OCT 06 2023

CITY OF PROVIDENCE ZONING BOARD OF REVIEW

APPLICATION FOR VARIANCE OR SPECIAL USE PERMIT

Che	ck Each Type	Zoning Re	lief Sought:		Variance – Use * Variance – Dimensional* Special Use Permit **
* A	ttach Appendix	A to apply	for a Use or Di	mensional Variances	
			for a Special Us		
App	licant: Ayodej	i Tade		Address 3	00 front street, Unit 501, Pawtucket,
	E-mail tad	eayodeji92	@gmail.com	Elp code y	2200
	Phone			40158806	73
	Hor	ne/Office		Mobile (Ce	(1)
Owr	ner: Empire Fir	nancial Gro	up LLC		4 Bedson Road, Cranston RI
	E-mail end	nta@cucem	ail com	Zip Code (02910
	Phone	nagovoen	iaii.com	401639924	17
		ne/Office		Mobile (Cel	
Less	ee: Ayodeji Ta	de		Address 3	00 front street, Unit 501, Pawtucket,
	E-mail tade	eayodeji920	@gmail.com	7,5,5,5,5	
	Phone:			401588067	73
	Hor	me/Office		Mobile (Ce	70
Does	Do I-19 Caj	wntown De 95 Redevel pital Center	esign Review Co opment District Commission oct Commission		each):
1. 1	Location of Pr	operty:	393 - 399 Wes	stminster street, Unit	73 empire street, providence, RI, 02
			Street Address D-1-120		
	Zoning Distric				
	Special purpos	e or overl	ay district(s):	CO-1- C	
3a. 1	Date owner pu	rchased th	e Property:	June 30, 1994	
3b. l	Month/year of	lessee's oc	cupancy:	August 2023	

3.	Dimensions of eac	ch lot:					
	Lot # 25-310	Frontage 129.50	depth 40	Total	area 51	80sf	sq. ft.
		Frontage		Total	area		sq. ft.
	Lot #	Frontage	depth	Total	area _		
4.	Size of each struc	ture located on th	e Property:				
	Principal Stru	icture:	Total gross square f	ootage	4860sf		
	Footp	rint 4860sf	Height 27ft	_	Floors	2	
	Accessory Str	ucture: Total gr	oss square footage				
			Height		Floors		
5.	Size of proposed s		Total gross square f		4860sf		
	Footp	rint 4860sf	Height 27ft	-	Floors	2	
6a.	Existing Lot cove	rage: (include all i	buildings, decks, etc.)	N/A, no c	hange to	footpri	nt
6b.	Proposed Lot cov	erage: (include ne	w construction) N/A,	no change	to footp	rint	
_							
7b.			tructure): ucture) as recorded	in Dept. o	f Inspec	tion & :	Standards:
7b.	Vacant 2nd Floor Legal Use of Prop Retail Business Proposed Use of F	erty (each lot/stro	ucture) as recorded				Standards:
7b. 8.	Vacant 2nd Floor Legal Use of Prop Retail Business Proposed Use of F	erty (each lot/struerty (each lot urant with live ente	ucture) as recorded /structure): ertainment as ancillar				Standards:
7b. 8. 9.	Vacant 2nd Floor Legal Use of Prop Retail Business Proposed Use of F Full Service Resta Number of Curre	Property (each lot/struurant with live ente	/structure): entainment as ancillar	use on the	e 2nd flo		Standards:
7b. 8. 9.	Vacant 2nd Floor Legal Use of Prop Retail Business Proposed Use of F Full Service Resta Number of Curre Describe the prop	Property (each lot/ urant with live enternation	/structure): entainment as ancillar s: N/A or alterations (each	use on the	e 2nd flo	oor	
7b. 8. 9.	Vacant 2nd Floor Legal Use of Prop Retail Business Proposed Use of F Full Service Resta Number of Curre Describe the prop Interior renovation	Property (each lot/ urant with live enternant with live enternant with live enternant	/structure): entainment as ancillary s: N/A or alterations (each	use on the	ture):	oor ce resta	urant offering
7b. 8. 9.	Vacant 2nd Floor Legal Use of Prop Retail Business Proposed Use of F Full Service Resta Number of Curre Describe the prop Interior renovation food, liquor, hooka	Property (each lot/ urant with live enternated and live enternated and live entertains and live entertains and live entertains and live entertains	/structure): entainment as ancillar s: N/A or alterations (each	use on the lot/structor use as e on the 2	ture):	oor ce resta	urant offering
7b. 8. 9.	Vacant 2nd Floor Legal Use of Prop Retail Business Proposed Use of F Full Service Resta Number of Curre Describe the prop Interior renovation food, liquor, hooka bathrooms, add kit	Property (each lot/ urant with live enternt Parking Space osed construction of a vacant previous hand live entertain chen, stage, new experience.	/structure): ertainment as ancillary s: N/A or alterations (each usly use retail space ment as ancilliary us electrical plumbing an	lot/structor use as e on the 2 d HVAC.	ture): full servind floor.	ce resta we will	urant offering renovate
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Type Name

Signature

13. Explain the changes proposed for the Property.

Interior renovation of an v food, liquor, hookah and e booth and performance st	entertainment on t	use retail space for use as full service restaurant offering he 2nd floor. we will renovate bathrooms, add kitchen Dj al plumbing and HVAC
The undersigned acknowledge	e(s) and agree(s)	that members of the Zoning Board of Review and its staf
application.	of the Property in	n order to view the Property prior to any hearing on the
are true and accurate, and the and/or civil penalties as prov	at providing a fals vided by law, inc	ne statements herein and in any attachments or appendices se statement in this application may be subject to crimina luding prosecution under the State and Municipal False responsible with their attorneys for any false statements.
Owner(s):		Applicant(s):
Empire Financial Group LLC		Ayodeji Tade
Type Name		Type Name
Anthony Nota	dotloop verified 10/04/23 2:51 PM EDT KJ9L-E7VN-PP3P-HQTQ	Agade
Signature		Signature

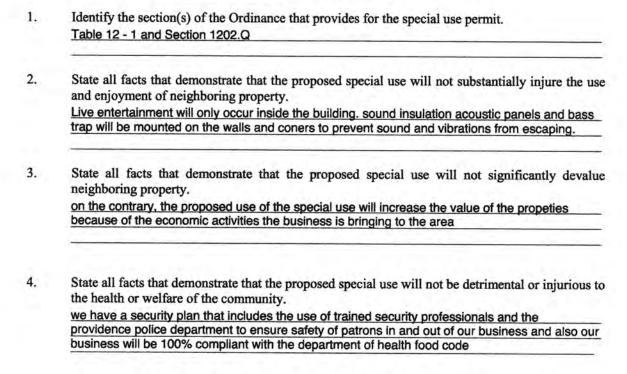
All requirements listed and described in the Instruction Sheet must be met or this application will not be considered complete.

Type Name

Signature

APPENDIX B

APPLICATION(S) FOR SPECIAL USE PERMIT



IF THE APPLICANT IS AN EDUCATIONAL OR HEALTH CARE INSTITUTION, COMPLETE PAGES 10 AND 11 BELOW

Application Addendum

Zoning Use Standards per Section 1202.Q.:

- Q. Live Entertainment Ancillary Use, Live Performance Venue, or Nightclub
- 1. Live entertainment ancillary use is considered a separate principal use. Live entertainment ancillary use may only be established when allowed as a use within a zoning district and in conjunction with another principal use such as a bar, restaurant, amusement facility, or arts studio.
- 2. When a live entertainment ancillary use, live performance venue, or nightclub is a special use, the following elements of operation shall be considered, in addition to the special use standards:
- a. The noise abatement plan, including any plans for outdoor entertainment.

Introduction:

As the owners of NOIR, we are committed to being a responsible member of the community and ensuring that our establishment operates in a way that is considerate of our neighbors and compliant with local noise regulations. To achieve this, we have developed a comprehensive Noise Abatement Plan that outlines the measures and strategies we will implement to mitigate noise disturbances associated with our live entertainment.

1. Soundproofing and Acoustic Design:

Building Enhancements: We will be Investing in acoustic panels designed for soundproofing measures for the restaurant building. This will include:

Closed windows and doors to reduce sound transmission.

Sealing gaps and cracks to prevent sound leakage.

Soundproofing Equipment:

Studio Acoustic Foam Soundproof Wall Panels Wedges Absorption Treatment Sponge With Double Side Adhesive.

Install noise-reducing equipment, such as sound-absorbing curtains, and bass traps in critical areas of the room to absorb and control sound.

2. Sound System Management:

Sound Limiters:

Use of sound limiters that automatically regulate the volume of the music to ensure it remains within city permissible decibel levels during all hours of operation.

Regular Maintenance:Implement a strict maintenance schedule for our sound system to ensure it operates at optimal efficiency, reducing the risk of unexpected loud noises.

3. Event Programming and Scheduling:

Noise Policy:

Establish and enforce a noise policy that sets acceptable sound levels for different times of the night.

Event Scheduling: Schedule events with varying music genres and sound profiles.

Curfew Hours: Adhere to local noise curfew hours and cease music and noisy activities during these times.

b. The Security Plan

- 1. Noir has identified and contracted with a reputable third-party company (Lock Down Security) to staff events at high-volume times with qualified, trained, and licensed security personnel to help facilitate our goals to be an excellent host and responsible neighbor. These personnel will be responsible for our first line of defense at the entrance with the purpose of checking IDs to ensure people seeking entrance are of legal age, pat down, thorough searching of customers with metal detector devices. They will also monitor the inside of the premises and parking lot after close to always ensure orderliness and safety.
- 2. We will also be installing CCTV cameras through ADT Security Services as our first line of security.

Six Interior Camera: One on each corner and two centrally located. Four exterior cameras One on each corner of the building

- 3. On High volume days such as weekends (Friday Sunday) or special events days, we will be engaging providence city police department personnel to add an additional layer of security and safety for the business, customers, and providence city environs at large.
- 4. We will be hiring experienced staff who are already TIPS certified or can be certified within the first month of employment. The goal for this is for each staff to

Understand the effects of alcohol on the body and behavior.

Identifying signs of intoxication and taking appropriate measures.

Preventing underage drinking.

Refusing service to intoxicated individuals.

Handling difficult situations and conflicts related to alcohol.

c. The size of the establishment and the size, location and configuration of the live entertainment area within the establishment.

- The size of the establishment is 4800 SF.
- For Location and Configuration of Live Entertainment, Please see attached plans

d. Maximum occupancy loads.

Area	SF	Allowance	Occupancy
Standing	1915	5sf	383
Restaurant	806	15sf	54
Bar	377		15

e. For live entertainment – ancillary use, the days and hours of operation for the establishment's general operations as a standard restaurant or bar, and the anticipated days and hours of operation for the live entertainment component.

NOIR Restaurant Operation Hours

Days	Hours
Monday	Closed
Tuesday	4 pm - 1am
Wednesday	4 pm - 1am
Thursday	4 pm - 1am
Friday	4 pm - 1am
Saturday	4 pm - 1am
Sunday	4 pm - 1am
Saturday	3 pm - 1am

NOIR Live Entertainment Operation Hours

Days	Hours
Monday	Closed
Tuesday	None
Wednesday	None
Thursday	8 pm - 1 am
Friday	8 pm - 1 am
Saturday	8 pm - 1 am

Sunday	7 pm - 1 am
	· P

f. Loading areas.

There is an existing city assigned loading area on the street. See attached picture

GENERAL NOTES:

- . OWNERS AND GENERAL CONTRACTOR SHALL REVIEW ALL PLANS, NOTES AND SPECIFICATIONS PRIOR TO CONSTRUCTION
- . ANY ALTERATIONS TO THE PLANS MUST BE TAKEN UNDER THE ADVISEMENT OF THE DESIGN TEAM.
- . DESIGN TEAM ARE NOT LIABLE FOR STRUCTURAL BUILT FROM THESE PLANS.
- . GENERAL CONTRACTOR MUST VERIFY ALL EXISTING SITE CONDITIONS.
- . ALL ON SITE WORK TO BE OVERSEEN BY A LICENSED CONTRACTOR.
- . ELECTRICAL, HVAC AND PLUMBING PLAN TO BE PROVIDED BY LICENSED CONSULTANTS.
- . ALL PAINTS AND FINISHES TO BE PROVIDED BY OTHERS.
- . ALL SPECIFICATIONS TO BE VERIFIED BY OWNER AND CONTRACTOR.
- . EXTERIOR WINDOW CASING TO BE PROVIDED BY DESIGNATED LUMBER YARD.
- . FIRE STOPPING REQUIRED, SHALL CUT OFF ALL CONCEALED OPENING, MINIMUM 2" NOMINAL LUMBER REQUIRED.

NOTE:

- . ALL ENGINEERED FRAMING MEMBERS SIZED BY SUPPLIER OR LICENSED STRUCTURAL ENGINEER, CALCULATIONS PROVIDED BY SAME, SUGGESTED SIZE AND SPANS SHOWN TO BE VERIFY.
- 1. GENERAL CONTRACTOR SHALL OBTAIN ALL PERMITS AND INSPECTIONS NECESSARY TO INSURE, ISSUANCE OF OCCUPANCY PERMIT AT COMPLETION OF THE WORK.
- 2. CONTRACTOR SHALL MAINTAIN ALL INSURANCE REQUIRED BY THE OWNER AND GOVERNMENTAL AUTHORITIES AND SHALL PROVIDE PROF OF SUCH INSURANCE.
- 3. ALL WORK SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES OF THE STATE OF RHODE ISLAND REQUIREMENTS SHALL BE MET
- 4. CONTRACTOR SHALL BE RESPONSIBLE FOR BRACING ALL WORK DURING CONSTRUCTION.
- 5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE OWNER / DESIGNER FOR CLARIFICATION BEFORE PROCEEDING.

