

CITY OF PROVIDENCE  
ZONING BOARD OF REVIEW

INSPECTION & STANDARDS  
RECEIVED

MAR 13 2025

APPLICATION FOR VARIANCE OR SPECIAL USE PERMIT

Check Each Type Zoning Relief Sought:

☐

Variance – Use\*

☒

Variance – Dimensional\*

☐

Special Use Permit\*\*

\* Attach APPENDIX A to apply for a Use or Dimensional Variance

\*\* Attach APPENDIX B to apply for a Special Use Permit

If a section of the application is not applicable, please indicate this by using N/A in that field.

Applicant: Jeffrey Infante Applicant Mailing Address  
Email: jhome81@gmail.com Street: 843 Reservoir Ave.  
Phone: (401) 678-9115 City, State, Zip: Cranston, RI - 02910

Owner: Lumy Santos Owner Mailing Address  
Email: lumysantos@hotmail.com Street: 392 Mt Pleasant Ave.  
Phone: 4012651260 City, State, Zip: Providence, RI - 02908

Lessee: \_\_\_\_\_ Lessee Mailing Address  
Email: \_\_\_\_\_ Street: \_\_\_\_\_  
Phone: \_\_\_\_\_ City, State, Zip: \_\_\_\_\_

Attorney: \_\_\_\_\_ Attorney Mailing Address  
Email: \_\_\_\_\_ Street: \_\_\_\_\_  
Phone: \_\_\_\_\_ City, State, Zip: \_\_\_\_\_

Does the proposal require review by any of the following:

☐  
☐  
☐  
☐

Downtown Design Review Committee  
I-195 Redevelopment District Commission  
Capital Center Commission  
Historic District Commission

1. Street Address of Subject Property: 392 Mt Pleasant St. Providence - RI 02908  
Plat and Lot Numbers of Subject Property: 128-133

2. Base Zoning District(s): R-1  
 Overlay District(s): \_\_\_\_\_

3a. Date owner purchased the Property: 06/02/2023

3b. Month/year of lessee's occupancy: \_\_\_\_\_

4. Dimensions of each lot:

Lot # <u>133</u>	Width <u>53.35</u>	Depth <u>100</u>	Total area <u>5,365</u> sq. ft.
Lot # _____	Width _____	Depth _____	Total area _____ sq. ft.
Lot # _____	Width _____	Depth _____	Total area _____ sq. ft.
Lot # _____	Width _____	Depth _____	Total area _____ sq. ft.

5a. Size of existing structure(s) located on the Property:

<u>Principal Structure:</u>	<u>Accessory Structure:</u>
Area of Footprint <u>None</u>	Area of Footprint <u>None</u>
Overall Height _____	Overall Height _____
# of Stories _____	# of Stories _____

5b. Size of proposed structure(s) located on the Property:

<u>Principal Structure:</u>	<u>Accessory Structure:</u>
Area of Footprint <u>1,335 SF</u>	Area of Footprint <u>587 SF</u>
Overall Height <u>35' 4"</u>	Overall Height <u>20'</u>
# of Stories <u>3</u>	# of Stories <u>2</u>

6a. Existing Lot Coverage:

Building Coverage (area of all roofed structures) None  
 Total Impervious Coverage Area (area of all roofed structures and impervious surfaces) None  
 Rear Yard Impervious Coverage (area of structures and impervious surface in rear yard) None  
 Front Yard Impervious Coverage (area of structures and impervious surface in front yard) None

6b. Proposed Lot Coverage:

Building Coverage (area of all roofed structures) 2,022 SF  
 Total Impervious Coverage Area (area of all roofed structures and impervious surfaces) 2501  
 Rear Yard Impervious Coverage (area of structures and impervious surface in rear yard) \_\_\_\_\_  
 Front Yard Impervious Coverage (area of structures and impervious surface in front yard) 63.9

7a. Present Zoning Use of the Property: R-1

7b. Legal Zoning Use of the Property as recorded in the Dept. of Inspection & Standards:

Residential vacant

8. Proposed Zoning Use of the Property: R-1

9. Number of Parking Spaces:

# of existing spaces 0 # of proposed spaces 2

10. Are there outstanding violations concerning the Property under any of the following:

X Zoning Ordinance \_\_\_\_\_ RI State Building or Property Maintenance Code(s)

**11a. List all Zoning Ordinance Sections from which a variance is sought:**

<u>Section Number</u>	<u>Section Title + Quantity of relief, if applicable (eg. 4' setback where 6' required)</u>
Table 4-1	Dimensional standards: 8ft Rear setback where 30ft was required

**11b. Identify the section(s) of the Zoning Ordinance that provide for the special use permit, and list all section(s) which provide Use Standards for the proposed Special Use(s):**

<u>Section Number</u>	<u>Section Title</u>

**12. Summarize any changes proposed for the Property (use, construction/renovation, site alteration):**


Construction of an attached garage for safety reasons on the rear yard of the dwelling under construction.

*The undersigned acknowledge(s) and agree(s) that members of the Zoning Board of Review and its staff may enter upon the exterior of the Property in order to view the Property prior to any hearing on the application.*

*The undersigned further acknowledge(s) that the statements herein and in any attachments or appendices are true and accurate, and that providing a false statement in this application may be subject to criminal and/or civil penalties as provided by law, including prosecution under the State and Municipal False Claims Acts. Owner(s)/Applicant(s) are jointly responsible with their attorneys for any false statements. As indicated on the instructions page, this application may not be signed by an attorney on behalf of their client(s).*

**Owner(s):**

Lumy Santos

 dotloop verified  
03/12/25 3:52 PM EDT  
FS9L-0C8H-YXW1-S8G2

Signature

Type Name

Signature

**Applicant(s):**

Jeffrey Infante

Type Name  
  
Signature

Type Name

Signature

**All applicable requirements listed and described on the Instruction Sheet shall be met or this application will not be considered complete.**



## APPENDIX A

### APPLICATION FOR VARIANCE(S)

Rhode Island General Laws § 45-24-41(d) and (e) require that the Applicant for a variance demonstrate:

1. That the hardship from which the applicant seeks relief is due to the unique characteristics of the subject land or structure and not to the general characteristics of the surrounding area; and is not due to a physical or economic disability of the applicant, excepting those physical disabilities addressed in § 45-24-30(a)(16);
2. That the hardship is not the result of any prior action of the applicant;
3. That the granting of the requested variance will not alter the general character of the surrounding area or impair the intent or purpose of the zoning ordinance or the comprehensive plan upon which the ordinance is based; and
4. (a) For a **use variance**: That the land or structure cannot yield any beneficial use if it is required to conform to the provisions of the zoning ordinance;  
 (b) For a **dimensional variance**: That the hardship suffered by the owner of the subject property if the dimensional variance is not granted amounts to more than a mere inconvenience, meaning that the relief sought is minimal to a reasonable enjoyment of the permitted use to which the property is proposed to be devoted.

Please provide the following information:

1. What is the specific hardship from which the applicant seeks relief?

The hardship results from the reorientation of the frontage from 10 Rialto St. to 392 Mt Pleasant St., as this was necessary to optimize the buildable area. The original 30' rear setback significantly limited the usable footprint. The reorientation allowed for a more functional layout of the main building and to place the attached garage on the rear yard. The requested 22' relief on the rear setback would ensure a direct connection from the house to the garage for the elderly resident.

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2. Specify all unique characteristics of the land or structure that cause the hardship:

The rear yard emerged as the most viable location for an attached garage proposed during the development of the project, ensuring a direct connection to the dwelling and providing a fully covered walkway. This feature is critical for safeguarding the elderly resident from potential hazards caused by external conditions, as has occurred previously. To ensure both functional use of the lot and the resident's safety, the garage was placed in the rear yard, encroaching 22' beyond the required 30' setback. Given the lot's constraints and the necessity of an attached garage for accessibility, this encroachment becomes a hardship. The adherence to the setback requirement would force a detached garage, which pose significant safety challenges for the elderly resident.

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3. (a) Is the hardship caused by an economic disability? Yes \_\_\_\_\_ No X \_\_\_\_\_  
 (b) Is the hardship caused by a physical disability? Yes \_\_\_\_\_ No X \_\_\_\_\_  
 (c) If the response to subsection (b) is "yes," is the physical disability covered by the Americans with Disabilities Act of 1990 (ADA), 42 U.S.C. § 12101 et seq.? Yes \_\_\_\_\_ No \_\_\_\_\_



4. Did the owner/applicant take any prior action with respect to the Property that resulted in the need for the variance requested? (Examples include, but are not limited to, any changes the owner/applicant made to the structure(s), lot lines, or land, or changes in use of the Property)?

Yes X No       

If "yes," describe any and all such prior action(s) and state the month/year taken:

The foundation has been placed and passed inspection on October 2024, and the framing of the main building is currently in progress. The framing of the garage is on hold.

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5. If you are seeking a USE VARIANCE, set forth all facts that demonstrate that the Property cannot have any beneficial use if you are required to use it in a manner allowed in the zoning district:

- 
6. If you are seeking a DIMENSIONAL VARIANCE, set forth all facts that indicate that if the variance is not granted, the hardship the owner/applicant will suffer is more than a mere inconvenience:

If the requested relief is not granted, the elderly resident will be at significant risk of injury, especially during winter when snow and ice can create hazardous conditions, as this has happened before. This presents a serious safety concern that could compromise the well-being of the resident.

