

NOV 04 2021

CITY OF PROVIDENCE
ZONING BOARD OF REVIEW

APPLICATION FOR VARIANCE OR SPECIAL USE PERMIT

Check Each Type Zoning Relief Sought:

<input type="checkbox"/>
<input checked="" type="checkbox"/>
<input type="checkbox"/>

Variance – Use *
Variance – Dimensional*
Special Use Permit **

* Attach Appendix A to apply for a Use or Dimensional Variances

**Attach Appendix B to apply for a Special Use Permit

Applicant: Prospero J. Castro

Address 107 Union Avenue

Zip Code 02909

E-mail J1995ri@gmail.com

Phone _____

Home/Office

(401) 545-5010

Mobile (Cell)

Owner: Prospero J. Castro

Address 107 Union Avenue

Zip Code 02909

E-mail J1995ri@gmail.com

Phone (401) 545-5010

Home/Office

(401) 545-5010

Mobile (Cell)

Lessee: _____

Address _____

Zip Code _____

E-mail _____

Phone: _____

Home/Office

Mobile (Cell)

Does the proposal require review by any of the following (check each):

- _____ Downtown Design Review Committee
- _____ I-195 Redevelopment District Commission
- _____ Capital Center Commission
- _____ Historic District Commission

1. **Location of Property:** 43 Superior St.

Street Address

R-3

2. **Zoning District(s):** _____

Special purpose or overlay district(s): _____

3a. **Date owner purchased the Property:** September 25, 2020

3b. **Month/year of lessee's occupancy:** _____

3. Dimensions of each lot:

Lot # 107 Frontage 40 Ft depth 80 Ft Total area 3,200 sq. ft.
Lot # _____ Frontage _____ depth _____ Total area _____ sq. ft.
Lot # _____ Frontage _____ depth _____ Total area _____ sq. ft.

4. Size of each structure located on the Property:

Principal Structure: Total gross square footage _____
Footprint N/A Height _____ Floors _____

Accessory Structure: Total gross square footage _____
Footprint N/A Height _____ Floors _____

5. Size of proposed structure(s): Total gross square footage: 2,064 sf (1,032 sf per story)
Footprint 24 X 43 Height 26'5" Floors 2

6a. Existing Lot coverage: (include all buildings, decks, etc.) 0

6b. Proposed Lot coverage: (include new construction) 1,032 sf

7a. Present Use of Property (each lot/structure):
Vacant Lot

7b. Legal Use of Property (each lot/structure) as recorded in Dept. of Inspection & Standards:
Vacant Lot

8. Proposed Use of Property (each lot/structure):
One-Family Dwelling

9. Number of Current Parking Spaces: 0 None

10. Describe the proposed construction or alterations (each lot/structure):
The purpose is to construct a new one-family dwelling.

11. Are there outstanding violations concerning the Property under any of the following:

- Zoning Ordinance
- RI State Building Code
- Providence Housing Code

12. List all Sections of the Zoning Ordinance from which relief is sought and description of each section:

2003E Deficiency in lot area which causes merger.

13. Explain the changes proposed for the Property.

- 1-Construct a one -family dwelling on existing 3200 lot
 - 2-Requesting dimensional relief of 1,800 square feet lot area deficiency so as not to considered merged
-
-
-
-

The undersigned acknowledge(s) and agree(s) that members of the Zoning Board of Review and its staff may enter upon the exterior of the Property in order to view the Property prior to any hearing on the application.

The undersigned further acknowledge(s) that the statements herein and in any attachments or appendices are true and accurate, and that providing a false statement in this application may be subject to criminal and/or civil penalties as provided by law, including prosecution under the State and Municipal False Claims Acts. Owner(s)/Applicant(s) are jointly responsible with their attorneys for any false statements.

Owner(s):

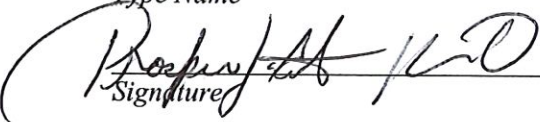
Applicant(s):

Prosrero J. Castro & Jason Otero

Type Name

Prospero J. Castro & Jason Otero

Type Name



Signature



Signature

Type Name

Type Name

Signature

Signature

All requirements listed and described in the Instruction Sheet must be met or this application will not be considered complete.

APPENDIX A

APPLICATION FOR VARIANCE(S)

Rhode Island General Laws § 45-24-41(c) requires that the Applicant for a variance demonstrate:

- (1) That the hardship from which the applicant seeks relief is due to the unique characteristics of the subject land or structure and not to the general characteristics of the surrounding area; and is not due to a physical or economic disability of the applicant, excepting those physical disabilities addressed in § 45-24-30(16);
- (2) That the hardship is not the result of any prior action of the applicant and does not result primarily from the desire of the applicant to realize greater financial gain;
- (3) That the granting of the requested variance will not alter the general character of the surrounding area or impair the intent or purpose of the zoning ordinance or the comprehensive plan upon which the ordinance is based;
- (4) That the relief to be granted is the least relief necessary; and
- (5) (a) For a **use variance**: That the land or structure cannot yield any beneficial use if it is required to conform to the provisions of the zoning ordinance;
(b) For a **dimensional variance**, that the hardship suffered by the owner of the subject property if the dimensional variance is not granted amounts to more than a mere inconvenience.

Please provide the following information:

1. **What is the specific hardship from which the applicant seeks relief?**
I cannot build because Lot 108 is merged with my lot (107) by zoning ordinance.

2. **Specify any and all unique characteristics of the land or structure that cause the hardship?**
Lot 108 is causing hardship for me in the area.

3. (a) **Is the hardship caused by an economic disability?** Yes No _____
(b) **Is the hardship caused by a physical disability?** Yes _____ No
(c) **If the response to subsection (b) is "yes," is the physical disability covered by the Americans with Disabilities Act of 1990 (ADA), 42 U.S.C. § 12101 et seq.?**
Yes _____ No _____
4. **Did the owner/applicant take any prior action with respect to the Property that resulted in the need for the variance requested? (Examples include, but are not limited to, any changes the owner/applicant made to the structure(s), lot lines, or land, or changes in use of the Property)?**
Yes _____ No

If "yes," describe any and all such prior action(s), and state the month/year taken.

5. State any and all facts to support your position that the applicant is not seeking the variance(s) primarily in order to obtain greater financial gain.

Rather, primarily to provide an additional dwelling unit to address the increased demand of housing in the City.

6. State any and all facts that support your position that you are seeking the least relief necessary to lessen or eliminate the hardship (for example, why there are no viable alternatives to your proposed plan).

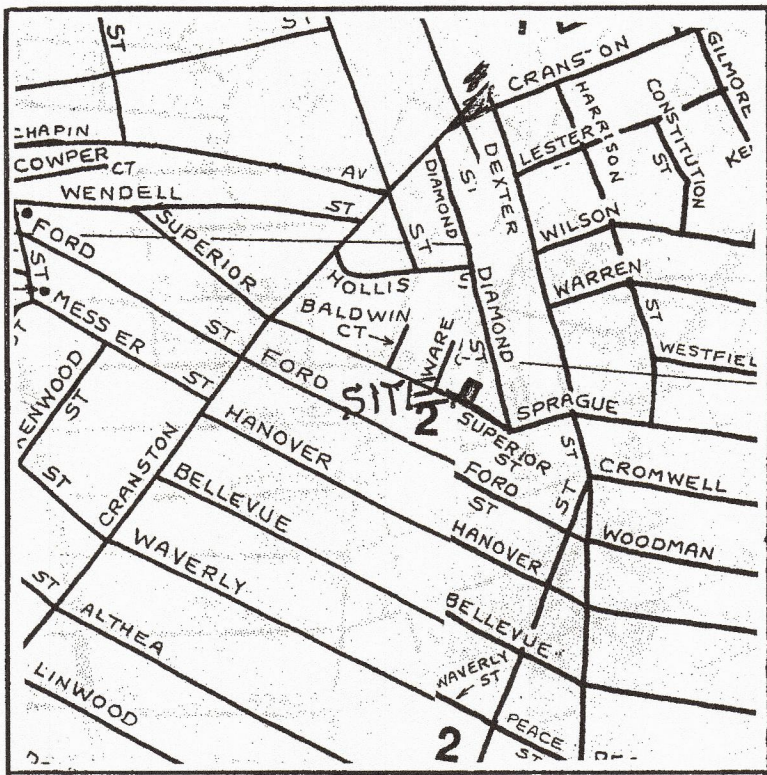
It is the minimal relief that I am seeking. The adjacent lot, due right, is under 3200 SF. Due to this, the two lots are merged by zoning.

7. If you are seeking a USE VARIANCE, set forth all facts that demonstrate that the Property cannot have any beneficial use if you are required to use it in a manner allowed in the zoning district.

N/A

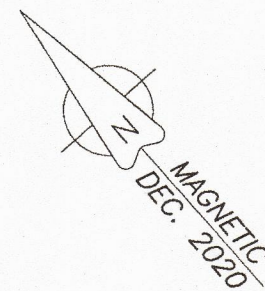
8. If you are seeking a DIMENSIONAL VARIANCE, set forth all facts that indicate that if the variance is not granted, the hardship the owner/applicant will suffer is more than a mere inconvenience.

If denied, the owner would suffer a hardship beyond a mere inconvenience. There is no benefit for me to have a vacant lot that would only in time accumulate debris, overgrown grass, and loitering in the area.



NOTES:

1. THE LOCATION, DEPTH AND EXISTENCE OF ANY UTILITIES OR OTHER UNDERGROUND OBJECTS SHOWN ON THIS PLAN ARE BASED ON THE BEST AVAILABLE INFORMATION. LOCATIONS ARE NOT WARRANTED TO BE EXACT, NOR IS IT WARRANTED THAT ALL EXISTING UTILITIES ARE SHOWN. CONTRACTOR IS REQUIRED TO CALL DIG SAFE BEFORE ANY EXCAVATION IS COMMENCED (1-888-DIG-SAFE).
2. EXISTING UTILITY LATERALS (SERVICES) TO BE LOCATED BY THE CONTRACTOR.
3. CONTRACTOR IS REQUIRED TO VERIFY WITH THE CITY OF PROVIDENCE ON THE REGULATIONS AND REQUIREMENTS BEFORE THE START OF THE PROJECT.



REFERENCE:

1. PLAT ENTITLED: "PLAT OF COTTAGE & VILLAGE LOTS BELONGING TO HIRAN KENDALL AND G.W. GROCKER SURVEYED & PLOTTED JULY 1852 BY SCHUBARTH & HAINES". WHICH PLAT IS RECORDED IN THE IN THE LAND EVIDENCE RECORDS OF SAID CITY OF PROVIDENCE IN PLAT BOOK 2 AT PAGE 26 AND ON PLAT CARD 68.
2. PLAT ENTITLED: "STREET LAYOUT OF SUPERIOR STREET BETWEEN DEXTER STREET AND VICEROY ROAD PREPARED BY ORDER OF GEORGE W. HALL, ESEK TALLMAN, JOSEPH JOHNSON, GEORGE H. BURNHAM AND JOSEPH E. SPINK, COMMISSIONERS APPOINTED BY THE HON. SUPREME COURT, OCTOBER 1872 AND RECORDED IN THE CITY OF PROVIDENCE ENGINEER'S OFFICE NOVEMBER 5, 1872.
3. DEEDS BOOKS/PAGES: 11726/275, 9868/266, 7999/70 & 10679/143.

