

OCT 06 2023

**CITY OF PROVIDENCE
ZONING BOARD OF REVIEW**

APPLICATION FOR VARIANCE OR SPECIAL USE PERMIT

Check Each Type Zoning Relief Sought:

Variance – Use *
Variance – Dimensional*
Special Use Permit **

* Attach Appendix A to apply for a Use or Dimensional Variances
**Attach Appendix B to apply for a Special Use Permit

Applicant: Ayodeji Tade

E-mail tadeayodeji92@gmail.com
Phone _____
Home/Office

Address 300 front street, Unit 501, Pawtucket, RI
Zip Code 02860

4015880673
Mobile (Cell)

Owner: Empire Financial Group LLC

E-mail enota@cvcemail.com
Phone _____
Home/Office

Address 44 Bedson Road, Cranston RI
Zip Code 02910

4016399247
Mobile (Cell)

Lessee: Ayodeji Tade

E-mail tadeayodeji92@gmail.com
Phone: _____
Home/Office

Address 300 front street, Unit 501, Pawtucket, RI
Zip Code 02860

4015880673
Mobile (Cell)

Does the proposal require review by any of the following (check each):

- _____ Downtown Design Review Committee
- _____ I-195 Redevelopment District Commission
- _____ Capital Center Commission
- _____ Historic District Commission

1. **Location of Property:** 393 - 399 Westminster street, Unit 73 empire street, providence, RI, 02860
Street Address

D-1-120

2. **Zoning District(s):** _____
Special purpose or overlay district(s): _____

3a. **Date owner purchased the Property:** June 30, 1994

3b. **Month/year of lessee's occupancy:** August 2023

3. Dimensions of each lot:

Lot #	25-310	Frontage	129.50	depth	40	Total area	5180sf	sq. ft.
Lot #	_____	Frontage	_____	depth	_____	Total area	_____	sq. ft.
Lot #	_____	Frontage	_____	depth	_____	Total area	_____	sq. ft.

4. Size of each structure located on the Property:

Principal Structure:	Total gross square footage	4860sf
Footprint 4860sf	Height 27ft	Floors 2
Accessory Structure:	Total gross square footage	_____
Footprint _____	Height _____	Floors _____

5. Size of proposed structure(s):	Total gross square footage:	4860sf
Footprint 4860sf	Height 27ft	Floors 2

6a. Existing Lot coverage: *(include all buildings, decks, etc.)* N/A, no change to footprint

6b. Proposed Lot coverage: *(include new construction)* N/A, no change to footprint

7a. Present Use of Property (each lot/structure):
 Vacant 2nd Floor

7b. Legal Use of Property (each lot/structure) as recorded in Dept. of Inspection & Standards:
 Retail Business

8. Proposed Use of Property (each lot/structure):
 Full Service Restaurant with live entertainment as ancillary use on the 2nd floor

9. Number of Current Parking Spaces: N/A

10. Describe the proposed construction or alterations (each lot/structure):
 Interior renovation of a vacant previously use retail space for use as full service restaurant offering food, liquor, hookah and live entertainment as ancilliary use on the 2nd floor. we will renovate bathrooms, add kitchen, stage, new electrical plumbing and HVAC.

11. Are there outstanding violations concerning the Property under any of the following:
 _____ Zoning Ordinance
 _____ RI State Building Code
 _____ Providence Housing Code

12. List all Sections of the Zoning Ordinance from which relief is sought and description of each section:
 Table 12-1 Section1202.Q - Live Entertainment - Ancillary Use
 _____ in conjunction with our principal use (restaurant)

13. Explain the changes proposed for the Property.

Interior renovation of an vacant previously use retail space for use as full service restaurant offering food, liquor, hookah and entertainment on the 2nd floor. we will renovate bathrooms, add kitchen Dj booth and performance stage, new electrical plumbing and HVAC

The undersigned acknowledge(s) and agree(s) that members of the Zoning Board of Review and its staff may enter upon the exterior of the Property in order to view the Property prior to any hearing on the application.

The undersigned further acknowledge(s) that the statements herein and in any attachments or appendices are true and accurate, and that providing a false statement in this application may be subject to criminal and/or civil penalties as provided by law, including prosecution under the State and Municipal False Claims Acts. Owner(s)/Applicant(s) are jointly responsible with their attorneys for any false statements.

Owner(s):

Applicant(s):

Empire Financial Group LLC

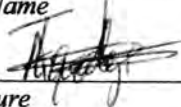
Ayodeji Tade

Type Name

Type Name

Anthony Nota

dotloop verified
10/04/23 2:51 PM EDT
KJ9L-E7VN-PP3P-HQTQ



Signature

Signature

Type Name

Type Name

Signature

Signature

All requirements listed and described in the Instruction Sheet must be met or this application will not be considered complete.

APPENDIX B

APPLICATION(S) FOR SPECIAL USE PERMIT

1. Identify the section(s) of the Ordinance that provides for the special use permit.
Table 12 - 1 and Section 1202.Q

2. State all facts that demonstrate that the proposed special use will not substantially injure the use and enjoyment of neighboring property.
Live entertainment will only occur inside the building. sound insulation acoustic panels and bass trap will be mounted on the walls and coners to prevent sound and vibrations from escaping.

3. State all facts that demonstrate that the proposed special use will not significantly devalue neighboring property.
on the contrary, the proposed use of the special use will increase the value of the propeties because of the economic activities the business is bringing to the area

4. State all facts that demonstrate that the proposed special use will not be detrimental or injurious to the health or welfare of the community.
we have a security plan that includes the use of trained security professionals and the providence police department to ensure safety of patrons in and out of our business and also our business will be 100% compliant with the department of health food code

**IF THE APPLICANT IS AN EDUCATIONAL OR HEALTH CARE INSTITUTION,
COMPLETE PAGES 10 AND 11 BELOW**

Application Addendum

Zoning Use Standards per Section 1202.Q.:

Q. Live Entertainment - Ancillary Use, Live Performance Venue, or Nightclub

1. Live entertainment - ancillary use is considered a separate principal use. Live entertainment – ancillary use may only be established when allowed as a use within a zoning district and in conjunction with another principal use such as a bar, restaurant, amusement facility, or arts studio.

2. When a live entertainment – ancillary use, live performance venue, or nightclub is a special use, the following elements of operation shall be considered, in addition to the special use standards:

a. The noise abatement plan, including any plans for outdoor entertainment.

Introduction:

As the owners of NOIR, we are committed to being a responsible member of the community and ensuring that our establishment operates in a way that is considerate of our neighbors and compliant with local noise regulations. To achieve this, we have developed a comprehensive Noise Abatement Plan that outlines the measures and strategies we will implement to mitigate noise disturbances associated with our live entertainment.

1. Soundproofing and Acoustic Design:

Building Enhancements: We will be Investing in acoustic panels designed for soundproofing measures for the restaurant building. This will include:

Closed windows and doors to reduce sound transmission.

Sealing gaps and cracks to prevent sound leakage.

Soundproofing Equipment:

Studio Acoustic Foam Soundproof Wall Panels Wedges Absorption Treatment Sponge With Double Side Adhesive.

Install noise-reducing equipment, such as sound-absorbing curtains, and bass traps in critical areas of the room to absorb and control sound.

2. Sound System Management:

Sound Limiters:

Use of sound limiters that automatically regulate the volume of the music to ensure it remains within city permissible decibel levels during all hours of operation.

Regular Maintenance: Implement a strict maintenance schedule for our sound system to ensure it operates at optimal efficiency, reducing the risk of unexpected loud noises.

3. Event Programming and Scheduling:

Noise Policy:

Establish and enforce a noise policy that sets acceptable sound levels for different times of the night.

Event Scheduling: Schedule events with varying music genres and sound profiles.

Curfew Hours: Adhere to local noise curfew hours and cease music and noisy activities during these times.

b. The Security Plan

1. Noir has identified and contracted with a reputable third-party company (Lock Down Security) to staff events at high-volume times with qualified, trained, and licensed security personnel to help facilitate our goals to be an excellent host and responsible neighbor. These personnel will be responsible for our first line of defense at the entrance with the purpose of checking IDs to ensure people seeking entrance are of legal age, pat down, thorough searching of customers with metal detector devices. They will also monitor the inside of the premises and parking lot after close to always ensure orderliness and safety.
2. We will also be installing CCTV cameras through ADT Security Services as our first line of security.
 - Six Interior Camera: One on each corner and two centrally located.
 - Four exterior cameras One on each corner of the building
3. On High volume days such as weekends (Friday – Sunday) or special events days, we will be engaging providence city police department personnel to add an additional layer of security and safety for the business, customers, and providence city environs at large.
4. We will be hiring experienced staff who are already TIPS certified or can be certified within the first month of employment. The goal for this is for each staff to
 - Understand the effects of alcohol on the body and behavior.
 - Identifying signs of intoxication and taking appropriate measures.
 - Preventing underage drinking.
 - Refusing service to intoxicated individuals.
 - Handling difficult situations and conflicts related to alcohol.

c. The size of the establishment and the size, location and configuration of the live entertainment area within the establishment.

- The size of the establishment is 4800 SF.
- For Location and Configuration of Live Entertainment, Please see attached plans

d. Maximum occupancy loads.

Area	SF	Allowance	Occupancy
Standing	1915	5sf	383
Restaurant	806	15sf	54
Bar	377		15

General Capacity max Capacity - 450

e. For live entertainment – ancillary use, the days and hours of operation for the establishment’s general operations as a standard restaurant or bar, and the anticipated days and hours of operation for the live entertainment component.

NOIR Restaurant Operation Hours

Days	Hours
Monday	Closed
Tuesday	4 pm - 1am
Wednesday	4 pm - 1am
Thursday	4 pm - 1am
Friday	4 pm - 1am
Saturday	4 pm - 1am
Sunday	4 pm - 1am
Saturday	3 pm - 1am

NOIR Live Entertainment Operation Hours

Days	Hours
Monday	Closed
Tuesday	None
Wednesday	None
Thursday	8 pm - 1 am
Friday	8 pm - 1 am
Saturday	8 pm - 1 am

Sunday	7 pm - 1 am
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f. Loading areas.

There is an existing city assigned loading area on the street. See attached picture

GENERAL NOTES:

- . OWNERS AND GENERAL CONTRACTOR SHALL REVIEW ALL PLANS, NOTES AND SPECIFICATIONS PRIOR TO CONSTRUCTION
- . ANY ALTERATIONS TO THE PLANS MUST BE TAKEN UNDER THE ADVISEMENT OF THE DESIGN TEAM.
- . DESIGN TEAM ARE NOT LIABLE FOR STRUCTURAL BUILT FROM THESE PLANS.
- . GENERAL CONTRACTOR MUST VERIFY ALL EXISTING SITE CONDITIONS.
- . ALL ON SITE WORK TO BE OVERSEEN BY A LICENSED CONTRACTOR.
- . ELECTRICAL, HVAC AND PLUMBING PLAN TO BE PROVIDED BY LICENSED CONSULTANTS.
- . ALL PAINTS AND FINISHES TO BE PROVIDED BY OTHERS.
- . ALL SPECIFICATIONS TO BE VERIFIED BY OWNER AND CONTRACTOR.
- . EXTERIOR WINDOW CASING TO BE PROVIDED BY DESIGNATED LUMBER YARD.
- . FIRE STOPPING REQUIRED, SHALL CUT OFF ALL CONCEALED OPENING, MINIMUM 2" NOMINAL LUMBER REQUIRED.

NOTE:

- . ALL ENGINEERED FRAMING MEMBERS SIZED BY SUPPLIER OR LICENSED STRUCTURAL ENGINEER, CALCULATIONS PROVIDED BY SAME, SUGGESTED SIZE AND SPANS SHOWN TO BE VERIFY.
- 1. GENERAL CONTRACTOR SHALL OBTAIN ALL PERMITS AND INSPECTIONS NECESSARY TO INSURE, ISSUANCE OF OCCUPANCY PERMIT AT COMPLETION OF THE WORK.
- 2. CONTRACTOR SHALL MAINTAIN ALL INSURANCE REQUIRED BY THE OWNER AND GOVERNMENTAL AUTHORITIES AND SHALL PROVIDE PROF OF SUCH INSURANCE.
- 3. ALL WORK SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES OF THE STATE OF RHODE ISLAND REQUIREMENTS SHALL BE MET
- 4. CONTRACTOR SHALL BE RESPONSIBLE FOR BRACING ALL WORK DURING CONSTRUCTION.
- 5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE OWNER / DESIGNER FOR CLARIFICATION BEFORE PROCEEDING.