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**IF MORE ROOM IS NEEDED TO ANSWER ANY OF THE ABOVE QUESTIONS, PLEASE SUBMIT AN  
ADDENDUM TO THIS APPENDIX WITH COMPLETE RESPONSES.**

ABBREVIATIONS		SYMBOLS		GENERAL NOTES																																				
<div><div><div>A</div><div>ACT</div><div>AD</div><div>ADA</div><div>ADD</div><div>ADDL</div><div>ADJ</div><div>AFF</div><div>AHJ</div><div>AL</div><div>ALT</div><div>ANOD</div><div>AP</div><div>APPD</div><div>APPROX</div><div>APT</div><div>ARCH</div><div>ATTEN</div><div>AUTH</div><div>AUTO</div><div>AVG</div></div><div><div>AREA; AMPERE; ALCOVE; COMP AIR LINE</div><div>ACOUSTICAL CEILING TILE</div><div>AREA DRAIN</div><div>AMERICANS WITH DISABILITIES ACT</div><div>ADDITIONAL</div><div>ADJUST</div><div>ABOVE FINISH FLOOR</div><div>AIR HANDLING UNIT</div><div>ALUMINUM</div><div>ALTERNATE</div><div>ANODIZED</div><div>ACCESS PANEL</div><div>APPROVED</div><div>APPROXIMATE</div><div>APARTMENT</div><div>ARCHITECT; ARCHITECTURAL</div><div>ATTENUATION</div><div>AUTHORIZED</div><div>AUTOMATIC</div><div>AVERAGE</div></div></div> <div><div>BC</div><div>BDRM</div><div>BTW</div><div>BIT</div><div>BL</div><div>BLDG</div><div>BM</div><div>BMT</div><div>BO</div><div>BP</div><div>BR</div><div>BTU</div></div> <div><div>BOTTOM OF CURB</div><div>BEDROOM</div><div>BETWEEN</div><div>BITUMINOUS</div><div>BASLINE; BLDG LINE; BLOCK</div><div>BUILDING</div><div>BEAM; BENCHMARK</div><div>BUTYL MASTIC TAPE SEALANT</div><div>BOTTOM OF</div><div>BASE PLATE; BYPASS</div><div>BEDROOM; BRICK; BRASS; BOILER RM</div><div>BRITISH THERMAL UNITS</div></div> <div><div>CAB</div><div>CP</div><div>CCW</div><div>CWB</div><div>CFL</div><div>CG</div><div>CH</div><div>CIRC</div><div>CJ</div><div>CL</div><div>CLG</div><div>CLO</div><div>CLR</div><div>CMU</div><div>CNTR</div><div>COEF</div><div>COMP</div><div>CONC</div><div>CONTR</div><div>COORD</div><div>COR</div><div>CORR</div><div>CPT</div><div>CRSK</div><div>CT</div></div> <div><div>CABINET</div><div>CARPET</div><div>COUNTERCLOCKWISE</div><div>CEMENT WALL BOARD</div><div>COUNTERFLASHING</div><div>CORNER GUARD</div><div>COAT HOOK</div><div>CIRCUMFERENCE</div><div>CONTROL JOINT</div><div>CENTERLINE; CLEARANCE; CLOSET</div><div>CEILING</div><div>CLOSET</div><div>CLEAR</div><div>CONCRETE MASONRY UNIT</div><div>CENTER; COUNTER</div><div>COEFFICIENT</div><div>COMPOSITION; COMPRESSED</div><div>CONCRETE</div><div>CONTRACTOR</div><div>COORDINATE</div><div>CORNER; CORRIDOR</div><div>CORRIDOR; CORRUGATED</div><div>CARPET</div><div>COUNTERSINK</div><div>CERAMIC TILE; CORK TILE</div></div> <div><div>DB</div><div>DEM</div><div>DEMO</div><div>DIA</div><div>DIAG</div><div>DIAM</div><div>DIFF</div><div>DIM</div><div>DISP</div><div>DN</div><div>DP</div><div>DS</div><div>DTL</div><div>DWG</div><div>DWGS</div></div> <div><div>DECIBEL</div><div>DEMOLISH</div><div>DEMOLITION</div><div>DIAMETER</div><div>DIAGONAL</div><div>DIAMETER</div><div>DIFFUSER</div><div>DIMENSION</div><div>DISPOSAL</div><div>DOWN</div><div>DAMP PROOFING</div><div>DOWNSPOUT; DOOR SWITCH</div><div>DETAIL</div><div>DRAWING</div><div>DRAWINGS</div></div> <div><div>EA</div><div>EJ</div><div>EL</div><div>ELEC</div><div>ELECT</div><div>ELEV</div><div>EM</div><div>EQ</div><div>EQPT</div><div>EXST</div><div>EXP</div></div> <div><div>EACH</div><div>EXPANSION JOINT</div><div>ELEVATION; ELEVATOR</div><div>ELECTRIC</div><div>ELECTRICAL</div><div>ELEVATION; ELEVATOR</div><div>EMERGENCY</div><div>EQUAL</div><div>EQUIPMENT</div><div>EXISTING</div><div>EXPANSION; EXPOSED</div></div> <div><div>FA</div><div>FCU</div><div>FD</div><div>FEC</div><div>FF</div><div>FO</div></div> <div><div>FIRE ALARM</div><div>FAN COIL UNIT</div><div>FLOOR DRAIN</div><div>FIRE EXTINGUISHER CABINET</div><div>FINISHED FLOOR</div><div>FACE OF</div></div>		<div><div><div>Room name</div><div>101</div></div><div>ROOM NAME</div></div> <div><div><div>0</div></div><div>STRUCTURAL GRID</div></div> <div><div><div>E</div><div>A-10</div></div><div>ELEVATION</div></div> <div><div><div>1</div><div>A-10</div></div><div>SECTION</div></div> <div><div><div>NPT 100</div></div><div>ABOVE FINISH FLOOR LEVEL</div></div> <div><div><div>NW-1</div><div>30.00</div><div>95.50</div><div>55.00</div></div><div>WINDOW MEASUREMENTS TABLE</div></div> <div><div><div>ND-1</div><div>-</div><div>36.00</div><div>80.00</div></div><div>DOOR MEASUREMENTS TABLE</div></div> <div><div></div><div>EXISTING TO REMAIN</div></div> <div><div></div><div>NEW CONSTRUCTION</div></div> <div><div></div><div>EXISTING TO DEMOLISH</div></div>	<div><div>THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE WORK PRIOR TO STARTING CONSTRUCTION. 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Room name

ROOM NAME

101

STRUCTURAL GRID

0

E

A-10

ELEVATION

1

A-10

SECTION

NPT 100

ABOVE FINISH FLOOR LEVEL

NW-1

30.00

95.50

55.00

WINDOW MEASUREMENTS TABLE

ND-1

-

36.00

80.00

DOOR MEASUREMENTS TABLE

EXISTING TO REMAIN

NEW CONSTRUCTION

EXISTING TO DEMOLISH

THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE WORK PRIOR TO STARTING CONSTRUCTION. SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES OR UNIDENTIFIED CONDITIONS TO THE ARCHITECT FOR RESOLUTION BEFORE BEGINNING WORK.

ANY DAMAGE TO EXISTING CONDITIONS IN THE EXECUTION OF THE WORK IN THIS CONTRACT SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE CONTRACT.

THE PURPOSE OF THESE DRAWINGS IS FOR THE CONTRACTOR TO INCLUDE ALL LABOR, MATERIALS, AND SERVICES REQUIRED FOR THE COMPLETION OF ALL WORK SHOWN OR REASONABLY IMPLIED BUT NOT LIMITED TO THAT EXPLICITLY SHOWN IN THE DOCUMENTS.

DO NOT SCALE THE DRAWINGS. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.

DIMENSIONS, DETAILS, NOTES AND SYMBOLS THAT APPLY TO ONE UNIT, APPLY TO ALL UNITS IN LIKE SITUATIONS, U.N.O.

UNLESS SPECIFICALLY SHOWN OR NOTED ON THE DRAWINGS, NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED, BORED OR OTHERWISE MODIFIED WITHOUT THE PERMISSION OF THE STRUCTURAL ENGINEER OF RECORD.

THE CONTRACTOR SHALL NOTIFY THE BUILDING OWNER FIVE WORKING DAYS PRIOR TO ANY UTILITY BEING SHUT DOWN FOR CONSTRUCTION WORK.

INSTALLATION SHALL FOLLOW THE MANUFACTURER'S PUBLISHED SPECIFICATIONS AND/OR TRADE STANDARDS IN ADDITION TO MEETING OR EXCEEDING THE DESIGN STANDARDS.

ALL DIMENSIONS ARE TO FACE OF STUD / FACE OF WALL OR CENTERLINE OF COLUMN UNLESS NOTED OTHERWISE.

THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN THE DOCUMENTS PRIOR TO PROCEEDING WITH ANY WORK INVOLVED.

CONTRACTOR SHALL APPLY AND PAY FOR ANY REQUIRED PERMITS FOR WORK PERFORMED.

ALL WORK IS NEW UNLESS OTHERWISE NOTED. REVIEW EXISTING DRAWINGS TO DETERMINE WHAT SELECTIVE DEMOLITION MUST TAKE PLACE IN ORDER TO INSTALL NEW WORK.

"REMOVE" MEANS TO REMOVE AND DISPOSE OF IN A LEGALLY APPROPRIATE DUMPSITE OR TO RECYCLE AT AN APPROPRIATE FACILITY.

"REPLACE" MEANS TO REMOVE EXISTING AND INSTALL NEW.

"FURNISH" MEANS TO PROVIDE NEW MATERIALS.

INFORMATION MAY NOT BE SHOWN IN TRADITIONAL LOCATIONS WITHIN THE DOCUMENTS. REVIEW ALL DOCUMENTS TO DETERMINE COMPLETE SCOPE OF WORK.

CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL NEW REQUIRED SCOPE.

00\_GENERAL PLANS

G'100

GENERAL NOTES

G'101

ZONING AND BUILDING CODE

G'102

SURVEY

01\_ARCHITECTURE PROPOSAL

A'100

FOUNDATION AND BASEMENT

A'101

FIRST AND SECOND FLOOR - PROPOSAL

A'102

ATTIC FLOOR AND ROOF - PROPOSAL

A'104

SECTION A & B - PROPOSAL

A'105

ELEVATIONS - PROPOSAL

A'106

ELEVATIONS - PROPOSAL

A'107

DOORS & WINDOWS SCHEDULE

A'111

DETAILS - PROPOSAL

A'112

DETAILS - PROPOSAL

A'113

DETAILS - PROPOSAL

A'114

DETAILS - PROPOSAL

S'102

FRAMING - FIRST AND SECOND FLOOR

S'103

FRAMING - ROOF

MICHIE DESIGN & BUILD

PERUNOVO LLC

GC - 44956

70 KENNEDY PLAZA, SUITE 6,

PROVIDENCE, RI 02903

Team

Architectural Designer

Bryan B. Michie

392 MOUNT PLEASANT

PROVIDENCE

Client

Jeffrey Infante

392 Mount Pleasant

Providence

RI 02908 USA

PROJECT: 392 Mount Pleasant

No.

