

CITY OF PROVIDENCE
BUILDING BOARD OF REVIEW

AUG 12 2026

Received

APPLICATION APPEALING THE DECISION OF THE BUILDING OFFICIAL, OR
FOR A VARIATION OR MODIFICATION FROM CERTAIN SECTIONS OF THE RI STATE BUILDING CODE

Check Type of Building Board Application:

- ☒ Variance – variation from, or modification of, certain sections of the RI State Building Code
☐ Appeal of a decision of the Building Official

If a section of the application is not applicable, please indicate this by using N/A in that field.

Applicant: Wade A. Palazini - Jensen Hug Applicant Mailing Address
Email: wpalazini@jensenhughes.com Street: [REDACTED]
Phone: [REDACTED] City, State, Zip: [REDACTED]

Owner: 885 Westminster DMBB, LLC Owner Mailing Address
Email: [REDACTED] Street: [REDACTED]
Phone: [REDACTED] City, State, Zip: [REDACTED]

Appellant: N/A Appellant Mailing Address
Email: N/A Street: N/A
Phone: N/A City, State, Zip: N/A

Attorney: N/A Attorney Mailing Address
Email: N/A Street: N/A
Phone: N/A City, State, Zip: N/A

1. Subject Department of Inspection + Standards Permit Number: N/A
2. Street Address of Subject Property: 885 Westminster Street
Assessor's Plat and Lot Numbers of Subject Property: AP 29, Lot 137
3. Base Zoning District(s): C-2 General Commercial
Overlay District(s): N/A

4. Date owner purchased the Property: 02/20/2026

5. Building construction type(s): Type IA and Type IIIB (proposed)

6. Dimensions of each lot:

Lot # <u>137</u>	Width <u>95'</u>	Depth <u>200.66'</u>	Total area <u>19,510+/-</u> sq. ft.
Lot # <u>N/A</u>	Width <u>N/A</u>	Depth <u>N/A</u>	Total area <u>N/A</u> sq. ft.

7. Size of existing structure(s) located on the Property:

Principal Structure:

Area of Footprint 11,418 s.f.

Overall Height +/- 25"

of Stories 2

Accessory Structure:

Area of Footprint N/A

Overall Height N/A

of Stories N/A

8. Size of proposed structure(s) located on the Property:

Principal Structure:

Area of Footprint +/- 15,700 s.f.

Overall Height +/- 63'-5"

of Stories 5

Accessory Structure:

Area of Footprint N/A

Overall Height N/A

of Stories N/A

9. Present Legal Zoning Use of the Property: C-2 General Commercial

10. Proposed Zoning Use of the Property: C-2 General Commercial

11. Number of Parking Spaces:

of existing spaces 19 # of proposed spaces 39

12. Are there outstanding violations concerning the Property under any of the following:

☐ Providence Zoning Ordinance ☐ RI State Building or Property Maintenance Code(s)

13. Summarize all changes proposed for the Property (use, construction/renovation, site alteration):

The proposed scope of work is to renovate an existing 31,390 square foot, 2-story (above basement) building and constructing horizontal and vertical additions. The resulting building will be 5 stories in height with a footprint area of approximately 15,700 square feet and a total gross area (including basement) of approximately 81,700 square feet. The building will include parking garages (Use Group S-2), Tenant Space(s) on the first floor (Use Group B), and Residential dwelling units (Use Group R-2) and tenant amenity spaces on the second through fifth floors. See attached for proposed protection of openings located on exterior walls with zero (0) foot fire separation distance.

14. If application is for variance, list RI State Building Code Sections from which a variance is sought:

<u>Section Number</u>	<u>Section Title + Required relief (e.g. dimensional deficiency of 6" on a landing)</u>
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<u>RISBC-1</u>	<u>Section 705.8.1 Allowable area of openings</u>
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<u>RISBC-1</u>	<u>Table 705.8 Maximum Area of Exterior Wall Openings Based on Fire Sep</u>
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QUESTIONS 15 AND 16 TO BE ANSWERED ONLY IF APPLICATION IS AN APPEAL

15. IF application is an appeal of a decision of the Building Official, please indicate if:

- ☐ Appellant is the Owner of the subject Property
☐ Appellant is an aggrieved party that is not the Owner of the subject Property

16. IF application is an appeal of a decision of the Building Official, please indicate the grounds for the appeal:

**IF MORE ROOM IS NEEDED TO ANSWER ANY OF THE ABOVE QUESTIONS, PLEASE SUBMIT AN
ADDENDUM TO THIS APPENDIX WITH COMPLETE RESPONSES.**

The undersigned acknowledge(s) and agree(s) that members of the Building Board of Review and its staff may enter upon the Property in order to view the Property prior to any hearing on the application.