GENERAL NOTE:

(1) CONFIRM TO THE FOLLOWING DESIGN LOADS REQUIREMENTS UNLESS NOTED OTHERWISE

RÓOF LOAD (SNOW) 30 PSF WIND LOAD 50 PS

FLOOR LIVE LOAD 50 PSF



73 EMPIRE ST. 2ND FLOOR PROVIDENCE, RI 02903

DRAWING LIST:

AA COVER PAGE

A0 SPECIFICATIONS

A0-1 SPECIFICATIONS

A0-2 SPECIFICATIONS

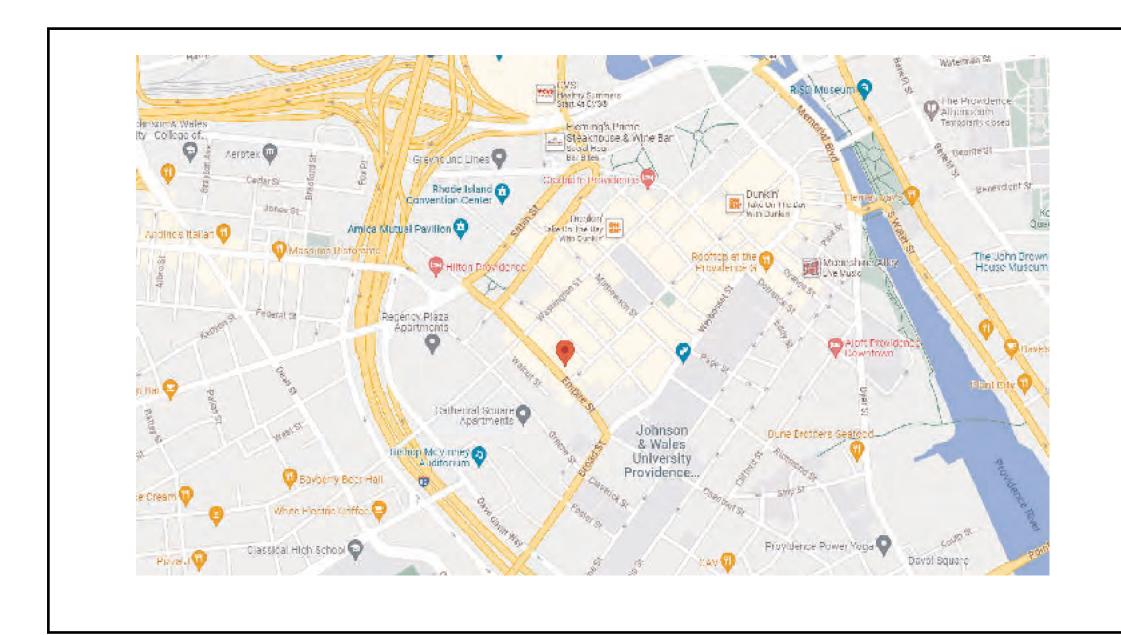
A-1 PROPOSED FLOOR PLAN

A-2 REFLECTED CEILING PLAN

A-3 ENLARGED KITCHEN PLAN AND EQUIPMENT SCHEDULE

A-4 ENLARGED MEN AND WOMEN RESTROOM PLAN

A-5 ENLARGED BAR AND EQUIPMENT SCHEDULE



- 1. ALL WORK SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE AND FEDEAAL CODES.
- 2. ALL BUILDING PERMITS AND INSPECTIONS INCLUDING BUT NOT LIMITED TO BUILDING AND OCCUPANCY PERMITS SHALL BE OBTAINED AND PAID FOR BY GREED PARTY.
- 3. ALL CONTRACTORS SHALL HOLD TO THE INTENT OF THE DRAWINGS WHICH IS TO PROVIDE COMPLETE AND FINISHED WORK, TESTED AND GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE TIME OF COMPLETION AND READY FOR OCCUPANCY, INCLUDINCG ALL NECESSARY ITEMS REGIUIRED REGARDLESS OF WHETHER SPECIACALLY CALLED FOR OR NOT ON THE DRAWINGS.
- 4. ALL WORK SHALL BE PERFORMED BY MECHANICS SKILLED IN THEIR RESPECTIVE TRADES.
- 8. ALL CONTRACTORS SHALL CHECK ALL DIMENSIONS, ASSEMBLIES, ETC. AND REPORT TO THE DESIGNER IN WRITING ANY INCONSISTENCIES PRIOR TO STARTING WORK, ORDERING MATERIALS, OR FABRICATING SHOP-BUILT ITEMS.
- 9. ALL CHANGES SHALL BE REQUESTED IN WRITING AND APPROVED IN WRITING BY THE OWNER AND THE DESIGNER.
- 10. THE CONTRACTOR SHALL GUARANTEE ALL HIS WORK AND THE WORK OF HIS SUBCONTRACTORS FOR A PERIOD OF ONE YEAR MINIMUM AFTER RECEIVING FINAL ACCEPTANCE, AND DO ALL REPAIR WORK AND REPLACEMENT AS MAY BE NECESSARY DURING THAT PERIOD AT HIS EXPENSE.
- 11. UPON COMPLETION OF THE CONTRACT AND BEFORE FINAL PAYMENT, EACH CONTRACTOR SHALL CLEAN UP AFTER HIS WORK REMOVING ALL DEBRIS INSIDE AND OUTSIDE THE BUILDING CREATED BY HIS WORK. EACH CONTRACTOR SHALL REPAIR ANY PROPERTY DAMAGED DURING THE COURSE OF CONSTRUCTION SUBJECT TO THE APPROVAL OF THE OWNER. THE OWNER WILL SUPPLY DUMPSTER FOR EACH CONTRACTORS WASTE.
- 16. ALL MIE/P BY OTHERS
- 17. ALL STRUCTUPAL BY OTHERS.

GENERAL NOTES:

. OWNERS AND GENERAL CONTRACTOR SHALL REVIEW ALL PLANS, NOTES AND SPECIFICATIONS PRIOR TO CONSTRUCTION

DESIGN TEAM ARE NOT LIABLE FOR STRUCTURAL BUILT FROM THESE PLANS.

. GENERAL CONTRACTOR MUST VERIFY ALL EXISTING SITE CONDITIONS.
. ALL ON SITE WORK TO BE OVERSEEN BY A LICENSED CONTRACTOR.

. ALL ON SITE WORK TO BE OVERSEEN BY A LICENSED CONTRACTOR. . ELECTRICAL, HVAC AND PLUMBING PLAN TO BE PROVIDED BY LICENSED CONSULTANTS.

. ALL PAINTS AND FINISHES TO BE PROVIDED BY OTHERS.

. ALL SPECIFICATIONS TO BE VERIFIED BY OWNER AND CONTRACTOR.

EXTERIOR WINDOW CASING TO BE PROVIDED BY DESIGNATED LUMBER YARD.

. EXTERIOR WINDOW CASING TO BE PROVIDED BY DESIGNATED LUMBER YARD. . FIRE STOPPING REQUIRED, SHALL CUT OFF ALL CONCEALED OPENING, MINIMUM 2" NOMINAL LUMBER REQUIRED.

DRAWING TITLE: ADDRESS: **RENOVATION** Revision Date DRAFTSMAN: **COVER PAGE** 2ND FLOOR A.SOUSA **PRELIMINARY** 73 EMPIRE ST. CHECKED BY: REVISED **JOSE** 9/24/23 PROVIDENCE, RI 1/4" = 1' 02903 SHEET: AA

SECTION 0010000 -PROJECT REQUREMENTS

- A. Project Requirements:
 - . Requirements for Sequence of Work, Phasing, and Occupancy:
 - 2. Prior or Concurrent Work by Owner or Others: 3. Existing Site Conditions and Restrictions:
 - 4. Contractor's Use of Premises and Adjacent Facilities:
 - Pre-purchased and Pre-ordered Items:
 - 6. Owner Furnished and Owner Installed Items: Owner Furnished and Contractor Installed Items:
- 8. Special Mock Ups: 9. Related Future Work
- 10. Reference Drawings and Reports:
- 11. Owner's Building Standards: 12. LEED 2009 for Commercial Interiors:
- B. Allowances: Include scheduled allowances in the project cost; allowance is for cost for materials, installation and all other costs. Submit invoices to indicate actual quantities of materials delivered and costs. Indicate amounts of applicable trade discounts.
 - 1. Allowance No. 1: 2. Allowance No. 2:
- C. Alternates: Submit price foreach alternate. Include cost of modifications to other work to accommodate alternate. Include statement of impact on schedule, if any. Architect and Owner will determine which alternates are accepted.
- Alternate No. 1: 2. Alternate No. 2:
- I. General Meeting Requirements:
 - 1. Take meeting minutes and distributecopies within two days to the Owner,
 - Architect and all attendees. Distribute copies to other parties as appropriate. 2. All representatives attending meetings shall be authorized to act on behalf of the entity each represents.
 - 3. Make physical arrangements for weekly meeting. Prepare an agenda with copies for all parties.
- J. Field Measurements: Each Contractor shall check and verify all dimensions and conditions at the job site, and the General Contractor shall notify the Architect and request clarification with regard to any discrepancies between the Drawings, these notes and field conditions. Dimensions shownon the plan indicate finish (not rough) measurements. Do not scale the Drawings.
- K. Work Outside of Project Lines: Wherever work is required within adjacent occupied spaces or occupied spaces on the floor below, the Contractorshall obtain permission from the Owner in order to schedule the work. Such work is to be performed during nonbusiness hours if required by the Owner and the Contractor shall be responsible for protection and moving of furniture and equipment as may be required. Upon completion of the work, the Contractor shall dust and vacuum and otherwise restorethe premises to its original condition prior to the commencement of each business day.
- L. Shop Drawings and Submittals: Shop drawings shall be submitted by the General Contractor only to the Architect, in electronic format, accompanied by an appropriate transmittal form. Each shop drawing shall bethoroughly checked by the General Contractor for accuracy and conformity with the certification appearing on each shop drawing that the General Contractor has made such a check. References on Shop Drawings to other trade (s) shall designate such trade(s), and he term "by others" shall not be used.
- M. Shop Drawings, product data, and sample submissions shall clearly identify by note, mark or labels, the specification sections by CSI number applicable to each product. The Contractor shall be required toissue and maintain a submittal log. Submittals are required for, but not limited to, the following:
 - 1. Flooring materials, paints finishes, and wall coverings, doors, frames and finish hardware. Samples are required.
 - 2. Custom casework, acoustical ceiling tiles and grids. Samples are required. 3. Fire Protection, Electrical and Lighting, Plumbing, Mechanical and HVAC cut sheet and product data are required.
- N. Cutting and Patching: The General Contractor shall coordinate cutting, fitting and patching of work that may be required to make all parts come together properly and fit to receive or be received by work of other contractors shown upon or reasonably
- implied by the Drawings and notes. 1. Existing and/or new openings through the floorslab to facilitate piping. cabling, etc., shall be packed solid with firesafing insulation making the openings
 - 2. Holes in the floor slabat abandoned or removed floor outlets piping, etc., shall be filled solid with concrete.
- O. Temporary Protection: Wherever worktakes place within occupied areas, the Contractor is to provide protective coverings for carpet, furnishing and equipment, and provide temporary barriers to isolate the construction area. Except as may be required for incidental access beyond the immediate work area, the moving of furniture and equipment shall be the responsibility of the tenant. The occupied areas are to be dusted and vacuumed daily. Upon completion of work construction materials, equipment and debris are to be removed.

1. Where temporary barriers are required for protection of persons or property,

or to isolate work in phæed operations, they shall be constructed of air-tight,

heavy weight polyethylene sheeting or equivalent secured to the floor, ceiling

and adjacent walls with continuous wood cleats. All seams are to be tape-sealed and all such barriers are to be maintained for the duration of the work. 2. All temporary doors opening into building corridors or lobbies are to match Building Standard doors and frames. All temporary doors to occupied tenant areas are to be equipped with locks. All such doors and frames are to be returned undamaged to the Owner upon completion of the work 3. The Contractor shall provide and maintain adequate protective coverings around existing finished items scheduled to remainin the completed space, including but not limited to, doors and frames and HVAC cabinet enclosures. 4. Building lobbies and public corridors used for delivery and access to the construction site shall be protected and maintained by the Contractor in a clean and dust-free condition at all times. Said lobbies and corridors shall not be used to temporarily store construction materials or equipment. Any damage that occurs in these areas as a result of construction activities shall be repaired to its original condition, at no expense to the Building Owner. 5. During the construction phase of a project within an occupied area, required temporary barriers and doors shall be located so as to permit unobstructed egress from the space to the building exitways and exit way access corridors, all

- P. Temporary Lighting and Power: The Contractor shall provide adequate temporary lighting and power in as required for the properexecution of the work.
- Q. Cleaning: Maintain construction area in a clean and orderly manner. Remove trash and debris promptly from he building on a daily basis.
- 1. The Contractor shall, upon completion of construction, just prior to turning the space over to the Owner, thoroughly clean all floor covering, vinyl base and other materials installed under the contract.
- R. Closeout Procedures: The General Contractor shall deliver the following documents to the Architect for transmission to the Owner at the close of the project prior to final
 - 1. Record drawings.
 - 2. Certificate of Substantial Completion AIA Document G704.
 - 3. Contractor's Affidavitof Payment of Debts and Claims AIA Document G706. 4. Contractor's Affidavit of Release of Liens AIA Document G706A.
 - 5. Certificate of Occupancy issued bythe City/Town Inspectional Services Department.

SECTION 017400 - CONSTRUCTION WASTE MANAGEMENT (IF REQUIRED BY OWNER OR THE TERMS OF THE CONTRACT)

- A. Summary: Develop a waste managementplan, quantifying material diversion by either weight or volume to recycle and or salvage at least 75 percent of non-hazardous construction and demolition debis, for LEED Credit MR 2.
 - 1. Incineration does not contribute to this credit.
 - 2. Reuse of existing concrete masonry orasphalt on-site shall include the weight
 - of these materials in the calculations for this credit. 3. Alternative Daily Cover (ADC) may contribute to this credit
 - 4. Wood Derived Fuel (WDF) may contribute to this credit.
- B. Contractor shall be responsible for ensuring that debris will be disposed of at appropriately designated licensed solid waste disposal facilities, as defined by MGL Chapter 111, Section 150A.
- C. Submittals: Waste Management Plan (WMP: Submit within 21 calendar days after receipt of Notice to Proceed, ina format acceptable to the Owner.
- D. Execution: General: ImplementWaste Management Plan as approved by the Architect. Provide containers, storage, signage, transportation, and other items as required to implement WMP for the entire duration of the Contract.

SECTION 024100 - DEMOLITION

A. Summary:

- 1. Provide selective demolition of interior partitions, systems, and building components designated to be removed.
- 2. Provide selective demolition and patching required for the work of this Contract, whether or not specifically noted on these Drawings. 3. Refer to the Engineer's Drawings for scope of mechanical, plumbing, fire
- protection and electrical demolition. 4. Protect portions of building, site and adjacent structures affected by demolition
- operations.
- 5. Remove hollow items or items which could collapse.
- 6. Remove abandoned utilities and wiring systems.
- 7. Cut new holes for penetrations required by other work.
- 8. Notify Owner of schedule of shut? off of utilities which serve occupied spaces.
- 9. Provide temporary protection for the public from demolition operations.
- 10. Provide pollution control during demolition operations.
- 11. Provide removal and legal disposal of materials. 12. The construction area shall be maintained by the Contractor in a clean and
- orderly condition and trash and debris is to be promptly removed from the building.

B. Submittals:

- 1. Submit demolition schedule. Includemethods for protecting adjacent work and location of temporary partitions if applicable.
- 2. Submit proposed location for disposal of materials, and permit if applicable 3. Salvaged Items: Identify existing items of work, hardware and devices schedules
- to remain, or to be salvaged for reuse.

C. Products: Provide list of salvaged items.

- 1. Coordinate salvage with Owner prior to demolition and save as directed. Items not salvageable by Owner shall be disposed of by the General Contractor. 2. Storage of Salvaged Items: Properly store and protect materials to be reused or to be retained by the Owner. Items scheduled to be salvaged for reuse shall be removed with care, stored and protected from damage until salvaged items are incorporated into the new work. It shall be the Contractor's responsibility to replace and/or restore any items scheduled for salvage and reuse that are damaged during the course of contractoperations. The Owner shall be the sole iudge of suitability of these salvaged items for reuse in the work.
- 3. Prior to reinstallation, salvaged items shall be cleaned and restored to the highest quality possible.
- 4. Hazardous Materials: It is not intended, nor the responsibility of these notes, Drawings and specifications for the discovery, handling or removal of hazardous materials in any form from the project site, including, but not limited to asbestos products, polychlorinated biphenyl CPCB or other toxic substances.