Description

Date

1

Impervious surface

Feb 2025

DATE: MARCH 2025

SCALE: AS INDICATED

GENERAL NOTES

G'100



TABLE 4-1: RESIDENTIAL DISTRICT DIMENSIONAL STANDARDS* ABSTRACTED FROM CITY OF PROVIDENCE ZONING ORDINANCE, CHAPTER 27: ZONING												
ACTION	LOT AREA <b>R-1</b>	MIN. LOT WIDTH (ft) <b>R-1</b>	MAX. STRUCTURE HEIGHT (ft) <b>R-1</b>	MAX. BUILDING COVERAGE <b>R-1</b>	MAX. IMPERVIOUS SURFACE COVERAGE FRONT YARD <b>R-1</b>	MAX. IMPERVIOUS SURFACE COVERAGE REAR YARD <b>R-1</b>	TOTAL MAX. IMPERVIOUS SURFACE COVERAGE <b>R-1</b>	TOTAL MIN. PERVIOUS SURFACE COVERAGE <b>R-1</b>	MIN. FRONT SETBACK (ft)	MIN. INTERIOR SIDE / CORNER SIDE SETBACK (ft)	MIN. REAR SETBACK (ft)	TABLE 14-1
												PARKING REQUIREMENT
REQUIRED	E. Lots: None New Subdivisions: 5,000sf	E. Lots: None New Subdivisions: 50'	40', not to exceed 3 stories	45%	33%	50%	65%	1,000 sf	Sec. 402 B: 17' 8"	Lot width less than 60': 6'	30'	1 per dwelling unit
PROPOSED	5,365 SF	53' 8"sf (Existing)	35'4"	35.8%	6.7%	49.7%	42.3%	3098.12sf	21'2"	6'	30'	2

PROJECT SUMMARY

PROJECT:  
392 Mount Pleasant  
Providence, RI 02908, USA

DESCRIPTION:  
New Single Family Dwelling

ZONING: R-1 Residential District

APPLICABLE CODES:  
RISBC-2 RHODE ISLAND BUILDING CODE 2021 RI FIRE CODE  
510-RICR-BUILDING CODE COMMISSION 2021 RI LIFE SAFETY CODE

CONSTRUCTION TYPE  
3 STORIES (Type IIB)



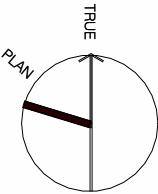
MICHIE DESIGN & BUILD  
PERUNOVO LLC  
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PROVIDENCE, RI 02903

Team  
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PROVIDENCE

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Jeffrey Infante

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Providence  
RI 02908 USA

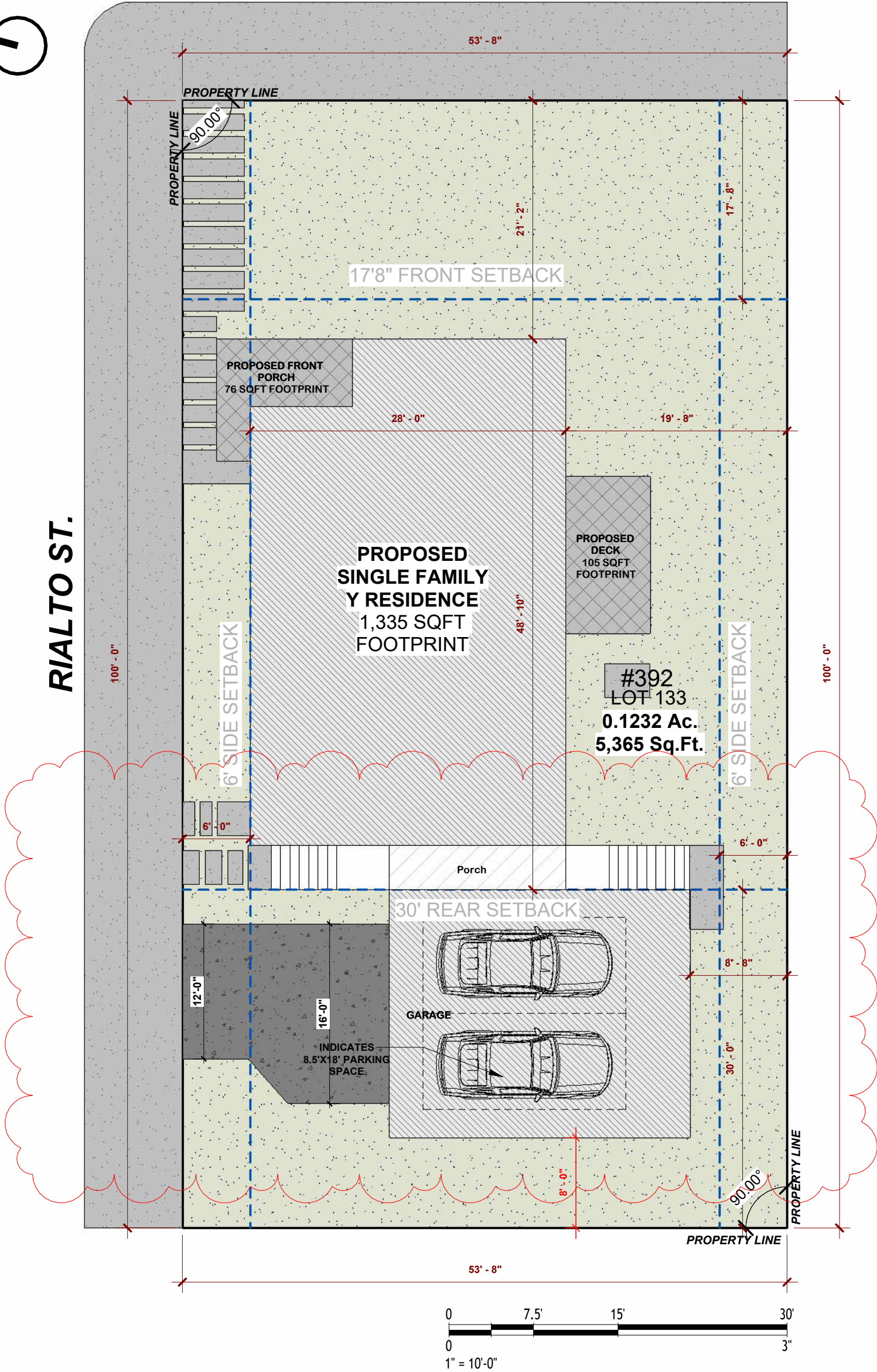


PROJECT: 392 Mount Pleasant



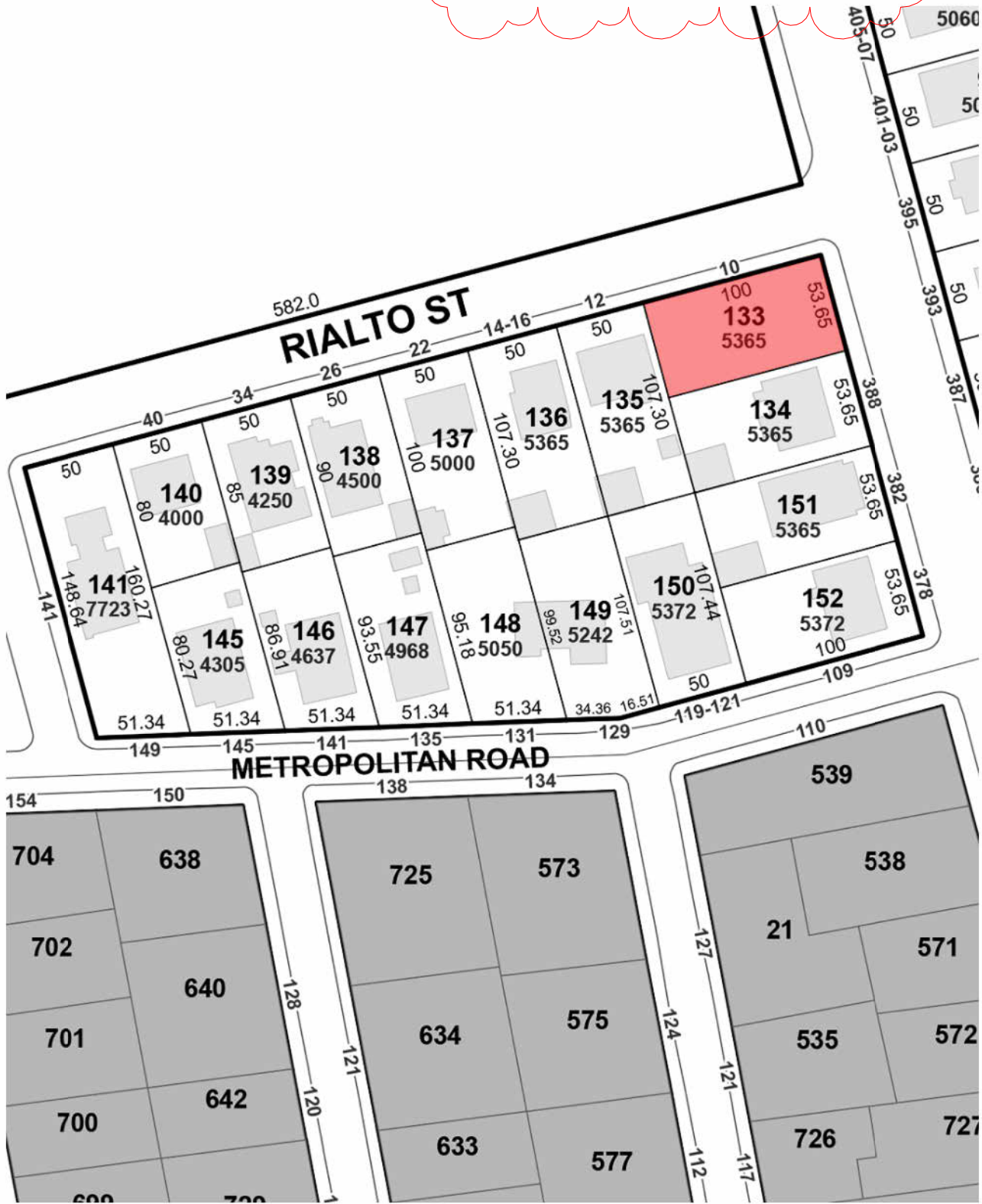
MT PLEASANT AVE.

RIALTO ST.