The undersigned further acknowledge(s) that the statements herein and in any attachments or appendices are true and accurate, and that providing a false statement in this application may be subject to criminal and/or civil penalties as provided by law, including prosecution under the State and Municipal False Claims Acts. Owner(s)/Applicant(s) are jointly responsible for any false statements.

Owner(s):

885 Westminster DMBB LLC

Type Name

Robert Berle

Signature

Robert Berle

Type Name

Signature

Applicant(s)/Appellant(s):

Jensen Hughes

Type Name

Wade A. Palazini

Signature

Wade A. Palazini

Type Name

Signature

All applicable requirements listed and described on the Instruction Sheet shall be met or this application will not be considered complete.

Please contact the Office of the Boards of Review with questions:

Telephone – 401-680-5375

Email – bsath@providenceri.gov

A fillable PDF copy of this document can be found online at the Boards of Review webpage linked from the Department of Inspection + Standards: <https://www.providenceri.gov/inspection-standards/>

NOTICE OF REFUSAL OF PERMIT APPLICATION	CITY OF PROVIDENCE DEPT OF INSPECTIONS AND STANDARDS 780 Allens Ave. -Providence, RI. 02905	APPLICATION DATE 08/04/2026	APPLICATION NO. N/A						
		DATE OF REFUSAL 08/05/2026	APPEAL FEE \$440						
LOCATION 869 Westminster St. Providence, RI 02903		PAGE NUMBER 1 of 1							
APPLICANT Wade Palazini	TITLE Applicant	ADDRESS 117 Metro Center Blvd. Suite 1002, Warwick, RI 02886							
PROPERTY OWNER'S NAME 885 Westminster DMBB LLC		PROPERTY OWNER'S FULL ADDRESS 203 South Main St. 1 st floor, Providence, RI 02903							
THE APPLICATION FOR A CERTIFICATE OF OCCUPANCY FOR THE ABOVE LOCATION HAS BEEN REFUSED BECAUSE THE PROVISIONS OF THE RHODE ISLAND STATE CODE HAVE NOT BEEN COMPLIED WITH IN THE FOLLOWING PARTICULARS.									
SCOPE OF PERMIT: For the interior alterations and addition of an existing 2-story building to result in a 5-story, mixed use building.									
BUILDING DESCRIPTION: <u>Five (5) story, proposed.</u> USE GROUP(S): S-2 Parking garage; B-Commercial spaces; R-2 – Seventy-four (74) dwelling units TYPE OF CONSTRUCTION: <u>III-B (Proposed)</u>									
LOCATION OF SPRINKLERS (IF ANY): <u>NFPA 13 throughout</u> C.O. REQUIRED: <u>YES</u>									
FLOOR AREAS / USES Basement floor: 15700 Sq. Ft./Storage/Utilities First Floor: 15700 Sq. Ft./Parking/Tenant spaces/Dwelling units Second-Fifth Floors: 15700 Sq. Ft.(each) / Dwelling units									
Has the proposed scope of work been completed? ☐ Yes ☒ No Has a violation been noted for this property? ☐ Yes ☒ No									
RISBC-1 Rhode Island Building Code (510- RICR-00-00-1)	<u>CODE SECTIONS AND REASONS FOR REFUSAL</u>								
Section 705.8	Allowable area of openings. The maximum area of unprotected and protected openings permitted in an exterior wall in any story of a building shall not exceed the percentages specified in Table 705.8 based on the fire separation distance of each individual story.								
Table 705.8	<table border="1" style="width:100%; border-collapse: collapse; text-align: center;"> <thead> <tr> <th style="width:25%;">Fire Separation Distance</th> <th style="width:35%;">Degree of opening protection</th> <th style="width:40%;">Allowable area (per story)</th> </tr> </thead> <tbody> <tr> <td>Less than 3 ft.</td> <td>Unprotected, Sprinklered</td> <td>Not Permitted</td> </tr> </tbody> </table>			Fire Separation Distance	Degree of opening protection	Allowable area (per story)	Less than 3 ft.	Unprotected, Sprinklered	Not Permitted
Fire Separation Distance	Degree of opening protection	Allowable area (per story)							
Less than 3 ft.	Unprotected, Sprinklered	Not Permitted							
**	Whereas, the following openings are proposed: <table border="1" style="width:100%; border-collapse: collapse; text-align: center; margin-top: 10px;"> <thead> <tr> <th style="width:25%;">Fire Separation Distance</th> <th style="width:35%;">Degree of opening protection</th> <th style="width:40%;">Proposed area (per story)</th> </tr> </thead> <tbody> <tr> <td>East – 0 ft.</td> <td>Unprotected, Sprinklered</td> <td> 2nd story – 19%-135.11 sq. ft. 3rd story – 24%-97.2 sq. ft. 4th story -19%-80.13 sq. ft. 5th story -22%-97.81 sq. ft. </td> </tr> </tbody> </table>			Fire Separation Distance	Degree of opening protection	Proposed area (per story)	East – 0 ft.	Unprotected, Sprinklered	2 nd story – 19%-135.11 sq. ft. 3 rd story – 24%-97.2 sq. ft. 4 th story -19%-80.13 sq. ft. 5 th story -22%-97.81 sq. ft.
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Discipline: --Building Code--

