

CITY OF PROVIDENCE
BUILDING BOARD OF REVIEW

JAN 21 2020

Date: 01/15/20

To the Building Board of Review:

Petition for variation or modification of the application of certain provisions of the Rhode Island State Building Code:

Owner: Anibal & Yahira Ramos Tel. No. 401-996-3518

Address: 243 Providence St, Providence, RI Zip Code 02903

Applicant: Same Tel. No.

Address: Zip Code

Lessee: Tel. No.

Address: Zip Code

1. Location of subject property: 417 Cranston St

2. Assessor's Plat(s) AP Lot(s) 256 \$257

3. Dimensions: Lot # frontage depth area 6356 sq. ft.

Lot # frontage depth area sq. ft.

Lot # frontage depth area sq. ft.

4. Zoning District(s): C-1, Overlay District:

5. Present Use of Premises (each lot): Vacant

6. Legal Use of Premises as recorded in the Department of Inspection & Standards:
One Family Dwelling.

7. Proposed Use of Premises 3 family Dwelling

8. Type of Construction VB

9. Are the Premises located within the Historic District: Yes No

If yes, have the plans been approved by the Providence Historic District Commission?

Yes No

10. Are there outstanding violations concerning the:
 RI State Building Code
 Zoning Ordinance
 Housing Code

LOQA ENGINEERS, LLC
CONSULTING ENGINEERS
49 BATCHELLER AVENUE
PROVIDENCE, RI 02904
401-751-5529
rjloqa@verizon.net
January 14, 2020

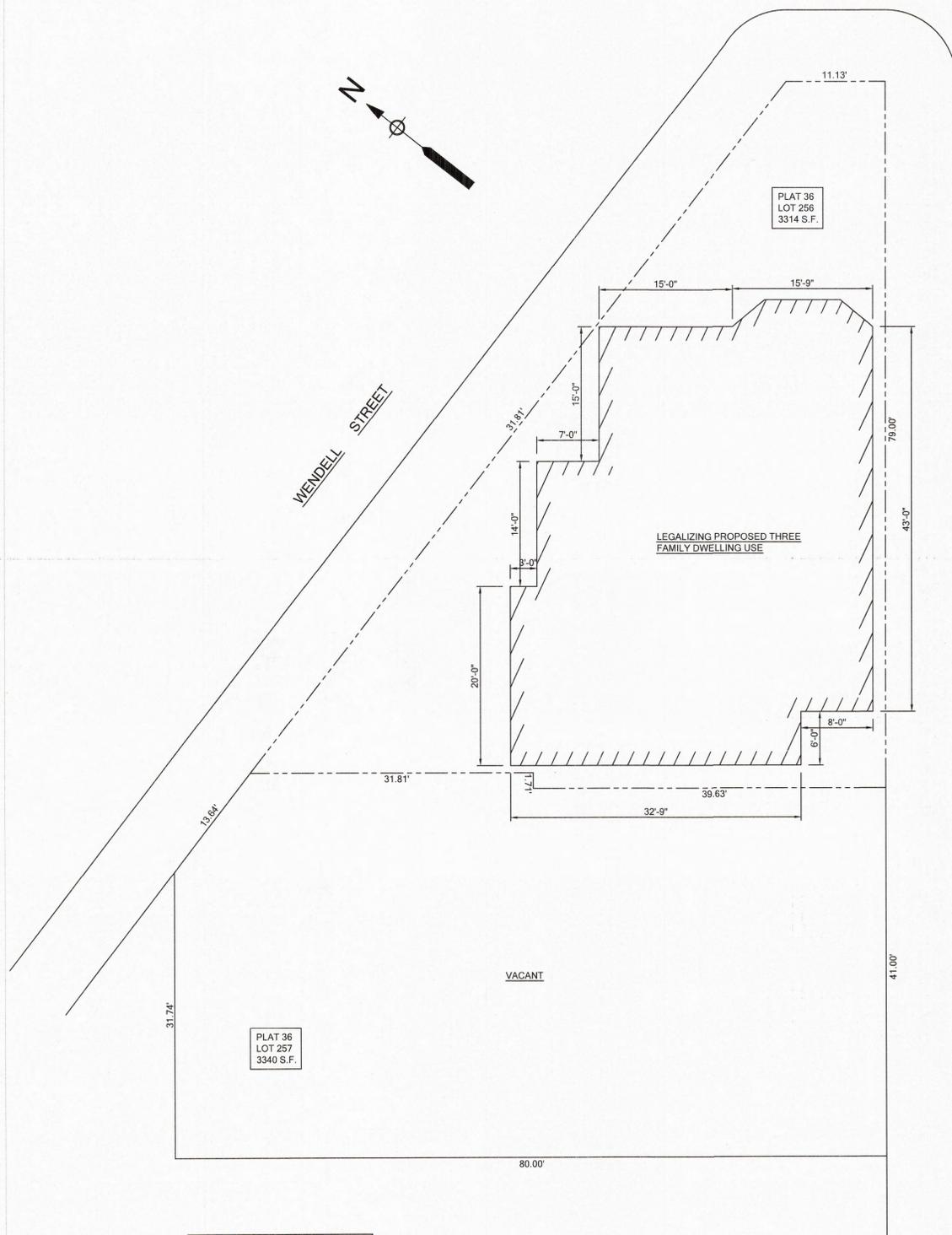
List of Building Code Variances for 417 Cranston Street, Providence, RI

