



### Record No: ZBR-26-20

Zoning Board of Review Application

Status: Active

Submitted On: 5/15/2026

### Primary Location

40 Brentwood Ave  
Providence, RI 02908

### Owner

Joanne Carnevale

[Redacted]  
[Redacted]

### Applicant

Francis O'Brien

[Redacted]  
[Redacted]  
[Redacted]  
[Redacted]

## Owners and Applicants Information

Who is Submitting this Application?\*

Other

Name and Professional Title of Person Submitting the Application\*

Francis O'Brien, General Contractor

Owners Name\*

Joanne Carnevale

Owner Mailing Address\*

[Redacted]

Owner Email\*

[Redacted]

Owner Phone\*

[Redacted]

Name of Applicant, if different than owner ?

Applicant Mailing Address, if different than owner

Applicant Email, if different than owner


Applicant Phone, if different than owner

Attorney Name

Attorney Mailing Address

Attorney Email

Attorney Phone

**Owner Attestation and Signature Page\*** 



Carnevale.pdf

For fillable pdf of the Owner Attestation and Signature Page please visit the Applications and Forms section of our website: <https://www.providenceri.gov/inspection/boards-of-review/>

## Type of Application

**Application Type\***

Dimensional Variance

List all Zoning Ordinance Sections from which a variance is sought. Include Section Number, Section Title, and Quantity of relief, if applicable (eg. 4' setback where 6' required)\*

6' setback where 10' required

**Summarize any changes proposed for the Property (use, construction/renovation, site alteration):\***

The existing carport is to be closed in and a second floor added above. The new structure will be within the existing footprint re: sideline setback.


## Subject Property Information

**Address of Subject Property\***

40 Brentwood Avenue

**Plat\***

083-0257-0000

Lot(s)\* 

0257

Existing Zoning Use of the Property\*

Dwelling - Single Family

Proposed Zoning Use of the Property\*

Dwelling - Single Family

Base Zoning District\*

R-1 Residential District

Base Zoning District 2 (if applicable)

—

Overlay Zoning District (if applicable)

—

Overlay Zoning District 2 (if applicable)

—

Overlay Zoning District 3 (if applicable)

—

Date Owner Purchased the Property\*

05/16/2016

Start Date of Lessee's Occupancy

—

Are there outstanding violations concerning the Property under the City of Providence Zoning Ordinance?\*

No

Are there outstanding violations concerning the Property under the RI State Building or Property Maintenance Code(s)?\*

No

## Buildings & Structures

Existing or Proposed Structure\*


Proposed

Type of Building or Structure\*

Addition to Principal Structure

Principal Structure Type (if applicable)

Residential

Please describe the accessory structure (if applicable) 

Close in an existing carport and add a second story above

<b>Area of Footprint</b>	<b>Overall Height Above Average Grade</b>
560	21.5
<b>Number of Stories</b>	<b>Existing Number of Dwelling Units</b>
2	1
<b>Proposed Number of Dwelling Units</b>	<b>Front Setback</b>
1	24
<b>Interior Side Setback</b>	<b>Corner Side Setback</b>
6	—
<b>Rear Setback</b>	
94	

## Lot Dimensions, Coverage Percentage, and Parking Information

<b>Plat/Lot Number*</b>	<b>Existing Lot Width*</b>
83-0257	105
<b>Proposed Lot Width</b>	<b>Existing Lot Area*</b>
105	21088
<b>Proposed Lot Area</b>	<b>Existing Building Coverage ?</b>
21088	3044

<b>Proposed Building Coverage</b> ?	<b>Existing Total Impervious Coverage</b> ?
3044	—
<b>Proposed Total Impervious Coverage</b> ?	<b>Existing Rear Yard Impervious Coverage</b> ?
—	—
<b>Proposed Rear Yard Impervious Coverage</b> ?	<b>Existing Front Yard Impervious Coverage</b> ?
—	—
<b>Proposed Front Yard Impervious Coverage</b> ?	<b>Number of Existing Parking Spaces</b>
—	6
<b>Number of Proposed Parking Spaces</b>	
6	

## Appendix A: Application for Variance(s)

### 1. What is the specific hardship from which the applicant seeks relief?\*

dimensional variance – The existing, previously approved sideline setback is 6' with 10' required; we are seeking approval to maintain that 6' setback exemption.

### 2. Specify all unique characteristics of the land or structure that cause the hardship:\*

The existing, previously approved sideline setback is 6' with 10' required; we are seeking approval to maintain that 6' setback exemption.

**3 (a) Is the hardship caused by an economic disability?\***

No

**3 (b) Is the hardship caused by a physical disability?\***

No

**3 (c) If the response to subsection (b) is "yes," is the physical disability covered by the Americans with Disabilities Act of 1990 (ADA), 42 U.S.C. § 12101 et seq.? \***

No

**4. Did the owner/applicant take any prior action with respect to the Property that resulted in the need for the variance requested? (Examples include, but are not limited to, any changes the owner/applicant made to the structure(s), lot lines, or land, or changes in use of the Property)?\***

No

**5. If you are seeking a USE VARIANCE, set forth all facts that demonstrate that the Property cannot have any beneficial use if you are required to use it in a manner allowed in the zoning district:\***

No

**6. If you are seeking a DIMENSIONAL VARIANCE, set forth all facts that indicate that if the variance is not granted, the hardship the owner/applicant will suffer is more than a mere inconvenience:\***

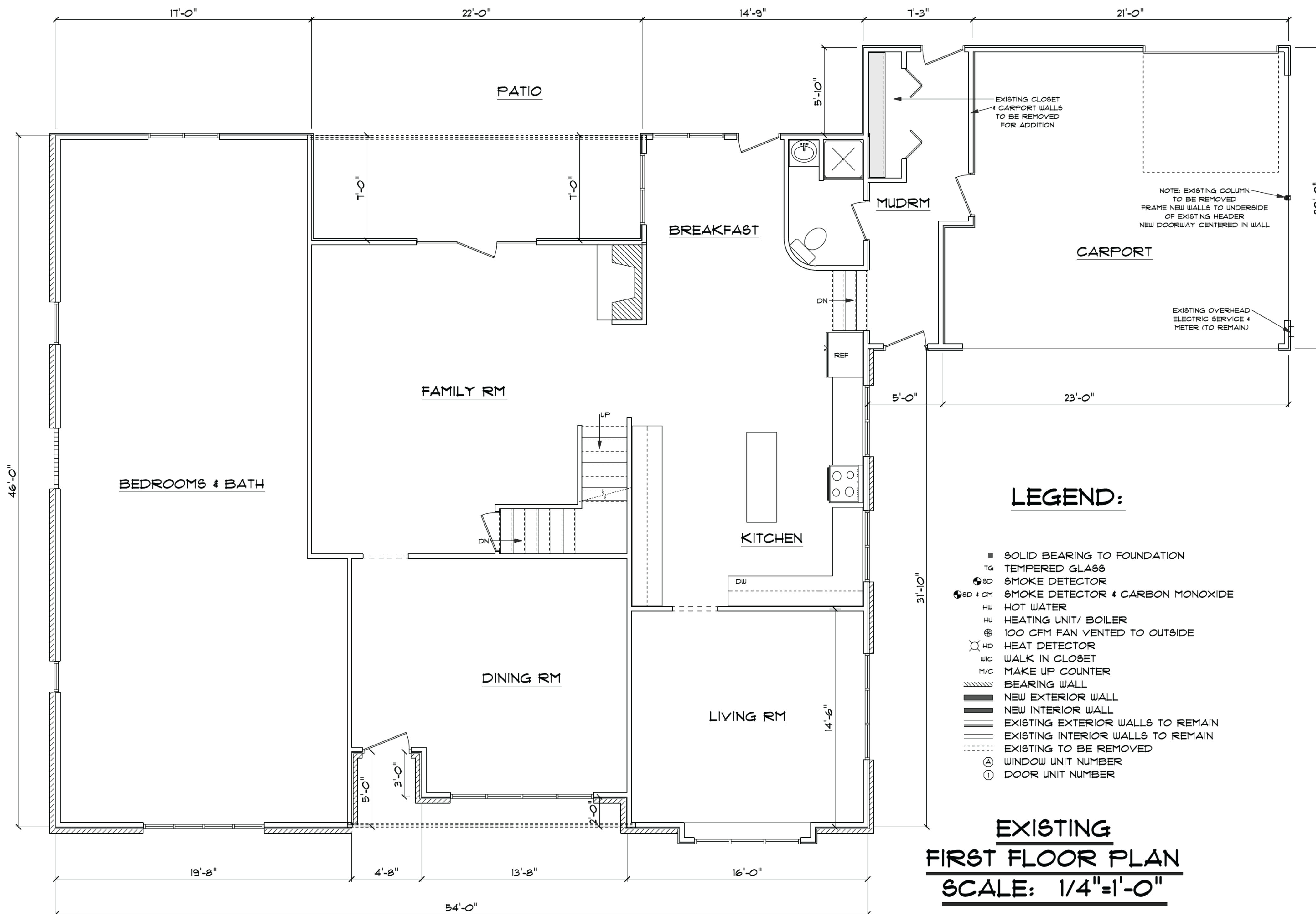
A building permit was applied for and was granted on March 30, 2026 (BLDG 26-119). During excavation, we discovered that the existing foundation, which was assumed to be code-compliant, was not. The architect said that existing needed to be removed to comply with code and to support the proposed second floor living space. In order to do that, three existing beams had to be removed so the machinery could do the necessary excavation. We did not realize that removing those beams would void the existing nonconforming sideline setback. The new structure will be built on the existing footprint; there will be no encroachment on the existing sideline setback of 6 feet.



**EXISTING FRONT**



**EXISTING BACK**



**EXISTING  
FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"**

**PROPOSED TWO-STORY ADDITION  
FOR JOANNE & ROBERT CARNEVALE  
40 BRENTWOOD AVENUE  
PROVIDENCE, RHODE ISLAND**

*ALL EXISTING DIMENSIONS ARE APPROXIMATE (+/-)  
CONTRACTOR IS TO VERIFY ALL DIMENSIONS IN FIELD -  
PRIOR TO ORDERING MATERIALS OR CONSTRUCTION*

**THESE DRAWINGS ARE IN ACCORDANCE WITH THE FOLLOWING DESIGN CRITERIA:**

RHODE ISLAND ONE & TWO FAMILY DWELLING CODES 2021 INCORPORATES THE INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION.  
RHODE ISLAND ENERGY CONSERVATION CODES INCORPORATES INTERNATIONAL ENERGY CODES, 2024 EDITION.

CLIMATIC & GEOGRAPHIC DESIGN CRITERIA AS PER R 2021.3 OF THE RI ONE & TWO FAMILY DWELLING CODES									
GROUND SNOW LOAD (VARIES)	WIND ZONE & SPEED	TOPOGRAPHIC EFFECTS	WEATHERING	FROST DEPTH	TERRITORY DECAY	WINTER DESIGN TEMP	ICE SHIELD UNDERLAY REQUIRED	FLOOD HAZARDS	
30 PSF	1-100 MPH	NO	SEVERE	40"	MODERATE TO HEAVY	(BLIGHT TO MODERATE)	0 DEG F IN PROV COUNTY	YES (SEE COM FRHS)	

INSULATION & PENETRATION REQUIREMENTS DESIGN CRITERIA AS PER R 2021.3 OF THE RI ONE & TWO FAMILY DWELLING CODES									
CLIMATE ZONE	PENETRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED PENETRATION U-FACTOR	CEILING R-VALUE	WOOD FLOORING R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	UNHEATED SPACE R-VALUE
5	0.38	0.50	NR	18 UNCOMPRESSED	30 OR 20R	13 / 11	30	15	R-10 FOR 3'-0"

PLANS HAVE BEEN PREPARED BASED ON A SOIL CAPACITY OF 1800lbs / SF

TYPICAL LOAD DESIGNS:  
40 PSF LIVING AREA LOADS  
30 PSF SLEEPING AREA LOADS  
20 PSF DEAD LOADS  
20 PSF ATTIC LOADS  
60 PSF EXTERIOR DECK LOADS  
30 PSF SNOW LOADS (VARIES THROUGHOUT STATE)

FROST DEPTH: MINIMUM 3'-4" DEEP

TYPICAL CONSTRUCTION TYPE: 5B

BUILDING HEIGHT: (MAXIMUM 35'-0") VERIFY WITH CITY / TOWN

ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL & STATE REGULATION. THE CONTRACTOR SHALL PROTECT & INDEMNIFY THE DESIGNER AGAINST ANY CLAIM OR LIABILITY ARISING FROM VIOLATION OF ANY SUCH CODE OR REGULATION.

ALL INSTALLATION AND APPLICATIONS SHALL CONFORM TO MANUFACTURERS SPECS.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND REPORT ANY DISCREPANCY TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.

ALL SECTIONS, DETAILS, ETC SHOWN ON ANY PLAN SHALL APPLY TO ALL OTHER SIMILAR LOCATIONS UNLESS OTHERWISE NOTED

ALL DIMENSIONS, NOTES, AND OTHER INFORMATION CONVEYED IN THESE DRAWINGS FOR CONSTRUCTION PURPOSES ARE SUBJECT TO CHANGE AND SHOULD BE VERIFIED IN FIELD BY BUILDER / CONTRACTOR ACCORDING TO LOCAL AND STATE BUILDING CODES.

THIS DRAFTSPERSON SHALL NOT BE RESPONSIBLE FOR ANY CHANGES THAT WOULD MAKE THE STRUCTURE PHYSICALLY UNSAFE.

UNFORESEEN SITE CONDITIONS MAY CAUSE A DEVIATION FROM THE CONSTRUCTION DOCUMENTS AND IS THE RESPONSIBILITY OF THE BUILDER / CONTRACTOR TO INSURE STRUCTURAL STABILITY AND CONFORMANCE TO APPLICABLE CODES.

**PROPOSED TWO-STORY ADDITION**

PREPARED FOR:  
JOANNE CARNEVALE  
40 BRENTWOOD AVENUE  
PROVIDENCE, RHODE ISLAND

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DOES NOT PERMIT THE USE OF PLANS  
THAT HAVE BEEN TAMPERED WITH  
BY OUTSIDE PARTIES

EST. 1985  
**DLR DIMENSIONS**  
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401.738.3156  
DLRDIMENSIONS.COM

DLR DIMENSIONS, INC.  
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CHANGES TO NOTES,  
AND/OR DRAWINGS,  
BUILT BY CONTRACTOR  
MUST VERIFY  
ALL DIMENSIONS  
INSURE COMPLIANCE WITH  
LOCAL CODES  
PRIOR TO AND  
DURING CONSTRUCTION.