GENERAL NOTE:

- (1) CONFIRM TO THE FOLLOWING DESIGN LOADS REQUIREMENTS UNLESS NOTED OTHERWISE

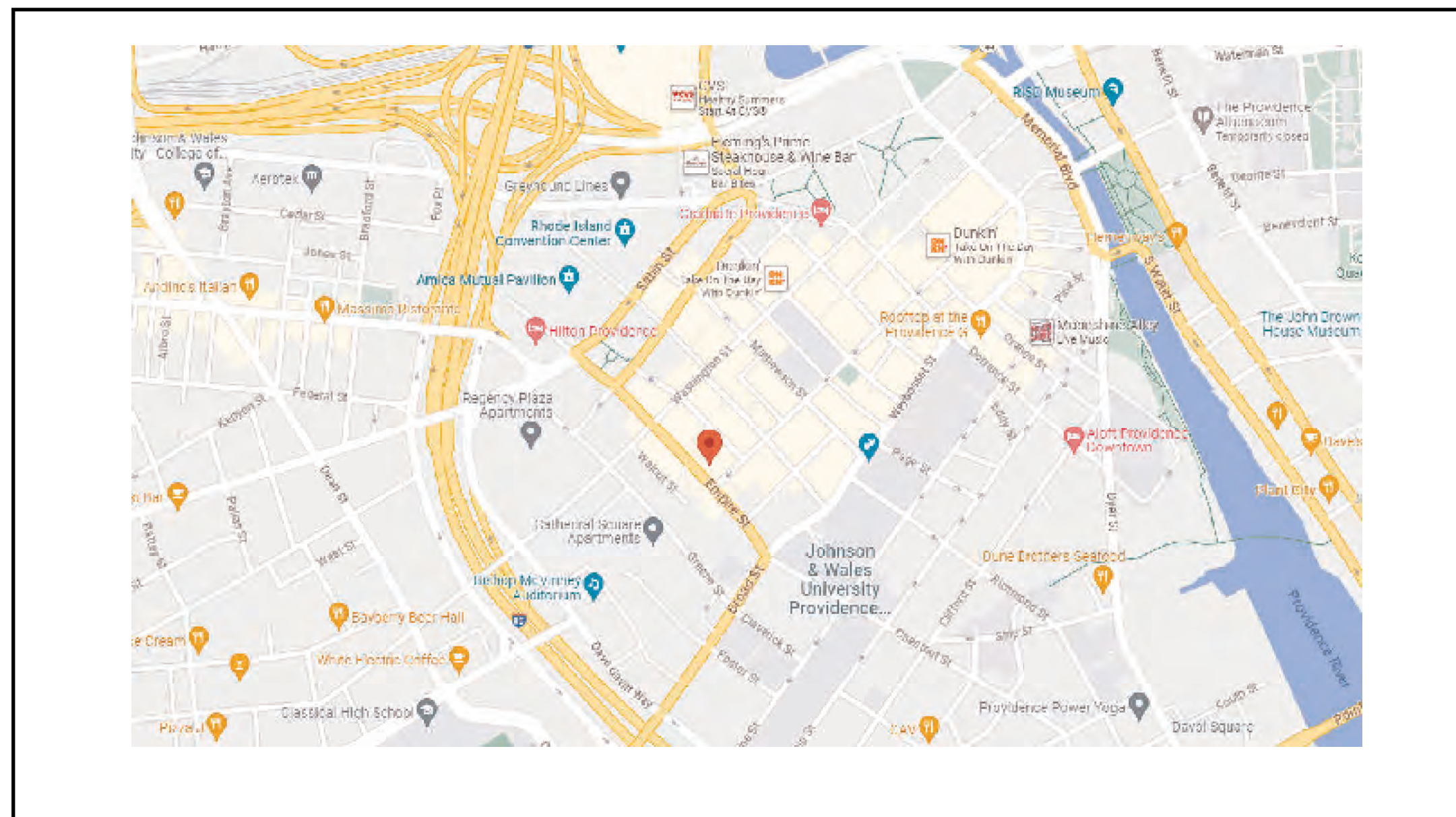
ROOF LOAD (SNOW)	30 PSF	WIND LOAD	50 PSF
FLOOR LIVE LOAD	50 PSF		



73 EMPIRE ST. 2ND FLOOR PROVIDENCE, RI 02903

DRAWING LIST:

- AA COVER PAGE
- A0 SPECIFICATIONS
- A0-1 SPECIFICATIONS
- A0-2 SPECIFICATIONS
- A-1 PROPOSED FLOOR PLAN
- A-2 REFLECTED CEILING PLAN
- A-3 ENLARGED KITCHEN PLAN AND EQUIPMENT SCHEDULE
- A-4 ENLARGED MEN AND WOMEN RESTROOM PLAN
- A-5 ENLARGED BAR AND EQUIPMENT SCHEDULE



- 1. ALL WORK SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE AND FEDEAAL CODES.
- 2. ALL BUILDING PERMITS AND INSPECTIONS INCLUDING BUT NOT LIMITED TO BUILDING AND OCCUPANCY PERMITS SHALL BE OBTAINED AND PAID FOR BY GREED PARTY.
- 3. ALL CONTRACTORS SHALL HOLD TO THE INTENT OF THE DRAWINGS WHICH IS TO PROVIDE COMPLETE AND FINISHED WORK, TESTED AND GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE TIME OF COMPLETION AND READY FOR OCCUPANCY, INCLUDINGG ALL NECESSARY ITEMS REGUIRED REGARDLESS OF WHETHER SPECIACALLY CALLED FOR OR NOT ON THE DRAWINGS.
- 4. ALL WORK SHALL BE PERFORMED BY MECHANICS SKILLED IN THEIR RESPECTIVE TRADES.
- 8. ALL CONTRACTORS SHALL CHECK ALL DIMENSIONS, ASSEMBLIES, ETC. AND REPORT TO THE DESIGNER IN WRITING ANY INCONSISTENCIES PRIOR TO STARTING WORK, ORDERING MATERIALS, OR FABRICATING SHOP-BUILT ITEMS.
- 9. ALL CHANGES SHALL BE REQUESTED IN WRITING AND APPROVED IN WRITING BY THE OWNER AND THE DESIGNER.
- 10. THE CONTRACTOR SHALL GUARANTEE ALL HIS WORK AND THE WORK OF HIS SUBCONTRACTORS FOR A PERIOD OF ONE YEAR MINIMUM AFTER RECEIVING FINAL ACCEPTANCE, AND DO ALL REPAIR WORK AND REPLACEMENT AS MAY BE NECESSARY DURING THAT PERIOD AT HIS EXPENSE.
- 11. UPON COMPLETION OF THE CONTRACT AND BEFORE FINAL PAYMENT, EACH CONTRACTOR SHALL CLEAN UP AFTER HIS WORK REMOVING ALL DEBRIS INSIDE AND OUTSIDE THE BUILDING CREATED BY HIS WORK. EACH CONTRACTOR SHALL REPAIR ANY PROPERTY DAMAGED DURING THE COURSE OF CONSTRUCTION SUBJECT TO THE APPROVAL OF THE OWNER. THE OWNER WILL SUPPLY DUMPSTER FOR EACH CONTRACTORS WASTE.
- 16. ALL MIE/P BY OTHERS.
- 17. ALL STRUCTUPAL BY OTHERS.

GENERAL NOTES:

- . OWNERS AND GENERAL CONTRACTOR SHALL REVIEW ALL PLANS, NOTES AND SPECIFICATIONS PRIOR TO CONSTRUCTION
- . DESIGN TEAM ARE NOT LIABLE FOR STRUCTURAL BUILT FROM THESE PLANS.
- . GENERAL CONTRACTOR MUST VERIFY ALL EXISTING SITE CONDITIONS.
- . ALL ON SITE WORK TO BE OVERSEEN BY A LICENSED CONTRACTOR.
- . ELECTRICAL, HVAC AND PLUMBING PLAN TO BE PROVIDED BY LICENSED CONSULTANTS.
- . ALL PAINTS AND FINISHES TO BE PROVIDED BY OTHERS.
- . ALL SPECIFICATIONS TO BE VERIFIED BY OWNER AND CONTRACTOR.
- . EXTERIOR WINDOW CASING TO BE PROVIDED BY DESIGNATED LUMBER YARD.
- . FIRE STOPPING REQUIRED, SHALL CUT OFF ALL CONCEALED OPENING, MINIMUM 2" NOMINAL LUMBER REQUIRED.

#	Revision	Date	JOB #:	RENOVATION	DRAWING TITLE:	ADDRESS:
1	PRELIMINARY	9/18/23	DRAFTSMAN:	A.SOUSA	COVER PAGE	2ND FLOOR 73 EMPIRE ST. PROVIDENCE, RI 02903
2	REVISED	9/24/23	CHECKED BY:	JOSE		
			SCALE:	1/4" = 1'		
					SHEET: AA	

SECTION 0010000 -PROJECT REQUIREMENTS

- A. Project Requirements:
1. Requirements for Sequence of Work, Phasing, and Occupancy:
 2. Prior or Concurrent Work by Owner or Others:
 3. Existing Site Conditions and Restrictions:
 4. Contractor's Use of Premises and Adjacent Facilities:
 5. Pre-purchased and Pre-ordered Items:
 6. Owner Furnished and Owner Installed Items:
 7. Owner Furnished and Contractor Installed Items:
 8. Special Mock Ups:
 9. Related Future Work:
 10. Reference Drawings and Reports:
 11. Owner's Building Standards:
 12. LEED 2009 for Commercial Interiors:

- B. Allowances: Include scheduled allowances in the project cost; allowance is for cost for materials, installation and all other costs. Submit invoices to indicate actual quantities of materials delivered and costs. Indicate amounts of applicable trade discounts.
1. Allowance No. 1:
 2. Allowance No. 2:

- C. Alternates: Submit price for each alternate. Include cost of modifications to other work to accommodate alternate. Include statement of impact on schedule, if any. Architect and Owner will determine which alternates are accepted.
1. Alternate No. 1:
 2. Alternate No. 2:

- I. General Meeting Requirements:
1. Take meeting minutes and distribute copies within two days to the Owner, Architect and all attendees. Distribute copies to other parties as appropriate.
 2. All representatives attending meetings shall be authorized to act on behalf of the entity each represents.
 3. Make physical arrangements for weekly meeting. Prepare an agenda with copies for all parties.

J. Field Measurements: Each Contractor shall check and verify all dimensions and conditions at the job site, and the General Contractor shall notify the Architect and request clarification with regard to any discrepancies between the Drawings, these notes and field conditions. Dimensions shown on the plan indicate finish (not rough) measurements. Do not scale the Drawings.

K. Work Outside of Project Lines: Wherever work is required within adjacent occupied spaces or occupied spaces on the floor below, the Contractor shall obtain permission from the Owner in order to schedule the work. Such work is to be performed during non-business hours if required by the Owner and the Contractor shall be responsible for protection and moving of furniture and equipment as may be required. Upon completion of the work, the Contractor shall dust and vacuum and otherwise restore the premises to its original condition prior to the commencement of each business day.

L. Shop Drawings and Submittals: Shop drawings shall be submitted by the General Contractor only to the Architect, in electronic format, accompanied by an appropriate transmittal form. Each shop drawing shall be thoroughly checked by the General Contractor for accuracy and conformity with the certification appearing on each shop drawing that the General Contractor has made such a check. References on Shop Drawings to other trade (s) shall designate such trade(s), and the term "by others" shall not be used.

M. Shop Drawings, product data, and sample submissions shall clearly identify by note, mark or labels, the specification sections by CSI number applicable to each product. The Contractor shall be required to issue and maintain a submittal log. Submittals are required for, but not limited to, the following:

1. Flooring materials, paints finishes, and wall coverings, doors, frames and finish hardware. Samples are required.
2. Custom casework, acoustical ceiling tiles and grids. Samples are required.
3. Fire Protection, Electrical and Lighting, Plumbing, Mechanical and HVAC cut sheet and product data are required.

N. Cutting and Patching: The General Contractor shall coordinate cutting, fitting and patching of work that may be required to make all parts come together properly and fit to receive or be received by work of other contractors shown upon or reasonably implied by the Drawings and notes.

1. Existing and/or new openings through the floor slab to facilitate piping, cabling, etc., shall be packed solid with fireproofing insulation making the openings smoke-tight.
2. Holes in the floor slab at abandoned or removed floor outlets piping, etc., shall be filled solid with concrete.

O. Temporary Protection: Wherever work takes place within occupied areas, the Contractor is to provide protective coverings for carpet, furnishing and equipment, and provide temporary barriers to isolate the construction area. Except as may be required for incidental access beyond the immediate work area, the moving of furniture and equipment shall be the responsibility of the tenant. The occupied areas are to be dusted and vacuumed daily. Upon completion of work construction materials, equipment and debris are to be removed.

1. Where temporary barriers are required for protection of persons or property, or to isolate work in phased operations, they shall be constructed of air-tight, heavy weight polyethylene sheeting or equivalent secured to the floor, ceiling and adjacent walls with continuous wood cleats. All seams are to be tape-sealed and all such barriers are to be maintained for the duration of the work.
2. All temporary doors opening into building corridors or lobbies are to match Building Standard doors and frames. All temporary doors to occupied tenant areas are to be equipped with locks. All such doors and frames are to be returned undamaged to the Owner upon completion of the work.
3. The Contractor shall provide and maintain adequate protective coverings around existing finished items scheduled to remain in the completed space, including but not limited to, doors and frames and HVAC cabinet enclosures.
4. Building lobbies and public corridors used for delivery and access to the construction site shall be protected and maintained by the Contractor in a clean and dust-free condition at all times. Said lobbies and corridors shall not be used to temporarily store construction materials or equipment. Any damage that occurs in these areas as a result of construction activities shall be repaired to its original condition, at no expense to the Building Owner.
5. During the construction phase of a project within an occupied area, required temporary barriers and doors shall be located so as to permit unobstructed egress from the space to the building exits and exit way access corridors, all to be in conformance with code requirements.

P. Temporary Lighting and Power: The Contractor shall provide adequate temporary lighting and power in as required for the proper execution of the work.

Q. Cleaning: Maintain construction area in a clean and orderly manner. Remove trash and debris promptly from the building on a daily basis.

1. The Contractor shall, upon completion of construction, just prior to turning the space over to the Owner, thoroughly clean all floor covering, vinyl base and other materials installed under the contract.

R. Closeout Procedures: The General Contractor shall deliver the following documents to the Architect for transmission to the Owner at the close of the project prior to final payment:

1. Record drawings.
2. Certificate of Substantial Completion AIA Document G704.
3. Contractor's Affidavit of Payment of Debts and Claims AIA Document G706.
4. Contractor's Affidavit of Release of Liens AIA Document G706A.
5. Certificate of Occupancy issued by the City/Town Inspectional Services Department.

SECTION 017400 - CONSTRUCTION WASTE MANAGEMENT (IF REQUIRED BY OWNER OR THE TERMS OF THE CONTRACT)

A. Summary: Develop a waste management plan, quantifying material diversion by either weight or volume to recycle and/or salvage at least 75 percent of non-hazardous construction and demolition debris, for LEED Credit MR 2.

1. Incineration does not contribute to this credit.
2. Reuse of existing concrete masonry or asphalt on-site shall include the weight of these materials in the calculations for this credit.
3. Alternative Daily Cover (ADC) may contribute to this credit.
4. Wood Derived Fuel (WDF) may contribute to this credit.

B. Contractor shall be responsible for ensuring that debris will be disposed of at appropriately designated licensed solid waste disposal facilities, as defined by MGL Chapter 111, Section 150A.

C. Submittals: Waste Management Plan (WMP): Submit within 21 calendar days after receipt of Notice to Proceed, in a format acceptable to the Owner.

D. Execution: General: Implement Waste Management Plan as approved by the Architect. Provide containers, storage, signage, transportation, and other items as required to implement WMP for the entire duration of the Contract.

