE 4	17'-0"
⊗	MCGRAW EDISON	GLEON GALLEON LED	GLEON-AF-01-LED-E1-SLR-7030	1	90° SPILL LIGHT ELIMINATOR RIGHT	17'-0"
⊗	GE LIGHTING	RECESSED CANOPY LIGHT	ECRA0A5F540WHITE	4	TYPE 5	10'-0"
○	AMERLUX	HORNET HP	HDL-HP-R-NC-A17-T-16-120-0-10VHDL-HP-RL	6	TYPE 5	9'-10"
⊕	EATON	LAN TERRA 9004	9004-W2-RW-LED-3090-W-BK-L1-UNV	6	TYPE 5	9'-10"
⊞	LUMARK	XTOR CROSS TOUR LED	XTOR6B-Y	1	TYPE 4	12'-0"

CALCULATION SUMMARY

AREA	AVERAGE	MAX	MIN
PROPERTY ANALYSIS @ 3 FT	3.95 fc	30.2 fc	0.0 fc

LIGHTING LEGEND

- EXISTING PROPERTY BOUNDARY LINE
- - - EXISTING ADJOINING PROPERTY LINE
- EXISTING ROAD CENTERLINE
- EXISTING CURB
- PROPOSED CURB
- FOOTCANDLE CALCULATION POINT
- ⊗ PROPOSED SITE LIGHT FIXTURE
- ⊞ EXISTING LIGHT FIXTURES



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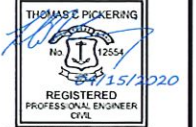


REV	DATE	COMMENT	BY
---	03/04/20	ISSUE FOR B/D	KGF
1	03/13/20	RESOLUTION COMPLIANCE REQUIREMENTS	HR

DOCUMENT SITE PLAN APPROVAL FOR CHASE BANK

SITE LOCATION
280 & 284
VALLEY STREET
14 NEWARK STREET
PROVIDENCE, RI

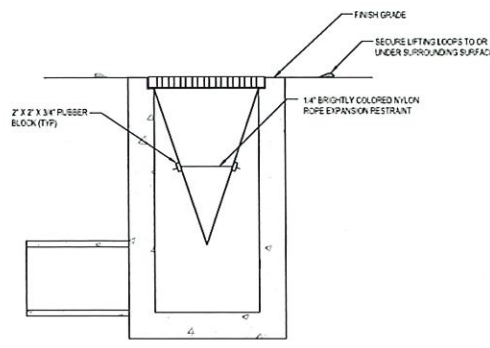
ENGINEER SEAL



SHEET TITLE
LIGHTING PLAN

JOB #:	JPM-25895
DATE:	03/10/19
SCALE:	AS SHOWN
DRAWN BY:	XXX
CHECKED BY:	XXX

SHEET NO.
C-5



SECTION VIEW
PROFILE VIEW OF INSTALLED FILTER SACK

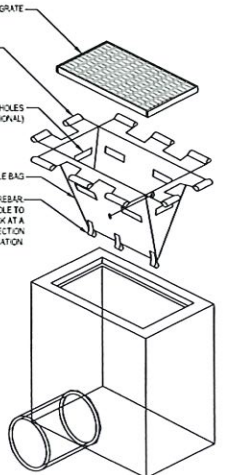
MAINTENANCE NOTES:

1. REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN
2. GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE
3. PLACE AN OIL ADSORBENT PAD OR PULLOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN
4. INSPECT PER REGULATORY REQUIREMENTS

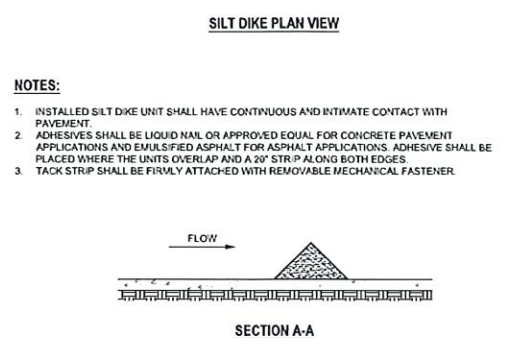
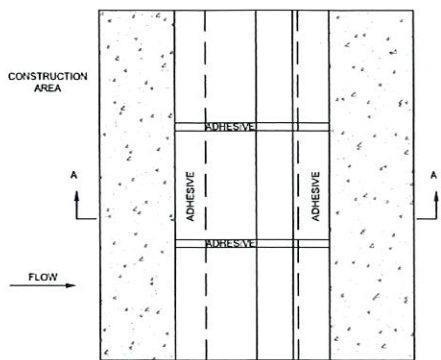
5. THE WIDTH, "W", OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRATED INLET BOX
6. THE DEPTH, "D", OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES AND 36 INCHES
7. THE LENGTH, "L", OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX

LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4532	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4532	20 %
PUNCTURE	ASTM D-4533	120 LBS
MULLEN BURST	ASTM D-3796	82 PPD
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	80 %
APPARENT OPENING SIZE	ASTM D-4751	48 US SIEVE
FLOW RATE	ASTM D-4491	45 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	1.55 SEC-1

MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4532	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4532	20 %
PUNCTURE	ASTM D-4533	135 LBS
MULLEN BURST	ASTM D-3796	82 PPD
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	80 %
APPARENT OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	1.5 SEC-1



INLET PROTECTION DETAIL (IP)



SILT DIKE ON PAVEMENT (SD)

PERMANENT STABILIZATION NOTES:

(RATES ARE ALL PER 1,000 SQUARE FEET)

- PREPARE SEEDBED. ALL DEBRIS MUST BE REMOVED FROM TOPSOIL BEFORE WORK IS PERFORMED.
- APPLY NINETY (90) POUNDS OF GROUND LIMESTONE
- APPLY ELEVEN (11) POUNDS 10-10-10 FERTILIZER OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE AND INCORPORATED INTO THE SURFACE 4 INCHES
- APPLY SEED USING ONE OF THE SEEDING MIXTURES BELOW. ALL SEED MUST BE INCORPORATED OR RAKED INTO SOIL
- APPLY NINETY (90) POUNDS MULCH, MULCH WITH GRAIN STRAW OR SALT HAY ONLY
- ALL MULCH MUST BE PROPERLY TACKED (ANCHORED)

NOTE: AT THE TIME OF YOUR FINAL INSPECTION, YOU ARE REQUIRED TO PRESENT EVIDENCE THAT THE PROPER TYPE AND AMOUNT OF MATERIALS (SEED, LIME AND FERTILIZER) HAVE BEEN USED FOR PERMANENT STABILIZATION WORK. SEEDING MIXTURES FOR LAWNS: (ALL SEED MUST BE INCORPORATED OR RAKED INTO THE SOIL)

PLANT SPECIES	SEEDING RATE	(POUNDS PER 1,000 SQUARE FEET)
MIX #1	93%	6.5
TALL FESCUE (TURF-TYPE)	7%	0.5
PERENNIAL RYEGRASS		
TOTAL:		7.0 POUNDS PER 1,000 SQUARE FEET
MIX #2		
TALL FESCUE (TURF-TYPE)	45%	2.0
CREeping RED FESCUE	22%	1.0
CHEWING FESCUE	22%	1.0
PERENNIAL RYEGRASS	11%	0.5
TOTAL:		4.5 POUNDS PER 1,000 SQUARE FEET

TEMPORARY STABILIZATION NOTES:

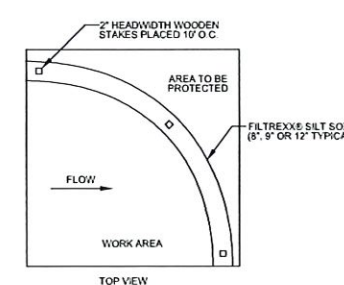
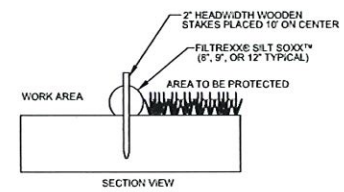
(RATES ARE ALL PER 1,000 SQUARE FEET)

- PREPARE SEEDBED. ALL DEBRIS MUST BE REMOVED FROM TOPSOIL BEFORE WORK IS PERFORMED.
- APPLY NINETY (90) POUNDS OF GROUND LIMESTONE
- APPLY ELEVEN (11) POUNDS 10-20-10 FERTILIZER
- APPLY SEED USING ONE OF THE SEEDING MIXTURES BELOW. ALL SEED MUST BE INCORPORATED OR RAKED INTO SOIL
- APPLY NINETY (90) POUNDS MULCH, MULCH WITH GRAIN STRAW OR SALT HAY ONLY
- ALL MULCH MUST BE PROPERLY TACKED (ANCHORED)

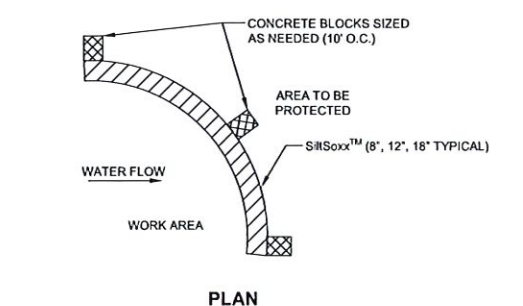
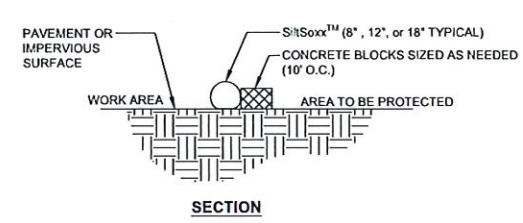
NOTE: AT THE TIME OF YOUR FINAL INSPECTION, YOU ARE REQUIRED TO PRESENT EVIDENCE THAT THE PROPER TYPE AND AMOUNT OF MATERIALS (SEED, LIME AND FERTILIZER) HAVE BEEN USED FOR PERMANENT STABILIZATION WORK.

SEEDING MIXTURES FOR LAWNS: (ALL SEED MUST BE INCORPORATED OR RAKED INTO THE SOIL)

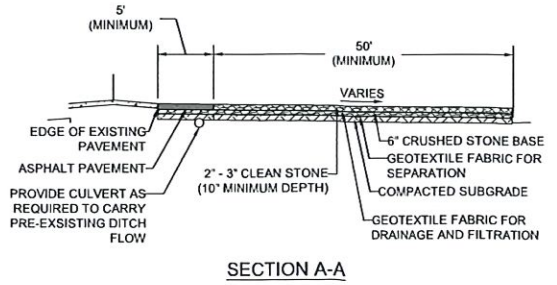
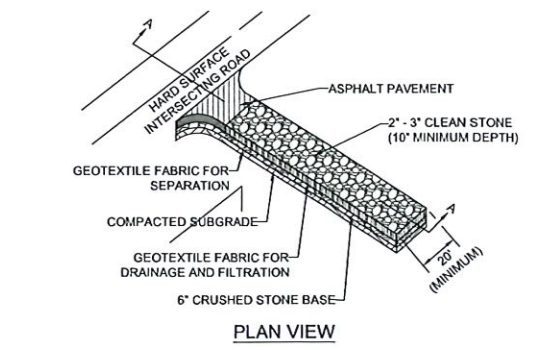
PLANT SPECIES	SEEDING RATE	(POUNDS PER 1,000 SQUARE FEET)
MIX #1 PERENNIAL RYEGRASS	100%	4.0
TOTAL:		4.0 POUNDS PER 1,000 SQUARE FEET



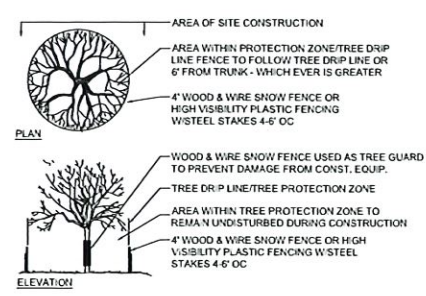
SILT SOXX ON TURF (SS)



SILT SOXX ON PAVEMENT (SS)



CONSTRUCTION EXIT (CE)