SCALE  
NOTED

DATE  
Tuesday, March 24, 2026

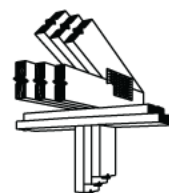
APPROVED  
DRR

DRAWN BY  
DRR

DRAWING NUMBER  
7438

**LEGEND:**

- SOLID BEARING TO FOUNDATION
- TG TEMPERED GLASS
- SD SMOKE DETECTOR
- SD + CM SMOKE DETECTOR + CARBON MONOXIDE
- HU HOT WATER
- HU HEATING UNIT/ BOILER
- 100 CFM FAN VENTED TO OUTSIDE
- HD HEAT DETECTOR
- WC WALK IN CLOSET
- M/C MAKE UP COUNTER
- BEARING WALL
- NEW EXTERIOR WALL
- NEW INTERIOR WALL
- EXISTING EXTERIOR WALLS TO REMAIN
- EXISTING INTERIOR WALLS TO REMAIN
- EXISTING TO BE REMOVED
- ⓐ WINDOW UNIT NUMBER
- ⓑ DOOR UNIT NUMBER



• POINT LOAD FROM ABOVE  
 PROVIDE THE FOLLOWING:  
 1) SOLID BLOCKING BETWEEN BEAM (OR BILL) AND PLYWOOD SUBFLOOR  
 2) A MINIMUM OF THREE STUDS IN A BEARING WALL AS BEAM JACKS

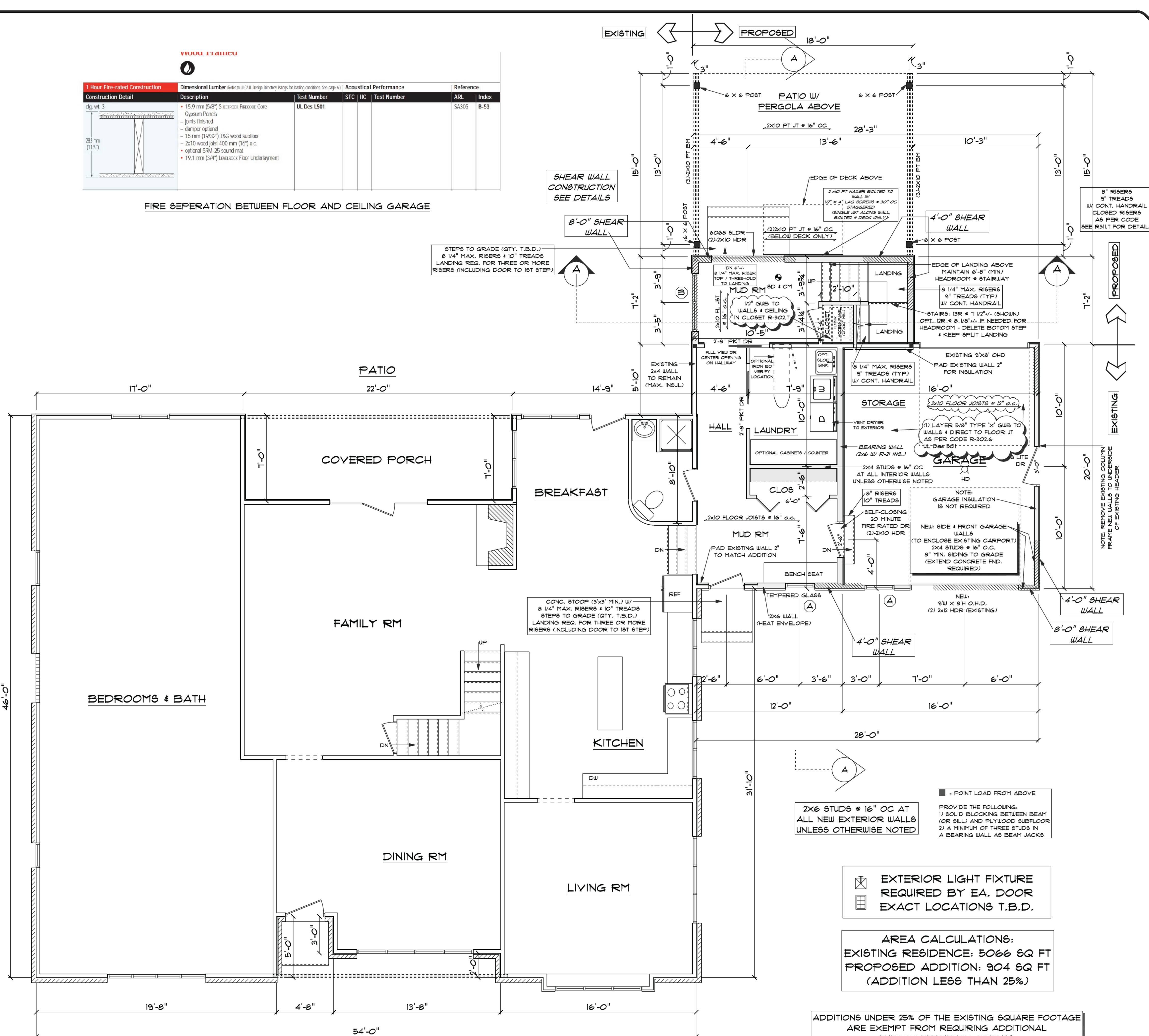


PROVIDE SIMPSON TYPE POST CAP AT ALL SPLICES AND CONTINUOUS BEAM CONNECTIONS  
 SEE STRUCTURAL PLANS AND NOTES FOR REQUIRED CONNECTORS AND ANCHOR REQUIREMENTS

**ISOMETRIC CONNECTIONS**

1 Hour Fire-rated Construction	Dimensional Lumber	Acoustical Performance	Reference
Construction Detail	Description	Test Number	STC   IIC   Test Number
UL 1013	• 15.9 mm (5/8") Shear Wall Face Core • Gypsum Panels • joints finished • damper optional • 15 mm (5/8") T&G wood subfloor • 2x10 wood joist 400 mm (16") o.c. • optional SRM 25 sound mat • 19.1 mm (3/4") Loussox Floor Underlayment	UL Des L501	
			ARL Index
			SA305 B-53

FIRE SEPERATION BETWEEN FLOOR AND CEILING GARAGE



WINDOW SCHEDULE						
VERIFY ALL R.O. BY FINAL WINDOW CROSS						
TYPICAL HEADER: (3)X(10) (DBL JACK REQUIRED FOR OPENINGS OVER 6'-0")						
TYPICAL HEADER HEIGHT: 6'-11" (EXCEPTIONS ARE NOTED ON PLANS)						
NOTE: ALL LUMBER SPECIES FOR HEADERS, JOISTS, AND BEAMS TO BE KD SPRUCE NO. 2 OR BETTER. ALL LOADS FOR FLOOR JOISTS, RAFTERS, HEADERS AND BEAMS ARE BASED ON THE FOLLOWING: FLOOR JOISTS LIVING AREAS: 40 psf LIVE LOAD 30 psf DEAD LOAD FLOOR JOISTS SLEEPING AREAS: 30 psf LIVE LOAD 20 psf DEAD LOAD						
MANUFACTURER / OR EQUIVALENT	UNIT	ROUGH OPENING	TYPE	QTY	AREA / SILL FFF	CLR. OF PL. DESIGN PRESSURE
ANDERSEN WINDOWS 400 SERIES MIN. U-FACTOR .28	A	2'-4 1/8" X 3'-5 3/8"	CAS	5	8.0 / 3'-5"	5.7 30
	B	4'-5" X 4'-0 1/2"	CH MUL	1	18.0 / 2'-10"	6.8 EA 30
	C	4'-0" X 1'-8 1/2"	FX TRANSOM	1	6.8 / 5'-2"	1.5 30
	D	5'-3 1/4" X 4'-5 3/8"	CAS MUL	2	26.3 / 2'-5"	10 EA 30
	E					
	DOORS					
	6068	6'-0" X 6'-8"	SLIDING GL DR	1	39.34 / N/A	14.72 20

ALL TEMPERED WINDOWS ARE CALLED OUT ON FLOOR PLANS: BOTH PANES TO BE TEMPERED		
DOOR SCHEDULE		
TYPICAL HEADER: (3)X(10) (DBL JACK REQUIRED FOR OPENINGS OVER 6'-0")		
TYPICAL HEADER HEIGHT: 6'-11" (EXCEPTIONS ARE NOTED ON PLANS)		
INTERIOR AND EXTERIOR DOOR SIZES ARE NOTED ON PLANS.		
INTERIOR / EXTERIOR DOOR R.O., NOTED WIDTH, 2 1/2" (TYPICAL)		
POCKET DOOR R.O., NOTED WIDTH, 2 1/2" X 1'-0 1/2" HIGH (TYPICAL)		
DESIGN PRESSURE	DESIGN REQUIRED	PRESSURE PROVIDED
WIND ZONE: 100 MPH WIND EXPOSURE: B HEIGHT (MAX): 35'-0" PRESSURE ZONES: 4 & 5	18.0 / -15.5	30

EMERGENCY ESCAPE & RESCUE OPENINGS FOR BEDROOMS	
R310.2.1 MINIMUM OPENING AREA	
EMERGENCY AND ESCAPE RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQ FT. THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION SHALL BE OBTAINED BY THE NORMAL OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM INSIDE. THE NET CLEAR HEIGHT OPENING SHALL BE NOT LESS THAN 24 INCHES AND THE NET CLEAR WIDTH SHALL BE NOT LESS THAN 20 INCHES.	
R310.2.2 WINDOW SILL HEIGHT	
WHERE A WINDOW IS PROVIDED AS THE EMERGENCY ESCAPE AND RESCUE OPENING, IT SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.	

**EXISTING & PROPOSED FIRST FLOOR PLAN 1/4"=1'-0"**

**PROPOSED TWO-STORY ADDITION**  
 PREPARED FOR:  
 JOANNE CARNEVALE  
 40 BRENTWOOD AVENUE  
 PROVIDENCE, RHODE ISLAND

CONSTRUCTION PLANS ARE DRAFTED FOR SINGLE-USE ONLY  
 DLR DIMENSIONS, INC. DOES NOT PERMIT THE USE OF PLANS THAT HAVE BEEN TAMPERED WITH BY OUTSIDE PARTIES

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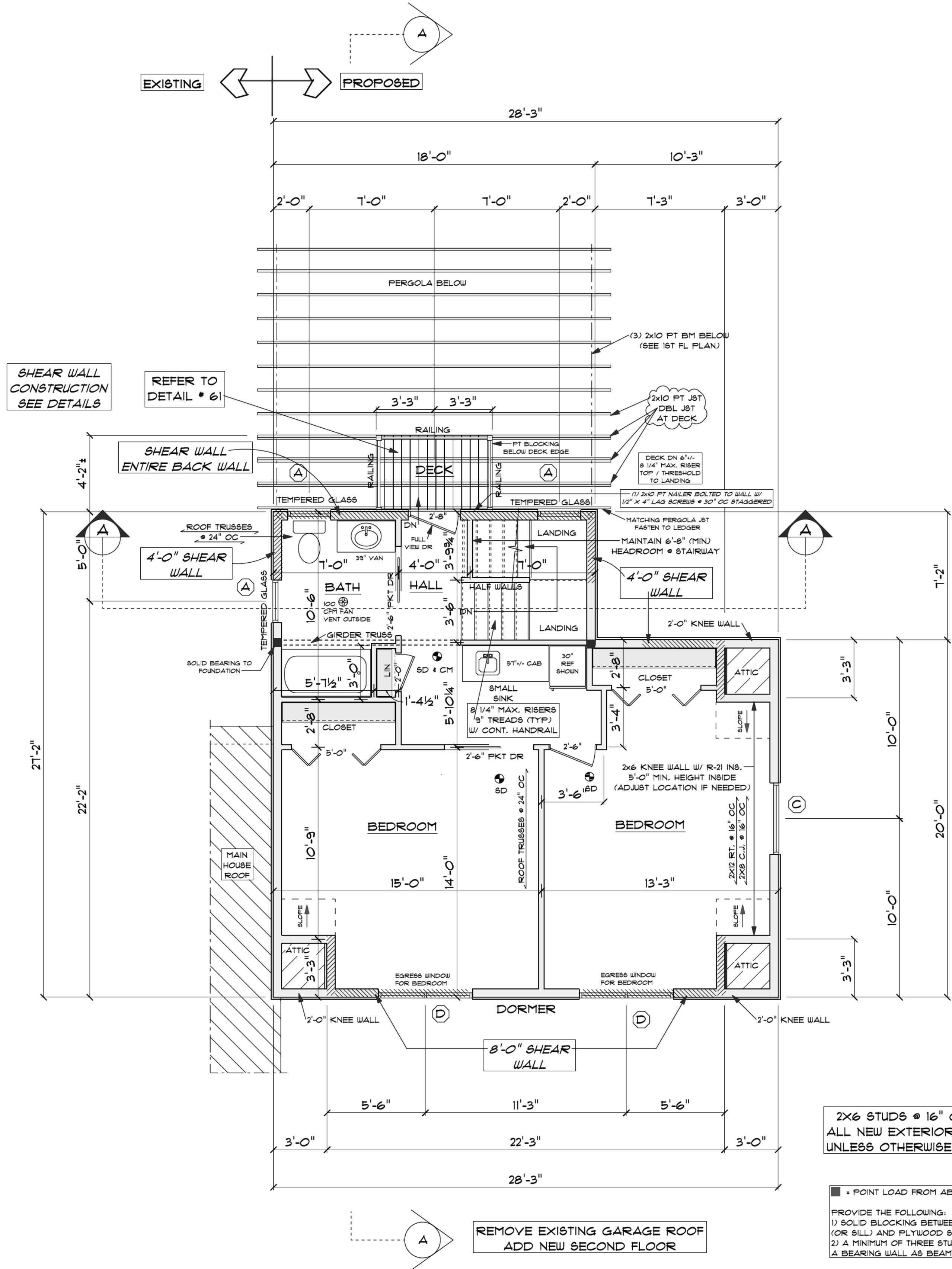
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SCALE NOTED
DATE Tuesday, March 24, 2026
APPROVED DRR
DRAWN BY DRR
DRAWING NUMBER 7438

