

JAN 18 2023

CITY OF PROVIDENCE  
ZONING BOARD OF REVIEW

APPLICATION FOR VARIANCE OR SPECIAL USE PERMIT

Check Each Type Zoning Relief Sought:

- Variance – Use \*
- Variance – Dimensional\*
- Special Use Permit \*\*

\* Attach Appendix A to apply for a Use or Dimensional Variances

\*\* Attach Appendix B to apply for a Special Use Permit

**Applicant:** West End Preservation Apartments, L.P.

**Address** c/o Women's Development Corp. 861A Broad Street, Providence, RI  
**Zip Code** 02907

**E-mail** thomasdavison@wdchoc.org  
**Phone** 401.941.2900  
*Home/Office*

*Mobile (Cell)* \_\_\_\_\_

**Owner:** Women's Development Corporation

**Address** 861A Broad Street, Providence, RI  
**Zip Code** 02907

**E-mail** thomasdavison@wdchoc.org  
**Phone** 401.941.2900  
*Home/Office*

*Mobile (Cell)* \_\_\_\_\_

**Lessee:** N/A

**Address** \_\_\_\_\_  
**Zip Code** \_\_\_\_\_

**E-mail** \_\_\_\_\_  
**Phone:** \_\_\_\_\_  
*Home/Office*

*Mobile (Cell)* \_\_\_\_\_

Does the proposal require review by any of the following (check each):

- Downtown Design Review Committee
- I-195 Redevelopment District Commission
- Capital Center Commission
- Historic District Commission

1. **Location of Property:** 39 and 41 Gilmore Street  
*Street Address*

2. **Zoning District(s):** R-3  
**Special purpose or overlay district(s):** \_\_\_\_\_

3a. **Date owner purchased the Property:** December 26, 1991

3b. **Month/year of lessee's occupancy:** N/A

**3. Dimensions of each lot:**

Lot # <u>239 (new)</u>	Frontage <u>91.81</u>	depth <u>84.24/86.19</u>	Total area <u>6,866.80</u>	sq. ft.
Lot # _____	Frontage _____	depth _____	Total area _____	sq. ft.
Lot # _____	Frontage _____	depth _____	Total area _____	sq. ft.

**4. Size of each structure located on the Property:**

<b>Principal Structure:</b>	<b>Total gross square footage</b>	<u>2565 sq ft</u>
Footprint <u>802 sq ft</u>	Height <u>28' +/-</u>	Floors <u>2</u>

<b>Accessory Structure:</b>	<b>Total gross square footage</b>	_____
Footprint _____	Height _____	Floors _____

<b>5. Size of proposed structure(s):</b>	<b>Total gross square footage:</b>	<u>3738 sq ft</u>
Footprint <u>1246 sq ft.</u>	Height <u>33' 6"</u>	Floors <u>2</u>

**6a. Existing Lot coverage:** *(include all buildings, decks, etc.)* 11.5% (60.0% impervious)

**6b. Proposed Lot coverage:** *(include new construction)* 30.4% (62.6% impervious)

**7a. Present Use of Property (each lot/structure):**

Residential-two units

**7b. Legal Use of Property (each lot/structure) as recorded in Dept. of Inspection & Standards:**

Residential-Two Family

**8. Proposed Use of Property (each lot/structure):**

Residential 4 units

**9. Number of Current Parking Spaces:** 2

**10. Describe the proposed construction or alterations (each lot/structure):**

The existing building to have exterior and interior repairs, as well as kitchen and bath renovations. New or refinished flooring and new paint throughout. Proposed construction of new 2 story, 2 unit residence with an accessible first floor unit.

**11. Are there outstanding violations concerning the Property under any of the following:**

- Zoning Ordinance
- RI State Building Code
- Providence Housing Code

**12. List all Sections of the Zoning Ordinance from which relief is sought and description of each section:**

<u>1300 A.</u>	<u>Number of structures on a lot. No more than one principal building per lot in R-3 zone.</u>
_____	_____
_____	_____
_____	_____
_____	_____

**13. Explain the changes proposed for the Property.**

Applicant proposes to build a second building on the lot that would contain 2 units of deed restricted affordable rental units.  
Applicant would also improve the parking and the site as per The Development Plan for West End III Project 41 Gilmore Street.  
All current fencing on the site to be removed and new fencing to be installed along the property lines.

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*The undersigned acknowledge(s) and agree(s) that members of the Zoning Board of Review and its staff may enter upon the exterior of the Property in order to view the Property prior to any hearing on the application.*

*The undersigned further acknowledge(s) that the statements herein and in any attachments or appendices are true and accurate, and that providing a false statement in this application may be subject to criminal and/or civil penalties as provided by law, including prosecution under the State and Municipal False Claims Acts. Owner(s)/Applicant(s) are jointly responsible with their attorneys for any false statements.*

**Owner(s):**

West End Preservation Apartments, L. P.  
Type Name  
  
Signature  
Charlotte Thomas-Davison  
Type Name  
  
Signature

**Applicant(s):**

Women's Development Corporation  
Type Name  
  
Signature  
Charlotte Thomas-Davison  
Type Name  
  
Signature

**All requirements listed and described in the Instruction Sheet must be met or this application will not be considered complete.**

APPENDIX A

APPLICATION FOR VARIANCE(S)

Rhode Island General Laws § 45-24-41(c) requires that the Applicant for a variance demonstrate:

- (1) That the hardship from which the applicant seeks relief is due to the unique characteristics of the subject land or structure and not to the general characteristics of the surrounding area; and is not due to a physical or economic disability of the applicant, excepting those physical disabilities addressed in § 45-24-30(16);
(2) That the hardship is not the result of any prior action of the applicant and does not result primarily from the desire of the applicant to realize greater financial gain;
(3) That the granting of the requested variance will not alter the general character of the surrounding area or impair the intent or purpose of the zoning ordinance or the comprehensive plan upon which the ordinance is based;
(4) That the relief to be granted is the least relief necessary; and
(5) (a) For a use variance: That the land or structure cannot yield any beneficial use if it is required to conform to the provisions of the zoning ordinance;
(b) For a dimensional variance, that the hardship suffered by the owner of the subject property if the dimensional variance is not granted amounts to more than a mere inconvenience.

Please provide the following information:

1. What is the specific hardship from which the applicant seeks relief?

Article 1300 A. regarding the number of principal structures on a lot. Applicant requests permission to construct a second structure on a single lot.

2. Specify any and all unique characteristics of the land or structure that cause the hardship?

The proposed lot after being combined via administrative subdivision will be allowed by right to have up to 4 rowhouses, if built new. The existing building is to remain for both its historic nature, as well as its existing character within the neighborhood. The addition of a second building on the lot will allow for an additional 2 units of affordable housing with out changing the unit density for this lot size allowed per zoning.

Zoning table 4-1 rowhouses require 5000 sq ft min. and 1650 sq ft/unit. Our new lot is 6866.8 sq ft. 6866.8/1650 = 4.16 units allowable

3. (a) Is the hardship caused by an economic disability? Yes \_\_\_ No x \_\_\_

(b) Is the hardship caused by a physical disability? Yes \_\_\_ No x \_\_\_

(c) If the response to subsection (b) is "yes," is the physical disability covered by the Americans with Disabilities Act of 1990 (ADA), 42 U.S.C. § 12101 et seq.?

Yes \_\_\_ No \_\_\_

4. Did the owner/applicant take any prior action with respect to the Property that resulted in the need for the variance requested? (Examples include, but are not limited to, any changes the owner/applicant made to the structure(s), lot lines, or land, or changes in use of the Property)?

Yes \_\_\_ No x \_\_\_

If "yes," describe any and all such prior action(s), and state the month/year taken.

\_\_\_\_\_



**5. State any and all facts to support your position that the applicant is not seeking the variance(s) primarily in order to obtain greater financial gain.**

Applicant, Women's Development Corporation is a Rhode Island non-profit corporation and with a mission to provide safe affordable housing.  
If this application is approved, the housing units will be subject to a long term deed restriction assuring affordable rental units pursuant to RIGL 45-53-1.

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**6. State any and all facts that support your position that you are seeking the least relief necessary to lessen or eliminate the hardship (for example, why there are no viable alternatives to your proposed plan).**

Other than a pre-existing non-conforming condition with the existing building, namely the side setback on the north side, the Applicant's proposal calls for each building to comply with all bulk and yard requirements of the district in which it sits as in those districts that allow more than 1 building per lot.

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**7. If you are seeking a USE VARIANCE, set forth all facts that demonstrate that the Property cannot have any beneficial use if you are required to use it in a manner allowed in the zoning district.**

N/A

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**8. If you are seeking a DIMENSIONAL VARIANCE, set forth all facts that indicate that if the variance is not granted, the hardship the owner/applicant will suffer is more than a mere inconvenience.**

If the variance is not granted, the City lose the chance to have 2 newly constructed and much needed affordable rental units.

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# DEVELOPMENT PLAN

FOR

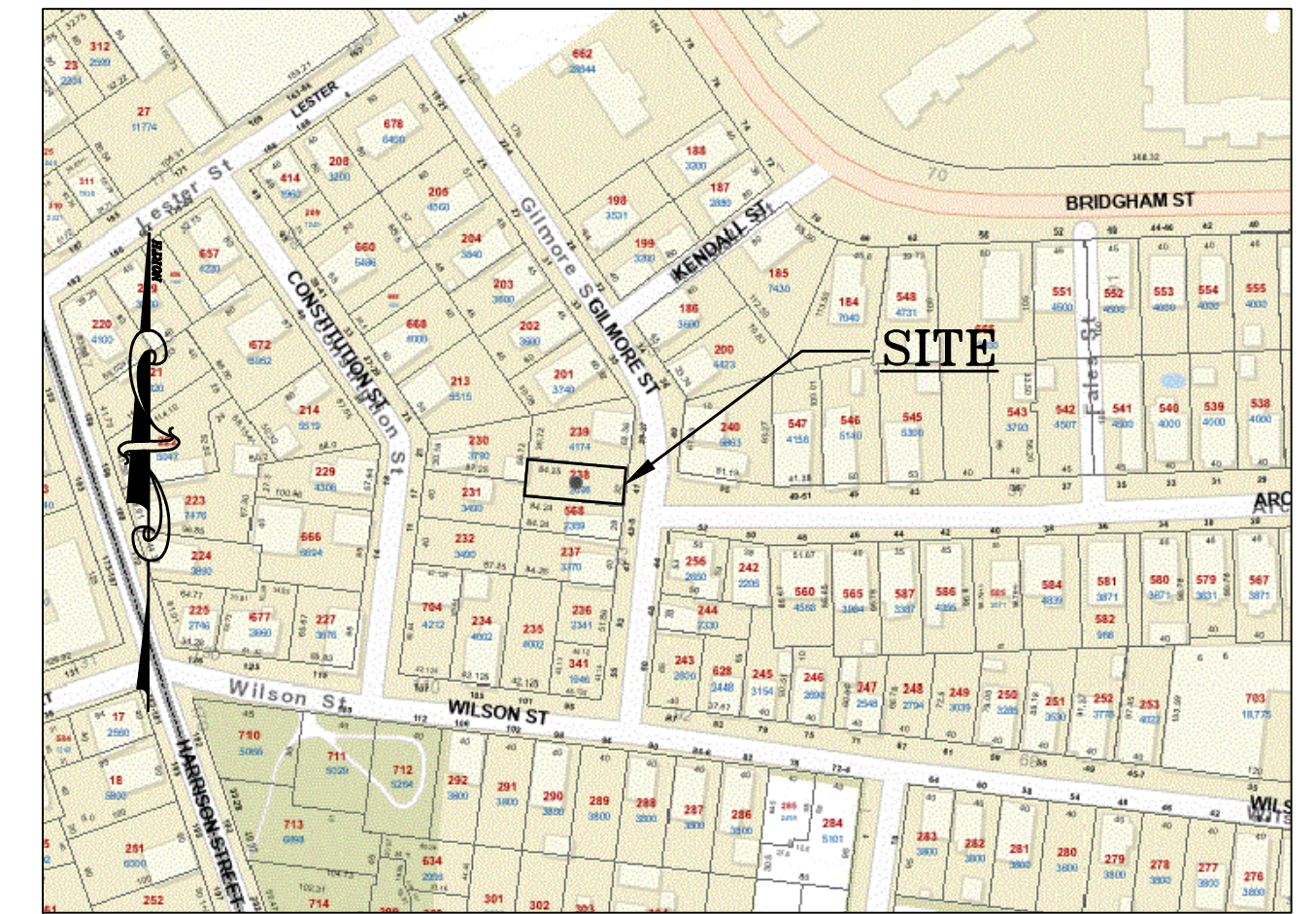
## WEST END III PROJECT

### 41 GILMORE STREET

### ASSESSOR'S MAP 30, LOT 238

in

### PROVIDENCE, RHODE ISLAND



**LOCUS MAP**  
SCALE 1" = 500'



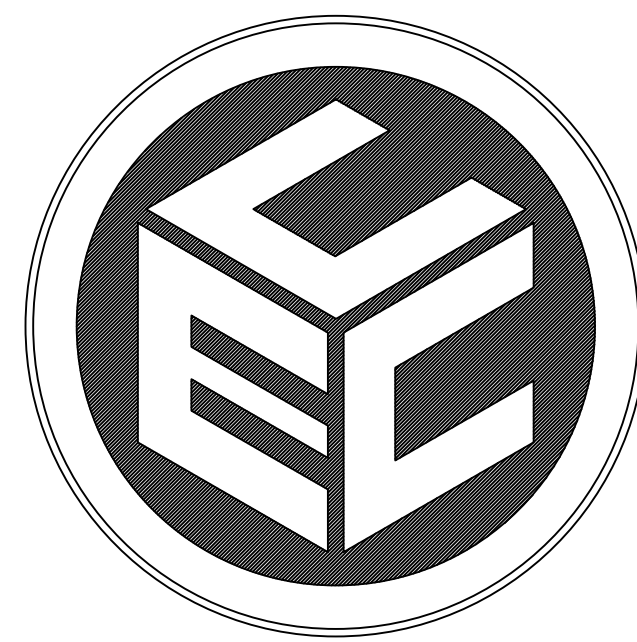
**AERIAL MAP**  
SCALE 1" = 500'

**SHEET INDEX**

1. TITLE SHEET
2. NOTES AND LEGEND
3. 200-FOOT RADIUS PLAN
4. EXISTING CONDITIONS PLAN
5. PROPOSED CONDITIONS PLAN
6. SOIL EROSION AND SEDIMENT CONTROL PLAN
7. CONSTRUCTION DETAILS
8. CLASS VI ADMINISTRATIVE SUBDIVISION PLAN BY COMMONWEALTH LAND SURVEYORS, INC

**STATE AND LOCAL PERMITS:**

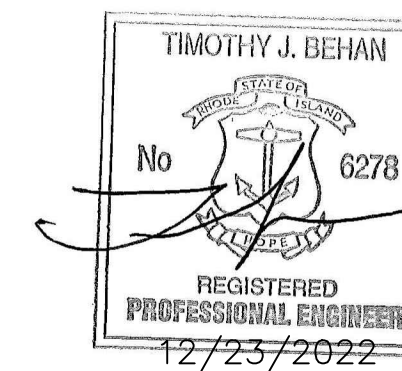
- CITY PROVIDENCE**  
1. SEWER CONNECTION PERMIT
- PROVIDENCE WATER SUPPLY BOARD**  
1. POTABLE WATER CONNECTION PERMIT
- NARRAGANSETT BAY COMMISSION**  
1. SEWER CONNECTION PERMIT



PREPARED BY:  
**COMMONWEALTH**  
ENGINEERS & CONSULTANTS, INC.

400 SMITH STREET  
PROVIDENCE, RHODE ISLAND 02908  
(401) 273-6600

DATE: **DECEMBER 13, 2022**  
**DECEMBER 23, 2022**



**DRAWING ISSUE:**

- CONCEPT
  - CUSTOMER APPROVAL
  - PERMITTING
  - CONSTRUCTION
  - AS-BUILT
  - OTHER:
- ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

**OWNER/APPLICANT:**  
**WOMENS DEVELOPMENT CORPORATION**  
861A BROAD STREET  
PROVIDENCE, RI 02909  
(401) 941-2900

**CONTACT:**  
CHARLOTTE THOMAS-DAVISON  
DIRECTOR OF REAL ESTATE DEVELOPMENT  
PHONE: 401-941-2900  
EMAIL: THOMASDAVISON@WDCHOC.ORG

**PLAN NOTE:**

1. ONLY PLANS STAMPED 'ISSUED FOR CONSTRUCTION' AFTER RECEIPT OF LOCAL/STATE APPROVALS SHALL BE USED FOR CONSTRUCTION.

ALL PLANS AND IMPROVEMENTS CONFORM TO ALL EXISTING AND AMENDED STANDARDS OF THE STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND BOARD OF REGISTRATION FOR LAND SURVEYORS.

**PROJECT NO. 22035.00**



LEGEND

- PARCEL PROPERTY LINE
ADJACENT PROPERTY LINE
EXISTING FENCE LINE
EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR
EXISTING CONTOUR TAKEN FROM RIDEM LIDAR
EXISTING GAS LINE
EXISTING WATER LINE
EXISTING SEWER LINE
GAS VALVE BOX
WATER VALVE BOX
UTILITY POLE AND NUMBER
EXISTING SEWER MANHOLE
EXISTING TELEPHONE MANHOLE
PROPOSED DRAINAGE MANHOLE
PROPOSED CATCH BASIN
SOLID WHITE LINE
SOLID YELLOW DOUBLE LINE
BUILDING SETBACK LINE
PROPOSED CONTOUR LINE
PROPOSED SPOT GRADE
PROPOSED FENCE
PROPOSED WATER LINE
PROPOSED SEWER LINE
PROPOSED SOLAR PARKING AREA LIGHT
EXISTING IRON ROD
P K NAIL
BUILDING SETBACK LINE

- APPROXIMATE BITUMINOUS BOTTOM
CATCH BASIN
CEMENT
CUBIC FEET
CUBIC FEET PER SECOND
CENTERLINE
PRESSURE RATING CLASS
CEMENT-LINED DUCTILE IRON
CONCRETE
CORRUGATED PLASTIC PIPE
CUBIC YARD
DOUBLE-GRATE
DRAIN MANHOLE
ELEVATION
EXISTING
ESTIMATED SEASONAL HIGH GROUNDWATER TABLE
GROUNDWATER TABLE
GAS GATE VALVE
HIGH-DENSITY POLYETHYLENE
HOT MIX ASPHALT
INVERT
LENGTH
LIMIT OF DISTURBANCE
LEFT
MAXIMUM
MODULAR CONCRETE UNIT
MINIMUM
PROPOSED
POLY-VINYL CHLORIDE
POUNDS PER SQUARE INCH (PRESSURE RATING)
POINT OF CURVATURE
POINT/POINT OF TANGENCY
POINT OF VERTICAL INFLECTION
REMOVE & DISPOSE
REMOVE & RESET
REMOVE & STOCKPILE
REINFORCED CONCRETE PIPE
RIGHT
SCHEDULE (PIPES)
STANDARD DIMENSION RATIO
SEDIMENT
SOIL EROSION & SEDIMENTATION CONTROL
SOIL EVALUATION
SQUARE FEET
SINGLE-GRATE
SEWER MANHOLE
STAINLESS STEEL
STATION
SQUARE YARD
TEMPORARY
TEST HOLE
VERTICAL
WIDTH
WETLAND FLAG
WATER QUALITY
YEAR
FEET
INCHES
VERTICAL FEET/HORIZONTAL FOOT

GENERAL NOTES:

- THESE PLANS HAVE BEEN ISSUED FOR LOCAL AND/OR STATE AGENCY REVIEW. ONLY PLANS STAMPED 'ISSUED FOR CONSTRUCTION' AFTER RECEIPT OF ALL LOCAL AND STATE APPROVALS SHALL BE USED FOR CONSTRUCTION.
SPECIFICATIONS & DETAILS GOVERNING THIS PROJECT ARE THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, 2018 EDITION & CITY OF PROVIDENCE SUBDIVISION & LAND DEVELOPMENT STANDARDS.
THE CONTRACTOR SHALL READ AND FAMILIARIZE ITSELF WITH THE CITY'S SUBDIVISION & LAND DEVELOPMENT REGULATIONS (AS THEY PERTAIN TO CONSTRUCTION) PRIOR TO CONSTRUCTION.
ANY REQUIRED AUTHORIZATION/PERMITS TO PERFORM WORK NOT PREVIOUSLY SECURED & PROVIDED BY THE OWNER SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION; THE CONTRACTOR SHALL ADHERE TO THE TERMS, CONDITIONS AND REQUIREMENTS OF ALL STATE & LOCAL PERMITS ISSUED FOR THE PROJECT.
THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY CONSTRUCTION OPERATIONS, INCLUDING ALL ACTIONS OR OMISSIONS OF ANY SUBCONTRACTORS, AGENTS OR EMPLOYEES.
NO EXISTING DRAINAGE STRUCTURE OR FACILITY SHALL BE ALTERED OR DISTURBED UNLESS SPECIFICALLY INDICATED ON THESE DRAWINGS.
ALL DISTURBED AREAS/STRUCTURES SHALL BE REPLACED IN-KIND, UNLESS OTHERWISE SHOWN OR AUTHORIZED BY THE CITY.