FLOODING:

THIS PARCEL IS LOCATED IN FLOOD ZONE X, WHICH DETERMINED BY FEMA MAPS FOR THE CITY OF PROVIDENCE, COUNTY OF PROVIDENCE, STATE OF RHODE ISLAND AS AREAS OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOODING. MAP NO. 44007C0316G, MAP EFFECTIVE DATE: MARCH 2, 2009.

LEGEND

	PROPERTY LINE
	ABUTTING PROPERTY LINE
	DWELLING
	NOW OR FORMERLY
	EDGE OF ASPHALT
	G.B.(FND) GRANITE BOUND FOUND
	D.H.(SET) DRILL HOLE
	I.R.(SET) IRON REBAR SET
	I.R.(FND) IRON REBAR FOUND
	SMH SEWER MANHOLE
	W.G. WATER GATE
	G.G. GAS GATE
	EMH ELECTRIC MANHOLE
	T.S. TRAFFIC SIGN
	STOCKADE FENCE
	CHAINLINK FENCE

ZONING:

THIS PARCEL IS LOCATED IN DISTRICT OF ZONE R-3. (PRIOR RECORDED LOT)

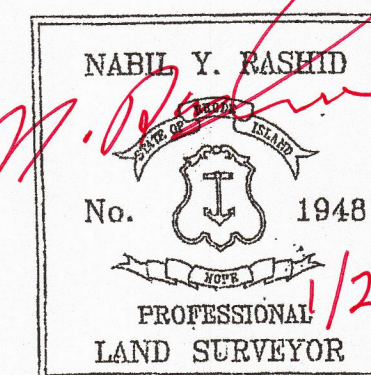
- MIN. AREA: 5,000 S.F.
- MIN. AREA PER DWELLING UNIT: 2,000
- MIN. FRONTAGE: 50 FT.
- MIN. FRONT YARD: 20 FT.
- MIN. REAR YARD: 25 FT.
- MIN. SIDE YARD: 6 FT.
- MAX. LOT COVERAGE: 40%
- MAX. HEIGHT: 30FT

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS NOVEMBER 25, 2015 AS FOLLOWS:

TYPE OF SURVEY- LIMITED CONTENT BOUNDARY SURVEY
MEASUREMENT SPECIFICATION- CLASS I

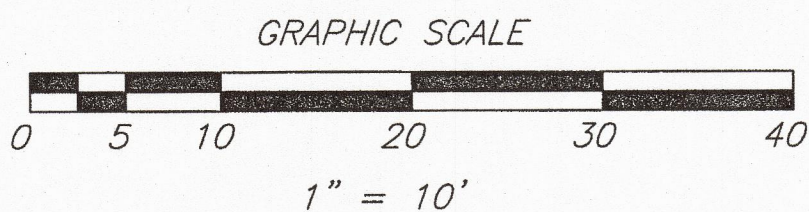
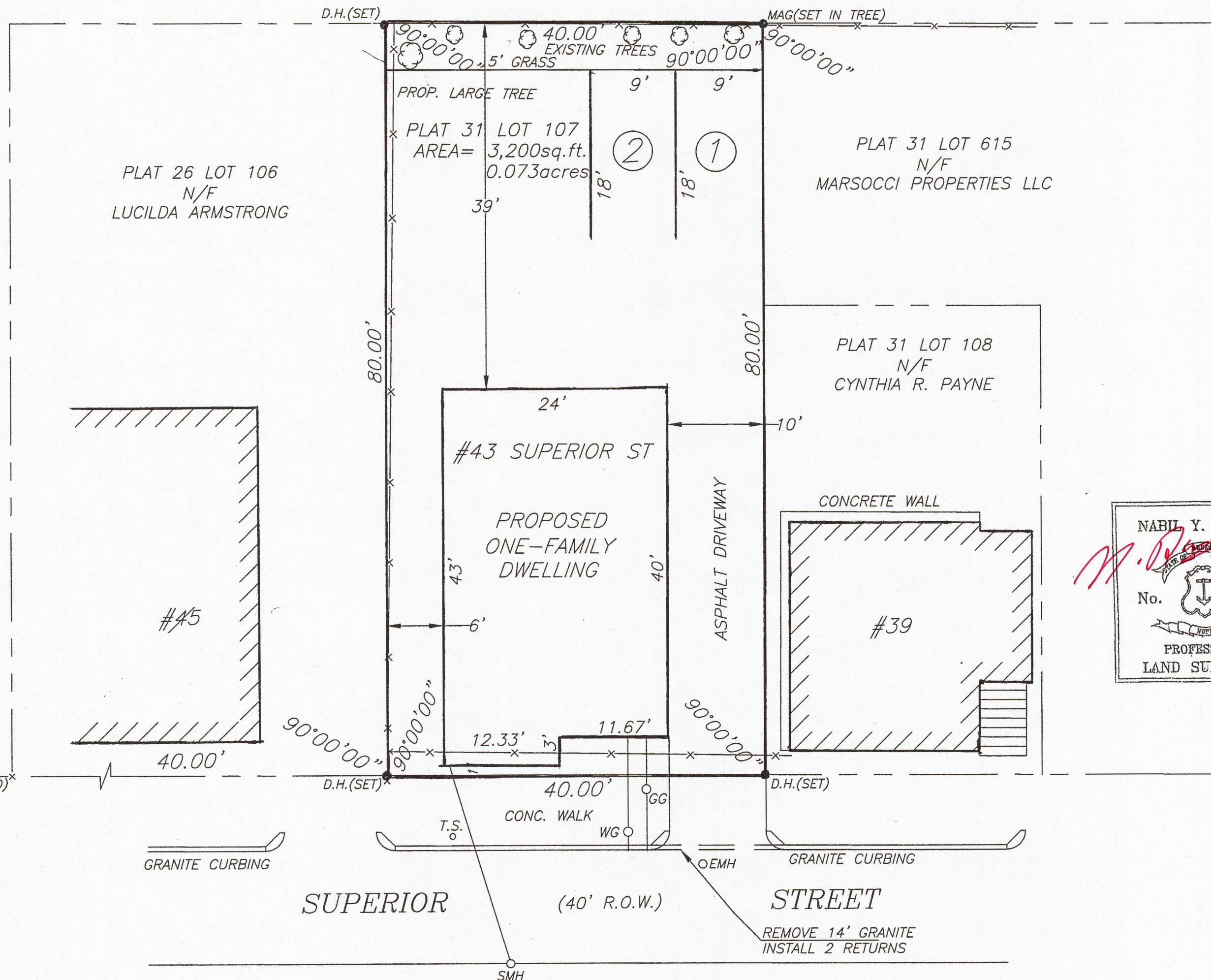
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN AS FOLLOWS:
PROPOSED DWELLING

BY *Nabil Y. Rashid* DATE 1/25/21
NABIL RASHID PLS#1948, C.O.A.#LS-A427
REGISTERED PROFESSIONAL LAND SURVEYOR



LOCUS MAP
N.T.S.

PLAT 31 LOT 591
N/F
CARLETON WESTSIDE APARTMENTS



SURVEY AND PLAN
FOR
JOSE CASTRO
43 SUPERIOR STREET
PROVIDENCE, RHODE ISLAND
PLAT 31 LOT 107

NRC ASSOCIATES P.O. BOX 14459 EAST PROVIDENCE, RHODE ISLAND 02914 (401)954-0206		DRAWN BY S.S.R. CHECKED BY N.Y.R. APPROVED BY N.Y.R. SCALE 1"=10' DATE JANUARY 25, 2021 FILENAME SUPERIOR ST 1 of 1
REVISION	DATE	

OWNER NAME & ADDRESS:
PROSPERO JOSE CASTRO
107 UNION AVENUE
PROVIDENCE RI 02909

GENERAL NOTES:

1. PROVIDE A MINIMUM 22" X 30" ATTIC ACCESS OPENING.
2. A HARDWIRED FIRE, SMOKE AND CARBON MONOXIDE DETECTION SYSTEM SHALL BE INSTALLED AS SHOWN ON THE DRAWINGS AND OR AS DIRECTED BY THE LOCAL FIRE MARSHALL.
3. PROVIDE LIGHTING AT FRONT AND REAR STAIR, INSIDE AND OUTSIDE
4. EGRESS DOORS SHALL HAVE THUMB TURN LATCHES FROM THE INSIDE
5. BATHROOM DOORS SHALL BE ABLE TO BE OPENED FROM OUTSIDE WHEN LOCKED
6. PROVIDE NON -ABSORBENT MATERIAL AT TUB/SHOWER AREAS TO 6'-0" A.F.F.
7. SAFETY GLAZING REQUIRED AT WINDOW IN STAIRWELL
8. EXTERIOR STAIRWAYS TO BE BOLTED TO STRUCTURE WITH 1/2" DIA. LEDGER BOLTS 16" O.C. TYP.
9. MEP DESIGN IS DESIGN/BUILD
10. COMPLY WITH MANUFACTURERS GUIDELINES FOR CUTTING AND NOTCHING ENGINEERED FLOOR JOISTS

SMOKE DETECTOR REQUIREMENTS

1. INSTALLATION MUST COMPLY WITH THE RHODE ISLAND STATE FIRE CODE.
2. DETECTORS MUST BE MOUNTED ON CEILINGS.
3. IF THERE IS A BASEMENT, BASEMENT STAIRS ARE COMPLETELY ENCLOSED. DETECTOR IS LOCATED WITHIN 24" OF THE BASE OF THE STAIR.
4. IF BASEMENT STAIRS ARE OPEN, DETECTOR SHALL BE AT THE TOP OF THE STAIRWAY.
5. SMOKE DETECTORS AS PER FIRE PROTECTION CODE

SMOKE DETECTORS MUST HAVE AC POWER WITH BATTERY BACK-UP AND ARE TO BE INSTALLED AS SPECIFIED BY THE MANUFACTURER; OR, A DETECTOR IS REQUIRED FOR EVERY 1200 SQUARE FEET OF SPACE PER FLOOR OR LEVEL.