D. Demolition:

- 1. Prior to commencing any demolition of mechanical or electrical systems, the Contractor shall review the extent of work with the Owner to ensure that said work will not adversely affect existing systems. The Contractor shall be responsible for the safe separation and shut down of utilities while providing temporary services as required.
- 2. Demolition work shall be performed in accordance with state and local regulations. Secure required demolition permits. Arrange with Owner and/or appropriate utilities for service shutoffs before beginning demolition operations. Take special care to control dust and noise to avoid disturbing nearby persons or
- property. Obtain Owner's and Architect's approval of dust and noise control measures prior to performing demolition work. 3. Survey existing conditions and correlate with Drawings and specifications to verify extent of demolition required. The use of the word "remove" or "removed"
- relative to any items so indicated on the Drawings is intended to mean, unless otherwise noted, that such item isto be demolished, disconnected and/or disassembled in its entirety including adhesives, fasteners, hangers and accessories and removed from the premises and legally disposed of, or turned over to the Owner if so specified.
- 4. Verify conditions at site to determine whether demolition methods proposed for use will not endanger existing structures by overloading, failure, or unplanned
- 5. Provide temporary protection of adjacent workto remain, including dust partitions to protect adjacent areas.
- 6. Perform demolition operations by methods which do not endanger adjacent spaces, structures, or the public. Proceed with demolition in a systematic and orderly manner.
- 7. Perform demolition operations to prevent dust and pollutant hazards. Demolish in small sections. Do not overload building structures.
- 8. Storage or sale of demolished items on the project site is prohibited. 9. Demolition debris shall be promptly removed from the building utilizing only passageways and exits designated for such purpose by the building management
- 10. Unless otherwise noted, in areas scheduled to receive floor and/or base finish, the Contractor shall scrape and remove existing base and/or carpet, padding, loose floor tile, adhesives, fasteners, etc. Patching and preparation of floor surfaces is specified under heading "floor covering". Patching of walls is specified
- under heading "drywall and carpentry". 11. The Contractor shall exercise special care in the temporary placement and support of existing diffusers with attached flex duct. The flex duct shall not be left
- hanging whereby it becomes subject to stress and potential damage. 12. The Contractor shall be responsible for the complete demolition (including all trades) required for the successful completion of alternatives shown on the plans and specifications including but not limited to, patching of areas affected by
- 13. Cabinetry, worksurfaces or othermillwork indicated to be removed will be removed with care so as to cause minimal damage.
- 14. Remove miscellaneous unused brackets, hangers, nals, cleats, clips, hooks or any other fastener attached to existing-to-remain walls, ceilings or millwork. The remaining openings are to be filled, sanded smooth and covered with one
- coat of primer prior to painting or finishing. 15. Remove existing unused or abandoned electric, gas, water, ventilation, and drain lines and other services as indicated on the Engineer's Drawings or as required to accommodate new construction. Lines shall be removed to the nearest wall or chase. Pipes shall becapped off flush with the wall surface or inside the chase. Patch and repair walls affected for a smooth and even wall
- 16. Relocate existing active gas, water, ventilation, drain, electric, and other utility lines as indicated on the Engineers Drawings or as required for new construction. Maintain and continue use of active utilities except those requiring removal or relocation. Do not interrupt utilities serving occupied areas if any, without owner's approval. Provide temporary service as required.
- 17. Where plumbing fixtures are designated for removal; remove fixture and associated hangers. Cut and cap associated plumbing per Code.

SECTION 061000 - ROUGH CARPENTRY

A. Summary: 1. Wood grounds, nailers, and blocking, fire-rated. 2. Wood furring. 3. Backing panels

4. Remodel existing rough carpentry.

B. Submittals: Submit product data.

C. Products: 1. Lumber Standards and Grade Stamps PS 20, American Softwood Lumber Standard and inspection agency grade stamps. Lumber shall be FSC certified.

- 2. Construction Panel Standards: PS 1, U.S. Product Standard for Construction and Industrial Plywood: APA PRP-108 with no added urea-formaldehyde. 3. Fire-Retardant Treatment: AWPA C20 for lumber and AWPA C27 for plywood: noncorrosive type.
- 4. Boards:
- a. Concealed Boards: 19 percent moisture content.
- 5. Miscellaneous Lumber, Blocking and Nailers: a. Moisture Content: 19 percent. b. Grade: Standard grade light framing.
- 6. Construction Panels: a. Plywood Backing Panels: APA CD Plugged Exposure 1 with exterior
- glue, fire-retardant treated.

D. Installation: 1. Comply with APA Design and Construction Guide, Residential and Commercial

- 2. Provide nailers, blocking and grounds where required. Set work plumb, level

3. Comply with manufacturer's equirements for treated materials.

SECTION 064020 - INTERIOR ARCHITECTURAL WOODWORK

- A. Summary: Provide interior architectural woodwork. Standing and running trim and rails. 2. Casework and countertops.
- 3. Flush wood paneling and wainscots.
- 5. Remodel existing interior architectural woodwork as noted on drawings. 6. Refinish existing interior architectural woodwork as noted on drawings.

B. Submittals:

- 1. Submit product data, samples, mockup of each type. 2. Shop Drawings: The Contractor shallverify dimensions in the field and submit Shop Drawings, when so specified (in electronic format) to the Architect for approval prior to fabrication. Shop Drawings shall show details of joinery, location of field joints, direction of wood grain and all other pertinent information necessary to assess conformance with the contract requirements.
- C. Products: AWI Standards: Architectural Woodwork Institute (AWI) "Architectural Woodwork Quality Standards." Wood products shall be FSC certified.
- 1. Fire-Retardant Treatment: a. Lumber: AWPA C20, non-corrosive interior type.
- b. Plywood: AWPA C27, non-corrosive interior type.
- c. Particleboard: ASTM E 84, flame spread 20 or less. 2. Interior Standing and Running Trim and Rails:
- a. Species for Transparent Finish Refer to Architect's sample. b. Species for Opaque Finish Any closed-grain hardwood. c. Grade: Premium.
- 3. Interior Wood Casework:
- a. Species for Transparent Finish Refer to Architect's sample. b. Species for Opaque Finish Any closed-grain hardwood.
- c. Grade: Premium. d. Grain Matching: Vertical.
- e. Grain Matching: Horizontal. f. Veneer Matching of Leaves: Book.
- g. Veneer Matching In Panel Face: Running. 4. Interior Plastic Laminate Clad Casework:
- a. Laminate: High-pressure decorative laminate, NEMA LD-3.
- b. Grade: Premium. c. Edge banding shall be applied prior to application of face laminates.
- 5. Casework Hardware and Auxiliary Materials: a. Hardware Standard: ANSI/BHMA A156.9
- b. Hardware Finish and Base Metal: Satin stainless steel c. Glass: Clear tempered glass, ASTM C 1048.
- 6. Interior Plastic Laminate Clad Countertops: a. Laminate: High pressure decorative laminate, NEMA LD-3. b. Grade: Premium
- c. Core: Particleboard
- d. Edge banding shall be applied prior to application of face laminates.
- 7. Solid Surfacing Material Countertops and Trim: a. Type: Synthetic countertops.
- b. Grade: Premium. c. Special Fabrication: Integral bowls
- 8. Stone Countertops and Trim: Ganite: Polished finish. ASTM C 615 dimensional
- 9. Flush Wood Paneling and Wainscots: a. Species for Transparent Finish Refer to Finish Schedule
- b. Species for Opaque Finish Any closed-grain hardwood.
- c. Grade: Premium. d. Core: Veneer core plywood
- e. Veneer Matching of Leaves: Book. f. Veneer Matching In Panel Face: Running.
- g. Panel Matching Method: Sequence-matched panel sets. a. Species for Transparent Finish Refer to Finish Schedule
- b. Species for Opaque Finish: Hardwood veneer plywood with solid hardwood edgeband.
- c. Grade: Premium. d. Shelf Supports: Recessed slotted standards. e. Closet poles: Chrome plated steel with intermediate supports.

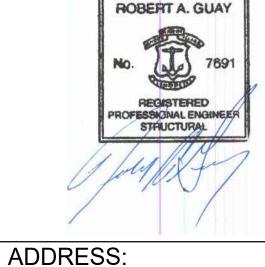
RENOVATION

A.SOUSA

JOSE

1/4" = 1'

- D. Auxiliary Materials:
- 1. Screws: FS FF-S-111, countersunk. 2. Nails: FS FF-N-105. countersunk.
- 3. Anchors: Type required for secure anchorage.
- E. Factory Finishing for Interior Architectural Woodwork: 1. Transparent Finish: a. Premium grade.
- b. Stain as indicated on the Finish Schedule. c. Dull satin sheen. 2. Opaque Finish: Premium grade. Dull satin sheen.



GENERAL NOTES:

. OWNERS AND GENERAL CONTRACTOR SHALL REVIEW ALL PLANS, NOTES AND SPECIFICATIONS PRIOR TO CONSTRUCTION

DESIGN TEAM ARE NOT LIABLE FOR STRUCTURAL BUILT FROM THESE PLANS. GENERAL CONTRACTOR MUST VERIFY ALL EXISTING SITE CONDITIONS.

ALL ON SITE WORK TO BE OVERSEEN BY A LICENSED CONTRACTOR. . ELECTRICAL, HVAC AND PLUMBING PLAN TO BE PROVIDED BY LICENSED CONSULTANTS.

to be in conformance with code requirements.

- ALL PAINTS AND FINISHES TO BE PROVIDED BY OTHERS.
- ALL SPECIFICATIONS TO BE VERIFIED BY OWNER AND CONTRACTOR.
- EXTERIOR WINDOW CASING TO BE PROVIDED BY DESIGNATED LUMBER YARD. FIRE STOPPING REQUIRED, SHALL CUT OFF ALL CONCEALED OPENING, MINIMUM 2" NOMINAL LUMBER REQUIRED.

JOB #: Revision Date DRAFTSMAN: **PRELIMINARY** CHECKED BY: REVISED 9/24/23

SPECIFICATION

A-0

DRAWING TITLE:

SHEET:

SECTION 081400 - FLUSH WOOD DOORS F. Installation: 1. Comply with standards referenced. A. Summary: 2. Backprime work before installation. 1. Interior solid core flush doors. 3. Provide trim for scribing and site cutting. 2. Interior hollow core flush doors. 4. Install work plumb, level and in proper alignment. 3. Remodel existing flush wooddoors as noted on drawings. Provide work free from tool marks and blemishes. 4. Refinish existing flush wood doors as noted on drawings. 6. Securely fasten to substrates. 7. Install in lengths to minimize joints and seams. B. Submittals: Submit product data, samples, shop drawings, warranty. 8. Color match wood for transparent finish at joints for uniform appearance. 9. Touch-up damaged or abraded finishes. C. Warranty: Provide writtenwarranty signed by manufactureragreeing to repair or replace work that exhibits defects in materials orworkmanship for the life of installation. SECTION 072100 - THERMAL INSULATION 1. Quality Standards: WDMA I.S.1-A"Architectural Wood flush Doors". A. Summary: Provide building insulation and vapor retarders: 2. Fire Rated Wood Doors: Meeting ASTM E 152 requirements. 1. Thermal insulation in exterior cavity walls, board type 2. Thermal insulation in masonry cells, loose fill type. 3. Manufacturers: Marshfield Door Systems, Inc; Algoma Hardwoods, Inc.; Eggers Industries; or VT Industries, Inc. Thermal insulation in exterior walls, blanket type. 4. Interior Solid Core Doors: 4. Thermal insulation at underside of roofs, overheated spaces and over soffits, a. Species: Refer to Finish Schedule. b. Grade: Premium. 5. Thermal insulation overunheated areas, blanket type. c. Construction: 5-ply 6. Sheet vapor retarders. d. Core: Particleboard; 38 to32 lb./cu.ft. Grade I-L-I particleboard conforming to ANSI A208.I. consisting of wood particles bonded together with synthetic B. Submittals: Submit product data. e. Finish: Refer to Finish Schedule C. Products: 5. Interior Hollow Core Doors: 1. Board Insulation: a. Species: Refer to Finish Schedule. a. Extruded polystyrene, rigid. ASTM C 578. b. Grade: Premium. b. Mineral fiber board, ASTM C 612, types IA and IB. c. Construction: Institutional d. Finish: Refer to Finish Schedule a. Glass fiber or mineral slag fiber, ASTM C 665, Type I (unfaced). 6. Glazed Openings: 1/4" thick tempered glass in vision panels and sidelights. Provide b. Glass fiber or mineral slag fiber, ASTM C 665, Type III (foil-scrim-kraft fire-rated glass at rated openings vapor-retarder membrane). 3. Loose Fill Insulation: a. Fitting: Factory-prefitand premachine doors. Contractor shall verify carpet a. Loose granular perlite, ASTM C 549, Type II. or other flooring thickness and doors shall be undercut forproper clearance as b. Loose granular vermiculte, ASTM C 516, Type II. b. Transparent Facbry Finish: Transparent factory finish, catalyzed lacquer. 4. Vapor Retarder (Not Integral with Insulation): 8. Auxiliary Materials: Wood glazing frames, transoms, fixed side panels. a. Polyethylene, ASTM D 4397, 6 mils 0.13 perm vapor transmission rating. b. Reinforced 3-ply polyethylene, 10 to 12 mils Accessories: 1. Comply with WDMA IS-1 Standards. a. Adhesives and mechanical anchors. 2. Prefit doors to frames, premachine doors for hardware, and factory bevel. b. Crack sealers and tapes. 3. Install with not more than 1/8 inch clearance at top and sides, 1/4 inch at bottom unless undercut is required. D. Installation: Install insulation and vapor barriers with continuous coverage to provide 4. Comply with NFPA 80 for rated assemblies optimum performance SECTION 078110- FIREPROCFING SECTION 083310 - ACCES DOORS A. Summary: Patch fireproofing disturbed by remodeling operations. 1. In buildings where structural steel has been covered with sprayed fireproofing A. Summary: Provide access doors for walls and ceilings. material, the Contractor isto patch and repair said material where it has been damaged or removed during the course ofthis work. Any areas of fireproofing B. Submittals: Submit product data. which are observed to be damaged or missing upon commencement of this project C. Products: As selected by Architect complying with the following: are to be brought to the attention of the Architect prior to beginning work in the 1. Frames: 16 gage sheet stel, with flange suitable for adjacent material. area involved. The Contractor is to notify the Architect for final inspection of the 2. Frames at ToiletRooms: 16 gage stainless steel. AISI No. 4 satin finish with flange fireproofing prior to installation of the ceiling. suitable for adjacent material. 3. Door Type: Flush. B. Submittals: Submit product data, test reports. 4. Locking Devices: Cylinder locks. 3. Auxiliary Materials: 5. Fire Rating: NFPA80. a. Plastic foam joint fillers. 6. Finish for Sheet Steel Access Doors: Factory primed. b. Elastomeric tubing backer rods c. Bond breaker tape. D. Installation: Install with gypsum drywall work D. Installation: Test sealant adhesion for each substrate required. Install in properrelation with SECTION 087100 - DOOR HARDWARE adjacent work. Clean adjacent surfacessoiled with sealant immediately. 1. Provide hardware for swinging, sliding, and bifold doors. **DIVISION 08 -OPENINGS, GENERAL** 2. Remodel existing hardware. A. Summary: Refer to Construcion Plans for door locations. Refer to Finish Plans for door and 3. Comply with code and accessibilty requirements. frame finishes. Doors without reference are existing to remain. 4. Door hardware shall bere-used and/or new to match existing as required and as noted in Door Schedule. Locks are tobe keyed by General Contractor and in SECTION 081110 - STEEL DOORSAND FRAMES accordance with keying standards. Referto door schedule and below for specified A. Summary: Interior doors and frames. Remodel existing doors and frames. Refinish existing B. Submittals: Submit product data, samples, proposed hardware schedule, maintenance data. B. Submittals: Submit product data, shop drawings. C. Products: Match existing and comply with building standards. Provide manufacturers items as specified. No substitutions will be accepted. C. Products: Provide steel products with recycled content. Match base bilding standard and 1. Product Requirements: comply with the following a. Hardware for Fire-Rated Openings NFPA 80, and local requirements. 1. Standards: ANSI/SDI-100, Recommended Specifications for Standard Steel Doors b. Handicapped Accessibility: ANS A117.1, ADAAG, and local requirements. c. Materials and Application: ANSI A156 series standards. 2. Fire-Rated Assemblies: NFPA80, and acceptable testing agency listing. d. Quality Level: Commercial 3. Manufacturers: Ceco Door Products, Curries Company, Kewanee CcSteelcraft, 2. Locksets and Latchsets: Mortise type. Verify and coordinate lock function with Building Owner. 4. Steel Doors: Standard seamless steel doos with hollow or composite construction. 3. Lock Cylinders: Interchangeable type. a. Interior Doors: ANSI/SDI A250.8, Grade II, heavy-duty, minimum 18 gage cold-4. Keying: Owner's and Tenant's requirements; match existing keying and key control rolled steel, 1-3/4 inches thick. b. Accessories: Sightproof stationary louvers and glazing stops. 5. Hinges and Butts: Full-mortise type with nonremovable pins at exterior, entrance c. Finish: Factory primed and field painted and security doors. 5. Steel Frames 6. Closers: Barrier-free type. a. Interior Frames at Fire-RatedDoors, Door and Sidelite Combinations: Hardware Finishes: Match existing and comply with building standards. Welded type 8. Stops for each door. b. Interior Frames at Smoke-Controland Non-Fire-Rated Doors: Knockdown 9. Floor Stops - provide carpet risers at carpet locations. Silencers. c. Material: Sheet steel, mitered orcoped corners. 14 gage for frames wider 11. Soundstripping than 5 feet. 16 gage. 12. Coordinate security system hardware installation with security vendor, including d. Accessories: Door silencers and plaster guards. existing doors. e. Finish: Factory primed and field painted 13. Exit devices: doors shall be operable from the inside without use of a key, special knowledge, or effort. D. Installation: Complywith SDI-100, and NFPA 80 for fire-rated assemblies. 14. Public Area Doors (newor existing): ADA approved Lever action hardware set 15. Hardware Sets/Schedule: Refer to drawings for Hardware Sets and Schedule. SECTION 081210 - INTERIOR ALUMINUM FRAMES D. Installation: A. Summary: Provide interioraluminum frames and aluminumframed glazed doors. Refer to 1. Comply with DHI "Recommended Locations for Builder's Hardware" and hardware Drawings and Door Schedule. manufacturers instructions. 2. Refer to the Door Schedule for hardware sets. B. Submittals: Submit product data, shop drawings. 3. The maximum effort required to operate interiorexit doors and fire doors is 15 lbs. SECTION 088000- GLAZING 1. Doors and Frames: Clearanodized aluminum, Class 1 (7mils, anodic) UON in finish A. Summary: Provide glass and glazing for units not factory glazed. 2. Accessories: Glazing gaskets. B. Submittals: Submit product data, samples, shop drawings, warranty, maintenance data. D. Installation 1. Anchor securely in place; install plumb, level andin true alignment. C. Products: As selected by Architect complying with the following: 2. Coordinate with glazingwork and hardware requirements. a. Primary Glass Products: Clear float, tinted float, patterned, and wire glass, b. Heat-Treated Glass Products: Heat-strengthened, tempered, coated, and spandrel glass, ASTM C 1048. c. Laminated Glass Units: Pdyvinyl butyral interlayer. d. Mirrors: Silvering and protective coatings. Plastic a. Acrylic Plastic Glazing: Monolithic acrylic sheet with ultraviolet absorber, ASTM D 4802, Type UVA. b. Polycarbonate Glazing: Extruded monolithic polycarbonate sheets. 3. Glazing: Preformed glazing tape glazing. 4. Setting blocks, spacers, and compressiblefiller rods. D. Installation 1. Comply with GANA's Glazing Manual and manufacturer's recommendations. 2. Set mirrors on stainless steel channels and adhere towall with mastic. **GENERAL NOTES:**