1. Climate Zone: 5A  
2. Design Parameters  
A. Winter Design Temperature  
a. 99% Winter Design Temperature: -1°F  
b. 1% Winter Design Temperature: 10°F  
Summer Design Temperature  
a. 1% Dry Bulb Temperature: 87°F  
b. 2% Dry Bulb Temperature: 85°F  
Mean Coincident Wet Bulb: 73°F  
3. Humidity  
A. Indoor Design Relative Humidity (Heating): 30%  
B. Indoor Design Relative Humidity (Cooling): 50%  
3. Wind  
A. Basic Wind Speed: 120 mph (3-second gust) per ASCE 7-16  
B. Exposure Category: Exposure B (urban and suburban areas with closely spaced obstructions having the size of single-family dwellings or larger)

4. Snow Load: Ground Snow Load: 30 psf (pounds per square foot)  
5. Seismic Design Category: Seismic Design Category: C (Moderate Seismic Risk)  
6. Frost Line Depth: Frost Line Depth: 48 inches  
8. Soil Conditions: Paxton-Urban land, complex (Bearing capacity of 3500 psf)  
9. Radon: Radon Zone: Zone 2 (Moderate Potential)  
10. Other Considerations:  
1. Mean Annual Temperature: 50.7°F (10.4°C)  
2. Latitude: 41.8240° N  
3. Longitude: 71.4128° W



2 SITE PLAN  
1" = 10'-0"

1 ZONING PLAN  
1" = 80'-0"

No.	Description	Date
1	Impervious surface	Feb 2025

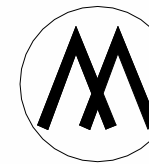
DATE: MARCH 2025

SCALE: AS INDICATED

ZONING AND BUILDING CODE

G'101





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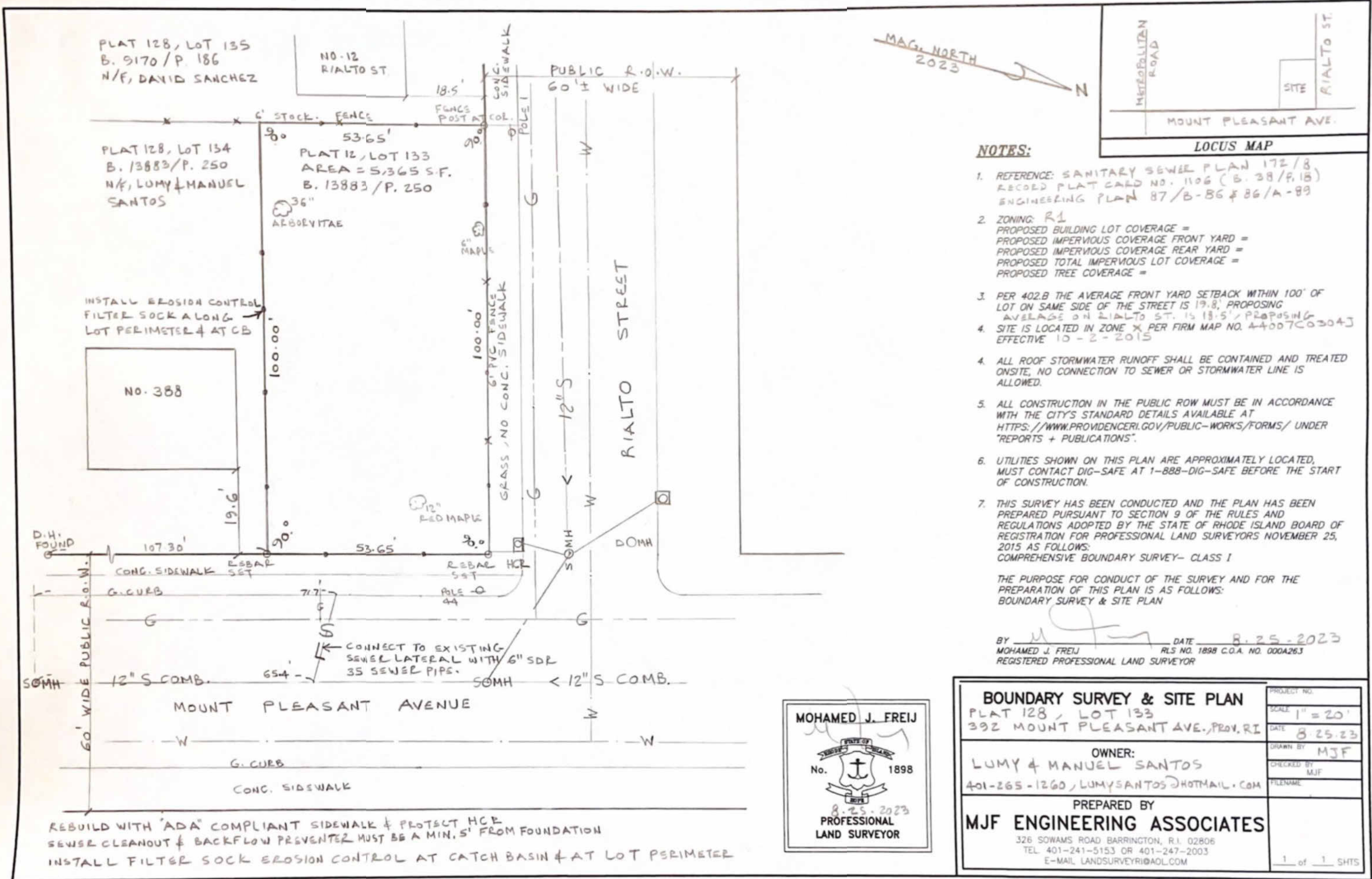
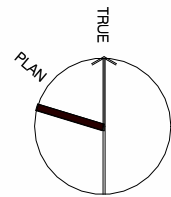
Team  
Architectural Designer  
Bryan B. Michie

392 MOUNT PLEASANT  
PROVIDENCE

Client  
Jeffrey Infante

392 Mount Pleasant  
Providence  
RI 02908 USA

PROJECT: 392 Mount Pleasant



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No.	Description	Date
1	Impervious surface	Feb 2025

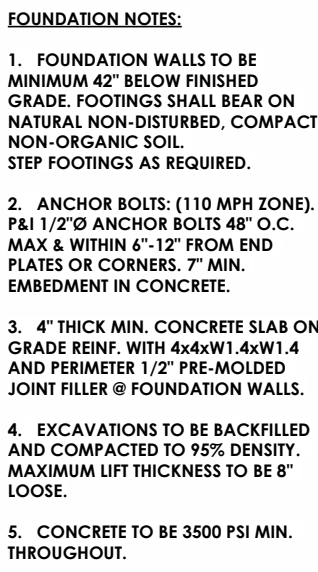
DATE: MARCH 2025

SCALE: AS INDICATED

SURVEY

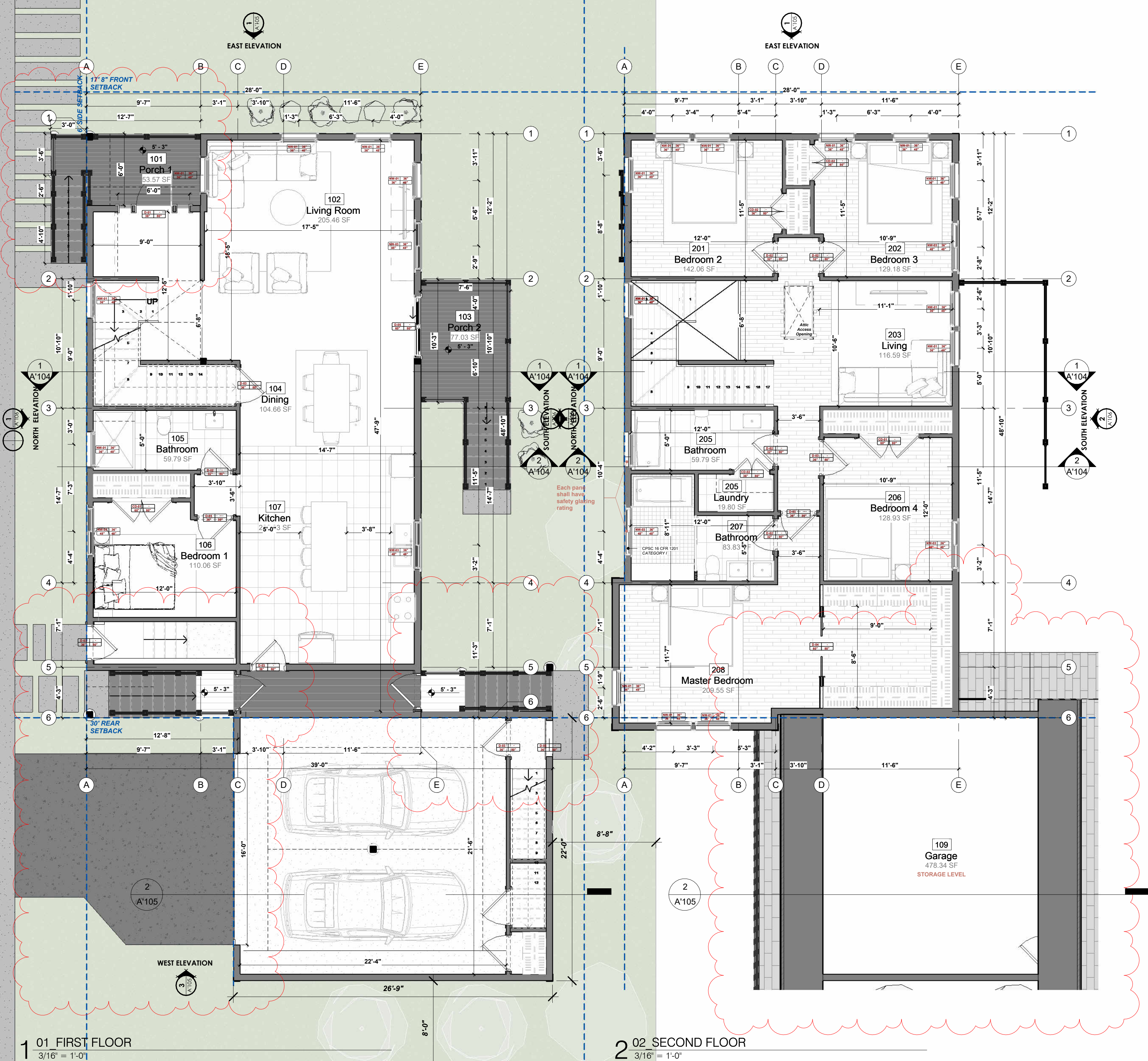
G'102





A'100





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PROVIDENCE, RI 02903

**Team**  
Architectural Designer  
Bryan B. Michie

**392 MOUNT PLEASANT**  
PROVIDENCE

Client  
Jeffrey Infante

392 Mount Pleasant  
Providence  
RI 02908 USA

PROJECT: 392 Mount Pleasant

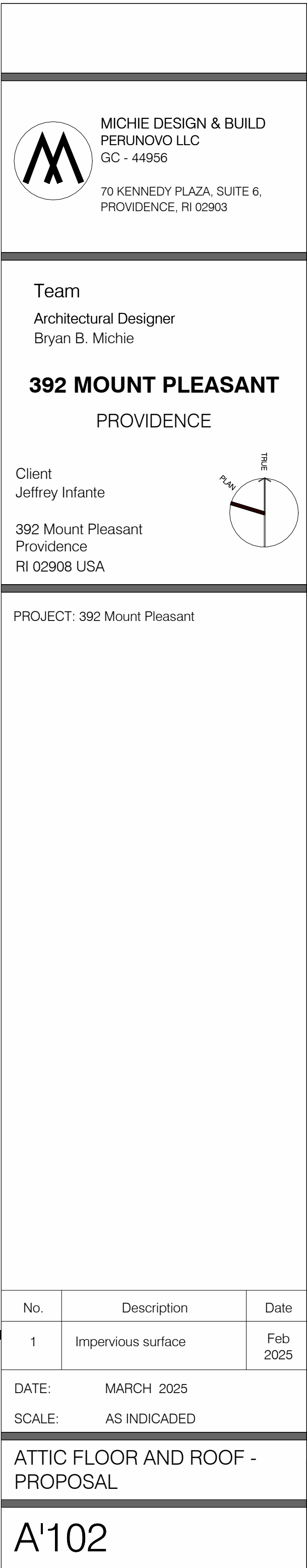
No.	Description	Date
1	Impervious surface	Feb 2025