DESIGN LIVE LOADS

FLOOR LOAD 40 PSF
ROOF LOAD 30 PSF

FOUNDATION DESIGN INFORMATION

1. ALL CONCRETE FOOTINGS AND/OR FOUNDATIONS TO REST ON SOIL WITH ASSUMED SAFE BEARING CAPACITY OF MINIMUM 2000 PSF BEARING CAPACITY.
2. NO FOOTING CONCRETE SHALL BE POURED AGAINST SUB GRADE CONTAINING FREE WATER, FROST, ICE, AND/OR MUD.
3. ALL PARTS OF FOUNDATION WALL BELOW GRADE BUT ABOVE THE LEVEL OF THE LOWER FLOOR MUST BE DAM PROOFED ON THE OUTSIDE WITH EITHER:
--AT LEAST ONE COAT OF BITUMINOUS DAM PROOF PAINT
--2" EPS RIGID INSULATION R-10 4'-0" VERTICAL CONTINUOUS ON EXTERIOR WALLS

TYPICAL FOUNDATION CONSTRUCTION

1. FOUNDATION WALL 12" THICK AT 3,000 P.S.I.
2. 1/2" DIA. MINIMUM ANCHOR BOLTS 4'-0" ON CENTER, 1'-0" AT CORNERS.
3. BITUMINOUS DAM PROOF OR 2" EPS RIGID INSULATION R-10 4'-0" VERTICAL CONTINUOUS.
4. CONCRETE FLOOR: 4" POURED CONCRETE SLAB AT 3,000 P.S.I.-8" MIN. COMPACTED GRAVEL BELOW.
5. MAIN BEAM SUPPORT (IF REQ'D): 3 1/2" DIA. STEEL CONCRETE FILLED COLUMN, UNLESS NOTED OTHERWISE
6. FOOTINGS FOR SUPPORT COLUMNS: 2'-0" X 2'-0" X 1'-0" REBAR REINFORCED, UNLESS NOTED OTHER WISE
7. PERIMETER DRAIN: 4" PERFORATED PIPE WITH SOCK (SITE PENDING).
8. MINIMUM 8" COMPACTED GRAVEL TO INCLUDE 4" MINIMUM CRUSHED STONE.
9. VAPOR BARRIER: 6 MIL. MINIMUM POLY VAPOR BARRIER.
10. ALL CONCRETE SHALL BE CONTROLLED CONCRETE TO ULTIMATE STRENGTH OF 3000PSI @ 28 DAYS. PROVIDE TOTAL AIR ENTRAINMENT OF 6% (+/-) FOR ALL CONCRETE EXPOSED TO WEATHER. MAXIMUM WATER/CEMENT RATIO W/C= .45 (USE SUPER PLASTICIZER AS REQUIRED FOR WORKABILITY).
11. ALL REINFORCED CONCRETE CONSTRUCTION SHALL CONFORM TO 1318-83 AND SHALL BE DETAILED IN ACCORDANCE WITH ACI 315-74.
12. CONCRETE COVER FOR REINFORCING SHALL BE AS FOLLOWS:
FOOTINGS: 3 INCHES FOUNDATION WALLS: 2 INCHES
13. REINFORCING STEEL SHALL CONFORM TO ASTM A-615 GRADE-60. LAP SPLICES SHALL BE IN ACCORDANCE WITH ACI 318-83 FOR TENSION LAP SPLICES, CLASS C, UNLESS OTHERWISE SPECIFIED.
14. ALL SLABS ON GRADE SHALL BE REINFORCED WITH WELDED WIRE FABRIC AT MID POINT CONFORMING TO ASTM A-185.
15. COMPACT FROM BOTTOM OF FOOTING TO UNDERSIDE OF SLAB ON GRADE TO 98% MAXIMUM DENSITY TO LOOSE 8" LOOSE LAYERS. UNDER INTERIOR FLOOR SLABS, COMPACT FROM STRIP LINE TO UNDERSIDE OF SLAB TO 95% OF MAXIMUM DENSITY IN 8" LOOSE LAYERS. ELSEWHERE, COMPACT TO 90% OF MAXIMUM DENSITY IN 12" LOOSE LAYERS, EXCEPT FOR (2) 6" LAYERS DIRECTLY OVER PIPES.

TYPICAL FLOOR CONSTRUCTION

1. FLOOR JOISTS: JOISTS AS INDICATED ON THE PLAN TYPICAL UNLESS OTHERWISE SPECIFIED. JOISTS TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS. JOIST HANGERS REQUIRED.
2. SUB FLOOR: 3/4" APA RATED STURDY-FLOOR PLYWOOD AC. GLUED AND SCREWED TO JOISTS.
3. FOR TILE OR LAMINATE FLOORS: USE 1/4" LUAN OR EQUIVALENT GLUED AND RING NAILED TO SUB FLOOR
4. PROVIDE R-30 INSULATION IN BETWEEN JOISTS

FRAMING SPECIFICATIONS

1. ALL STRUCTURAL LUMBER SHALL BE CONSTRUCTION GRADE#2 OR BETTER AS LISTED IN THE NATIONAL FOREST PRODUCT ASSOCIATION "NATIONAL DESIGN SPECIFICATIONS FOR STRESS-GRADE LUMBER AND ITS FASTENING" THAT HAVE ALLOWABLE UNIT STRESSES IN EXTREME FIBER IN BENDING EQUAL TO OR GREATER THAN 1400 PSI AND MODULUS OF ELASTICITY EQUAL TO OR GREATER THAN 1,500,000 PSI.
2. NAILING SHALL CONFORM TO SBC-2 CODE
3. ALL PRE-ENGINEERED LAMINATED VENEER STRUCTURAL MEMBERS TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
4. ALL SILL PLATES 2 X 6 NUMBER 1 PRESSURE TREATED.
5. ALL NAILS EXPOSED TO THE WEATHER TO BE HOT-DIPPED GALVANIZED.
6. RAFTER SPECIES TO BE GRADE#2 OR BETTER

TYPICAL WALL CONSTRUCTION

1. INTERIOR WALLS 2 X 4 NO.1 KD STUDS FRAMED 16" ON CENTER TYPICAL.
2. EXTERIOR SHEATHING: 1/2" PLYWOOD OR 1/2" ORIENTED STRAND BOARD.
3. INSULATION: 5 1/2" INSULATION BATTING R-22, INSTALLED TO MFG. SPECIFICATIONS.
4. INTERIOR WALLS: 1/2" GYPSUM BOARD AND SKIM COAT
5. HOUSE WRAP : TYVEK OR TYPAR INSTALLED TO MFG SPECIFICATIONS.
6. BACKER BOARD FOR SIDING (IF USED): 3/8" MINIMUM BACKER BOARD INSTALLED TO MANUFACTURER'S SPECIFICATIONS.
7. SIDING MATERIAL: VINYL CLAPBOARD COLOR TBD BY OWNER
8. KNEE WALL (IF REQUIRED): 2 X 6 NO. 1 KD HEM FIR 16" ON CENTER TYPICAL.
9. BASEBOARD AND OTHER MOLDINGS: 6" BASE MOLDING CROWN MOLDING THROUGHOUT AND ABOVE CABINETS- CONFIRM WITH OWNER
10. EXTERIOR WALLS ARE 2"x6" WOOD STUDS EXCEPT THE GARAGE. GARAGE EXTERIOR WALLS ARE 2"x4" OR 2"x6" STUDS@ 16" O.C.

TYPICAL CEILING CONSTRUCTION

1. 1 X 3 FURRING NAILED TO JOISTS/ RAFTERS/ TRUSSES--16" O.C. TYPICAL.
2. 1/2" GYPSUM BOARD WITH SMOOTH SKIM COAT.
3. PROVIDE BLANKET INSULATION IN ROOF/ ATTIC AREA--R38 MINIMUM.
4. IF PORCH HAS A FINISHED CEILING PROVIDE VENTILATIONS STRIPS AS REQUIRED.

TYPICAL SOFFIT CONSTRUCTION

1. VENTED SOFFIT. COLOR AND MATERIAL PER OWNER'S SPECIFICATIONS.
2. FASCIA BOARDS 2 X 8 UNLESS OTHERWISE SPECIFIED ON PRINT DETAILS.
3. FRIEZE BOARD: 1 X 3.
4. INSTALL RUBBER MEMBRANE PRIOR TO INSTALLING ALUMINUM DRIP EDGE.
5. ALUMINUM GUTTERS AND DOWN SPOUTS TO EMPTY INTO 4" DIAMETER DRAINS.
6. ALL TRIM TO OWNER'S SPECIFICATIONS. CORNER BOARD: VERIFY WITH OWNER
BASE BOARD: VERIFY WITH OWNER
TOP TRIM: VERIFY WITH OWNER
7. CONTINUOUS VENTILATION REQUIRED.
8. SCREEN COVER ALL SOFFITS & VENTS

TYPICAL ROOF CONSTRUCTION

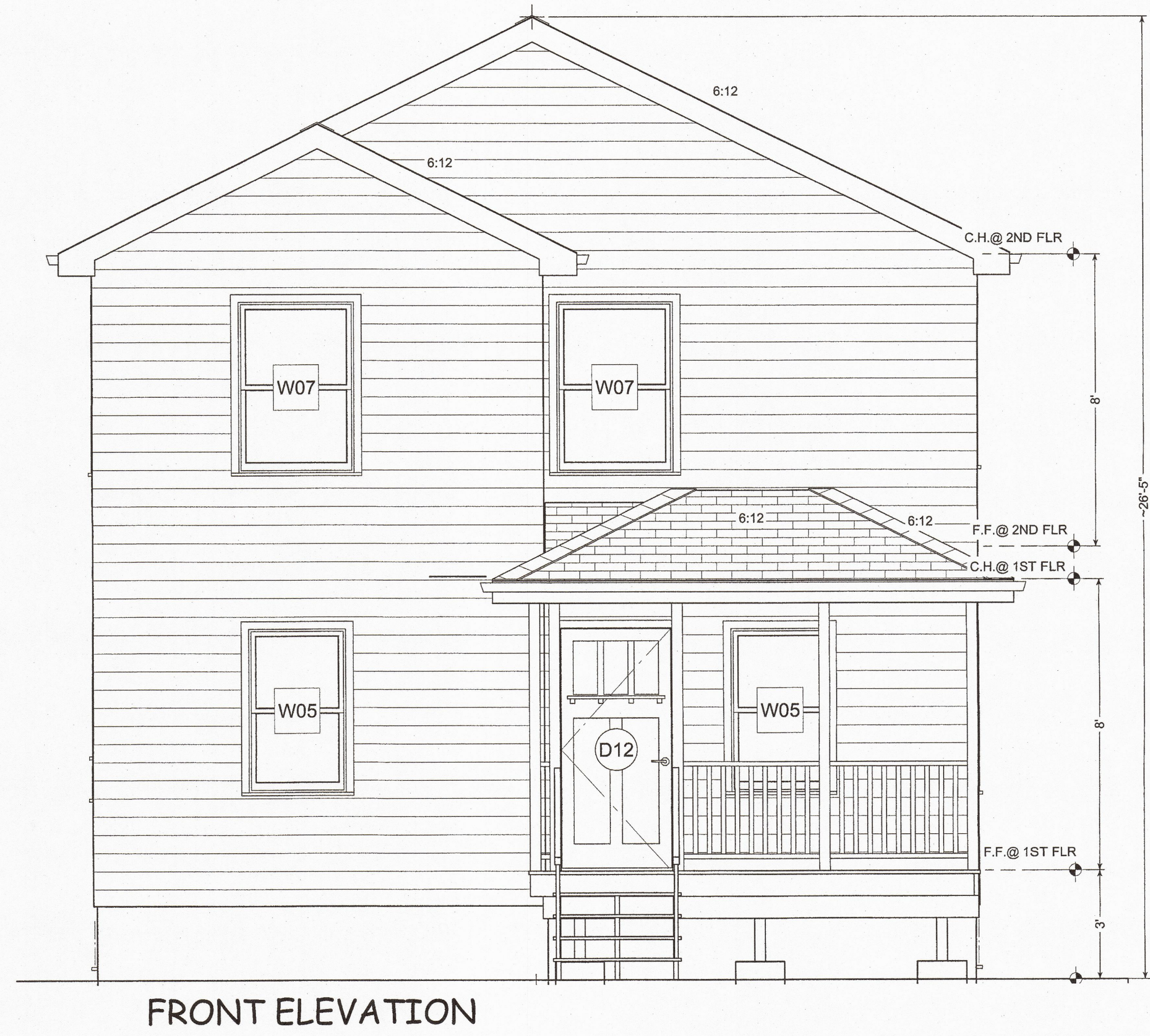
1. CONTINUOUS RIDGE VENT.
2. 15 POUND ASPHALT BUILDING PAPER TO BE INSTALLED OVER SHEATHING.
3. 5/8" CDX EXTERIOR PLYWOOD SHEATHING WITH H-CLIPS.
4. ALL TRUSSES, RAFTERS AND STRUCTURAL MEMBERS THAT INTERSECT EXTERIOR WALLS MUST FASTEN TO EXTERIOR WALLS WITH STEEL HURRICANE TIES.
5. SHINGLES TO BE 30 YEAR ARCHITECTURAL SHINGLES INSTALLED PER MANUFACTURER'S SPECIFICATIONS--HURRICANE NAIL. GRADE SELECTED BY CUSTOMER & BUILDER.
6. OWNER TO PROVIDE ROOF FRAMING PLAN AND SPECS AS PROVIDED BY ENGINEER OR LUMBER YARD
7. ROOF TO BE CONSTRUCTED PER SECTION OF RI STATE CODE BOOK