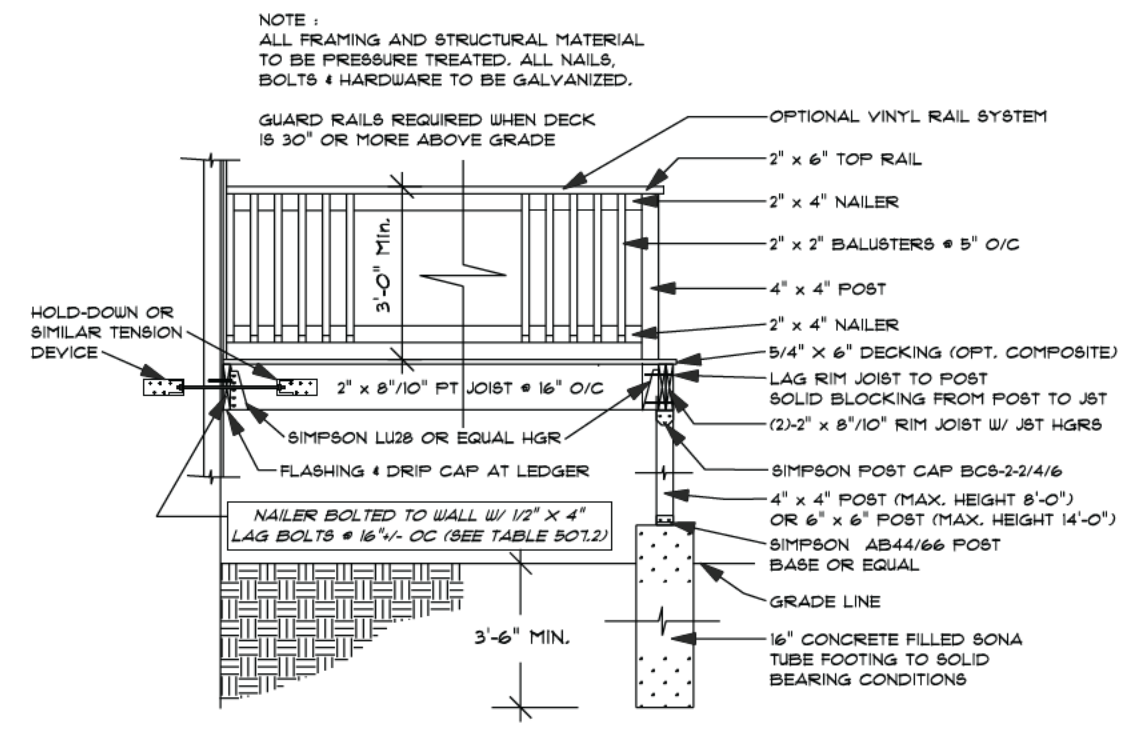
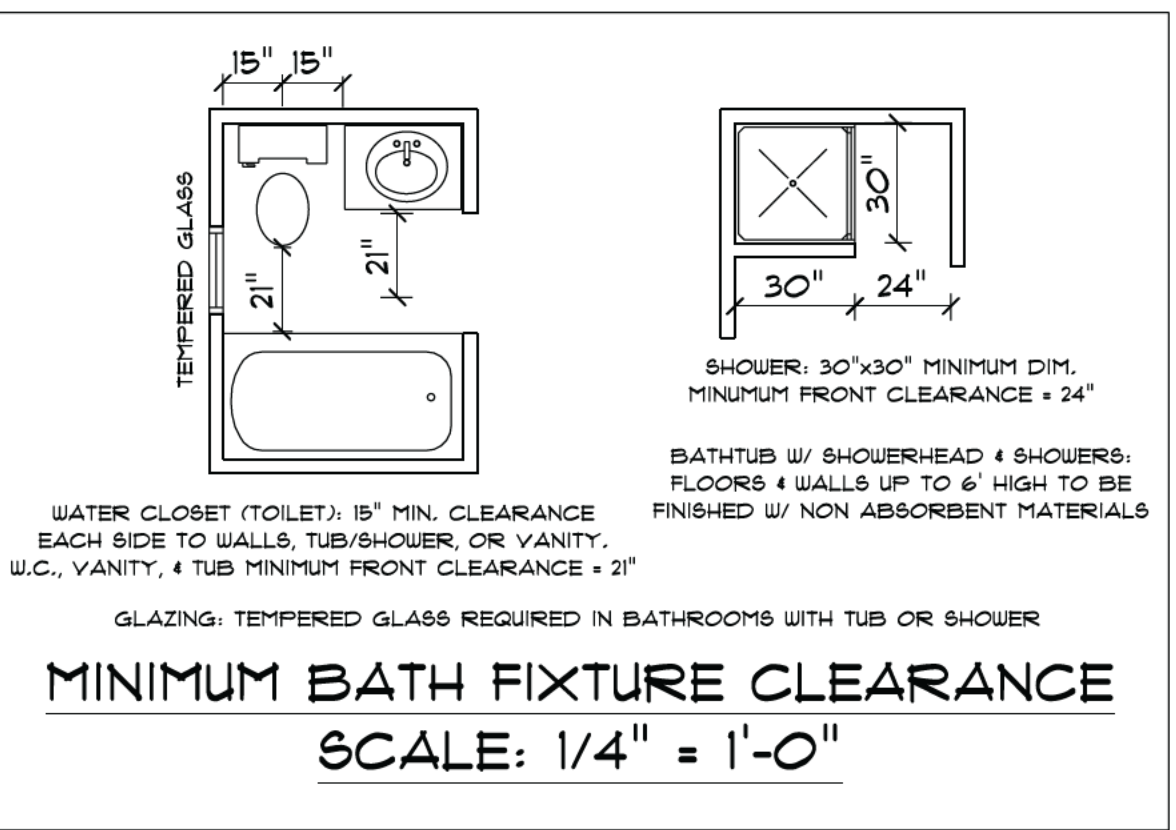
EXTERIOR LIGHT FIXTURE REQUIRED BY EA. DOOR EXACT LOCATIONS T.B.D.

AREA CALCULATIONS:  
 EXISTING RESIDENCE: 5066 SQ FT  
 PROPOSED ADDITION: 904 SQ FT  
 (ADDITION LESS THAN 25%)

ADDITIONS UNDER 25% OF THE EXISTING SQUARE FOOTAGE ARE EXEMPT FROM REQUIRING ADDITIONAL ENERGY EFFICIENCY CREDITS (REFER TO R502.2.5 IN THE 2024 IECC CODE COMPLIANCE)



**PROPOSED SECOND FLOOR PLAN 1/4"=1'-0"**



**LEGEND:**

- SOLID BEARING TO FOUNDATION
- TG TEMPERED GLASS
- SD SMOKE DETECTOR
- SD + CM SMOKE DETECTOR & CARBON MONOXIDE
- HW HOT WATER
- HU HEATING UNIT/ BOILER
- 100 CFM FAN VENTED TO OUTSIDE
- HD HEAT DETECTOR
- WC WALK IN CLOSET
- MC MAKE UP COUNTER
- BEARING WALL
- NEW EXTERIOR WALL
- NEW INTERIOR WALL
- EXISTING EXTERIOR WALLS TO REMAIN
- EXISTING INTERIOR WALLS TO REMAIN
- EXISTING TO BE REMOVED
- Ⓐ WINDOW UNIT NUMBER
- Ⓛ DOOR UNIT NUMBER

2x6 STUDS @ 16" OC AT ALL NEW EXTERIOR WALLS UNLESS OTHERWISE NOTED

• POINT LOAD FROM ABOVE  
PROVIDE THE FOLLOWING:  
1) SOLID BLOCKING BETWEEN BEAM (OR SILL) AND PLYWOOD SUBFLOOR  
2) A MINIMUM OF THREE STUDS IN A BEARING WALL AS BEAM JACKS

**WINDOW SCHEDULE**

VERIFY ALL R.O. W/ FINAL WINDOW ORDER

TYPICAL HEADER = (3)2x10 (DBL JACK REQUIRED FOR OPENINGS OVER 6'-0")  
TYPICAL HEADER HEIGHT = 6'-11" (EXCEPTIONS ARE NOTED ON PLANS)

NOTE: ALL LUMBER SPECIES FOR HEADERS, JOISTS, AND BEAMS TO BE KD SPRUCE NO. 2 OR BETTER.  
ALL LOADS FOR FLOOR JOISTS, RAFTERS, HEADERS AND BEAMS ARE BASED ON THE FOLLOWING:  
FLOOR JOISTS LIVING AREAS: 40 psf LIVE LOAD 20 psf DEAD LOAD  
FLOOR JOISTS SLEEPING AREAS: 30 psf LIVE LOAD 20 psf DEAD LOAD

UNIT	ROUGH OPENING	TYPE	QTY	AREA / SILL FFF	CLR. OPN.	DESIGN PRESSURE
A	CU35	2'-4 1/8" X 3'-5 3/8"	CAS	5	8.0 / 3'-5"	5.1 30
B	CU24	4'-8" X 4'-0 1/2"	DH MUL	1	18.8 / 2'-10"	6.8 EA 30
C	AN41	4'-0" X 1'-8 1/2"	FX TRANSOM	1	6.8 / 5'-2"	1.8 30
D	CX245	5'-3 1/4" X 4'-5 3/8"	CAS MUL	2	26.3 / 2'-5"	10 EA 30
E						
DOORS:						
6068	6'-0" X 6'-8"	SLIDING GL DR	1	39.34 / N/A	14.72	20

ALL TEMPERED WINDOWS ARE CALLED OUT ON FLOOR PLANS:  
BOTH PANES TO BE TEMPERED

**DOOR SCHEDULE**

TYPICAL HEADER = (3)2x10 (DBL JACK REQUIRED FOR OPENINGS OVER 6'-0")  
TYPICAL HEADER HEIGHT = 6'-11" (EXCEPTIONS ARE NOTED ON PLANS)

INTERIOR AND EXTERIOR DOOR SIZES ARE NOTED ON PLANS.  
INTERIOR / EXTERIOR DOOR R.O.: NOTED WIDTH + 2 1/2" (TYPICAL)  
POCKET DOOR R.O.: NOTED WIDTH X 2 + 1" X T-O 1/2" HIGH (TYPICAL)

DESIGN PRESSURE REQUIRED	DESIGN PRESSURE PROVIDED
18.0 / -19.5	30

**EMERGENCY ESCAPE & RESCUE OPENINGS FOR BEDROOMS**

R310.2.1 MINIMUM OPENING AREA  
EMERGENCY AND ESCAPE RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQ. FT. THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION SHALL BE OBTAINED BY THE NORMAL OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM INSIDE. THE NET CLEAR HEIGHT OPENING SHALL BE NOT LESS THAN 24 INCHES AND THE NET CLEAR WIDTH SHALL BE NOT LESS THAN 20 INCHES.

R310.2.2 WINDOW SILL HEIGHT  
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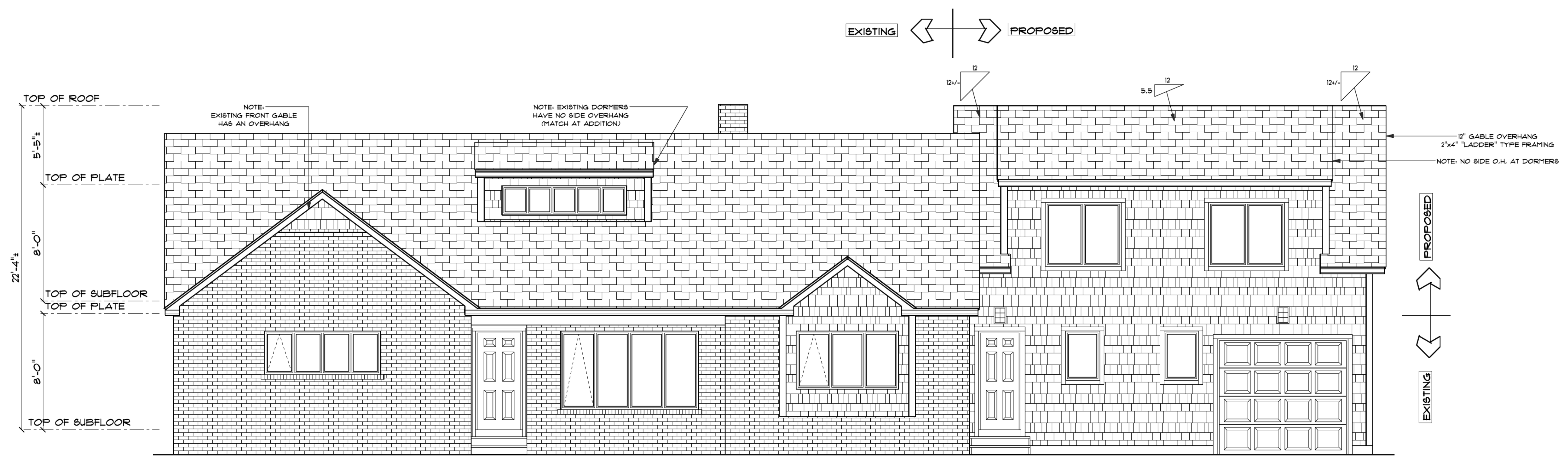
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PREPARED FOR:  
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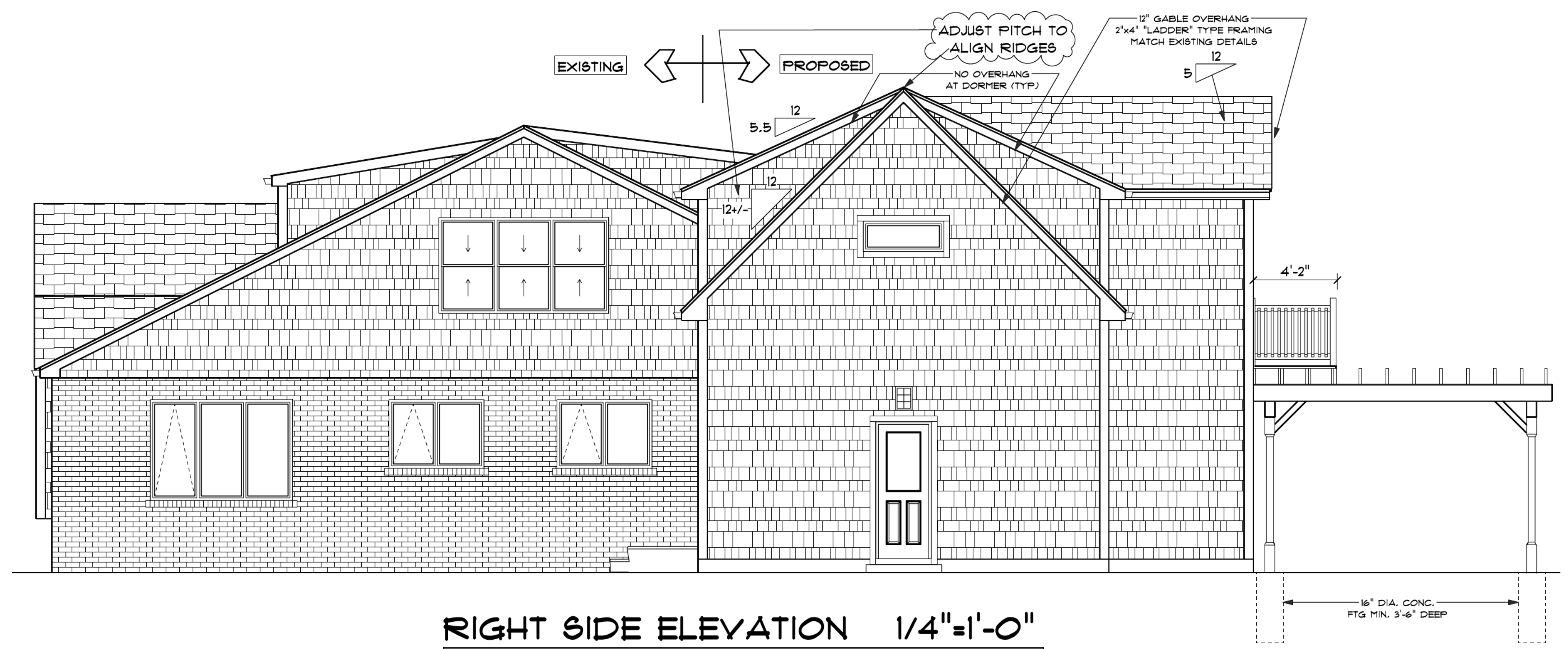
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**SCALE NOTED**  
**DATE**  
Tuesday, March 24, 2026  
**APPROVED**  
DRR  
**DRAWN BY**  
DRR  
**DRAWING NUMBER**  
7438  
3 OF 8