DATE: MARCH 2025  
SCALE: AS INDICATED

FIRST AND SECOND FLOOR -  
PROPOSAL

A'101





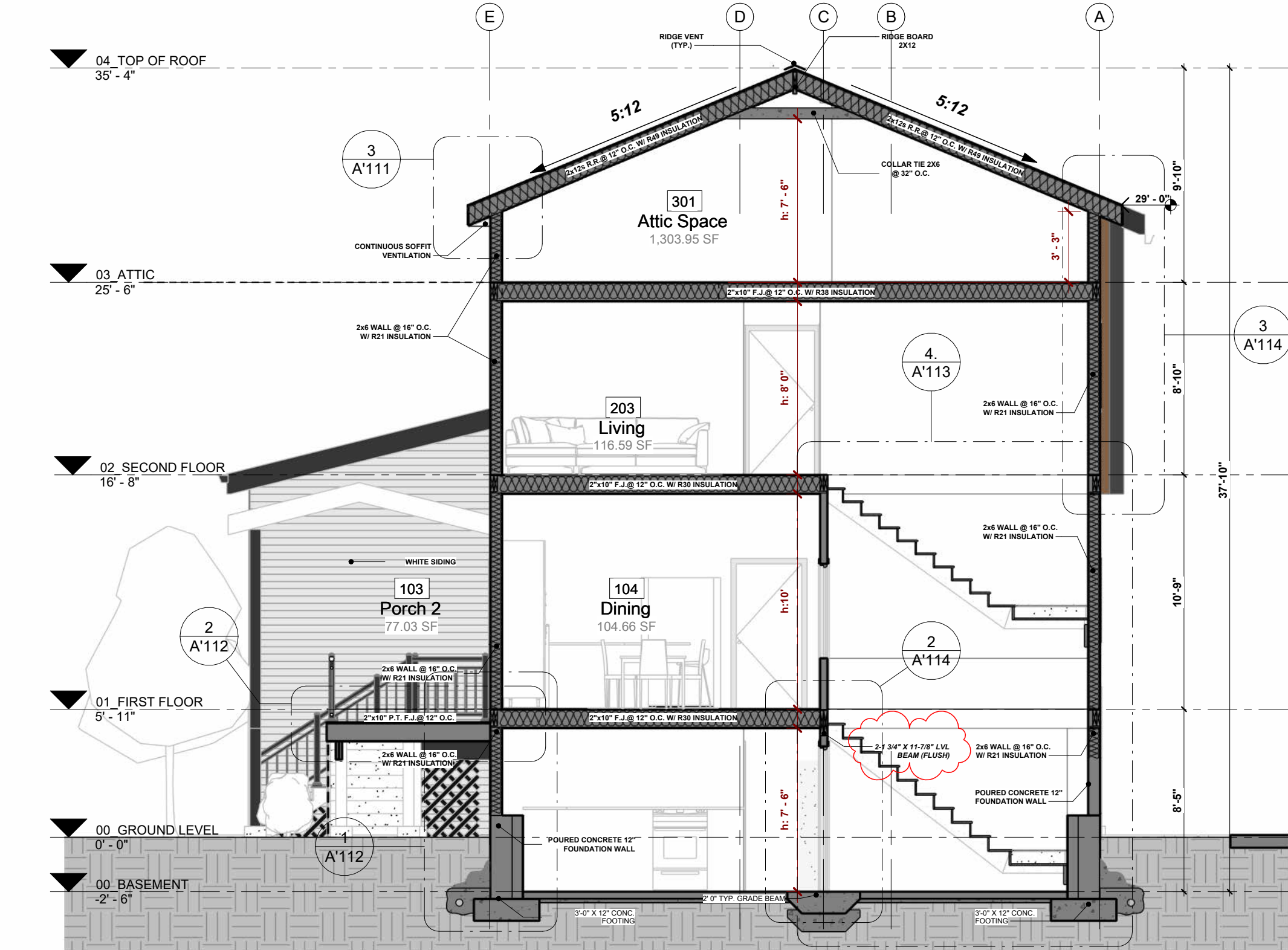
No.	Description	Date
1	Impervious surface	Feb 2025