SITE NOTES:

- THE SITE IS LOCATED ON THE CITY OF PROVIDENCE ASSESSORS PLAT 30, LOTS 238 AND 239. THESE LOTS WERE MERGED THROUGH ADMINISTRATIVE SUBDIVISION IN DECEMBER 2022.
THE SITE IS APPROXIMATELY 0.16 ACRES AND IS ZONED R-3 (NEIGHBORHOOD COMMERCIAL DISTRICT)
THE OWNER AND APPLICANT IS: WOMENS DEVELOPMENT CORPORATION
861A BROAD STREET, PROVIDENCE, RI 02909 (401) 941-2900
FLOOD ZONE: THE SUBJECT PROPERTY IS NOT SITUATED IN THE 100-YEAR FLOOD ZONE AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD RATE INSURANCE MAP, PROVIDENCE COUNTY, MAP #44007C030BJ EFFECTIVE 10/2/2015 AND MAP #44007C0316G EFFECTIVE 3/2/2009
TOPOGRAPHY AND LOCATION OF SITE FEATURES WAS PERFORMED BY COMMONWEALTH LAND SURVEYORS.
VERTICAL DATUM IS NAVD 83 (MSL).
PROPOSED BUILDING TO BE SERVED BY PUBLIC WATER AND SEWER.
REVIEW OF THE RIDEM ENVIRONMENTAL RESOURCE MAP CONCLUDED THE SITE IS NOT LOCATED IN A GROUNDWATER PROTECTION AREA, A NATURAL HERITAGE AREA OR A GROUNDWATER PROTECTION OVERLAY DISTRICT.
THE SITE IS PROPOSED TO BE CONSTRUCTED IN ONE (1) PHASE. THE BUILDING IS PROPOSED TO HAVE COMMERCIAL TENANT SPACE CONSISTING OF 2 UNITS

EXISTING CONDITIONS/UTILITIES NOTES:

- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING DRAINAGE AND UTILITIES, BOTH UNDERGROUND AND OVERHEAD BEFORE EXCAVATION BEGINS IN ACCORDANCE WITH 'DIG SAFE'.
ALL EXISTING UTILITIES HAVE BEEN PLOTTED BASED UPON THE BEST INFORMATION AVAILABLE AT THE TIME OF PLAN PREPARATION AND REPRESENT APPROXIMATE LOCATIONS.
BEFORE PROCEEDING WITH CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL MAKE SUCH SUPPLEMENTAL INVESTIGATIONS, INCLUDING EXPLORATORY EXCAVATIONS BY HAND DIGGING, AS HE DEEMS NECESSARY TO UNCOVER AND DETERMINE THE EXACT LOCATIONS OF UTILITIES AND STRUCTURES AND SHALL HAVE NO CLAIMS FOR DAMAGES DUE TO ENCOUNTERING SUBSURFACE STRUCTURES OR UTILITIES IN LOCATIONS OTHER THAN THOSE SHOWN ON THE DRAWINGS, OR WHICH ARE MADE KNOWN TO THE CONTRACTOR PRIOR TO CONSTRUCTION OPERATIONS.
PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL ENGAGE A RI PROFESSIONAL LAND SURVEYOR TO SET AND VERIFY ALL LINES AND GRADES.
WHENEVER IT MAY BE NECESSARY TO CROSS OR INTERFERE WITH EXISTING CULVERTS, DRAINS, SEWERS, WATER PIPES, FIXTURES, GUARDRAILS, FENCES, GAS PIPES, OR OTHER STRUCTURES NEEDING SPECIAL CARE, DUE NOTICE SHALL BE GIVEN TO THE OWNER.
WHENEVER REQUIRED, ALL OBJECTS SHALL BE STRENGTHENED TO MEET ANY ADDITIONAL STRESS THAT THE WORK HEREIN SPECIFIED MAY IMPOSE UPON IT, AND ANY DAMAGE CAUSED SHALL BE THOROUGHLY REPAIRED.

SUBSURFACE CONDITIONS NOTES:

- ALL SOIL AND TEST HOLE DATA, WATER TABLE ELEVATIONS, AND SOIL ANALYSIS SHOWN/REFERENCED ON THE DRAWINGS OR INCLUDED IN THE SPECIFICATIONS APPLY ONLY AT THE LOCATION OF THE TEST HOLES AND TO THE DEPTHS INDICATED.
ANY ADDITIONAL SUBSURFACE EXPLORATION SHALL BE DONE BY THE CONTRACTOR AT THEIR OWN EXPENSE.
REVIEW OF THE RIDEM ENVIRONMENTAL RESOURCE MAP SHOW THE SITE SOILS ARE CLASSIFIED AS MERRIMAC-URBAN LAND COMPLEX (MU).
PUBLIC RECORD SHOW THAT SOIL EVALUATION WERE PERFORMED BY COMMONWEALTH ENGINEERING THESE SOIL EVALUATION HAVE BEEN USED FOR DRAINAGE DESIGN.

EARTHWORK NOTES:

- SPECIFICATIONS & DETAILS TO GOVERN THIS PROJECT ARE THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION - AUGUST 2018 EDITION (INCLUDING ALL SUBSEQUENT ADDENDA) AS WELL AS CITY OF PROVIDENCE STANDARDS; WHERE APPLICABLE, THE CITY'S STANDARDS SHALL OVERRIDE RIDOT STANDARDS.
RIDOT STANDARDS ARE AVAILABLE FOR DOWNLOAD FROM THE RIDOT WEBSITE UNDER 'STANDARDS AND SPECIFICATIONS'.
EMBANKMENT SLOPES AND ALL DISTURBED AREAS ARE TO RECEIVE 4" OF TOPSOIL AND GRASS SEED UNLESS OTHERWISE NOTED.
ALL EXCAVATION AND PLACEMENT OF FILL SHALL BE IN ACCORDANCE WITH R.I.D.O.T. STANDARD SPECIFICATIONS SECTION 202 AND CITY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
ALL AREAS COMPACTED BY CONSTRUCTION ACTIVITIES (OTHER THAN ROADWAYS AND BENEATH STRUCTURES) SHALL BE RESTORED TO PROMOTE INFILTRATION BY TILLING THE TOP 12 INCHES OF SOIL PRIOR TO FINAL STABILIZATION.
ALL UNSUITABLE MATERIAL (LOAM, SUBSOIL, ROOTS, TREE TRUNKS, CLAY, SILT, ORGANIC MATTER, LARGE STONES, ETC.) SHALL BE REMOVED FROM THE ROADWAY SUBGRADE AND EMBANKMENT AREAS PRIOR TO THE PLACEMENT OF THE GRAVEL SUBBASE/BERM MATERIAL AS DIRECTED AND APPROVED.
SUITABLE SURPLUS MATERIAL GENERATED BY EXCAVATIONS WITHIN THE PROJECT AREA (SAND, GRAVEL, LOAM, ETC.) SHALL BE RE-USED, TO THE EXTENT POSSIBLE, IN OTHER LOCATIONS WITHIN THE PROJECT AREA.

ADA NOTES:

- ALL IMPROVEMENTS SHALL COMPLY WITH "THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) BY THE DEPARTMENT OF JUSTICE.
MAXIMUM RUNNING SLOPE ALONG ALL ACCESSIBLE PATHS OF TRAVEL SHALL BE LESS THAN 5% AND A MAXIMUM CROSS SLOPE SHALL BE LESS THAN 2%.
MAXIMUM SLOPE FOR ALL DIRECTIONS FOR ALL ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL BE LESS THAN 2%.
A MIN. 5-FOOT BY 5-FOOT LANDING WITH A MAXIMUM SLOPE OF LESS THAN 2% IN ALL DIRECTIONS SHALL BE PROVIDED AT ALL PUBLICLY ACCESSIBLE BUILDING ENTRANCES/EGRESSES.
SIDEWALK CURB RAMPS SHALL COMPLY WITH RIDOT AND CITY OF PROVIDENCE DETAILS INCLUDED IN THIS PLAN SET.
PLEASE NOTE THE GRADING AND PLAN VIEWS AS WELL AS STANDARD DETAILS MAY NOT SHOW THE DETAIL REQUIRED TO CONSTRUCT WALKWAYS AND RAMPS TO ADA STANDARDS.

WORK IN CITY OF PROVIDENCE R.O.W.:

- ALL WORK IN THE CITY OF PROVIDENCE RIGHT OF WAY SHALL COMPLY WITH CITY OF PROVIDENCE REGULATIONS, RULES AND ORDINANCES.
THE CITY'S STANDARDS SHALL OVERRIDE RIDOT STANDARDS OUTSIDE OF STATE R.O.W.'S. ALL WORK IN THE PUBLIC RIGHT OF WAYS MUST BE IN ACCORDANCE WITH THE CITY'S STANDARD DETAILS.
CONTRACTOR SHALL REPAIR/RECONSTRUCT ANY DAMAGED ROADWAY, CROSSWALK, SIDEWALK AND WHEELCHAIR RAMP TO THE SATISFACTION OF THE CITY OF PROVIDENCE DEPARTMENT OF PUBLIC WORKS AT NO ADDITIONAL EXPENSE TO THE OWNER.
CONTRACTOR TO COORDINATE WITH THE CITY OF PROVIDENCE TO RESET/RELOCATED ANY STREET SIGNS THAT WILL REQUIRE RELOCATION DURING CONSTRUCTION.
ALL CURBING WITHIN THE PUBLIC R.O.W. SHALL BE GRANITE PER THE PROVIDENCE DPW STANDARDS AVAILABLE AT: https://www.providenceri.gov/public-works/forms/ UNDER 'REPORTS + PUBLICATIONS' OR AT https://www.providenceri.gov/wp-content/uploads/2019/06/providence-dpw-standard-details.pdf.
ANY GRANITE CURB THAT IS REMOVED AND NOT RE-USED SHALL BE RETURNED TO THE PROVIDENCE DEPARTMENT OF PUBLIC WORKS.

MAINTENANCE AND PROTECTION OF TRAFFIC NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC DURING CONSTRUCTION, INCLUDING POLICE PROTECTION.
TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH R.I.D.O.T. SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.
ALL ACTIVITIES THAT IMPACT THE PUBLIC ROW MUST BE PERMITTED THROUGH THE PROVIDENCE DPW TRAFFIC ENGINEERING DIVISION, INCLUDING, BUT NOT LIMITED TO: SIDEWALK CLOSURE, LANE CLOSURE, DETOUR AND STREET OPENING.

GROUNDWATER REMOVAL & PROTECTION FROM FLOODING:

- IF GROUNDWATER IS ENCOUNTERED AND DEWATERING IS NECESSARY, A DEWATERING PLAN MUST BE PRESENTED TO AND APPROVED BY THE ENGINEER.
THE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN ALL PUMPS, DRAINS, WELL POINTS AND/OR ANY OTHER FACILITIES FOR THE CONTROL, COLLECTION, AND DISPOSAL OF GROUNDWATER OR SURFACE AND SUBSURFACE WATER ENCOUNTERED IN THE PERFORMANCE OF THE WORK.
DEWATERING OF EXCAVATIONS SHALL BE ACCOMPLISHED BY METHODS THAT HAVE BEEN APPROVED PRIOR TO COMMENCEMENT OF WORK BY THE ENGINEER/ENVIRONMENTAL ENGINEER, AND WHICH HAVE A BACKGROUND OF SUCCESSFUL DEWATERING OF EXCAVATIONS OF THE TYPE TO BE EMPLOYED FOR THE WORK.
PUMPING SHALL BE CONTINUOUS WHERE DIRECTED AND/OR AS NECESSARY TO PROTECT THE WORK, AND TO MAINTAIN SATISFACTORY PROGRESS OF SAME.
THE CONTRACTOR'S DEWATERING AND PUMPING OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT NO CONTAMINATED WATER IS DISCHARGE FROM THE SITE.
THE CONTRACTOR'S DEWATERING AND PUMPING OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT NO LOSS OF GROUND WILL RESULT FROM THESE OPERATIONS.
ALL PIPELINES OR STRUCTURES NOT STABLE AGAINST UPLIFT DURING CONSTRUCTION OR PRIOR TO COMPLETION SHALL BE THOROUGHLY BRACED OR OTHERWISE PROTECTED.

DRAWING ISSUE:

- CONCEPT
CUSTOMER APPROVAL
PERMITTING
CONSTRUCTION
AS-BUILT
OTHER:
ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

OWNER/APPLICANT: WOMENS DEVELOPMENT CORPORATION
861A BROAD STREET PROVIDENCE, RI 02909 (401) 941-2900
CONTACT: CHARLOTTE THOMAS-DAWSON DIRECTOR OF REAL ESTATE DEVELOPMENT PHONE: 401-941-2900 EMAIL: THOMASDAWSON@WDCHOC.ORG

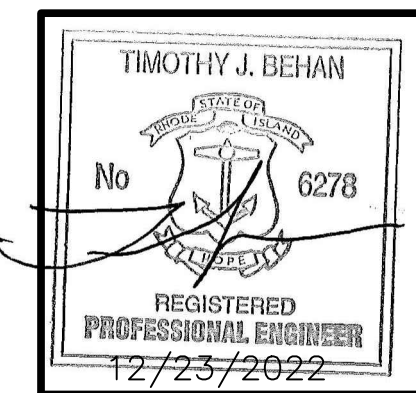


Table with 4 columns: No., DATE, DRWN, CHKD. Contains revision tracking information.



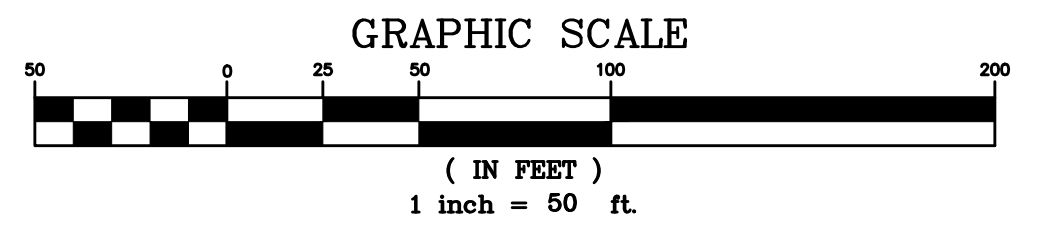
DEVELOPMENT PLAN FOR WOMENS DEVELOPMENT CORPORATION WEST END III PROJECT ON A.P. 30, LOTS 238 & 239 39 AND 41 GILMORE STREET PROVIDENCE, RHODE ISLAND NOTES AND LEGEND

Table with 3 columns: SCALE: AS SHOWN, SHEET NO: 2 OF 7, DRAWN BY: SMA, DESIGN BY: SMA, CHECKED BY: TJB, DATE: DECEMBER 2022, PROJECT NO: 22035.00.





PLAN VIEW



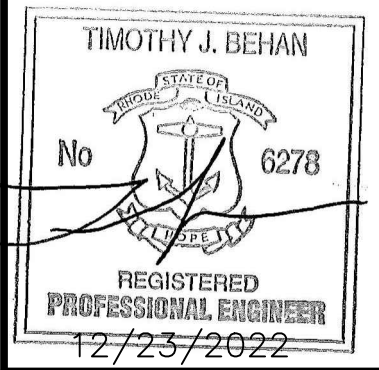
MAP	LOT	STREET ADDRESS	OWNER'S NAME	PROPERTY USE
030	246	75 Wilson St	Luna Jr Emilio	Two Family
030	341	95 Wilson St	South Side Community Land Trust	Charitable Land
030	565	46 Arch St	WHEELER HENRY J	Three Family
030	242	50 Arch St	Cespedes Estalin	Four Family
030	628	83 Wilson St	ESTEVEZ FABIO B	Single Family
030	235	101 Wilson St	Patalano Investments LLC	Vac Res Land
030	234	105 Wilson St	PAULINO HILBERTO	Three Family
030	199	32 Gilmore St	LEWIS CAROLEEN L Trus	Four Family
030	199	32 Gilmore St	LEWIS CAROLEEN L Trus	Four Family
030	204	27 Gilmore St	Carleton Westside Apartments	8 Law 03 Multi Fam
030	660	39 Constitution St	Moni Rufino A	Two Family
030	202	33 Gilmore St	Tejada Rodriguez Ramon E	Three Family
030	227	115 Wilson St	Enca LLC	Three Family
030	236	51 Gilmore St	West End Preservation Apartments L P	Comm OBY
030	243	87 Wilson St	South Side Community Land Trust	Charitable Land
030	245	79 Wilson St	Luna Heriberto	Four Family
030	668	27 Constitution St	Pujols Ynocencio A	Two Family
030	672	40 Constitution St	Arch Properties LLC	Three Family
030	240	38 Gilmore St	West End Preservation Apartments L P	8 Law 94 Com
030	240	38 Gilmore St	West End Preservation Apartments L P	8 Law 94 Com
030	240	38 Gilmore St	West End Preservation Apartments L P	8 Law 94 Com
030	214	30 Constitution St	Munslow Keith S	Single Family
030	546	45 Arch St	Mongeon Philippe C	Two Family
030	244	48 Gilmore St	Ajoloko Adebukola Felicia	Single Family
030	256	44 Gilmore St	Onyekaba Ashlin M	Two Family
030	237	47 Gilmore St	West End Preservation Apartments L P	8 Law 03 Multi Fam
030	232	11 Constitution St	Jasmine Earline	Vac Res Land
030	666	14 Constitution St	Community Properties Management LLC	Mix Use Comm
030	666	14 Constitution St	Community Properties Management LLC	Mix Use Comm
030	568	43 Gilmore St	Elsemelawy Abdellatif A Trustee	Two Family
030	231	17 Constitution St	LUCIER ELAINE B	Single Family
030	238	41 Gilmore St	West End Preservation Apartments L P	Commercial (Vacant)
030	230	21 Constitution St	Rojo Will A	Single Family
030	201	35 Gilmore St	West End Preservation Apartments L P	8 Law 03 Multi Fam
030	669	27 Constitution St	Pujols Ynocencio A	Vac Res Land
030	203	31 Gilmore St	Stegemann Alexander	Two Family
030	198	26 Gilmore St	De La Cruz Jacobo Martinez	Two Family
030	239	39 Gilmore St	West End Preservation Apartments L P	8 Law 03 Multi Fam
030	229	16-18 Constitution St	BATISTA LOURDES MERCEDES	Two Family
030	213	25 Constitution St	Historic West End II LP	8 Law 03 Multi Fam
030	560	48 Arch St	King Thomas	Three Family
030	547	49 Arch St	Prudent Tamara	Three Family
030	185	70 Bridgham St	West End Preservation Apartments L P	8 Law 03 Multi Fam
030	186	34 Gilmore St	West End Preservation Apartments L P	8 Law 03 Multi Fam
030	184	64 Bridgham St	Historic West End II LP	8 Law 03 Multi Fam
030	200	36 Gilmore St	West End Preservation Apartments L P	8 Law 03 Multi Fam
030	704	7 Constitution St	Rodriguez Maria A	Two Family

DRAWING ISSUE:

- CONCEPT
  - CUSTOMER APPROVAL
  - PERMITTING
  - CONSTRUCTION
  - AS-BUILT
  - OTHER:
- ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

OWNER/APPLICANT:  
**WOMENS DEVELOPMENT CORPORATION**  
 861A BROAD STREET  
 PROVIDENCE, RI 02909  
 (401) 941-2900

CONTACT:  
 CHARLOTTE THOMAS-DAWSON  
 DIRECTOR OF REAL ESTATE DEVELOPMENT  
 PHONE: 401-941-2900  
 EMAIL: THOMASDAWSON@WDCHOC.ORG



**COMMONWEALTH**  
 ENGINEERS & CONSULTANTS, INC.  
 400 SMITH STREET  
 PROVIDENCE, RHODE ISLAND 02908  
 (401) 273-6600

REVISIONS

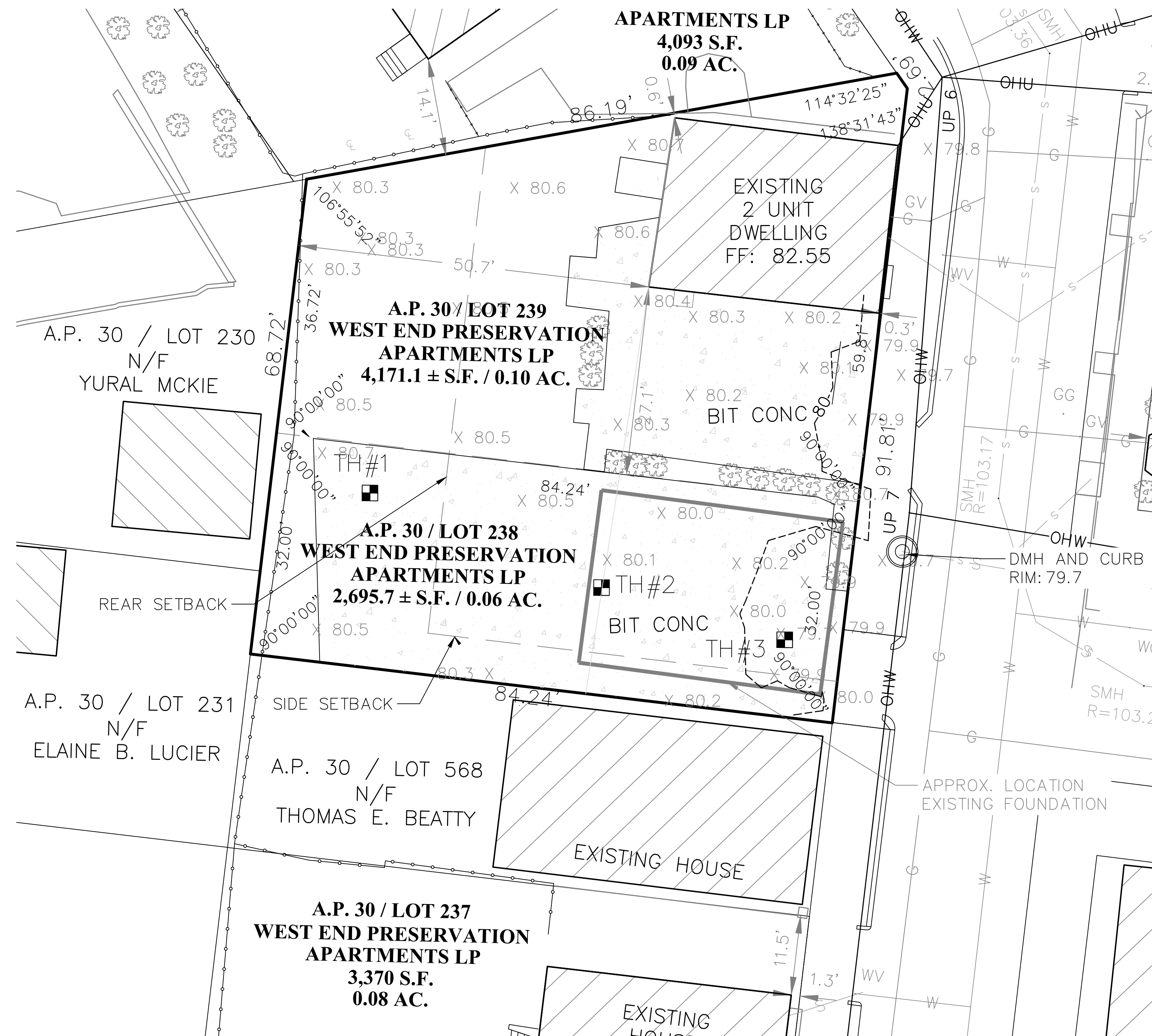
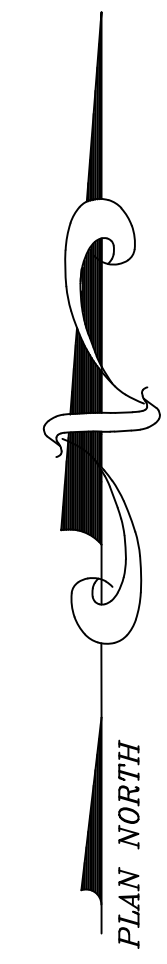
No.	DATE	DRWN	CHKD