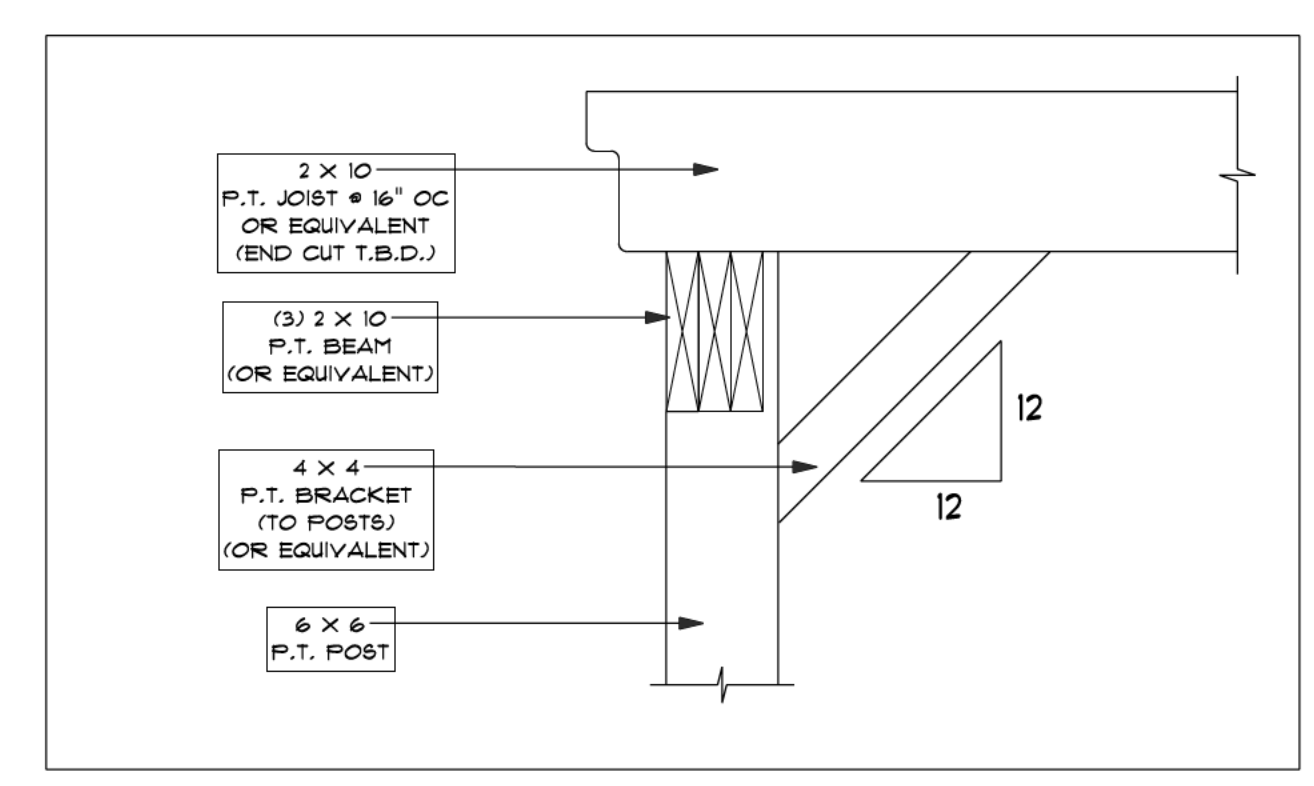


**FRONT ELEVATION 1/4"=1'-0"**

 EXTERIOR LIGHT FIXTURE  
 REQUIRED BY EA. DOOR  
 EXACT LOCATIONS T.B.D.



**RIGHT SIDE ELEVATION 1/4"=1'-0"**



**DETAIL "D"  
PERGOLA BM  
(NOT TO SCALE)**

**PROPOSED TWO-STORY ADDITION**

PREPARED FOR:  
 JOANNE GARNEVALE  
 40 BRENTWOOD AVENUE  
 PROVIDENCE, RHODE ISLAND

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 BUILDER, OR ANY OTHER  
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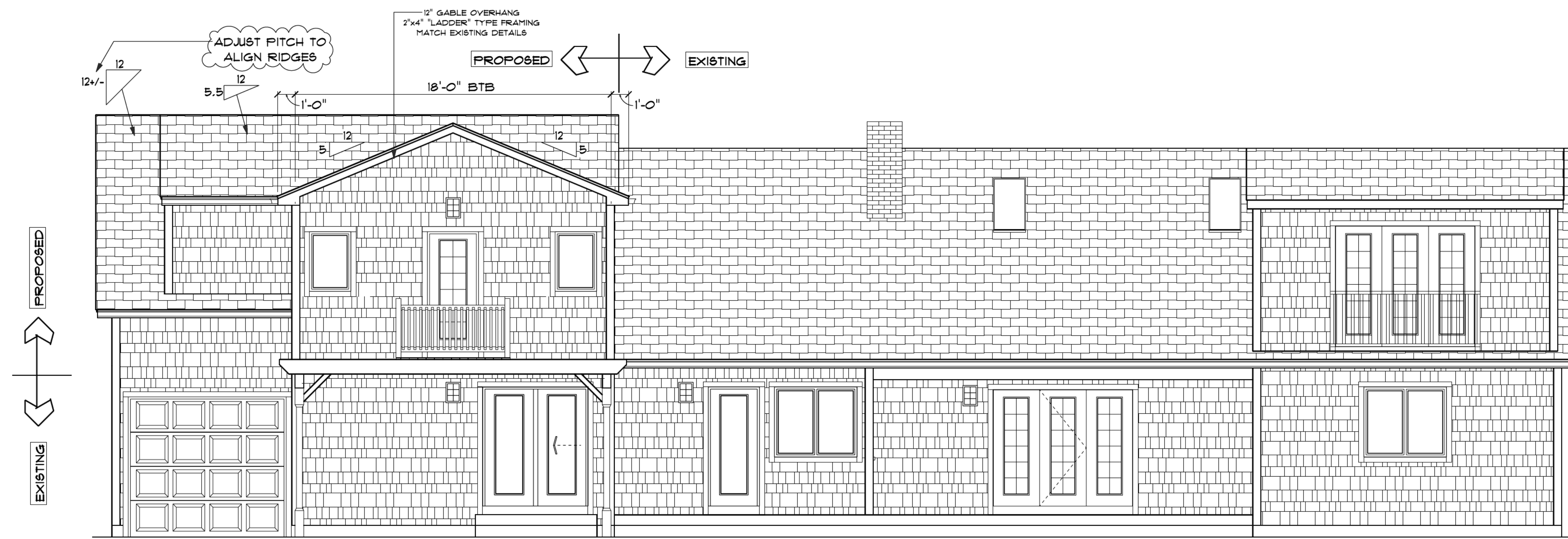
SCALE  
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DATE  
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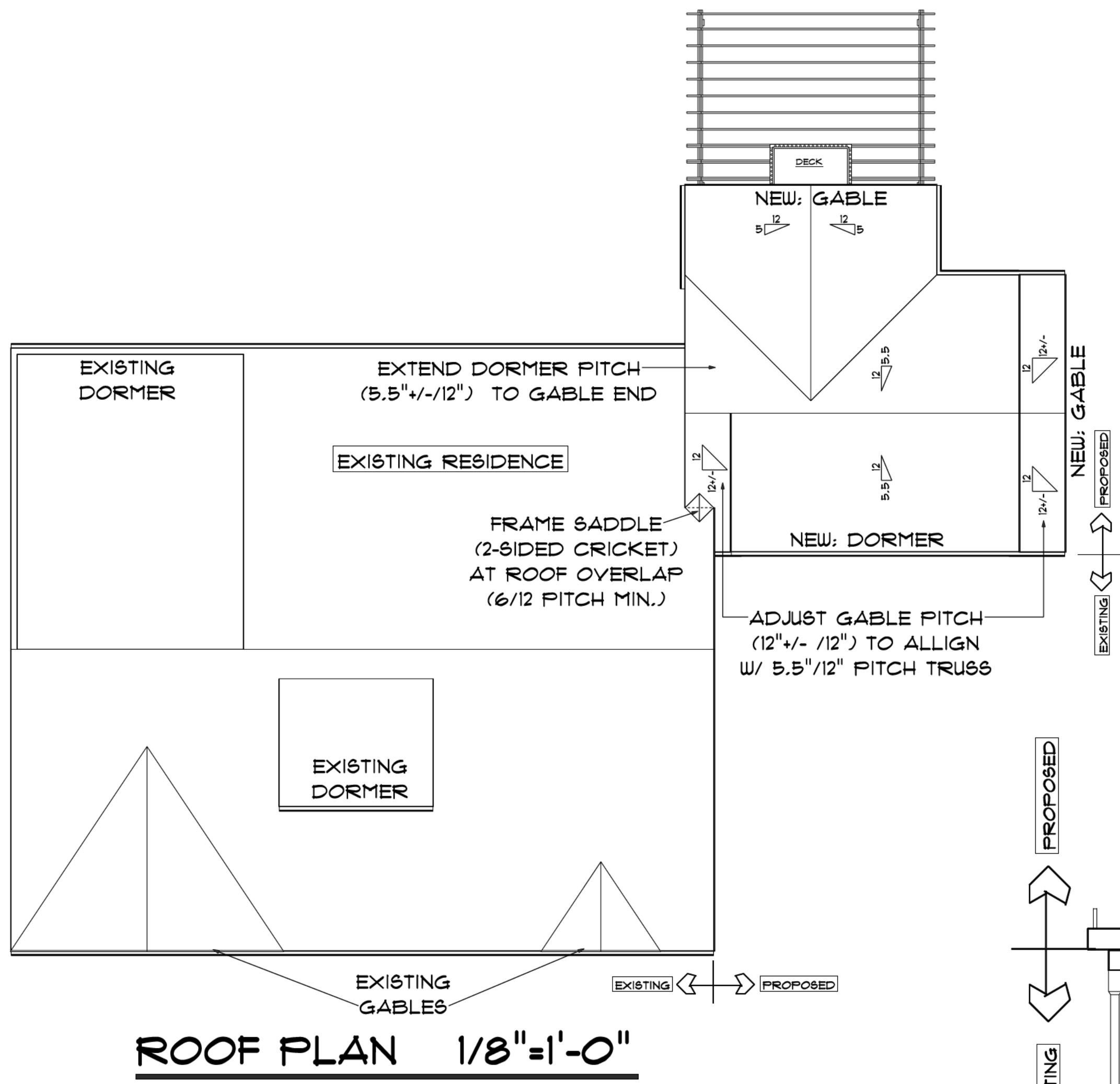
APPROVED  
 DRR