TREE PROTECTION DETAIL

CORE STATES INC.
INCORPORATED
12700 Hillcrest Road
Suite 102
21837-5600
www.core-ng.com

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REV	DATE	COMMENT	BY
--	03/04/20	ISSUE FOR BIDD	KGF
1	03/13/20	RESOLUTION COMPLIANCE RESUBMISSION	HR

REV	DATE	COMMENT	BY
--	03/04/20	ISSUE FOR BIDD	KGF
1	03/13/20	RESOLUTION COMPLIANCE RESUBMISSION	HR

DOCUMENT SITE PLAN APPROVAL FOR CHASE BANK

SITE LOCATION
280 & 284
VALLEY STREET
14 NEWARK STREET
PROVIDENCE, RI

ENGINEER SEAL

THOMAS C. PICKERING
No. 12554
06/15/2020
REGISTERED PROFESSIONAL ENGINEER
CIVIL
THOMAS PICKERING, P.E.
RI LICENSE #12554

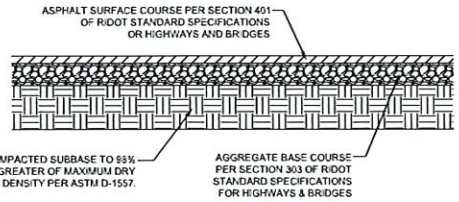
SHEET TITLE
SOIL EROSION & SEDIMENTATION CONTROL PLAN

JOB #: JPM-25595
DATE: 06/10/19
SCALE: AS SHOWN
DRAWN BY: XXXX
CHECKED BY: XXXX

SHEET NO.
C-7

A
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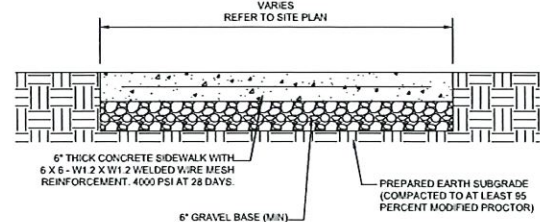
ASPHALT TYPE	LAYER DEPTH STANDARD DUTY
ASPHALTIC CONCRETE SURFACE COURSE	1.5"
BITUMINOUS CONCRETE BINDER COURSE	1.5"
DENSE-GRADED CRUSHED STONE SUBBASE	6"
PROCESSED GRAVEL SUBBASE	12"



- NOTES:
- AGGREGATE BASE COURSE CAN BE LIMEROCK OR CRUSHED CONCRETE (LBR = 100). COMPACT BASE COURSE TO 98% OF THE MATERIALS MAXIMUM DRY DENSITY PER ASTM D-1557.
 - COMPACTED SUBGRADE TO ACHIEVE A MINIMUM LBR OF 40.

ASPHALT PAVING DETAIL

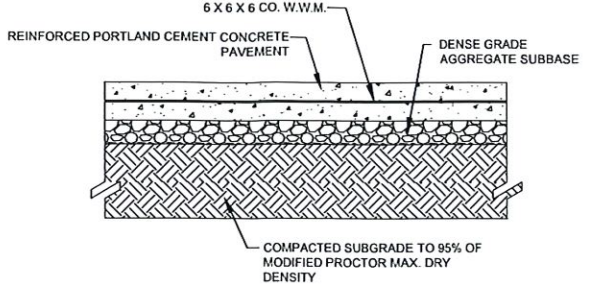
N.T.S.



- NOTES:
- PROVIDE 3/4" PREMOLDED EXPANSION JOINT FILLER AT 60' CENTERS, CHANGES IN DIRECTION, AND ABUTTING SEPARATE POURS.
 - PROVIDE TOOLED CONTRACTION JOINTS AT 10' CENTERS.
 - CONTRACTOR TO PREPARE SUBGRADE BASED ON RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION REPORT.

CONCRETE SIDEWALK DETAIL

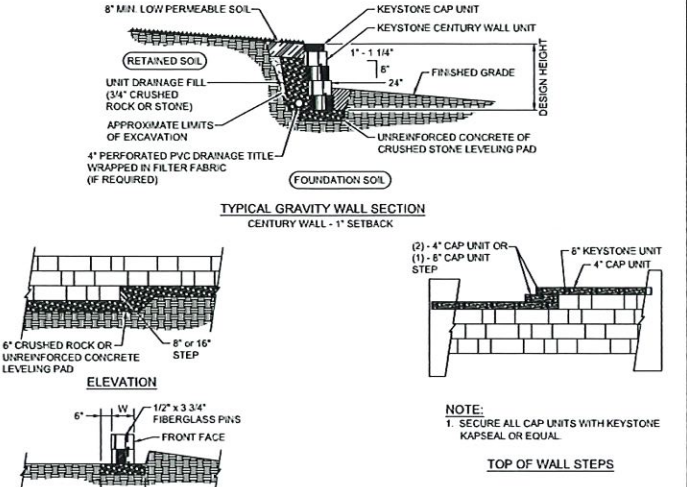
	DRIVE THRU & ADA PARKING PAD	TRASH ENCLOSURE
CONCRETE MAT	6"	8"
DENSE GRADE AGGREGATE SUBBASE	6"	6"
MINIMUM 28 DAY STRENGTH	4,500 PSI	4,500 PSI



- DETAIL NOTES:
- CONCRETE PAVEMENT SHALL MEET THE MORE STRINGENT REQUIREMENT OF EITHER THE SPECIFICATIONS PROVIDED BY THE OWNER, LOCAL CITY/COUNTY REQUIREMENTS.
 - CONTRACTOR TO CONSTRUCT CONCRETE PAVEMENT WITH TRANSVERSE JOINTS AT 10' O.C. JOINTS TO BE CONSTRUCTED PER DETAIL ON THIS PAGE.

CONCRETE SLAB SECTION

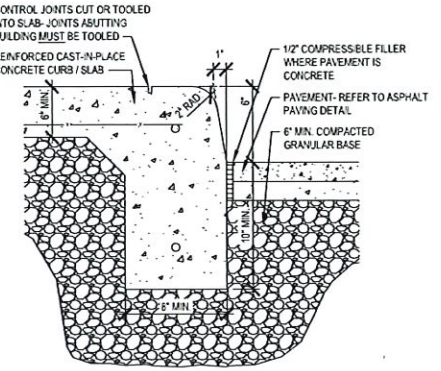
N.T.S.



- NOTE:
- THE LEVELING PAD IS TO BE CONSTRUCTED OF CRUSHED STONE OR 2000 PSI UNREINFORCED CONCRETE.
 - THE BASE FOUNDATION IS TO BE APPROVED BY THE SITE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF THE LEVELING PAD.

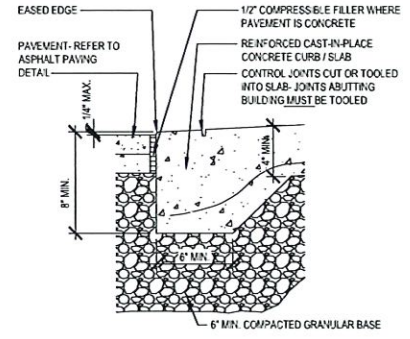
RETAINING WALL DETAIL

N.T.S.



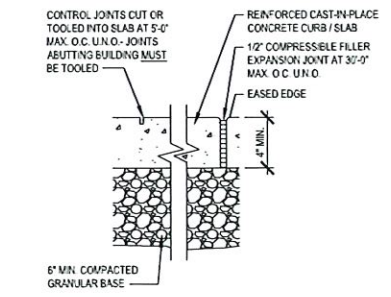
PEDESTRIAN WALK CURB

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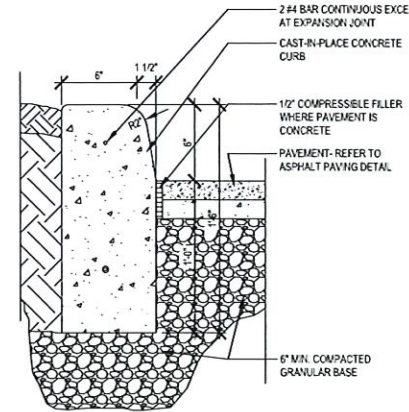
FLUSH CURB

N.T.S.



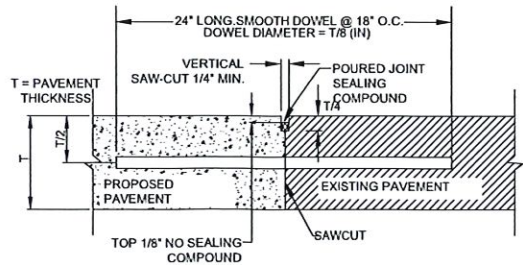
PEDESTRIAN WALK EXPANSION JOINT

N.T.S.



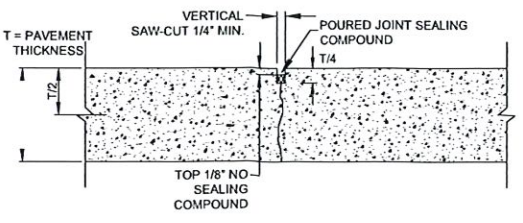
BARRIER CURB

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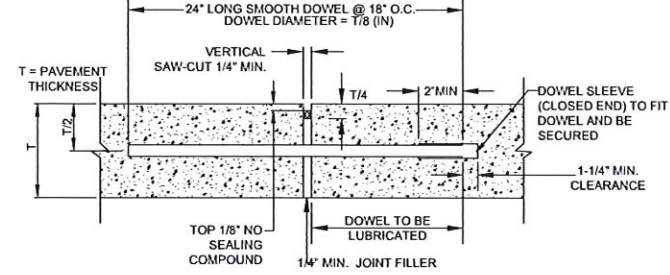


- NOTE:
- DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG.
 - DRILLING BY HAND IS NOT ACCEPTABLE, PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE.

BUTT JOINT

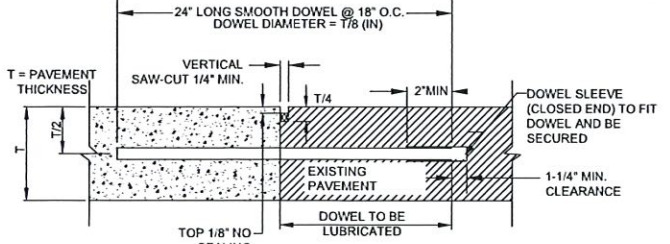


CONTRACTION JOINT



- NOTE:
- DOWELS SHALL BE SUPPORTED BY AN APPROVED DEVICE.

TRANSVERSE EXPANSION JOINT



- NOTE:
- DOWELS SHALL BE SUPPORTED BY AN APPROVED DEVICE.

CONSTRUCTION JOINT

N.T.S.