**DEVELOPMENT PLAN**  
 FOR  
**WOMENS DEVELOPMENT CORPORATION**  
**WEST END III PROJECT**  
 ON  
 A.P. 30, LOTS 238 & 239  
 39 AND 41 GILMORE STREET  
 PROVIDENCE, RHODE ISLAND  
**200-FOOT RADIUS PLAN**

SCALE: 1-INCH = 50- FEET	SHEET NO: 3 OF 7
DRAWN BY: SMA	DESIGN BY: SMA
DATE: DECEMBER 2022	CHECKED BY: TJB
PROJECT NO 22035.00:	

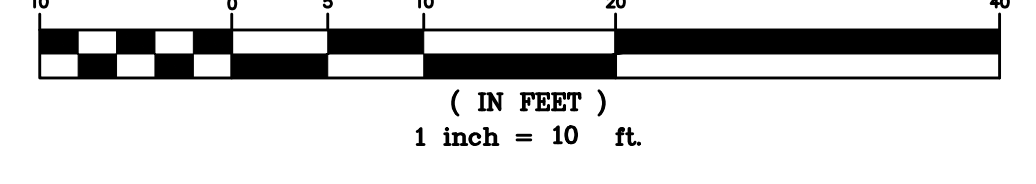
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**PLAN VIEW**

**GRAPHIC SCALE**



- SITE NOTES:**
1. THE SITE IS LOCATED ON THE CITY OF PROVIDENCE ASSESSORS PLAT 30, LOTS 238 AND 239. THESE LOTS WERE MERGED THROUGH ADMINISTRATIVE SUBDIVISION IN DECEMBER 2022. SEE ATTACHED SURVEY PLAN.
  2. THE SITE IS APPROXIMATELY 0.16 ACRES AND IS ZONED R-3 (RESIDENTIAL DISTRICT).
  3. THE OWNER AND APPLICANT IS: WOMENS DEVELOPMENT CORPORATION, 861A BROAD STREET, PROVIDENCE, RI 02909 (401) 941-2900.
  4. FLOOD ZONE: THE SUBJECT PROPERTY IS NOT SITUATED IN THE 100-YEAR FLOOD ZONE AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD RATE INSURANCE MAP, PROVIDENCE COUNTY, MAP #44007C0308J EFFECTIVE 10/2/2015 AND MAP #44007C0316G EFFECTIVE 3/2/2009.
  5. BOUNDARY LINES, TOPOGRAPHY AND LOCATION OF SITE FEATURES WAS PERFORMED BY COMMONWEALTH LAND SURVEYORS. REFER TO ATTACHED SURVEY PLAN.
  6. VERTICAL DATUM IS NAVD 88.
  7. EXISTING BUILDING IS SERVED BY PUBLIC WATER AND SEWER.
  8. REVIEW OF THE RIDEM ENVIRONMENTAL RESOURCE MAP CONCLUDED THE SITE IS NOT LOCATED IN A GROUNDWATER PROTECTION AREA, A NATURAL HERITAGE AREA OR A GROUNDWATER PROTECTION OVERLAY DISTRICT.
  9. THE SITE IS PROPOSED TO BE CONSTRUCTED IN ONE (1) PHASE. THE PROPOSED BUILDING WILL CONTAIN 2 DWELLING UNITS.

- MAP NOTES:**
1. THE LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE. CONTRACTORS TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION, DIGGING, BORING, OR TESTING (CALL DISSAFE). UTILITIES SHOWN ARE QUALITY LEVEL D OF THE ASCE 38-02 STANDARDS.
  2. EXISTING GAS MAINS TAKEN FROM EXISTING PLANS OF RECORD. GAS LOCATIONS ARE APPROXIMATE AND MUST BE FIELD VERIFIED PRIOR TO EXCAVATION.
  3. EXISTING WATER MAINS, SEWER MAINS, UNDERGROUND ELECTRIC AND STORM DRAIN LINES TAKEN FROM EXISTING PLANS OF RECORD. WATER MAINS, SEWER MAINS, UNDERGROUND ELECTRIC AND STORM DRAIN LINE LOCATIONS ARE APPROXIMATE AND MUST BE FIELD VERIFIED PRIOR TO EXCAVATION.
  4. SOILS DATA TAKEN FROM USGS SOIL SURVEY. SITE SOILS AND ADJACENT AREA ARE DESCRIBED AS MU-MERRIMAC-URBAN LAND COMPLEX.
  5. ADDITIONAL UNDERGROUND GAS LINES EXIST ON THE SITE.

**EXISTING ZONING TABLE:**

ZONE: R-3 RESIDENTIAL DISTRICT (HIGHER DENSITY RESIDENTIAL AREAS)

PARCEL ID: A.P. 30 LOTS 238 & 239  
LOT AREA: 0.157 ± ACRES  
6,866.8 ±

DEED BOOK 2497  
PAGES 143, 144 AND 147

	REQUIRED	PROVIDED
MIN. LOT AREA	N/A	6,855 S.F.
MIN. FRONT YARD	SEE 402.B	>1 FT.
MIN. INTERIOR SIDE YARD	4 FT.	5.3 FT.
MIN. CORNER SIDE YARD	SAME AS FRONT	N/A
MIN. REAR YARD	25 FT.	>25 FT.
MAX. BLDG. HEIGHT	45 FT.	<45 FT.
MAX. BLDG. COVERAGE	45%	11.5 %
MAX. IMPERV. COVERAGE	65%	60 %
FRONT YARD	33%	N/A
REAR YARD	50%	39.5%

**PARKING REQUIREMENTS**

**EXISTING**

PARKING USE:  
PARKING REQUIREMENT:  
BICYCLE REQUIREMENT:

DWELLING - TWO FAMILY  
1 PER DWELLING  
1 PER 5 DWELLING UNITS

DWELLING UNITS:  
PARKING CALCULATION:  
ADA PARKING REQUIRED:

2 UNITS  
2 UNITS X 1 SPACE PER UNIT = 2 SPACES  
1 SPACES

**PROPOSED**

DWELLING UNITS:  
PARKING CALCULATION:  
ADA PARKING REQUIRED:

4 UNITS  
4 UNITS X 1 SPACE PER UNIT = 4 SPACES  
1 SPACES

PARKING SPACES PROVIDED:  
TYPICAL PARKING SPACE DIMENSION:  
HANDICAP PARKING

4 TOTAL = 3 REGULAR AND 1 HANDICAP VAN  
8.5 FT. WIDE X 18.0 FT. LONG  
11.0 FT. X 18.0 FT. WITH STRIPING 5 FT.  
WIDE X 18 FT. LONG

**LEGEND**

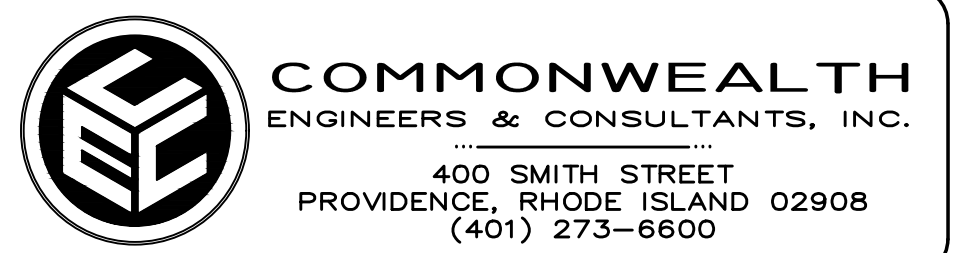
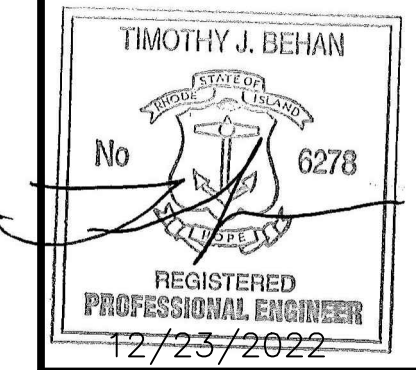
- PARCEL PROPERTY LINE
- - - - - ADJACENT PROPERTY LINE
- EXISTING FENCE LINE
- - - - - EXISTING MAJOR CONTOUR
- - - - - EXISTING MINOR CONTOUR
- - - - - EXISTING CONTOUR TAKEN FROM RIDEM LIDAR
- G—G— EXISTING GAS LINE
- W—W— EXISTING WATER LINE
- S—S— EXISTING SEWER LINE
- GG○ GAS VALVE BOX
- XWV WATER VALVE BOX
- UP-297 UTILITY POLE AND NUMBER
- SMH EXISTING SEWER MANHOLE
- TMH EXISTING TELEPHONE MANHOLE
- DMH PROPOSED DRAINAGE MANHOLE
- CB PROPOSED CATCH BASIN
- SWL SOLID WHITE LINE
- SYDL SOLID YELLOW DOUBLE LINE
- B.S.L. BUILDING SETBACK LINE
- PROPOSED CONTOUR LINE
- X39.50 PROPOSED SPOT GRADE
- PROPOSED FENCE
- W—W— PROPOSED WATER LINE
- S—S— PROPOSED SEWER LINE
- PROPOSED SOLAR PARKING AREA LIGHT
- EIR EXISTING IRON ROD
- PK P K NAIL
- BUILDING SETBACK LINE

**DRAWING ISSUE:**

- CONCEPT
  - CUSTOMER APPROVAL
  - PERMITTING
  - CONSTRUCTION
  - AS-BUILT
  - OTHER:
- ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

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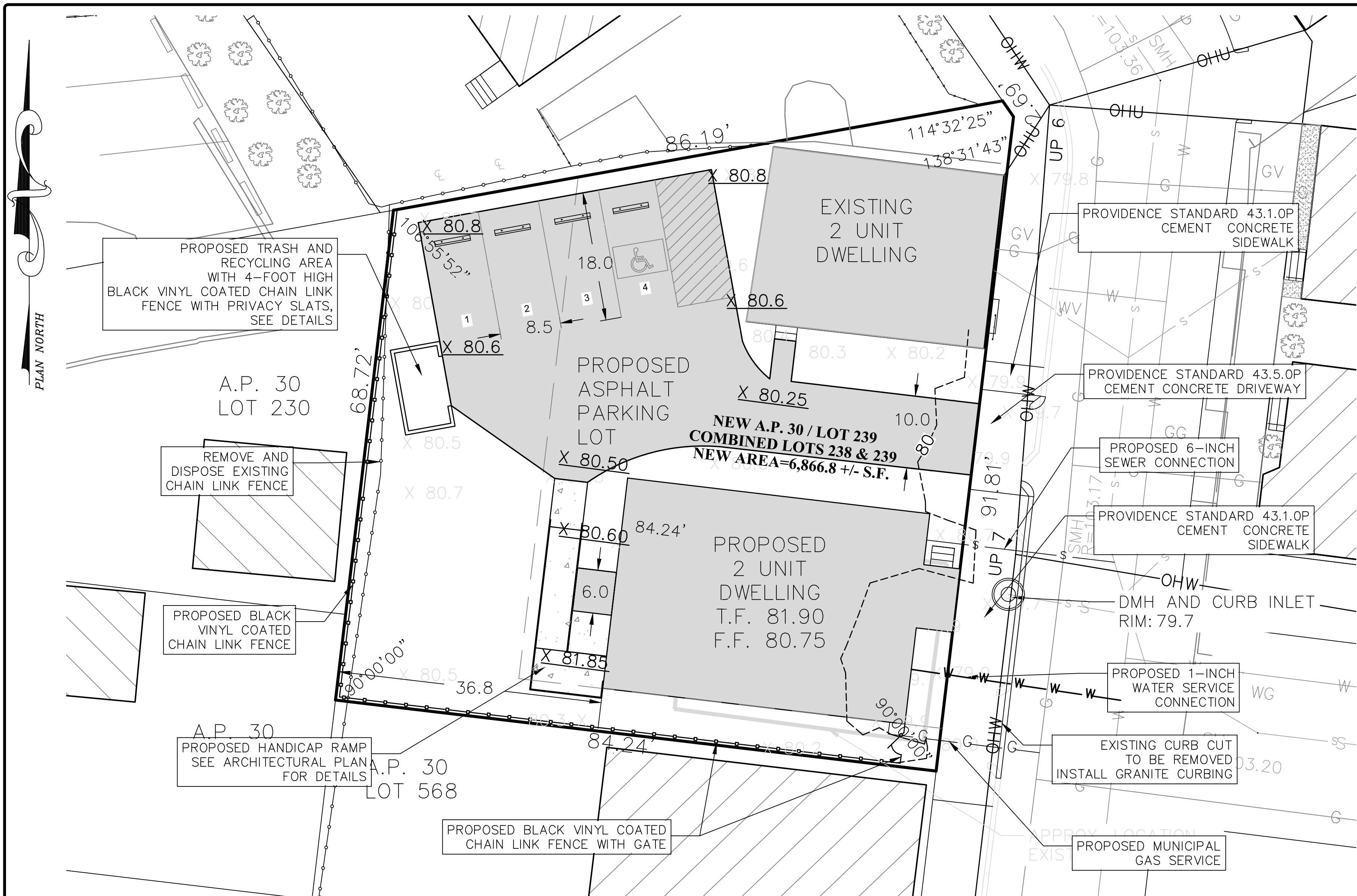
**DEVELOPMENT PLAN**  
FOR  
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**WEST END III PROJECT**  
ON  
A.P. 30, LOTS 238 & 239  
39 AND 41 GILMORE STREET  
PROVIDENCE, RHODE ISLAND  
**EXISTING CONDITIONS PLAN**

**REVISIONS**

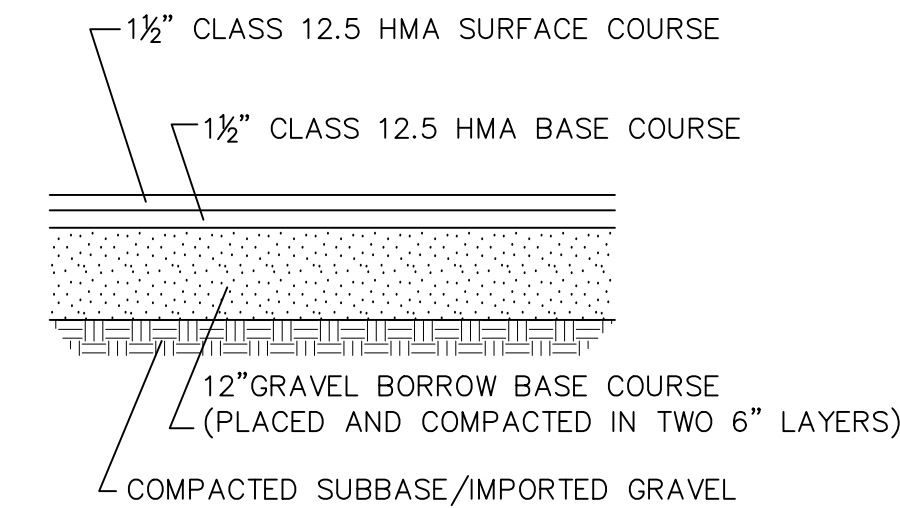
No.	DATE	DRWN	CHKD

SCALE: 1-INCH = 10-FEET    SHEET NO: 4 OF 7  
DRAWN BY: SMA    DESIGN BY: SMA    CHECKED BY: TJB  
DATE: DECEMBER 2022    PROJECT NO 22035.00:

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**PLAN VIEW**  
GRAPHIC SCALE  
1 inch = 10 ft.



**SITE PAVEMENT**  
TYPICAL CROSS SECTION  
NOT TO SCALE

**PROPOSED ZONING TABLE:**

ZONE: R-3 RESIDENTIAL DISTRICT (HIGHER DENSITY RESIDENTIAL AREAS)

PARCEL ID:	A.P. 30 LOTS 238 & 239
LOT AREA:	0.157 ± ACRES
	6,855 ±
REQUIRED	PROVIDED
MIN. LOT AREA	N/A, 6,855 S.F.
MIN. FRONT YARD	SEE 402.B, >1 FT.
MIN. INTERIOR SIDE YARD	4 FT., 5.3 FT.
MIN. CORNER SIDE YARD	SAME AS FRONT, N/A
MIN. REAR YARD	25 FT., >25 FT.
MAX. BLDG. HEIGHT	45 FT., <45 FT.
MAX. BLDG. COVERAGE	45%, 30.4 %
MAX. IMPERV. COVERAGE	65%, 62.6 %
MAX. IMPERV. COVER	
FRONT YARD	33%, N/A
REAR YARD (1)	50%, 49.6%

(1) CALCULATED FROM REAR OF PROPOSED BUILDING

**FILTER FABRIC SPEC.:**

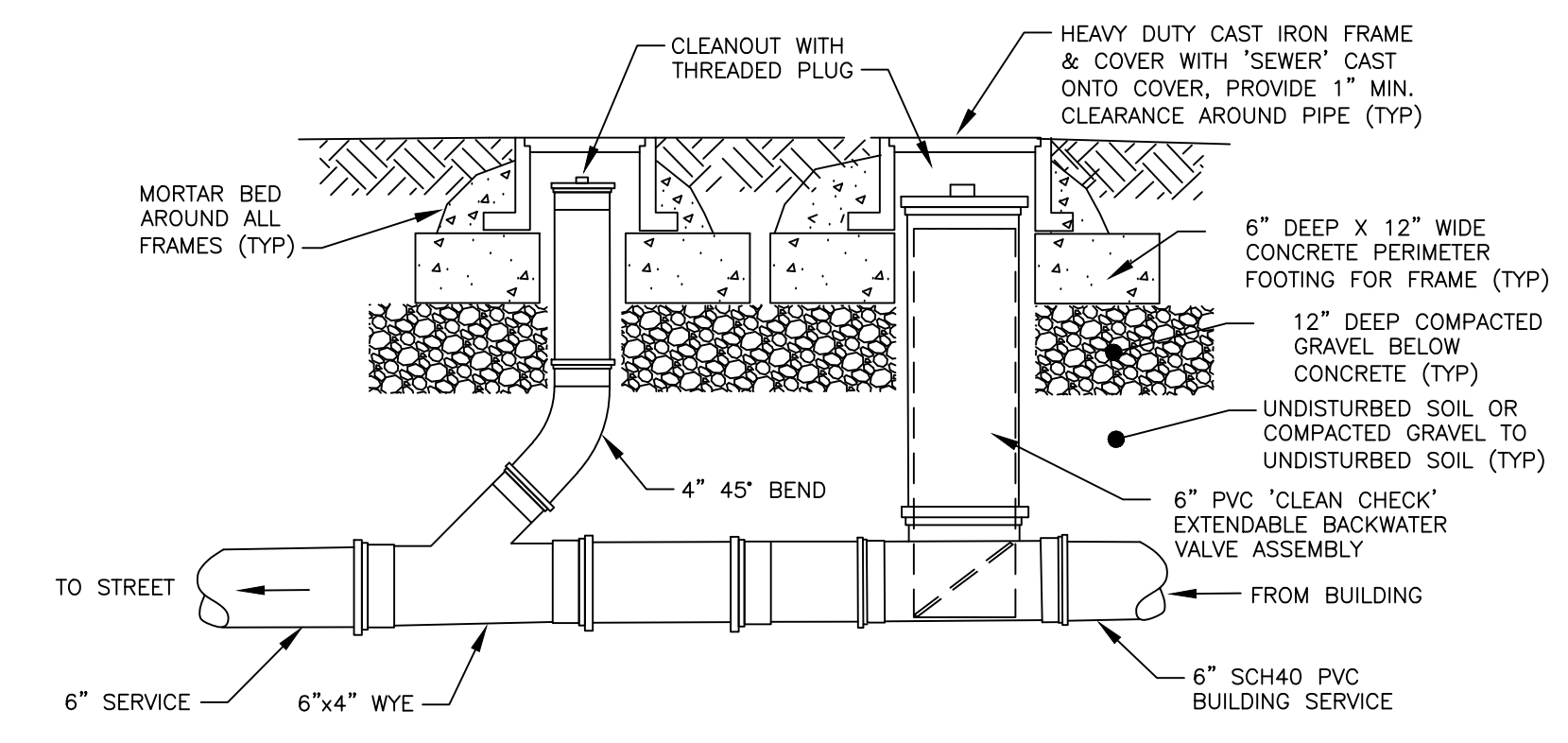
SHALL MEET THE FOLLOWING:  
THICKNESS=0.08"  
OPENING SIZE=#80 SIEVE  
FLOW RATE=125 GAL./MIN.  
ASTM D751=125 LB.  
ASTM D1117=400 PSI.  
ASTM D1682=300 LB.

**TOPSOIL SPEC.:**

TOPSOIL SHALL HAVE A TEXTURE CLASSIFICATION OF SANDY LOAM AND BE FREE OF ROCKS GREATER THAN 3/4". ROOTS, DEBRIS AND ANY UNDESIRABLE MATERIALS AS DETERMINED BY THE TOWN OR ENGINEER. TOPSOIL SHALL ALSO MEET RIDOT SPECIFICATIONS AND HAVE A PERCOLATION RATE OF 10 MINUTES PER INCH OR FASTER.