DRAWN BY  
 DRR

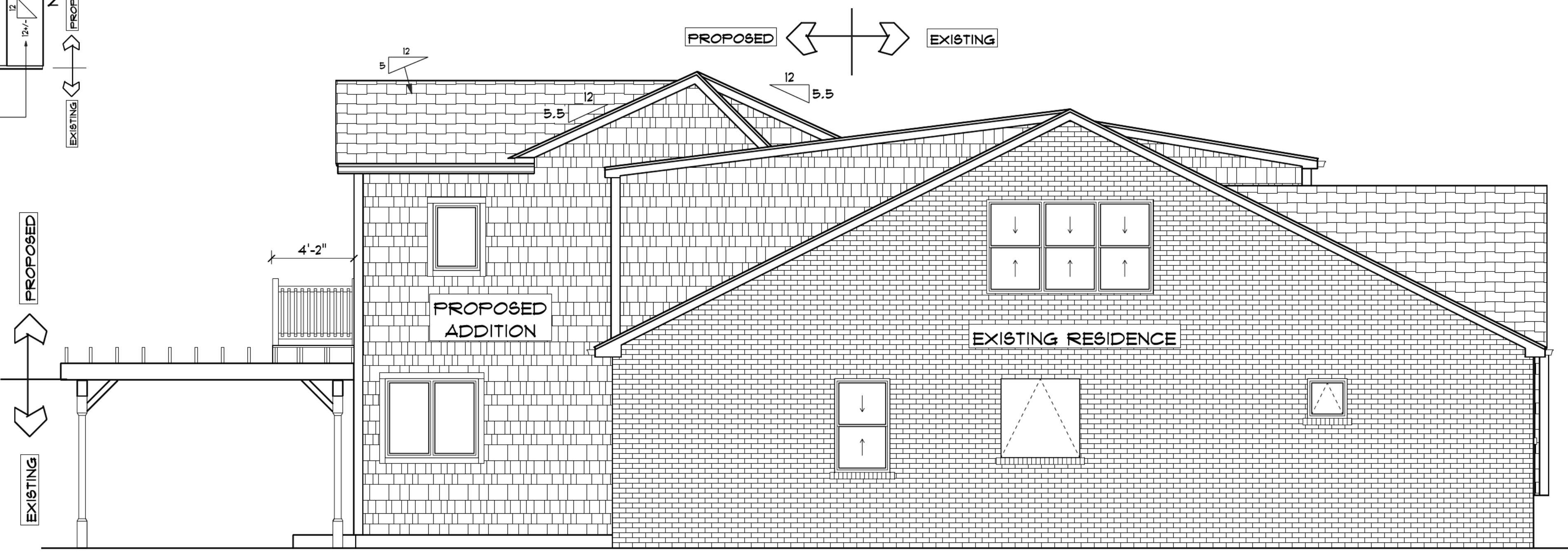
DRAWING NUMBER  
 7438



**BACK ELEVATION 1/4"=1'-0"**



**ROOF PLAN 1/8"=1'-0"**



**LEFT SIDE ELEVATION 1/4"=1'-0"**

**PROPOSED TWO-STORY ADDITION**

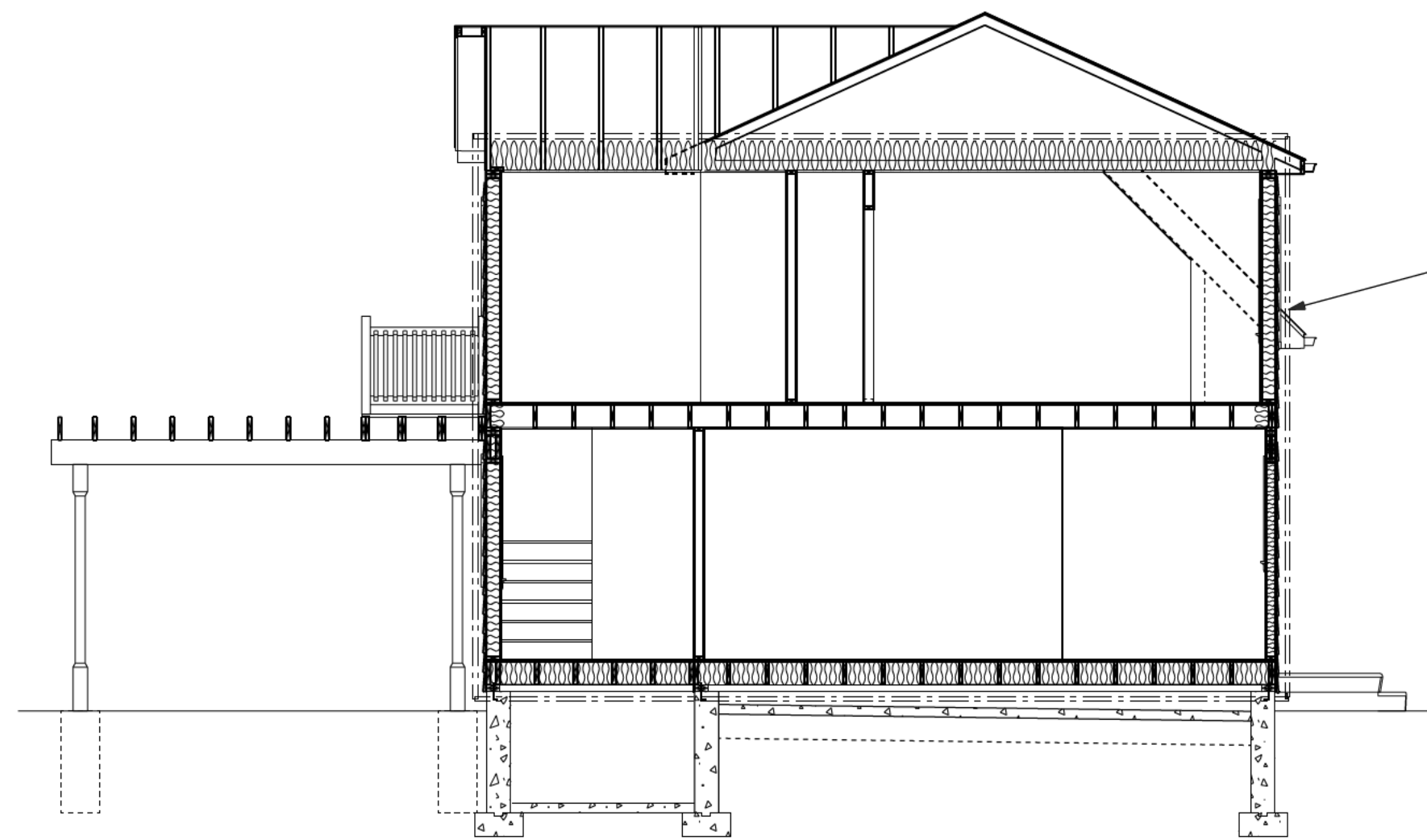
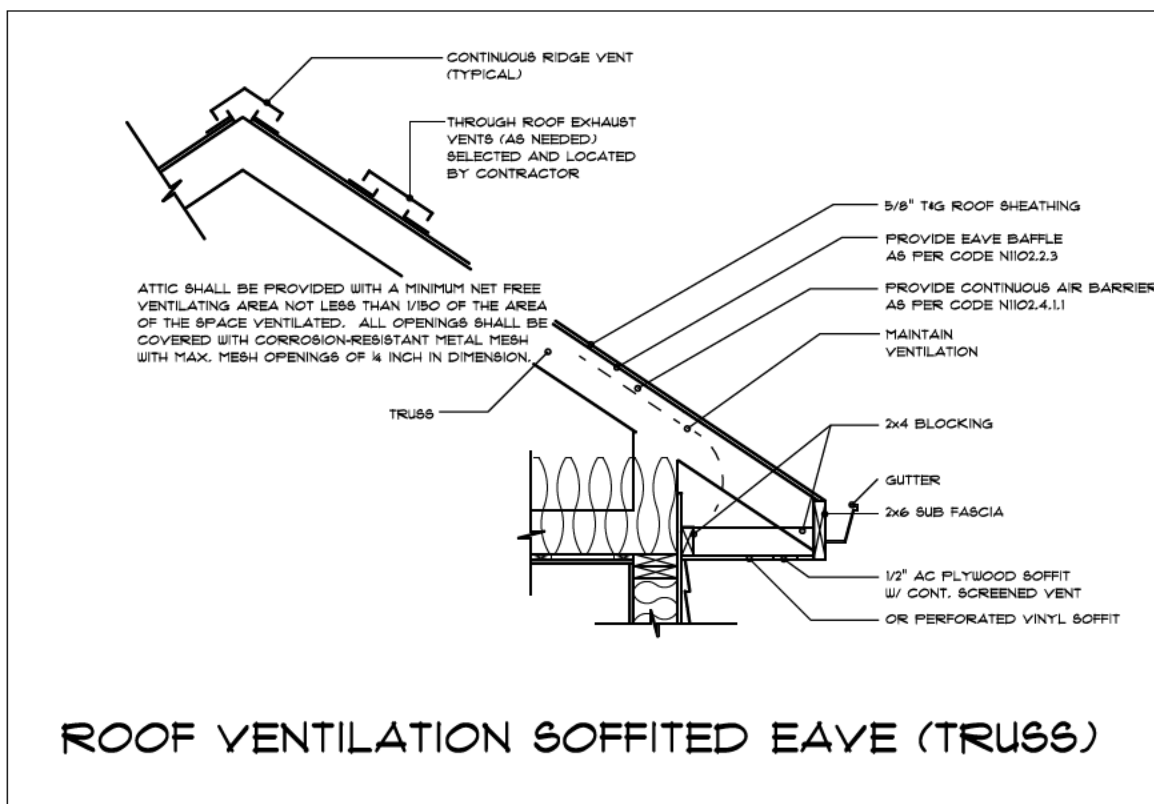
PREPARED FOR:  
 JOANNE CARNEVALE  
 40 BRENTWOOD AVENUE  
 PROVIDENCE, RHODE ISLAND

CONSTRUCTION PLANS ARE DRAFTED FOR SINGLE-USE ONLY. DLR DIMENSIONS, INC. DOES NOT PERMIT THE USE OF PLANS THAT HAVE BEEN TAMPERED WITH BY OUTSIDE PARTIES.

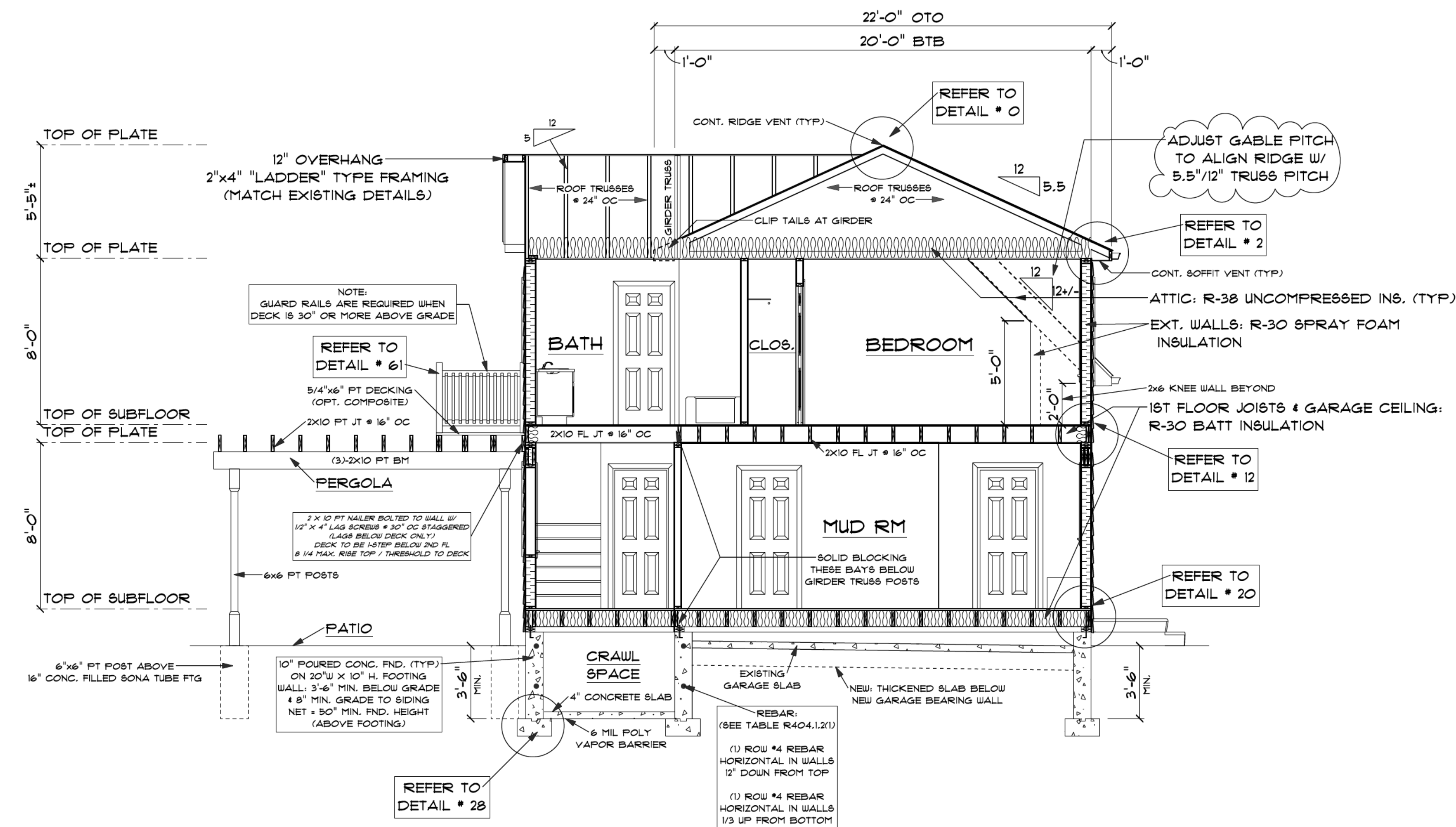
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SCALE NOTED
DATE Tuesday, March 24, 2026
APPROVED DRR
DRAWN BY DRR
DRAWING NUMBER 7438



ADDITIONS UNDER 25% OF THE EXISTING SQUARE FOOTAGE ARE EXEMPT FROM REQUIRING ADDITIONAL ENERGY EFFICIENCY CREDITS (REFER TO R502.2.5 IN THE 2024 IECC CODE COMPLIANCE)



2x6 STUDS @ 16" OC AT ALL EXTERIOR WALLS UNLESS OTHERWISE NOTED

**AIR BARRIER, AIR SEALING, AND INSULATION INSTALLATION (TABLE R402.5.1.1)**

A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING THERMAL ENVELOPE. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED. AIR-PERMEABLE INSULATION SHALL NOT BE USED FOR AIR SEAL

**AIR SEALING / INSULATION DETAILS**

**CEILING / ATTIC:**  
AN AIR BARRIER SHALL BE INSTALLED IN ANY DROPPED CEILING OR SOFFIT TO SEPARATE IT FROM UNCONDITIONED SPACE. ACCESS OPENINGS & DROP DOWN STAIRS TO UNCONDITIONED SPACE SHALL BE SEALED / WEATHER STRIPPED FOR REPEATED ENTRANCE INSULATION IN DROPPED CEILING OR SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER

**WALLS:**  
THE JUNCTION OF FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF TOP PLATE AND TOP OF EXTERIOR WALL SHALL BE SEALED. KNEE WALLS SHALL HAVE AN AIR BARRIER BETWEEN CONDITIONED & UNCONDITIONED SPACE. CAVITIES WITHIN CORNERS & HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH MATERIAL HAVING A MINIMUM R-VALUE OF R-3 PER INCH. EXTERIOR BUILDING THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT & CONTINUOUS ALIGNMENT WITH THE AIR BARRIER

**WINDOWS, SKYLIGHTS, & DOORS:**  
ROUGH OPENING GAPS BETWEEN FRAME & UNITS TO BE SEALED & INSULATED IN ACCORDANCE WITH FENESTRATION MANUFACTURER'S INSTRUCTIONS

**RIM JOISTS:**  
THE JUNCTIONS OF THE RIM BOARD TO THE SILL PLATE OR SUBFLOOR SHALL BE AIR SEALED. RIM JOISTS SHALL INCLUDE AN AIR BARRIER. INSULATION TO MAINTAIN PERMANENT CONTACT WITH EXTERIOR RIM BOARD

**FLOORS (INCLUDING CANTILEVERED FLOORS & FLOORS ABOVE GARAGES):**  
FLOOR FRAMING MEMBERS THAT ARE PART OF THE BUILDING THERMAL ENVELOPE SHALL BE AIR SEALED TO MAINTAIN A CONTINUOUS AIR BARRIER. ALL PERMEABLE FLOOR CAVITY INSULATION SHALL BE ENCLOSED.