Signed


Yaniv Eini-Gal
 Plan Examiner Supervisor

Signed


John Botelho
 Building Official

☒ Applicant ☐ Property Owner

NOTE: MECHANICAL LOUVERS ARE SHOWN ON THIS ELEVATION, BUT NOT ILLUSTRATED ON ALL ELEVATIONS UNTIL COORDINATION IS COMPLETE AND AN UNDERSTANDING FROM OLIMPIA FOR THE SIZE OF THE LOUVERS IS PROVIDED.

PLEASE ASSUME DESIGN INTENT OF LOUVERS FROM THIS ELEVATION

- GENERAL NOTES:
1. ALL BREAK METAL FLASHING & COPING TO MATCH ADJACENT CLADDING MATERIAL.
 2. E3 ALTERNATE - EXTRUDED METAL PANEL SYSTEM BY MORIN METALS IN CHAMPAGNE BRONZE.

EXTERIOR MATERIAL SCHEDULE:

MARK	MATERIAL	MANUFACTURER	COLOR/DESCRIPTION
E1	CERAMIC COATED SIDING	CERACLAD	SILVER GRAY, 8 REVEAL
E2	CERAMIC COATED SIDING	CERACLAD	SILVER GRAY, CASHMERE SMOOTH
E3*	TERRACOTTA	TONALITY	MONTANO, WHITE GLOSSY
E4	ALUMINUM COMPOSITE MATERIAL	ALUCOBOND	RUSSET MICA, EASY FIX
E5	ALUMINUM COMPOSITE MATERIAL	ALUCOBOND	JLR CHAMPAGNE METALLIC, EASY FIX
E6	PERFORATED CORRUGATED METAL PANEL	MORIN BY KINGSPAN	CHAMPAGNE BRONZE
E7	RAILING / GUARDRAIL	BOX MODERN	GUARDRAIL, PATTERN:B21, PEARL COPPER
E8	TENANT STOREFRONT ENTRY CANOPY	VESTIS	DARK BRONZE
E9	PAINT ON EXG BRICK	SHERWIN WILLIAMS	COLOR MATCH CERACLAD SILVER GRAY
E10	PAINT ON EXG EXTERIOR COLUMN	SHERWIN WILLIAMS	COLOR MATCH CERACLAD SILVER GRAY

CLIENT
885 WESTMINSTER DMBB LLC
201 WAYLAND AVE;
PROVIDENCE, RI

ARCHITECT
ZDS
ZDS INC.
2 CHARLES STREET, SUITE A1
PROVIDENCE, RI 02904
+1.401.680.6699
525 9TH ST NW STE 350
WASHINGTON, DC 20004
+1.202.660.0555

STAMP

PROJECT NAME
885 WESTMINSTER ST. MIXED USE

885 WESTMINSTER STREET
PROVIDENCE RI 02903

PROJECT NO. 25057

THESE DRAWINGS ARE FOR THE CONSTRUCTION OF THE PROJECT LISTED ABOVE AND ARE NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF ZDS, INC. THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS, BUT SHALL VERIFY AT THE SITE ALL LEVELS AND MEASUREMENTS NECESSARY FOR COMPLETE FABRICATION, ASSEMBLY AND INSTALLATION OF THE WORK. MINOR DETAILS OF THE WORK NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE ASCERTAINED BY THE CONTRACTOR AT THE SITE OF THE WORK, AND SHALL BE ACCOMPLISHED WITH THE INTENT OF THIS PROJECT.

REVISIONS

NO.	DESCRIPTION	DATE

ISSUED FOR PRICING

ISSUED DATE: JULY 30, 2026

SHEET TITLE

EXTERIOR ELEVATIONS

DRAWING NO.

A3.00

Green highlighted area is considered an addition under the IEBC. Additions are required to comply with SBC-1 requirements for new construction per IEBC 1101.1.

This building portion has a zero (0) foot fire separation distance (FSD) to the lot line and no openings are permitted where FSD is less than three (3) feet (SBC-1 Table 705.8).

The exterior wall at Floor 5 will contain 21% unprotected, sprinklered openings.