DECKING SPECIFICATIONS

1. ALL WOOD DECKING WITH EXTERIOR EXPOSED TO THE WEATHER SHALL BE NUMBER 1 PRESSURE TREATED TO RESIST MOISTURE AND W/WATERBORNE DAMP THE AWPB QUALITY MARK.
CCA TO AWPB STANDARD I-2(L-22 FOR GND CONTACT) AND BEAR
2. ALL NAILS TO BE HOT DIPPED GALVANIZED.
3. ALL ADHESIVE TO BE MARINE GRADE (IF APPLIED).
4. ALL HANDRAILS AND GUARDRAILS ARE 34" A.F.F.
5. ALL STAIRS MAX RISER: 8", TREAD MIN: 10" TYP.
6. ALL BALUSTERS TO HAVE A MAXIMUM 4" SPACE BETWEEN BALUSTERS/RAILS.
7. ALL OTHER HARDWARE, BOLTS, PLATES, ETC. TO BE GALVANIZED.
8. ALL JOIST HANGERS TO BE FASTENED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
9. ALL FOOTINGS TO BE 16" DIAMETER CONCRETE 2500 P.S.I. 40" BELOW GRADE U.N.O. 6" MINIMUM ABOVE GRADE.

1,900± S.F. SINGLE FAMILY

PROVIDENCE, RI



FRONT ELEVATION

SCALE: 3/8"=1'-0"

GENERAL SPECIFICATIONS

- 1- All work must be in accordance with, and construction shall conform to the requirements of the Local Building Inspection Office, The Rhode Island Uniform Fire Code, International Building Code 2015 & RI SBC-2 Requirements and its applicable referenced standards.
- 2- This DRAFTSPERSON is not responsible for Mechanical, Plumbing and Electrical work or design.
- 3- The Contractor or Owner's representative shall notify the DRAFTSPERSON when unanticipated or apparently dangerous conditions, differ from those shown or implied on the drawings or uncovered during construction.
- 4- The Contractor shall be responsible for notifying local utility companies, Dig Safe at 800-225-4977 prior to the start of any excavation or site work.
- 5- The Contractor shall verify all dimensions and condition on the job. Discrepancies shall be brought to the attention of the DRAFTSPERSON before proceeding with the portion of the work.
- 6- The Contractor shall shore, brace, or otherwise support the structure as required maintaining structural integrity at all times.
- 7- Headers shall be placed across top of shoring posts and shall be tight against underside of structure above.
- 8- Shoring shall bear on sleepers to prevent damage to structure below.
- 9- Temporary shores shall be provided, erected, supported, braced and maintained by the Contractor to support safely all dead loads presently carried by the structural work being shored, and any construction live loads.
- 10- All structural members shall be completely installed and capable of supporting design loads before shores are removed. Shores shall be released gradually.
- 11- Contractor's attention is directed to the provisions of the OSHA "Construction Standard Excavations".
- 12- This DRAFTSPERSON has no contract with the Owner to supervise construction; it is the Contractor's and Owner's responsibilities to comply with agencies having jurisdiction at the job site.
- 13- Any deviations from the content of these plans make it null and void.

1-4 NOTES & COVER SHEET
2-4 FOUNDATION, 1ST, & 2ND FLR PLAN
3-4 ROOF & ELEVATIONS PLAN
4-4 X-SECTION & DETAILS PLAN

NO.	DESCRIPTION	BY	DATE

THIS PLAN HAS BEEN CREATED BY THE DRAFTSPERSON ASSUMES NO RESPONSIBILITY EXISTING & PROPOSED SITE CONDITIONS. FOR PROPER CONSTRUCTION, IMPROPER CONTRACTOR METHODS, ACCURACY OR INACCURACY OF THESE PLANS. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE BUILDER TO OBTAIN ALL NECESSARY PERMITS AND TO COMPLY WITH ALL LOCAL, STATE AND NATIONAL CODES AND ORDINANCES.

PERMIT PLAN

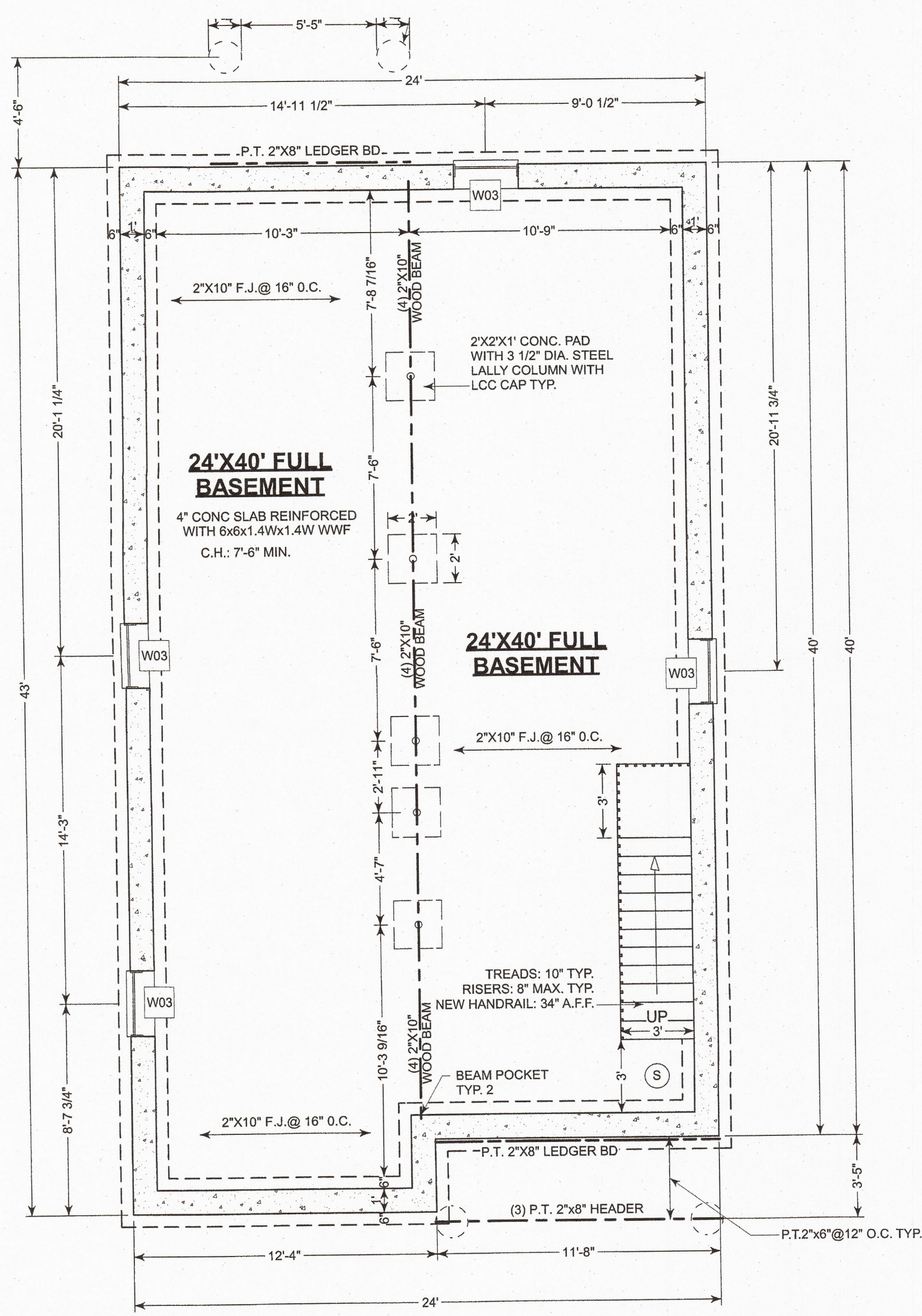
SHEET TITLE: **NOTES & COVER SHEET**
PREPARED FOR: JOSE CASTRO
SUPERIOR ST
PROVIDENCE, RI

DRAWINGS PROVIDED BY:
Marilyn Rojas
P.O. Box 763
Chester, RI 02814
PH: 401-495-2844
email: marilynrojas.dby@gmail.com