**BASEMENT, CRAWL SPACE, & SLAB FOUNDATIONS:**  
EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS 1 VAPOR RETARDER / AIR BARRIER. PENETRATIONS THROUGH CONCRETE FOUNDATION WALLS AND SLABS SHALL BE AIR SEALED

**SHAFTS & PENETRATIONS:**  
DUCT AND FLUE SHAFTS TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE AIR SEALED. UTILITY PENETRATIONS OF THE AIR BARRIER SHALL BE CAULKED, GASKETED OR OTHERWISE SEALED, AND ALLOW FOR EXPANSION / CONTRACTION OF MATERIALS AND MECHANICAL VIBRATION. INSULATION SHALL BE FITTED TIGHTLY AROUND UTILITIES PASSING THROUGH SHAFTS TO MAINTAIN REQUIRED R-VALUE

**NARROW CAVITIES:**  
BATT INSULATION IN NARROW CAVITIES SHALL BE CUT TO FIT SPACE AND ALLOWED TO EXPAND TO FILL OPENING. NARROW CAVITIES OF 1" OR LESS THAT CANNOT BE INSULATED SHALL BE AIR SEALED

**GARAGE SEPARATION:**  
PROVIDE AIR SEAL BETWEEN GARAGE AND CONDITIONED SPACES

**PLUMBING, ELECTRICAL, OR OTHER PENETRATIONS / OBSTRUCTIONS:**  
ALL HOLES CREATED BY WIRING, PLUMBING, ETC IN THE AIR BARRIER ASSEMBLY SHALL BE AIR SEALED & INSULATED. BOXES, HOUSING & ENCLOSURES THAT PENETRATE THE AIR BARRIER SHALL BE CAULKED, TAPED, GASKETED, OR OTHERWISE SEALED TO THE AIR BARRIER ELEMENT BEING PENETRATED

**SHOWERS, TUBS, & FIREPLACES ADJACENT TO THE BUILDING THERMAL ENVELOPE:**  
AN AIR BARRIER SHALL SEPARATE INSULATION FROM SHOWERS, TUBS, OR FIREPLACE ASSEMBLIES

**HVAC REGISTER BOOTS:**  
HVAC SUPPLY & RETURN BOOTS SHALL BE SEALED TO SUBFLOOR, WALL COVERING, OR CEILING PENETRATED BY THE BOOT & BURIED IN / SURROUNDED BY INSULATION

AIR BARRIER MATERIAL OPTIONS:  
HOUSEWRAP, CAULK, GASKET, WEATHER STRIPPING, SELF-SEALING CONTINUOUS MATERIALS (TAPE, ICE & WATER SHIELD, ETC.), CONCRETE, SPRAY FOAM, STRUCTURAL INSULATED PANELS

PROPOSED TWO-STORY ADDITION

PREPARED FOR:  
JOANNE CARNEVALE  
40 BRENTWOOD AVENUE  
PROVIDENCE, RHODE ISLAND

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SCALE NOTED
DATE Tuesday, March 24, 2026
APPROVED DRR
DRAWN BY DRR
DRAWING NUMBER 7438



**GENERAL REQUIREMENTS**

**TYPICAL WINDOWS:**  
 PLANS REFLECT EGRESS WINDOWS IN ALL BEDROOMS AS PER CODE R301.1 (MINIMUM 5.7 SQ. FT.)  
 PLANS REFLECT AGGREGATE GLAZING OF A MINIMUM 8% FOR ALL HABITABLE ROOMS WITH AN OPENABLE AREA TO THE OUTDOORS NO LESS THAN 4% OF THE FLOOR AREA AS PER CODE R303.1

**TYPICAL DETECTORS:**  
 HEAT, SMOKE & CARBON DETECTORS TO BE LOCATED ON PLANS AS PER FIRE PROTECTION CODE R314 & R315

**TYPICAL ATTIC ACCESS:**  
 PROVIDE MINIMUM OF A 22" X 30" ATTIC ACCESS OPENING WITH A VERTICAL CLEARANCE OF NOT LESS THAN 30" AS PER CODE R901.1

**TYPICAL TRUSS SYSTEM:**  
 TRUSSES TO BE DESIGNED, HANDED, INSTALLED AND BRACED IN ACCORDANCE WITH THE RECOMMENDATIONS CONTRACTOR TO PROVIDE APPROVED TRUSS ENGINEERING AND LAYOUT TO BUILDING OFFICIAL PRIOR TO START OF CONSTRUCTION.

**TYPICAL SUBCONTRACTOR TRADES:**  
 HVAC, ELECTRICAL AND PLUMBING DESIGN & CONSTRUCTION TO BE SPECIFIED BY CONTRACTOR / SUBCONTRACTOR AND CONFORM TO ALL APPLICABLE CODES & REQUIRED STANDARDS CORRESPONDING CONSTRUCTION DOCUMENTS SHALL BE PROVIDED BY CONTRACTOR (IF REQUIRED) LOCATION AND SIZE OF OPENINGS FOR VENTS, PIPES, BOXES, ETC TO BE SPECIFIED BY CONTRACTOR / SUBCONTRACTOR

**TYPICAL NAILING SCHEDULE**

**TYPICAL FLOORS:**  
 JOIST TO SILL OR GIRDER, TOE NAIL (3) 8D  
 RIM JOIST TO JOIST (3) 16D  
 3/4" DECK SHEATHING TO FRAMING 8D COMMON NAIL OR 16GA, 1 1/2" STAPLE OR 1/2" RING OR SCREW SHANK NAILS @ 6" FROM EDGE 12" OC

**TYPICAL BUILT-UP GIRDERS AND BEAMS:**  
 NAIL EACH LAYER WITH 10D NAILS @ 32" OC AT TOP AND BOTTOM STAGGERED TWO NAILS AT ENDS AND AT EACH SPLICE

**TYPICAL WALLS:**  
 BOTTOM PLATE TO JOIST 16D @ 16" OC  
 STUD TO BOTTOM PLATE (2) 16D OR (3) 8D  
 STUD TO TOP PLATE (2) 16D OR (3) 8D  
 DOUBLE TOP PLATE (2) 10D @ 24" OC  
 DOUBLE STUDS (2) 16D OR (3) 8D @ 16" OC  
 PLATE LAPs AT CORNERS AND INTERSECTIONS (4) 10D 1/2" WALL SHEATHING TO FRAMING 6D OR 15 GA, 1 1/2" STAPLES OR 1 1/2" RING OR SCREW SHANK NAILS @ 6" FROM EDGES 12" OC

**TYPICAL BUILT-UP HEADERS:**  
 THREE PIECES WITH 1/2" SPACER 16D @ 16" OC ALONG EACH EDGE

**TYPICAL ROOFS:**  
 CEILING JOIST TO PLATE, TOE NAIL (3) 8D  
 CEILING JOIST LAP OVER PARTITION FACE NAIL (3) 10D  
 CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL (5) 16D  
 RAFTER TO PLATE, TOE NAIL (2) 16D  
 5/8" T&G ROOF SHEATHING TO FRAMING 6D OR 15 GA, 1 1/2" STAPLES OR 1 1/2" RING OR SCREW SHANK NAILS @ 6" FROM EDGES 12" OC

**TYPICAL FRAMING SCHEDULE**

**TYPICAL MATERIAL REQUIREMENTS:**  
 ALL FRAMING LUMBER TO BE SPF #2 GRADE OR BETTER

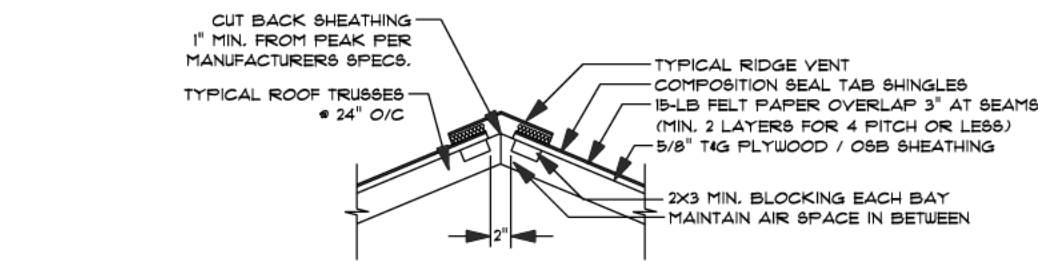
**TYPICAL SHEATHING:**  
 FLOOR TO BE 3/4" THICK T&G OSB / PLYWOOD (OR EQUIVALENT) GLED AND SCREWED  
 ROOF TO BE 5/8" THICK T&G OSB / PLYWOOD (OR EQUIVALENT)  
 WALL TO BE 1/2" (1/16") THICK EXTERIOR GRADE OSB / PLYWOOD (OR EQUIVALENT)

**TYPICAL FLOOR FRAMING:**  
 ALL FLOOR JOISTS TO OVERLAP MIN 3" SQUASH-BLOCKING TO BE ADDED AS REQUIRED TO TRANSFER POINT LOADS DOWN TO FOUNDATION

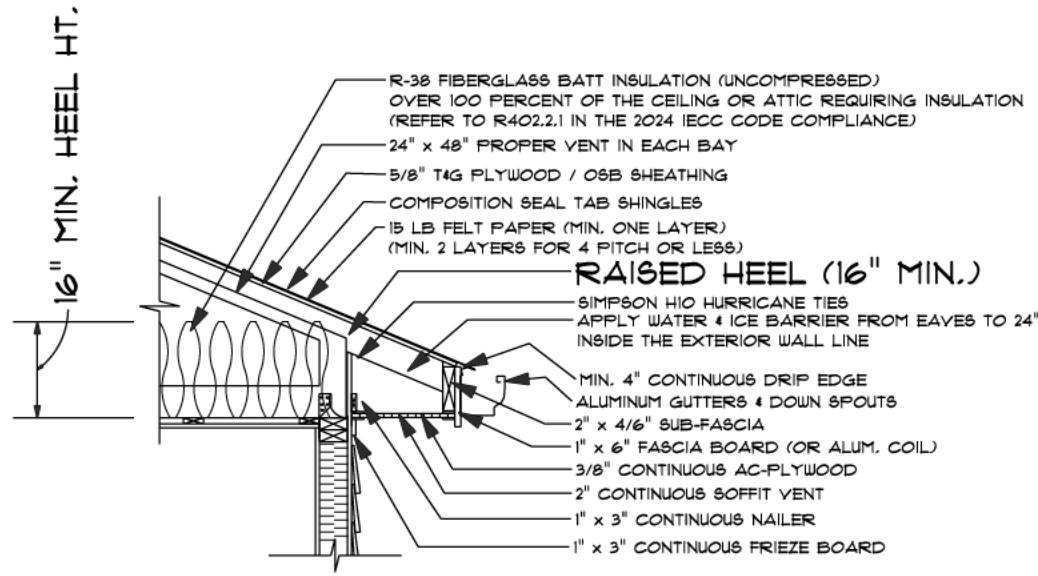
**TYPICAL EXTERIOR DECK:**  
 ALL DECK FRAMING MATERIALS TO BE PRESSURE-TREATED AND ALL HARDWARE TO BE GALVANIZED  
 ALL CUT-ENDS OF PRESSURE-TREATED LUMBER TO BE COATED FOR PROTECTION

**TYPICAL FLASHING:**  
 CORROSION RESISTANT FLASHING SHALL BE APPLIED AT ALL WINDOWS & DOORS, CHIMNEY, END OF MASONRY WALLS, PORCHES, DECKS, ETC AS PER CODE R103.4 PROVIDE FLASHING AT WALLS & ROOF INTERSECTIONS AS PER CODE R303.2.1

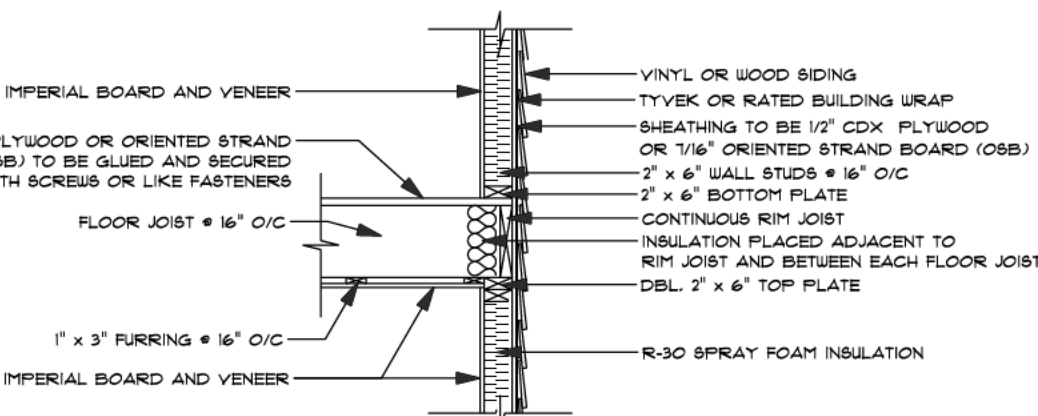
**TYPICAL WEATHERSTRIPPING:**  
 PROVIDE WEATHERSTRIPPING & INSULATION BETWEEN CONDITIONED & NON-CONDITIONED SPACES AS PER CODE N102.2.1