SECTION 024100 - DEMOLITION

A. Summary:

1. Provide selective demolition of interior partitions, systems, and building components designated to be removed.
2. Provide selective demolition and patching required for the work of this Contract, whether or not specifically noted on these Drawings.
3. Refer to the Engineer's Drawings for scope of mechanical, plumbing, fire protection and electrical demolition.
4. Protect portions of building, site and adjacent structures affected by demolition operations.
5. Remove hollow items or items which could collapse.
6. Remove abandoned utilities and wiring systems.
7. Cut new holes for penetrations required by other work.
8. Notify Owner of schedule of shut-off of utilities which serve occupied spaces.
9. Provide temporary protection for the public from demolition operations.
10. Provide pollution control during demolition operations.
11. Provide removal and legal disposal of materials.
12. The construction area shall be maintained by the Contractor in a clean and orderly condition and trash and debris is to be promptly removed from the building.

B. Submittals:

1. Submit demolition schedule. Include methods for protecting adjacent work and location of temporary partitions if applicable.
2. Submit proposed location for disposal of materials, and permit if applicable.
3. Salvaged Items: Identify existing items of work, hardware and devices scheduled to remain, or to be salvaged for reuse.

C. Products: Provide list of salvaged items.

1. Coordinate salvage with Owner prior to demolition and save as directed. Items not salvageable by Owner shall be disposed of by the General Contractor.
2. Storage of Salvaged Items: Properly store and protect materials to be reused or to be retained by the Owner. Items scheduled to be salvaged for reuse shall be removed with care, stored and protected from damage until salvaged items are incorporated into the new work. It shall be the Contractor's responsibility to replace and/or restore any items scheduled for salvage and reuse that are damaged during the course of contract operations. The Owner shall be the sole judge of suitability of these salvaged items for reuse in the work.
3. Prior to reinstallation, salvaged items shall be cleaned and restored to the highest quality possible.
4. Hazardous Materials: It is not intended, nor the responsibility of these notes, Drawings and specifications for the discovery, handling or removal of hazardous materials in any form from the project site, including, but not limited to asbestos products, polychlorinated biphenyl (PCPB) or other toxic substances.

D. Demolition:

1. Prior to commencing any demolition of mechanical or electrical systems, the Contractor shall review the extent of work with the Owner to ensure that said work will not adversely affect existing systems. The Contractor shall be responsible for the safe separation and shut down of utilities while providing temporary services as required.
2. Demolition work shall be performed in accordance with state and local regulations. Secure required demolition permits. Arrange with Owner and/or appropriate utilities for service shutoffs before beginning demolition operations. Take special care to control dust and noise to avoid disturbing nearby persons or property. Obtain Owner's and Architect's approval of dust and noise control measures prior to performing demolition work.
3. Survey existing conditions and correlate with Drawings and specifications to verify extent of demolition required. The use of the word "remove" or "removed" relative to any items so indicated on the Drawings is intended to mean, unless otherwise noted, that such item is to be demolished, disconnected and/or disassembled in its entirety including adhesives, fasteners, hangers and accessories and removed from the premises and legally disposed of, or turned over to the Owner if so specified.
4. Verify conditions at site to determine whether demolition methods proposed for use will not endanger existing structures by overloading, failure, or unplanned collapse.
5. Provide temporary protection of adjacent work to remain, including dust partitions to protect adjacent areas.
6. Perform demolition operations by methods which do not endanger adjacent spaces, structures, or the public. Proceed with demolition in a systematic and orderly manner.
7. Perform demolition operations to prevent dust and pollutant hazards. Demolish in small sections. Do not overload building structures.
8. Storage or sale of demolished items on the project site is prohibited.
9. Demolition debris shall be promptly removed from the building utilizing only passageways and exits designated for such purpose by the building management office.
10. Unless otherwise noted, in areas scheduled to receive floor and/or base finish, the Contractor shall scrape and remove existing base and/or carpet, padding, loose floor tile, adhesives, fasteners, etc. Patching and preparation of floor surfaces is specified under heading "floor covering". Patching of walls is specified under heading "drywall and carpentry".
11. The Contractor shall exercise special care in the temporary placement and support of existing diffusers with attached flex duct. The flex duct shall not be left hanging whereby it becomes subject to stress and potential damage.
12. The Contractor shall be responsible for the complete demolition (including all trades) required for the successful completion of alternatives shown on the plans and specifications including but not limited to, patching of areas affected by demolition.
13. Cabinetry, work surfaces or other millwork indicated to be removed will be removed with care so as to cause minimal damage.
14. Remove miscellaneous unused brackets, hangers, nails, cleats, clips, hooks or any other fastener attached to existing-to-remain walls, ceilings or millwork. The remaining openings are to be filled, sanded smooth and covered with one coat of primer prior to painting or finishing.
15. Remove existing unused or abandoned electric, gas, water, ventilation, and drain lines and other services as indicated on the Engineer's Drawings or as required to accommodate new construction. Lines shall be removed to the nearest wall or chase. Pipes shall be capped off flush with the wall surface or inside the chase. Patch and repair walls affected for a smooth and even wall surface.
16. Relocate existing active gas, water, ventilation, drain, electric, and other utility lines as indicated on the Engineer's Drawings or as required for new construction. Maintain and continue use of active utilities except those requiring removal or relocation. Do not interrupt utilities serving occupied areas if any, without owner's approval. Provide temporary service as required.
17. Where plumbing fixtures are designated for removal; remove fixture and associated hangers. Cut and cap associated plumbing per Code.

SECTION 061000 - ROUGH CARPENTRY

A. Summary:

1. Wood grounds, nailers, and blocking, fire-rated.
2. Wood framing.
3. Backing panels.
4. Remodel existing rough carpentry.

B. Submittals: Submit product data.

C. Products:

1. Lumber Standards and Grade Stamps PS 20, American Softwood Lumber Standard and inspection agency grade stamps Lumber shall be FSC certified.
2. Construction Panel Standards: PS 1, U.S. Product Standard for Construction and Industrial Plywood; APA PRP-108 with no added urea-formaldehyde.
3. Fire-Retardant Treatment: AWPA C20 for lumber and AWPA C27 for plywood; noncorrosive type.
4. Boards:
 - a. Concealed Boards: 19 percent moisture content.
5. Miscellaneous Lumber, Blocking and Nailers:
 - a. Moisture Content: 19 percent.
 - b. Grade: Standard grade light framing.
6. Construction Panels:
 - a. Plywood Backing Panels: APA CD Plugged Exposure 1 with exterior glue, fire-retardant treated.

D. Installation:

1. Comply with APA Design and Construction Guide, Residential and Commercial Construction.
2. Provide nailers, blocking and grounds where required. Set work plumb, level and accurately cut.
3. Comply with manufacturer's requirements for treated materials.

SECTION 064020 - INTERIOR ARCHITECTURAL WOODWORK

A. Summary: Provide interior architectural woodwork.

1. Standing and running trim and rails.
2. Casework and countertops.
3. Flush wood paneling and wainscots.
4. Shelving.
5. Remodel existing interior architectural woodwork as noted on drawings.
6. Refinish existing interior architectural woodwork as noted on drawings.

B. Submittals:

1. Submit product data, samples, mockup of each type.
2. Shop Drawings: The Contractor shall verify dimensions in the field and submit Shop Drawings, when so specified (in electronic format) to the Architect for approval prior to fabrication. Shop Drawings shall show details of joinery, location of field joints, direction of wood grain and all other pertinent information necessary to assess conformance with the contract requirements.

C. Products: AWI Standards: Architectural Woodwork Institute (AWI) *Architectural Woodwork Quality Standards.* Wood products shall be FSC certified.

1. Fire-Retardant Treatment:
 - a. Lumber: AWPA C20, non-corrosive interior type.
 - b. Plywood: AWPA C27, non-corrosive interior type.
 - c. Particleboard: ASTM E 84, flame spread 20 or less.
2. Interior Standing and Running Trim and Rails:
 - a. Species for Transparent Finish: Refer to Architect's sample.
 - b. Species for Opaque Finish: Any closed-grain hardwood.
 - c. Grade: Premium.
3. Interior Wood Casework:
 - a. Species for Transparent Finish: Refer to Architect's sample.
 - b. Species for Opaque Finish: Any closed-grain hardwood.
 - c. Grade: Premium.
 - d. Grain Matching: Vertical.
 - e. Grain Matching: Horizontal.
 - f. Veneer Matching of Leaves: Book.
 - g. Veneer Matching In Panel Face: Running.
4. Interior Plastic Laminate Clad Casework:
 - a. Laminate: High-pressure decorative laminate, NEMA LD-3.
 - b. Grade: Premium.
 - c. Edge banding shall be applied prior to application of face laminates.
5. Casework Hardware and Auxiliary Materials:
 - a. Hardware Standard: ANSI/BHMA A156.9
 - b. Hardware Finish and Base Metal: Satin stainless steel
 - c. Glass: Clear tempered glass, ASTM C 1048.

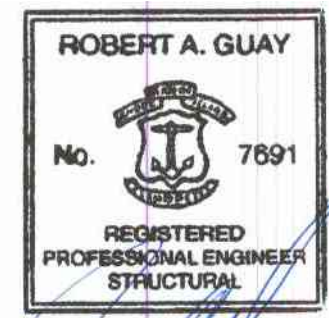
6. Interior Plastic Laminate Clad Countertops:
 - a. Laminate: High pressure decorative laminate, NEMA LD-3.
 - b. Grade: Premium
 - c. Core: Particleboard
 - d. Edge banding shall be applied prior to application of face laminates.
7. Solid Surfacing Material Countertops and Trim:
 - a. Type: Synthetic countertops.
 - b. Grade: Premium.
 - c. Special Fabrication: Integral bowls.
8. Stone Countertops and Trim: Granite: Polished finish. ASTM C 615 dimensional tolerances.
9. Flush Wood Paneling and Wainscots:
 - a. Species for Transparent Finish: Refer to Finish Schedule.
 - b. Species for Opaque Finish: Any closed-grain hardwood.
 - c. Grade: Premium.
 - d. Core: Veneer core plywood.
 - e. Veneer Matching of Leaves: Book.
 - f. Veneer Matching In Panel Face: Running.
 - g. Panel Matching Method: Sequence-matched panel sets.
10. Shelving:
 - a. Species for Transparent Finish: Refer to Finish Schedule
 - b. Species for Opaque Finish: Hardwood veneer plywood with solid hardwood edgeband.
 - c. Grade: Premium.
 - d. Shelf Supports: Recessed slotted standards.
 - e. Closet poles: Chrome plated steel with intermediate supports.

D. Auxiliary Materials:

1. Screws: FS FF-S-111, countersunk.
2. Nails: FS FF-N-105, countersunk.
3. Anchors: Type required for secure anchorage.

E. Factory Finishing for Interior Architectural Woodwork:

1. Transparent Finish:
 - a. Premium grade.
 - b. Stain as indicated on the Finish Schedule.
 - c. Dull satin sheen.
2. Opaque Finish: Premium grade. Dull satin sheen.



[Handwritten Signature]

#	Revision	Date	JOB #:	RENOVATION	DRAWING TITLE:	ADDRESS:
1	PRELIMINARY	9/18/23	DRAFTSMAN:	A.SOUSA	SPECIFICATION	2ND FLOOR 73 EMPIRE ST. PROVIDENCE, RI 02903
2	REVISED	9/24/23	CHECKED BY:	JOSE		
			SCALE:	1/4" = 1'	SHEET:	A-0

GENERAL NOTES:

- OWNERS AND GENERAL CONTRACTOR SHALL REVIEW ALL PLANS, NOTES AND SPECIFICATIONS PRIOR TO CONSTRUCTION
- DESIGN TEAM ARE NOT LIABLE FOR STRUCTURAL BUILT FROM THESE PLANS.
- GENERAL CONTRACTOR MUST VERIFY ALL EXISTING SITE CONDITIONS.
- ALL ON SITE WORK TO BE OVERSEEN BY A LICENSED CONTRACTOR.
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- ALL PAINTS AND FINISHES TO BE PROVIDED BY OTHERS.
- ALL SPECIFICATIONS TO BE VERIFIED BY OWNER AND CONTRACTOR.
- EXTERIOR WINDOW CASING TO BE PROVIDED BY DESIGNATED LUMBER YARD.
- FIRE STOPPING REQUIRED, SHALL CUT OFF ALL CONCEALED OPENING, MINIMUM 2" NOMINAL LUMBER REQUIRED.

SECTION 101400-SIGNAGE

- A. Summary:
1. Provide building signage to comply with code and accessibility regulations.
 2. Provide blocking and rough-in electrical to coordinate with specialty signage.
- B. Submittals: Submit product data, samples, plan indicating locations. Finish to match building standard.
- C. Products: Refer to Drawings.
- D. Panel Signs: Refer to Drawings.
- E. Materials: Interior acrylic signs, UON. Refer to Drawings.
- F. Accessories: Concealed metal fasteners for entrance and exit signs, non-corrosive to sign material or mounting surface.
1. Copy: Raised text, Braille and English
 2. Minimum size: Minimum required by code.
- G. Installation:
1. Comply with all applicable federal state and municipal codes, laws and regulations regarding signage for exits and handicapped barriers.
 2. Confirm sign locations and heights prior to installation.
 3. Clean and prepare substrate prior to installation of signs.
 4. Install signs plumb, level and securely.
 5. Install signs uniformly and consistently.
 6. Clean and polish signs after installation.

SECTION 102110-TOILET COMPARTMENTS

- A. Summary: Provide toilet compartments and screens.
- B. Submittals: Submit product data, samples, shop drawings.
- C. Products: Refer to Finish Schedule.
- D. Installation:
1. Comply with ASTM E557 for application and installation of operable partitions, including requirements for stopping sound flanking paths.
 2. Install track level and in longest practical length to minimize joints and seams.
 3. Anchor track assembly to building structure as shown on approved, engineered shop drawings.
 4. Provide continuous vertical blocking in wall jamb to provide tight seal at panel.
 5. Test and adjust for optimum operation. Lubricate all moving parts.
 6. Adjust all seals for optimum acoustical performance.