DATE:
12/13/2020

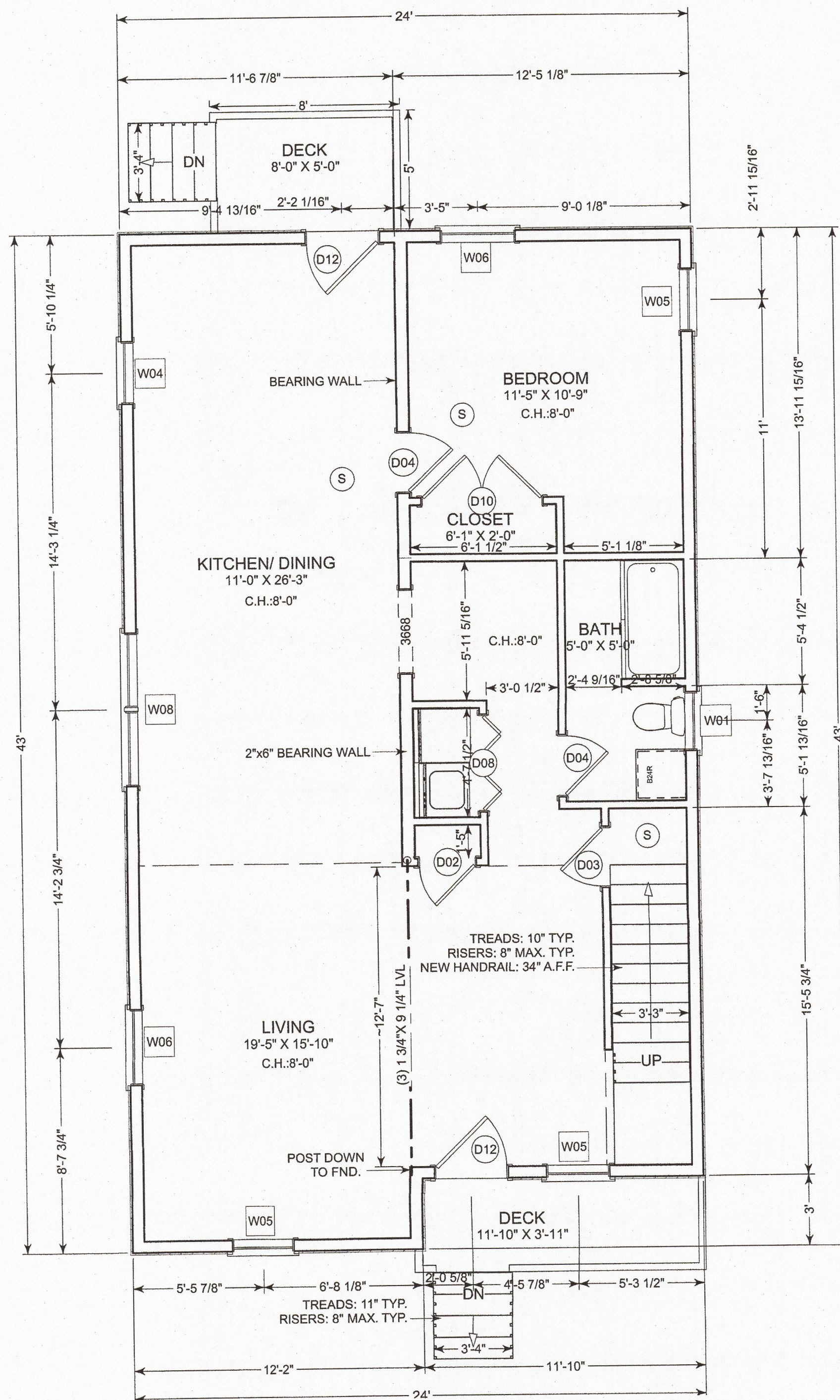
SCALE:
AS NOTED

SHEET:
1-4



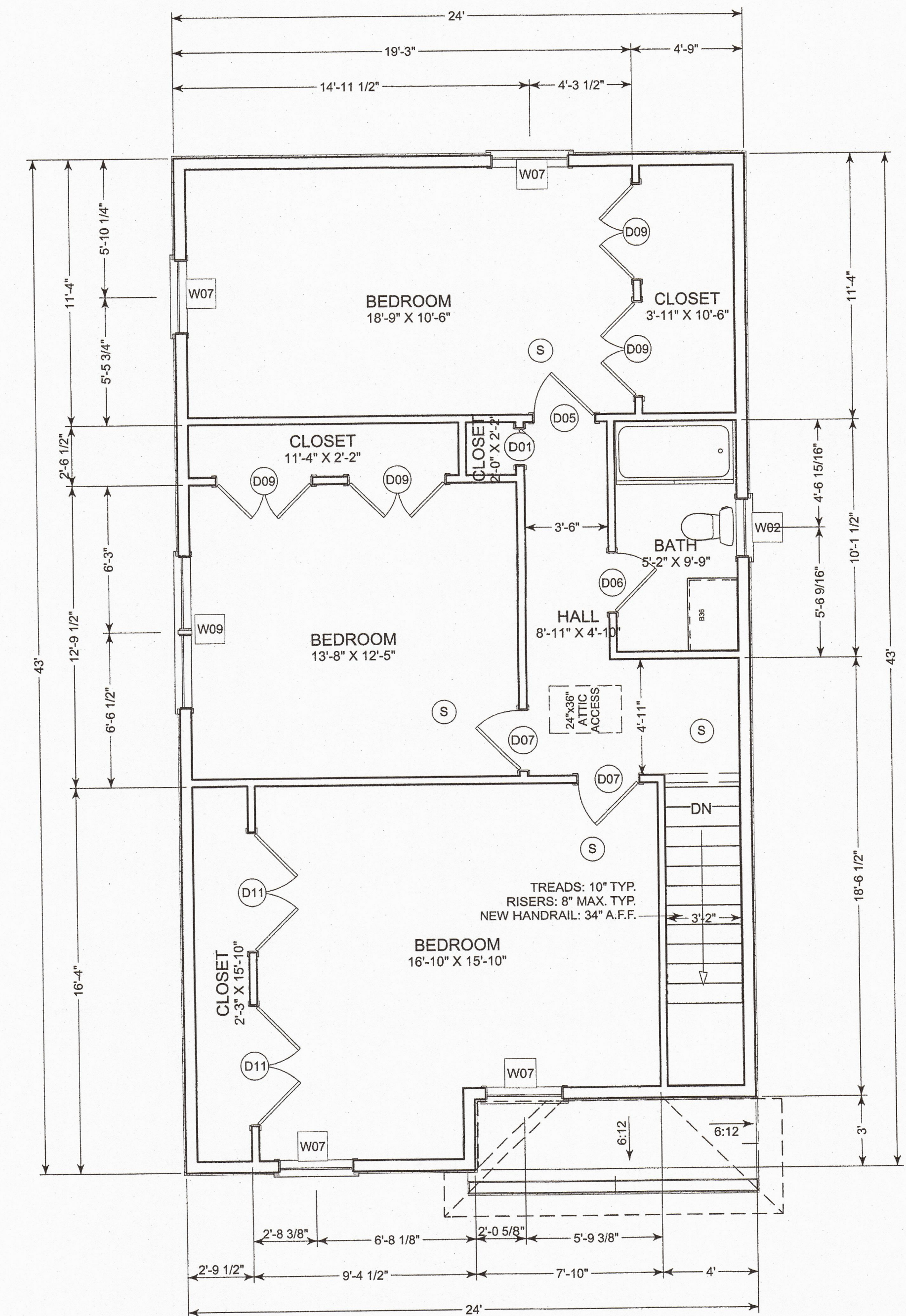
FOUNDATION PLAN

SCALE: 1/4"=1'-0"



1ST FLOOR PLAN

SCALE: 1/4"=1'-0"

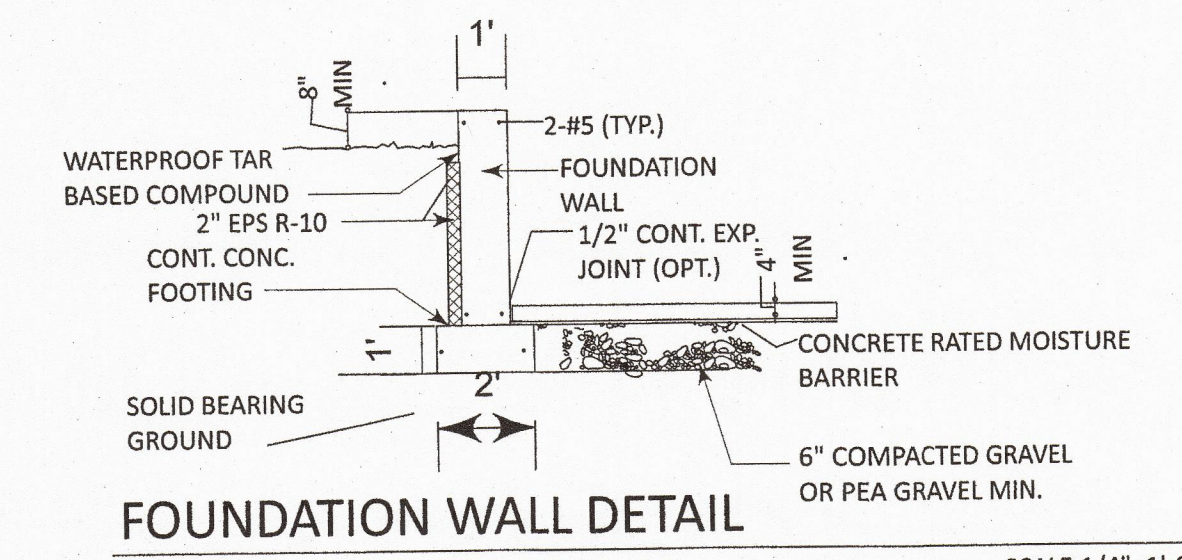


2ND FLOOR PLAN

SCALE: 1/4"=1'-0"

DOOR SCHEDULE						
NUMBER	QTY	FLOOR	SIZE	WIDTH	HEIGHT	DESCRIPTION
D01	1	2	1668 L	18"	80"	2 DR. BIFOLD-SLAB
D02	1	1	2468 L IN	28"	80"	HINGED-DOOR P09
D03	1	1	2568 R IN	29 1/4"	80"	HINGED-DOOR P09
D04	2	1	2668 R IN	30"	80"	HINGED-DOOR P09
D05	1	2	2668 R IN	30"	80"	HINGED-DOOR P09
D06	1	2	2668 R IN	30"	80"	HINGED-DOOR P09
D07	2	2	2668 L IN	30"	80"	HINGED-DOOR P09
D08	1	1	4068 L/R	48"	80"	4 DR. BIFOLD-SLAB
D09	4	2	4068 L/R IN	48"	80"	DOUBLE HINGED-DOOR P09
D10	1	1	5068 L/R IN	60"	80"	DOUBLE HINGED-DOOR P09
D11	2	2	5068 L/R IN	60"	80"	DOUBLE HINGED-DOOR P09
D12	2	1	3068 L EX	36"	80"	EXT. HINGED-DOOR E21

WINDOW SCHEDULE										
NUMBER	HEIGHT	QTY	FLOOR	SIZE	WIDTH	HEIGHT	EGRESS	DESCRIPTION	HEADER	HEADER TYPE
W01	54"	1	1	2646SH	30"	54"		SINGLE HUNG	1 3/4X7 1/4X35" (3)	LVL
W02	54"	1	2	2646SH	30"	54"		SINGLE HUNG	1 3/4X7 1/4X35" (3)	LVL
W03	16"	4	0	2814HO	32"	16"		SINGLE HOPPER	2X8X34" (2)	LUMBER
W04	42"	1	1	2836SH	32"	42"	YES	SINGLE HUNG	1 3/4X7 1/4X37" (3)	LVL
W05	54"	3	1	2846SH	32"	54"		SINGLE HUNG	1 3/4X7 1/4X37" (3)	LVL
W06	56"	2	1	3248SH	38"	56"	YES	SINGLE HUNG	1 3/4X7 1/4X43" (3)	LVL
W07	56"	4	2	3248SH	38"	56"	YES	SINGLE HUNG	1 3/4X7 1/4X43" (3)	LVL
W08	56"	1	1	6648	78"	56"		MULLED UNIT-HR	1 3/4X9 1/4X83" (2)	LVL
W09	56"	1	2	6648	78"	56"		MULLED UNIT-HR	1 3/4X9 1/4X83" (3)	LVL



NO.	DESCRIPTION	BY	DATE

THIS PLAN HAS BEEN CHECKED BY THE REGISTERED PROFESSIONAL ARCHITECT FOR CONFORMANCE WITH THE PROPOSED SITE CONDITIONS. FOR PROPER CONSTRUCTION, IMPROPER CONSTRUCTION, MATERIALS, WORKMANSHIP OR CONTRACTOR METHOD, THE ARCHITECT OR INCOMPETENCY OF THESE PLANS IS NOT RESPONSIBLE. IT IS THE RESPONSIBILITY AND LIABILITY OF THE BUILDER, CONTRACTOR AND OWNER TO OBTAIN ALL LOCAL, STATE AND FEDERAL CODES AND ORDINANCES.