The exterior wall at Floor 4 will contain 19% unprotected, sprinklered openings.

The exterior wall at Floor 3 will contain 24% unprotected, sprinklered openings.

Yellow highlighted area can be considered a change of occupancy under the IEBC. A change of occupancy from mercantile to residential represents a change to a lower hazard category in IEBC Table 1011.7.

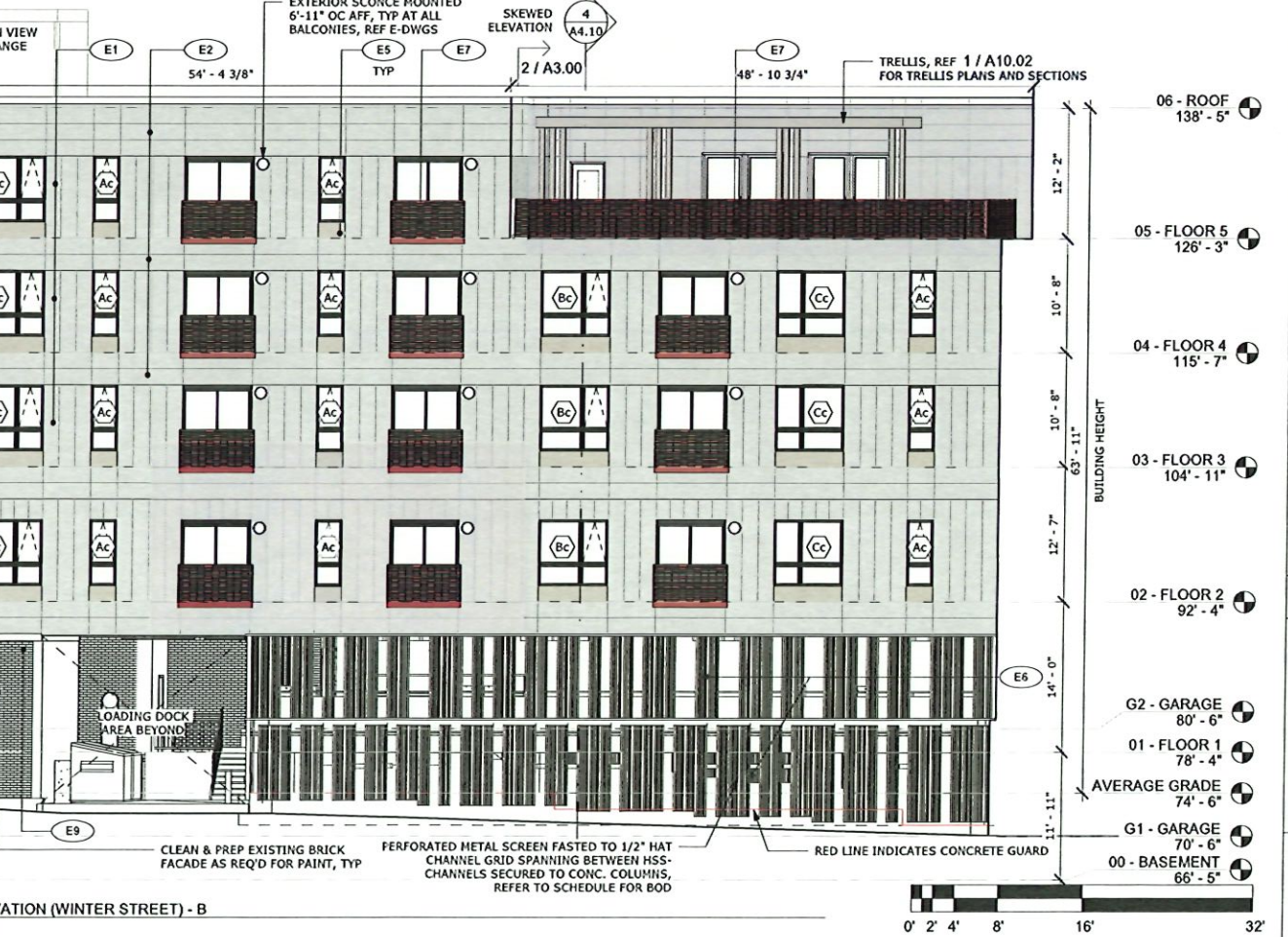
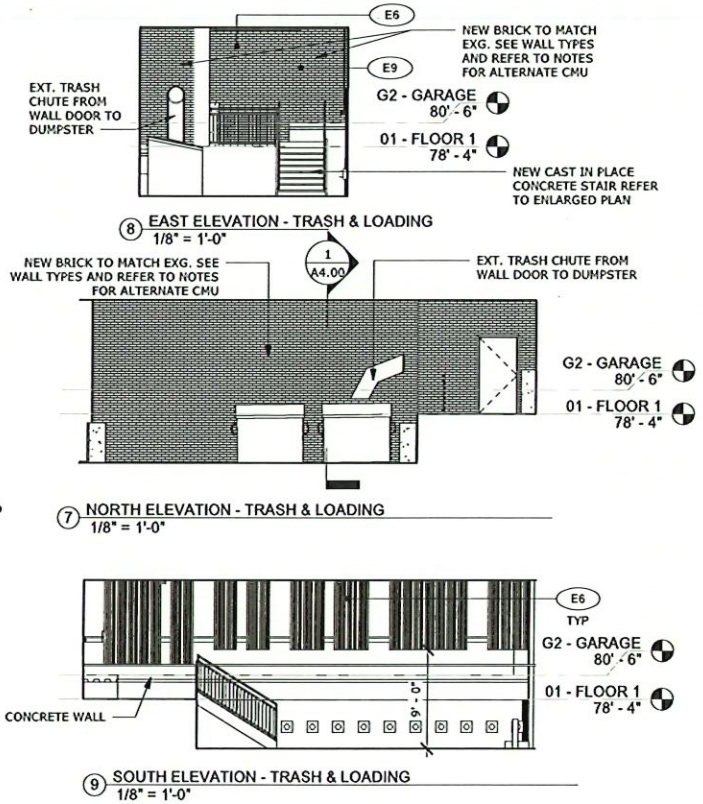
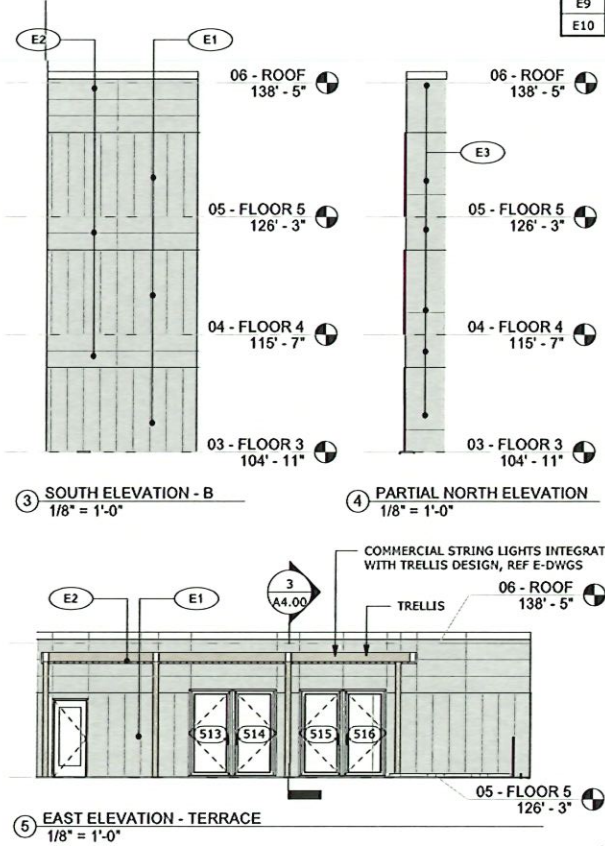
Existing exterior walls and openings are deemed acceptable by IEBC 1011.7.2. Once the size/number of openings are modified, compliance with SBC-1 705 is required.