CONCRETE JOINT DETAILS

CORE STATES INC.
 CORE STATES, INC.
 1700 Highway Road
 Suite 102
 02830
 214.377.5660
 www.coreinc.com
 CERTIFICATE OF AUTHORIZATION
 No. PE0008941-CA

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1	03/13/20	RESOLUTION COMPLIANCE REGULATORY	HR

DOCUMENT SITE PLAN APPROVAL FOR CHASE BANK

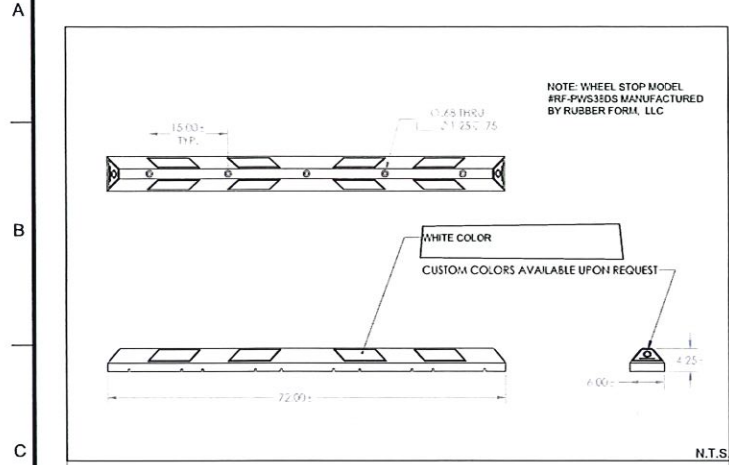
SITE LOCATION
 280 & 284 VALLEY STREET
 14 NEWARK STREET
 PROVIDENCE, RI

ENGINEER SEAL
 THOMAS PICKERING
 No. 12554
 03/15/2020
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 THOMAS PICKERING, P.E.
 RI LICENSE #12554

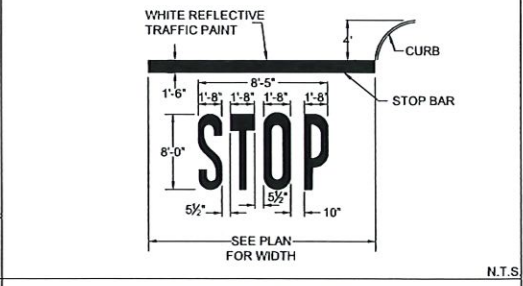
SHEET TITLE
 CONSTRUCTION DETAILS

JOB #:	JPM-25895
DATE:	06/10/19
SCALE:	AS SHOWN
DRAWN BY:	XXX
CHECKED BY:	XXX

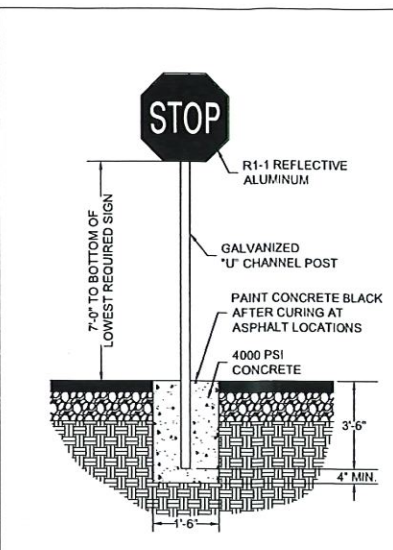
SHEET NO.
CD-1



WHEEL STOP DETAIL



STOP WITH BAR



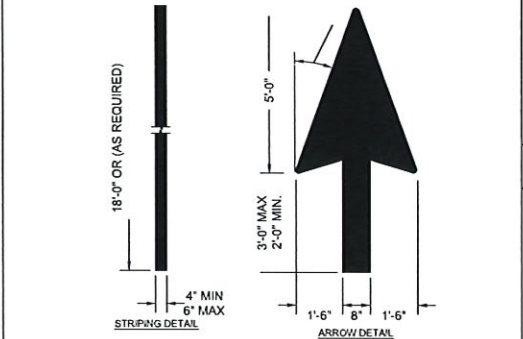
"STOP" SIGN



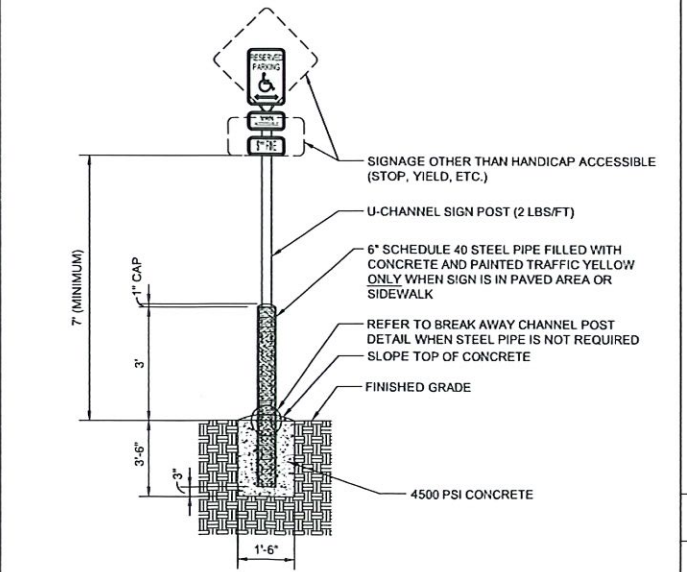
"DO NOT ENTER" SIGN



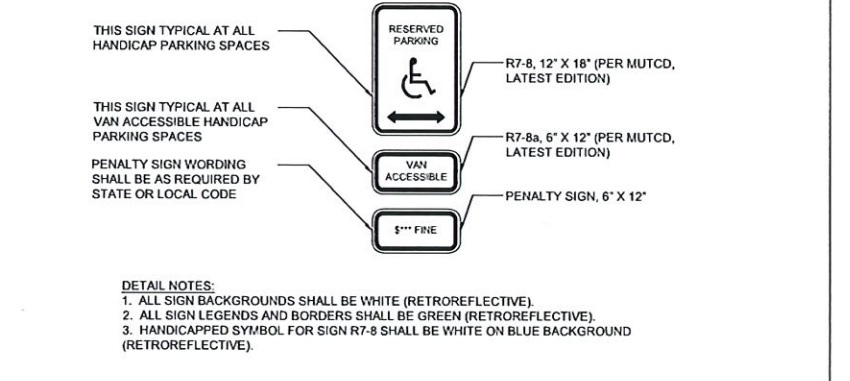
BIKE RACK DETAIL



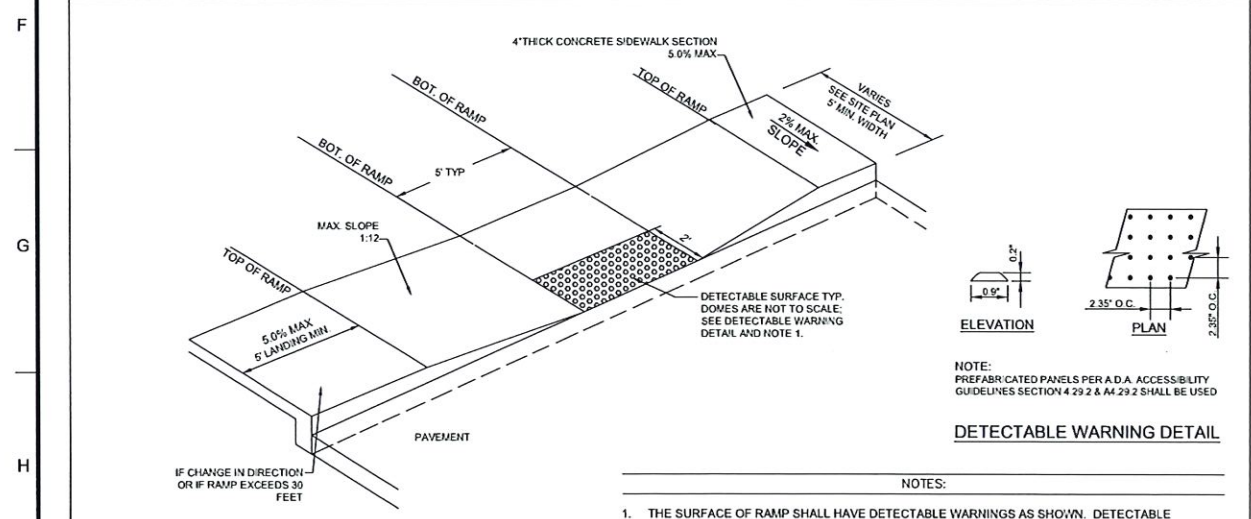
PAVEMENT STRIPING DETAIL



SIGN POST

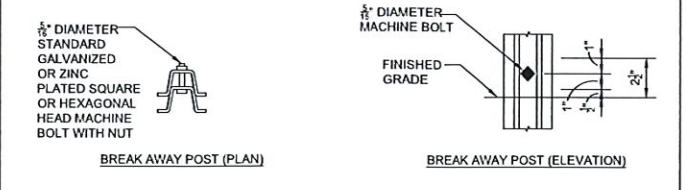


ADA PARKING SIGN DETAIL

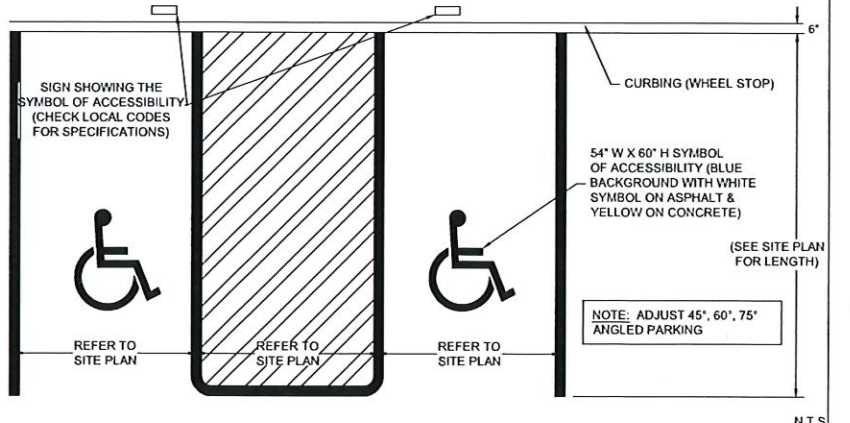


CURB RAMP DETAIL

- NOTES:
1. THE SURFACE OF RAMP SHALL HAVE DETECTABLE WARNINGS AS SHOWN. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES. SEE DETECTABLE WARNINGS DETAIL.
 2. CONSTRUCT PER A.D.A. STANDARDS AND THE CITY OF PROVIDENCE BUILDING CODE.
 3. REFER TO PLANS FOR ADJACENT SLOPES.
 4. THE CROSS SLOPE OF THE RAMP SURFACE SHALL BE NO GREATER THAN 1.5%. SHOULD THE CROSS SLOPE EXCEED 2% THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING THE SIDEWALK AND CURB RAMP AS NECESSARY TO CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITY ACT AND THE CITY OF PROVIDENCE BUILDING CODE.
 5. THE LONGITUDINAL SLOPE OF THE RAMP SURFACE SHALL BE NO GREATER THAN 8.33%. SHOULD THE LONGITUDINAL SLOPE EXCEED 8.33%, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING THE SIDEWALK AND CURB RAMP AS NECESSARY TO CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITY ACT AND THE CITY OF PROVIDENCE BUILDING CODE.
 6. ALL HANDICAP RAMPS TO BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE CITY OF PROVIDENCE BUILDING CODE.
 7. SEE DETAIL FOR DETECTABLE WARNING LOCATION, TYPE, AND EXTENTS.



- DETAIL NOTES:
1. ALL SIGNS SHALL COMPLY WITH THE UNITED STATES DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S 'MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES' (LATEST EDITION), AND LOCAL CODES AS SPECIFIED.
 2. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.