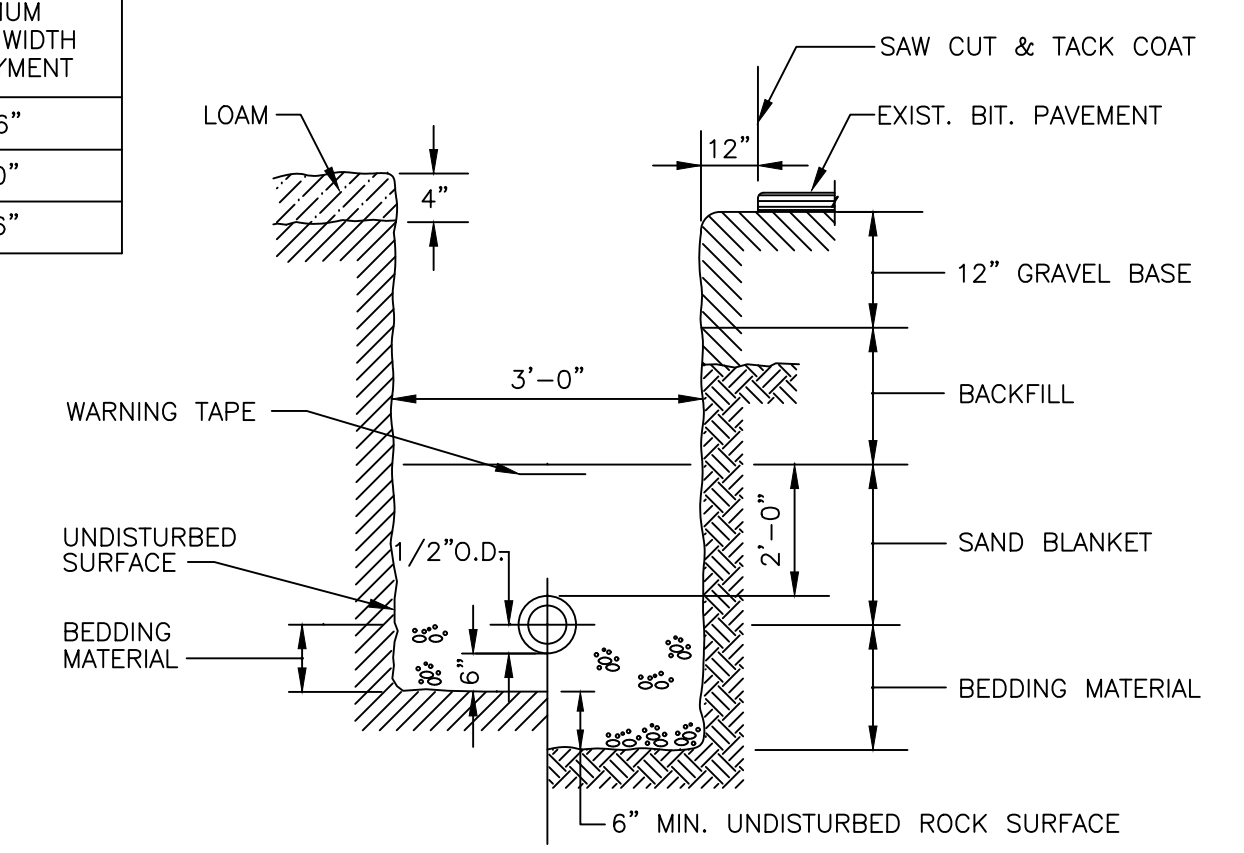
**SEED MIX:**

RED FESCUE @ 1.75 LBS/1,000SF  
COLONIAL BENTGRASS, "EXETER" @ 0.11 LBS/1,000SF  
PERENNIAL RYEGRASS @ 0.11 LBS/1,000SF  
BIRDSFOOT TREFOIL, "EMPIRE" @ 0.35 LBS/1,000SF  
• USE INOCULATED SEED



**EXTENDABLE BACKWATER VALVE & CLEAN OUT TYPICAL DETAIL**  
NOTE: INSTALL BACKWATER VALVE AND CLEANOUT AS CLOSE TO BUILDING AS POSSIBLE. EVERY GRAVITY BUILDING SEWER SHALL BE EQUIPPED WITH THIS ASSEMBLY.  
NOT TO SCALE

PIPE DIAMETER	MAXIMUM TRENCH WIDTH FOR PAYMENT
6"	2'-6"
8"-12"	3'-0"
15"	3'-6"



**SEWER TRENCH DETAIL—NO GROUNDWATER ENCOUNTERED**  
NOT TO SCALE

- ALL IMPROVEMENTS SHALL COMPLY WITH AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES, LATEST REVISION/AMENDMENT.
- THE CONTRACTOR SHALL NOT ALTER THE GRADING ON THE PLAN UNLESS APPROVED BY THE ENGINEER.
- ALL WORK SHALL CONFORM TO "ADA STANDARDS FOR ACCESSIBLE DESIGN" AND CITY STANDARDS.
- ADA PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2% (1:50).
- ALL ADA PARKING SPACES SHALL BE FURNISHED WITH THE APPROPRIATE SIGNS AND MARKINGS.
- ALL CURB RAMPS SHALL BE FURNISHED WITH DETECTABLE WARNINGS.
- ANY ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 5% (1:20) IS CONSIDERED A RAMP. RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1:12.5 FOR A MAXIMUM HORIZONTAL DISTANCE OF 6 FEET. A 60 INCH X 60 INCH LANDING IS REQUIRED AT EACH END OF THE RAMP. RAMPS GREATER THAN 6' LONG REQUIRE HANDRAILS IN ACCORDANCE WITH ADA REQUIREMENTS.

**WORK IN CITY OF PROVIDENCE R.O.W.:**

- ALL WORK IN THE CITY OF PROVIDENCE RIGHT OF WAY SHALL COMPLY WITH CITY OF PROVIDENCE REGULATIONS, RULES AND ORDINANCES.
- THE CITY'S STANDARDS SHALL OVERRIDE RIDOT STANDARDS OUTSIDE OF STATE R.O.W.'S. ALL WORK IN THE PUBLIC RIGHT OF WAYS MUST BE IN ACCORDANCE WITH THE CITY'S STANDARD DETAILS.
- CONTRACTOR SHALL REPAIR/RECONSTRUCT ANY DAMAGED ROADWAY, CROSSWALK, SIDEWALK AND WHEELCHAIR RAMP TO THE SATISFACTION OF THE CITY OF PROVIDENCE DEPARTMENT OF PUBLIC WORKS AT NO ADDITIONAL EXPENSE TO THE OWNER.
- CONTRACTOR TO COORDINATE WITH THE CITY OF PROVIDENCE TO RESET/RELOCATED ANY STREET SIGNS THAT WILL REQUIRE RELOCATION DURING CONSTRUCTION.
- ALL CURBING WITHIN THE PUBLIC R.O.W. SHALL BE GRANITE PER THE PROVIDENCE DPW STANDARDS AVAILABLE AT [HTTPS://WWW.PROVIDENCERI.GOV/PUBLIC-WORKS/FORMS/](https://www.providenceri.gov/public-works/forms/) UNDER "REPORTS + PUBLICATIONS" OR AT [HTTPS://WWW.PROVIDENCERI.GOV/WP-CONTENT/UPLOADS/2019/06/PROVIDENCE-DPW-STANDARD-DETAILS.PDF](https://www.providenceri.gov/wp-content/uploads/2019/06/PROVIDENCE-DPW-STANDARD-DETAILS.PDF).
- ANY GRANITE CURB THAT IS REMOVED AND NOT RE-USED SHALL BE RETURNED TO THE PROVIDENCE DEPARTMENT OF PUBLIC WORKS.

**LEGEND**

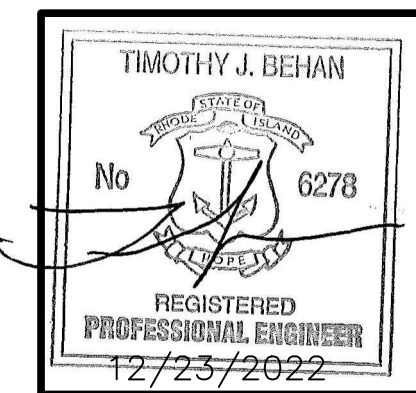
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**DRAWING ISSUE:**

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- OTHER:

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**REVISIONS**

No.	DATE	DRWN	CHKD

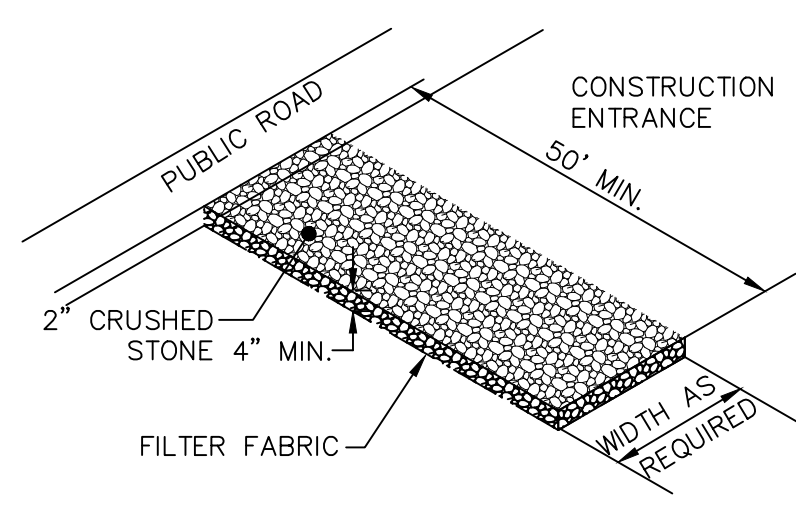


**DEVELOPMENT PLAN**  
FOR  
**WOMENS DEVELOPMENT CORPORATION**  
WEST END III PROJECT  
ON  
A.P. 30, LOTS 238 & 239  
39 AND 41 GILMORE STREET  
PROVIDENCE, RHODE ISLAND  
**PROPOSED CONDITIONS PLAN**

SCALE: 1-INCH = 10- FEET SHEET NO: 5 OF 7

DRAWN BY: SMA	DESIGN BY: SMA	CHECKED BY: TJB
DATE: DECEMBER 2022	PROJECT NO 22035.00:	

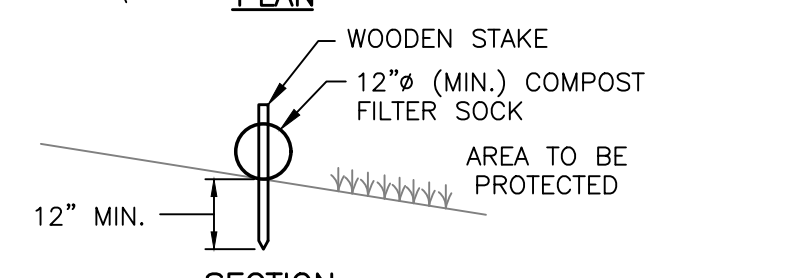
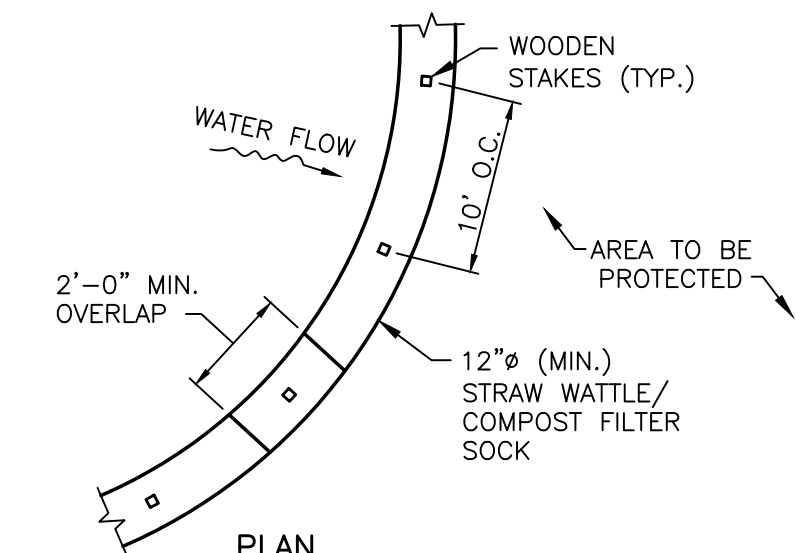




MATERIALS SIZE			
SQUARE MESH SIEVES	2" CRUSHED STONE OR GRAVEL	ASTM C-33 NO. 2	ASTM C-33 NO. 3
	% FINER	% FINER	% FINER
2-1/2 INCHES	100	90-100	100
2 INCHES	95-100	35-70	90-100
1-1/2 INCHES	30-55	0-15	35-70
1-1/4 INCHES	0-25	-	-
1 INCH	0-5	-	0-15
3/4 INCH	-	0-5	-
1/2 INCH	-	-	0-5
3/8 INCH	-	-	-

NOTE: STABILIZATION PAD TO BE IN CONFORMANCE WITH STANDARDS SET FORTH IN THE "RHODE ISLAND GUIDELINES FOR SOIL & SEDIMENT CONTROL."

**RIP-RAP STABILIZATION PAD @ CONSTRUCTION ENTRANCE**  
NOT TO SCALE



- NOTES:**
1. ALL MATERIAL TO MEET REQUIREMENTS OF SECTION 206 OF RI STANDARD SPECIFICATIONS.
  2. SUBMIT SHOP DRAWING OF COMPOST MATERIAL FOR REVIEW AND APPROVAL PRIOR TO PLACEMENT.
  3. COMPOST FILTER SOCK IS AN APPROVED "OR EQUAL" TO COMPOST FILTER SOCK WHEN INSTALLED IN ACCORDANCE WITH THE TABLE BELOW.

MAXIMUM LENGTH ABOVE COMPOST FILTER SOCK (FEET) AND CORRESPONDING DIAMETER OF SOCK REQUIRED:

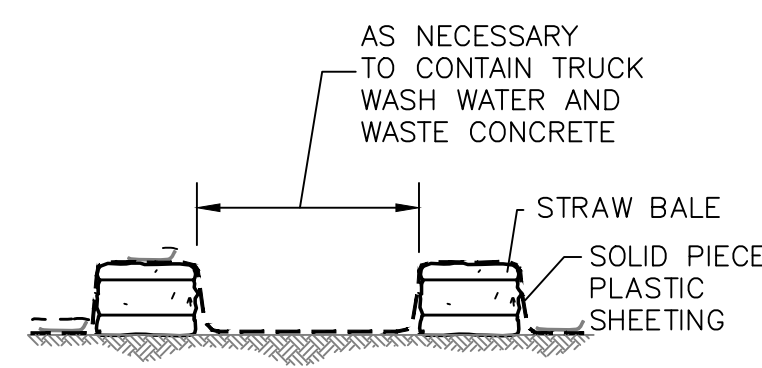
UPGRADIENT SLOPE	8" @	12" @	18" @	24" @
2%	300'	375'	500'	650'
5%	200'	250'	275'	325'
10%	100'	125'	150'	200'
20%	50'	65'	70'	130'
30%	30'	40'	45'	85'
40%	30'	40'	45'	50'
50%	20'	25'	30'	35'

**STRAW WATTLE/COMPOST FILTER SOCK**  
NOT TO SCALE

**MATERIAL STOCKPILE DETAIL**  
NOT TO SCALE

**STOCKPILE NOTES:**

1. ALL SOIL STOCKPILES ON SITE MUST BE PLACED ON 10-MIL POLYETHYLENE SHEETING AND COVERED WITH 10-MIL POLYETHYLENE SHEETING OR TARPS.
2. COVERINGS MUST BE SECURED AND INSPECTED DAILY AND REPAIRED/REPLACED AS NEEDED.
3. WORKING ENTRANCE TO STOCKPILE SHALL BE ON THE UP-GRADE SIDE OF THE STOCK PILE.
4. PERIMETER EROSION CONTROLS SHALL BE INSPECTED DAILY AND REPAIRED/REPLACED AS NEEDED.
5. CONTRACTOR TO DETERMINE STOCKPILE LOCATIONS.



**GENERAL EROSION CONTROL NOTES:**

1. THE STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION, AND THE RHODE ISLAND STANDARD DETAILS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO. THE 2004 STANDARD SPECIFICATIONS MAY BE OBTAINED AT THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION WEB PAGE. THESE SPECIFICATIONS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO.
2. ALL REQUIRED SITE IMPROVEMENTS SHALL BE INSPECTED BY THE CITY ENGINEER TO ENSURE SATISFACTORY COMPLETION. IN NO CASE SHALL THE INSTALLATION OF ANY IMPROVEMENTS BE STARTED UNTIL PRIOR NOTIFICATION IS GIVEN TO THE CITY ENGINEER. AT LEAST A 48-HOUR NOTICE SHALL BE GIVEN TO THE TOWN ENGINEER PRIOR TO ANY SUCH START OF CONSTRUCTION. A FINAL INSPECTION OF ALL SITE IMPROVEMENTS, UTILITIES AND GRADING WILL BE MADE TO DETERMINE WHETHER THE WORK IS SATISFACTORY AND IN SUBSTANTIAL AGREEMENT WITH THE APPROVED FINAL CONSTRUCTION DRAWING AND THE TOWN SPECIFICATIONS.
3. LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL CHECK AND VERIFY LOCATIONS OF ALL EXISTING UTILITIES BOTH UNDERGROUND AND OVERHEAD. ANY DAMAGE TO EXISTING UTILITIES AS SHOWN OR NOT SHOWN ON THE PLANS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. COSTS OF SUCH DAMAGE SHALL BE BORNE BY THE CONTRACTOR. NO EXCAVATION SHALL BE DONE UNTIL ALL INVOLVED UTILITY COMPANIES ARE NOTIFIED 48-HOURS IN ADVANCE. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY DIG-SAFE (1-800-344-7233) A MINIMUM OF 48 WORKING HOURS, EXCLUDING WEEKENDS AND HOLIDAYS, PRIOR TO THE START OF ANY EXCAVATION AND/OR BLASTING WORK. THE NAME OF THE COMPANY PERFORMING THE EXCAVATION AND/OR BLASTING WORK MUST BE SUPPLIED TO DIG-SAFE, IF IT IS DIFFERENT FROM THE CALLER.
4. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY, BUT NOT LIMITED TO, THE STATE OF RHODE ISLAND, THE FEDERAL GOVERNMENT, LOCAL (TOWN/CITY) GOVERNMENT AND ALL INDIVIDUAL UTILITY COMPANIES PRIOR TO COMMENCING ANY WORK.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
6. ALL MATERIAL FOR FILL SHALL BE CLEAN AND FREE OF MATTER WHICH COULD POLLUTE ANY DOWN STREAM WATERCOURSE.
7. FILL MATERIAL SHALL BE COMPACTED IN ONE FOOT (MAXIMUM) LIFTS TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D-1557 (MODIFIED PROCTOR TEST).
8. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
9. ALL AREAS COMPACTED BY CONSTRUCTION ACTIVITIES SHALL BE RESTORED BY TILLING THE TOP 12" OF SOIL.

**SEQUENCE AND STAGING OF LAND DISTURBING ACTIVITIES:**

1. SURVEY AND STAKE LIMIT OF DISTURBANCE FOR PLACEMENT OF SEDIMENTATION CONTROL DEVICES.
2. PLACE PERIMETER SEDIMENTATION CONTROL DEVICES (STRAW WATTLE OR COMPOST FILTER SOCK) IN NO CASE SHALL THE LIMIT OF WORK EXTEND BEYOND THE SEDIMENTATION CONTROL DEVICES.
3. CONSTRUCT CONSTRUCTION ENTRANCE DEVICE 9.9.0.
4. CLEAR AND GRUB SITE.
5. REMOVE AND DISPOSE EXISTING FLOOR SLABS AND FOUNDATION WALLS.
6. CONSTRUCT UTILITIES (ELECTRIC, WATER, SEWER, ETC.) AND ROUGH GRADE PARKING AREA.
7. EXCAVATE AND INSTALL BUILDING FOUNDATIONS, AND FLOOR SLABS.
8. CONSTRUCT BUILDING.
9. INSTALL CURBING, SIDEWALKS, ASPHALT PARKING LOT AND ADDITIONAL SITE IMPROVEMENTS.
10. INSTALL LANDSCAPING. ALL DISTURBED AREAS SHALL BE LOADED AND SEEDED WITH GRASS AT A MINIMUM.
11. REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER A PERMANENT GROWTH OF VEGETATION IS ESTABLISHED.