This building portion has a zero (0) foot fire separation distance (FSD) to the lot line and no openings are permitted where FSD is less than three (3) feet (SBC-1 Table 705.8).

The existing openings in the exterior wall are currently 10%.

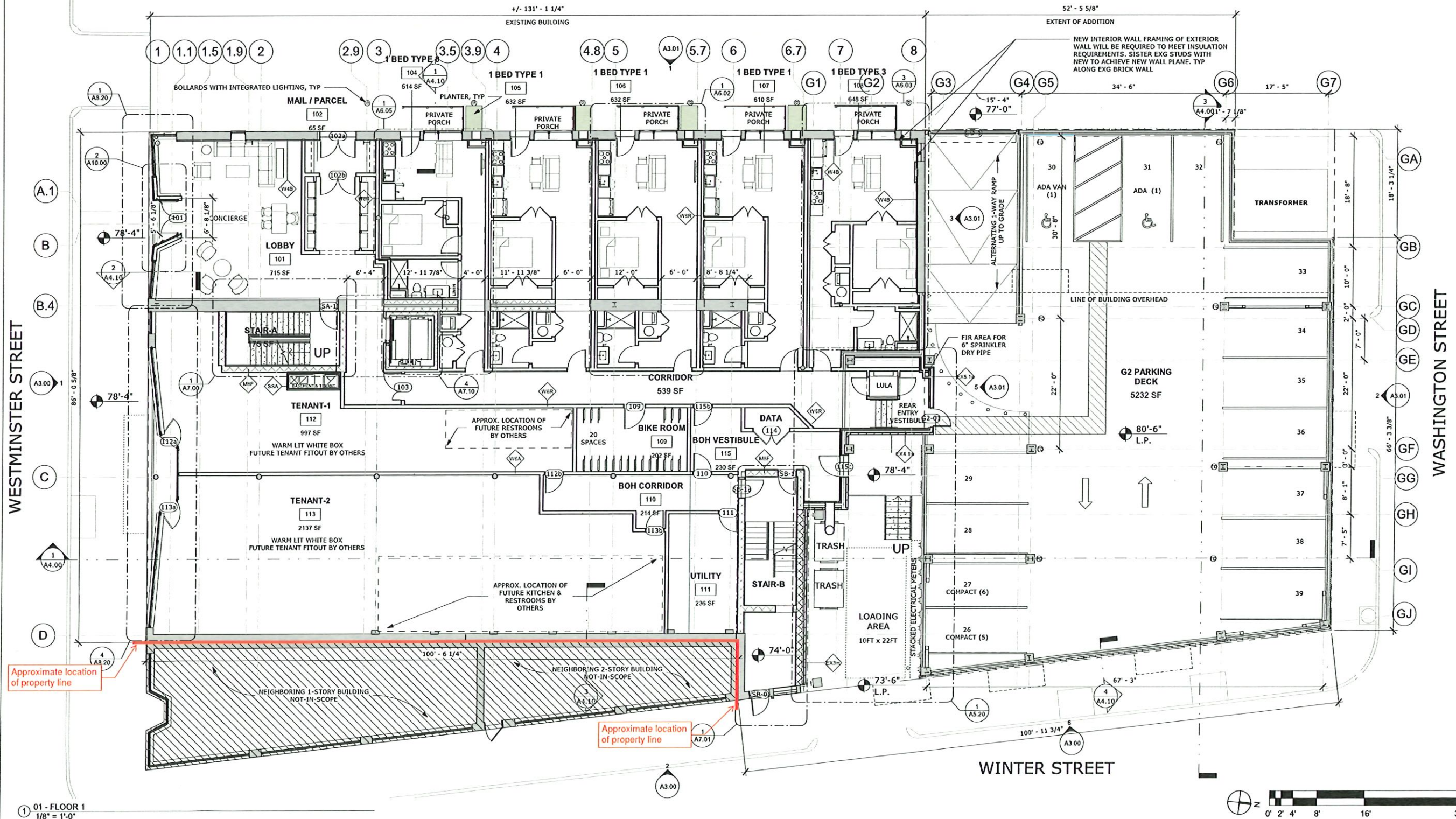
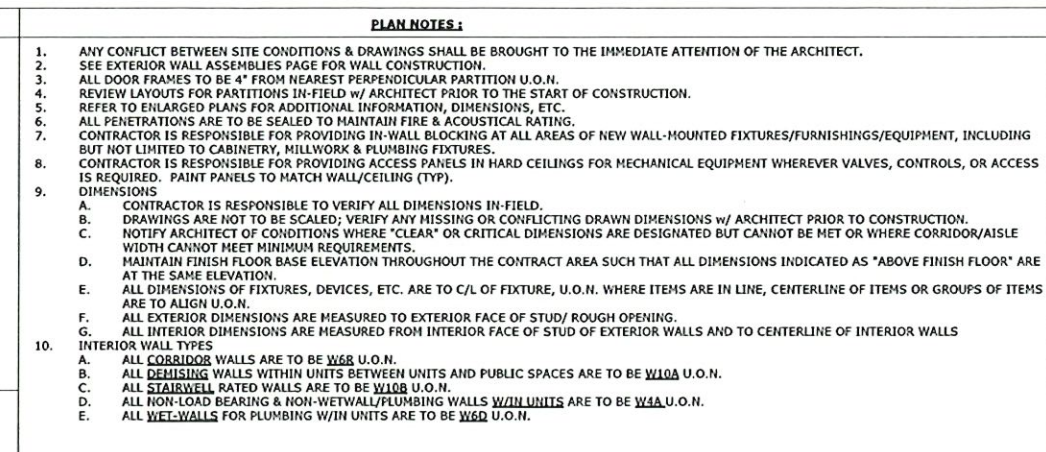
The openings will be modified such that the exterior wall at Floor 2 will contain 21% unprotected, sprinklered openings.

An automatic sprinkler is proposed to be installed on the interior at every opening that has a zero (0) foot fire separation distance in addition to the automatic sprinklers protecting the the building.