SECTION 102810-TOILET ACCESSORIES

- A. Summary: Provide toilet and bath accessories and metal framed mirrors.
- B. Submittals: Submit product data, samples.
- C. Products: As indicated on the drawings.
- D. Toilet Accessories: As scheduled on the Drawings.
- E. Mirrors and Frames:
1. Glazing: Mirror glass, 1/4 inch thick (6 mm), ASTM C 1036.
 2. Frames: Stainless steel.
 3. Type: Standard wall unit
- F. Materials and Finishes:
1. Stainless Steel: AISI Type 302 or 304 No. 4 polished finish.
 2. Chromium Plated Brass or Steel: ASTM B 456, Type SC 2.
- G. Installation: Comply with manufacturer's recommendations

SECTION 104400 - FIRE EXTINGUISHERS AND CABINETS

- A. Summary:
1. Fire extinguishers.
 2. Fire extinguisher cabinets.
 3. Fire extinguisher mounting brackets.
- B. Submittals: Submit product data.
- C. Products: As selected by Architect complying with the following:
1. Standards: UL and FM listed products.
 2. Fire Extinguishers:
 - a. Type: Multipurpose dry chemical.
 - b. Rating: Sized for project requirements.
 - c. Public Area Mounting: Cabinet mounted.
 - d. Service Area Mounting: Metal brackets.
 3. Cabinets:
 - a. Mounting: Recessed, unless noted otherwise.
 - b. Trim: Trimless.
 - c. Doors: Enameled steel, baked enamel.
 - d. Door Style: Duo-panel.
 - e. Accessories: Glass breaker or fire handle.
- D. Installation: Comply with manufacturer's recommendations and Fire Marshal's requirements.
3. Accessories:
- a. Wireways, 3 way.
 - b. Wall base.
 - c. Door frames.
 - d. Doors and hinges.
 - e. Transoms.
 - f. Glazing.
 - g. Pre-wired cable assemblies for electric, telephone, and data.

DIVISION 21 - FIRE PROTECTION

A. Summary: Refer to Engineer's Drawings and Specifications.

DIVISION 22 - PLUMBING

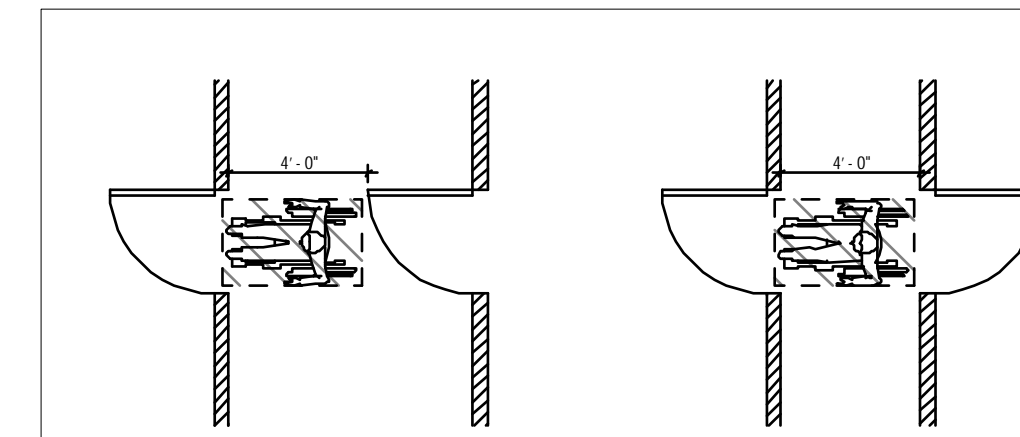
A. Summary: Refer to Engineer's Drawings and Specifications.

DIVISION 23 - HVAC

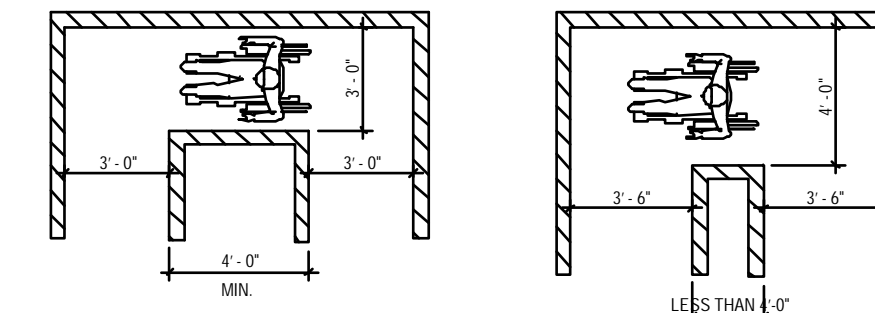
Summary: Refer to Engineer's Drawings and Specifications.

DIVISION 26 - ELECTRICAL

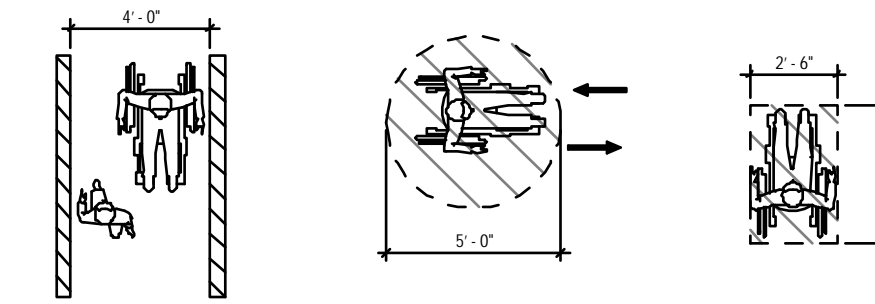
A. Summary: Refer to Engineer's Drawings and Specifications.



6 TWO HINGED DOORS IN SERIES



MINIMUM CLEARANCES FOR TURNING

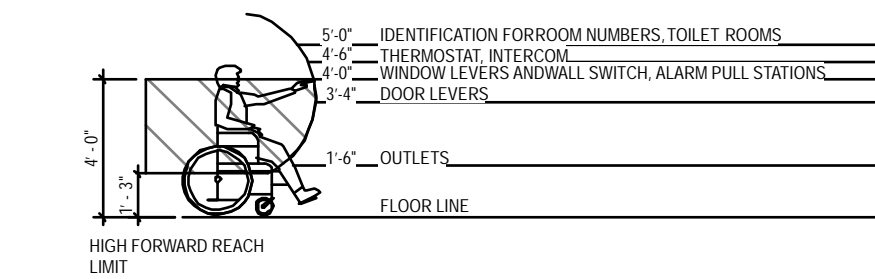


MINIMUM PASSAGE FOR ONE WHEELCHAIR AND ONE AMBULATORY PERSON

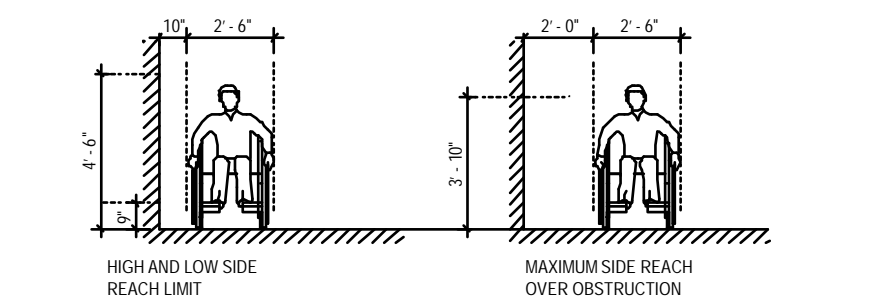
60° TURNING CIRCLE

CLEAR FLOOR SPACE

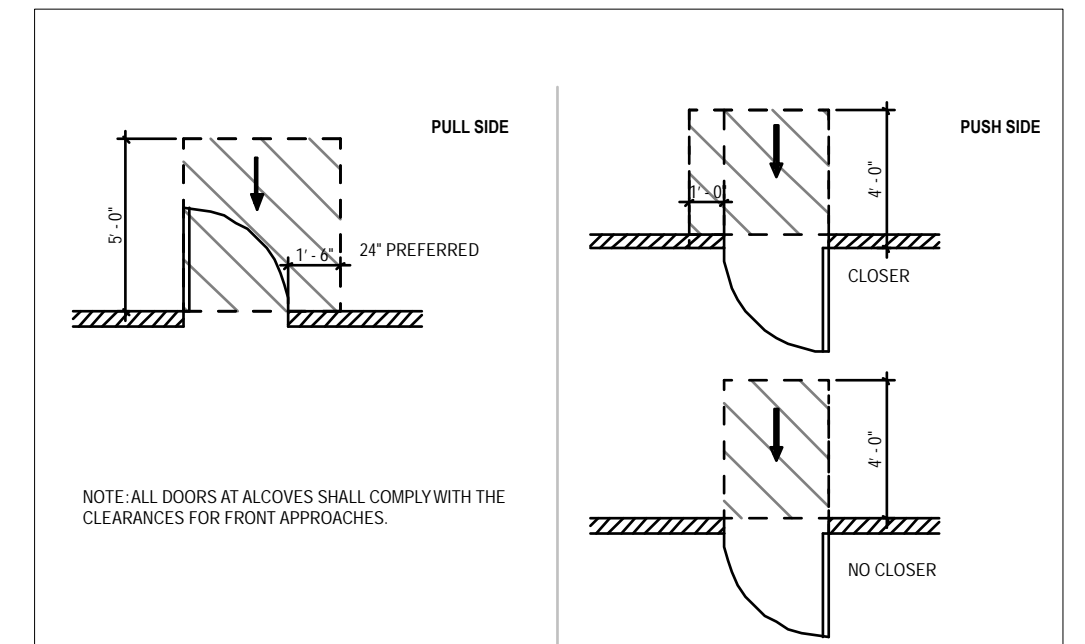
5 ACCESSIBLE ROUTES



4 REACH RANGES

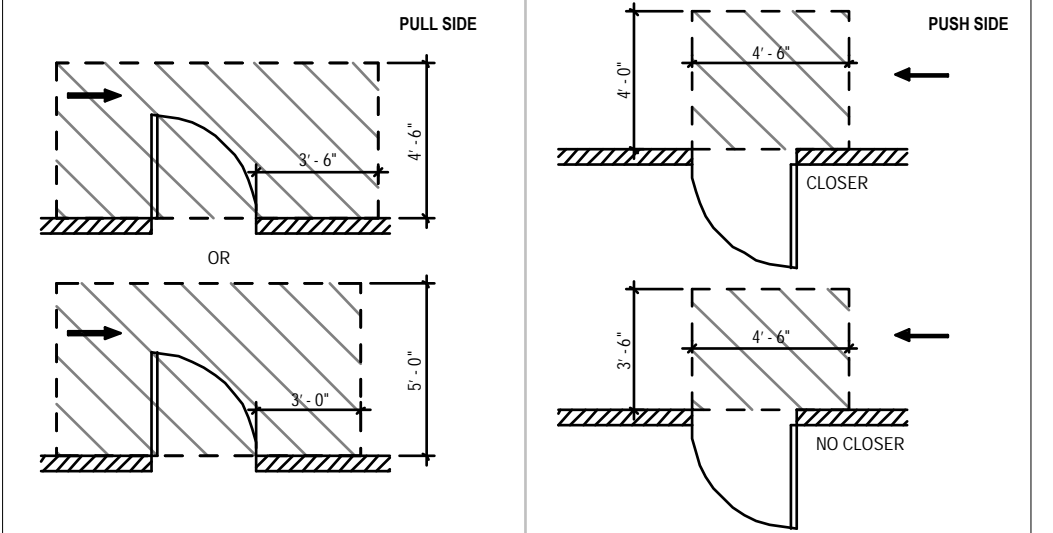


4 REACH RANGES

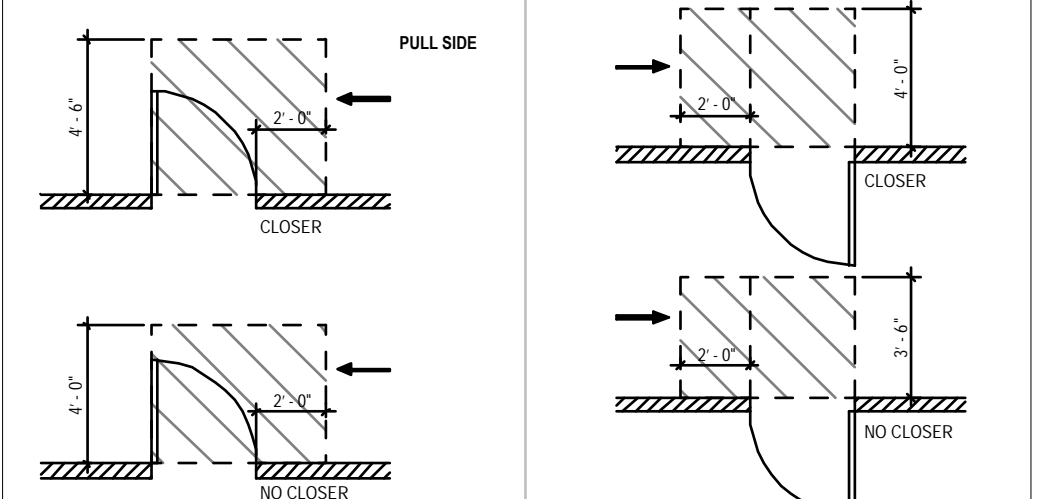


NOTE: ALL DOORS AT ALCOVES SHALL COMPLY WITH THE CLEARANCES FOR FRONT APPROACHES.

FRONT APPROACHES

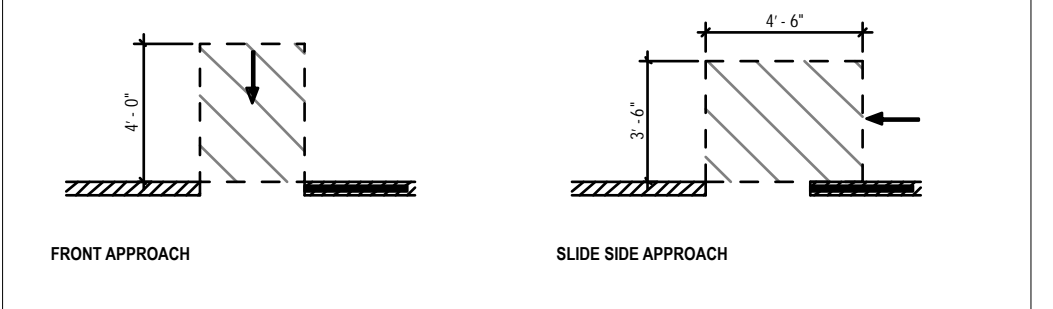


HINGE SIDE APPROACHES



LATCH SIDE APPROACHES

3 MANEUVERING CLEARANCES AT SWINGING DOORS



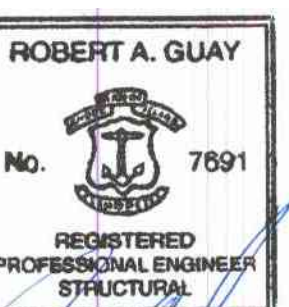
NOTE: ALL DOORS AT ALCOVES SHALL COMPLY WITH THE CLEARANCES FOR FRONT APPROACHES.