**EROSION CONTROL AND SOIL STABILIZATION PROGRAM:**

1. TEMPORARY TREATMENTS SHALL CONSIST OF A STRAW, FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
2. STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 2000 LBS/ACRE.
3. ALL STRAW BALES OR TEMPORARY PROTECTION SHALL REMAIN IN-PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
4. THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH RHODE ISLAND STANDARD SPECIFICATION M.20.01, AS AMENDED.
5. THE SEED MIX SHALL BE INOCULATED WITHIN 24-HOURS BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
6. THE DESIGN MIX UTILIZED IN ALL DISTURBED AREAS TO BE SEEDED SHALL BE COMPRISED OF THE FOLLOWING:
 

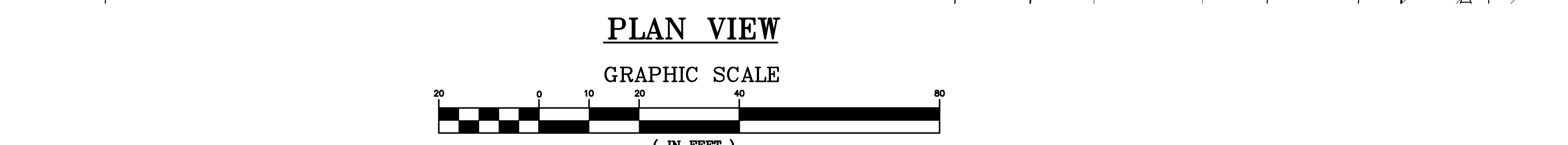
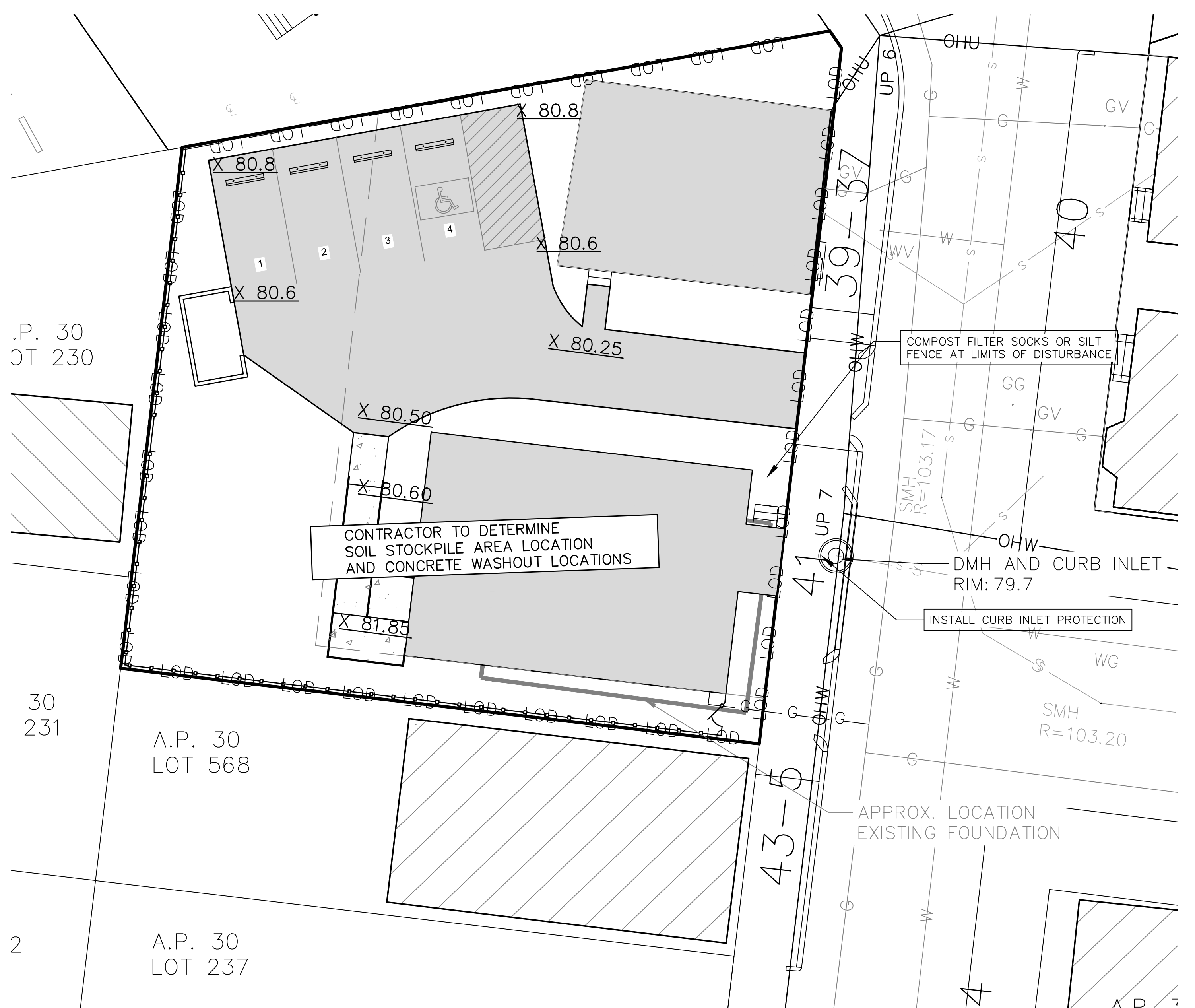
TYPE	% BY WEIGHT	SEEDING DATE
CREeping RED FESCUE	70	APRIL 1 - JUNE 15
ASTORIA BENTGRASS	5	AUGUST 15 - OCT.
BIRDFOOT TREFOIL	15	
PERENNIAL RYEGRASS	10	
7. APPLICATION RATE 100 LBS/ACRE  
LIMING AND FERTILIZING AS REQUIRED TO COMPLIMENT OR UPGRADE EXISTING CONDITIONS.
7. THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR, AND SHALL DO SO AT NO ADDITIONAL EXPENSE.
8. THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1ST THROUGH OCTOBER 15TH.
9. STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN FIFTEEN (15) DAYS OF FINAL GRADING.
10. STOCKPILES OF TOPSOIL AND EARTH MATERIALS SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN THIRTY PERCENT (30%) AND STOCKPILE SHALL ALSO BE SEEDED AND/OR STABILIZED.
11. ON BOTH STEEP AND LONG SLOPES, CONSIDERATION SHOULD BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.
12. TREES TO BE RETAINED SHALL BE FENCED OR ROPED OFF TO PROTECT THEM FROM CONSTRUCTION EQUIPMENT.
13. ALL PROPOSED PLANTINGS MUST BE ACCOMPLISHED AS EARLY AS POSSIBLE UPON COMPLETION OF GRADING AND CONSTRUCTION, AND AT LEAST PRIOR TO ANY ON-SITE OCCUPANCY.
14. ALL PROPOSED PLANTINGS MUST BE MAINTAINED BY THE PROPERTY OWNER TO ENSURE SURVIVAL.
15. SHOULD ANY OR ALL OF THE PROPOSED PLANTS FAIL TO SURVIVE AT LEAST ONE (1) FULL-GROWING SEASON FROM THE TIME THEY HAVE BEEN PLANTED, THE OWNER SHALL BE FULLY RESPONSIBLE FOR REPLACING AND MAINTAINING THE SAME PLANT SPECIES FOR ONE (1) ADDITIONAL GROWING SEASON.
16. ALL DISTURBED AREAS MUST BE SEEDED OR PLANTED WITHIN THE CONSTRUCTION SEASON.
17. TEMPORARY SEEDING MUST BE DONE WITHIN ONE (1) MONTH AFTER DISTURBANCE.
18. DISTURBED AREAS MUST BE PERMANENTLY SEEDED OR PLANTED BEFORE OCTOBER 1ST, IF NOT THEY MUST BE TEMPORARILY SEEDED.
19. SLOPES CONSTRUCTED AT, OR STEEPER THAN, 15% SHALL HAVE TEMPORARY EROSION CONTROL MATTING UTILIZED AS A SUPPORTIVE METHOD IN ADDITION TO THE METHODS DESCRIBED ABOVE.
20. ALL PROPOSED INLETS AND OUTLETS SHALL BE PROTECTED WITH RIPRAP BOTH TEMPORARILY AND PERMANENTLY. SEE DETAIL.
41. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARDS AND PROCEDURES SET FORTH IN THE TOWN SUBDIVISION REGULATIONS AND ZONING ORDINANCES; RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL DEC. 2014 AS PREPARED BY THE RIDEM AND CRM; AND RHODE ISLAND EROSION AND SEDIMENT CONTROL HANDBOOK AS PREPARED BY RHODE ISLAND STATE CONSERVATION COMMITTEE, REVISED 2014. (AS REVISED).
23. INFILTRATION PRACTICES SHALL NEVER SERVE AS A SEDIMENT CONTROL DEVICE DURING SITE CONSTRUCTION PHASE. GREAT CARE MUST BE TAKEN TO PREVENT ANY INFILTRATION AREA FROM COMPACTION BY MARKING OFF

THE LOCATION BEFORE THE START OF CONSTRUCTION AT THE SITE AND CONSTRUCTING THE INFILTRATION PRACTICE LAST, CONNECTING UPSTREAM DRAINAGE AREAS ONLY AFTER CONSTRUCTION IS COMPLETE, AND THE CONTRIBUTING AREA IS STABILIZED. THE CONTRACTOR SHALL SUBMIT A PLAN TO THE TOWN (FOR APPROVAL) HOW SEDIMENT WILL BE PREVENTED FROM ENTERING THE SITE OF AN INFILTRATION FACILITY.

24. EXTREME CARE SHALL BE EXERCISED AS TO PREVENT ANY MATERIALS FROM ENTERING WETLANDS, THE ROADWAYS, ROADWAY DRAINAGE SYSTEMS, AND ADJACENT PROPERTY.
25. STAKED STRAW BALES OR SILT FENCE SHALL BE INSTALLED WHERE SHOWN ON THE PLAN AND AS REQUIRED TO PREVENT SEDIMENTATION ONTO ADJACENT PROPERTIES, WETLANDS AND THE ROADWAY DRAINAGE SYSTEM. DENUDED SLOPES SHALL NOT BE UNATTENDED OR EXPOSED FOR MORE THAN 2 WEEKS OF TIME OR FOR THE INACTIVE WINTER SEASON.
27. NO UNDISTURBED AREAS SHALL BE CLEARED OF EXISTING VEGETATION AFTER OCTOBER 15 OF ANY CALENDAR YEAR OR DURING ANY PERIOD OF FULL OR LIMITED WINTER SHUTDOWN. ALL DISTURBED SOILS EXPOSED PRIOR TO OCTOBER 15 OF ANY CALENDAR YEAR SHALL BE SEEDED OR PROTECTED BY THAT DATE. ANY SUCH AREAS THAT DO NOT HAVE ADEQUATE VEGETATIVE STABILIZATION, AS DETERMINED BY THE RESIDENT ENGINEER OR ENVIRONMENTAL INSPECTOR, BY NOVEMBER 15 OF ANY CALENDAR YEAR, MUST BE STABILIZED THROUGH THE USE OF EROSION CONTROL MATTING OR STRAW MULCH, IN ACCORDANCE WITH SPECIFICATIONS CONTAINED WITHIN THE R.I. SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, IF WORK CONTINUES WITHIN ANY OF THESE AREAS DURING THE PERIOD FROM OCTOBER 15 THROUGH APRIL 15, CARE MUST BE TAKEN TO ENSURE THAT ONLY THE AREA REQUIRED FOR THAT DAY'S WORK IS EXPOSED, AND ALL ERODIBLE SOIL MUST BE RESTABILIZED WITHIN 5 WORKING DAYS. ANY WORK TO CORRECT PROBLEMS RESULTING FROM FAILURE TO COMPLY WITH THIS PROVISION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THERE WILL BE NO SEPARATE PAYMENT FOR THIS PROVISION, IT SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION OPERATIONS. STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN 2 WEEKS OF FINAL GRADING.
28. PREPARE TEMPORARY SEEDING AREA, PROVIDE AND PLANT SEED IN ACCORDANCE WITH "RHODE ISLAND EROSION AND SEDIMENT CONTROL HANDBOOK" AS PREPARED BY THE RHODE ISLAND STATE CONSERVATION COMMITTEE, REVISED 2014. (AS REVISED).

**SEED MIX:**  
ANNUAL RYE GRASS 1.5 LBS/1,000 SQ. FT.

29. TEMPORARY TREATMENTS TO STABILIZE EXPOSED SOILS SHALL CONSIST OF STRAW OR FIBER MULCH OR PROTECTIVE COVERS, SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK WHEN SOILS ARE EXPOSED FOR TWO WEEKS OR MORE OR AS ORDERED BY THE TOWN, ENGINEER OR OWNER AT NO ADDITIONAL COST.
32. STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 3,000-4,000 LBS/ACRE. ALL NEW STRAW BALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED AND POTENTIAL SEDIMENTATION SOURCES ARE REMOVED. STOCKPILES SHALL HAVE NO SLOPE GREATER THAN 2:1 AND SHALL BE SURROUNDED BY STAKED STRAW BALES OR SILT FENCE. STOCKPILES EXPOSED FOR EXCESSIVE PERIODS OF TIME SHALL RECEIVE TEMPORARY TREATMENT CONSISTING OF PLANTING ANNUAL RYE GRASS OR PROTECTING WITH STRAW OR FIBER MATTING.
33. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT/REPLACE AS NEEDED. ADDITIONAL STRAW BALES/SILT FENCE OR OTHER TREATMENTS SHALL BE PROVIDED AS DIRECTED BY ENGINEER, RIDEM OR LOCAL REPRESENTATIVES AT NO ADDITIONAL COST.
34. THE CONTRACTOR SHALL INSPECT THE SOIL EROSION CONTROL DEVICES AFTER EVERY RAIN STORM EVENT AND EVERY 7 DAYS (WHICH EVER COMES FIRST). ANY SOIL MIGRATION PAST THE DEVICES SHALL BE REMOVED AND THE SOIL EROSION CONTROL DEVICES SHALL BE RE-ESTABLISHED TO PREVENT SOIL EROSION. ALL ACCUMULATED SEDIMENT IN FRONT OF THE DEVICES SHALL BE REMOVED AFTER EVERY RAIN STORM EVENT.
36. ALL DISTURBED SOIL AREAS SHALL BE PROTECTED AGAINST SOIL EROSION BY PLACEMENT OF STRAW BALES AND/OR SILT FENCE ON THE DOWN GRADIENT SIDE OF THE DISTURBED AREA(S). SHOULD THE VOLUME AND/OR RATE OF STORMWATER RUNOFF BE TOO GREAT FOR A SINGLE DEVICE, THEN MULTIPLE DEVICES ARE REQUIRED SUCH AS SILT FENCE BACKED-UP WITH STRAW BALES. THESE ADDITIONAL DEVICES ARE NOT SHOWN ON THE PLAN BUT SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
37. AT THE END OF THE PROJECT ALL SEDIMENT IN MANHOLE SUMPS SHALL BE REMOVED.



**PLAN VIEW**  
**GRAPHIC SCALE**

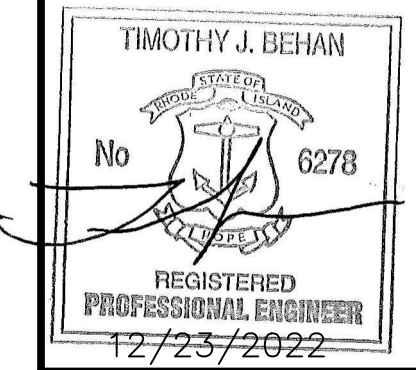
- DRAWING ISSUE:**
- CONCEPT
  - CUSTOMER APPROVAL
  - PERMITTING
  - CONSTRUCTION
  - AS-BUILT
  - OTHER:
- ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION
- OWNER/APPLICANT:**  
WOMENS DEVELOPMENT CORPORATION  
851 A BROAD STREET  
PROVIDENCE, RI 02909  
(401) 941-2900
- CONTACT:**  
CHARLOTTE THOMAS-DAVISON  
DIRECTOR OF REAL ESTATE DEVELOPMENT  
PHONE: 401-941-2900  
EMAIL: THOMAS.DAVISON@WDCHOC.ORG

**SOIL TYPES:**

Fa: FREETOWN MUCK, HYDROLOGIC SOIL GROUP B/D  
SwA: SWANSEA MUCK, HYDROLOGIC SOIL GROUP B/D  
Ud: UDORTHERTS-URBAN LAND COMPLEX

**SEDIMENTATION CONTROL PROGRAM:**

1. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING DOWNSTREAM WATERCOURSES AND STORMWATER DRAINAGE SYSTEMS.
2. DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUN-OFF FLOW DURING STORMS.
3. SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.
4. CARE SHALL BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECT TO STORMWATER FLOWAGE.
5. ADDITIONAL STRAW BALES OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
6. EROSION AND SEDIMENTATION CONTROLS SHALL BE INSTALLED AT THE SITE PRIOR TO THE START OF CONSTRUCTION AND BE PROPERLY MAINTAINED UNTIL ALL DISTURBED AREAS ARE STABILIZED INCLUDING:
7. ALL DISTURBED AREAS ARE TO BE PERMANENTLY STABILIZED WITH APPROVED GROUND COVER PRIOR TO THE COMPLETION OF THE PROJECT. AREAS EXPOSED FOR EXTENDED PERIODS ARE TO BE COMPLETELY COVERED WITH SPREAD STRAW MULCH.
9. ALL CONTROL MEASURES WILL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
10. THE LIMITS OF ALL CLEARING, GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THE LIMITS OF DISTURBANCE SHALL REMAIN TOTALLY UNDISTURBED.
11. INSPECT TEMPORARY DIVERSIONS AND THEIR COMPONENTS ONCE A WEEK AND AFTER EVERY RAINFALL. DAMAGE CAUSED BY CONSTRUCTION TRAFFIC OR OTHER ACTIVITY SHOULD BE REPAIRED BEFORE THE END OF EACH WORKING DAY.