<u>UNIT MATRIX</u>				
<u>LEVEL</u>	<u>STUDIO</u>	<u>1 BED</u>	<u>2 BED</u>	<u>TOTAL</u>
GROUND LEVEL:		5		
SECOND LEVEL:	1	12	3	16
THIRD LEVEL:	1	15	3	19
FOURTH LEVEL:	1	15	3	19
FIFTH LEVEL*	1	12	2	15
TOTAL UNITS:	4	59	11	74

NOTE: PROJECT REQUIRES:
 (2) TYPE A UNITS (2% OF UNITS ARE REQUIRED TO BE TYPE A) - NOTED IN PLANS
 (1) HEARING IMPAIRED UNIT. SELECTION TO BE PROVIDED IN NEXT SUBMISSION.



CLIENT 885 WESTMINSTER DMBB LLC 201 WAYLAND AVE; PROVIDENCE, RI	
ARCHITECT	 ZDS INC. 2 CHARLES STREET, SUITE A1 PROVIDENCE, RI 02904 +1.401.660.6699 525 9TH ST NW STE 350 WASHINGTON, DC 20004 +1.202.660.0555

STAMP

PROJECT NAME
885 WESTMINSTER
ST. MIXED USE

885 WESTMINSTER STREET
PROVIDENCE RI 02903

PROJECT NO. **5057**

THESE DRAWINGS ARE FOR THE CONSTRUCTION OF THE PROJECT LISTED ABOVE. NO CHANGES ARE TO BE MADE IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF ZDS, INC. THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS, BUT SHALL VERIFY AT THE SITE ALL DIMENSIONS AND MEASUREMENTS NECESSARY FOR COMPLETE FABRICATION, ASSEMBLY AND INSTALLATION OF THE WORK. MINOR DETAILS OF THE WORK NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE ASCERTAINED BY THE CONTRACTOR AT THE SITE OF THE WORK AND SHALL BE ACCOMPLISHED WITH THE INTENT OF THIS PROJECT.

REVISIONS		
NO.	DESCRIPTION	DATE

ISSUED FOR
PRICING

ISSUED DATE: JULY 30, 2026

SHEET TITLE

GROUND LEVEL
FLOOR PLAN

DRAWING NO. **A1-01**

THESE DRAWINGS ARE FOR THE CONSTRUCTION OF THE PROJECT LISTED ABOVE AND ARE NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF ZDS, INC.
THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
MINOR DETAILS OF THE WORK NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE AS DETERMINED BY THE CONTRACTOR AT THE SITE OF THE WORK, AND SHALL BE ACCOMPLISHED WITH THE INTENT OF THIS PROJECT.



885 WESTMINSTER ST. MIXED USE

885 WESTMINSTER STREET PROVIDENCE RI 02903

CLIENT:

**885 WESTMINSTER
DMBB LLC**

201 WAYLAND AVE., 2ND FLOOR
PROVIDENCE, RI 02906

ARCHITECTURE AND INTERIORS:



ZDS inc.

2 CHARLES STREET, SUITE A1
PROVIDENCE, RI 02904
+1.401.680.6699

525 9TH STREET NW SUITE 350
WASHINGTON, DC 20004
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www.z-ds.com

STRUCTURAL ENGINEER:

**H+O STRUCTURAL
ENGINEERING**

100 SUMMER STREET, SUITE 1600
BOSTON, MA 02110

MECHANICAL, ELECTRICAL, PLUMBING, & FP ENGINEER:

**BUILDING ENGINEERING
RESOURCES, INC**



351 CENTERVILLE ROAD
WARWICK, RI 02886
+1.401.384.7682

CIVIL ENGINEER:

**JOE CASALI
ENGINEERING, INC.**

300 POST ROAD
WARWICK, RI 02888
+1.401.944.1300

ISSUED FOR PRICING

JULY 30, 2026

PARKING MATRIX						
LEVEL	STANDARD	PARALLEL	COMPACT	STANDARD ADA	VAN ADA	TOTAL
GARAGE-2:	10	0	2	1	1	14
GARAGE-1:	10	0	4	0	0	14
BASEMENT:	9	2	0	0	0	11
TOTAL	29	2	6	1	1	39

NOTE: 1/2 SPACES PER UNIT ARE REQUIRED EQUALING 37 SPACES. THE PROJECT MEETS THE MINIMUM PARKING REQUIREMENT & PROVIDES AN ADDITIONAL 2 COMPACT SPACES.

LOADING: 1 SPACE

BIKE STORAGE:
LONG TERM: 20 SPACES
SHORT TERM: REFER TO CIVIL

PLAN LEGEND:

DOOR U.O.N.