1. Table 504.4 - Allowable Number of Stories Above Grade
2. Section 903.2.8 - Use Group R (Sprinklers)
3. Section 1101.5.3 - Winder Treads
4. Section 1011.6 - Stairway Landing
5. Section 1011.11 - Handrails
6. Section 1023.1 - Interior Stairway Enclosure
7. Section 1015.8 - Window Sill Height
8. Section 1011.3 - Headroom

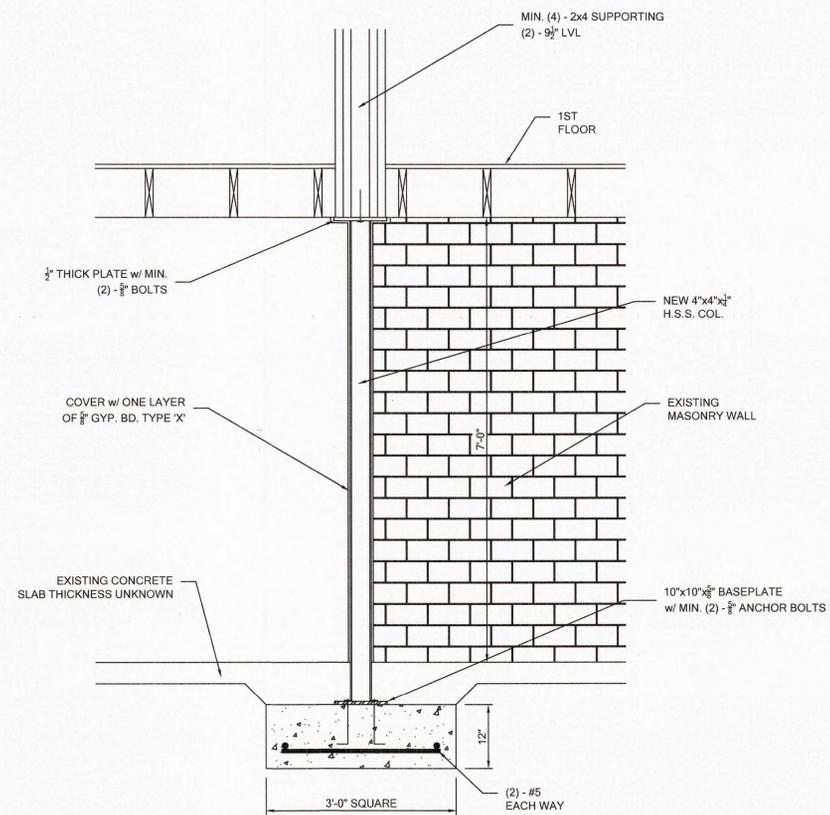
Explanation of Variances

1. This existing three story building was totally gutted, and a layer of 5/8" gypsum board type "x" will be applied to all members rendering close to VA construction. Relief is still needed for the three story heights.
2. It is a physical hardship to install new sprinklers throughout the building at this time as required, due to the change of use from "R-3" (One & Two Family) use to Multi-family Dwelling (3). There are two means of egress provided at all levels with proper smoke alarms at the two stairwells. New 60 minute fire-rated doors will be added at all stairway exit doors at both stairwells.
3. Relief is sought due to existing conditions. Both stairways have 36" or more of width and existing winders. Stairways will have code compliant rails on both sides.