2 MANEUVERING CLEAR. AT SLIDING / FOLDING DOORS

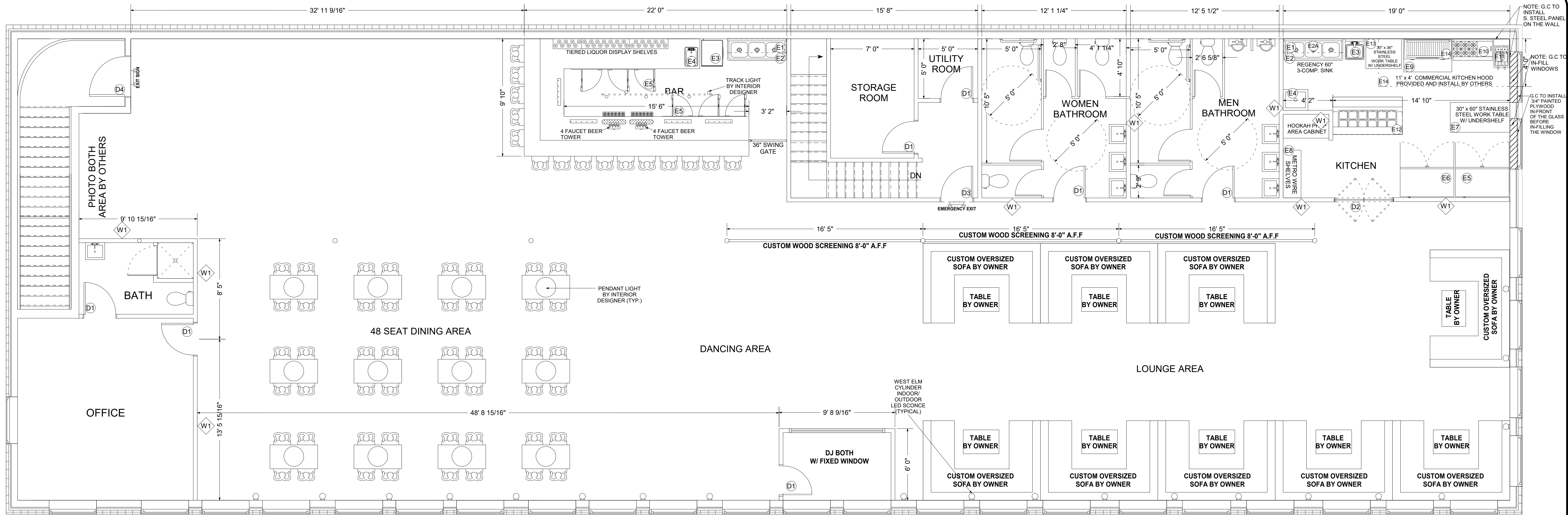
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#	Revision	Date	JOB #:	RENOVATION	DRAWING TITLE: SPECIFICATION	ADDRESS: 2ND FLOOR 73 EMPIRE ST. PROVIDENCE, RI 02903
	1	PRELIMINARY	9/18/23	DRAFTSMAN: A.SOUSA		
	2	REVISED	9/24/23	CHECKED BY: JOSE		
				SCALE: 1/4" = 1'		
					SHEET: A-02	



Robert A. Guay



NOTE: ALL INTERIOR PARTITION FRAMING TO BE WITH LIGHT GAUGE METAL STUD FRAMING AND 1/2" GYPSUM BOARD

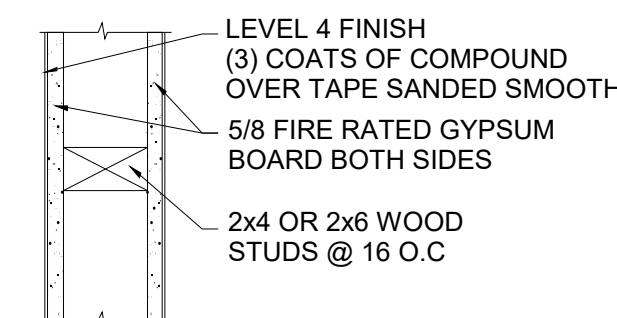
1 PROPOSED FLOOR PLAN
A-1 SCALE 1/4" = 1'-0"

FOOD SERVICE PLUMBING NOTES

- CONNECT ALL FOOD SERVICE EQUIPMENT IN STRICT ACCORDANCE WITH FOOD SERVICE EQUIPMENT MANUFACTURERS WRITTEN INSTRUCTIONS.
- COORDINATE PLUMBING CONNECTIONS WITH FOOD SERVICE EQUIPMENT INSTALLER. ALL FOOD SERVICE WORK SHALL BE IN ACCORDANCE WITH LOCAL HEALTH CODES, STANDARDS AND REGULATIONS.
- ALL HORIZONTAL PIPING BETWEEN FOOD SERVICE EQUIPMENT AND INDIRECT DRAIN DEVICES SHALL BE ROUTED AS HIGH AS POSSIBLE AND NOT LESS 6" ABOVE FINISHED FLOOR TO FACILITATE CLEANING.
- PROVIDE INDIRECT WASTE PIPING REQUIRED FOR STANDARD AND/OR FABRICATED ITEMS OF FOOD SERVICE EQUIPMENT AS SCHEDULED IN THE FOOD SERVICE DOCUMENT.
- COORDINATE LOCATION OF INDIRECT (FLOOR SINKS) FOR FOOD SERVICE EQUIPMENT WITH APPROVED FOOD SERVICE SHOP DRAWINGS. MAKE FINAL CONNECTION TO FOOD SERVICE EQUIPMENT FROM ROUGH-INS. WATER SUPPLY ROUGH-INS SHALL TERMINATE WITH SERVICE VALVE.
- ALL WORK SHALL CONFIRM TO ALL LOCAL CODES, RULES AND REGULATIONS INCLUDING THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES, OSHA ACTS AND REGULATIONS, AND THE REQUIREMENTS OF THE LOCAL AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL OBTAIN ALL PERMIT FEES, AND LICENSES, ETC. REQUIRED TO PERFORM THE WORK. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL LABOR, MATERIAL AND EQUIPMENT TO PROVIDE COMPLETE AND OPERABLE SYSTEM. THE WORK SHALL INCLUDE ANY INCIDENTAL ACCESSORIES NECESSARY TO MAKE COMPLETE ALL RESPECT AND READY FOR OPERATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF THE PLUMBING WORK WITH ALL OTHER TRADES INCLUDING STRUCTURAL, MECHANICAL, AND ELECTRICAL WORK. THE CONTRACTOR SHALL PROVIDE NECESSARY OFFSETS, TRANSITIONS, PIPING AS REQUIRED FOR A PROPER AND ACCESSIBLE INSTALLATION WITH MINIMAL CONFLICT. CLOSE COORDINATION WILL BE REQUIRED FOR ALL SERVICES. DO NOT LOCATE PLUMBING PIPING, EQUIPMENT, ETC. OVER ELECTRICAL PANELS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SCRAP MATERIALS AND DEBRIS ASSOCIATED WITH THIS WORK FROM THE SITE.

NOTE: G.C TO PAINT EXISTING ACT CEILING FLAT BLACK, IF ANY TILES ARE DAMAGED OR BROKEN THEY MUST BE REPLACED BEFORE PAINTING

NOTE: EQUIPMENT IN THE DRAWING ARE JUST SUGGESTIONS, OWNER TO PROVIDE ALL EQUIPMENT OR SPECIFICATION TO CONTRACTOR PRIOR TO THE BUILT, FOR PROPER PLUMBING AND ELECTRICAL REQUIREMENTS.



W1 2x4 WOOD STUD WALL ASSEMBLY
1 HR. RATED UL # U305

W1 2x6 WOOD STUD WALL ASSEMBLY

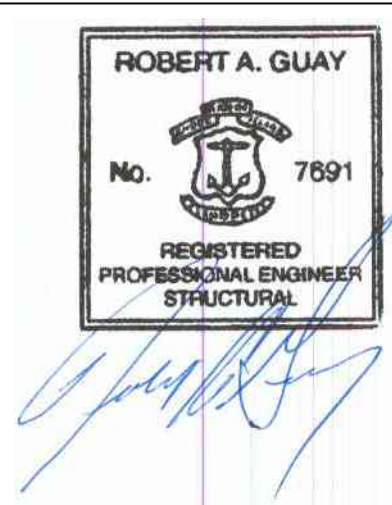
GENERAL ELECTRICAL NOTE:

- PROVIDE WORK IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LOCAL ORDINANCES, AND AS PROVIDED BY LOCAL AUTHORITY HAVING JURISDICTION.
- OBTAIN PERMITS AND PAY SUCH AS MAY BE NECESSARY FOR INSPECTIONS, TESTS, AND OTHER SERVICES NECESSARY FOR THE COMPLETION OF THE WORK.
- PROVIDE MAJOR COMPONENTS OF THE ELECTRICAL SYSTEM BY THE SAME MANUFACTURER.
- PROVIDE "LOCKING" TYPE DEVICES ON CIRCUIT ON CIRCUIT BREAKERS CONNECTED TO EMERGENCY LIGHTING, NIGHT LIGHT, FIRE ALARM, AND SECURITY SYSTEM.

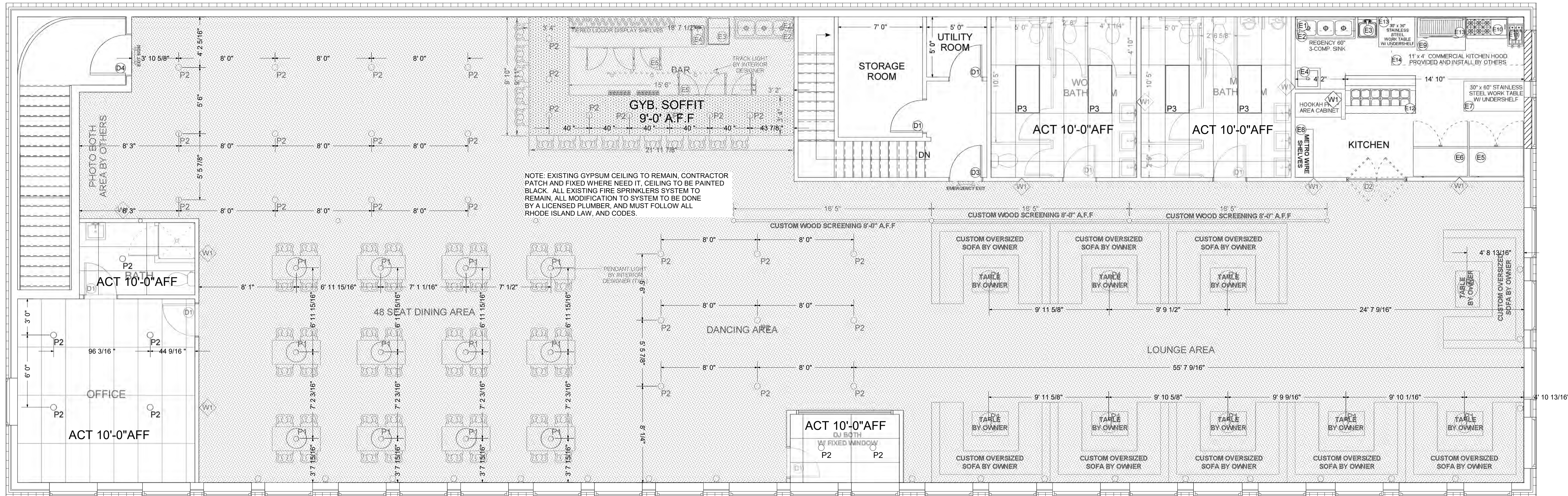
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DOOR SCHEDULE							
ITEM	QTY.	DESCRIPTION	SIZE			COMMENTS	SUPPLIED BY
			W	D	H		
D1	7	PRIMED FIBERGLASS MOULDED SOLID INTERIOR DOOR	34"	1 7/8"	80"	4-9/16" JAMB	OWNER/ G.C TO INSTALL
D2	1	REGENCY DOUBLE ALUMINUM SWING TRAFFIC DOOR W/ 9" X 14" WINDOW	60"	1"	84"	REFER TO SPEC SHEET	OWNER/ G.C TO INSTALL
D3	1	EXISTING DOOR				G.C TO REFINISH EXISTING DOOR	OWNER TO DECIDE ON THE FINISH
D4	1	EXISTING DOOR				G.C TO REFINISH EXISTING DOOR	OWNER TO DECIDE ON THE FINISH



#	Revision	Date	JOB #:	RENOVATION	DRAWING TITLE: PROPOSED FLOOR PLAN	ADDRESS: 2ND FLOOR 73 EMPIRE ST. PROVIDENCE, RI 02903
	1	PRELIMINARY	9/18/23	DRAFTSMAN: A.SOUSA		
	2	REVISED	9/24/23	CHECKED BY: JOSE		
				SCALE: 1/4" = 1'		
					SHEET: A-1	



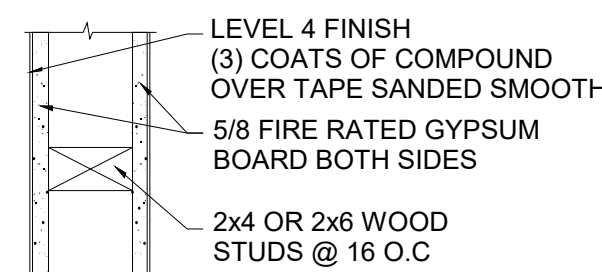
NOTE: EXISTING GYPSUM CEILING TO REMAIN, CONTRACTOR PATCH AND FIX WHERE NEED IT, CEILING TO BE PAINTED BLACK. ALL EXISTING FIRE SPRINKLERS SYSTEM TO REMAIN, ALL MODIFICATION TO SYSTEM TO BE DONE BY A LICENSED PLUMBER, AND MUST FOLLOW ALL RHODE ISLAND LAW, AND CODES.