DATE:	MARCH 2025
SCALE:	AS INDICADED

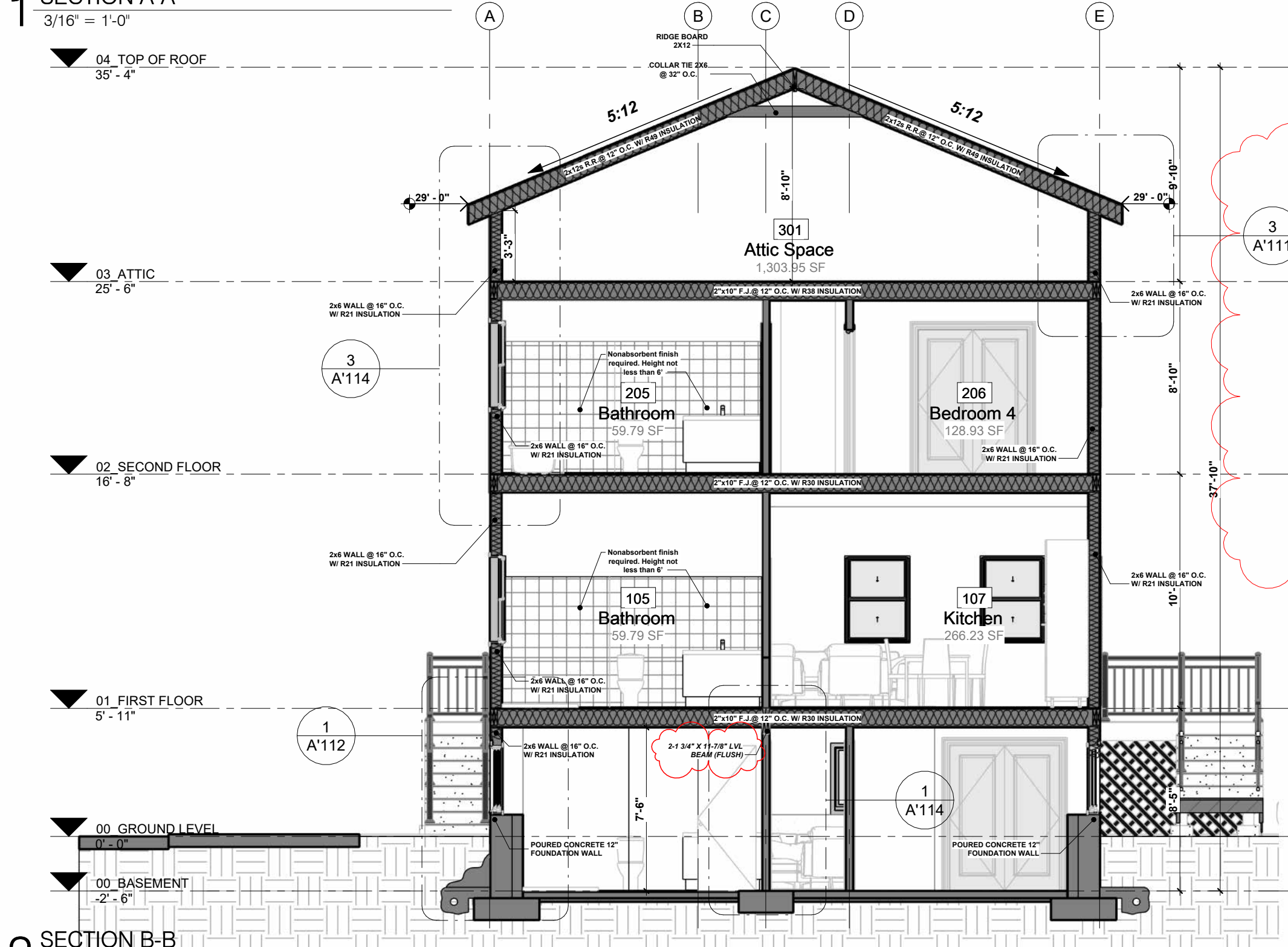
## ATTIC FLOOR AND ROOF - PROPOSAL

A'102

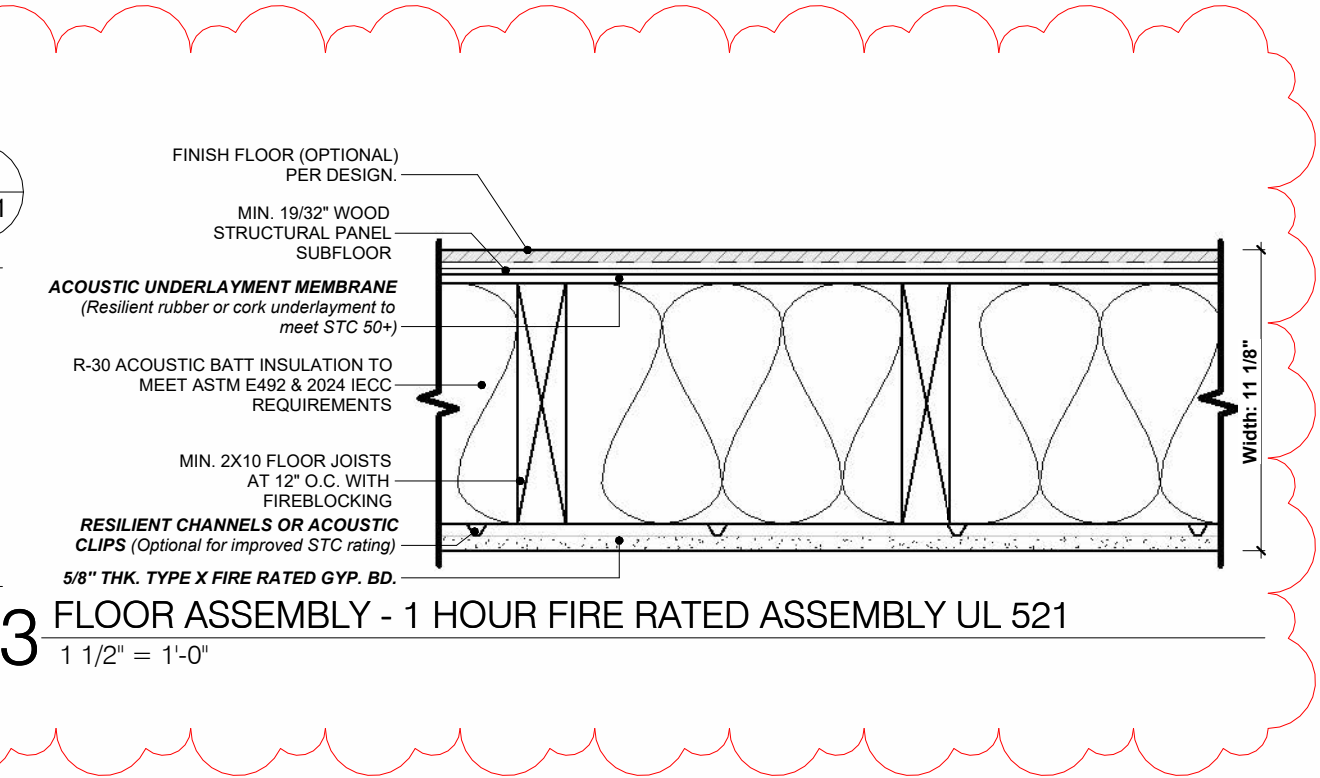




1 SECTION A-A  
3/16" = 1'-0"



2 SECTION B-B  
3/16" = 1'-0"



**FRAMING NOTES - LVL's:**  
THE CONTRACTOR SHALL PROVIDE LVL'S REPORTS FROM THE LOCAL LUMBER SUPPLIER'S ENGINEER.

**FRAMING NOTES:**  
THE STRUCTURE OF EACH FLOOR WILL BE DETERMINED, CALCULATED AND/OR LAID OUT BY THE CONTRACTOR'S ENGINEER. ALL INFORMATION PRESENTED SHOULD BE CONSIDERED AS REPRESENTATIVE.

**FLOOR FRAMING NOTES:**  
ALL FRAMING MEMBERS (LVL OR I - JOIST) TO BE ENGINEERED BY THE SUPPLIER P&I SIMPSON STRONG TIES WD CONNECTORS @ EA JOIST PER LOCAL & STATE BLDG. CODE FASTENED PER MNFCTRR RECOMMENDATIONS.



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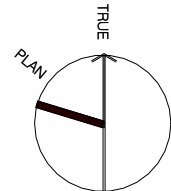
Team  
Architectural Designer  
Bryan B. Michie

### 392 MOUNT PLEASANT PROVIDENCE

Client  
Jeffrey Infante

392 Mount Pleasant  
Providence  
RI 02908 USA

PROJECT: 392 Mount Pleasant



No.	Description	Date
1	Impervious surface	Feb 2025

DATE: MARCH 2025

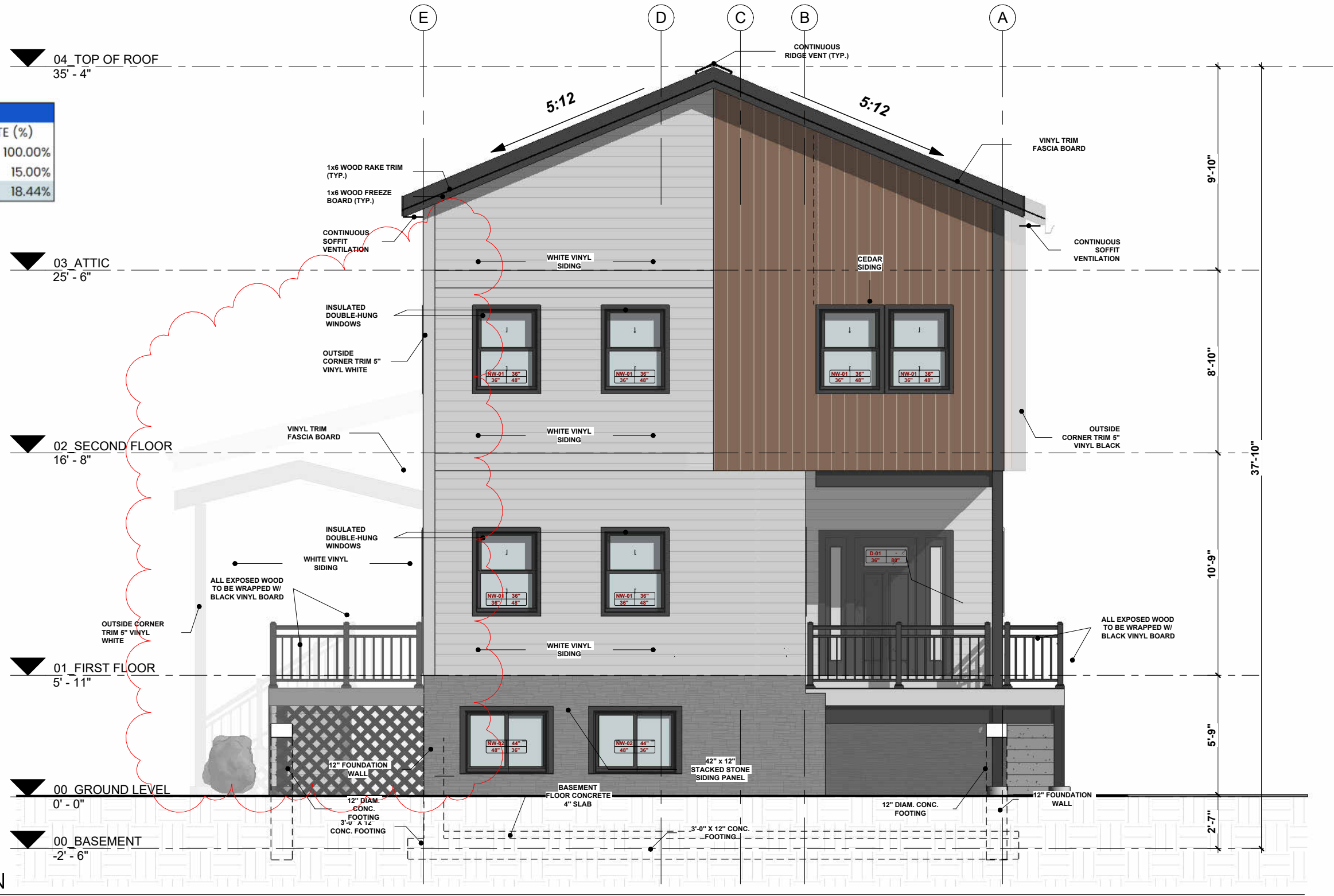
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### SECTION A & B - PROPOSAL