4. See 3.
5. See 3.
6. Both existing stairwells at the first floor will have one layer of 5/8" gypsum board applied to each side of their enclosures; however, the continuity might not comply with the code.

7. The building code requires a minimum 36" sill height for windows. There are existing windows that have a sill height of 24" +/-.
8. At both stairwells, there is one area in the corner that has a headroom of 71" for a distance of 10", which is lower than the required 80" minimum at all points.



PLOT PLAN
SCALE: 1/8" = 1'-0"



SECTION X-X
SCALE: 3/8" = 1'-0"

**LEGALIZED EXISTING THREE
FAMILY DWELLING
417 CRANSTON STREET
PROVIDENCE, RHODE ISLAND**

DRAWN BY:
MGL

CHECKED BY:
RJL

LOQA ENGINEERS, LLC
CONSULTING ENGINEERS
49 BATCHELLER AVENUE
PROVIDENCE, RI 02904
rjloqa@verizon.net

FOR ENGINEERING ONLY

SCALE:
AS NOTED

CONTENTS:
**PLOT PLAN
& SECTION**

DATE:
JANUARY 2020

SHEET NO:
S100

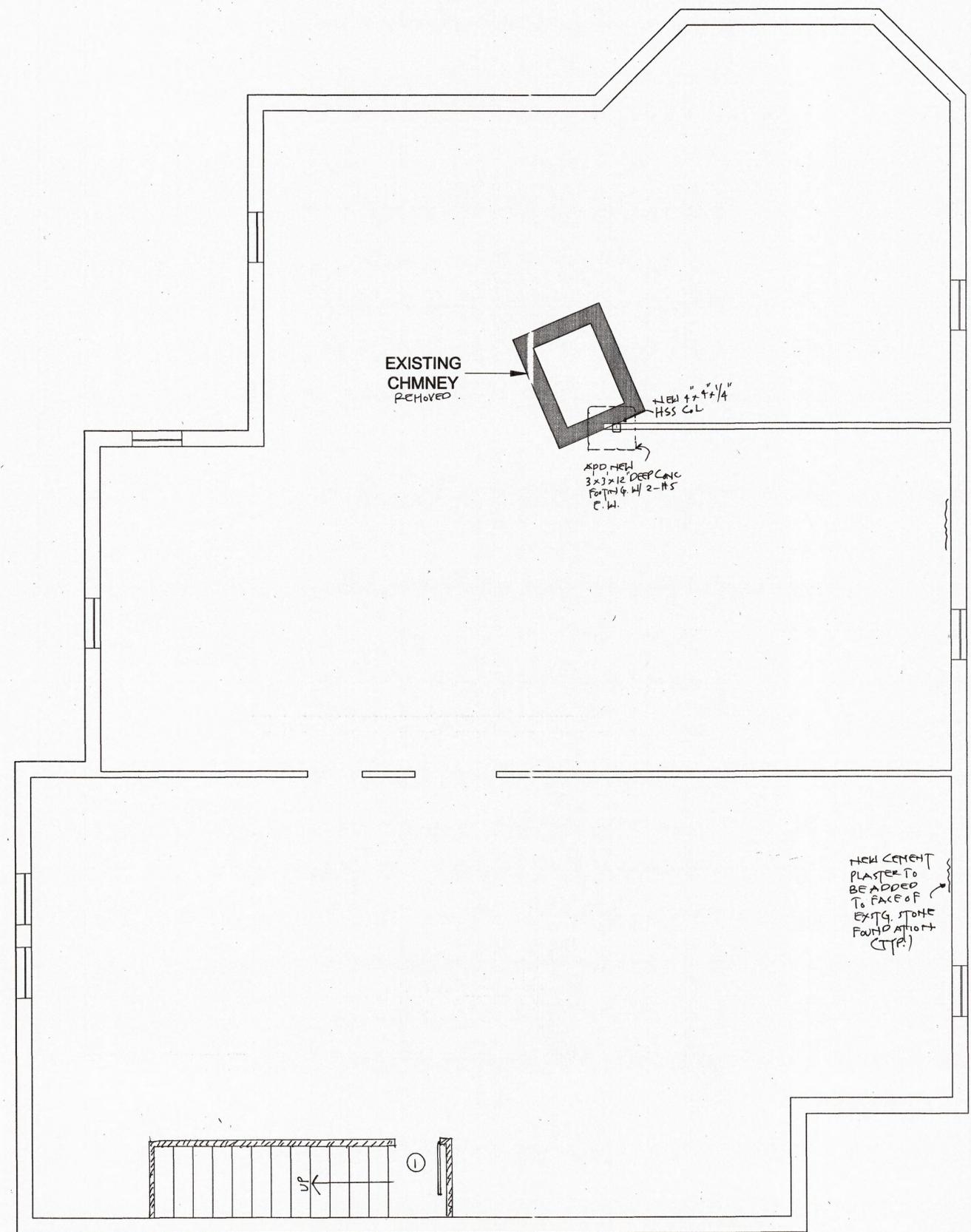
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ARCHITECT OF RECORD: PAUL V. SATAS