1 PROPOSED REFLECTED CEILING PLAN
A-2 SCALE 1/4" = 1'-0"

FOOD SERVICE PLUMBING NOTES

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- ALL WORK SHALL CONFIRM TO ALL LOCAL CODES, RULES AND REGULATIONS INCLUDING THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES, OSHA ACTS AND REGULATIONS, AND THE REQUIREMENTS OF THE LOCAL AUTHORITIES HAVING JURISDICTION.
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W1 2x4 WOOD STUD WALL ASSEMBLY
1 HR. RATED UL # U305

W1 2x6 WOOD STUD WALL ASSEMBLY

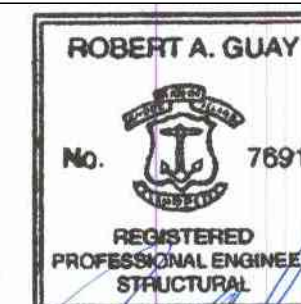
NOTE: GYPSUM CEILING TO RECEIVE LEVEL 4 FINISH AND BE PAINTED BLACK, STARTING AT 10'-0" A.F.F. EVERYTHING BELOW WILL RECEIVE FINISHES SPECIFIED BY INTERIOR DESIGN TEAM.

RCP LEGEND:

- P3 4 X 8 LIGHT, G.C TO COORDINATE WITH OWNER AND SPECIFIC LIGHT TYPE
- P2 6" RECESSED LED LIGHT, G.C TO COORDINATE WITH OWNER
- P1 JUNCTION BOX AT THE CEILING FOR PENDANT LIGHT, OWNER AND G.C MUST COORDINATE WITH THE OWNER AND GET LIGHT SPEC PRIOR TO INSTALLING BOXES ON THE CEILING.

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#	Revision	Date
1	PRELIMINARY	9/18/23
2	REVISED	9/24/23

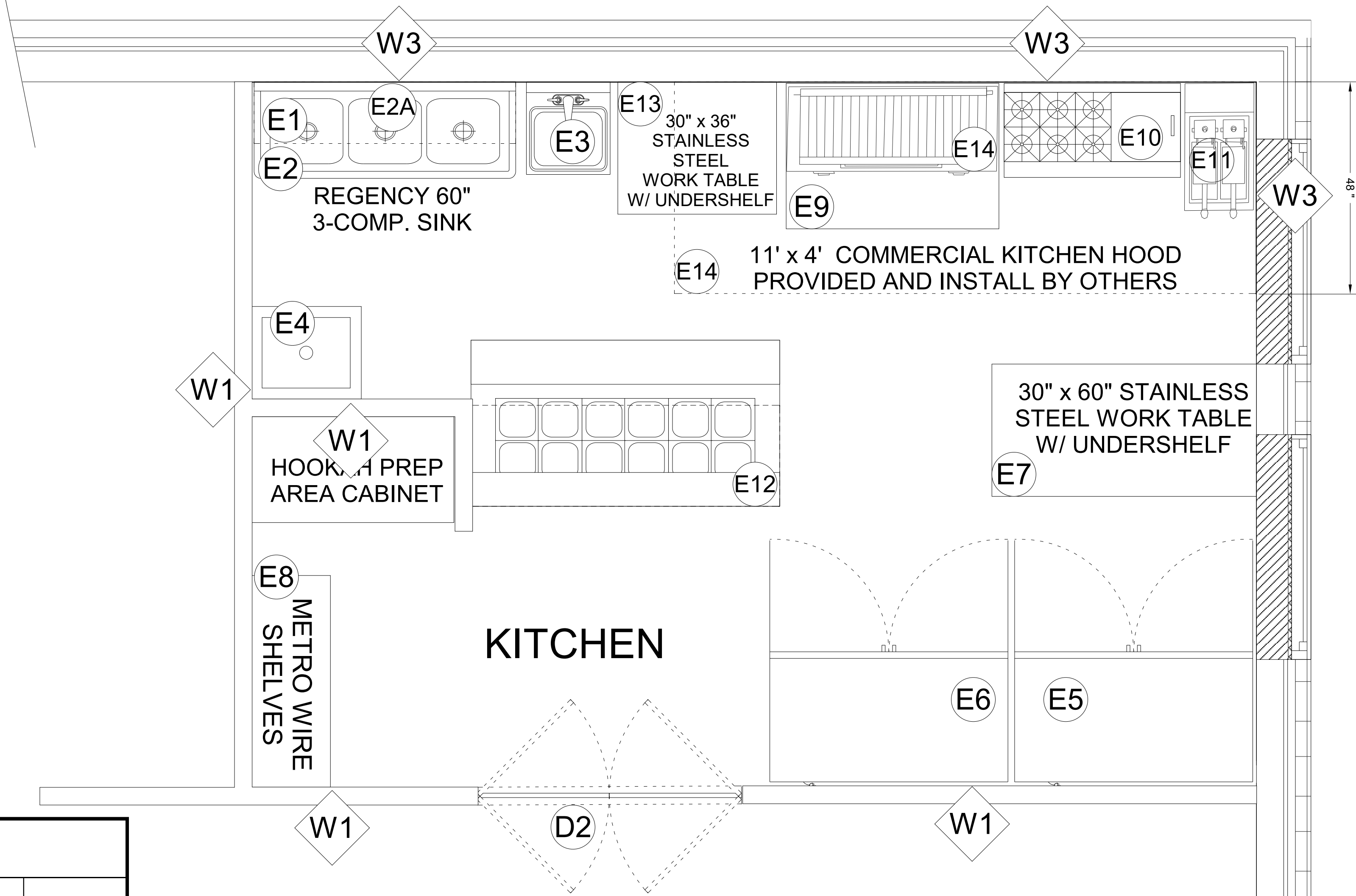
JOB #:	RENOVATION
DRAFTSMAN:	A.SOUSA
CHECKED BY:	JOSE
SCALE:	1/4" = 1'

DRAWING TITLE:	REFLECTED CEILING PLAN
SHEET:	A-2

ADDRESS:	2ND FLOOR 73 EMPIRE ST. PROVIDENCE, RI 02903
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NOTE: KITCHEN LIGHTING TO BE PICKED BY INTERIOR DESIGNER WHICH MUST BE COORDINATED WITH G.C/ E.C AND OWNER

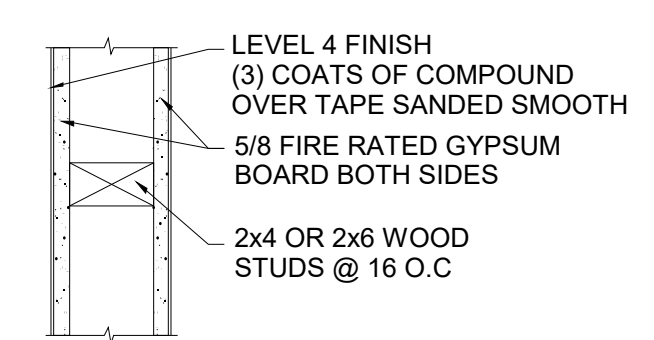
NOTE: EQUIPMENT IN THE DRAWING ARE JUST SUGGESTIONS, OWNER TO PROVIDE ALL EQUIPMENT OR SPECIFICATION TO CONTRACTOR PRIOR TO THE BUILT, FOR PROPER PLUMBING AND ELECTRICAL REQUIREMENTS.



KITCHEN EQUIPMENT SCHEDULE

ITEM #	QTY	NAME	MFR	MODEL #	SIZE			ELECTRICAL					PLUMBING				COMMENTS	SUPPLIED BY			
					L	D	H	HP	KW	AMPS	VOLT/PH	NEMA #	HOT	COLD	W	IW					
E1	1	METRO SMART WALL SHELVING	METRO	SWK36-1A1-SR	40"	20"	31 1/4"											ABOVE 3 COMPARTMENT SINK	OWNER		
E2	1	3 COMPARTMENT SINK	REGENCY	600S31717G	60"	22 1/2"	44 3/4"										1/2 IPS	1/2 IPS	1 1/2"	G/C TO REVIEW SPEC PRIOR TO INSTALLATION	OWNER
E2A	1	WALL MOUNTED PRE-RINSE FAUCET WITH 8" CENTER	WATERLOO	750PRWL8X																G/C TO REVIEW SPEC PRIOR TO INSTALLATION	OWNER
E3	1	UTILITY HAND SINK W/ WALL MOUNTED FAUCET	REGENCY	600HSMF1818													1/2 IPS	1/2 IPS	3 1/2"	G/C TO REVIEW SPEC PRIOR TO INSTALLATION	OWNER
E4	1	MOP SINK	ADVANCE TABCO	9-OP-20	25"	21"	10"											1/2"IPS	W/K-240 SERVICE FAUCET AND K-242 MOP HOLDER	OWNER	
	1	SERVICE FAUCET (MOP SINK)	ADVANCED TABCO	K-240																	OWNER
	1	MOP HANGER (MOP SINK)	ADVANCED TABCO	K-242	23"																OWNER
	1	MOP DRAINAGE TRAY	ADVANCED TABCO	K-243	32"	4"	6"														OWNER
E5	1	REACH-IN SOLID SWING DOOR FREEZER	TRUE	T-49F-HC	54 1/2"	29 1/2"	78 3/8"	1	9.6	115/60/1	5-15									G/C TO REVIEW SPEC PRIOR TO INSTALLATION	OWNER
E6	1	REACH-IN SOLID SWING DOOR REFRIGERATOR	TRUE	T-49-HC	54 1/2"	29 1/2"	78 3/8"	1/2	5.4	115/60/1	5-15									G/C TO REVIEW SPEC PRIOR TO INSTALLATION	OWNER
E7	1	STAINLES STEEL COMMERCIAL WORK TABLE	REGENCY	600T3072G	72"	30"	34"														OWNER
E8	1	SHELVING, WIRE 5 TIER	METRO	1848BR	48"	18"	74 5/8"														OWNER
E9	1	REFRIGERATED CHEF BASE	ATOSA	MGF8450GR	48	23	26	1/7	2.3	115/60/1	5-15									G/C TO REVIEW SPEC PRIOR TO INSTALLATION	OWNER
E10	1	60" GAS RANGE W/ 24" GRIDDLE	SOUTHBEND																	OWNER TO PROVIDE SPEC INFORMATION TO G/C PRIOR TO INSTALLATION	OWNER
E11	1	GAS FRYER	ATOSA	ATFS-3SES	15"	30"	44"													3 BURNERS INDEPENDENT MANUAL CONTROL OWNER TO PROVIDE SPEC INFORMATION TO G/C PRIOR TO INSTALLATION	OWNER
E12	1	PIZZA PREP TABLE	MOTAK	MPR-70-X	70 7/8"	31 1/2"	38 3/4"	1/5	5.5	115/60/1	5-15									10 FT CORD, G.C TO REVIEW THE SPEC PRIOR TO INSTALLATION	OWNER
E13	1	STAINLES STEEL COMMERCIAL WORK TABLE	REGENCY	600T3038G	36"	30"	34"														OWNER
E14	1	CHAR ROCK BROILERS	COOK RITE	ACTB-48	48"	20"	14"													OWNER TO PROVIDE SPEC INFORMATION TO G/C PRIOR TO INSTALLATION	OWNER

1 ENLARGED KITCHEN PLAN
A-3 SCALE NTS



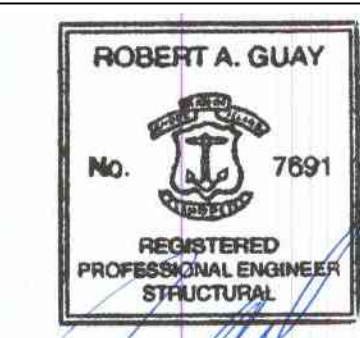
W1 2x4 WOOD STUD WALL ASSEMBLY
1 HR. RATED UL # U305

W1 2x6 WOOD STUD WALL ASSEMBLY

W3 HALIFAX 421SSPAN410 44"x119" STAINLESS STEEL INSULATED WALL PANEL
NOTE: 1" INSULATION PROVIDES NECESSARY PROTECTION FOR COMBUSTIBLE WALL. 20 GAUGE, 430 STAINLESS STEEL WITH A #4 FINISH, HEMED EDGES FOR SAFETY. PROVIDES A SMOOTH, WIPEABLE SURFACE FOR HEALTH CODE COMPLIANCE.

GENERAL NOTES:

- OWNERS AND GENERAL CONTRACTOR SHALL REVIEW ALL PLANS, NOTES AND SPECIFICATIONS PRIOR TO CONSTRUCTION
- DESIGN TEAM ARE NOT LIABLE FOR STRUCTURAL BUILT FROM THESE PLANS.
- GENERAL CONTRACTOR MUST VERIFY ALL EXISTING SITE CONDITIONS.
- ALL ON SITE WORK TO BE OVERSEEN BY A LICENSED CONTRACTOR.
- ELECTRICAL, HVAC AND PLUMBING PLAN TO BE PROVIDED BY LICENSED CONSULTANTS.
- ALL PAINTS AND FINISHES TO BE PROVIDED BY OTHERS.
- ALL SPECIFICATIONS TO BE VERIFIED BY OWNER AND CONTRACTOR.
- EXTERIOR WINDOW CASING TO BE PROVIDED BY DESIGNATED LUMBER YARD.
- FIRE STOPPING REQUIRED, SHALL CUT OFF ALL CONCEALED OPENING, MINIMUM 2" NOMINAL LUMBER REQUIRED.