PERMIT PLAN

SHEET TITLE: **FOUNDATION & 1ST FLOOR PLAN**

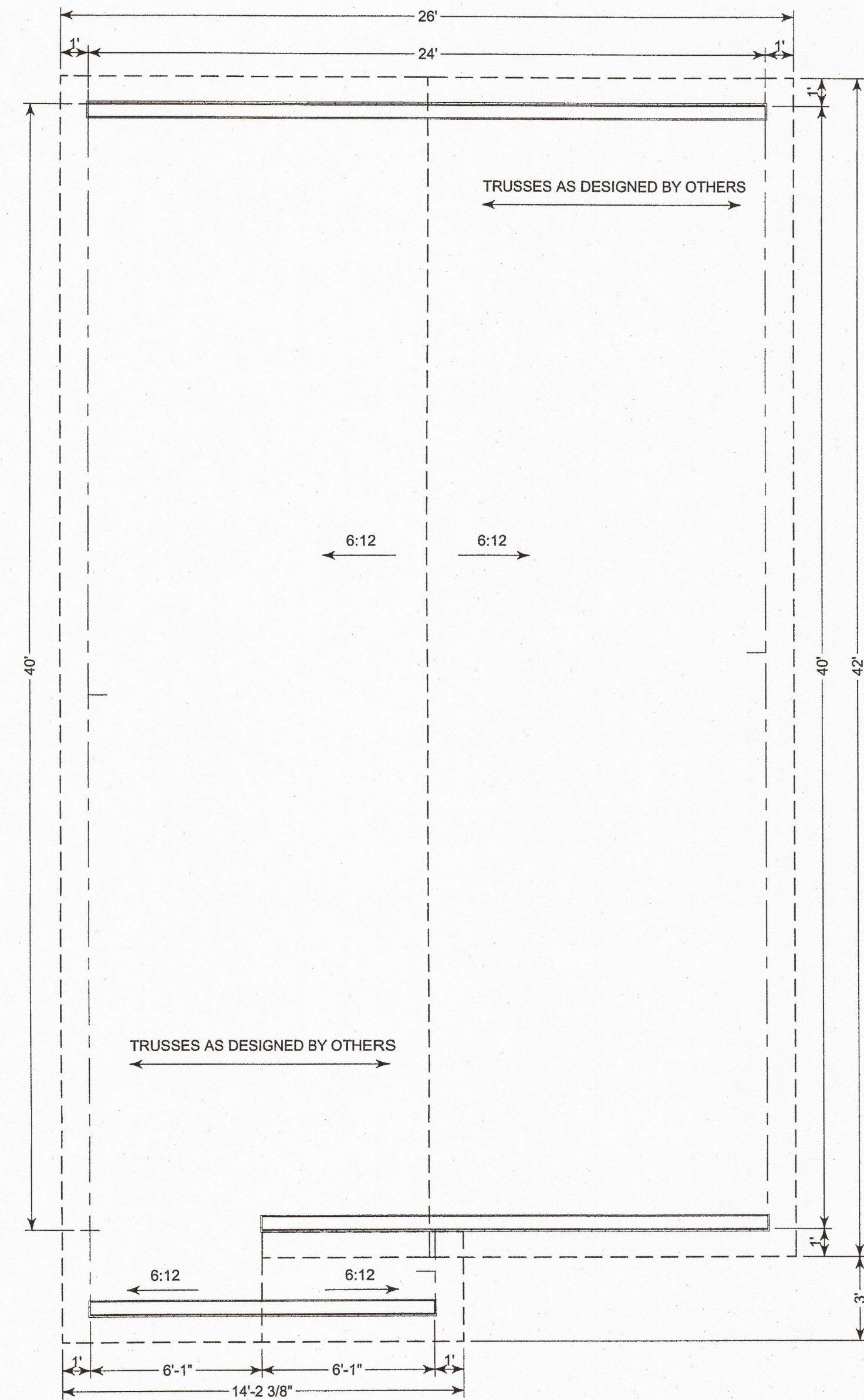
PREPARED FOR: **JOSE CASTRO SUPERIOR ST PROVIDENCE, RI**

DRAWINGS PROVIDED BY: **Marijlyn Rojas**
p.o. box 763
chepachet, ri 02814
ph: 401-499-2844
email: marijlynrojas.dbyd@gmail.com

DATE: **12/13/2020**

SCALE: **AS NOTED**

SHEET: **2-4**



ROOF PLAN

SCALE: 1/4"=1'-0"



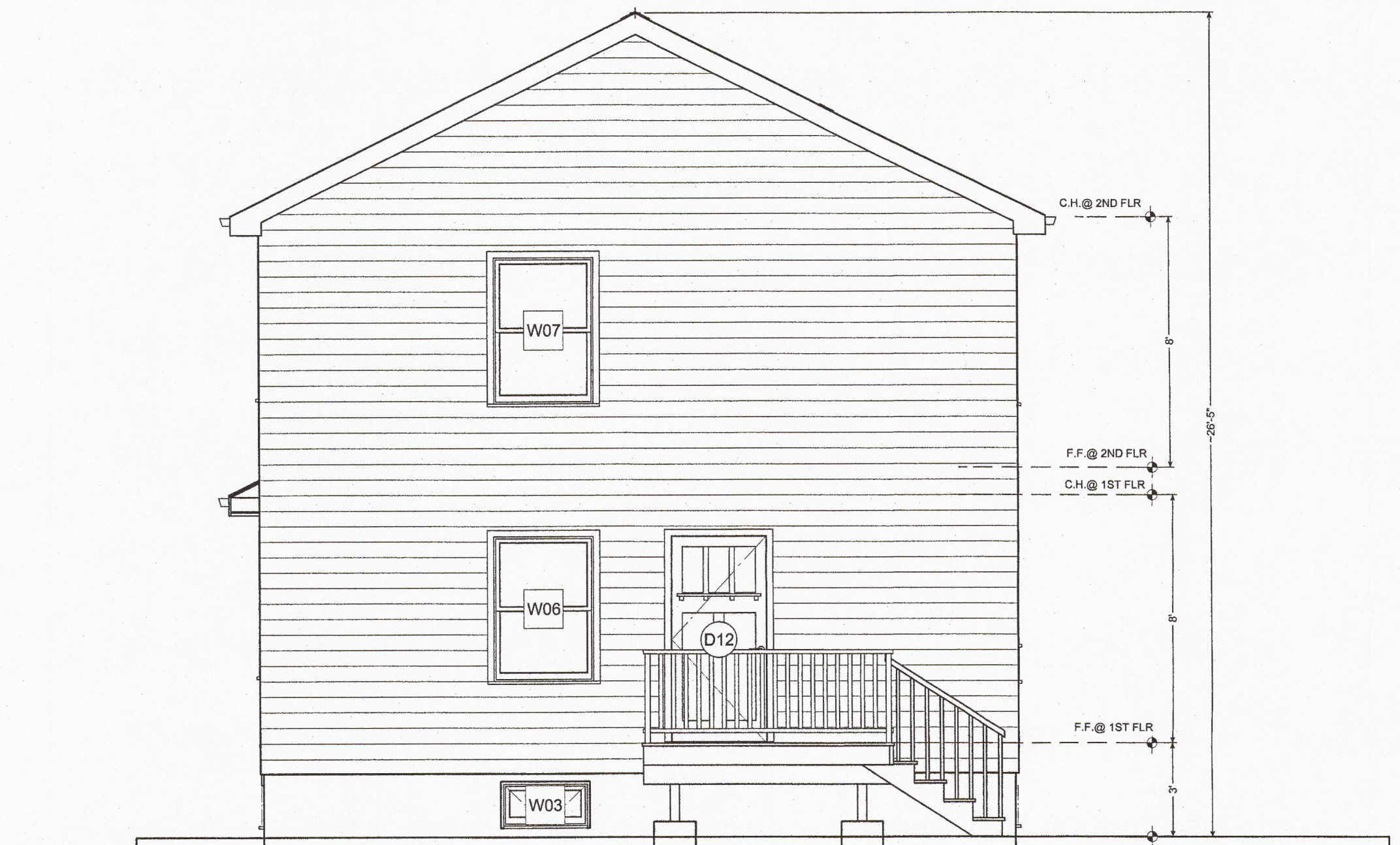
RIGHT ELEVATION

SCALE: 1/4"=1'-0"



LEFT ELEVATION

SCALE: 1/4"=1'-0"



REAR ELEVATION

SCALE: 1/4"=1'-0"

NO.	DESCRIPTION	BY	DATE

THIS PLAN HAS BEEN CREATED BY THE DRAFTSPERSON ASSUMING NO RESPONSIBILITY EXISTING & PROPOSED SITE CONDITIONS. FOR PROPER CONSTRUCTION, IMPROPER CONTRACTOR METHODS, ACCURACY OR INACCURACY OF THESE PLANS. IT IS THE RESPONSIBILITY OF THE BUILDER. ALL DIMENSIONS AND MANUFACTURING SHALL CONFORM TO ALL LOCAL, STATE AND NATIONAL CODES AND ORDINANCES.