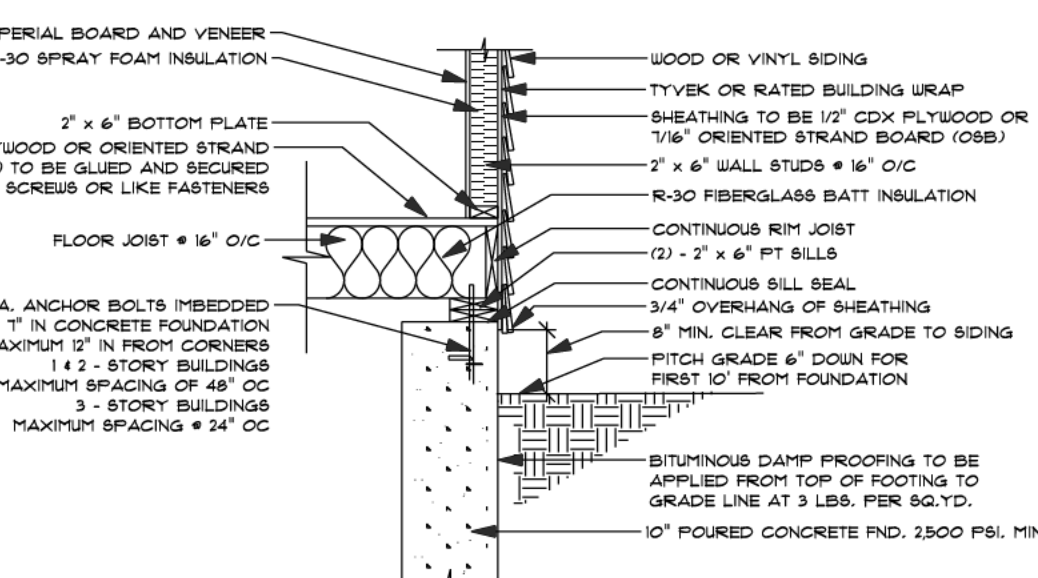
**TYPICAL RIDGE W/ TRUSSES DETAIL #0**  
 INSULATION IS NOT REQUIRED IN GARAGE UNLESS OTHERWISE NOTED IN PLANS



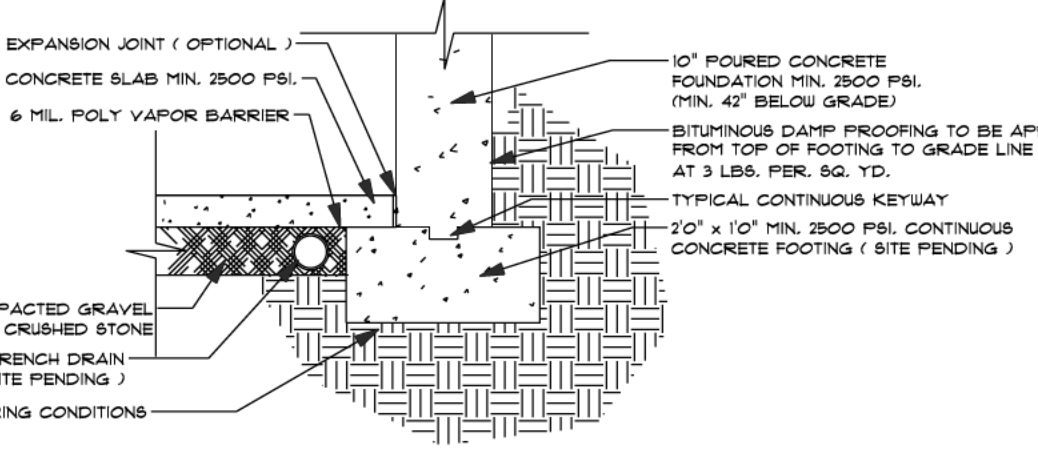
**TYPICAL TRUSS W/ WOOD SOFFIT DETAIL #2**



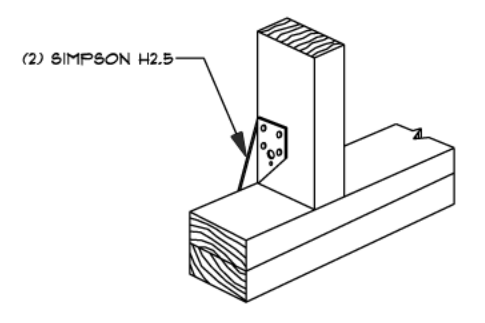
**TYPICAL WALL TO FLOOR TO WALL DETAIL #12**



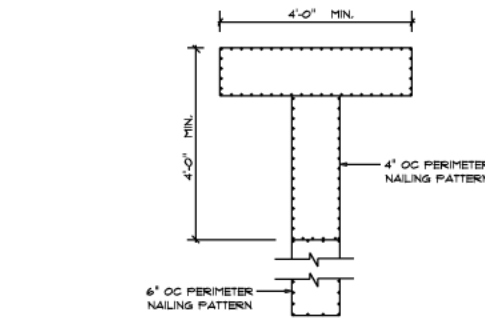
**TYPICAL FLOOR TO FOUNDATION DETAIL #20**



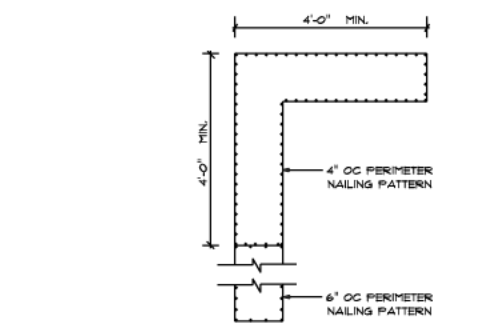
**TYPICAL FOOTING W/ FLOOR DETAIL #28**  
 INSULATION IS NOT REQUIRED IN GARAGE UNLESS OTHERWISE NOTED IN PLANS