ACCESSIBLE PARKING STALL

CORE STATES INC.
 CONSULTING ENGINEERING ARCHITECTURE
 12700 Hightest Road
 Suite 102
 Dallas, TX 75240
 www.corestates.com
 CERTIFICATE OF REGISTRATION
 No. PC 000847.CCA

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DOCUMENT APPROVAL FOR CHASE BANK

SITE LOCATION
 280 & 284 VALLEY STREET
 14 NEWARK STREET
 PROVIDENCE, RI

ENGINEER SEAL

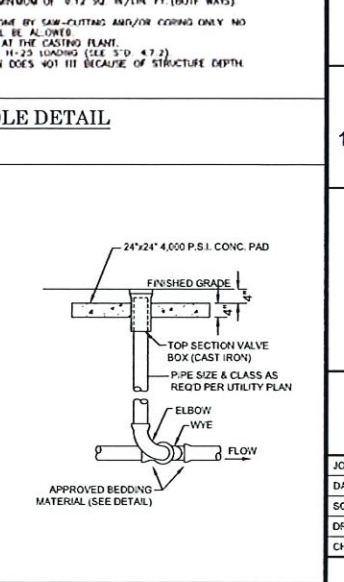
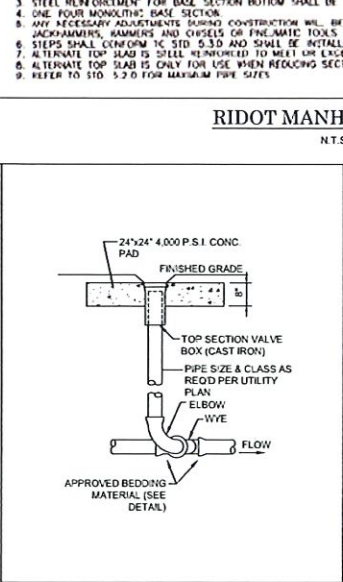
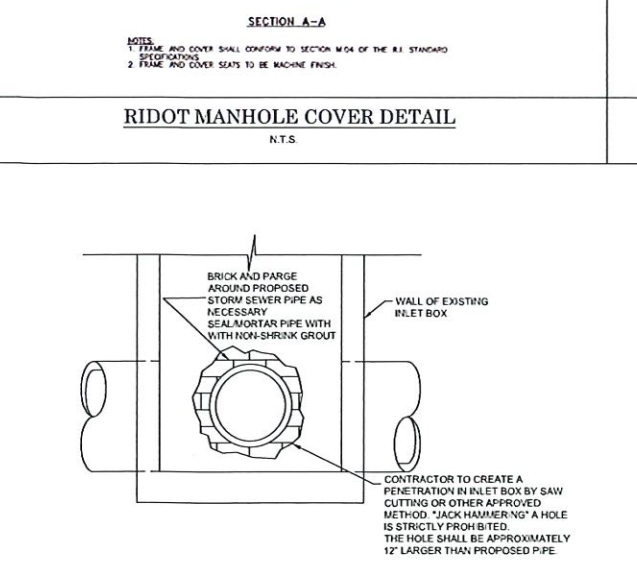
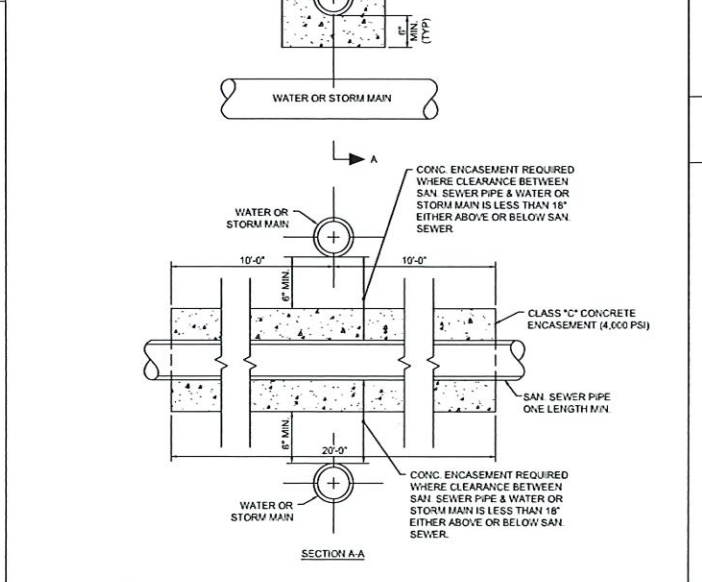
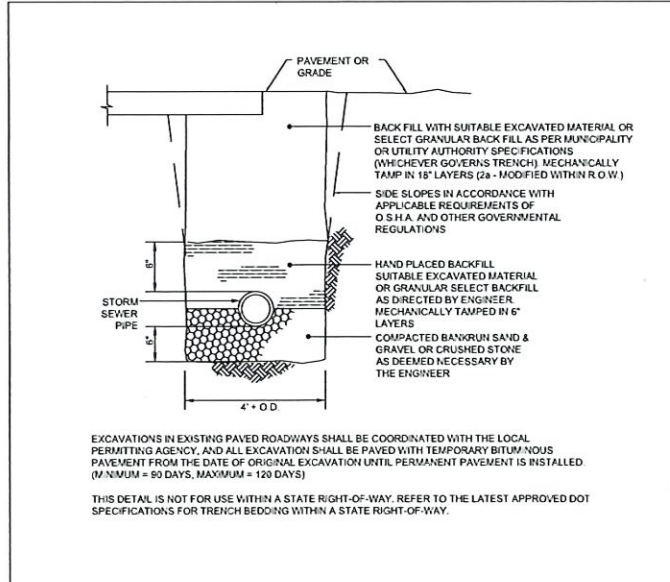
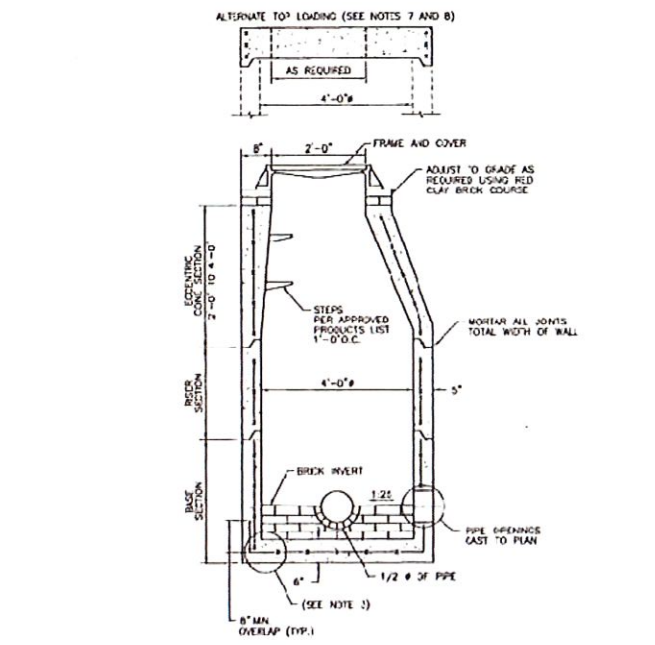
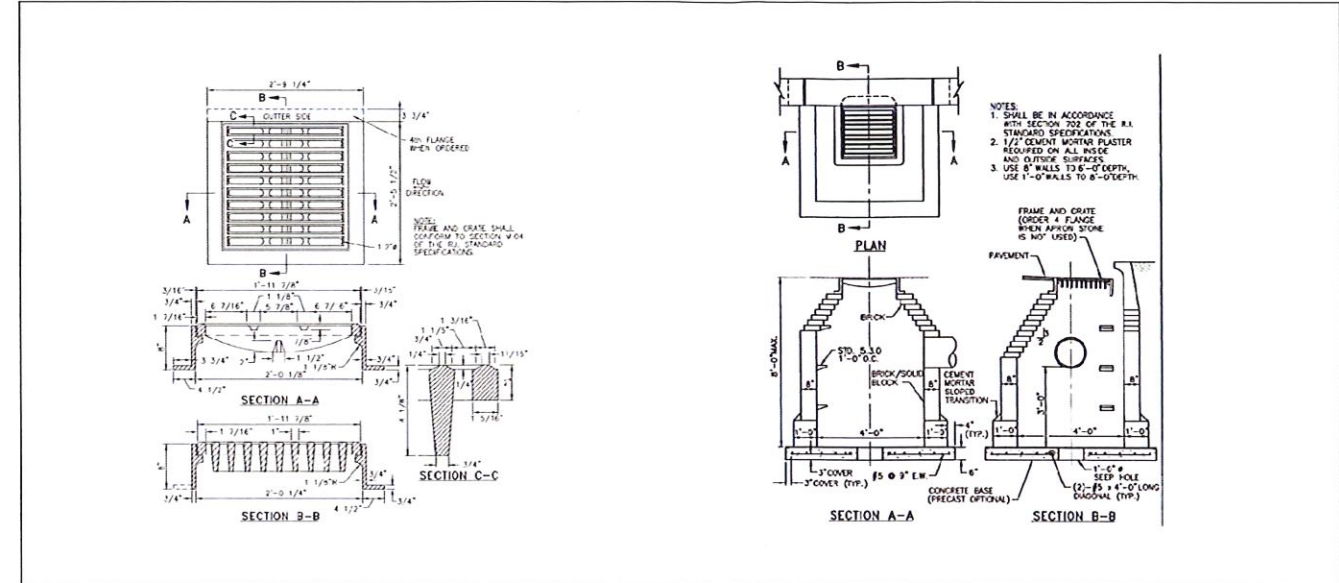
 THOMAS PICKERING, P.E.
 RI LICENSE #12554

SHEET TITLE
CONSTRUCTION DETAILS

JOB #:	JPM-25895
DATE:	06/10/19
SCALE:	AS SHOWN
DRAWN BY:	XXX
CHECKED BY:	XXX

SHEET NO
CD-2

A
B
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CORE STATES INC.
CONSULTING ENGINEERING
12000 Microsoft Road
Suite 102
Bellingham, WA 98220
www.corestates.com

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DOCUMENT SITE PLAN APPROVAL FOR CHASE BANK

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1	03/13/20	RESOLUTION COMPLIANCE REVISION	HR

SITE LOCATION
280 & 284
VALLEY STREET
14 NEWARK STREET
PROVIDENCE, RI

ENGINEER SEAL

THOMAS E. PICKERING
No. 12554
04/15/2020
REGISTERED PROFESSIONAL ENGINEER
CIVIL

THOMAS E. PICKERING, P.E.
RI LICENSE #12554

SHEET TITLE
CONSTRUCTION DETAILS

JOB #: JPM-25895
DATE: 06/10/19
SCALE: AS SHOWN
DRAWN BY: XXX
CHECKED BY: XXX

SHEET NO
CD-3

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CALIPER	CONTAINER	SIZE
AR	4	Acer rubrum / Red Maple 1,000 S.F. TREE CANOPY EACH	CONTAINER OR B&B	2" Cal	8'-10' HT.	
PY	2	Prunus x yedoensis / Yoshino Cherry 300 S.F. TREE CANOPY EACH	CONTAINER OR B&B	2" Cal	8'-10' HT.	
OS	4	Quercus shumardii / Shumard Oak 1,000 S.F. TREE CANOPY EACH	CONTAINER OR B&B	2" Cal	8'-10' HT.	
TE	4	Thuja occidentalis 'Emerald' / Emerald Arborvitae	15 gal		6' HT.	
TG	7	Thuja standishii x plicata 'Green Giant' / Green Giant Arborvitae	CONTAINER OR B&B		10'-12' HT.	
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	PLANT SIZE	SPACING
AI	32	Azalea Encore 'Autumn Ivory' TM / Encore Azalea	3 gal	15" HT. x 15" W.		30' o.c.
CF	27	Cytomium falcatum / Holly Fern	3 gal	FULL POT		24" o.c.
HL	2	Hosta x 'Twist of Lime' / Plantain Lily OR OTHER WHITE-GREEN VARIEGATED AVAILABLE VARIETY	3 gal	FULL POT		36" o.c.
JA	45	Juniperus horizontalis 'Andora' / Andora Juniper	3 gal	FULL POT		30" o.c.
LJ	23	Ligustrum japonicum / Japanese Privet	15 gal	4' HT.		48" o.c.
MS	21	Miscanthus sinensis 'Adagio' / Dwarf Maiden Grass	3 gal	18" HT. x 18" W.		30" o.c.
MG	20	Miscanthus sinensis 'Gracillimus' / Maiden Grass	7 gal	4' HT.		48" o.c.
RX	68	Rosa x 'Apricot Drift' / Apricot Drift Rose	3 gal	FULL POT		24" o.c.
R3	14	Rosa x 'Radiko' / Double Knock Out Red Rose	3 gal	18" HT. x 18" W.		36" o.c.
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SPACING
ES	92	Eragrostis spectabilis / Purple Love Grass	1 gal	FULL POT		15" o.c.
ZJ	5,245 sf	Zoysia japonica / Zoysia Grass	fat			

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH IN ALL PLANTING AREAS (EXCEPT FOR TURF AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.