#	Revision	Date	JOB #:
1	PRELIMINARY	9/18/23	RENOVATION
2	REVISED	9/24/23	

DRAFTSMAN: A.SOUSA
CHECKED BY: JOSE
SCALE: 1/4" = 1'

DRAWING TITLE:
ENLARGED KITCHEN PLAN AND EQUIPMENT SCHEDULE
SHEET: A-2

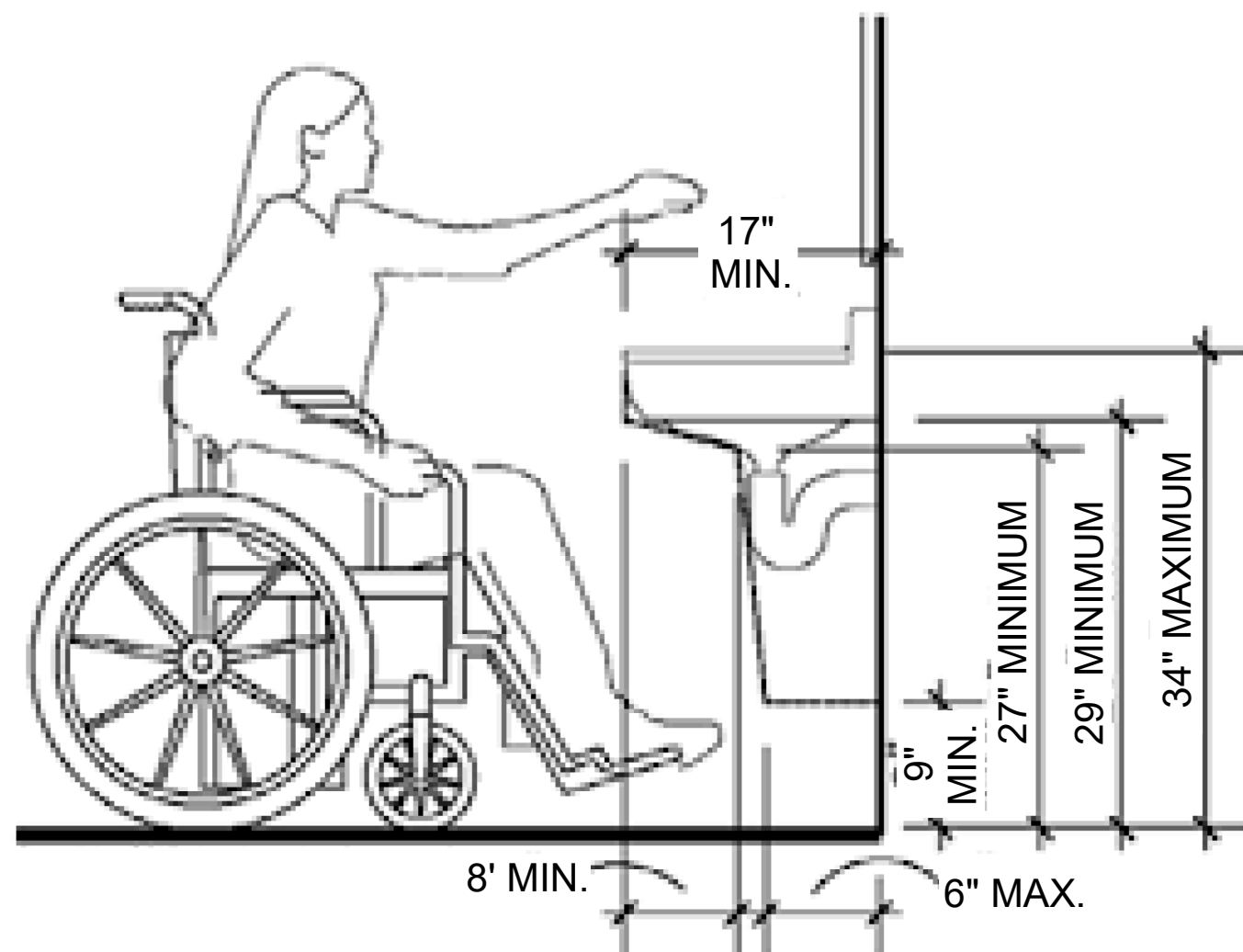
ADDRESS:
**2ND FLOOR
73 EMPIRE ST.
PROVIDENCE, RI
02903**



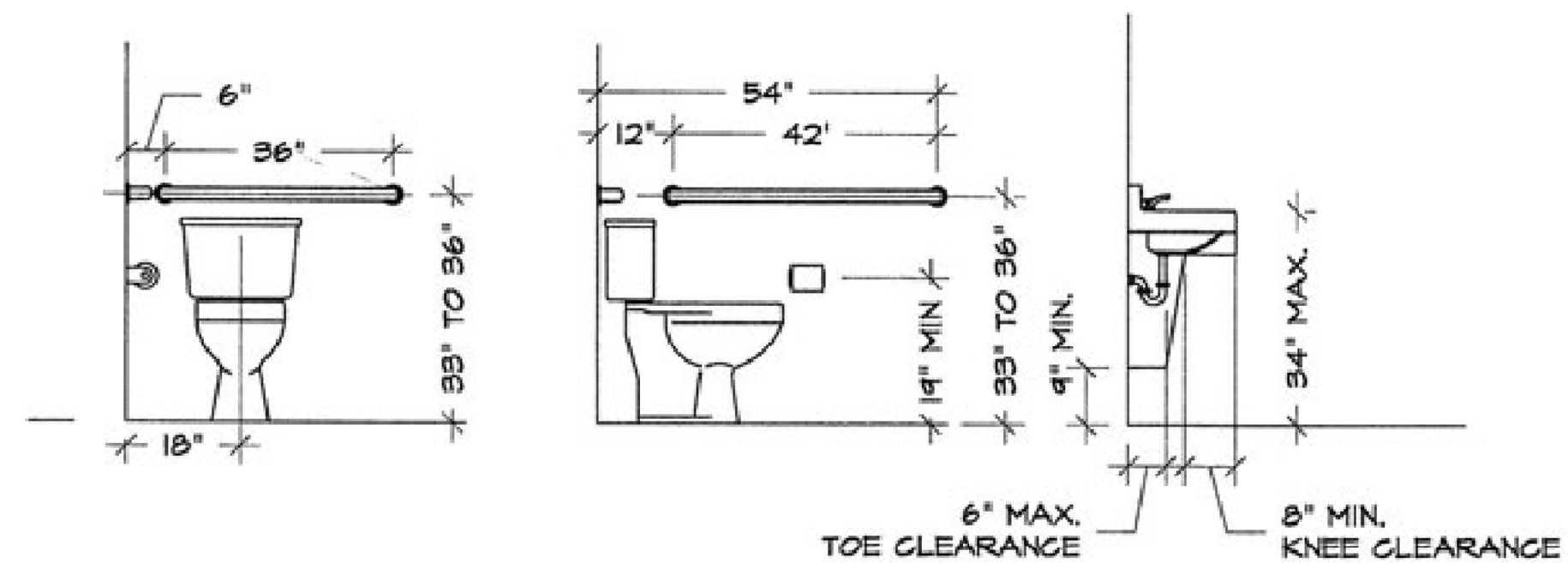
MEN (ACCESSIBILITY) ADA RESTROOM
BRAILLE SIGN

WOMEN (ACCESSIBILITY) ADA RESTROOM
BRAILLE SIGN

2 BATHROOM SIGNAGE
A-4 SCALE NTS



3 ADA BATHROOM SINK CLEARANCE
A-4 SCALE NTS

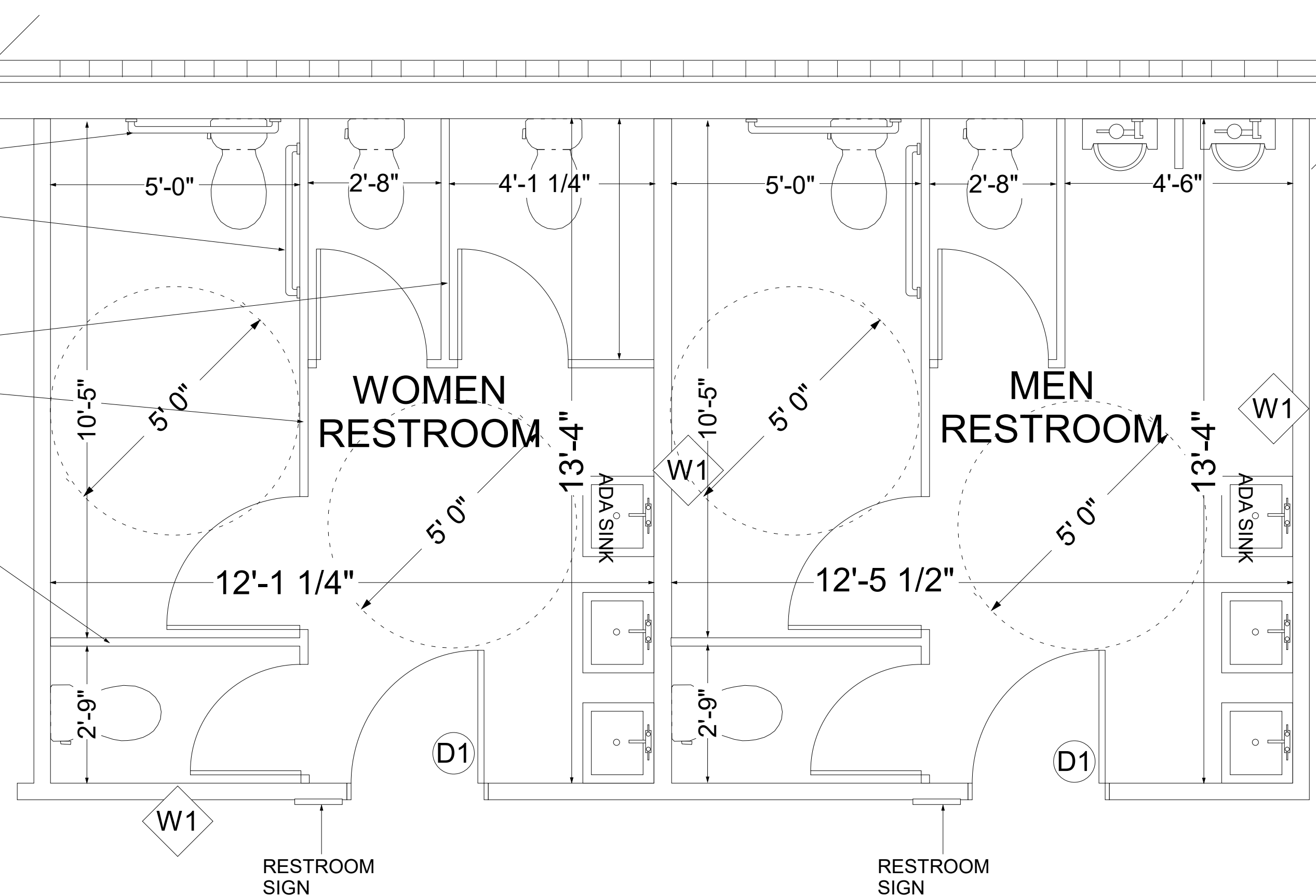


4 ADA MOUNTING HEIGHT STANDARDS
A-4 SCALE NTS

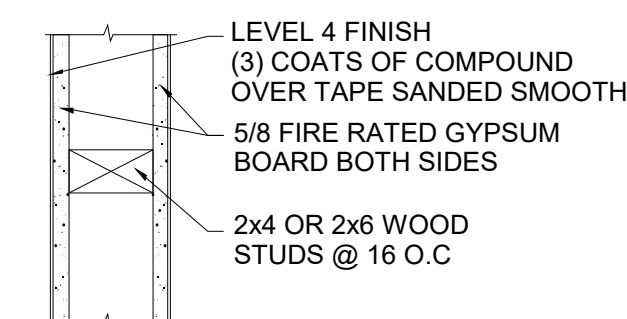
NOTE: ALL BATHROOM FIXTURE AND PARTITIONS TO BE PROVIDED BY OWNER AND INSTALLED BY G.C / PLUMBING CONTRACTOR

ADA GRAB BAR (TYP.)

PHENOLIC TOILET PARTITION STALLS
G.C AND OWNER TO COORDINATE
ON COLOR AND HARDWARE PRIOR
TO ORDER. (TYP.)



1 ENLARGED BATHROOM PLAN
A-4 SCALE NTS



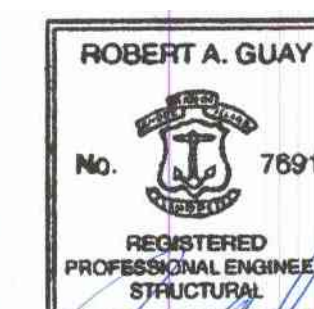
W1 2x4 WOOD STUD WALL ASSEMBLY
1 HR. RATED UL # U305

W1 2x6 WOOD STUD WALL ASSEMBLY

W3 HALIFAX 421SSPAN410 44\"/>

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- FIRE STOPPING REQUIRED, SHALL CUT OFF ALL CONCEALED OPENING, MINIMUM 2\"/>



#	Revision	Date
1	PRELIMINARY	9/18/23
2	REVISED	9/24/23

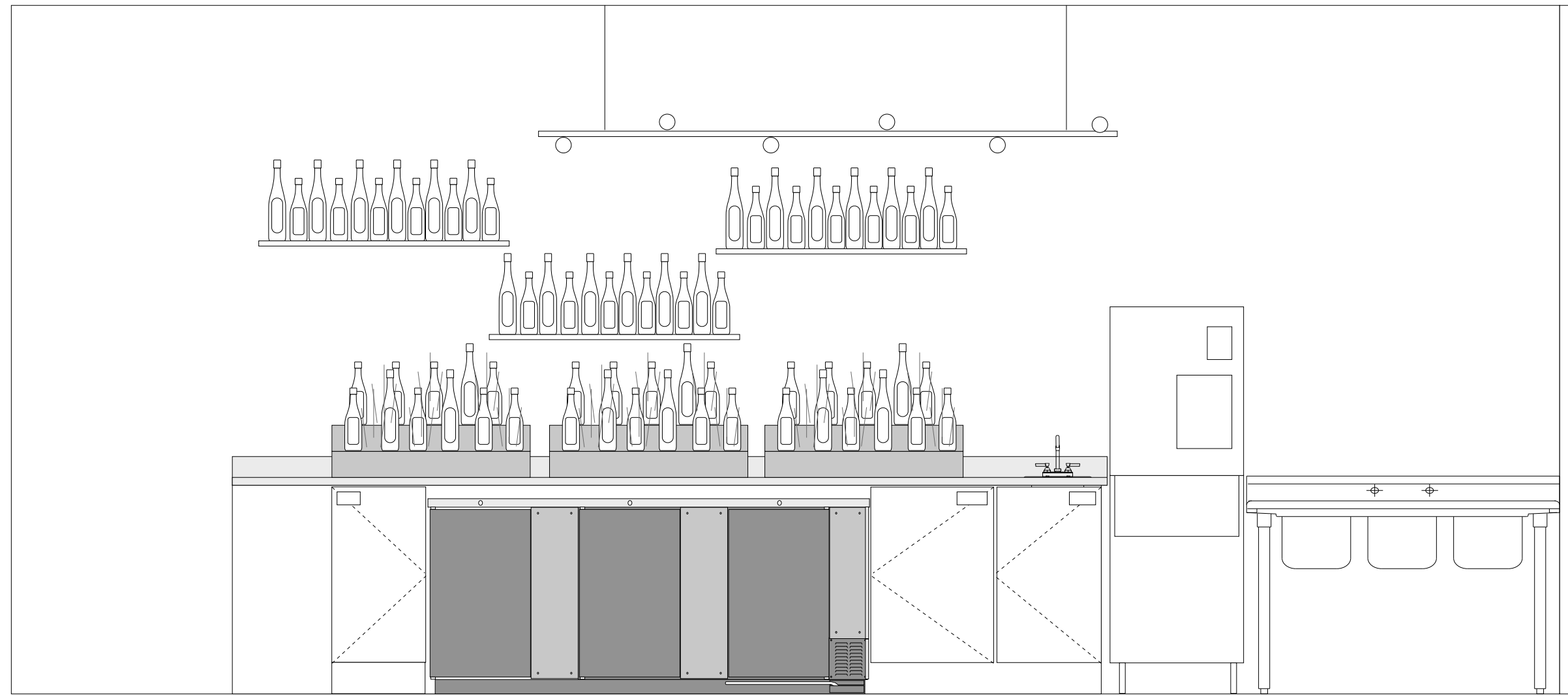
JOB #:	RENOVATION
DRAFTSMAN:	A.SOUSA
CHECKED BY:	JOSE
SCALE:	1/4" = 1'