PERMIT PLAN

SHEET TITLE: ELEVATIONS PLAN

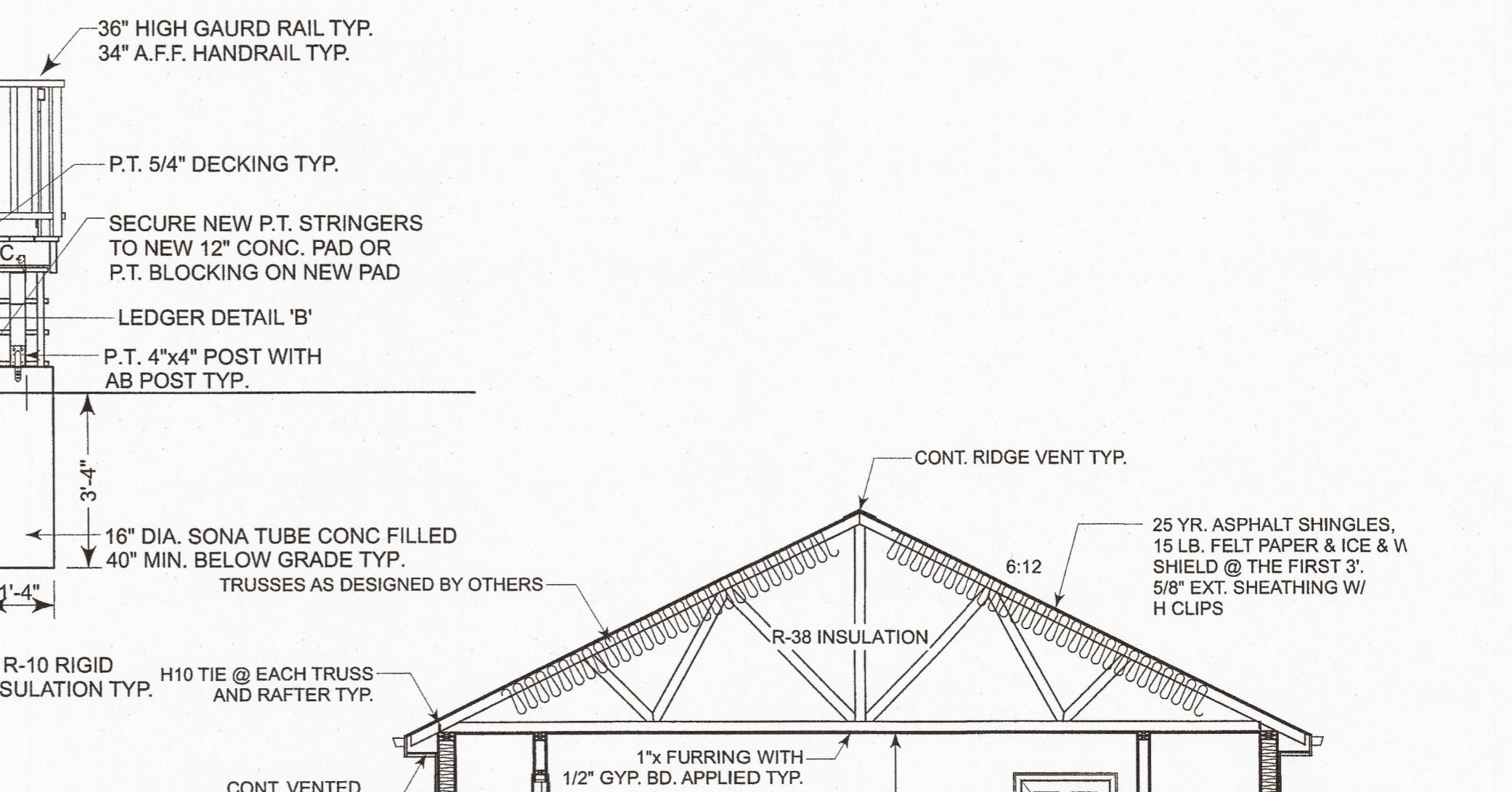
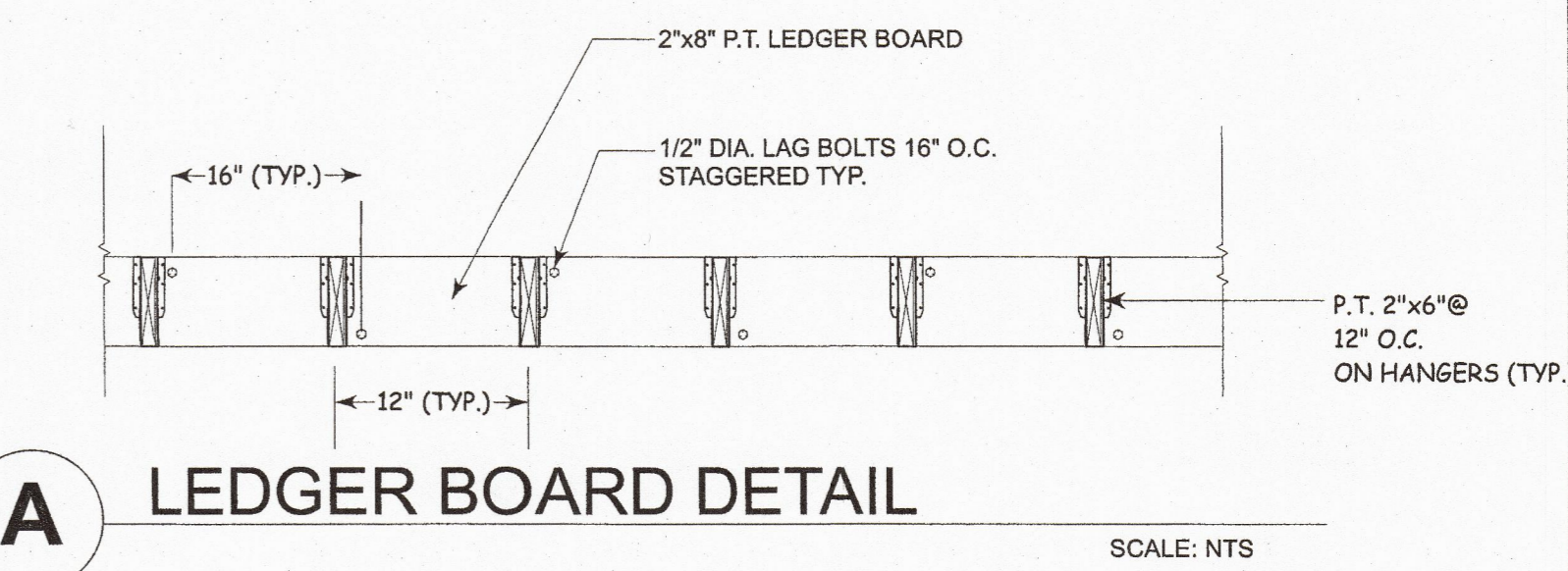
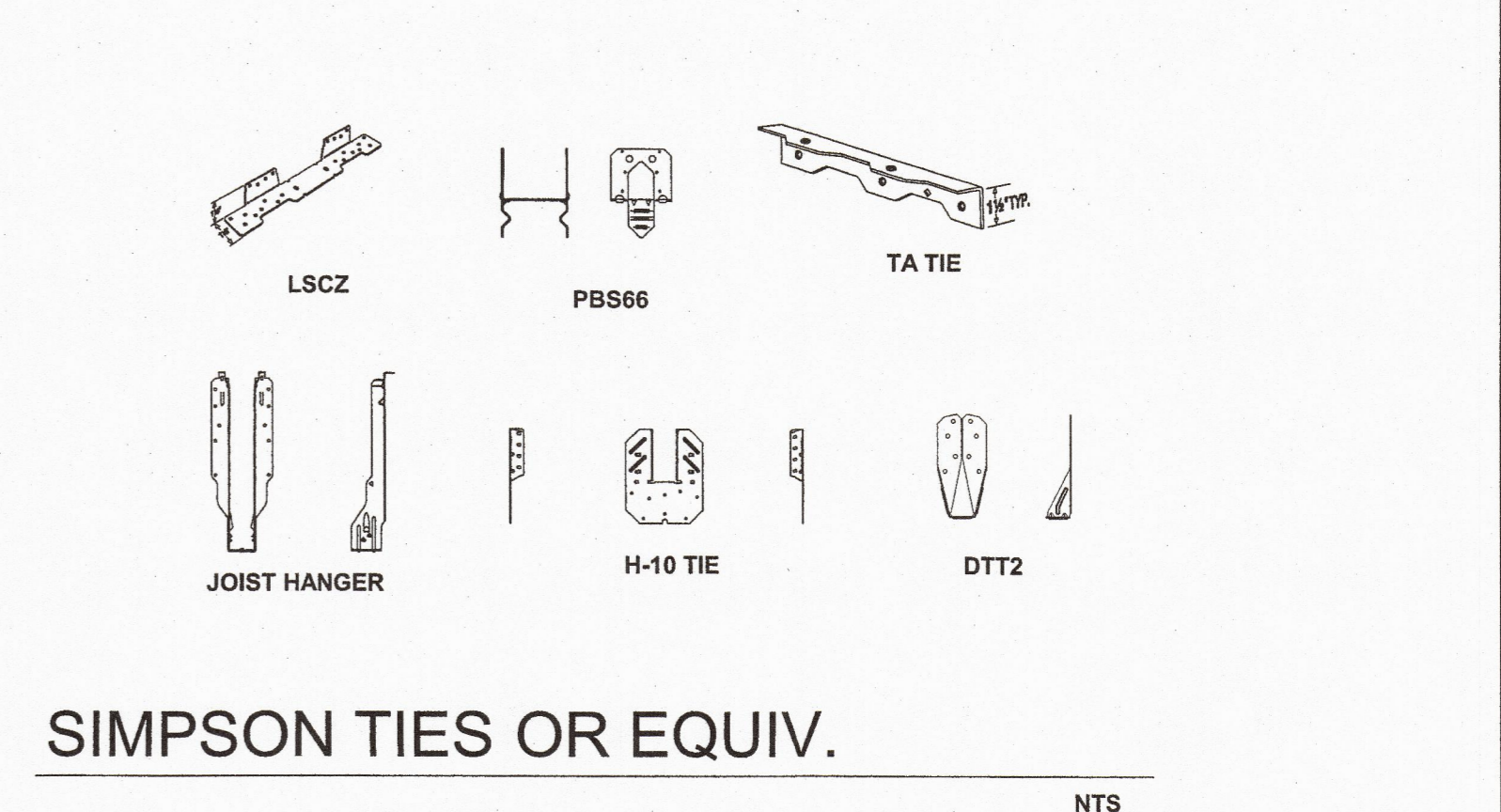
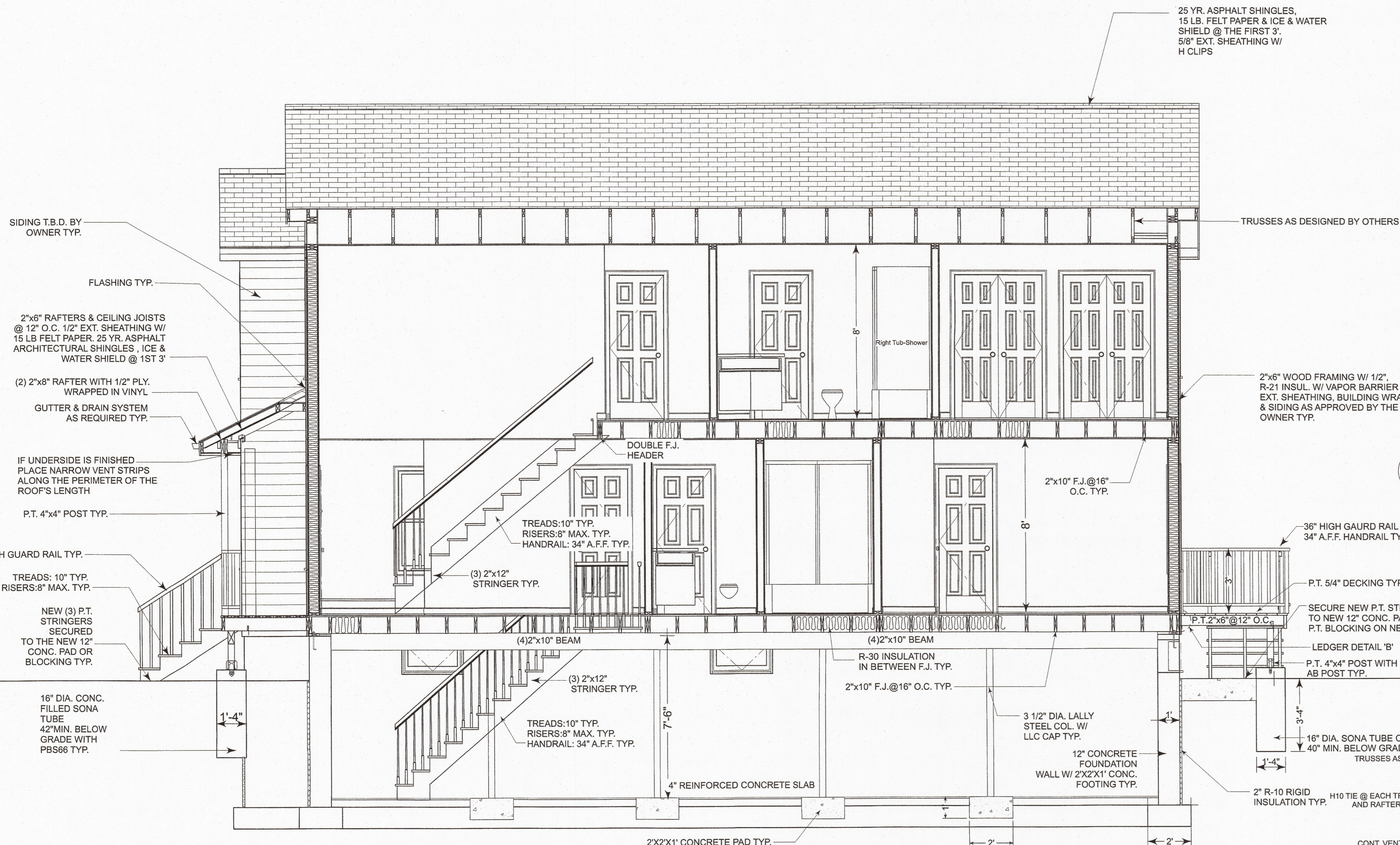
PREPARED FOR:
JOSE CASTRO
SUPERIOR ST
PROVIDENCE, RI