SECTION 092110 - GYPSUM BOARD ASSEMBES A. Summary: B. Submittals: Submit product data, 4 footby 4 foot mockup showing joint treatment. D. Installation

joints shall be acoustically sealed SECTION 092120 -GYPSUMBOARD SHAFT WALL A. Summary: Provide gypsum board shaft wall assemblies. B. Submittals: Submit product data. C. Products: As selected by Architect complying with the following. 1. Cavity Shaft Wall Assemblies: a. Shaftwall Board Thickness: Not less than 1 inch. b. Studs: I, C H or double E studs, equivalent 20 gage (.0329 inch) MIN c. Deflection criteria: L/240 MAX, UON.

1. Interior walls, partitions, and ceilings for tapeand joint compound finish.

7. Remodeling gypsum drywallsystems at areas of new construction.

1. Gypsum Board: Provide gypsum board with recycled content.

b. Types: Cornerbead, edge trim, and control joints.

a. Provide steel framing with recycled content.

furring members, and non-corrosive fasteners.

b. Steel Studs: Match steel studs used for walls.

b. Steel Studs and Runners: ASTM C 645:

c. Decorative Profiles: Aluminum reveals and channels.

3. Steel suspension systems for ceilings and soffits.

6. Cementitious backer boards for application of tile.

4. Moisture-resistant gypsum board.

5. Microbial-resistant gypsum board.

8. Gypsum board finishes.

9. Sound attenuationinsulation

3. Cementitious Backer Units

a Material: Metal.

4. Trim Accessories:

10. Concealed acoustical sealants.

types: 5/8 inch typical thickness.

b. Thickness: 5/8 inch nominal.

5. Steel Framing for Walls and Partitions:

f. Furring Channels: ASTM C 645:

i. Installation Standard: ASTM C 754.

c. Accessories: Hangers and inserts.

b. Concealed acoustical sealant.

dimensions, partition assemblies and ratings.

verification and approval of the partition layout

3. Install joints only over framing members.

accessories, and similar items.

and control joints.

adjacent surfaces.

separate contract.

provide smooth transition.

hours - verify with PropertyManager.

where duct work passes through rated walls.

surface to receive paint orother finish as specified.

15. Wood blocking shall be fire-retardant treated.

13. Tapered drywall edge shall not be installed against door.

d. Installation Standard: ASTM C 754.

a. Gypsum board screws, ASTM C 1002.

6. Steel Framing for Suspended and Furred Ceilings:

c. 25 gage (.0179 inch).

g. 25 gage (.0179 inch).

d. Typical Depth:

e. 3-5/8 inch

7. Auxiliary Materials:

c. Installation Standard: ASTM C 840.

11. Installation ofaccess panels.

2. Interior partition steel framing, steel framed and furred enclosures and columns and

a. Gypsum Wallboard: ASTM C 36, regular, foil-backed, and fire?rated

2. Glass-Mat WaterResistant Gypsum Backing Board: Type: ASTM C 1178, Type

h. Auxiliary Framing Components: Furringbrackets, resilientfurring channels, Z-

a. Furring Channels: ASTMC 645: 25 gage (0.0179 inch), resilient channels

c. Mineral fiber soundattenuation blankets by Certain Teed or equal.

1. The General Contractor shall schedule and notify the Architect upon installation of

partition runners, and prior to commencement of any stud and drywall work, for field

5. Provide acoustical sealantat runner tracks, wall perimeters, openings, expansion,

7. Where new partitions meet existing construction, remove existing conerbeads to

Gypsum board partitions shall be constructed of zinc-coated steel "C" studs O.C.

Secure studs to compatible runner tracks properly fastened to the floor and faced each

12" O.C. Where drywall partitions extend to the underside of the finished ceiling, the top

edge is to be finished with metal "J" bead. Provide 3-1/2" thick sound attenuation blanket,

side with one layer of gypsum drywall in thicknesses indicated, screwed to each stud

as shown on the Drawings. Additional metal stud framing is to be provided where

10. Where new or existing ductwork passesthrough or over drywall partitions, the

metal studs are to be framed around the ductwork. Inno instance are metal stuos

11. Provide beadex at drywall ends and full height partitions. Provide slip joirts full

partition assembly is to be taped, spackled and sanded to provide a smooth ancever

12. Outside corners are to be providedwith metal corner beads and the entire

14. At areas to receive shelving and/or counters orother wall-mounted items.

cable, duct, beam and joist penetrations sealed withfire-safing insulation.

taped over and broughtflush with the adjacent existing surface.

for return air flow, they are to be patched and sealed as required in a similar

provide fire-rated wood back-up, screw fastened to themetal studs at appropriate

16. Where corridor and demising partitions are called for, the drywall is to be made

tight to the underside of thefloor above with voids in the metaldeck and around pipe,

17. Where openings are encountered above ceilings in existing partitions other than

18. Except where expansion joints are noted, where new drywall abuts existing wall

19. Existing partitions stripped of old baseand adhesive shall be patched and/or

repaired to provide a smooth and uniform surface for newbase installation. Such

preparation shall be performed even if the new base isto be installed under a

20. Existing partitions shall be completely repaired and patched as required to

throughout, even if the new finish is to be installed under a separate contract.

21. Wherever partitions abut mullions at the exterior window wall, the partition

receive new finish or touch-up as scheduled. Such preparation shall be performed

closure detail, unless otherwise detailed, shall match existing building stardard and all

corners, the existing metal corner bead is to be removed. The new wallboard is to be

drywall to be fastened to the ductwork. Fire dampers are to be installed in areas

necessary for attachment of dimensioned electrical outlets and as required by height

conditions. Power fastening of runner tracks is to be performed during non-business

in depths as indicated on the drawings, and shall extend to the heights indicated.

8. Partition Types and Details – refer to the drawings for partition types, stud

2. Comply with standards referenced above and ASTM C 840 and GA 216.

6. Install gypsum board assemblies true, plumb, leveland in proper relation to

8. Provide 3-coat joint treatment such that after finishing, joints are not visible.

a. Sand and leave ready for finish painting and wall treatment.

4. Provide blocking for items such asrailings, grab bars, casework, toilet

b. Joint Treatment: ASTM C 475 and ASTM C 840, 3-coat system.

a. Type: ANSI A 118.9, cement-coated Portland cement panels.

2. Gypsum Board Shaft Wall Materials: a. Steel Framing: ASTM C 645. b. Gypsum Shaftwall Board: ASTM C442, Type X. c. Gypsum Wallboard: ASTM C 36, Type X. d. Water Resistant Gypsum Backing Board: ASTM C 630, Type X e. Gypsum Wallboard Joint TreatmentMaterials: ASTM C 475 and ASTM C 3. Auxiliary Materials: a. Cornerbeads, edge trim, and control joints. b. Laminating adhesive. c. Gypsum board screws, ASTM C 1002. d. Concealed acoustical sealant e. Mineral fiber sound attenuation blankets 1. Comply with standards referenced above and ASTM C 840, GA 216 and GA 2. Provide finish layer of gypsum boardon visible surfaces outside shaft as shown or, if not shown, on Drawings. 3. Achieve specified performance requirements as shown on Drawings and maintain continuity of fire rating. Provide continuously sealed, smoke tight, fire rated assemblies. Coordinate fire stopping and smokestopping at penetrations 4. Provide continuous, firerated, horizontal shaft wall assemblies where indicated and where vertical shaft wall assemblies are terminated at other than fire rated floor slab or roof assemblies SECTION 093000 - TILING A. Summary: 1. Wall tile over tile backer board at wet areas. 2. Floor tile over concrete slab. 3. Remodeling of existing tile work. B. Submittals: Submit product data, samples, 4 foot by 4 foot mockup. C. Products: As selected by Architect complying with the following: 1. Tile Materials: ANSI A 118 series standard specifications 2. Unglazed Ceramic MosaicTile: Refer to Finish Schedule. 3. Glazed Ceramic Mosaic Tile: Refer to Finish Schedule 4. Glazed Wall Tile: Refer to Finish Schedule.

SECTION 095100 -ACOUSTICAL CEILINGS

and to minimize cutting

7. Setting Materials:

1. Provide acoustical lay-in ceilings trim, and metal suspension system 2. Remodel existing acoustical lay-inceilings, trim, and metal suspension system.

5. Unglazed Quarry Tile: Refer to Finish Schedule

8. Grout: Latex-Portland cement grout, ANSI A118.6.

America, Handbook for Ceramic Tile Installation.

3. Grout, cure, clean and protect tile surfaces.

1. Products: As selected by Architect complying with the following.

6. Tile Accessories: Matching trim units. Marble thresholds.

a. Floors: Latex-Portland cement mortar, ANSI A118.4.

9. Elastomeric Sealants: One-part mildew-resistant silicone sælant.

1. Comply with ANSI 108 series standard specifications and Tile Council of

2. Layout tile in grid pattern with alignment of grids, to provide uniform joint width,

b. Walls: Organic adhesive, ANSI A136.1, Type 1

Submittals: Submitproduct data, samples

2. Acoustical Tile Ceilings: Refer to Finish Schedule. 3. Suspension Systems a. Exposed grid suspension system, ASTM C 635 intermediate duty classification. b. Fire-Rating: Non-fire-resistance rated suspension system. c. Fire-Rating: Fire-resistance rated suspension system. d. Suspension System Accessories: Attachment devices and hangers, ASTM C 635. Devices shall be sized for fivetimes the load design load indicated by ASTM C635 Table 1 for Direct Hung.

e. Edge molding and trim. 1. The Contractor shall, upon completion of all work above the ceiling (sealing openings in demising walls, installation of ductwork, piping, light fixtures, exhaust fans, etc.), notify the Ownerso that the work canbe inspected prior to the installation of ceiling tile. 2. Measure and layout acoustical ceilings to avoidless than 1/2 panel units whenever practical. The finished ceiling heightshall match existing, unless noted

3. Install suspension systems in accordance with ASTM C 636 and supported only from building structure. Level main suspensionmembers to within tolerance of 1/8" in 12'-0". Splay hangers where necessary and countersplay to balance resulting horizontal forces. Cross brace suspension toprevent lateral sway and displacement during full seismic load prescribed by code

4. Install panels with pattern or grain running one-way. 5. Provide edge moldings at entire perimeter of ceiling, at columns and wherever necessary to conceal edges of acoustical units. Miter corners of edge moldings accurately and connect securely. Do not use exposed fasteness or pop rivets. 6. Suspension system shall not be fastened to ductwork, conduit or piping; and lighting fixtures shall be supported independently of the ceiling system

SECTION 096810 - TILE CARPETING

A. Summary: 1. Provide carpet tile and accessories. Remodel existing carpet tile

3. Floor leveling and preparation to provide a smooth and uniform surface suitable to receive new finishes.

B. Submittals: Submit product data, samples, mockup, warranty, maintenance data.

b. Adhesives, cements and fasteners.

1. Carpet Tile Material: Refer to Finish Schedule

2. Carpet shall be anti-microbial treated. 3. Auxiliary Materials: a. Edge guards

4. Carpet Tile Installation Method: Glue-down installation.

1. Install with tight seams and carpet tile grain running in same direction, unless

D. Installation noted otherwise 2. Provide cutouts for floor outlets and similar penetrations.

3. Provide edge guards at change of flooring materials.

SECTION 096820 - SHEET CARPETING A. Summary:

1. Provide sheet carpet and accessories. 2. Remodel existing sheet carpet. 3. Floor leveling and preparation to provide a smooth and uniform surface suitable to receive new finishes.

B. Submittals: Submit product data, samples, seaming diagram, mockup, warranty, maintenance data.

3. Auxiliary Materials:

1. Sheet Carpet Material: Refer to Finish Schedule. 2. Carpet shall be anti-microbial treated.

4. Edge guards. 5. Adhesives, cements and fasteners. 6. Carpet Installation Method: Direct gluedown installation.

D. Installation 1. Install with tight seams and carpet grain running in same directon. 2. Provide cutouts for floor outlets and similar penetrations.