DRAWING TITLE:	ENLARGED BATHROOM FLOOR PLAN
SHEET:	A-4

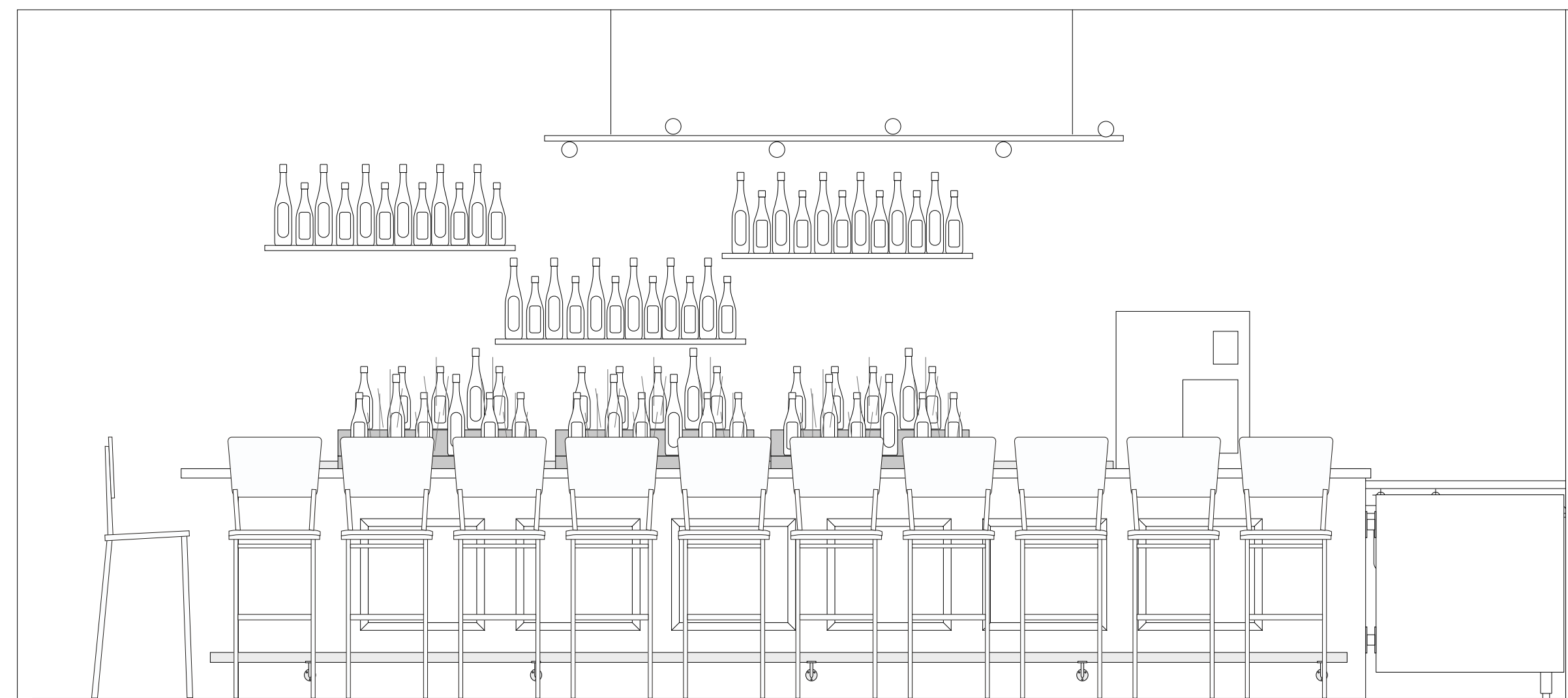
ADDRESS:	2ND FLOOR 73 EMPIRE ST. PROVIDENCE, RI 02903
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ALL BAR FINISHES TO BE PROVIDED BY INTERIOR DESIGNER AND OWNER.
PAINT, CABINET FINISHES, COUNTERTOP ETC.

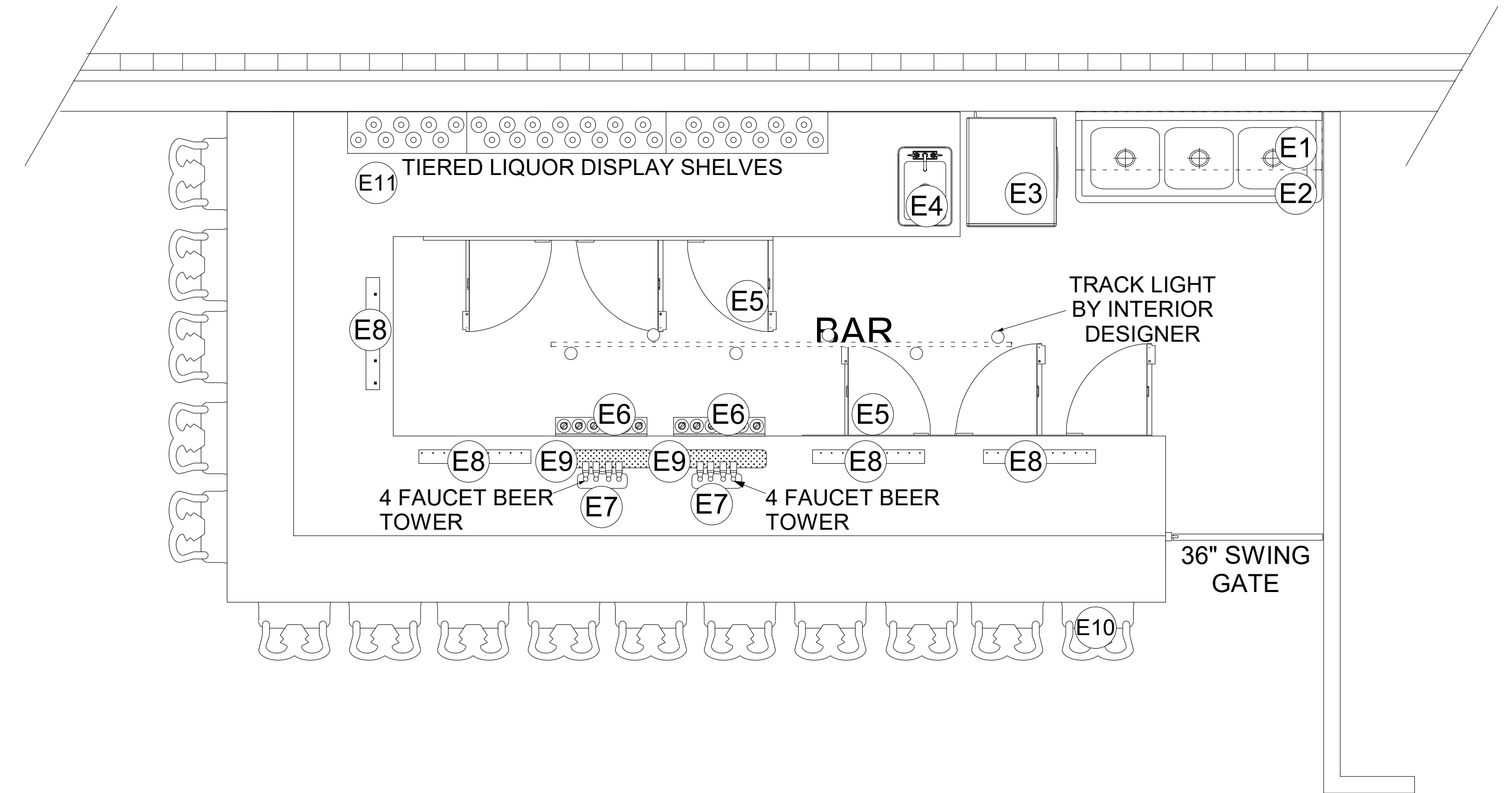
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BUILT, FOR PROPER PLUMBING AND ELECTRICAL REQUIREMENTS.



2 BACK BAR
A-5 SCALE NTS



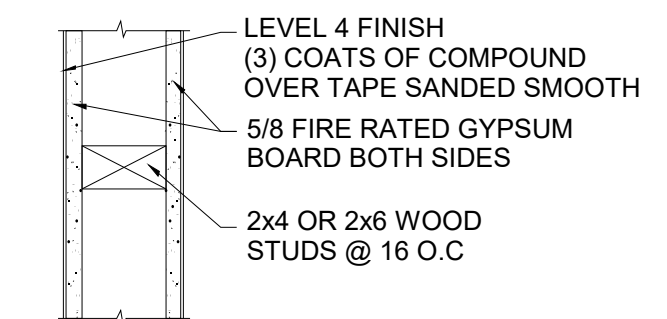
3 FRONT BAR ELEVATION
A-5 SCALE NTS



1 ENLARGED BAR PLAN
A-5 SCALE NTS

BAR EQUIPMENT SCHEDULE

ITEM #	QTY	NAME	MFR	MODEL #	SIZE		ELECTRICAL					PLUMBING				COMMENTS	SUPPLIED BY		
					L	D	H	HP	KW	AMPS	VOLT/PH	NEMA #	HOT	COLD	W			DRAIN	IW
E1	1	METRO SMART WALL SHELVING	METRO	SWK36-1A1-SR	40"	20"	31 1/4"											ABOVE 3 COMPARTMENT SINK	OWNER
E2	1	3 COMPARTMENT SINK	REGENCY	60S31717G	60"	22 1/2"	44 3/4"											G/C TO REVIEW SPEC PRIOR TO INSTALLATION	OWNER
E3	1	ICE MACHINE	BLUE AIR	BLMI-300A	22"	27-3/8"	30 5/8"											G/C TO REVIEW SPEC PRIOR TO INSTALLATION	OWNER
E4	1	HAND SINK WITH SURROUND	ADVANCE TABCO	DI-1-10	13"	19"	10"											10" X 14" X 10" DEEP BOWL	OWNER
E5	1	BACK BAR REFRIGERATOR	ASBER	ABBC-94G	80"	28 5/8"	36 7/8"	1/3		3.0	115/60	5-15						G/C TO REVIEW SPEC PRIOR TO INSTALLATION	OWNER
E6	1	SINGLE TIER SPEED RAIL	EAGLE GROUP	500779	34"	4 7/16"													OWNER
E7	2	4 FAUCET BEER TOWER, STAINLESS STEEL "T" STYLE	AMERICAN BEVERAGE																OWNER
E8	4	BLACK DELUXE RUBBER BAR MAT	AMERICAN METALCRAFT	BML-24	27"	3 1/4"													OWNER
E9	1	STAINLESS STEEL DRIP TRAY																W/ 4-IN TREADED METAL DRAIN FITTING	OWNER
E10	15	BAR STOOL	FLASH FURNITURE	BLKV-GG	16 3/4"	16 1/4"	30"												OWNER
E11	3	3 TIER ACRYLIC BOTTLE ORGANIZER FOR COUNTERTOP	DISPLAYS2GO	FSBD3T48	47 1/2"	10 1/2"	16"											INTERIOR LED LIGHTS	OWNER



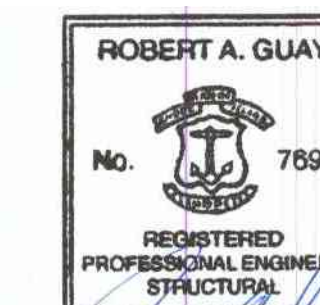
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#	Revision	Date	JOB #:	RENOVATION	DRAWING TITLE:	ADDRESS:
1	PRELIMINARY	9/18/23	DRAFTSMAN:	A.SOUSA	ENLARGED BAR PLAN	2ND FLOOR 73 EMPIRE ST. PROVIDENCE, RI 02903
2	REVISED	9/24/23	CHECKED BY:	JOSE		
			SCALE:	1/4" = 1'	SHEET:	A-5

Building Front View



Left Side View of Building Front



Right Side View of Building Front



Side View of Building Front



Entrance to the 2nd floor Building Front



Building Front





WASHINGTON STREET

216-224

206

198-194

176-184

176-172



SCALE
1" = 80'

432
17504

11-21

110-116

316
2893

318
2150

327
6671

328
3284

315
1020

319
3304

325
1755

329
4157

314
3857

463
2439

330
3282

142
1725

462
2872

446
8508

391
5471

377
3865

73 EMPIRE
SECOND FLOOR
5180

445
1787

364

323
13064

75

322
8720

399-393

364

391-377

345-369

339-335

333-327

398-400

394-380

372-370

334-320

405
7780

406
26131

410
7420

411
10920

51

49-53

37-41

50

50

50

50

50

EMPIRE STREET

EMPIRE ST

WALNUT ST

WESTMINSTER STREET

CHAPEL ST

SNOW ST

SNOW ST

MOULION SI

73 EMPIRE STREET SECOND FLOOR

July 17, 2022
[Signature]
401-516-8185