**REVISIONS**

No.	DATE	DRWN	CHKD

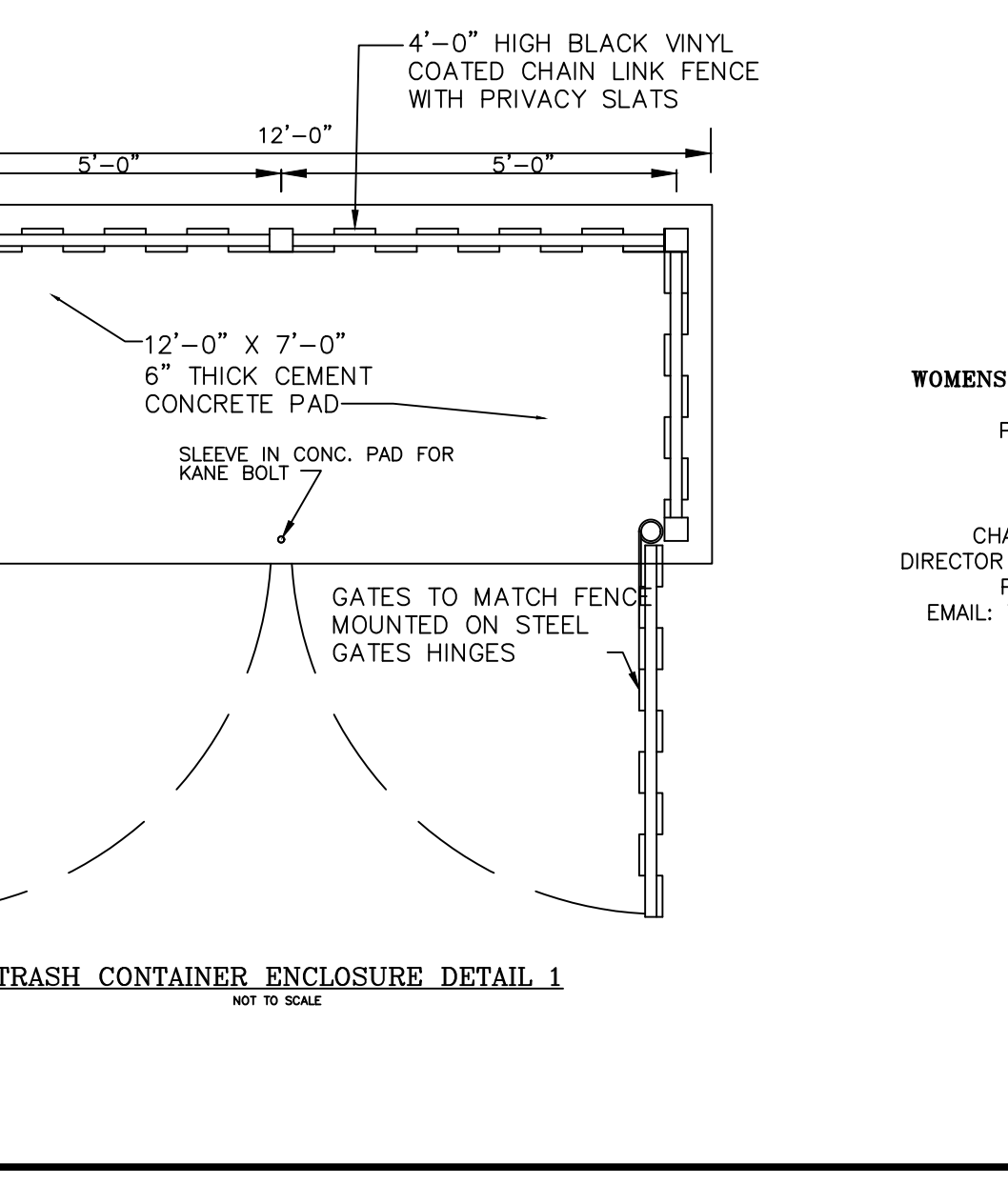
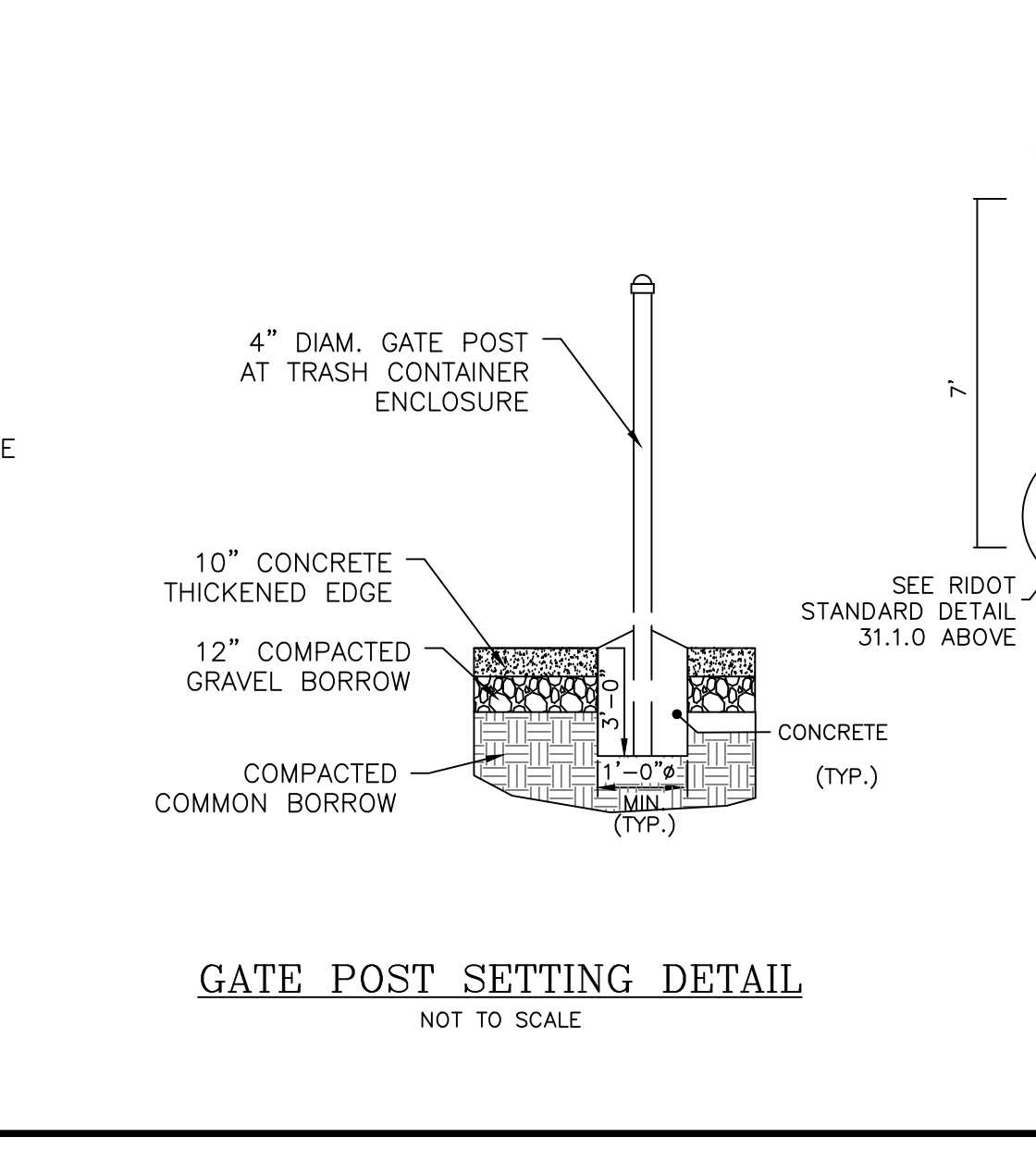
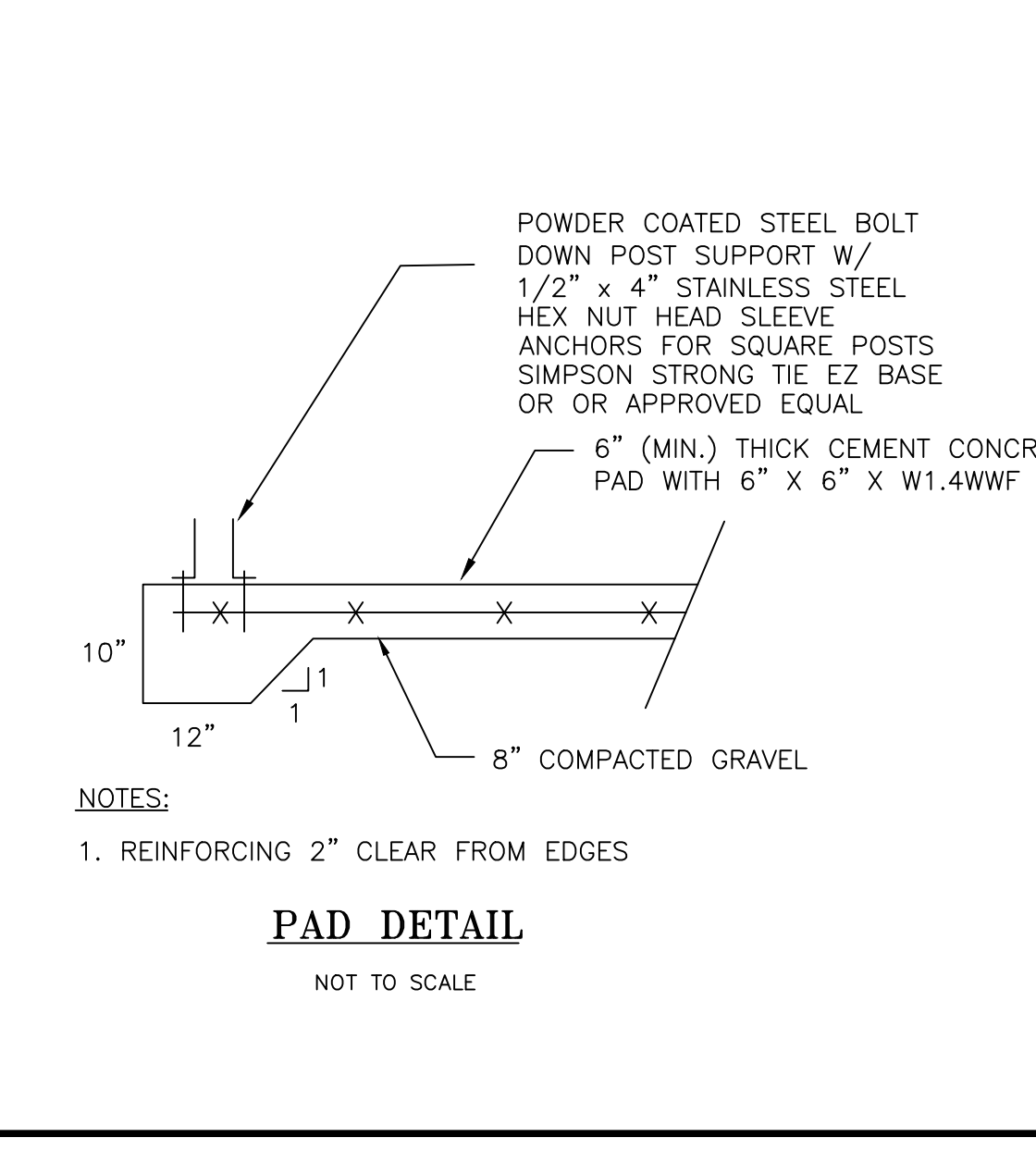
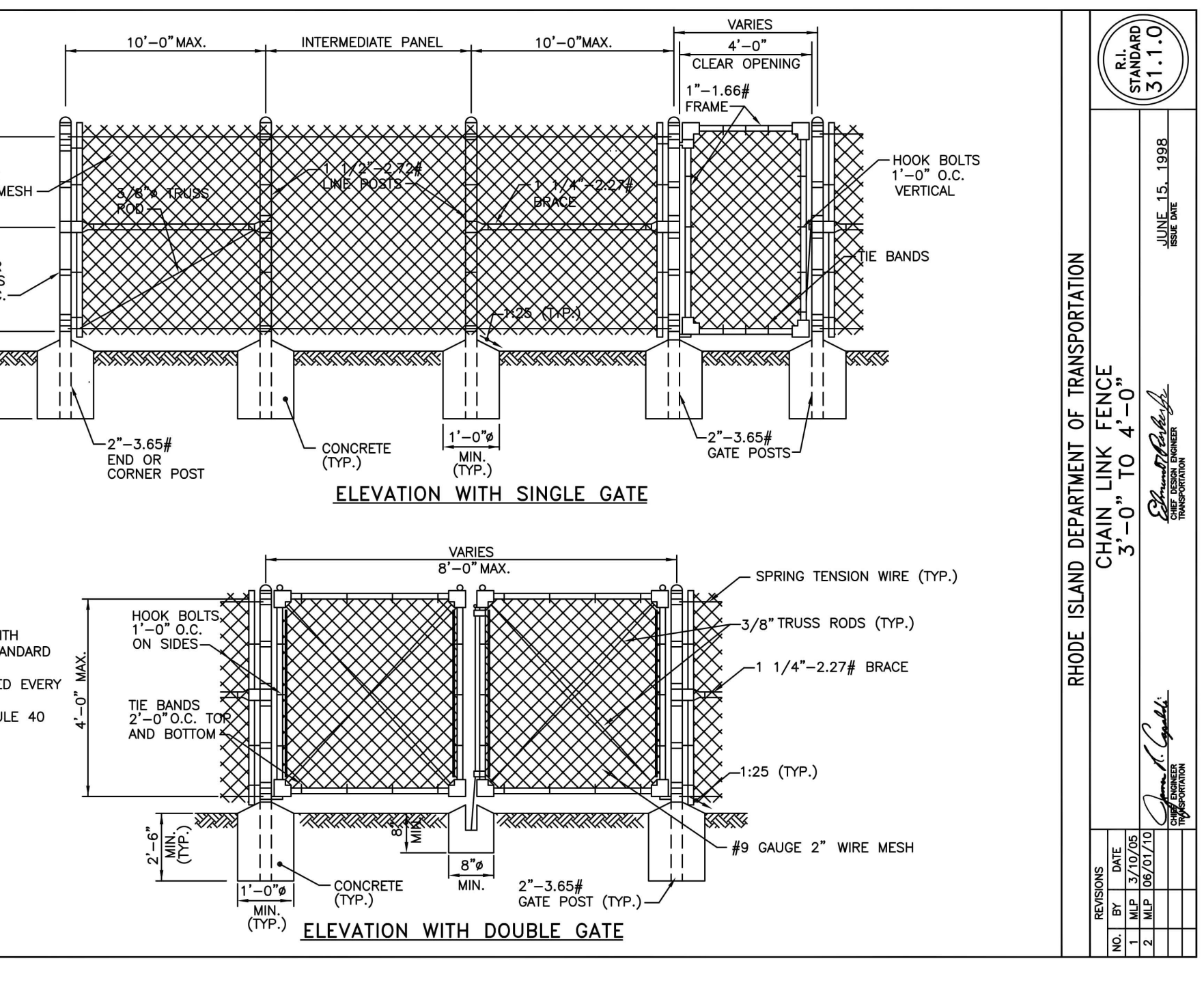
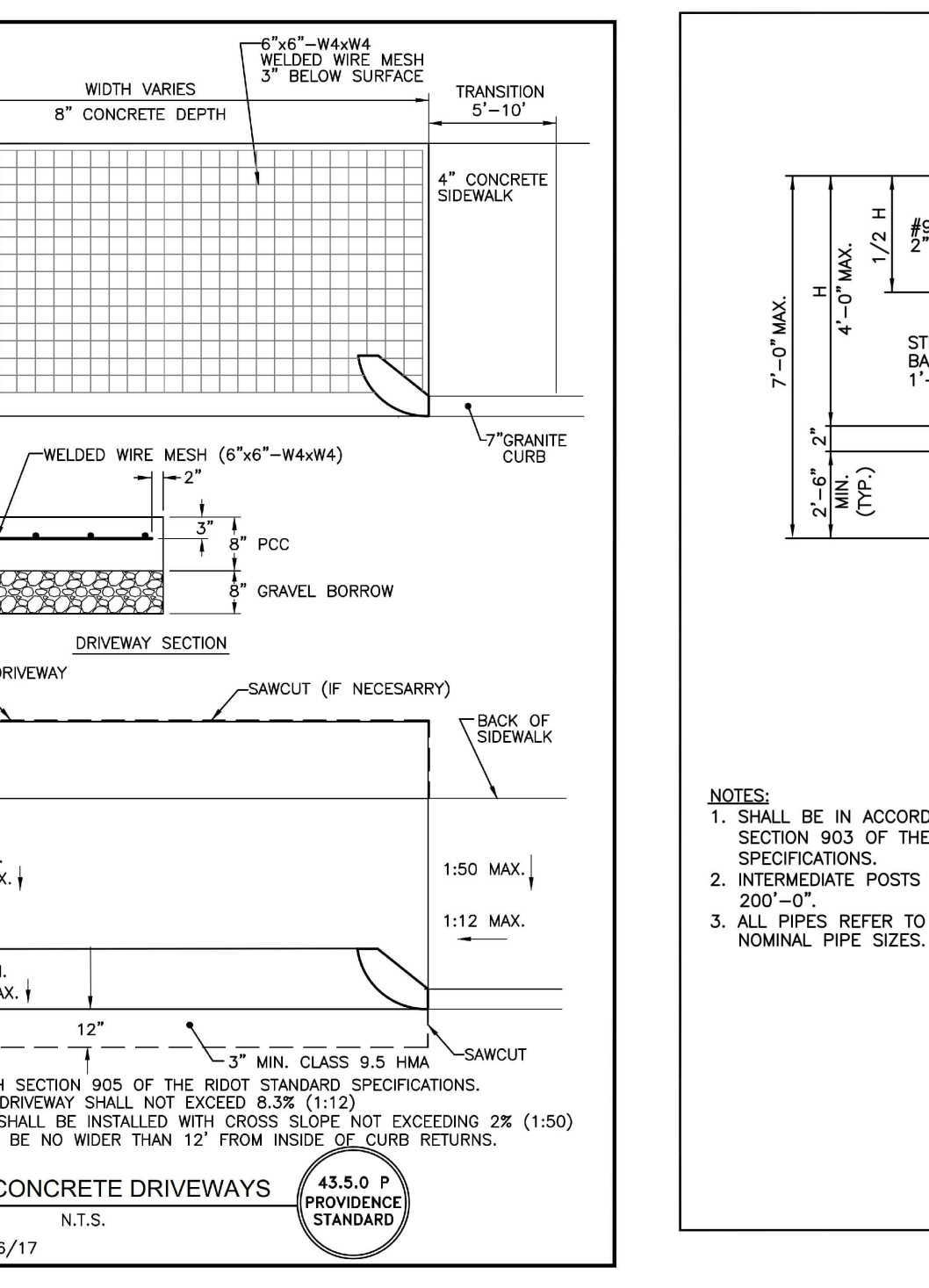
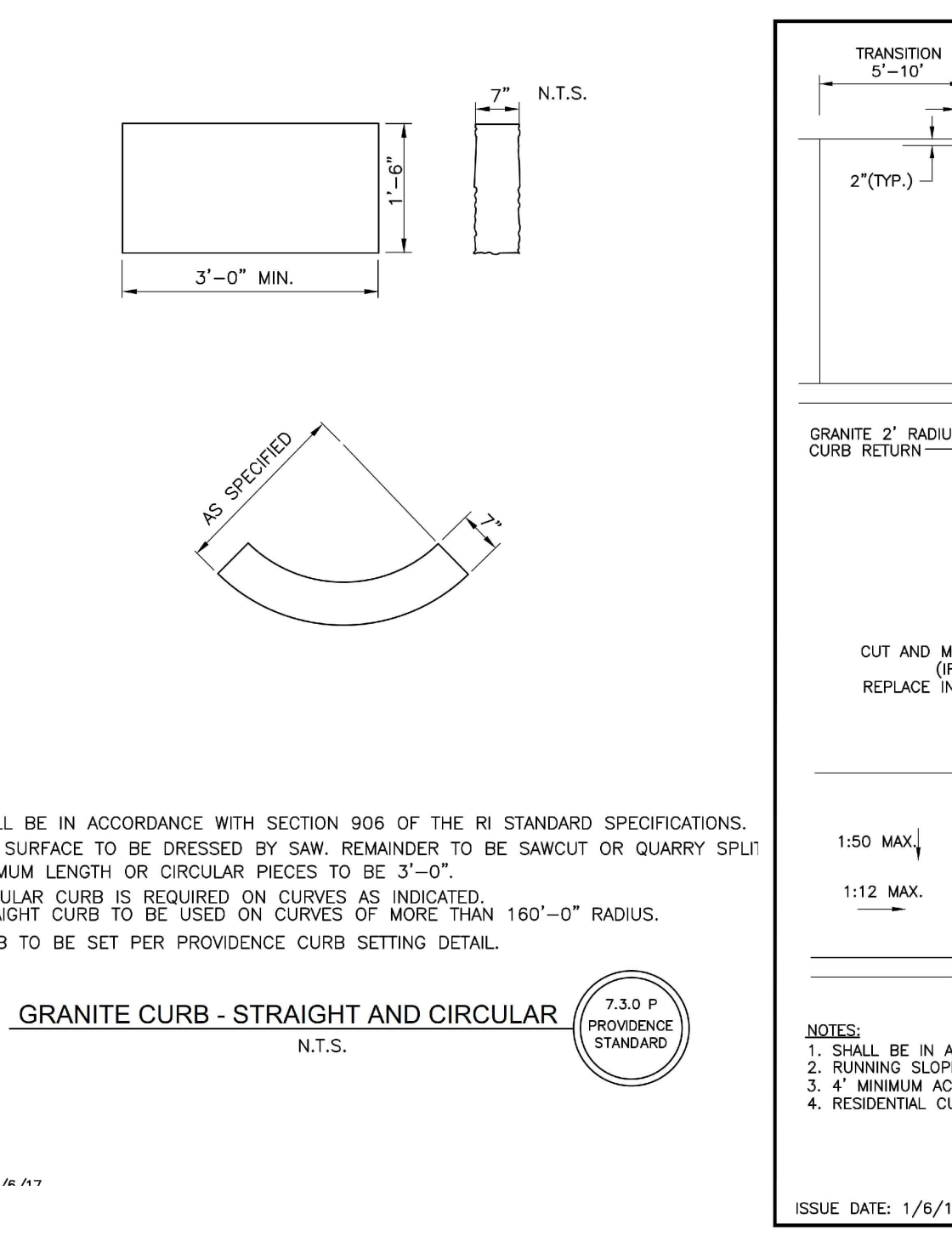
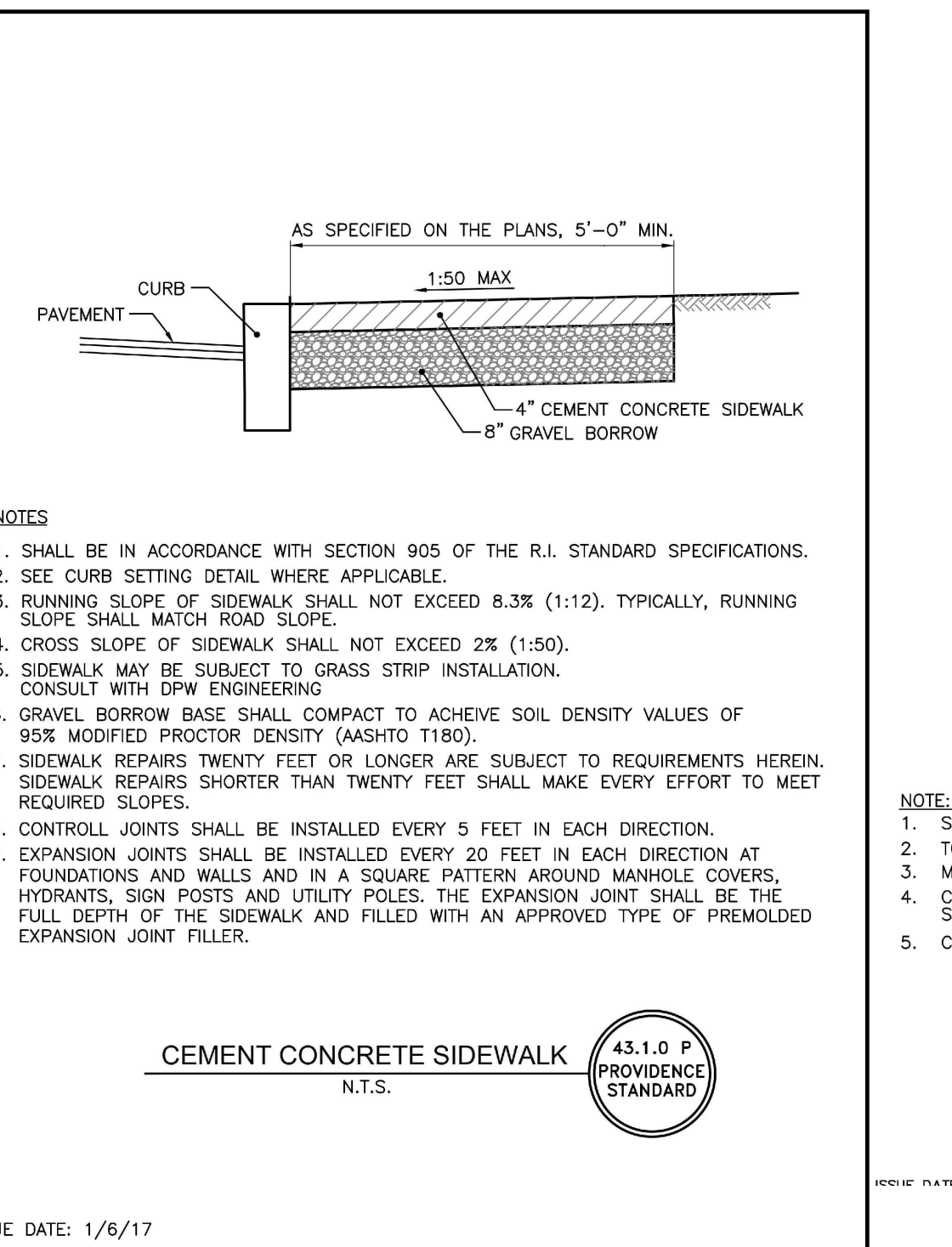
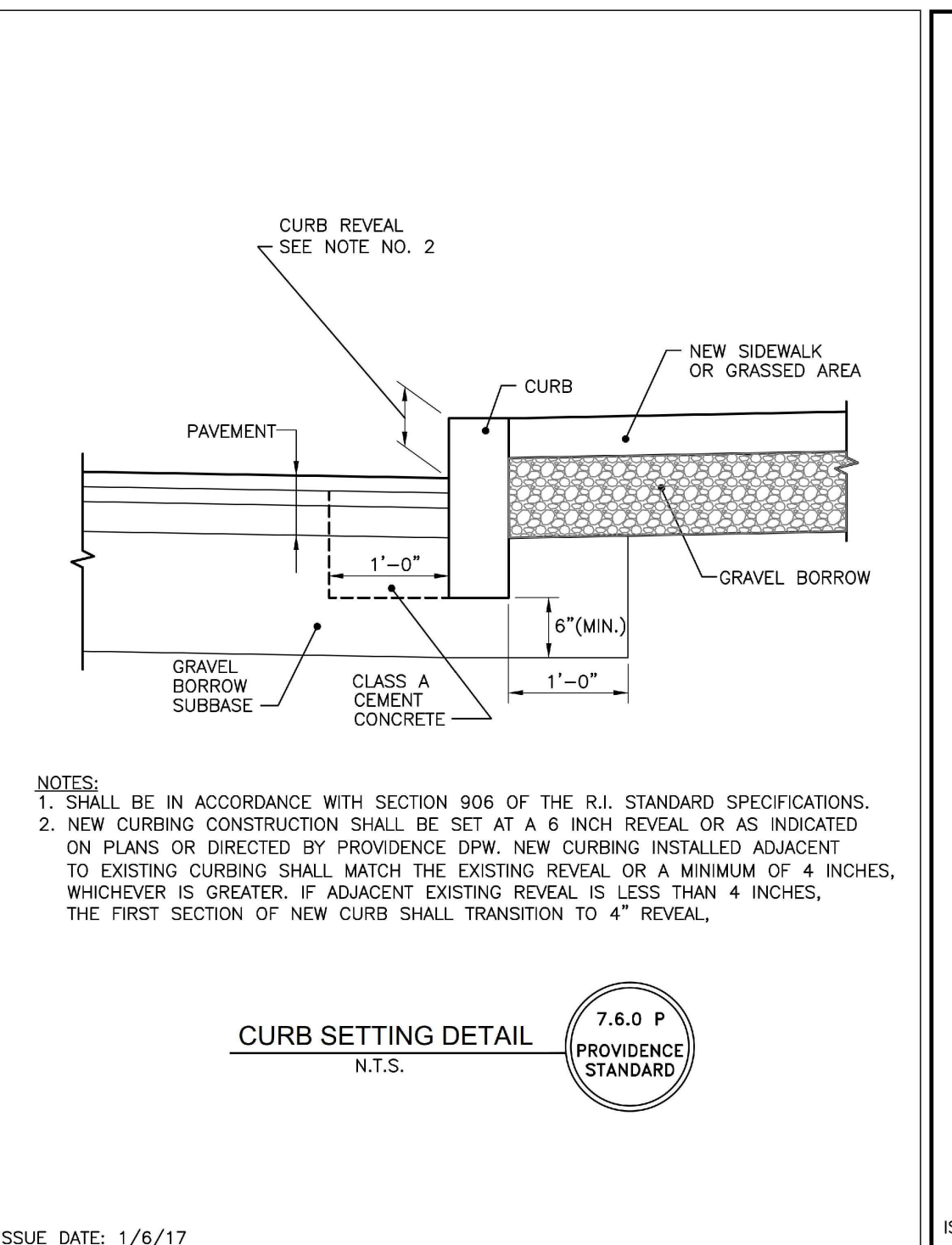
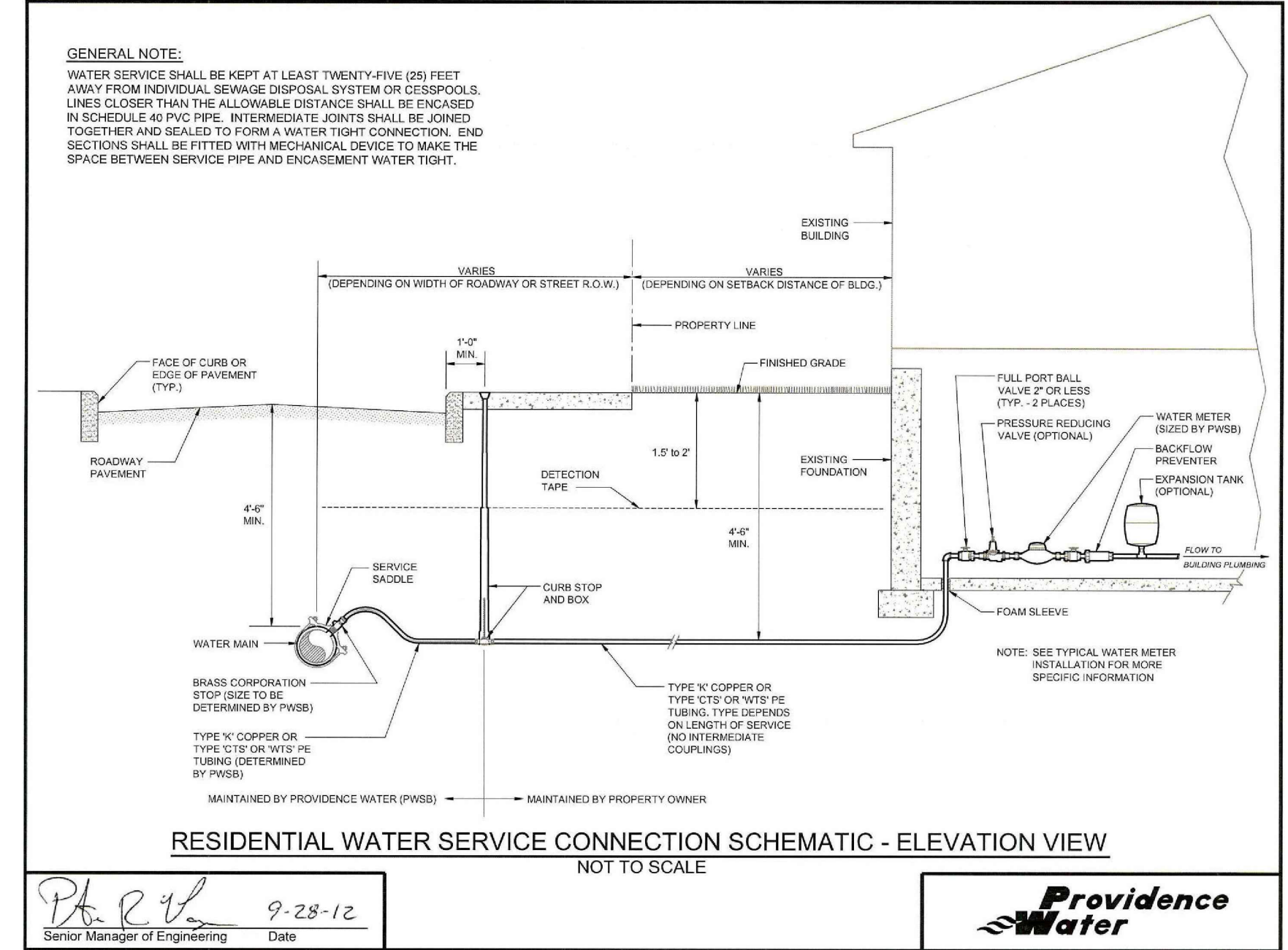
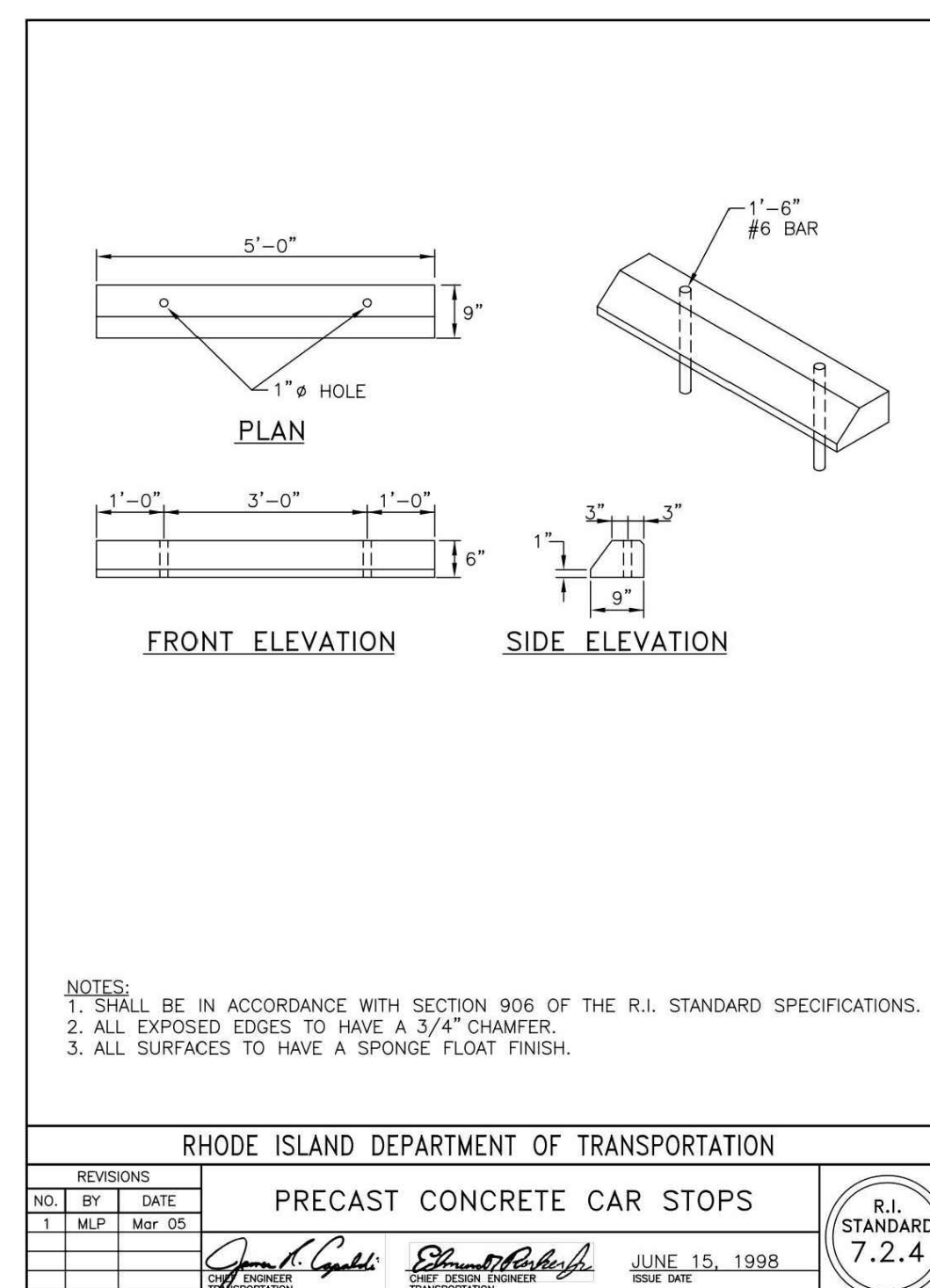
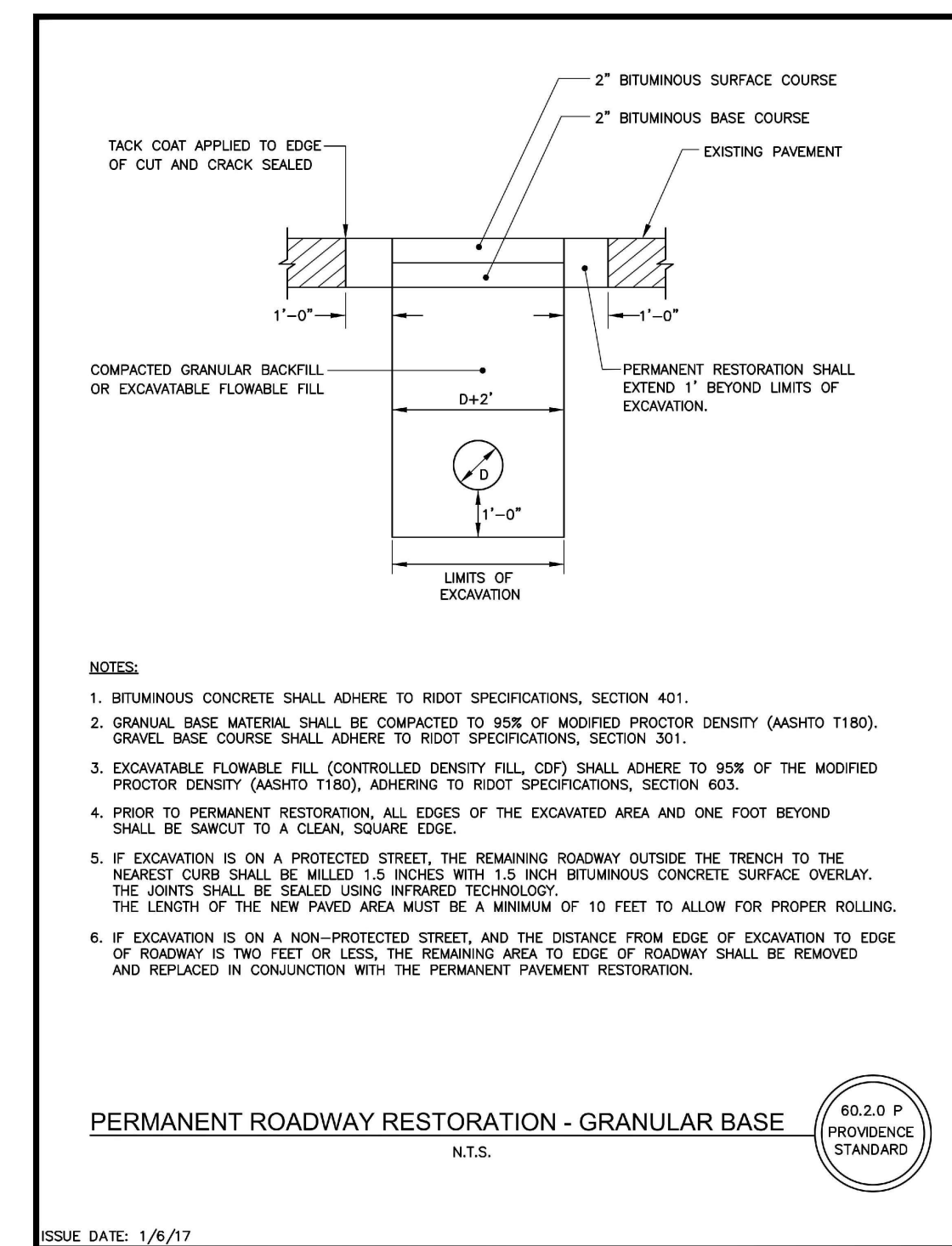
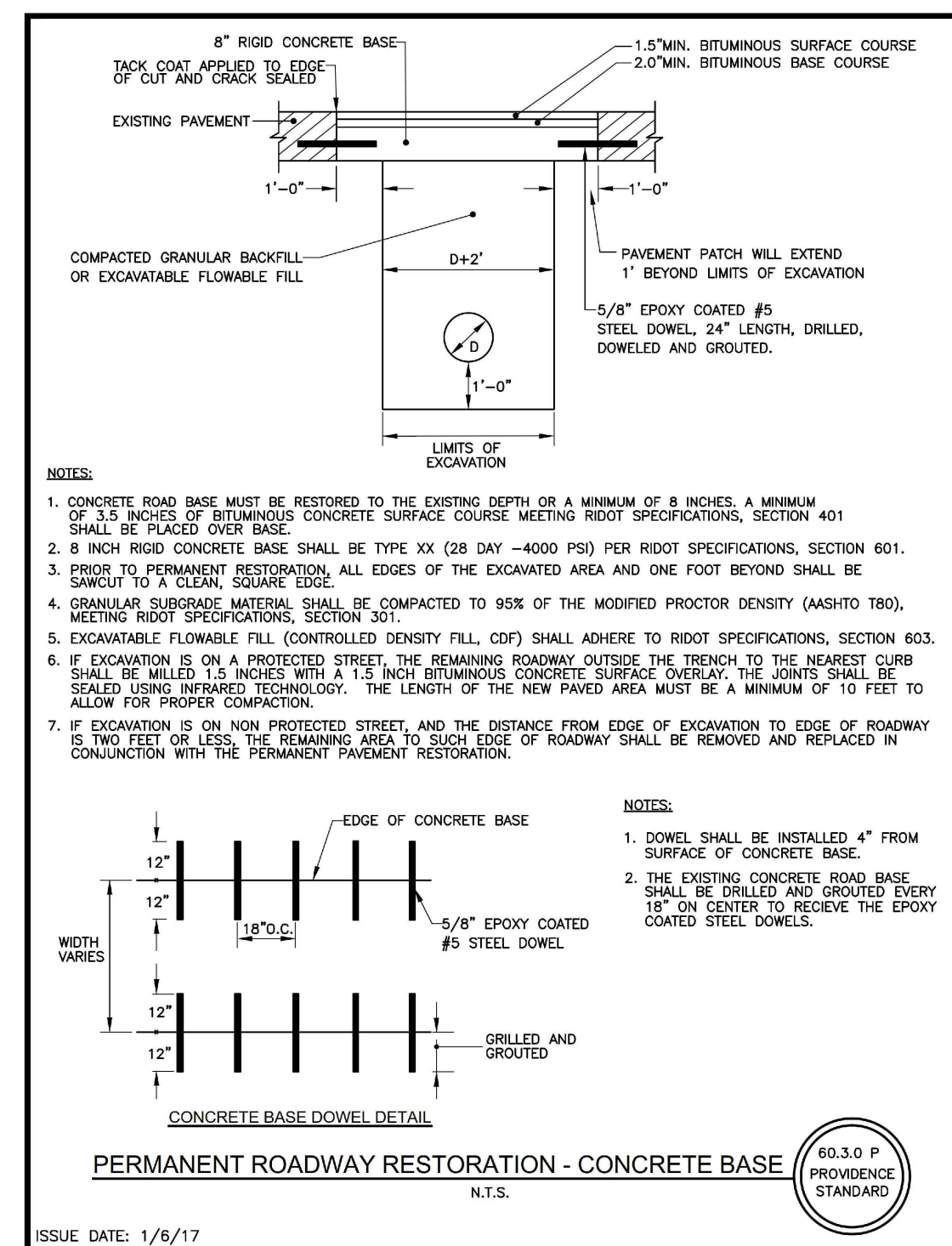
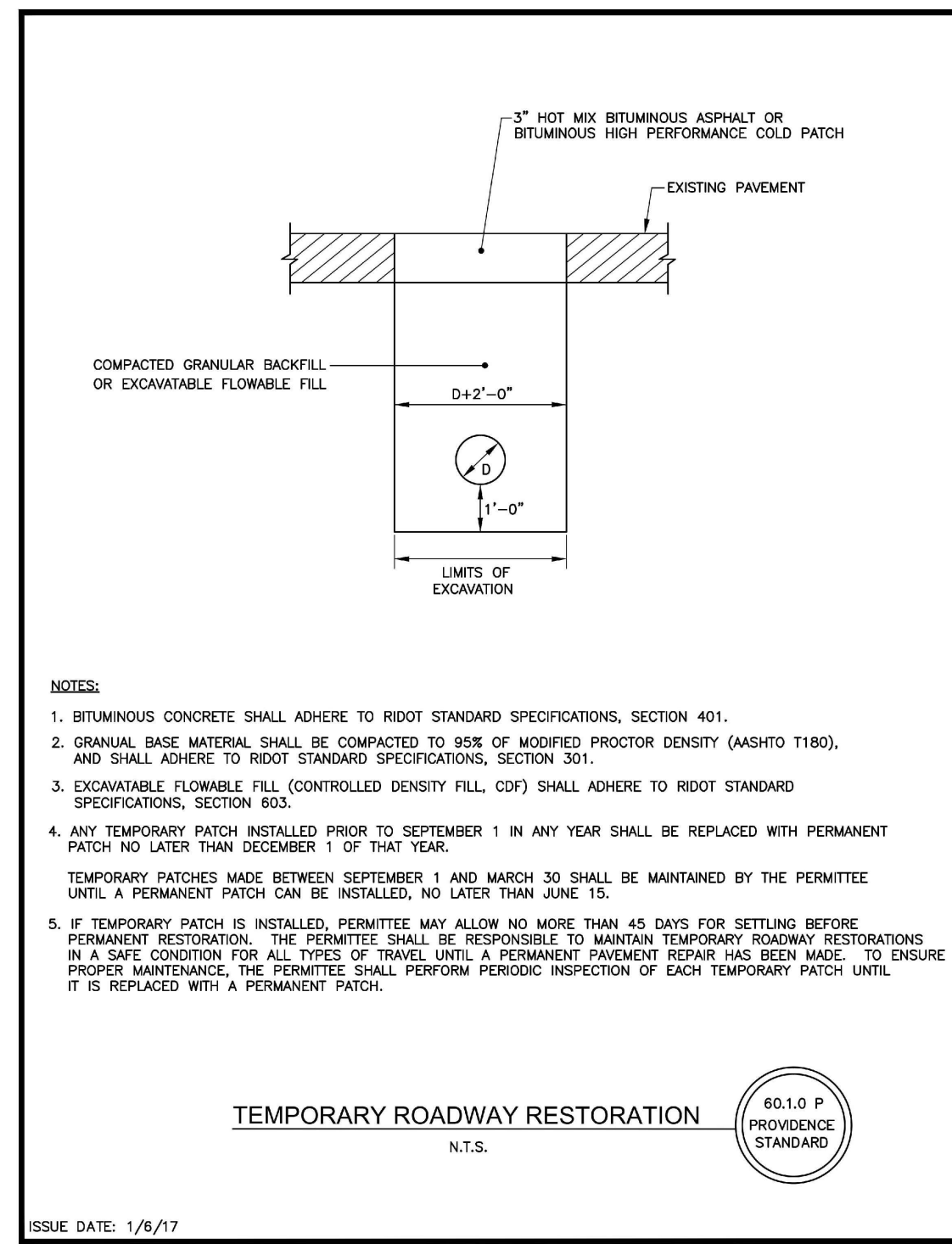