3. Provide edge guards at change of flooring materials.

SECTION 097200 - WALL COVERNG

1. Provide wall coverings and surface preparation. 2. Remodel existing wall coverings.

B. Submittals: Submit product data, samples, 4 foot by 4 foot mockup.

C. Products: Refer to Finish Schedule. 1. Vinvl Wall Covering a. Type: ASTM F 793 for Category V, Type II, Commercial Serviceability

b. Stain Resistance: Factory appliedpolyvinyl fluoride or polymer coating. D. Installation:

2. Wall covers shall not beapplied to exterior walls constructed with an vapor

SECTION 098400 -ACOUSTICAL WALL TREATMENT

1. Comply with manufacturer's recommendations.

A. Summary: Provide acoustical wall panels.

B. Submittals: Submit product data, samples, shop drawings, 4 footby 4 foot mockup. SECTION 099000 - PANITING AND COATNG

A. Summary:

scheduled 2. Provide painting and surface preparation of exposed mechanical and electrical piping, conduit, ductwork, and equipment. Provide repainting and surface preparation at areas of remodeling 4. Provide painting of entire surface where patch painting is required

1. Provide painting and surface preparation for interior unfinished surfaces as

5. Provide painting of entire area.

1. Submit product data, samples, 4 foot by 4 foot mockup of each color, extra stock consisting of 1 unopened gallonof each type of paint used.

C. Products: Paint materials shall be professional grade, best quality. 1. Regulations: Compliance with VOC and environmental regulations. 2. VOC Content: Products shall comply with the following VOC limits, exclusive of colorants added to a tintbase, when calculated according to 40 CFR 59, Subpart D (EPA Method 24). a. Flat Paints and Coatings: 50 g/L.

b. Nonflat Paints and Coatings: 150 g/L. c. Dry-Fog Coatings: 400 g/L. d. Primers, Sealers, and Undercoaters: 200 g/L.

e. Anticorrosive and Antirust Paints Applied to Ferrous Metals: 250 g/L. f. Zinc-Rich Industrial Maintenance Primers: 340 g/L. g. Pretreatment WashPrimers: 420 g/L. h. Floor Coatings: 100 g/L. i. Shellacs, Clear: 730 g/L.

j. Shellacs, Pigmented: 550 g/L. 3. First-line commercial-quality products for coating systems.

D. Installation: 1. Provide field-applied mock-ups of each color and finish selected on actual surfaces to be painted. 2. Test sample area for adhesion for each type of paint.

3. Remove cover plates and protect hardware and adjacent surfaces. 4. Sand before painting until smooth and flatand sand between coats. 5. Apply paint to achieve manufacturer's recommended dryfilm thicknesses. 3. Paint entire surface where patch painting is require Recoat areas which show bleed-through or defects. 8. Clean paint spatter from adjacent surfaces and glass. 9. Touch-up damaged surfaces atcompletion of construction. 10. Materials scheduled to receive paint are to be filled, sanded and otherwise prepared for priming andfinishing in accordance withthe best practices of the

11. The Contractor shall install protective coverings and properly mask adjoining pre-finished materials, including glass, prior to applying paint finish. The Contractor shall not tape projective coverings directly to the exterior window glass where solar film exists on the glass. 12. Access and electrical panels to be painted out (withappropriate paint product) to match the wall it is mounted on. 13. Continue finishes into closets within rooms/spaces sharing room numbers. 14. Where hollow metal frames do not fit tintly against the drywall, the Contractor is to fill any such gaps with latex caulking compound, tool compound flush with the

back of the frame, andpaint it in to match the color of the frame. 15. Existing metal doors, frames, wall access panels, fire hose cabines, etc., to be repainted, shall be sanded and prepared as necessary and finished. 16. Millwork to be painted is to be properly prepared, primed and finished E. Schedule: Interior finishes are keyed to the Drawings at typical locations. The finishes

apply to locations that are not keyed - in and are of the same construction and scope of work. The Contractor and subcontractors are responsible to coordinate the location of typical finish materials and instal the work indicated. If discrepancies exist organification is required the Contractor is to notify the Architect to obtain clarification. 1. Paint walls P-1 unless otherwise noted.

2. Paint metal doors and frames P-2 unless otherwise noted. 3. Paint GWB ceilings Benjamin Moore; ceilingwhite, flat finish, unless otherwise 4. Paint GWB soffits P-1, unless otherwise noted.

5. Gypsum Drywall Walls: Gloss: Eggshell. System: 1 coat latexprimer, 2 coats 6. Gypsum Drywall Walls and Ceilings inBathrooms, Kitchens and Wet Areas: a. Gloss: Semi

b. System: 1 coat latex primer, 2 coats latexfinish 7. Gypsum Drywall Walls to Receive WallCovering: System: 1 coat latexprimer. 8. Gypsum Drywall Ceilings:

a. Gloss: Flat b. System: 1 coat latexprimer, 2 coats latex finish. Metal Doors and Frames:

a. Gloss: Semi-gloss b. System: 1 coat latex primer, 2 coats latexfinish

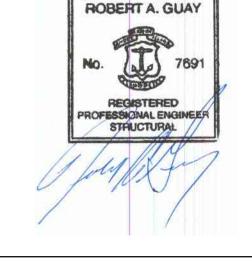
10. Wood for Painted Finish: a. Gloss: Semi

JOSE

1/4" = 1'

b. System: 1 coat interior alkyd enamel undercoat, 1 coat latexenamel, 2 coats latex enamel

SHEET:



. OWNERS AND GENERAL CONTRACTOR SHALL REVIEW ALL PLANS, NOTES AND SPECIFICATIONS PRIOR TO CONSTRUCTION DESIGN TEAM ARE NOT LIABLE FOR STRUCTURAL BUILT FROM THESE PLANS.

. GENERAL CONTRACTOR MUST VERIFY ALL EXISTING SITE CONDITIONS. ALL ON SITE WORK TO BE OVERSEEN BY A LICENSED CONTRACTOR.

. ELECTRICAL, HVAC AND PLUMBING PLAN TO BE PROVIDED BY LICENSED CONSULTANTS.

ALL PAINTS AND FINISHES TO BE PROVIDED BY OTHERS. ALL SPECIFICATIONS TO BE VERIFIED BY OWNER AND CONTRACTOR

EXTERIOR WINDOW CASING TO BE PROVIDED BY DESIGNATED LUMBER YARD. . FIRE STOPPING REQUIRED, SHALL CUT OFF ALL CONCEALED OPENING, MINIMUM 2" NOMINAL LUMBER REQUIRED

JOB #: Date Revision DRAFTSMAN: **PRELIMINARY** CHECKED BY: REVISED 9/24/23

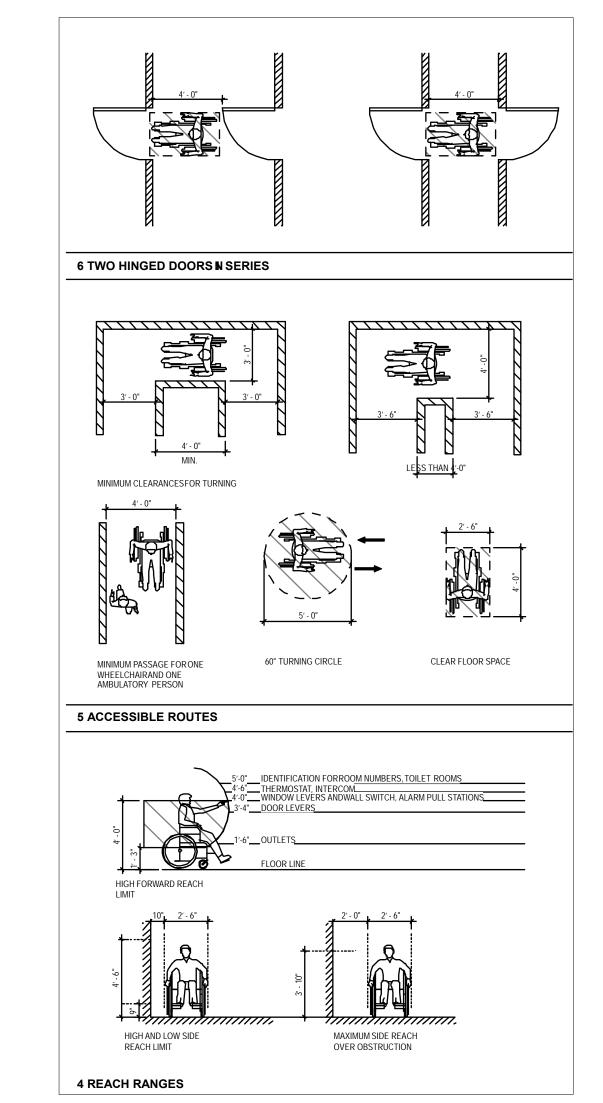
RENOVATION A.SOUSA

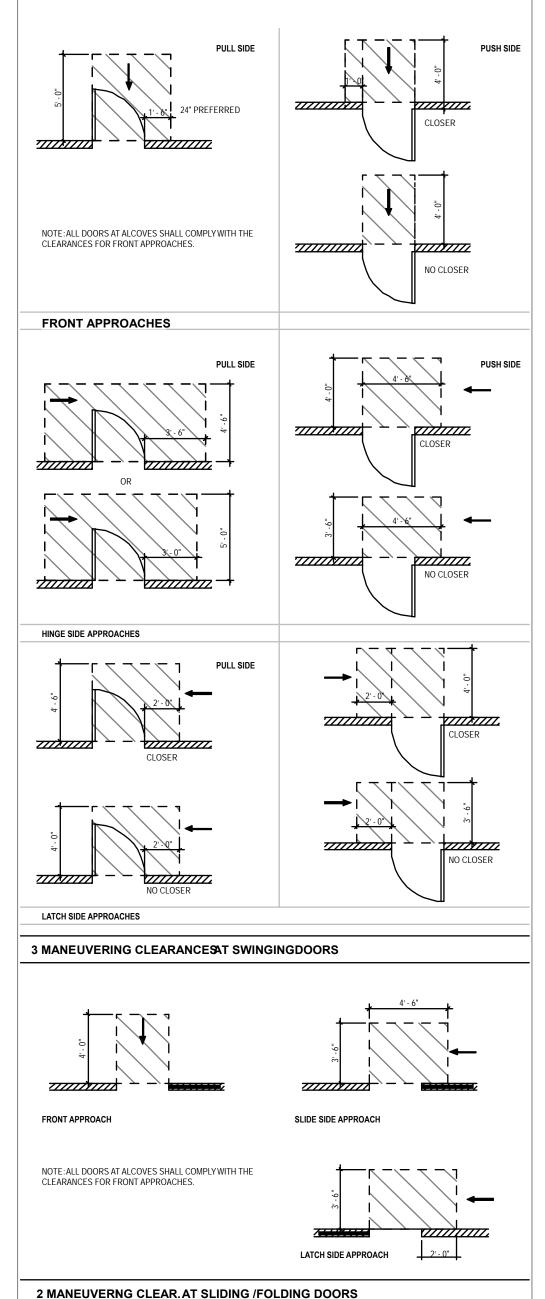
DRAWING TITLE: SPECIFICATION

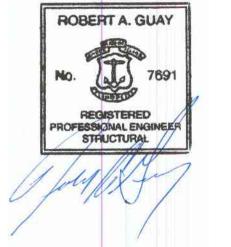
A-01

ADDRESS:

SECTION 101400- SIGNAGE 1. Provide building signage to comply wth code and accessibility regulations. 2. Provide blocking and rough-in electrical to coordinate with specialty signage. B. Submittals: Submit product data, samples,plan indicating locations. Finish to match C. Products: Refer to Drawings. D. Panel Signs: Refer to Drawings. E. Materials: Interior acrylicsigns, UON. Refer to Drawings. F. Accessories: Concealed metal fasteners for entranceand exit signs, non-corrosive to sign material or mounting surface. 1. Copy: Raised text, Braille and English 2. Minimum size: Minimum required by code. G. Installation: 1. Comply with all applicable federal state and municipal codes, laws and regulations regarding signage for exits and handicapped barriers. 2. Confirm sign locations and heights prior to installation. 3. Clean and prepare substratesprior to installation of signs. 4. Install signs plumb, level and securely. 5. Install signs uniformly and consistently. 6. Clean and polish signs after installation. SECTION 102110 -TOILET COMPARTMENTS A. Summary: Provide toilet compartments and screens. B. Submittals: Submit productdata, samples, shop drawings. C. Products: Refer to Finish Schedule. D. Installation: 1. Comply with ASTM E557 for application and installation of operable partitions, including requirements for stopping sound flanking paths. 2. Install track level and in longest practical length tominimize joints and seams. 3. Anchor track assembly to buildingstructure as shown on approved, engineered shop drawings. 4. Provide continuous vertical blocking in wall jamb to provide tight seal at panel. 5. Test and adjust for optimum operation. Lubricate all moving parts. 6. Adjust all seals for optimum acoustical performance. SECTION 102810-TOILET ACCESSORIES A. Summary: Provide toilet and bathaccessories and metal framed mirrors. B. Submittals: Submit product data, samples. C. Products: As indicated on the drawings. D. Toilet Accessories: Asscheduled on the Drawings. E. Mirrors and Frames: 1. Glazing: Mirror glass, 1/4 inch thick (6 mm), ASTM C 1036. 2. Frames: Stainless steel. 3. Type: Standard wall unit F. Materials and Finishes: 1. Stainless Steel: AISI Type 302 or 304,No. 4 polished finish. 2. Chromium Plated Brass or Steel: ASTM B 456, Type SC 2. G. Installation: Comply with manufacturer's recommendations SECTION 104400 - FRE EXTINGUISHERS AND CABNETS A. Summary: Fire extinguishers. Fire extinguisher cabinets. 3. Fire extinguisher mounting brackets. B. Submittals: Submit product data. C. Products: As selected by Architect complying with the following: 1. Standards: UL and FM listed products. Fire Extinguishers: a. Type: Multipurpose dry chemical. b. Rating: Sized for project requirements. c. Public Area Mounting: Cabinet mounted. d. Service Area Mounting: Metal brackets. 3. Cabinets: a. Mounting: Recessed, unless noted otherwise. b. Trim: Trimless. c. Doors: Enameled steel, baked enamel. d. Door Style: Duo-panel. e. Accessories: Glass breaker or fire handle. D. Installation: Comply with manufacturer's recommendations and Fire Marshal's requirements. Accessories: a. Wireways, 3 way. b. Wall base. c. Door frames. d. Doors and hinges. e. Transoms. f. Glazing. g. Pre-wired cable assemblies for electric, telephone, and data.







. OWNERS AND GENERAL CONTRACTOR SHALL REVIEW ALL PLANS, NOTES AND SPECIFICATIONS PRIOR TO CONSTRUCTION

DIVISION 21 – FIRE PROTECTION

DIVISION 22 - PLUMBING

DIVISION26 - ELECTRICAL

DIVISION 23 – HVAC

A. Summary: Refer to Engineer's Drawings and Specifications.

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A. Summary: Refer to Engineer's Drawings and Specifications.

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. GENERAL CONTRACTOR MUST VERIFY ALL EXISTING SITE CONDITIONS. . ALL ON SITE WORK TO BE OVERSEEN BY A LICENSED CONTRACTOR.

. ELECTRICAL, HVAC AND PLUMBING PLAN TO BE PROVIDED BY LICENSED CONSULTANTS.

. ALL PAINTS AND FINISHES TO BE PROVIDED BY OTHERS.

. ALL SPECIFICATIONS TO BE VERIFIED BY OWNER AND CONTRACTOR.