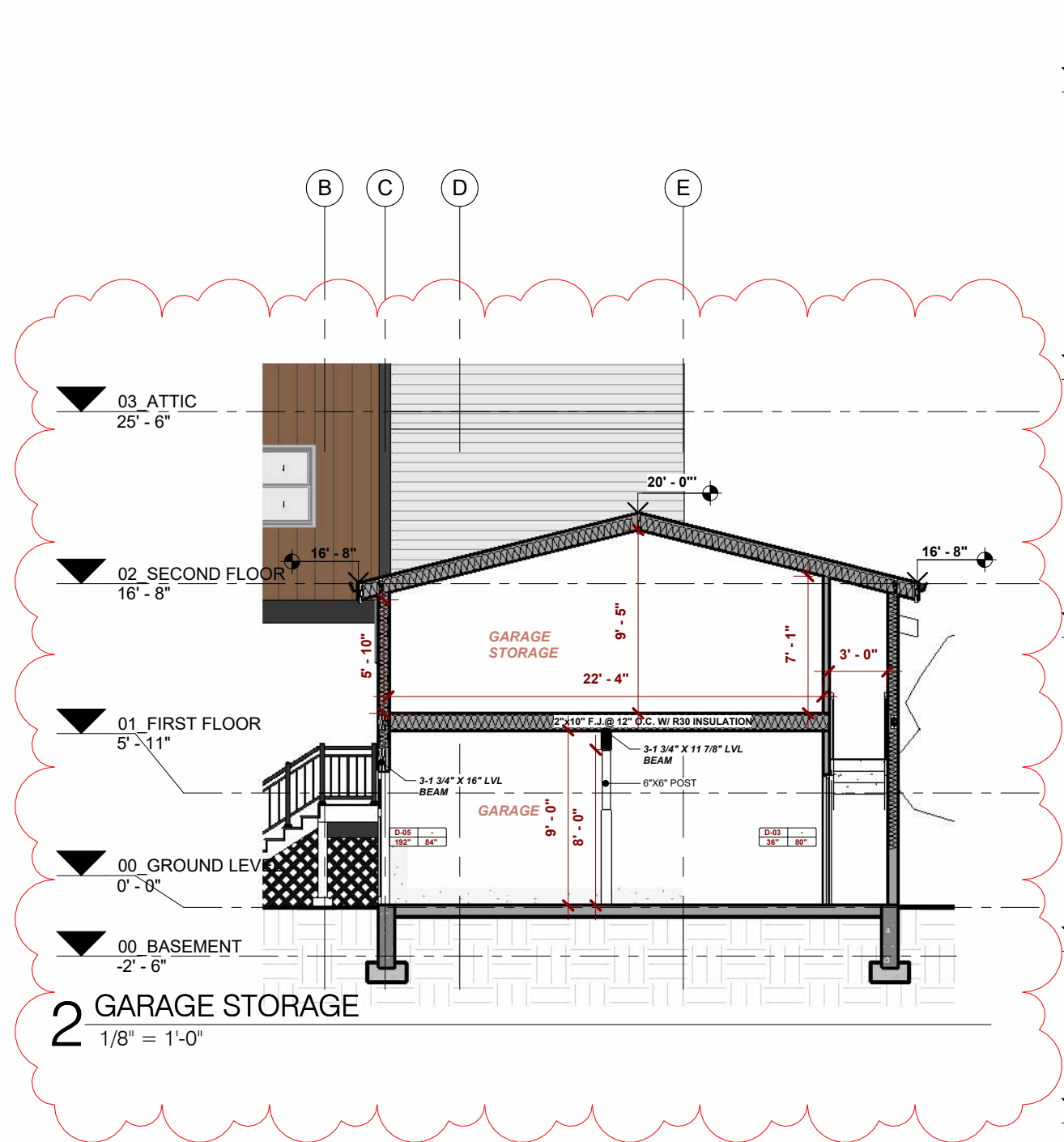
A'104



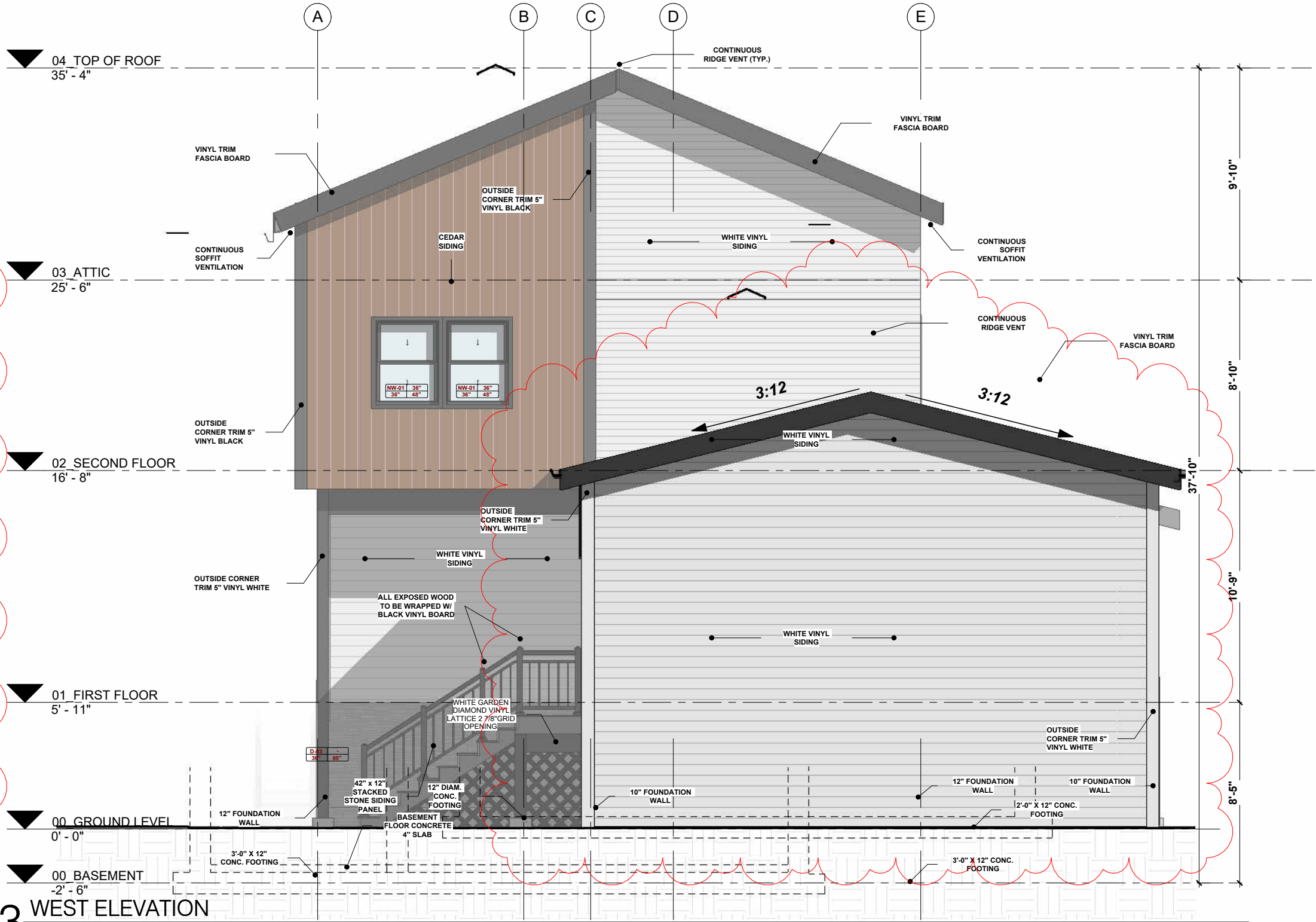
FRONT FACADE - TRANSPARENCY RATE			
	AREA (SF)	RATE (%)	
FRONT FACADE TOTAL AREA	800	100.00%	
15% OF 800 SF	120	15.00%	
PROPOSED TRANSPARENCY RATE	147.5	18.44%	



1 EAST ELEVATION  
3/16" = 1'-0"



2 GARAGE STORAGE  
1/8" = 1'-0"



3 WEST ELEVATION  
3/16" = 1'-0"



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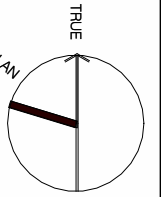
Team  
Architectural Designer  
Bryan B. Michie

## 392 MOUNT PLEASANT PROVIDENCE

Client  
Jeffrey Infante

392 Mount Pleasant  
Providence  
RI 02908 USA

PROJECT: 392 Mount Pleasant



No.	Description	Date
1	Impervious surface	Feb 2025

DATE: MARCH 2025

SCALE: AS INDICATED

ELEVATIONS - PROPOSAL

A'105





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PROVIDENCE, RI 02903

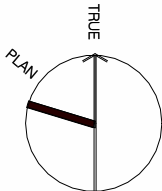
Team  
Architectural Designer  
Bryan B. Michie