PLANTING AND IRRIGATION GUARANTEE

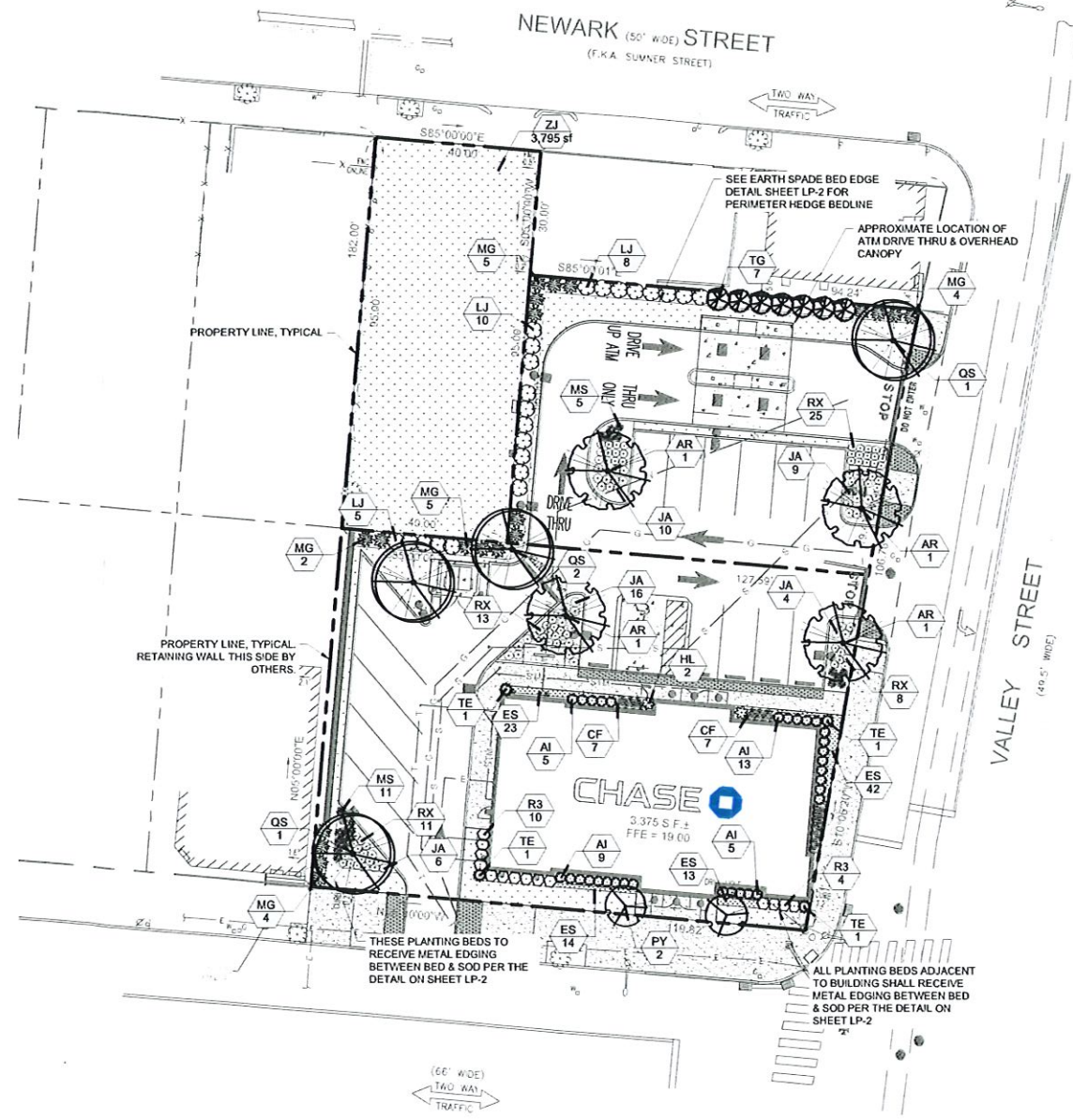
THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED AND EXISTING PLANTS SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPROPRIATE WATERING OF THE LANDSCAPE THROUGH INSTALLATION OF A PROPERLY DESIGNED IRRIGATION SYSTEM. THE OWNER SHALL APPROVE THE SYSTEM DESIGN BEFORE INSTALLATION OF PLANTS OR IRRIGATION.

GENERAL PLANTING NOTES

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN). BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
- CONSTRUCT AND MAINTAIN FINISH GRADES IN LANDSCAPE AREAS AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ENSURE THAT THE GRADE IN SHRUB AREAS SHALL BE 2" BELOW FINISH GRADE AFTER INSTALLING SOIL AMENDMENTS, AND 1" BELOW FINISH GRADE IN SOD AREAS AFTER INSTALLING SOIL AMENDMENTS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
- INSTALL 5 OUNCE, MOVEN, NEEDLE POLYPROPYLENE FABRIC (DOWITT "PRO-5" OR EQUAL) UNDER ALL MULCHED AREAS AND INDIVIDUAL TREE RINGS.
- INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING BEDS AND TREE RINGS. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE.
- INSTALL 1/4" GREEN STEEL EDGING BETWEEN ALL PLANTING BEDS AND TURF AREAS, AND BETWEEN GROUNDCOVERS AND OTHER PLANTS (WHERE INDICATED ON THE PLAN).
- HYDROMULCH ALL DISTURBED AREAS OUTSIDE OF PROPERTY LIMITS (UNLESS SHOWN AS SOD).
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES, PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
- NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
- PLANTS MAY BE INSPECTED AND APPROVED OR REJECTED ON THE JOBSITE BY THE OWNER OR OWNER'S REPRESENTATIVE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTling OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
- TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
 - SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2" INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

NOTE:
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE DESIGNER DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. AS SUCH, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING EXISTING UTILITIES IN THE VICINITY OF THE PROPOSED IMPROVEMENTS AND UTILITY CONNECTION POINTS PRIOR TO THE START OF CONSTRUCTION TO ASCERTAIN EXACT MATERIALS, LOCATIONS, ELEVATIONS, ETC. AND THEIR POTENTIAL CONFLICT WITH PROPOSED IMPROVEMENTS. GC SHALL CONSULT WITH CONSTRUCTION MANAGER AND ENGINEER AS APPROPRIATE BEFORE PROCEEDING WITH WORK.

PROVIDENCE, RI PERMIT LANDSCAPE PLAN REQUIREMENTS				
REQUIRED TREE CANOPY	TOTAL PARCEL (SF)	REQUIREMENT (%)	REQUIRED CANOPY (SF)	PROVIDED CANOPY (SF)
15% of Lot Devoted to Landscape	20,500	0.15	3,075	8,500
PERIMETER PARKING LOT LANDSCAPE	LOT LENGTH ALONG R.W. (FT.)	REQUIREMENT	REQUIRED LANDSCAPE	PROVIDED LANDSCAPE
5' Wide + 6" Curb Offset Adjacent to ROW	76	1 Shade Tree / 25 L.F. 60% Length w/ 3' Shrubs OR Wall @ 3'-4' HT.	3 Shade Trees Approx. 30 Shrubs in Double-Row Configuration @ 3' o.c.	3 Shade Trees 79 Shrubs
INTERIOR PARKING LOT LANDSCAPE	PARKING LOT AREA (SF)	REQUIREMENT	REQUIRED LANDSCAPE	PROVIDED LANDSCAPE
Interior Landscape Area Shall be Minimum of 10% of Total Parking Area Excluding Perimeter Landscape Areas, 1 Island / 10 Pkng. Spaces	8,520	1 Shade Tree / Each Car-Length Island with Living Groundcover	7 Shade Trees with 852 s.f. Minimum of Living Groundcover	7 Shade Trees with 115 Plants (852 s.f. Minimum)
PERIMETER PKNG LOT LS ABUTTING RESIDENTIAL	LOT LENGTH ALONG RES. (FT.)	REQUIREMENT	REQUIRED LANDSCAPE	PROVIDED LANDSCAPE
	87	4' HT. Wall, Fence or Hedge	(2) 4' HT. Min. Shrubs @ 4' o.c.	4 Shrubs (Wall Provided)



DOCUMENTS PREPARED BY CORE STATES, INC. INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS STRICTLY PROHIBITED AND AT THE USER'S OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.



811
Know what's below. Call before you dig.

REV	DATE	COMMENT	BY
001	4.15.20	Revised CAD Base	GP

DOCUMENT
SITE PLAN APPROVAL FOR CHASE BANK

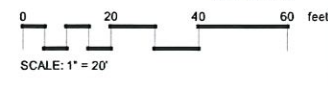
SITE LOCATION
**280 & 284 VALLEY STREET
14 NEWARK STREET
PROVIDENCE, RI**

ENGINEER SEAL
THOMAS PICKERING
No. 12554
1/5/2020
REGISTERED PROFESSIONAL ENGINEER
CIVIL
THOMAS PICKERING, P.E.
RI LICENSE #12554

SHEET TITLE
LANDSCAPE PLANTING

JOB # JPM-25895
DATE 04/15/2020
SCALE
DRAWN BY G.P.R.M.
CHECKED BY G.P.R.M.

SHEET NO
LP-1

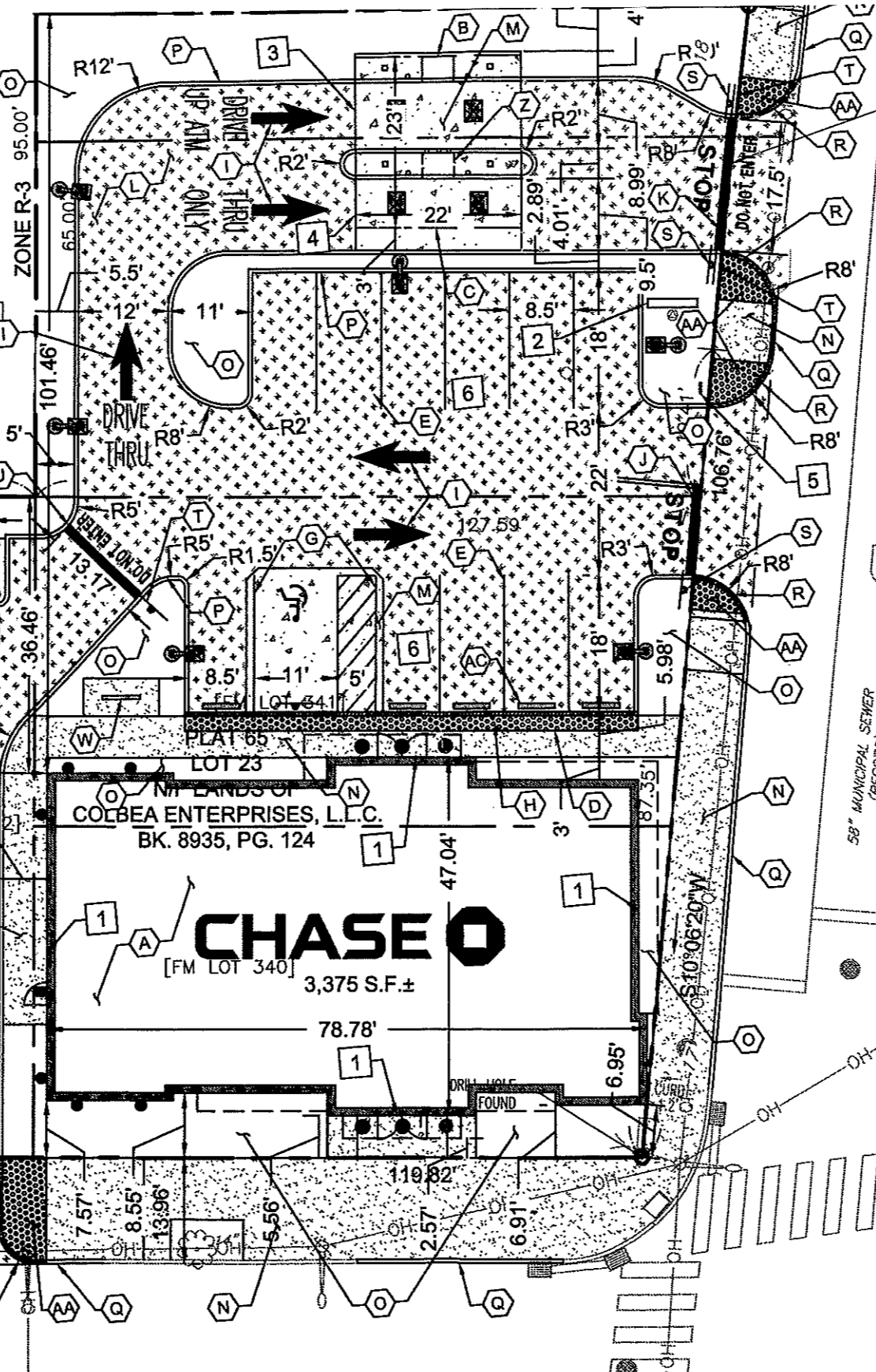


PLAT 65
 LOT 27
 N/F LANDS OF
 BLANCA E. CATALAN
 BK. 3965 PG. 191

[FM LOT 384]