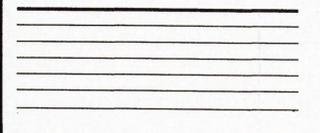


LICENSED: RI #2488, MA #10470, NJ #A14727, IL #001-010503, CT #9629
ENGINEER 1

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1 EXISTING BASEMENT FLOOR PLAN
SCALE: 3/8"=1'-0"



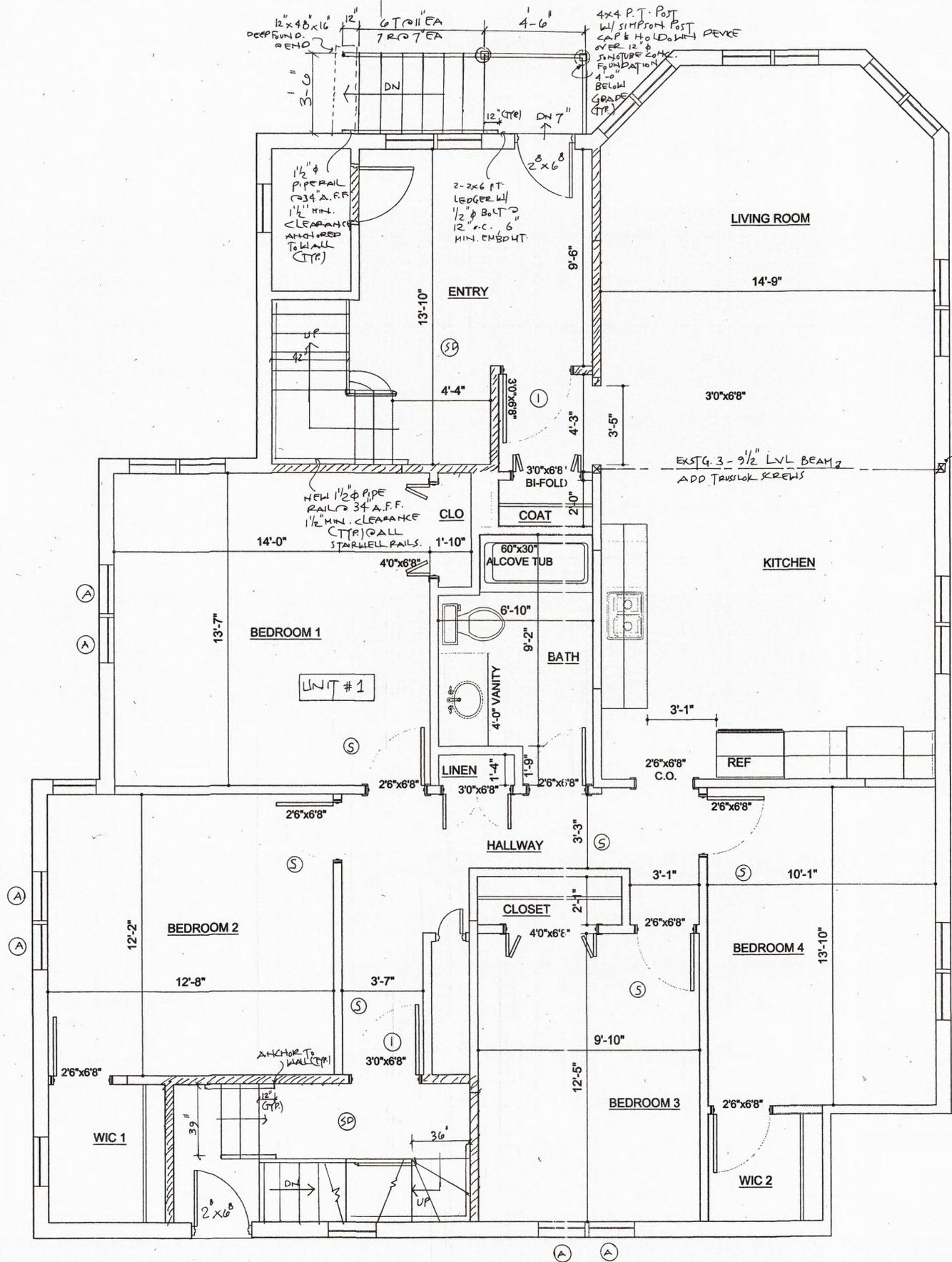
417 CRANSTON STREET
PROVIDENCE, RHODE ISLAND

JOB# 1168.17
EXISTING BASEMENT
PLAN

SCALE: AS NOTED

X1.0

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1 FIRST FLOOR PROPOSED
SCALE: 3/8"=1'-0"

- Ⓢ - SMOKE DETECTOR
- Ⓐ - 4'-0" x 6'-0" D.H. WINDOW (DOUBLE GLAZED)
- Ⓑ - 3'-0" x 4'-0" P.H. WINDOW (DOUBLE GLAZED)
- ① - NEW 60 MINUTE FIRE RATED DOOR W/ METAL FRAME & CLOSER. "B" LABEL
- ⓈⓈ - SMOKE DETECTOR INTERCONNECTED & HARDWIRED.
- ||||| - ONE HR. WALL: ONE LAYER OF 5/8" GYPSUM BOARD TYPE "X" APPLIED TO EACH SIDE OF 2x4 STUDS @ 16" O.C.

ARCHITECT OF RECORD: PAUL V. SATAS



LICENSED: RI #2469, MA #10470, NJ #A114727, IL #001-010503, CT #8629
ENGINEER 1

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LEGALIZING EXISTING
(3) FAMILY DWELLING