**DEVELOPMENT PLAN**  
FOR  
**WOMENS DEVELOPMENT CORPORATION**  
**WEST END III PROJECT**  
ON  
A.P. 30, LOTS 238 & 239  
39 AND 41 GILMORE STREET  
PROVIDENCE, RHODE ISLAND

**SOIL EROSION AND SEDIMENT CONTROL PLAN**

SCALE: 1-INCH = 20-FEET SHEET NO. 6 OF 7  
DRAWN BY: SMA DESIGN BY: SMA CHECKED BY: TJB  
DATE: DECEMBER 2022 PROJECT NO. 22035.00





**TIMOTHY J. BEHAN**  
REGISTERED PROFESSIONAL ENGINEER  
12/23/2022

**OWNER/APPLICANT:**  
WOMENS DEVELOPMENT CORPORATION  
851A BROAD STREET  
PROVIDENCE, RI 02909  
(401) 941-2900

**CONTACT:**  
CHARLOTTE THOMAS-DAVISON  
DIRECTOR OF REAL ESTATE DEVELOPMENT  
PHONE: 401-941-2900  
EMAIL: THOMASDAVISON@WDCHOC.ORG

**COMMONWEALTH ENGINEERS & CONSULTANTS, INC.**  
400 SMITH STREET  
PROVIDENCE, RHODE ISLAND 02908  
(401) 273-6600

**DEVELOPMENT PLAN FOR WOMENS DEVELOPMENT CORPORATION WEST END III PROJECT**  
ON A.P. 30, LOTS 238 & 239  
39 AND 41 GILMORE STREET  
PROVIDENCE, RHODE ISLAND  
**CONSTRUCTION DETAILS**