392 MOUNT PLEASANT  
PROVIDENCE

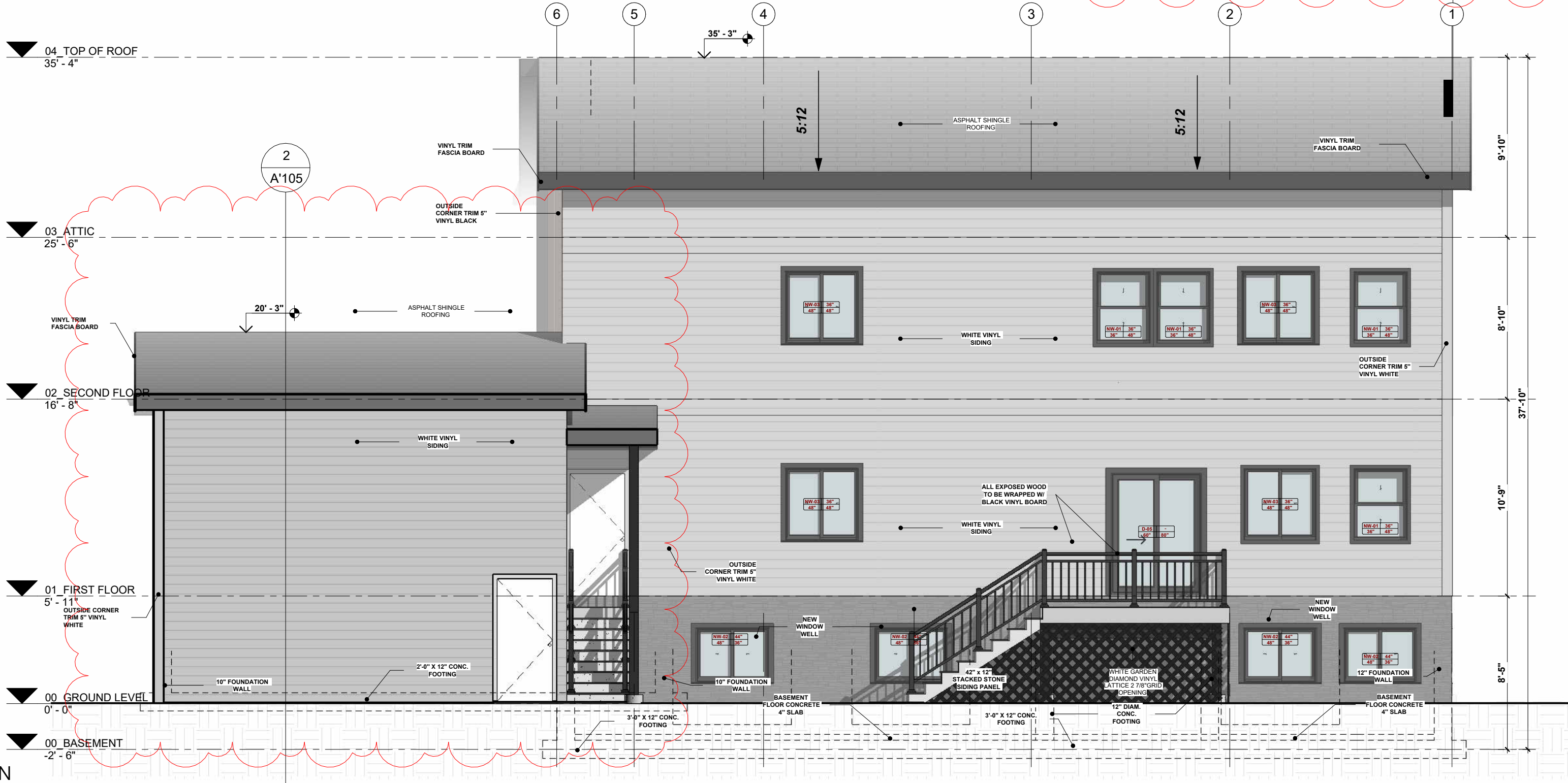
Client  
Jeffrey Infante

392 Mount Pleasant  
Providence  
RI 02908 USA

PROJECT: 392 Mount Pleasant



1 NORTH ELEVATION  
3/16" = 1'-0"



2 SOUTH ELEVATION  
3/16" = 1'-0"

No.	Description	Date
1	Impervious surface	Feb 2025

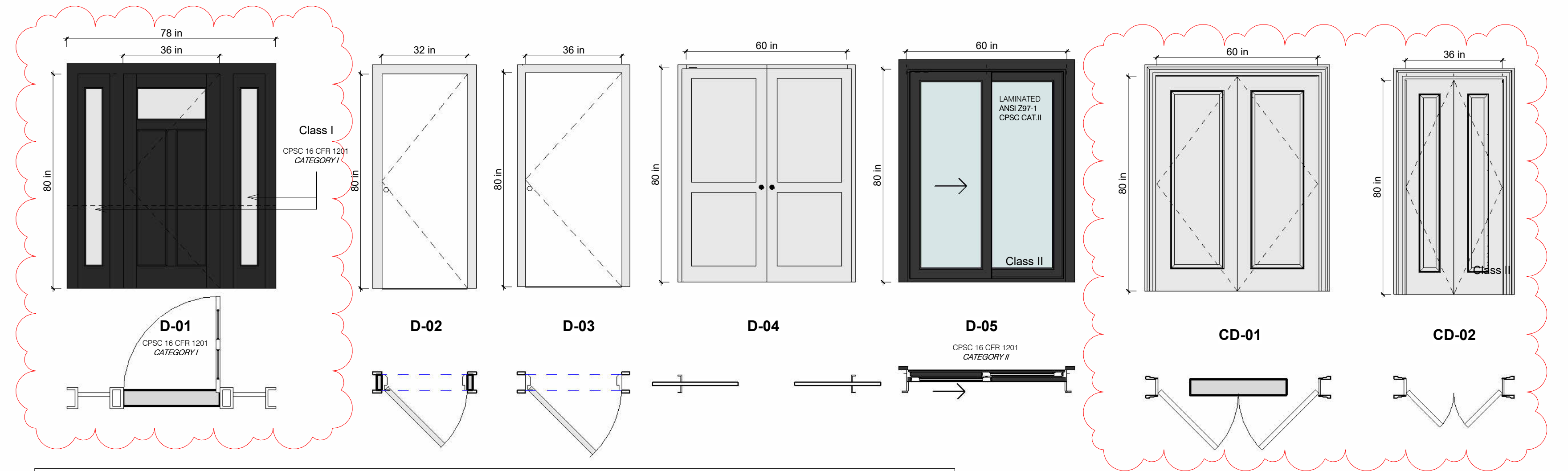
DATE: MARCH 2025

SCALE: AS INDICATED

ELEVATIONS - PROPOSAL

A'106





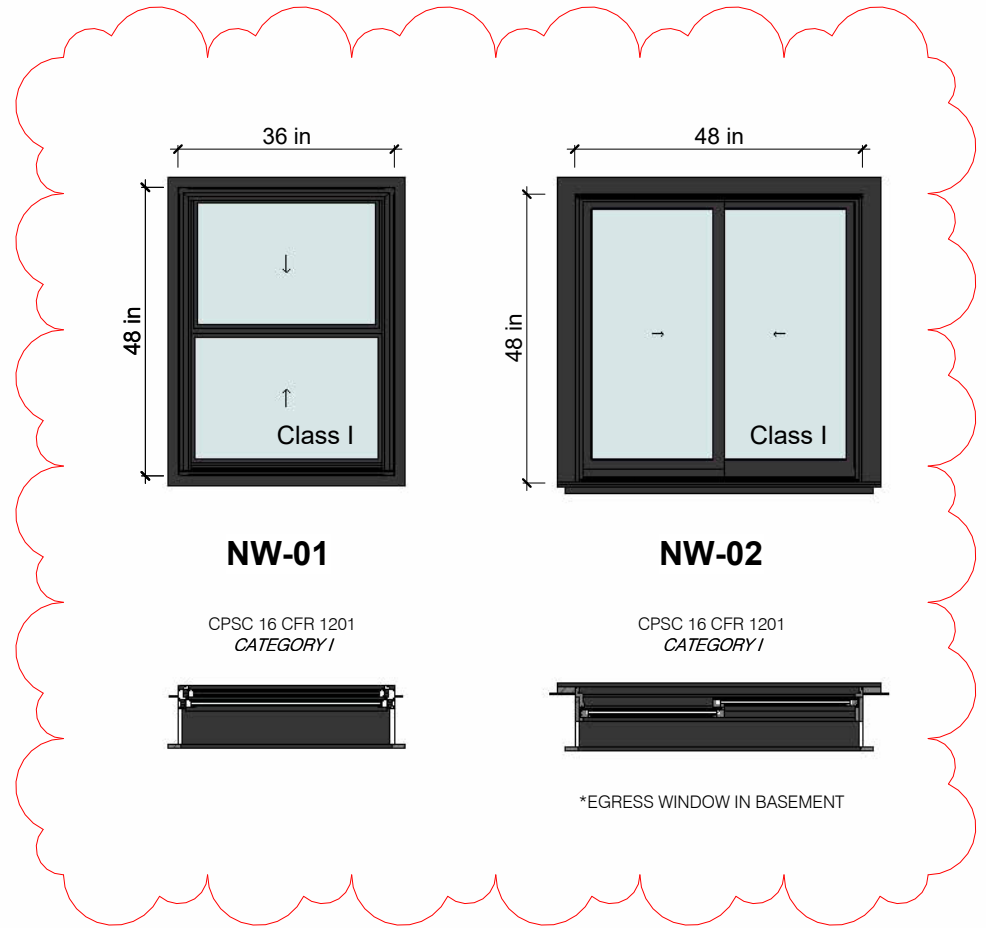
Door Schedule				
Count	Type	Code	Height	Width
00_BASEMENT				
3	French Door: 60 in. x 80 in. Bi-Parting Solid Core Primed Composite Double Prehung French Door Catch Ball and Satin Nickel Hinges	CD-01	80.00 in	60.00 in
3	Single Panel Door: 32 in. x 80 in. 1 Panel Shaker Right-Hand Primed Solid Core Wood Single Prehung Interior Door	D-02	80.00 in	32.00 in
4	Single Panel Door: 36 in. x 80 in. 1 Panel Shaker Right-Hand Primed Solid Core Wood Single Prehung Interior Door	D-03	80.00 in	36.00 in

00_GROUND LEVEL				
5	Single Panel Door: 36 in. x 80 in. 1 Panel Shaker Right-Hand Primed Solid Core Wood Single Prehung Interior Door	D-03	80.00 in	36.00 in
1	Garage Doors: Clopay Classic Collection Insulated White Garage Door with Plain Window	D-05	84.00 in	192.00 in

01_FIRST FLOOR				
1	French Door: 60 in. x 80 in. Bi-Parting Solid Core Primed Composite Double Prehung French Door Catch Ball and Satin Nickel Hinges	CD-01	80.00 in	60.00 in
1	Door-Generic-Entrance: D-01	D-01	80.00 in	36.00 in
1	Single Panel Door: 32 in. x 80 in. 1 Panel Shaker Right-Hand Primed Solid Core Wood Single Prehung Interior Door	D-02	80.00 in	32.00 in
3	Single Panel Door: 36 in. x 80 in. 1 Panel Shaker Right-Hand Primed Solid Core Wood Single Prehung Interior Door	D-03	80.00 in	36.00 in
1	Sliding Door: 60x80 in. V-4500 Contemporary Black FiniShield Vinyl Left-Hand Full Lite Sliding Patio Door w/White Interior 3	D-05	80.00 in	60.00 in
1	Single Panel Door: 36 in. x 80 in. 1 Panel Shaker Right-Hand Primed Solid Core Wood Single Prehung Interior Door	D-06	80.00 in	36.00 in
1	Single Panel Door: 36 in. x 80 in. 1 Panel Shaker Right-Hand Primed Solid Core Wood Single Prehung Interior Door	D-07	80.00 in	36.00 in

02_SECOND FLOOR				
1	French Door: 60 in. x 80 in. Bi-Parting Solid Core Primed Composite Double Prehung French Door Catch Ball and Satin Nickel Hinges	CD-01	80.00 in	60.00 in
3	French Door: 36 in. x 80 in. Solid Core Primed Composite Double Pre-hung French Door with Catch ball and Satin Nickel Hinges	CD-02	80.00 in	36.00 in
4	Single Panel Door: 32 in. x 80 in. 1 Panel Shaker Right-Hand Primed Solid Core Wood Single Prehung Interior Door	D-02	80.00 in	32.00 in
3	Single Panel Door: 36 in. x 80 in. 1 Panel Shaker Right-Hand Primed Solid Core Wood Single Prehung Interior Door	D-03	80.00 in	36.00 in
1	Double Pocket Door: 60 in. x 80 in. Single Panel White Solid MDF Sliding Door with Double Pocket Hardware	D-04	80.00 in	60.00 in

Window Schedule						
Count	Type	Code	Sill Height	Width	Height	UR Factor
00_BASEMENT						
9	48 in. x 36 in. V-2500 Series Bronze Exterior/White Interior FiniShield Vinyl Right-Handed Sliding Window w/Mesh Screen	NW-02	43.72 in	48.00 in	36.00	
01_FIRST FLOOR						
6	36 in. x 48 in. V-2500 Series Bronze FiniShield Vinyl Single Hung Window with Fiberglass Mesh Screen	NW-01	36.00 in	36.00 in	48.00	0.35 or less
3	36 in. x 48 in. V-2500 Series Bronze FiniShield Vinyl Single Hung Window with Fiberglass Mesh Screen	NW-01	79.76 in	36.00 in	48.00	0.35 or less
3	48 in. x 48 in. V-2500 Series Bronze FiniShield Vinyl Right-Handed Sliding Window with Fiberglass Mesh Screen	NW-03	36.00 in	48.00 in	48.00	0.35 or less
02_SECOND FLOOR						
13	36 in. x 48 in. V-2500 Series Bronze FiniShield Vinyl Single Hung Window with Fiberglass Mesh Screen	NW-01	36.00 in	36.00 in	48.00	0.35 or less
3	48 in. x 48 in. V-2500 Series Bronze FiniShield Vinyl Right-Handed Sliding Window with Fiberglass Mesh Screen	NW-03	36.00 in	48.00 in	48.00	0.35 or less



MICHIE DESIGN & BUILD  
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Team  
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### 392 MOUNT PLEASANT PROVIDENCE

Client  
Jeffrey Infante

392 Mount Pleasant  
Providence  
RI 02908 USA

PROJECT: 392 Mount Pleasant

No.	Description	Date
1	Impervious surface	Feb 2025

DATE: MARCH 2025  
SCALE: AS INDICADED

### DOORS & WINDOWS SCHEDULE

A'107



21/2/2025, 11:08:34 a.m.

1:1,159



**PROVIDENCE ZONING REVIEW**  
**IMAGES IN SUPPORT OF VARIANCE PROCESS**

**PROJECT:** 392 Mt Pleasant Ave.  
**CLIENT:** Lumy Santos  
**ADDRESS:** 392 Mt Pleasant Ave. Providence, RI - 02908



**SIDE YARD**



**CORNER**





**FRONT**



**FRONT CORNER**





**RIGHT SIDE**



**LEFT SIDE**





**FRONT**



**SIDE CORNER**





**GARAGE FRONT**



**GARAGE SIDE**