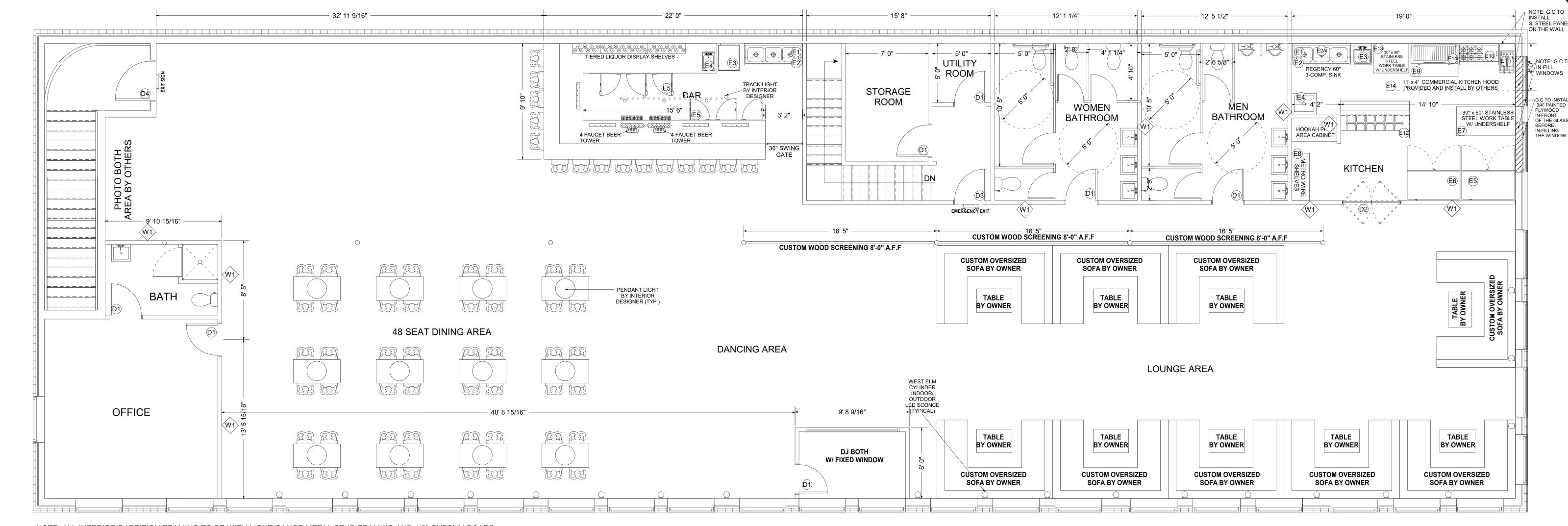
. EXTERIOR WINDOW CASING TO BE PROVIDED BY DESIGNATED LUMBER YARD.

. FIRE STOPPING REQUIRED, SHALL CUT OFF ALL CONCEALED OPENING, MINIMUM 2" NOMINAL LUMBER REQUIRED.

JOB #: Revision Date RENOVATION DRAFTSMAN: A.SOUSA PRELIMINARY CHECKED BY: REVISED 9/24/23 **JOSE** 1/4" = 1' SHEET:

ADDRESS: DRAWING TITLE: **SPECIFICATION**

A-02



NOTE: ALL INTERIOR PARTITION FRAMING TO BE WITH LIGHT GAUGE METAL STUD FRAMING AND 1/2" GYPSUM BOARD



FOOD SERVICE PLUMBING NOTES

CONNECT ALL FOOD SERVICE EQUIPMENT IN STRICT ACCORDANCE WITH FOOD SERVICE EQUIPMENT MANUFACTURES WRITTEN INSTRUCTIONS. COORDINATE PLUMBING CONNECTIONS WITH FOOD SERVICE EQUIPMENT INSTALLER, ALL FOOD SERVICE WORK SHALL BE IN ACCORDANCE WITH LOCAL HEALTH CODES, STANDARDS AND REGULATIONS.

ALL HORIZONTAL PIPING BETWEEN FOOD SERVICE EQUIPMENT AND INDIRECT DRAIN DEVICES SHALL BE ROUTED AS HIGH AS POSSIBLE AND NOT LESS 6" ABOVE FINISHED FLOOR TO FACILITATE CLEANING. PROVIDE INDIRECT WASTE PIPING REQUIRED FOR STANDARD AND/ OR FABRICATED

ITEMS OF FOOD SERVICE EQUIPMENT AS SCHEDULED IN THE FOOD SERVICE DOCUMENT COORDINATE LOCATION OF INDIRECT (FLOOR SINKS) FOR FOOD SERVICE EQUIPMENT WITH APPROVED FOOD SERVICE SHOP SHOP DRAWINGS. MAKE FINAL CONNECTION TO FOOD SERVICE EQUIPMENT FROM ROUGH-INS. WATER SUPPLY ROUGH-INS SHALL TERMINATE WITH SERVICE VALVE.

ALL WORK SHALL CONFIRM TO ALL LOCAL CODES, RULES AND REGULATIONS INCLUDING

THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES. OSHA ACTS AND REGULATIONS, AND THE REQUIREMENTS OF THE LOCAL AUTHORITIES HAVING THE CONTRACTOR SHALL OBTAIN ALL PERMIT FEES, AND LICENSES, ETC. REQUIRED TO PERFORM THE WORK. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL LABOR, MATERIAL AND EQUIPMENT TO PROVIDES COMPLETE AND OPERABLE SYSTEM. THE WORK SHALL INCLUDE ANY INCIDENTAL ACCESSORIES NECESSARY TO MAKE COMPLETE I ALL RESPECT AND READY FOR OPERATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF THE PLUMBING WORK WITH ALL OTHER TRADES INCLUDING STRUCTURAL, MECHANICAL, AND AND

ELECTRICAL WORK. THE CONTRACTOR SHALL PROVIDE NECESSARY OFFSETS, TRANSITIONS, PIPING AS REQUIRED FOR A PROPER AND ACCESSIBLE INSTALLATION WITH MINIMAL CONFLICT. CLOSE COORDINATION WILL BE REQUIRED FOR ALL SERVICES. DO NOT LOCATE PLUMBING PIPPING, EQUIPMENT, ETC. OVER ELECTRICAL PANELS. THE CONTRACTOR SHALL RESPONSIBLE FOR REMOVING SCRAP MATERIALS AND DEBRIS ASSOCIATED WITH THIS WORK FROM THE SITE.

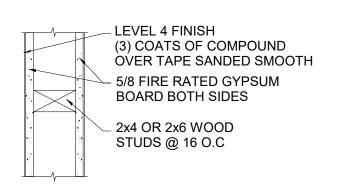
GENERAL ELECTRICAL NOTE:

PROVIDE WORK IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LOCAL ORDINANCES, AND AS PROVIDED BY LOCAL AUTHORITY HAVING JURISDICTION. OBTAIN PERMITS AND PAY SUCH AS MAY BE NECESSARY FOR INSPECTIONS, TESTS, AND OTHER SERVICES NECESSARY FOR THE COMPLETION OF THE WORK. PROVIDE MAJOR COMPONENTS OF THE ELECTRICAL SYSTEM BY THE SAME

. PROVIDE "LOCKING" TYPE DEVICES ON CIRCUIT ON CIRCUIT BREAKERS CONNECTED TO EMERGENCY LIGHTING, NIGHT LIGHT, FIRE ALARM, AND SECURITY SYSTEM.

NOTE: G.C TO PAINT EXISTING ACT CEILING FLAT BLACK, IF ANY TILES ARE DAMAGED OR BROKEN THEY MUST BE REPLACED BEFORE PAINTING

NOTE: EQUIPMENT IN THE DRAWING ARE JUST SUGGESTIONS, OWNER TO PROVIDE ALL EQUIPMENT OR SPECIFICATION TO CONTRACTOR PRIOR TO THE BUILT, FOR PROPER PLUMBING AND ELECTRICAL REQUIREMENTS.



W1 2x4 WOOD STUD WALL ASSEMBLY 1 HR. RATED UL # U305



	DOOR SCHEDULE										
ITEI	1	DESCRIPTION	\	SIZE		COMMENTS	SUPPLIED BY				
	QTY.		W	D	Н						
D1	. /	PRIMED FIBERGLASS MOULDED SOLID INTERIOR DOOR	34"	1 7/8"	80"	4-9/16" JAMB	OWNER/ G.C TO INSTALL				
D2	1	REGENCY DOUBLE ALUMINUM SWING TRAFFIC DOOR W/ 9" X 14" WINDOW	60"	1"	84"	REFER TO SPEC SHEET	OWNER/ G.C TO INSTALL				
D3	1	EXISTING DOOR				G.C TO REFINISH EXISTING DOOR	OWNER TO DECIDE ON THE FINISH				
D4	1	EXISTING DOOR				G.C TO REFINISH EXISTING DOOR	OWNER TO DECIDE ON THE FINISH				

GENERAL NOTES:

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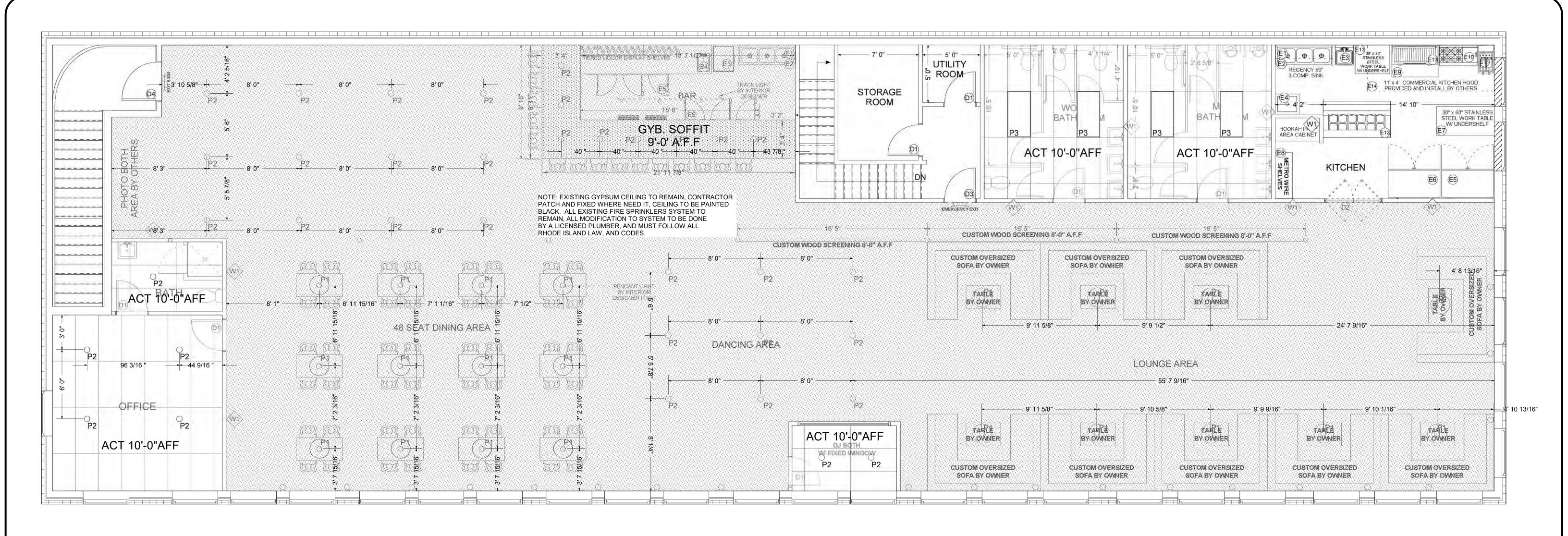
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. FIRE STOPPING REQUIRED, SHALL CUT OFF ALL CONCEALED OPENING, MINIMUM 2" NOMINAL LUMBER REQUIRED.

ROBERT A. GUAY REGISTERED PROFESSIONAL ENGINEES STRUCTURAL /

#	Revision	Date	JOB #: RENOVATION	DRAWING TITLE:	ADDRESS:
1	PRELIMINARY	9/18/23	DRAFTSMAN: A.SOUSA	PROPOSED	2ND FLOOF
2	REVISED	9/24/23	CHECKED BY: JOSE	FLOOR PLAN	73 EMPIRE S PROVIDENCE
			SCALE: 1/4" = 1'		02903
				SHEET: A-1	





FOOD SERVICE PLUMBING NOTES

CONNECT ALL FOOD SERVICE EQUIPMENT IN STRICT ACCORDANCE WITH FOOD SERVICE

EQUIPMENT MANUFACTURES WRITTEN INSTRUCTIONS. COORDINATE PLUMBING CONNECTIONS WITH FOOD SERVICE EQUIPMENT INSTALLER,

ALL FOOD SERVICE WORK SHALL BE IN ACCORDANCE WITH LOCAL HEALTH CODES, STANDARDS AND REGULATIONS.

ALL HORIZONTAL PIPING BETWEEN FOOD SERVICE EQUIPMENT AND INDIRECT DRAIN DEVICES SHALL BE ROUTED AS HIGH AS POSSIBLE AND NOT LESS 6" ABOVE FINISHED

FLOOR TO FACILITATE CLEANING.

PROVIDE INDIRECT WASTE PIPING REQUIRED FOR STANDARD AND/ OR FABRICATED ITEMS OF FOOD SERVICE EQUIPMENT AS SCHEDULED IN THE FOOD SERVICE DOCUMENT

COORDINATE LOCATION OF INDIRECT (FLOOR SINKS) FOR FOOD SERVICE EQUIPMENT WITH APPROVED FOOD SERVICE SHOP SHOP DRAWINGS, MAKE FINAL CONNECTION TO

FOOD SERVICE EQUIPMENT FROM ROUGH-INS. WATER SUPPLY ROUGH-INS

SHALL TERMINATE WITH SERVICE VALVE. ALL WORK SHALL CONFIRM TO ALL LOCAL CODES, RULES AND REGULATIONS INCLUDING

THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES. OSHA ACTS AND REGULATIONS, AND THE REQUIREMENTS OF THE LOCAL AUTHORITIES HAVING

THE CONTRACTOR SHALL OBTAIN ALL PERMIT FEES, AND LICENSES, ETC. REQUIRED TO

PERFORM THE WORK. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL LABOR, MATERIAL AND EQUIPMENT TO PROVIDES COMPLETE AND OPERABLE SYSTEM. THE

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PROVIDE "LOCKING" TYPE DEVICES ON CIRCUIT ON CIRCUIT BREAKERS CONNECTED TO

EMERGENCY LIGHTING, NIGHT LIGHT, FIRE ALARM, AND SECURITY SYSTEM.

W1 2x6 WOOD STUD WALL ASSEMBLY

NOTE: EQUIPMENT IN THE DRAWING ARE JUST SUGGESTIONS, OWNER TO PROVIDE ALL EQUIPMENT OR SPECIFICATION TO CONTRACTOR PRIOR TO THE BUILT, FOR PROPER PLUMBING AND ELECTRICAL REQUIREMENTS.

LEVEL 4 FINISH (3) COATS OF COMPOUND **OVER TAPE SANDED SMOOTH** - 5/8 FIRE RATED GYPSUM BOARD BOTH SIDES _ 2x4 OR 2x6 WOOD STUDS @ 16 O.C

W1 2x4 WOOD STUD WALL ASSEMBLY 1 HR. RATED UL # U305

NOTE: GYPSUM CEILING TO RECEIVE LEVEL 4 FINISH AND BE PAINTED BLACK, STARTING AT 10'-0" A.F.F. EVERYTHING BELOW WILL RECEIVE FINISHES SPECIFIED BY INTERIOR DESIGN TEAM.