DRAWINGS PROVIDED BY:
Marilyn Rojas
P.O. box 763
chequamegon, ri 02814
ph: 401-499-2844
email: marilynrojas.dbs@gmail.com

DATE:
12/13/2020

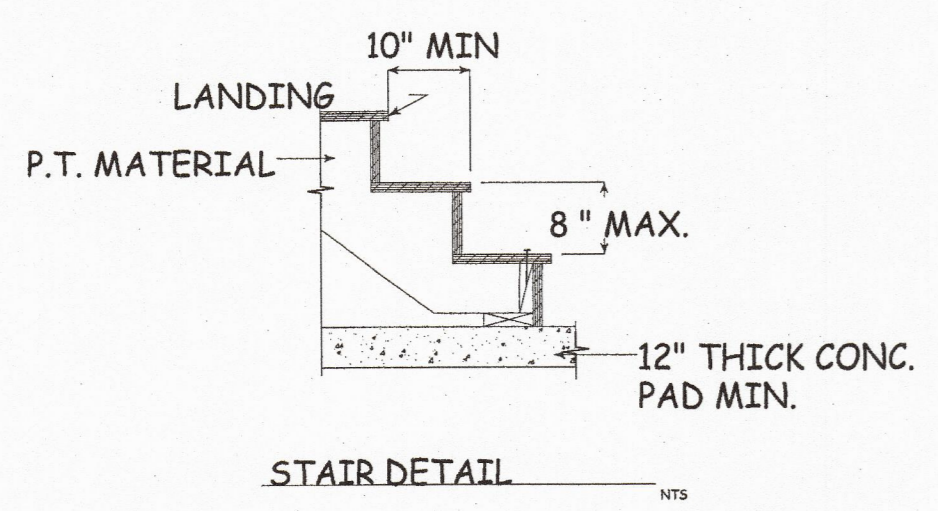
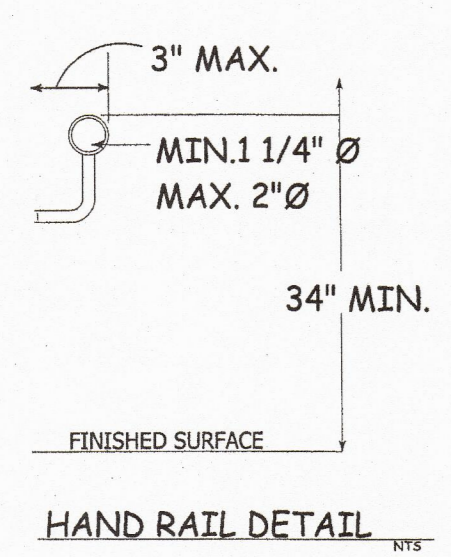
SCALE:
AS NOTED

SHEET:
3-4



Y-Y- SECTION

SCALE: 3/8"=1'-0"



X-X SECTION

SCALE: 1/4"=1'-0"

NO.	DESCRIPTION	BY	DATE

THIS PLAN HAS BEEN CREATED BY THE DRAFTSPERSON ASSUMING NO RESPONSIBILITY EXISTING & PROPOSED SITE CONDITIONS. FOR PROPER CONSTRUCTION, IMPROPER CONTRACTOR METHODS, ACCURACY OR INACCURACY OF THESE PLANS. IT IS THE RESPONSIBILITY OF THE BUILDER. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO ALL LOCAL, STATE AND NATIONAL CODES AND ORDINANCES.

PERMIT PLAN

ELEVATIONS PLAN

SHEET TITLE:
PREPARED FOR:
JOSE CASTRO
SUPERIOR ST
PROVIDENCE, RI

DRAWINGS PROVIDED BY:
Marilyn Rojas
P.O. Box 763
Chepachet, RI 02814
PH: 401-499-2844
email: marilynrojas.dby@gmail.com

DATE:

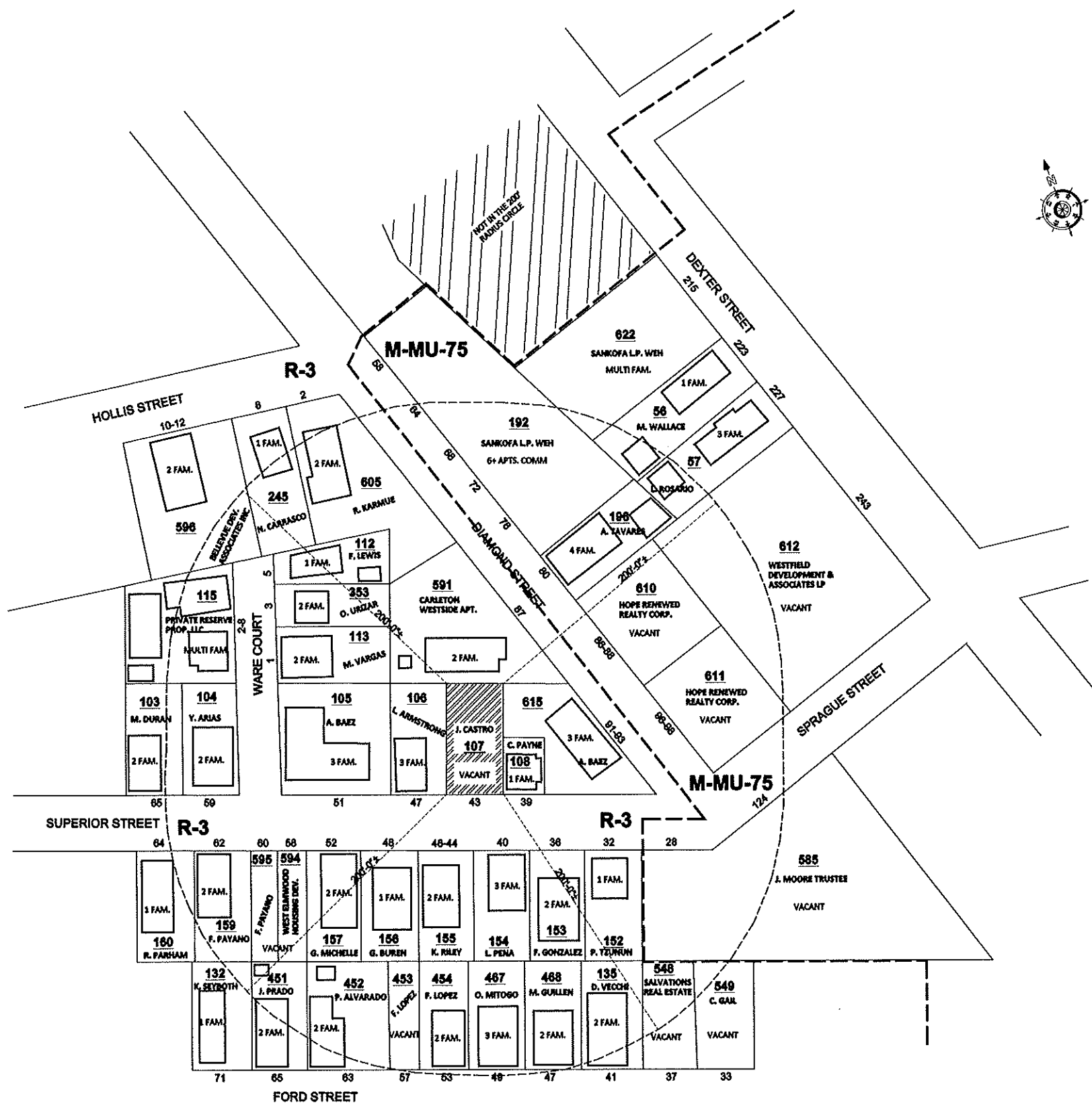
12/13/2020

SCALE:

AS NOTED

SHEET:

4-4



200' RADIUS PLAN
SCALE: 1" = 50'-0"

200' RADIUS PLAN

43 SUPERIOR ST.
PROVIDENCE, RI.
02907

OWNER / APPLICANT
JOSE CASTRO
TEL. (401) 545-5010

PLAT: 31
LOT: 107
ZONING: R3
LEGAL USE: VACANT LOT
PROP USE: 2-FAMILY

DESIGNER
EUGENIO OVALLE

23 JOSLIN ST.
PROVIDENCE, RI 02909
TEL. 401 430-0596

GENERAL NOTE:

DO NOT MEASURE THESE DRAWINGS UNLESS OTHERWISE SPECIFIED. USE ANNOTATED DIMENSIONS ONLY. VERIFY ALL DIMENSIONS IN FIELD (V.I.F.). IN CASE OF VARIANCES OR DISCREPANCIES NOTIFY DESIGNER FOR RESOLUTION PRIOR TO COMMENCEMENT OF THE WORK.

REVISIONS:

NO.	DATE	DESCRIPTION

DRAWN BY: 890 SCALE: AS NOTED
PROJECT No.: 777 DATE: 10/11/2021

SHEET TITLE:

200' RADIUS PLAN

SHEET No. **S-1**





W
MP
HEAD





THE
LEAD

graffiti

graffiti

graffiti

graffiti

graffiti

graffiti

graffiti