PLAT 65
 LOT 21
 N/F LANDS OF
 XIN FENG JIANG &
 QIAO YAN WU
 BK. 11045, PG. 303

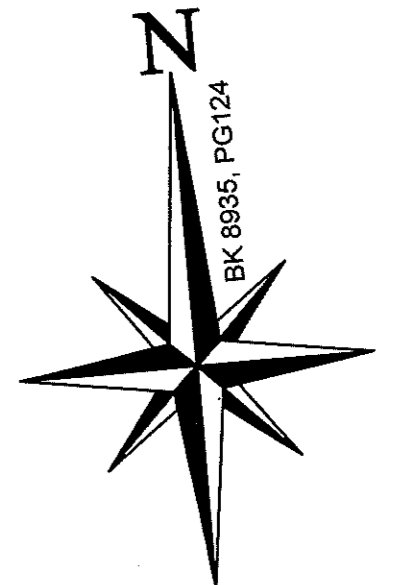
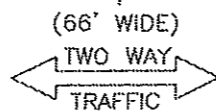
[FM LOT 343]



R=1255.21'
 $\Delta=02^{\circ}05'48''$
 L=45.93'
 CHB=S $11^{\circ}09'14''$ W
 CHD=45.93'

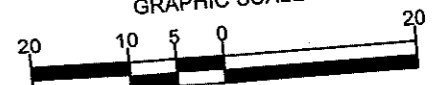
VALLEY STREET
 (49.5' WIDE)

ATWELLS AVENUE



BK 8935, PG 124

GRAPHIC SCALE



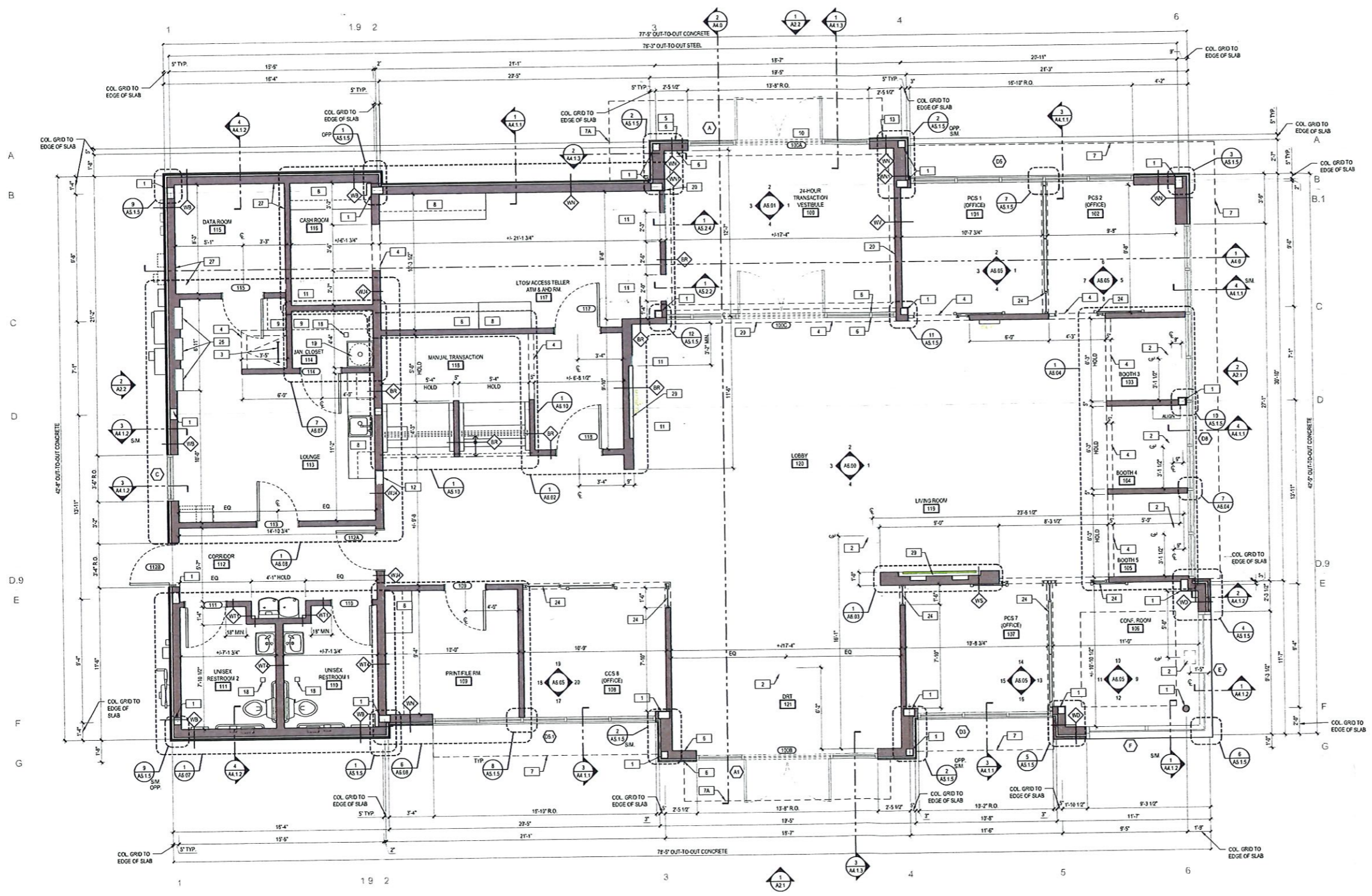
GENERAL FLOOR PLAN NOTES

- A ALL INTERIOR WALL PARTITIONS TO BE W/ U.O. (SEE SHEET A3.1.0 FOR ADDITIONAL INFORMATION).
- B ALL DOOR FRAMES TO HAVE 5" RETURN ON HINGE SIDE U/O.
- C NOT ALL KEYNOTES MAY BE USED. REFER TO DRAWING.

FLOOR PLAN KEYNOTES

- 1 STRUCTURAL COLUMN: COORDINATE WITH STRUCTURAL ENGINEERING DRAWINGS
- 2 POWER DATA FLOOR BOX: REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. COORDINATE LOCATIONS WITH STRUCTURAL DRAWINGS.
- 3 ROOF ACCESS LADDER & SCUTTLE: REFER TO ROOF PLAN AND DETAIL AS NOTED
- 4 SOFFIT / BULKHEAD ABOVE: REFER TO REFLECTED CEILING PLANS, SECTIONS, DETAILS AND INTERIOR ELEVATIONS. PROVIDE DEFLECTION TRACK AT UNDERSIDE OF ROOF STRUCTURE ABOVE TO ALLOW BULKHEAD TO REST ON DEMOUNTABLE PARTITION SYSTEM BELOW.
- 5 CARD READER: REFER TO EXTERIOR ELEVATIONS AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 6 AUTOMATIC DOOR OPERATOR SYSTEM: REFER TO ELEVATIONS AND DOOR SCHEDULE.
- 7 SUNSHADE SYSTEM: KAWNEER SUNSHADE.
- 7A CANOPY SYSTEM: MAPES SUPER LUMIDECK CANOPY SYSTEM.
- 8 CUSTOM SHOP-FABRICATED BUILT-IN MILLWORK: REFER TO INTERIOR ELEVATIONS-SUBMIT SHOP DRAWINGS AND FINISH SAMPLES TO ARCHITECT FOR APPROVAL
- 9 ADJUSTABLE SHELVES: REFER TO INTERIOR ELEVATIONS- PROVIDE BLOCKING IN WALL AS REQUIRED
- 10 SUPPORTED CONCRETE STOOP: ACCESSIBILITY-COMPLIANT CONTINUOUS PAVING TO PUBLIC R.O.W. REQ. FROM ALL EXITS
- 11 EQUIPMENT/APPLIANCE: REFER TO EQUIPMENT INSTALLATION MANUAL - COORDINATE WITH EQUIPMENT INSTALLER - PROVIDE ELECTRICAL, DATA, AND SECURITY ROUGH-IN WORK AS REQUIRED - FRAME WALL OPENING AND PREPARE FLOOR SUBSTRATE AS REQUIRED. PROVIDE BLOCKING IN WALL AS REQUIRED.
- 12 FIRE EXTINGUISHER AND CABINET: PROVIDE THE MAXIMUM NUMBER AS REQUIRED AND COORDINATE LOCATIONS WITH CODE REQUIREMENTS AND ADJACENT ACCESSIBILITY CLEARANCES
- 13 KNOX BOX: MOUNTED FLUSH WITH SURROUNDING WALL SURFACE. VERIFY LOCATION WITH LOCAL MUNICIPALITY TO ENSURE COMPLIANCE. PAINT TO BLEND WITH SURROUNDING WALL FINISH
- 14 CEILING LIGHT FIXTURE COVE: REFER TO REFLECTED CEILING PLAN
- 15 NOT USED
- 16 STOREFRONT GLAZING SYSTEM INTERIOR PARTITION - REFER TO INTERIOR ELEVATIONS
- 17 DEMOUNTABLE PARTITION SYSTEM WITH INTEGRAL DOORS AND POWER, DATA AND SECURITY CONDUIT SYSTEMS, ANCHORED TO BUILDING WALLS, SUBFLOOR AND BULKHEADS
- 18 FLOOR DRAIN: REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION
- 19 MCP SINK: REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION
- 20 EXTEND 24-HOUR VESTIBULE PARTITION AND BULKHEAD FRAME AND FINISH TO UNDERSIDE OF ROOF DECK
- 21 SPINDLE GLASS: OPACI-COAT #3-0770 WARM GREY (FOR USE WITH PPG). SEE SPECIFICATIONS.
- 22 THROUGH WALL ROOF DRAIN
- 23 NOT USED
- 24 FULL-HEIGHT GLASS PARTITION TO CEILING ABOVE - REFER TO INTERIOR ELEVATIONS
- 25 PARTIAL-HEIGHT GYP BD PARTITION w/ PARTIAL-HEIGHT GLASS ABOVE - REFER TO INTERIOR ELEVATIONS
- 26 ELECTRICAL PANELS: LOCKING ENCLOSURES FOR ELECTRICAL MAIN SERVICE AND DISTRIBUTION
- 27 PROVIDE PAINTED F.T. PLYWOOD OVER GWB AT DATA ROOM.
- 28 NOT USED
- 29 RECESS FOR DIGITAL DISPLAY.

WALL LEGEND



1 CONSTRUCTION FLOOR PLAN
A1.1.1 1/4" = 1'-0"



CHASE
JP MORGAN CHASE, N.A.
OLNEYVILLE
280-284 VALLEY ST
PROVIDENCE, RI 02908
CHASE OVP#38100P317296

CORE STATES
GROUP

2015 AIA/CES Approved
5474 300
Arling, PA 19103
31839 2120
www.corestates.com

COR CERT. AX011726
ARCHITECT OF RECORD



THESE DRAWINGS ARE NOT COMPLETE WITHOUT THE SEPARATE TYPE WRITTEN SPECIFICATIONS MANUAL WHICH ARE PART OF THE CONTRACT DOCUMENTS.