RCP LEGEND:

4 X 8 LIGHT, G.C TO COORDINATE WITH OWNER AND SPECIFIC LIGHT

6" RECESSED LED LIGHT, G.C TO COORDINATE WITH

JUNCTION BOX AT THE CEILING FOR PENDANT LIGHT, OWNER AND G.C MUST COORDINATE WITH THE OWNER AND GET LIGHT SPEC PRIOR TO INSTALLING BOXES ON THE

GENERAL NOTES: . OWNERS AND GENERAL CONTRACTOR SHALL REVIEW ALL PLANS, NOTES AND SPECIFICATIONS PRIOR TO CONSTRUCTION

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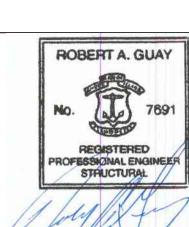
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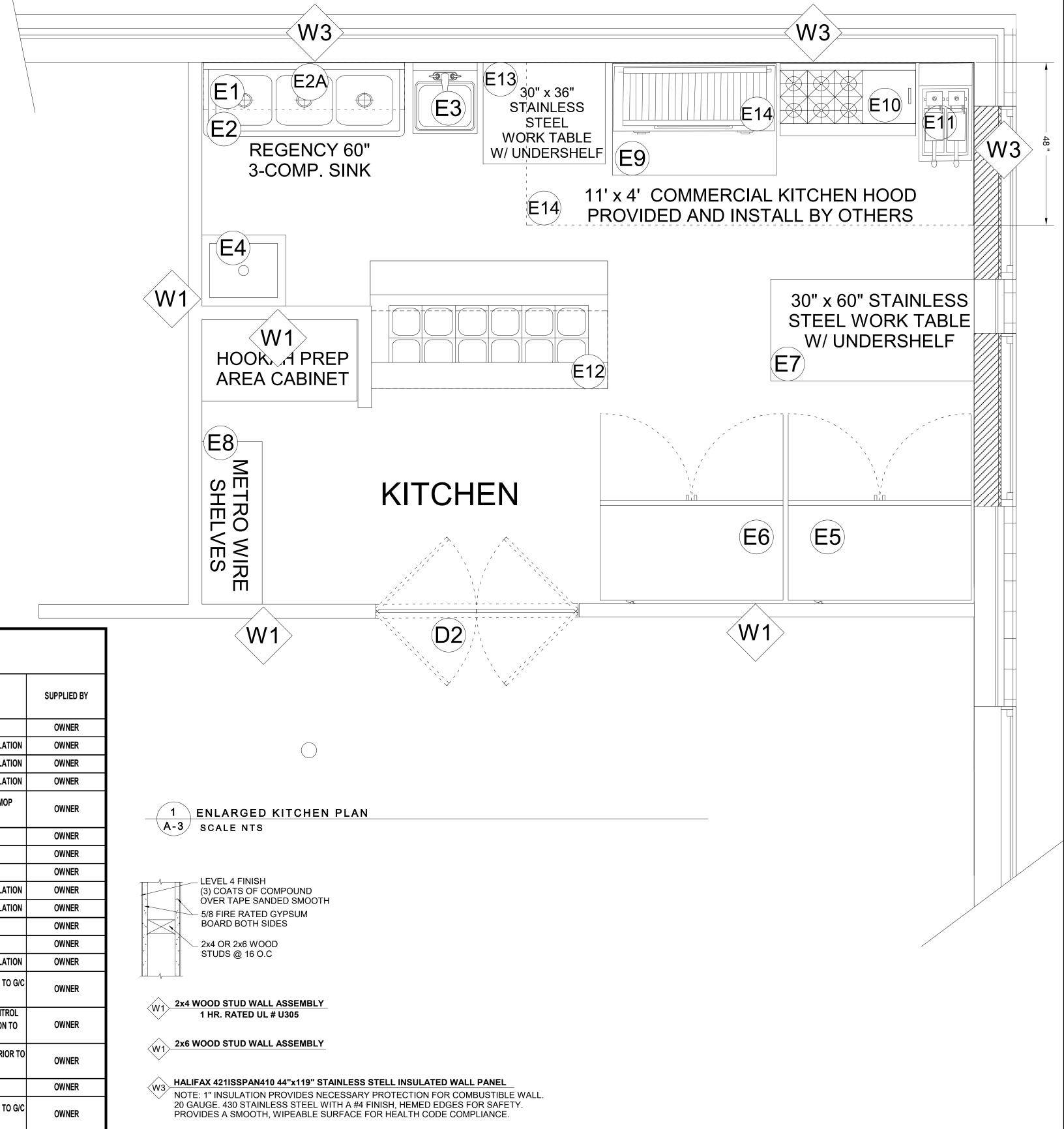
#	Revision	Date	JOB #: RENOVATION	DRAWING TITLE:
1	PRELIMINARY	9/18/23	DRAFTSMAN: A.SOUSA	REFLECTED
2	REVISED	9/24/23	CHECKED BY: JOSE	CEILING PLAN
			SCALE: 1/4" = 1'	
				SHEET: A-2

ADDRESS: 2ND FLOOR 73 EMPIRE ST. PROVIDENCE, RI 02903

NOTE: KITCHEN LIGHTING TO BE PICKED BY INTERIOR DESIGNER WHICH MUST BE COORDINATED WITH G.C/ E.C AND OWNER

NOTE: EQUIPMENT IN THE DRAWING ARE JUST SUGGESTIONS, OWNER TO PROVIDE ALL EQUIPMENT OR SPECIFICATION TO CONTRACTOR PRIOR TO THE BUILT, FOR PROPER PLUMBING AND ELECTRICAL REQUIREMENTS.

ITEM						SIZE			ELECTRICAL -					PLUMBING			
	OTV	NAME	MFR	MODEL #		-	T 11	LID KW			NEMA #	WA		W	DRAIN	COMMENTS	SUPPLIED BY
# E1	QTY 1	METRO SMART WALL SHELVING	METRO	SWK36-1A1-SR	40"	D 20"	31 1/4"	HP KW	AMPS	VOLT/PH	NEMA #	НОТ	COLD	VV	IW	ABOVE 3 COMPARTMENT SINK	OWNER
E2	1	3 COMPARTMENT SINK	REGENCY	600S31717G	60"	22 1/2"	44 3/4"					1/2 IPS	1/2 IPS	1 1/2"		G/C TO REVIEW SPEC PRIOR TO INSTALLATION	OWNER
E2A	1	WALL MOUNTED PRE-RINSE FAUCET WITH 8" CENTER	WATERLOO	750PRWL8X	00	22 1/2	77 77					1/211 3	1/2 11 3	1 1/2		G/C TO REVIEW SPEC PRIOR TO INSTALLATION	OWNER
E3	1	UTILITY HAND SINK W/ WALL MOUNTED FAUCET	REGENCY	600HSMSF1818								1/2 IPS	1/2 IPS	3 1/2"		G/C TO REVIEW SPEC PRIOR TO INSTALLATION	OWNER
E4	1	MOP SINK	ADVANCE TABCO	9-OP-20	25"	21"	10"					1/2 11 0	1/2 11 0	0 112	1/2"IPS	W/K-240 SERVICE FAUCET AND K-242 MOP HOLDER	OWNER
	1	SERVICE FAUCET (MOP SINK)	ADVANCED TABCO	K-240													OWNER
	1	MOP HANGER (MOP SINK)	ADVANCED TABCO	K-242	23"												OWNER
	1	MOP DRAINAGE TRAY	ADVANCED TABCO	K-243	32"	4"	6"										OWNER
E 5	1	REACH-IN SOLID SWING DOOR FREEZER	TRUE	T-49F-HC	54 1/2"	29 1/2"	78 3/8"	1	9.6	115/60/1	5-15					G/C TO REVIEW SPEC PRIOR TO INSTALLATION	OWNER
E 6	1	REACH-IN SOLID SWING DOOR REFRIGERATOR	TRUE	T-49-HC	54 1/2"	29 1/2"	78 3/8"	1/2	5.4	115/60/1	5-15					G/C TO REVIEW SPEC PRIOR TO INSTALLATION	OWNER
E 7	1	STAINLES STEEL COMMERCIAL WORK TABLE	REGENCY	600T3072G	72"	30"	34"										OWNER
E 8	1	SHELVING, WIRE 5 TIER	METRO	1848BR	48"	18"	74 5/8"										OWNER
E 9	1	REFRIGERATED CHEF BASE	ATOSA	MGF8450GR	48	23	26	1/7	2.3	115/60/1	5-15					G/C TO REVIEW SPEC PRIOR TO INSTALLATION	OWNER
E10	1	60" GAS RANGE W/ 24" GRIDDLE	SOUTHBEND													OWNER TO PROVIDE SPEC INFORMATION TO G/C PRIOR TO INSTALLATION	OWNER
E11	1	GAS FRYER	ATOSA	ATFS-35ES	15"	30"	44"									3 BURNERS INDEPENDENT MANUAL CONTROL OWNER TO PROVIDE SPEC INFORMATION TO G./C PRIOR TO INSTALLATION	OWNER
E12	1	PIZZA PREP TABLE	MOTAK	MPR-70-X	70 7/8"	31 1/2"	38 3/4"	1/5	5.5	115/60/1	5-15					10 FT CORD, G.C TO REVIEW THE SPEC PRIOR TO INSTALLATION	OWNER
E13	1	STAINLES STEEL COMMERCIAL WORK TABLE	REGENCY	600T3036G	36"	30"	34"										OWNER
E14	1	CHAR ROCK BROILERS	COOK RITE	ACTB-48	48"	20"	14"									OWNER TO PROVIDE SPEC INFORMATION TO G/C PRIOR TO INSTALLATION	OWNE



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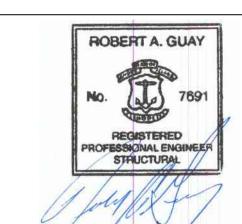
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. EXTERIOR WINDOW CASING TO BE PROVIDED BY DESIGNATED LUMBER YARD.

. FIRE STOPPING REQUIRED, SHALL CUT OFF ALL CONCEALED OPENING, MINIMUM 2" NOMINAL LUMBER REQUIRED.



#	Revision	Date	RENOVATION	DRAV
1	PRELIMINARY	9/18/23	DRAFTSMAN: A.SOUSA	KIT
2	REVISED	9/24/23	CHECKED BY: JOSE	AND
			SCALE: 1/4" = 1'	S
				SHEET:

DRAWING TITLE:

ADDRESS:

2ND FLOOR
73 EMPIRE ST.
PROVIDENCE, RI
02903

SHEET:

A-2



WOMEN

MEN(ACCESSIBILITY) ADA RESTROOM BRAILLE SIGN

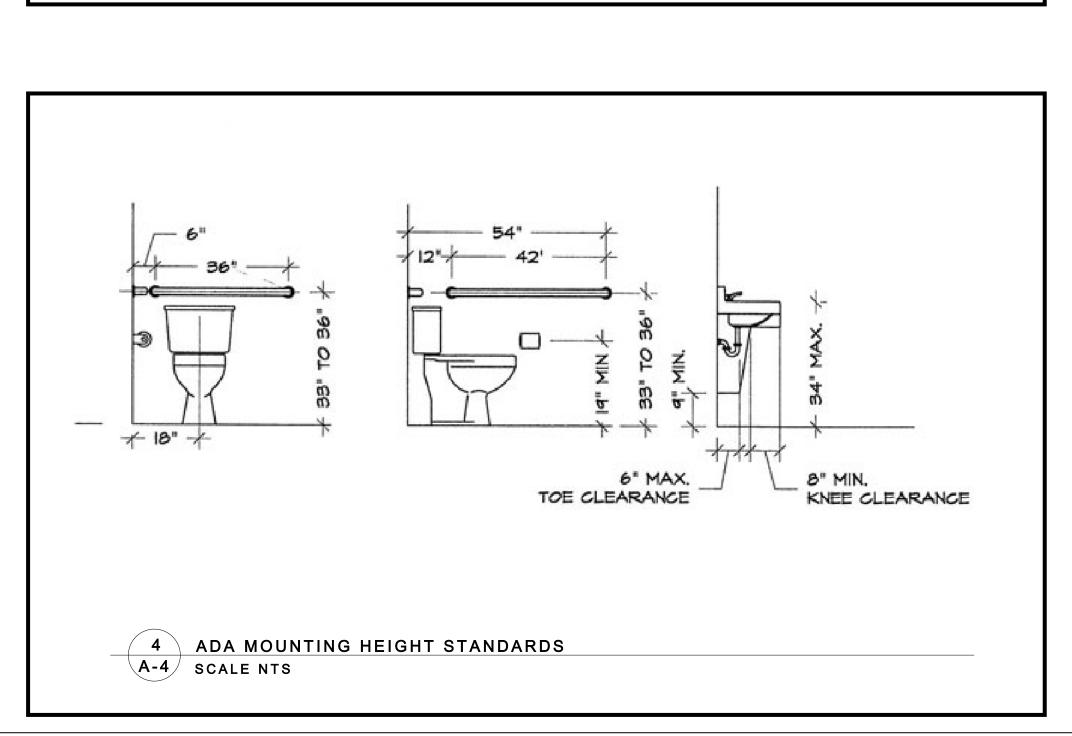
WOMEN(ACCESSIBILITY) ADA RESTROOM BRAILLE SIGN

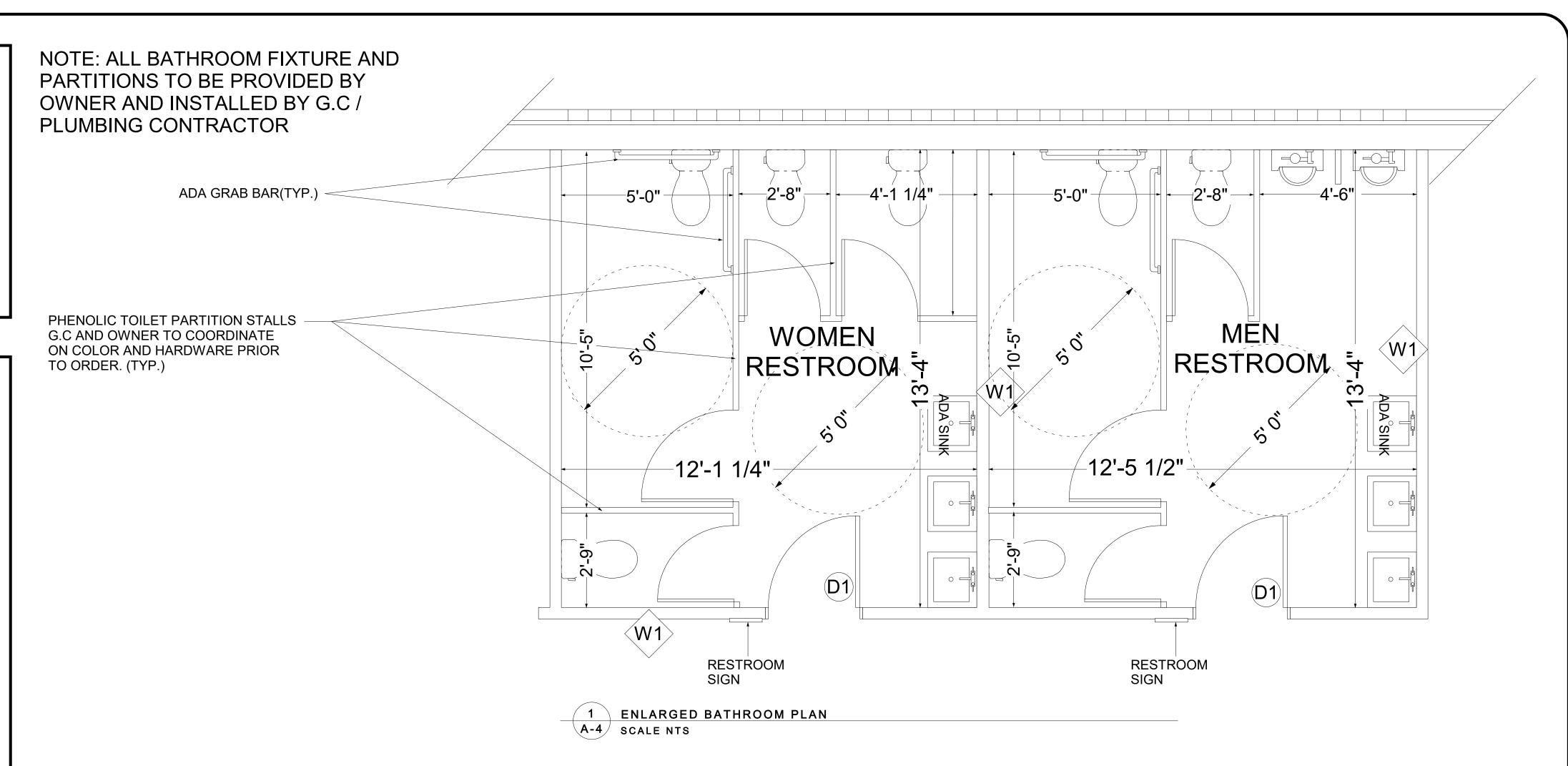
2 BATHROOM SIGNAGE

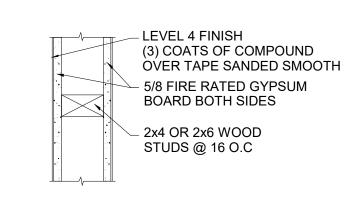
A-4 SCALE NTS

A-4 SCALE NTS

29" MINIMUM 3 ADA BATHROOM SINK CLEARANCE







W1 2x4 WOOD STUD WALL ASSEMBLY 1 HR. RATED UL # U305

W1 2x6 WOOD STUD WALL ASSEMBLY

W3 HALIFAX 421ISSPAN410 44"x119" STAINLESS STELL INSULATED WALL PANEL NOTE: 1" INSULATION PROVIDES NECESSARY PROTECTION FOR COMBUSTIBLE WALL.