417 CRANSTON STREET
PROVIDENCE, RHODE ISLAND

JOB# 1168.17

FIRST FLOOR PROPOSED

SCALE: AS NOTED

A1.1

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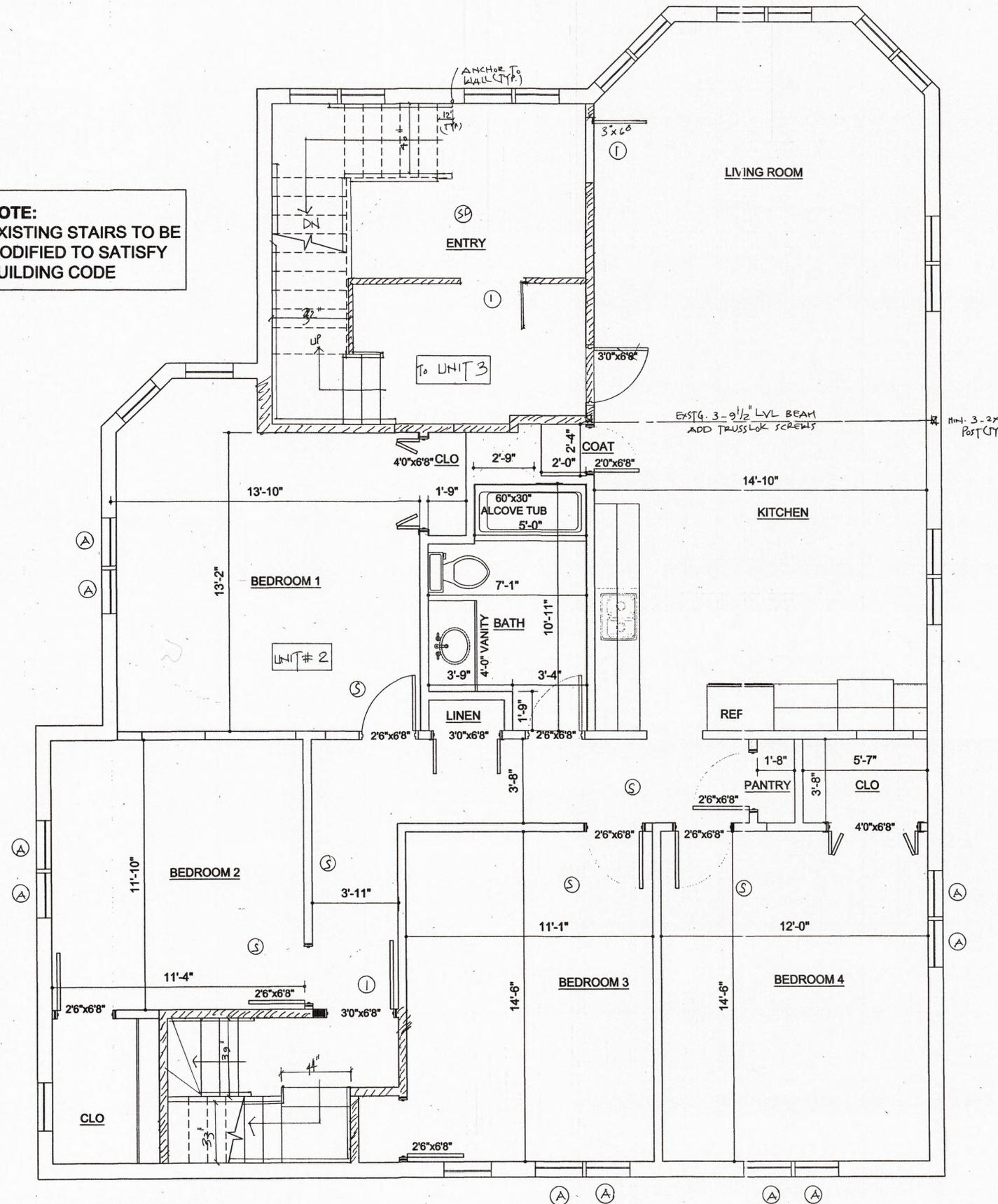
ARCHITECT OF RECORD: PAUL V. SATAS