ISSUE	DATE	DESCRIPTION
-	03.03.2020	BID SET
1	04.03.2020	BID ADDENDUM #1
2	04.08.2020	PERMIT SET

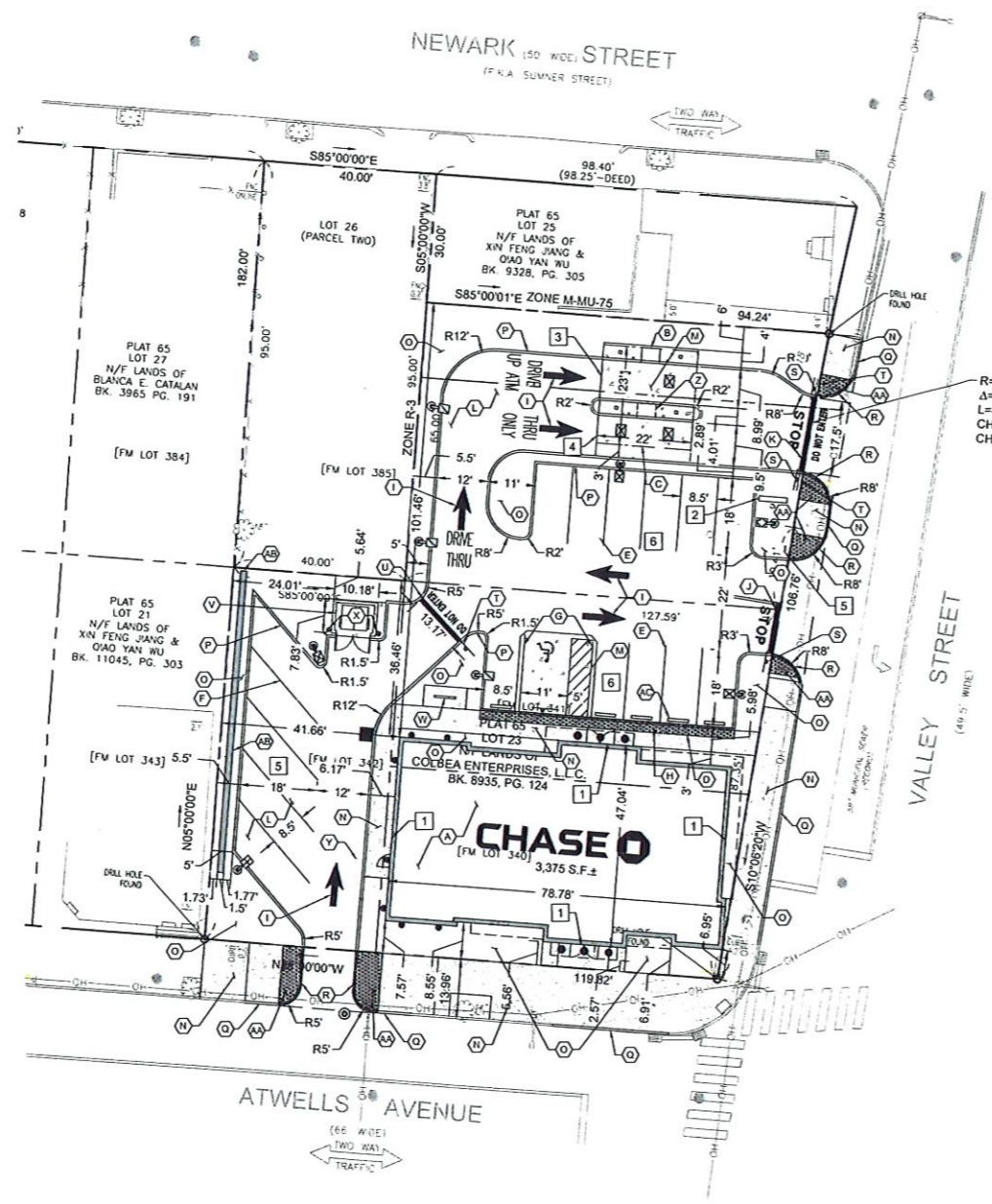
PROJECT INFORMATION	
PROJECT NO:	JP#4 2389
DATE:	03/03/2020
PROTOTYPE:	19
DRAWN BY:	T. NUNEZ
CHECKED BY:	V. ALVARADO
VERSION:	1.0

CONSTRUCTION FLOOR PLAN

SHEET NUMBER

A1.1.1

U.P. Morgan Chase Providence, RI (Drawing 284 Valley St and Annett Ave) (P# 2389) (A01). Drawing: A1.1.1, Providence, RI, JPM2389, Construction floor plan
 08/14/2020 10:23:17 AM



R=1255.21'
Δ=02°05'48"
L=45.93'
CHB=S11°09'14"W
CHD=45.93'



ZONING DATA (GENERAL COMMERCIAL DISTRICT - C2) - PLAT 65, LOTS 23, 24 & 26				
ITEM	REQUIRED	EXISTING	PROPOSED	COMMENT
MIN. LOT AREA	0 FEET	20,459 SF	20,459 SF	COMPLIANT
MIN. LOT FRONTAGE	N/A	N/A	272.51 FT	COMPLIANT
MIN. BUILDING FRONT SETBACK	0.5 FEET	N/A	2.57 FT	COMPLIANT
MIN. INTERIOR SIDE SETBACK	0 FEET (10 FEET ABUTTING RESIDENTIAL DISTRICT)	N/A	41.69 FT	COMPLIANT
MIN. CORNER SIDE SETBACK	0.5 FEET	N/A	0.9 FT	NONCOMPLIANT
MIN. BUILDING REAR SETBACK	20 FEET	N/A	38.45 FT / 101.45 FT	COMPLIANT
MAX. BUILDING HEIGHT	50 FEET	N/A	26.33 FT	COMPLIANT
MAX. BUILDING LOT COVERAGE	N/A	15.12%	16.5%	COMPLIANT
MAXIMUM LOT COVERAGE	70%	94.16%	61.9%	COMPLIANT

LOT AREA IS CALCULATED BY THE COMBINATION OF LOTS 23, 24 & 26

SIGNAGE TABLE			
ITEM	PERMITTED	PROPOSED	COMMENT
FREESTANDING SIGNS			
MAXIMUM SIGN HEIGHT	15 FEET	4.21 FEET	COMPLIANT
MAXIMUM ALLOWED PER FRONTAGE	1 SIGN PER STREET LOT LINE	1 SIGN	COMPLIANT
MAXIMUM AREA ALLOWED	20SF	12 SF	COMPLIANT
WALL SIGNS			
MAXIMUM ALLOWED PER FRONTAGE	1 SIGN PER BUILDING WALL	ALLEY STREET = 1 SIGN	COMPLIANT
		NORTH BUILDING SIDE NO STREET = 1 SIGN	COMPLIANT
		WEST BUILDING SIDE NO STREET = 1 SIGN	COMPLIANT
		ATWELLS AVE = 1 SIGN	COMPLIANT
MAXIMUM AREA ALLOWED	2 SF PER LINER FOOT OF BUILDING	VALLEY STREET 42.72 FT X 2 SF/FT = 85.44 SF (36.9 SF)	COMPLIANT
		NORTH BUILDING SIDE 77.65 SF X 2 SF/FT = 155.3 SF (36.9 SF)	COMPLIANT
		WEST BUILDING SIDE 43 FT X 2 SF/FT = 86 SF (36.9 SF)	COMPLIANT
		ATWELLS AVE = 78.78 FT X 2 SF/FT = 157.56 SF (36.9 SF)	COMPLIANT
		4 SF PER SIGN DRIVE UP LANE DESIGNATOR = 3.1 SF	COMPLIANT
		4 SF PER SIGN CLEARANCE SIGN = 2.1 SF	COMPLIANT
MAXIMUM AREA ALLOWED	4 SF PER SIGN	DIRECTIONAL SIGN = 2.3 SF	COMPLIANT
		4 FT DRIVE UP LANE DESIGNATOR = 1.21 FT	COMPLIANT
MAXIMUM HEIGHT ALLOWED	4 FT	CLEARANCE SIGN = 0.83 FT	COMPLIANT
		DIRECTIONAL SIGN = 3 FT	COMPLIANT
		DIRECTIONAL SIGN = 3 FT	COMPLIANT

PARKING CALCULATIONS:

EXISTING:
 PLAT 65, LOT 23 = 13 SPACES
 PLAT 65, LOTS 24 & 26 = 7 SPACES

PROPOSED:
 PLAT 65, LOTS 23, 24 & 26 = 17 SPACES

REQUIRED:
 MINIMUM ALLOWED: FOR BANK USE = 1 SPACE FOR 500 GFA + 3 STACKING SPACES FOR DRIVE-THRU
 3,500 SF / 500 SF + 3 STACKING = 10 SPACES
 TOTAL MINIMUM = 10 SPACES MINIMUM

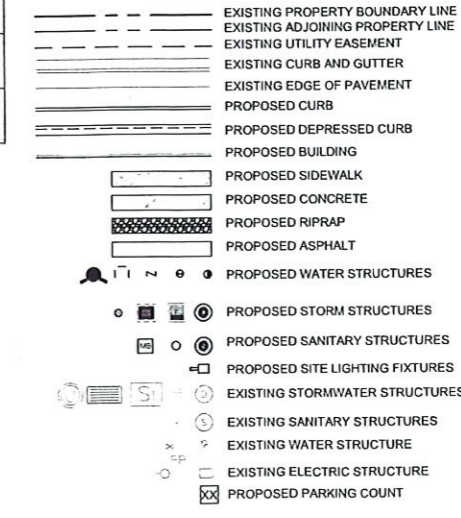
SIGNAGE KEY NOTES: 1

- PROPOSED WHITE w/ BLUE OCTAGON ILLUM CHANNEL LETTERS CHASE LOGO SIGN. (36.9 SF)
- PROPOSED DOUBLE-FACED ILLUMINATED MONUMENT SIGN. (12 SF)
- PROPOSED ILLUM DRIVE UP LANE DESIGNATOR "ATM" SIGN. (3.1 SF)
- PROPOSED NON-ILLUMINATED CLEARANCE SIGN. (2.1 SF)
- PROPOSED DOUBLE FACED NON-ILLUMINATED DIRECTIONAL SIGN. (2.3 SF)

KEYED NOTES: A

- PROPOSED CHASE BANK
- PROPOSED DRIVE-UP ATM
- PROPOSED 22' x 23' CANOPY
- PROPOSED ADA COMPLIANT PARALLEL CURB RAMP
- PROPOSED 8.5' X 18' PARKING SPACE
- PROPOSED 45 DEGREE ANGLED PARKING SPACE. (STALL DIMENSION = 8.5' W X 18')
- PROPOSED 8' X 18' ACCESSIBLE PARKING SPACE AND AISLE
- PROPOSED ACCESSIBLE PARKING SIGNAGE
- PROPOSED REFLECTIVE DIRECTIONAL STRIPING
- PROPOSED STOP BAR
- PROPOSED STOP AND DO NOT ENTER BAR
- PROPOSED PAVEMENT
- PROPOSED CONCRETE PAD
- PROPOSED CONCRETE SIDEWALK
- PROPOSED GRASS/LANDSCAPED AREA
- PROPOSED CONCRETE CURB
- PROPOSED GRANITE CURB
- PROPOSED DEPRESSED CURB
- PROPOSED "STOP" SIGN
- PROPOSED "DO NOT ENTER" SIGN
- PROPOSED "DO NOT ENTER" BAR
- PROPOSED TRASH ENCLOSURE
- PROPOSED BICYCLE RACK
- PROPOSED BOLLARD. REFER TO CONSTRUCTION DETAIL SHEETS.
- PROPOSED INLET. REFER TO RIDOT CONSTRUCTION DETAIL SHEETS.
- PROPOSED FUTURE ATM. CONTRACTOR TO INSTALL ISLAND AND SEE ELECTRICAL DRAWINGS FOR FUTURE STUB UP LOCATIONS.
- PROPOSED ADA CURB RAMP
- PROPOSED RETAINING WALL. REFER TO CONSTRUCTION DETAILS.
- PROPOSED WHEEL STOP.