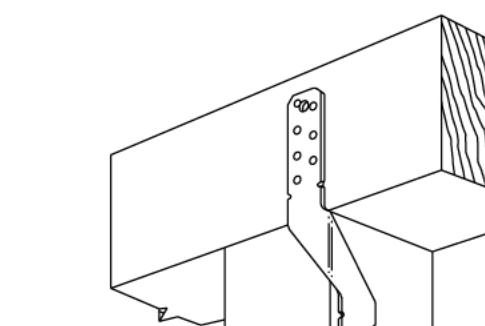
**STUD TO SILL PLATE**



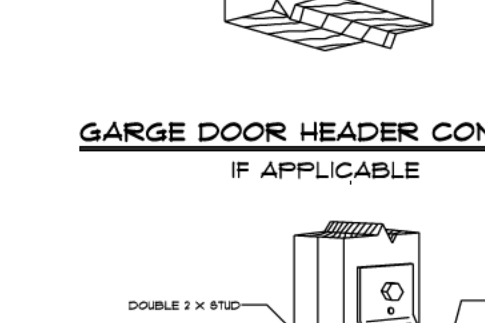
**"I" DETAIL**



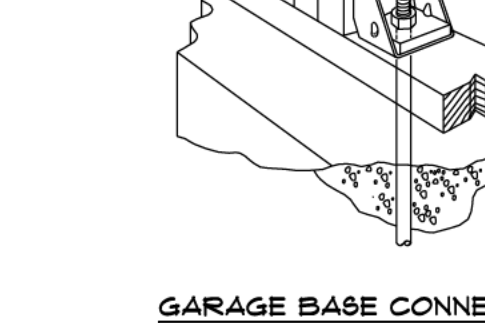
**"L" DETAIL**



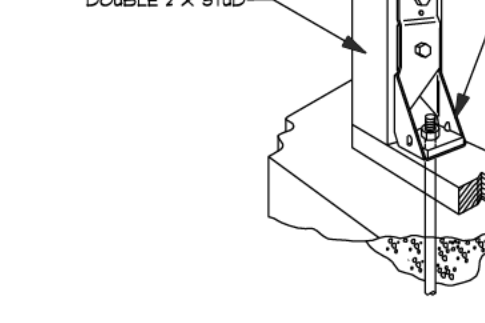
**GARAGE DOOR HEADER CONNECTION IF APPLICABLE**



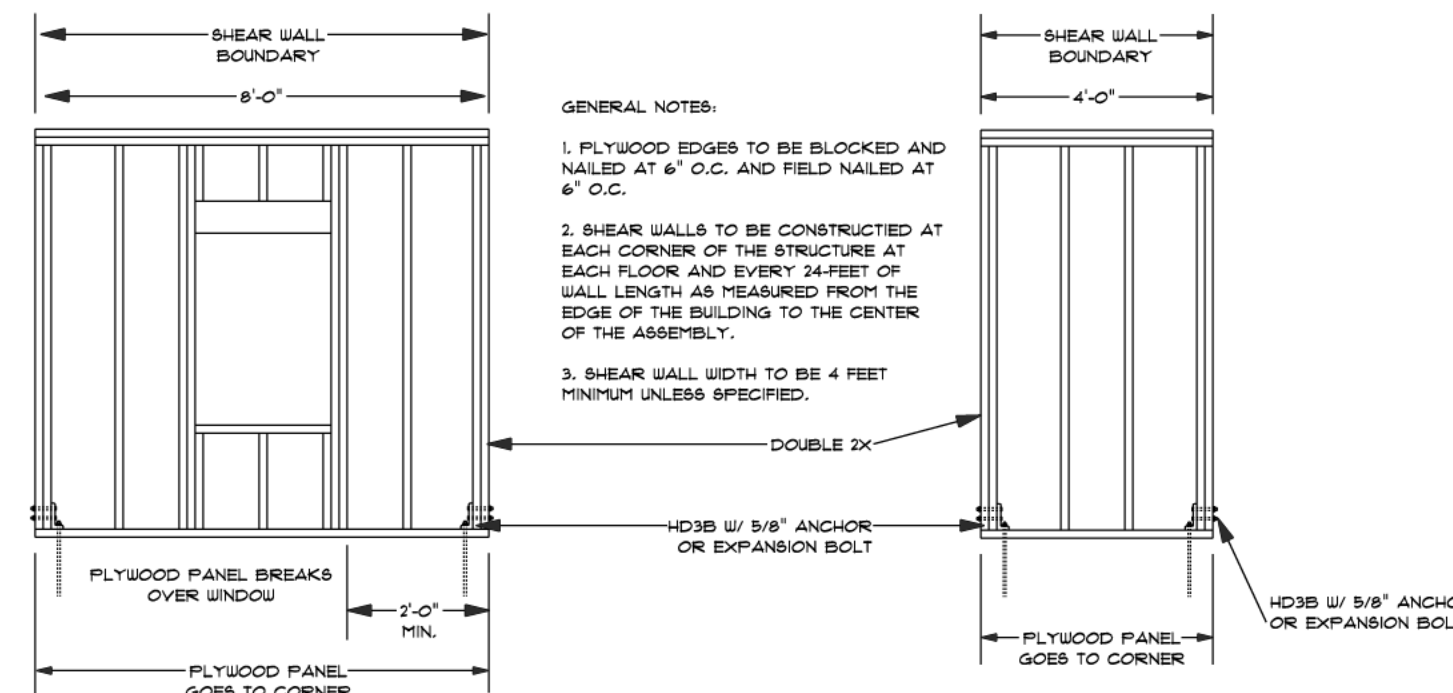
**GARAGE BASE CONNECTION IF APPLICABLE**



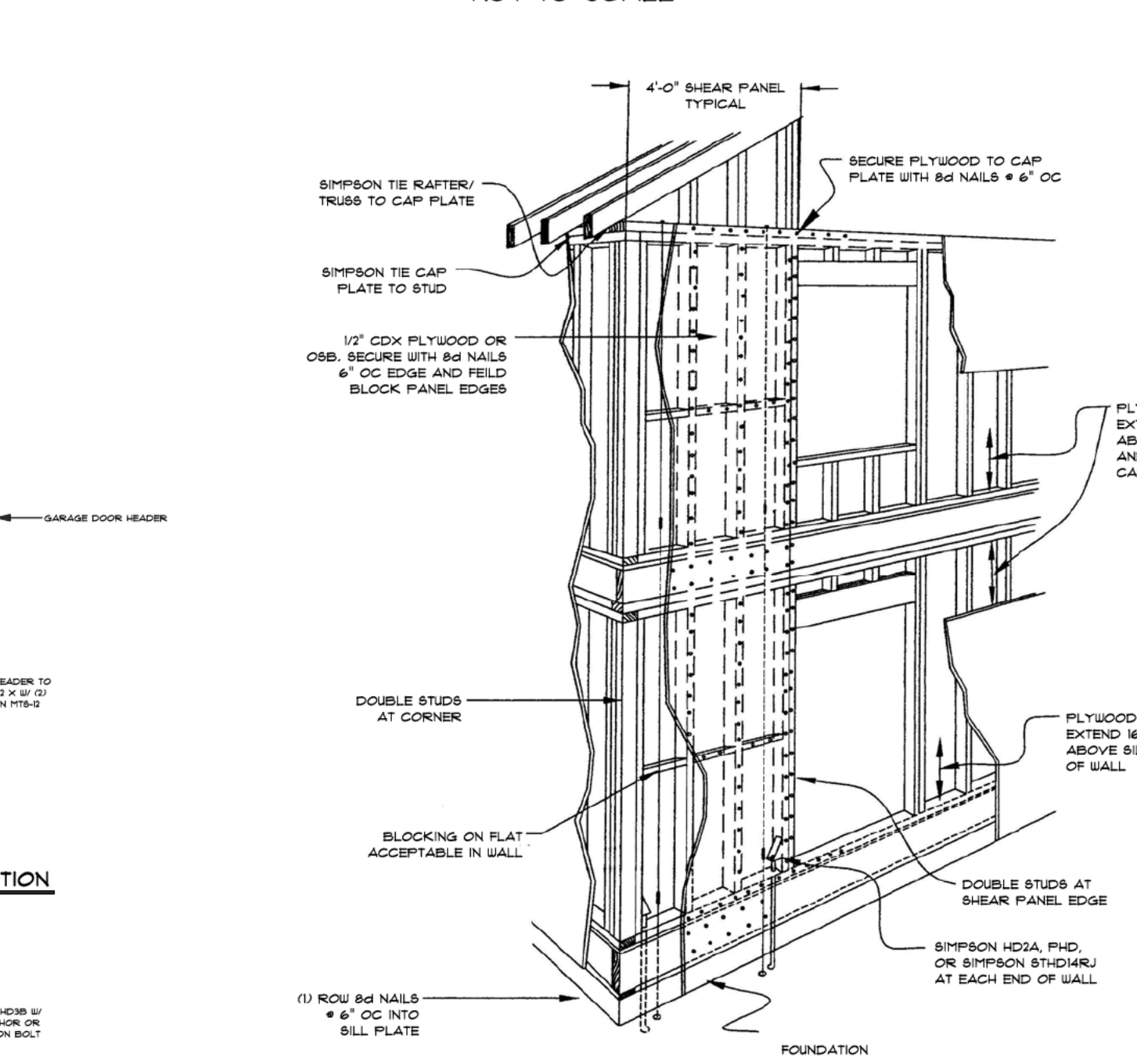
**SHEAR WALL CONNECTION**



**TRUSS TO CAP PLATE CONNECTION**



**SHEAR WALL DETAILS**  
 NOT TO SCALE



**SHEAR WALL CONSTRUCTION DETAIL**

**HIGH WIND PRESCRIPTIVE DESIGN**

**ICC 2021 APPENDIX AA**

**AA 202 ROOFS**

- AA 202.2 ROOF SHEATHING, ROOF ATTACHMENT SHALL NOT BE LESS THAN 1/2" FINISHED THICKNESS.
- AA 202.3 ROOF NAILING, ROOF ATTACHMENT SHALL BE ACCOMPLISHED WITH MINIMUM 8D NAILS AS FOLLOWS:
  1. IN THE 4' PERIMETER EDGE ZONE ALONG THE EDGES, 6" OC
  2. TO THE INTERMEDIATE SUPPORTS WITHIN THE 4' PERIMETER EDGE ZONE, 6" OC
  3. ALONG THE GABLE END WALL OR RAKE, 4" OC
 ALL OTHER AREAS, 6" OC EDGE AND FIELD. INTERMEDIATE ALL SHEATHING EDGES WITHIN THE 4' PERIMETER EDGE ZONE SHALL BE BLOCKED WITH 2x4" MINIMUM ON EDGE INCLUDING THE RIDGE LINE AND SOFFIT/VANG AREA. PROVISIONS FOR VENTILATION AIR SHALL BE MAINTAINED. EXCEPTION: 303 INTERMEDIATE BLOCKING CAN BE ELIMINATED PROVIDED ALL SHEATHING IS 5/8" NOMINAL TONGUE AND GROOVE STRUCTURAL PANELS.
- AA 202.4 RIDGE STRAPS, RIDGE STRAPS 1/4" X 20 GAUGE SHALL BE ATTACHED TO EACH PAIR OF OPPOSING RAFTERS WITH 8-D NAILS AT EACH END INTO THE FRAMING MEMBER.
- AA 202.5 RAKE AND EAVE OVERHANGS, OVERHANGS SHALL BE LIMITED TO 24". LADDER STYLE RAKE OVERHANGS ATTACHED TO THE GABLE END WALLS SHALL BE LIMITED TO 17". CANTILEVERED RAKE OVERHANGS AT GABLE END WALLS SHALL BE LIMITED TO 24".
- AA 202.6 ROOF ASSEMBLY TO WALL ASSEMBLY, A DESIGN WIND LOAD FACTOR OF 25 PSF SHALL BE USED IN CONNECTION WITH TABLE R902.1 TO ESTABLISH THE REQUIRED STRENGTH OF RAFTER-TIE DOWN CONNECTIONS TO WITHSTAND UPLIFT FORCES. USE SIMPSON TIE H2O CLIP WITH ROOFS. UPLIFT EACH FOR EACH TRUSS/RAFTER.

**AA 203 WALLS**

- AA 203.1 WALL SHEATHING, WALL SHEATHING SHALL BE A MINIMUM 1/4" STRUCTURAL PANEL. NAILING SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
  1. AT THE TOP PLATE OR PLATES, THE SHEATHING SHALL EXTEND FROM THE TOP OF THE TOP PLATE TO A MINIMUM OF 6" BEYOND THE STUD-TO-BOTTOM-PLATE CONNECTION. 2. MINIMUM OF 4 NAILS SHALL BE USED AT EACH STUD FASTENING, AND EDGEMANDED TO EACH PLATE AT 6" OC.
  2. IF THE STUDS ARE SPACED GREATER THAN 16" ON CENTER, THE WALL SHEATHING SHALL BE CONTINUOUS AND UNINTERRUPTED FOR A DISTANCE OF 16" BEYOND BOTTOM OF BOTTOM PLATE BELOW WITH A MINIMUM OF 4 NAILS AT EACH STUD, AND EDGEMANDED AT 6" OC TO FLOOR JOIST LEADER FRAMING.
  3. AT THE BOTTOM OF THE WALL ASSEMBLY TO THE FOUNDATION SILL PLATE, THE WALL SHEATHING SHALL BE CONTINUOUS FROM A POINT 18" ABOVE THE TOP OF THE BOTTOM JOIST PLATE TO THE BOTTOM OF THE FOUNDATION SILL, WITH A MINIMUM OF 4 NAILS AT EACH STUD, 6" FIELD NAILED, AND EDGE NAILED TO THE FOUNDATION SILL PLATE AT 6" OC.
- AA 203.2 SHEAR WALLS, A 4' SECTOR OF WALL SHEATHING SHALL BE DESIGNATED AS A SHEAR WALL AT EACH CORNER OF THE STRUCTURE AT EACH FLOOR AND EVERY 4' HORIZONTAL OF WALL LENGTH. THE FOLLOWING ADDITIONAL REQUIREMENTS APPLY:
  1. NO OVERHANGS ARE PERMITTED WITHIN THIS 4' SECTION.
  2. SECTION SHOULD BE DESIGNATED AS A SHEAR WALL AT EACH CORNER OF THE STRUCTURE PROVIDING THE LENGTH OF THAT SHEAR PANEL IS INCREASED TO 8'.
  3. SHEAR WALLS SHALL BE BLOCKED AND NAILED AT 4' ON, AND FIELD NAILED AT 6" OC.
  3. STUDS SHALL BE DOUBLED AT EACH END OF THE SHEAR WALL PANEL.
- AA 203.3 FOUNDATION ANCHOR BOLTS, ANCHOR BOLTS SHALL BE INSTALLED IN ACCORDANCE WITH SECT. R403.1.6 AND THE FOLLOWING:
  1. 1-2 STORY BUILDINGS - 1/2" X 24" ON 36" OR 36" X 36" ON 36"
  2. 3 STORY BUILDINGS - 1/2" X 24" ON 36" OR 36" X 36" ON 36"
- AA 203.4 WALL FRAMING
  1. EXTERIOR BEARING AND NON-BEARING WALLS GREATER THAN 10' IN HEIGHT SHALL BE 2 X 6" @ 16" MIN. WALLS GREATER THAN 10' IN HEIGHT SHALL BE 2 X 6" @ 16" MIN. PREVIOUS TO THE WALL IS LIMITED TO 10' IN LENGTH AND THE INDIVIDUAL STUDS ARE NOT GREATER THAN 9' IN LENGTH.

**PROPOSED TWO-STORY ADDITION**  
 PREPARED FOR:  
 JOANNE CARNEVALE  
 40 BRENTWOOD AVENUE  
 PROVIDENCE, RHODE ISLAND

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<b>SCALE</b>	NOTED
<b>DATE</b>	Tuesday, March 24, 2026
<b>APPROVED</b>	DRR
<b>DRAWN BY</b>	DRR
<b>DRAWING NUMBER</b>	7438

BOOK 2201 PAGE 32

WARRANTY DEED

ROBERT A. CARNEVALE and JOANNE B. CARNEVALE, husband and wife,  
both of 40 Brentwood Avenue, Providence, Rhode Island

for consideration paid, grant to: ROBERT A. CARNEVALE, a one-  
half interest and to JOANNE B. CARNEVALE, a one-half interest, in  
and to the following described real property:  
*40 Brentwood Avenue, Providence, R.I.*

with WARRANTY COVENANTS

Two certain lots or parcels of land, together with all the  
buildings and improvements thereon, situated in the City and  
County of Providence, State of Rhode Island, on the southeasterly  
side of Brentwood Avenue and laid out and delineated as lots  
numbered nine (9) and ten (10) on a plat entitled, "MACRAE PLAT  
owned by John M. Humphrey in Providence, R.I. September, 1939  
C.A. Thayer Eng.", which said plat is recorded in the Office of  
the Recorder of Deeds in said Providence in Plat Book 41 at Page  
24.

Subject to restrictions of record.

Subject to mortgage to Citizens Savings Bank.

For back title reference, refer to that certain Warranty  
Deed from Thomas D. Pucci et ux recorded January 31, 1986 in Book  
1330 at Page 52 in the Providence Land Records.

The purpose of this conveyance is to identify the actual  
ownership interest of the parties in and to said real estate.

The consideration for this conveyance is such that no

*[Handwritten signature]*

BOOK 2201 PAGE 33

revenue stamps are required.

WITNESS our hands and seals this 6<sup>th</sup> day of March, 1990.

Robert A. Carnevale  
ROBERT A. CARNEVALE

Joanne N. Carnevale  
JOANNE N. CARNEVALE

STATE OF RHODE ISLAND  
County of Providence

In Pawtucket on the 6<sup>th</sup> day of March, 1990, before me personally appeared the above named grantors, Robert A. Carnevale and Joanne N. Carnevale, to me known and known by me to be the parties executing the foregoing instrument and they acknowledged said instrument, by them executed, to be their free act and deed.

Stuart L. Poulos  
NOTARY PUBLIC

Received for record at 12 o'clock 53 min. P.M.

MAR 08 1990

Robert L. Burt  
Recorder of Deeds

RETURN TO:  
100 Exchange Street  
Providence, RI 02903

BOOK 2201 PAGE 34

WARRANTY DEED

ROBERT A. CARNEVALE and JOANNE N. CARNEVALE, husband and wife, both of the City and County of Providence, Rhode Island (each being the holder of a one-half interest in the below described real property)

for consideration paid, grant to: ROBERT A. CARNEVALE and JOANNE N. CARNEVALE, both of 40 Brentwood Avenue, Providence, Rhode Island, as tenants by the entirety and not as joint tenants or tenants in common

with WARRANTY COVENANTS

Two certain lots or parcels of land, together with all the buildings and improvements thereon, situated in the City and County of Providence, State of Rhode Island, on the southeasterly side of Brentwood Avenue and laid out and delineated as lots numbered nine (9) and ten (10) on a plat entitled, "MACRAE PLAT owned by John M. Humphrey in Providence, R.I. September, 1939 C.A. Thayer Eng.", which said plat is recorded in the Office of the Recorder of Deeds in said Providence in Plat Book 41 at Page 24.

Subject to restrictions of record.

Subject to mortgage to Citizens Savings Bank.

The consideration for this conveyance is such that no revenue stamps are required.

WITNESS our hands and seals this 6<sup>th</sup> day of March, 1990.

Robert A. Carnevale  
ROBERT A. CARNEVALE

Joanne N. Carnevale  
JOANNE N. CARNEVALE

STATE OF RHODE ISLAND  
County of Providence

In Pawtucket on the 6<sup>th</sup> day of March, 1990, before me personally appeared the above named grantors, Robert A. Carnevale and Joanne N. Carnevale, to me known and known by me to be the parties executing the foregoing instrument and they acknowledged said instrument, by them executed, to be their free act and deed.

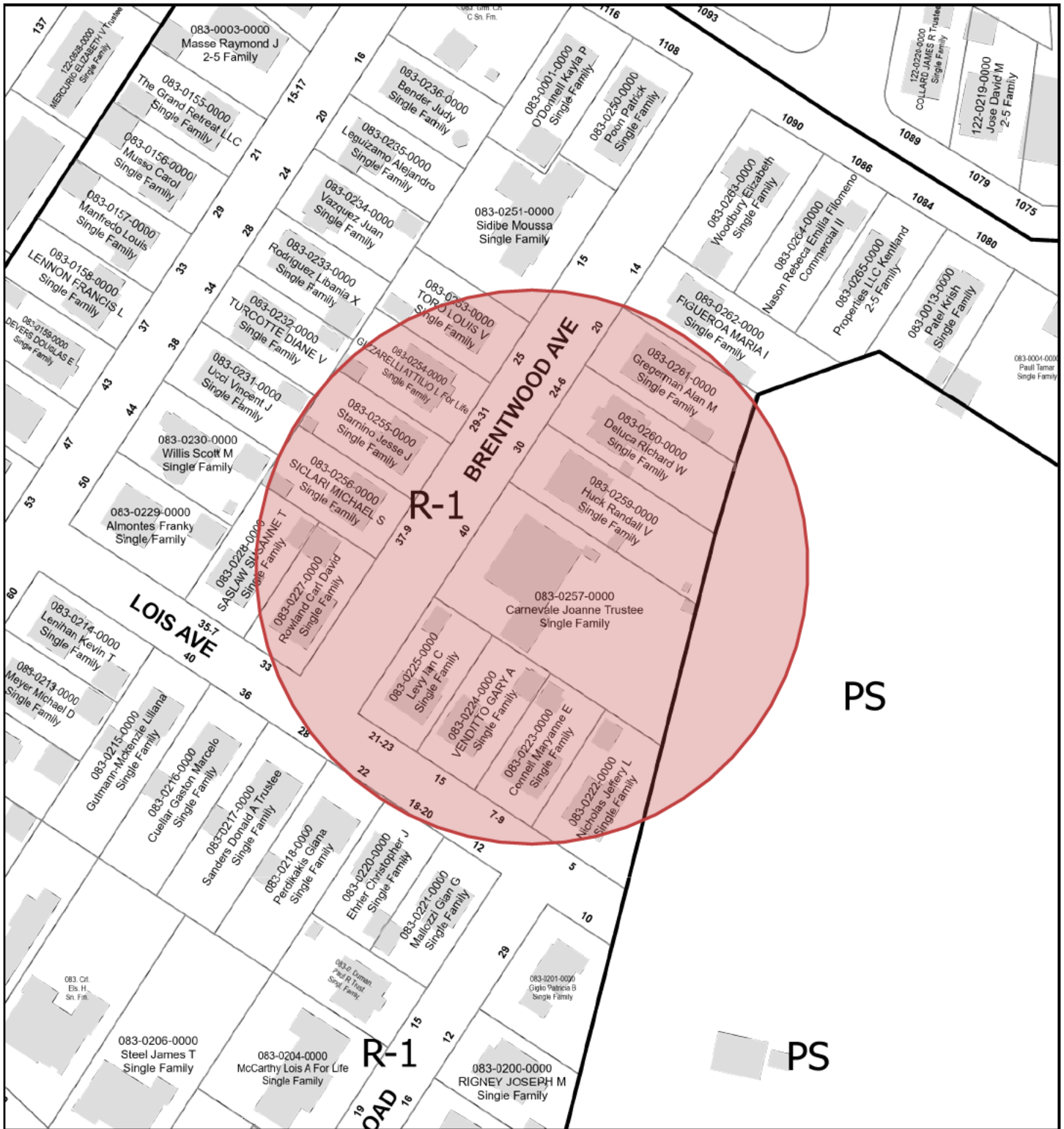
Notary Public  
NOTARY PUBLIC

Received for Record at 12 o'clock 56 min. P.M.

MAR 08 1990

Robert L. Riccio, Recorder of Deeds

# Radius Map - 40 Brentwood Ave



5/15/2026, 9:19:37 AM

1:1,640

- Override 1
- Zoning
- Override 1
- Parcels
- Plat Boundaries
- Buildings