LICENSED: RI #2489, MA #10470, NJ #A14727, IL #001-010503, CT #8929
ENGINEER 1

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NOTE:
EXISTING STAIRS TO BE
MODIFIED TO SATISFY
BUILDING CODE



417 CRANSTON STREET
PROVIDENCE, RHODE ISLAND

JOB# 1168.17

PROPOSED SECOND
FLOOR PLAN

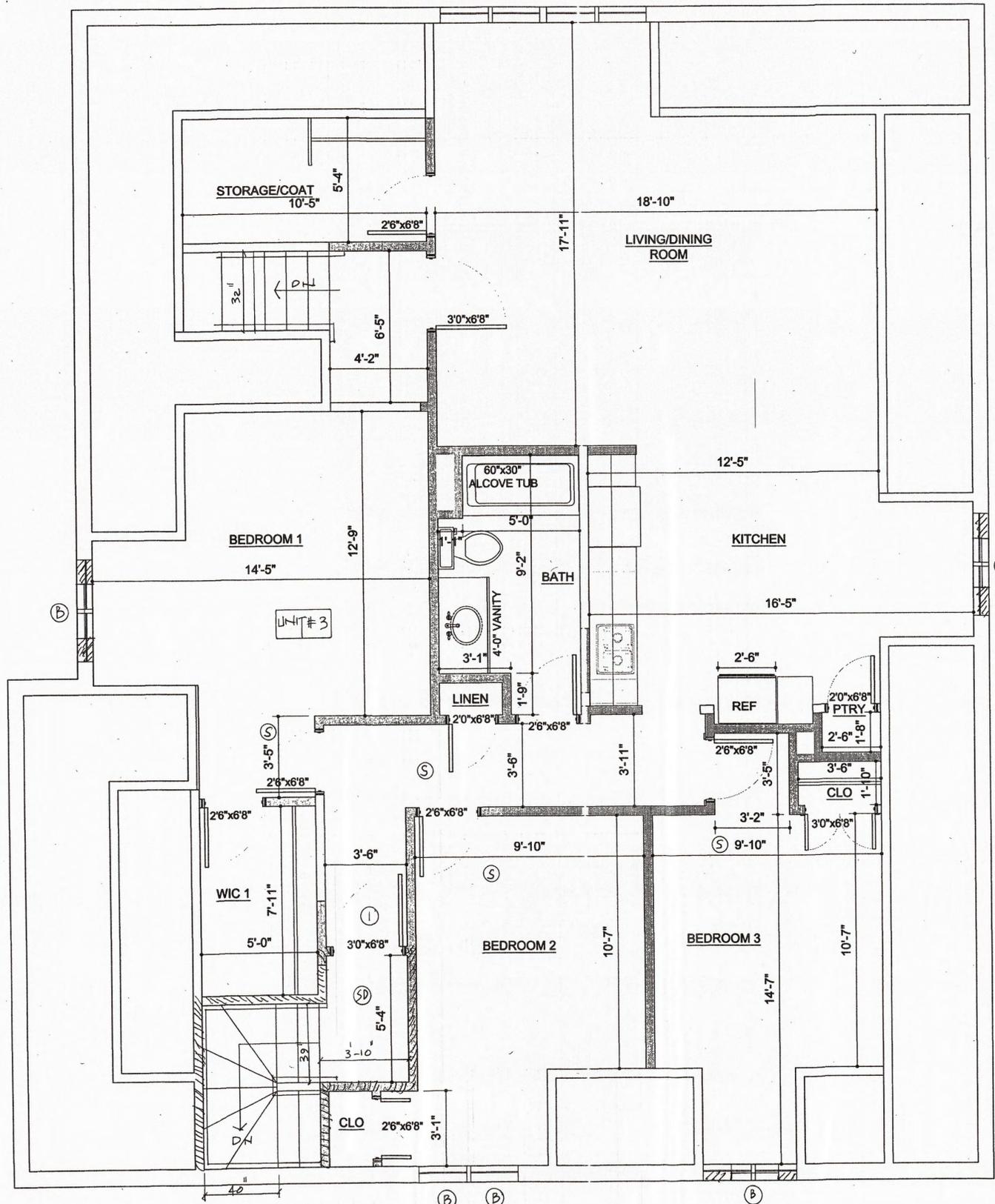
SCALE: AS NOTED

A1.2

1 PROPOSED SECOND FLOOR PLAN
SCALE: 3/8"=1'-0"

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NOTE:
EXISTING STAIRS TO BE
MODIFIED TO SATISFY
BUILDING CODE



1 THIRD FLOOR PROPOSED
SCALE: 3/8"=1'-0"

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ARCHITECT OF RECORD: PAUL V. SATAS



LICENSED: RI #2489, MA #10470, NJ #A14727, IL #001-010503, CT #9929
ENGINEER 1

417 CRANSTON STREET
PROVIDENCE, RHODE ISLAND

JOB# 1168.17

**THIRD FLOOR
PROPOSED**

SCALE: AS NOTED

A1.3