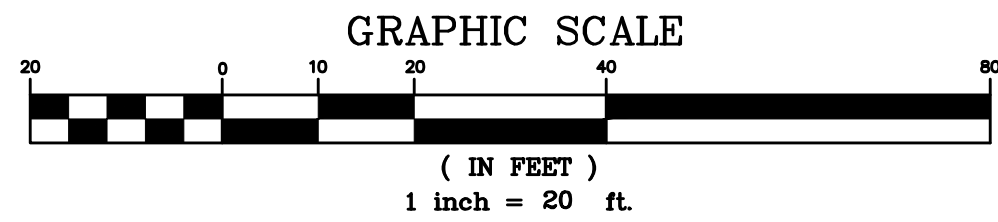
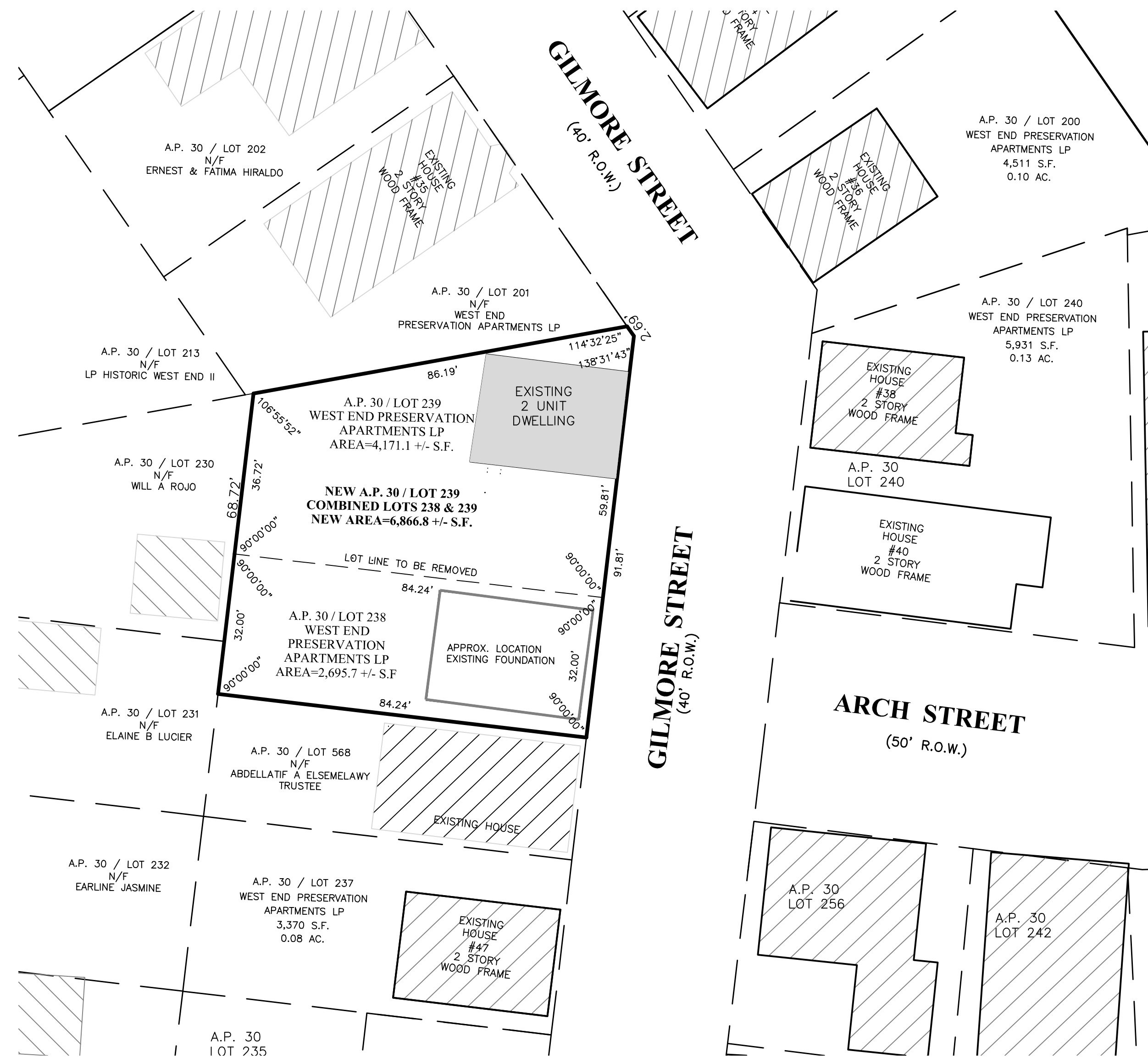
**DRAWING ISSUE:**  
 CONCEPT  
 CUSTOMER APPROVAL  
 PERMITTING  
 CONSTRUCTION  
 AS-BUILT  
 OTHER:  
ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

**REVISIONS**

No.	DATE	DRWN	CHKD

**SCALE: 1-INCH = 20-FEET** SHEET NO: 7 OF 7  
DRAWN BY: SMA DESIGN BY: SMA CHECKED BY: TJB  
DATE: DECEMBER 2022 PROJECT NO 22035.00:



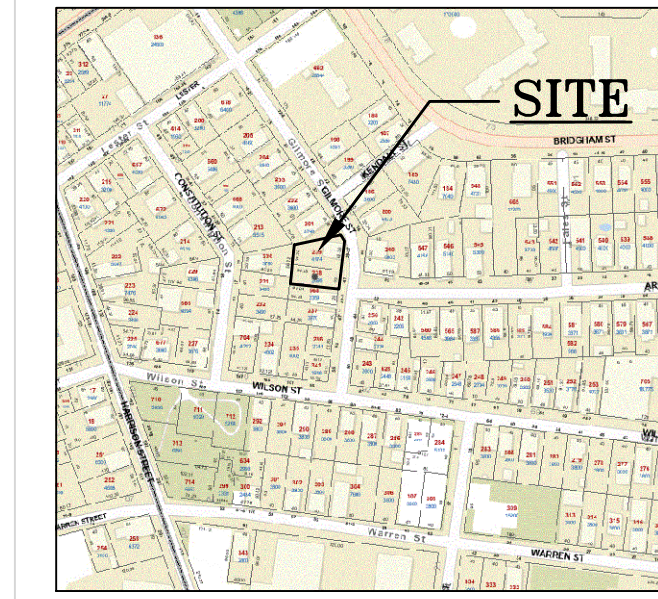


**ZONING DISTRICT:**

ZONE: R-3 RESIDENTIAL DISTRICT (HIGHER DENSITY RESIDENTIAL AREAS)

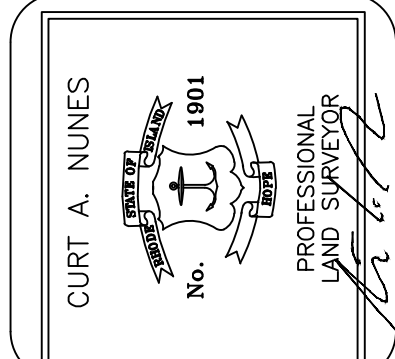
DEED BOOK 2497  
PAGES 143, 144 AND 147

PARCEL ID: A.P. 30 LOTS 238 & 239  
LOT AREA: COMBINED 6,866.8 +/- SF



LOCUS  
N.T.S.

NO.	DATE	REVISION	BY



**COMMONWEALTH**  
LAND SURVEYORS, INC.  
4 PATRIOT STREET  
ATTLEBORO, MASSACHUSETTS 02703  
508-433-2634

CLASS IV  
ADMINISTRATIVE SUBDIVISION  
39 & 41 GILMORE STREET  
PLAT 30 LOTS 238 & 239  
IN  
PROVIDENCE, RHODE ISLAND  
date: 12/1/2022 scale: 1"=20'

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015 AS FOLLOWS  
COMPILATION PLAN- CLASS IV

THIS COMPILATION PLAN HAS BEEN PREPARED FROM SOURCES OF INFORMATION AND DATA WHOSE POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED. THE PROPERTY LINES DEPICTED HEREON DO NOT REPRESENT A BOUNDARY OPINION, AND OTHER INFORMATION DEPICTED IS SUBJECT TO SUCH CHANGES AS AN AUTHORITATIVE FIELD SURVEY MAY DISCLOSE.

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:  
TO MERGE LOTS 238 & 239

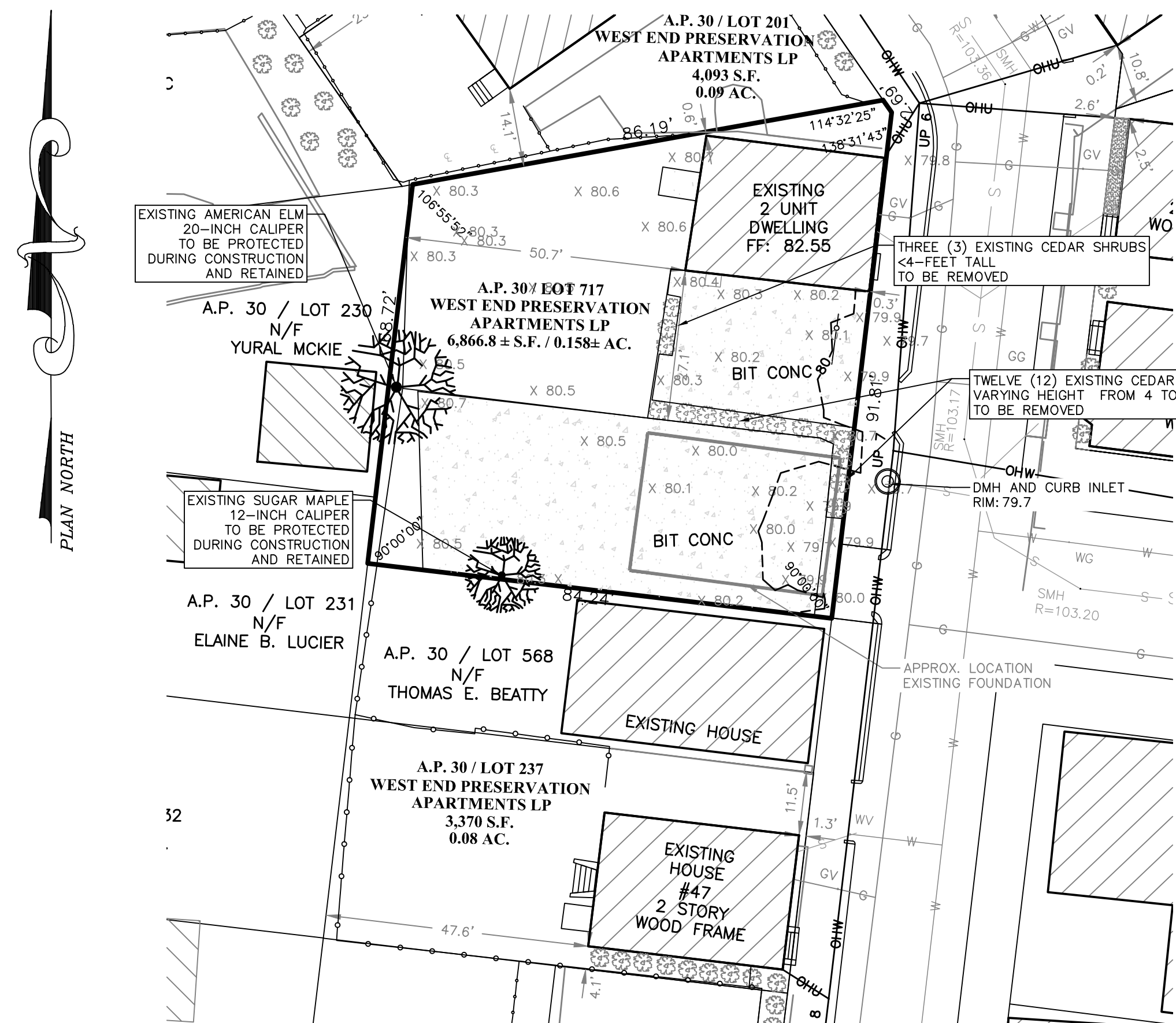
By: *Curt A. Nunes* (PLS Sig)  
CURT A. NUNES (PLS PRINTED AND #)  
LS-A395 (COA #)

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Checked By: CAN  
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**1**  
of 1

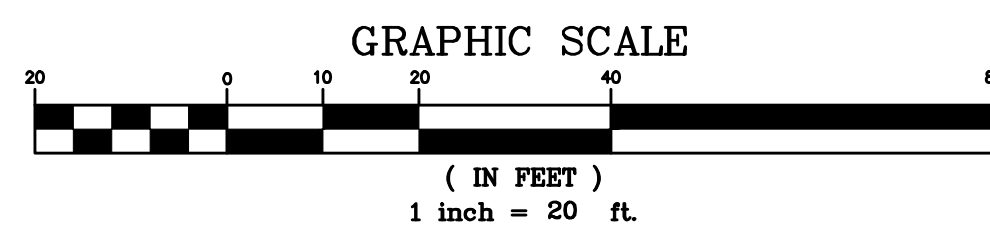
OWNER/APPLICANT:  
**WOMENS DEVELOPMENT CORPORATION**  
861A BROAD STREET  
PROVIDENCE, RI 02909  
(401) 941-2900

CONTACT:  
CHARLOTTE THOMAS-DAVISON  
DIRECTOR OF REAL ESTATE DEVELOPMENT  
PHONE: 401-941-2900  
EMAIL: THOMASDAVISON@WDCHOC.ORG





**EXISTING PLAN VIEW**



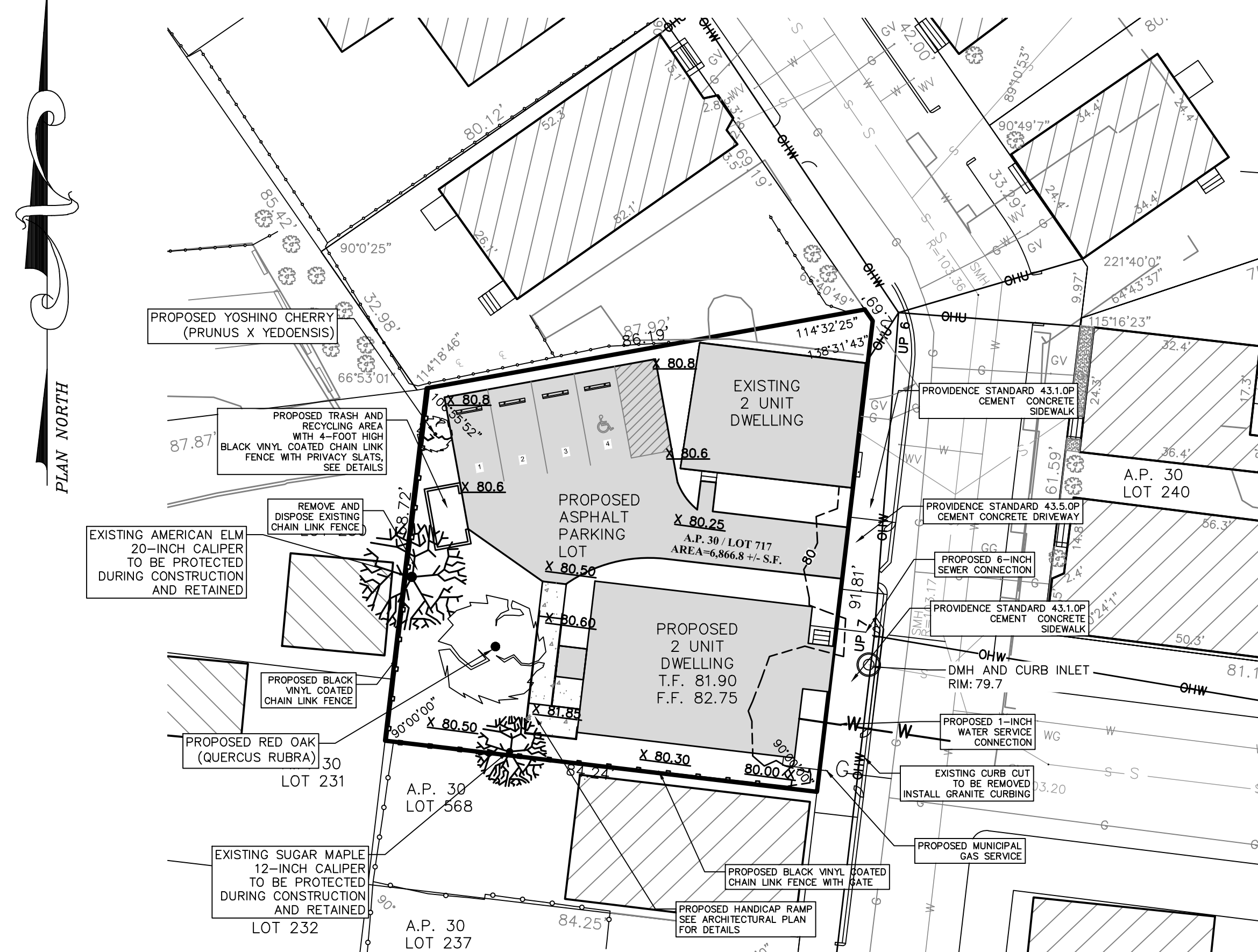
**EXISTING ZONING TABLE:**

ZONE: R-3 RESIDENTIAL DISTRICT (HIGHER DENSITY RESIDENTIAL AREAS)

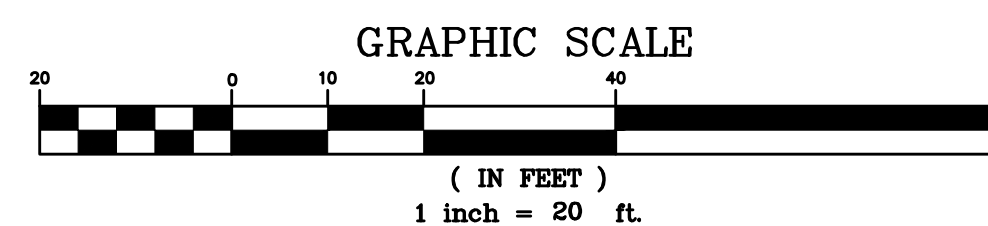
PARCEL ID: A.P. 30 LOTS 238 & 239  
 LOT AREA: 0.157 ± ACRES  
 6,866.8 ±

DEED BOOK 2497  
 PAGES 143, 144 AND 147

	REQUIRED	PROVIDED
MIN. LOT AREA	N.A.	6,855 S.F.
MIN. FRONT YARD	SEE 402.B	>1 FT.
MIN. INTERIOR SIDE YARD	4 FT.	5.3 FT.
MIN. CORNER SIDE YARD	SAME AS FRONT	N/A
MIN. REAR YARD	25 FT.	>25 FT.
MAX. BLDG. HEIGHT	45 FT.	<45 FT.
MAX. BLDG. COVERAGE	45%	11.5 %
MAX. IMPERV. COVERAGE	65%	60 %
FRONT YARD	33%	N/A
REAR YARD	50%	39.5%



**PROPOSED PLAN VIEW**



**PROPOSED ZONING TABLE:**

ZONE: R-3 RESIDENTIAL DISTRICT (HIGHER DENSITY RESIDENTIAL AREAS)

PARCEL ID: A.P. 30 LOTS 238 & 239  
 LOT AREA: 0.157 ± ACRES  
 6,855 ±

	REQUIRED	PROVIDED
MIN. LOT AREA	N.A.	6,855 S.F.
MIN. FRONT YARD	SEE 402.B	>1 FT.
MIN. INTERIOR SIDE YARD	4 FT.	5.3 FT.
MIN. CORNER SIDE YARD	SAME AS FRONT	N/A
MIN. REAR YARD	25 FT.	>25 FT.
MAX. BLDG. HEIGHT	45 FT.	<45 FT.
MAX. BLDG. COVERAGE	45%	30.4 %
MAX. IMPERV. COVERAGE	65%	62.6 %
FRONT YARD	33%	N/A
REAR YARD (1)	50%	49.6%

(1) CALCULATED FROM REAR OF PROPOSED BUILDING

TOTAL LOT AREA		6,867	SQ. FT.	
REQUIRED TREE CANOPY		30	PERCENT	
REQUIRED TREE CANOPY		2,060	SQ. FT.	
EXISTING TREES TO REMAIN				
BOTANICAL NAME	COMMON NAME	CALIPER (INCHES)	CONDITION	CANOPY AREA (SQ. FT.)
ULMUS AMERICANA	AMERICAM ELM	20	GOOD	700
ACER SACCHARUM	SUGAR MAPLE	12	GOOD	300
PROPOSED TREES				
BOTANICAL NAME	COMMON NAME	MIN. CALIPER (INCHES)	CANOPY AREA (SQ. FT.)	
QUERCUS RUBRA	RED OAK	2		1,000
PRUNUS X YEDOENSIS	YOSHINO CHERRY	2		300
TOTAL CANOPY COVERAGE PROVIDED				2,300

**LEGEND**

- PARCEL PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- EXISTING FENCE LINE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING CONTOUR TAKEN FROM RIDEM LIDAR
- G G EXISTING GAS LINE
- W W EXISTING WATER LINE
- s s EXISTING SEWER LINE
- GG○ GAS VALVE BOX
- XWV WATER VALVE BOX
- UP-297 UTILITY POLE AND NUMBER
- SMH EXISTING SEWER MANHOLE
- TMH EXISTING TELEPHONE MANHOLE
- DMH PROPOSED DRAINAGE MANHOLE
- CB PROPOSED CATCH BASIN
- SWL SOLID WHITE LINE
- SYDL SOLID YELLOW DOUBLE LINE
- B.S.L. BUILDING SETBACK LINE
- X39.50 PROPOSED CONTOUR LINE
- X39.50 PROPOSED SPOT GRADE
- PROPOSED FENCE
- W W PROPOSED WATER LINE
- s s PROPOSED SEWER LINE
- PROPOSED SOLAR PARKING AREA LIGHT
- EIR EXISTING IRON ROD
- PK P K NAIL
- BUILDING SETBACK LINE

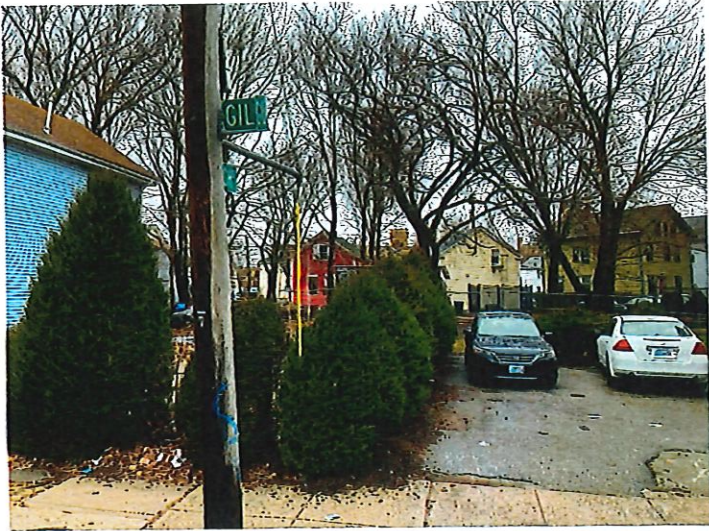
OWNER/APPLICANT:  
 WOMENS DEVELOPMENT CORPORATION  
 861A BROAD STREET  
 PROVIDENCE, RI 02909  
 (401) 941-2900

CONTACT:  
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 EMAIL: THOMASDAWSON@WDCHEC.ORG

DEVELOPMENT TREE PLAN  
 FOR  
 WOMENS DEVELOPMENT CORPORATION  
 WEST END III PROJECT  
 ON  
 A.P. 30, LOT 717  
 39 AND 41 GILMORE STREET  
 PROVIDENCE, RHODE ISLAND  
 EXISTING AND PROPOSED CONDITIONS

DATE: FEBRUARY 2023





Facing East of Gilmore Street Property.



Facing West towards Gilmore Street.



Facing East of Gilmore Street Property.



Facing North of Gilmore Street Property.



Facing North of Gilmore Street Property.