SITE LEGEND



ALERT TO CONTRACTOR:
 PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ENGINEER AND OWNER SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

CORE STATES INC.
 1700 Hargett Road
 Durham, NC 27603
 919.286.8888
 corestates.com

DOCUMENTS PREPARED BY CORE STATES, INC. ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE PREPARED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY WHOMEVER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS STRICTLY PROHIBITED AND AT THE USER'S OWN RISK. IF USED IN ANY OTHER MANNER THAN SPECIFICALLY INTENDED, USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT

REV	DATE	COMMENT	BY
..	03/04/20	ISSUE FOR B/D	KGF
1	03/13/20	RESOLUTION COMPLIANCE REVISION	HR

DOCUMENT SITE PLAN APPROVAL FOR CHASE BANK

SITE LOCATION
 280 & 284
 VALLEY STREET
 14 NEWARK STREET
 PROVIDENCE, RI

ENGINEER SEAL

SHEET TITLE
 SITE PLAN

JOB #: JPM-25895
 DATE: 05/10/19
 SCALE: AS SHOWN
 DRAWN BY: JXX
 CHECKED BY: JXX

SHEET NO.
C-2

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CALIPER	CONTAINER	SIZE
AR	4	Acer rubrum / Red Maple 1,000 S.F. TREE CANOPY EACH	CONTAINER OR B&B	2" Cal	8'-10' HT.	
PY	2	Prunus x yedoensis / Yoshino Cherry 300 S.F. TREE CANOPY EACH	CONTAINER OR B&B	2" Cal	8'-10' HT.	
OS	4	Quercus shumardii / Shumard Oak 1,000 S.F. TREE CANOPY EACH	CONTAINER OR B&B	2" Cal	8'-10' HT.	
TE	4	Thuja occidentalis 'Emerald' / Emerald Arborvitae	15 gal		6' HT.	
TG	7	Thuja standishii x plicata 'Green Giant' / Green Giant Arborvitae	CONTAINER OR B&B		10'-12' HT.	
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	PLANT SIZE	SPACING
AI	32	Azalea Encore 'Autumn Ivory' TM / Encore Azalea	3 gal	15" HT. x 15" W.	30" o.c.	
CF	27	Cytomium falcatum / Holly Fern	3 gal	FULL POT	24" o.c.	
HL	2	Hosta x 'Twist of Lime' / Plantain Lily OR OTHER WHITE-GREEN VARIEGATED AVAILABLE VARIETY	3 gal	FULL POT	36" o.c.	
JA	45	Juniperus horizontalis 'Andora' / Andora Juniper	3 gal	FULL POT	30" o.c.	
LJ	23	Ligustrum japonicum / Japanese Privet	15 gal	4' HT.	48" o.c.	
MS	21	Miscanthus sinensis 'Adagio' / Dwarf Maiden Grass	3 gal	18" HT. x 18" W.	30" o.c.	
MG	20	Miscanthus sinensis 'Gracillimus' / Maiden Grass	7 gal	4' HT.	48" o.c.	
RX	68	Rosa x 'Apricot Drift' / Apricot Drift Rose	3 gal	FULL POT	24" o.c.	
R3	14	Rosa x 'Radco' / Double Knock Out Red Rose	3 gal	18" HT. x 18" W.	36" o.c.	
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SPACING
ES	92	Eragrostis spectabilis / Purple Love Grass	1 gal	FULL POT	15" o.c.	
ZJ	5,245 sf	Zoysia japonica / Zoysia Grass	flat			

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH IN ALL PLANTING AREAS (EXCEPT FOR TURF AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.

PLANTING AND IRRIGATION GUARANTEE

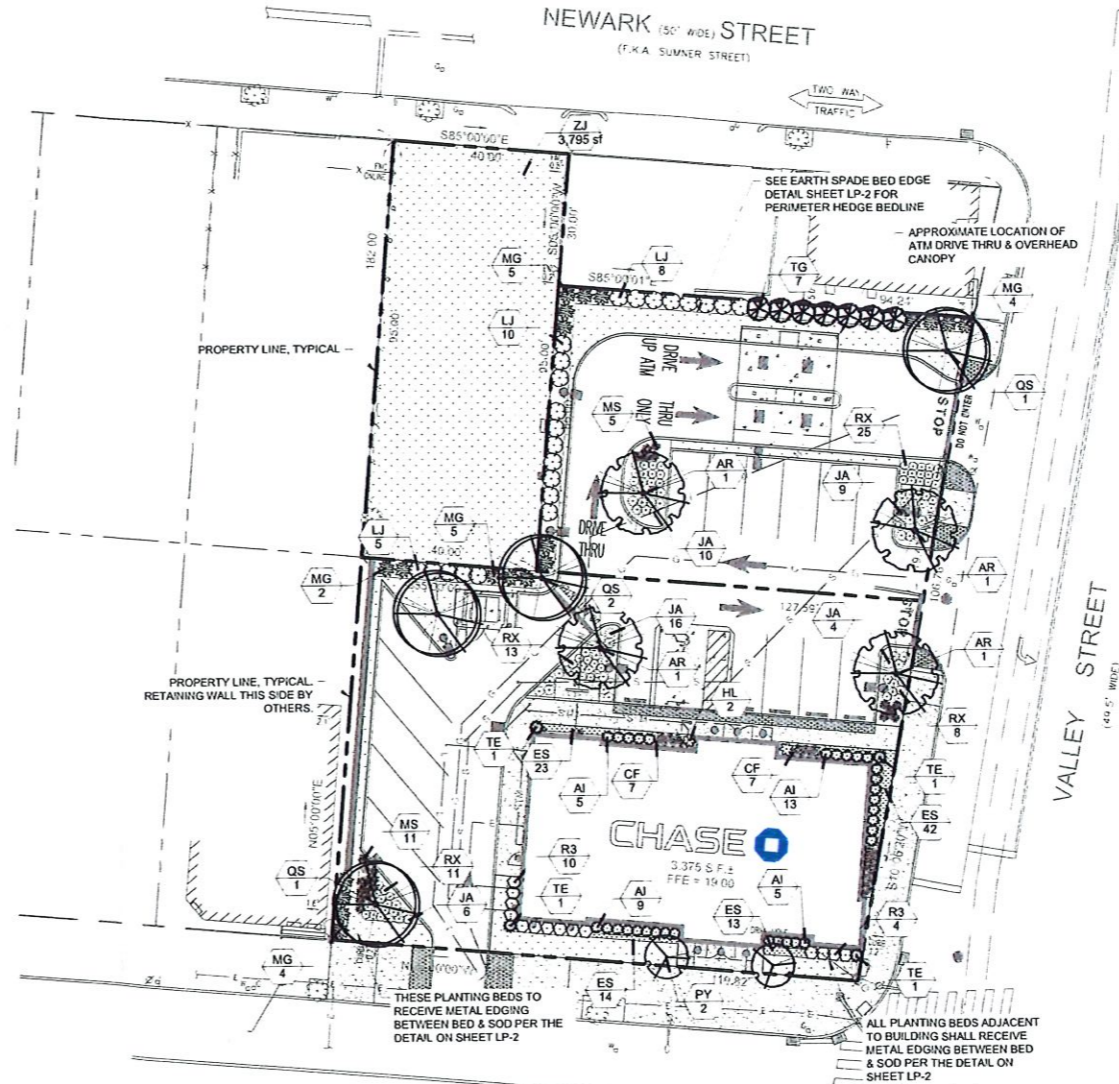
THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED AND EXISTING PLANTS SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR APPROPRIATE WATERING OF THE LANDSCAPE THROUGHOUT A PROPERLY DESIGNED IRRIGATION SYSTEM. THE OWNER SHALL APPROVE THE SYSTEM DESIGN BEFORE INSTALLATION OF PLANTS OR IRRIGATION.

GENERAL PLANTING NOTES

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN). BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
- CONSTRUCT AND MAINTAIN FINISH GRADES IN LANDSCAPE AREAS AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ENSURE THAT THE GRADE IN SHRUB AREAS SHALL BE 2" BELOW FINISH GRADE AFTER INSTALLING SOIL AMENDMENTS, AND 1" BELOW FINISH GRADE IN SOO AREAS AFTER INSTALLING SOIL AMENDMENTS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
- INSTALL 5 OUNCE, WOVEN, NEEDLE-PUNCHED POLYPROPYLENE FABRIC (6" W/IT "PRO-5" OR EQUAL) UNDER ALL MULCHED AREAS AND INDIVIDUAL TREE RINGS.
- INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING BEDS AND TREE RINGS. DO NOT INSTALL MULCH WITHIN 5" OF TREE ROOT FLARE.
- INSTALL 1/4" GREEN STEEL EDGING BETWEEN ALL PLANTING BEDS AND TURF AREAS, AND BETWEEN GROUNDCOVERS AND OTHER PLANTS (WHERE INDICATED ON THE PLAN).
- HYDROMULCH ALL DISTURBED AREAS OUTSIDE OF PROPERTY LIMITS (UNLESS SHOWN AS SOO).
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES, PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
- NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
- PLANTS MAY BE INSPECTED AND APPROVED OR REJECTED ON THE JOBSITE BY THE OWNER OR OWNER'S REPRESENTATIVE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- SHOULD SEEDED AND/OR SOODED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
- TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
 - SOODED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2" INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESEDED OR RESEEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SOODED TURF SHALL BE NEATLY MOWED.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

NOTE:
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE DESIGNER DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES AS SUCH. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING EXISTING UTILITIES IN THE VICINITY OF THE PROPOSED IMPROVEMENTS AND UTILITY CONNECTION POINTS PRIOR TO THE START OF CONSTRUCTION TO ASCERTAIN EXACT MATERIALS, LOCATIONS, ELEVATIONS, ETC. AND THE R/P POTENTIAL CONFLICT WITH PROPOSED IMPROVEMENTS. GC SHALL CONSULT WITH CONSTRUCTION MANAGER AND ENGINEER AS APPROPRIATE BEFORE PROCEEDING WITH WORK.

PROVIDENCE, RI PERMIT LANDSCAPE PLAN REQUIREMENTS				
REQUIRED TREE CANOPY	TOTAL PARCEL (SF)	REQUIREMENT (%)	REQUIRED CANOPY (SF)	PROVIDED CANOPY (SF)
15% of Lot Devoted to Landscape	20,500	0.15	3,075	8,900
PERIMETER PARKING LOT LANDSCAPE				
LOT LENGTH ALONG R/W (FT.)	REQUIREMENT	REQUIRED LANDSCAPE	PROVIDED LANDSCAPE	
5' Wide x 6' Curb Offset Adjacent to ROW	76	1 Shade Tree / 25 L.F. 60% Length w/ 3 Shrubs OR Wall @ 3'-4" ht.	3 Shade Trees Approx. 30 Shrubs in Double-Row Configuration @ 3' o.c.	3 Shade Trees 79 Shrubs
INTERIOR PARKING LOT LANDSCAPE				
PARKING LOT AREA (SF)	REQUIREMENT	REQUIRED LANDSCAPE	PROVIDED LANDSCAPE	
Interior Landscape Area Shall be Minimum of 10% of Total Parking Area Excluding Perimeter Landscape Areas. 1 Island / 10 Pkg. Spaces	8,520	1 Shade Tree / Each Car-Length Island with Living Groundcover	7 Shade Trees with 852 s.f. Minimum of Living Groundcover	7 Shade Trees with 115 Plants (852 s.f. Minimum)
PERIMETER PKING LOT LS ABUTTING RESIDENTIAL				
LOT LENGTH ALONG RES. (FT.)	REQUIREMENT	REQUIRED LANDSCAPE	PROVIDED LANDSCAPE	
87	4' Ht. Wall, Fence or Hedge	(2) 4' Ht. M.n. Shrubs @ 4' o.c.	4 Shrubs (Wall Provided)	



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REV	DATE	COMMENT	BY
001	4.15.20	Revised CAD Base	GP

DOCUMENT
 SITE PLAN APPROVAL FOR CHASE BANK
 SITE LOCATION
 280 & 284 VALLEY STREET
 14 NEWARK STREET
 PROVIDENCE, RI

ENGINEER SEAL
 THOMAS PICKERING
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 RI LICENSE #12554
 SHEET TITLE
 LANDSCAPE PLANTING

JOB #	JPA-25895
DATE	04/15/2020
SCALE	
DRAWN BY	G.P.
CHECKED BY	G.P./R.M.
SHEET NO.	LP-1