20 GAUGE. 430 STAINLESS STEEL WITH A #4 FINISH, HEMED EDGES FOR SAFETY. PROVIDES A SMOOTH, WIPEABLE SURFACE FOR HEALTH CODE COMPLIANCE.

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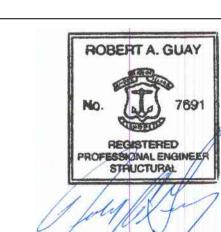
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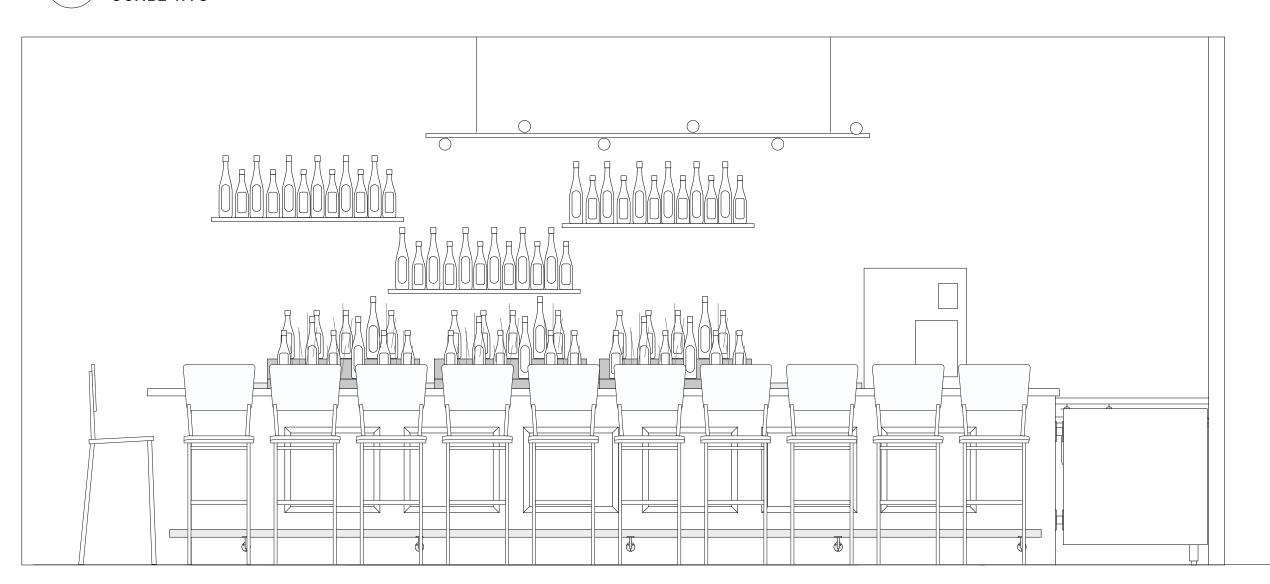
	#	Revision	Date	JOB #: RENOVATION	D
	1	PRELIMINARY	9/18/23	DRAFTSMAN: A.SOUSA	
1	2	REVISED	9/24/23	CHECKED BY: JOSE	
				SCALE: 1/4" = 1'	
					SL

DRAWING TITLE: ADDRESS: **ENLARGED** BATHROOM FLOOR PLAN

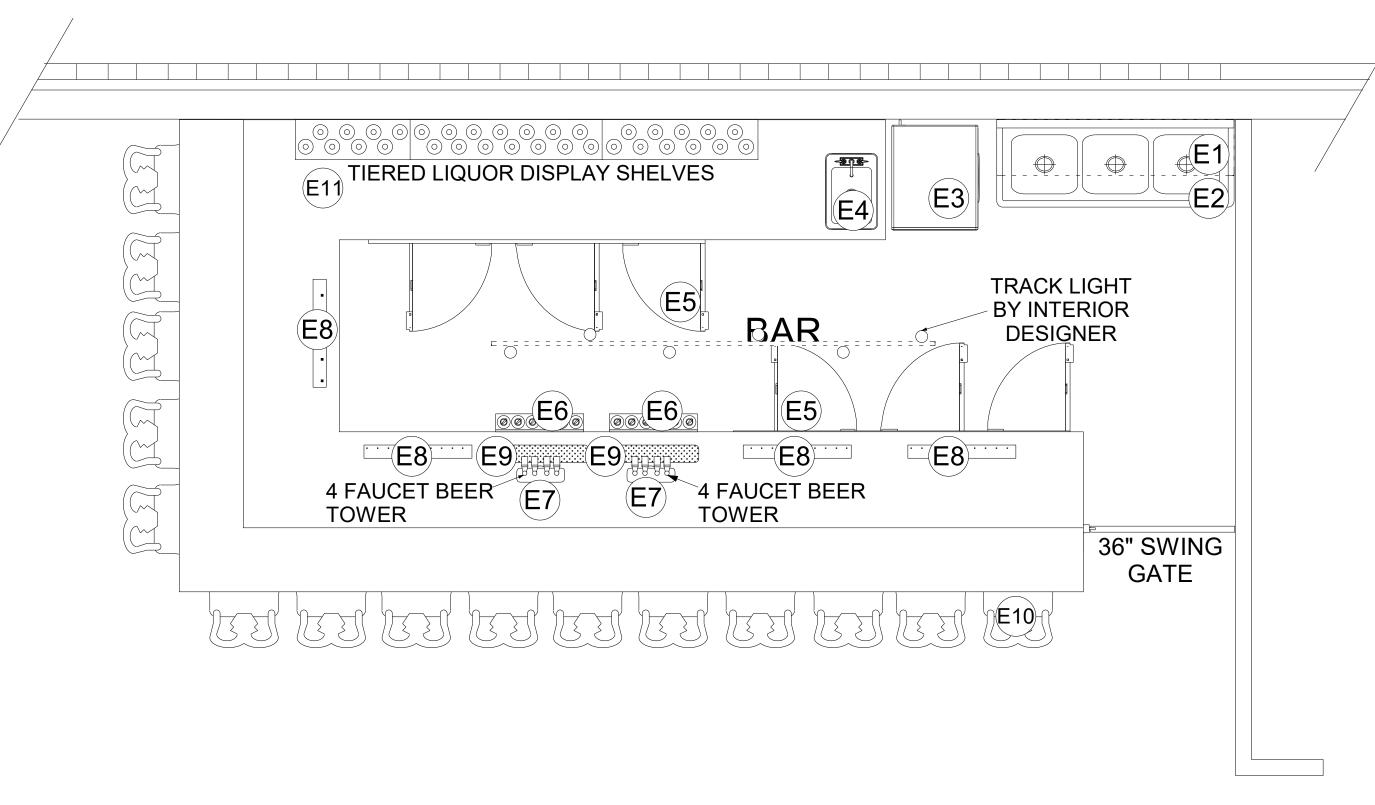
A-4

ALL BAR FINISHES TO BE PROVIDED BY INTERIOR DESIGNER AND OWNER.
PAINT, CABINET FINISHES, COUNTERTOP ETC.

A-5 SCALE NTS

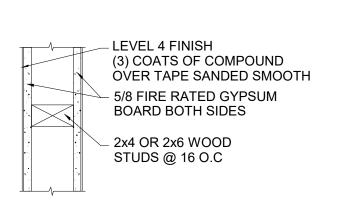


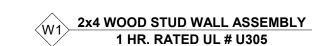
NOTE: EQUIPMENT IN THE DRAWING ARE JUST SUGGESTIONS, OWNER TO PROVIDE ALL EQUIPMENT OR SPECIFICATION TO CONTRACTOR PRIOR TO THE BUILT, FOR PROPER PLUMBING AND ELECTRICAL REQUIREMENTS.



3 FRONT BAR ELEVATION
A-5 SCALE NTS

ITEM			MFR	MODEL#	SIZE			ELECTRICAL -				PLUMBING						
I I ⊑IV		NAME										WATER		DRAIN		COMMENTS	SUPPLIED BY	
#	QTY				L	D	Н	HP	KW	KW AMPS	VOLT/PH	NEMA#	НОТ	COLD	W	IW		
E1	1	METRO SMART WALL SHELVING	METRO	SWK36-1A1-SR	40"	20"	31 1/4"										ABOVE 3 COMPARTMENT SINK	OWNER
E2	1	3 COMPARTMENT SINK	REGENCY	600S31717G	60"	22 1/2"	44 3/4"						1/2 IPS	1/2 IPS	1 1/2"		G/C TO REVIEW SPEC PRIOR TO INSTALLATION	OWNER
E3	1	ICE MACHINE	BLUE AIR	BLMI-300A	22"	27-3/8"	30 5/8"				115/60/1						G/C TO REVIEW SPEC PRIOR TO INSTALLATION	OWNER
E4	1	HAND SINK WITH SURROUND	ADVANCE TABCO	DI-1-10	13"	19"	10"						1/2 IPS	1/2 IPS	1 1/2		10" X 14" X 10" DEEP BOWL	OWNER
E5	1	BACK BAR REFRIGERATOR	ASBER	ABBC-94G	80"	28 5/8"	36 7/8"	1/3		3.0	115/60	5-15					G/C TO REVIEW SPEC PRIOR TO INSTALLATION	OWNER
E 6	1	SINGLE TIER SPEED RAIL	EAGLE GROUP	500779	34"	4 7/16"												OWNER
E 7	2	4 FAUCET BEER TOWER, STAINLESS STEEL "T" STYLE	AMERICAN BEVERAGE															OWNER
E8	4	BLACK DELUXE RUBBER BAR MAT	AMERICAN METALCRAFT	BML-24	27"	3 1/4"												OWNER
E9	1	STAINLESS STEEL DRIP TRAY															W/ 4-IN TREADED METAL DRAIN FITTING	OWNER
E10	15	BAR STOOL	FLASH FURNITURE	BLKV-GG	16 3/4"	16 1/4"	30"											OWNER
E11	3	3 TIER ACRYLIC BOTTLE ORGANIZER FOR COUNTERTOP	DISPLAYS2GO	FSBD3T48	47 1/2"	10 1/2"	16"										INTERIOR LED LIGHTS	OWNER





2x6 WOOD STUD WALL ASSEMBLY

W3 HALIFAX 421ISSPAN410 44"x119" STAINLESS STELL INSULATED WALL PANEL

NOTE: 1" INSULATION PROVIDES NECESSARY PROTECTION FOR COMBUSTIBLE WALL.
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PROVIDES A SMOOTH, WIPEABLE SURFACE FOR HEALTH CODE COMPLIANCE.

A-5

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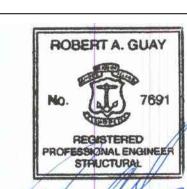
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ENLARGED BAR PLAN

A-5 SCALE NTS

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2	REVISED	9/24/23	CHECKED BY: JOSE	
			SCALE: 1/4" = 1'	
				SHI

RAWING TITLE:	ADDRESS:				
ENLARGED BAR PLAN	2ND FLOOR 73 EMPIRE ST. PROVIDENCE, RI 02903				

Building Front View



Left Side View of Building Front



Right Side View of Building Front



Side View of Building Front



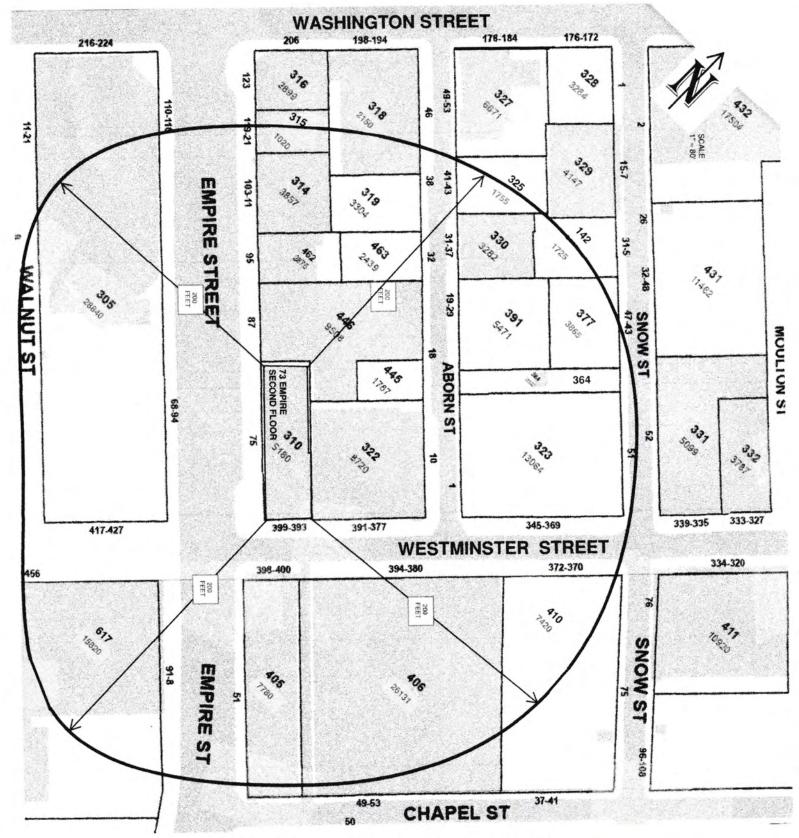
Entrance to the 2nd floor Building Front



Building Front







73 EMPIRE STREET SECOND FLOOR

Joly 17,202 April Shah Apri-516-8485