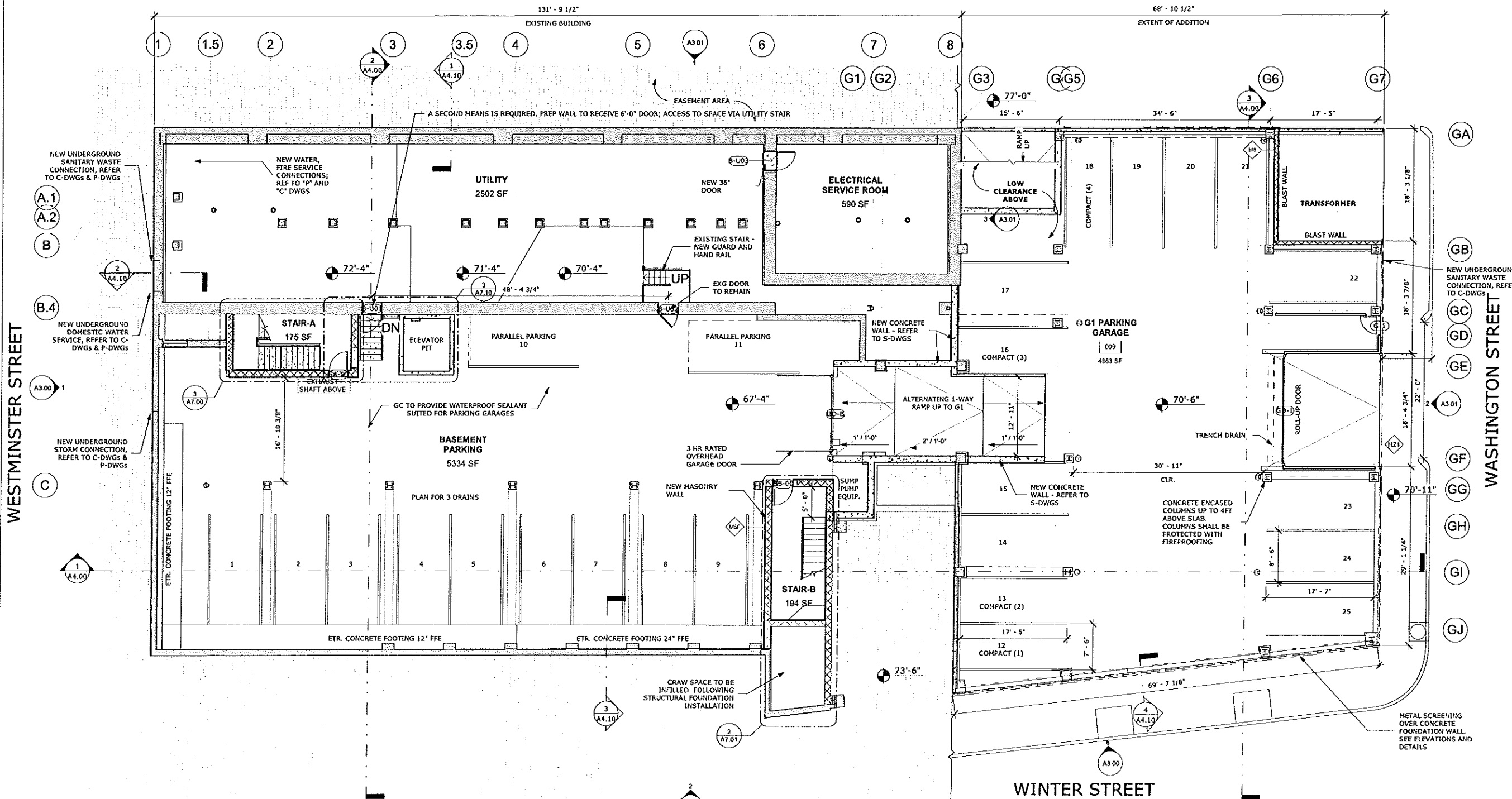
NEW PARTITION

WALL TAG

NOTE: UNIT WALL TYPES SHOWN TAGGED ON ENLARGED PLANS

PLAN NOTES:

- ANY CONFLICT BETWEEN SITE CONDITIONS & DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- SEE EXTERIOR WALL ASSEMBLIES PAGE FOR WALL CONSTRUCTION.
- ALL DOOR FRAMES TO BE 4" FROM NEAREST PERPENDICULAR PARTITION U.O.N.
- REVIEW LAYOUTS FOR PARTITIONS IN-FIELD w/ ARCHITECT PRIOR TO THE START OF CONSTRUCTION.
- REFER TO ENLARGED PLANS FOR ADDITIONAL INFORMATION, DIMENSIONS, ETC.
- ALL PENETRATIONS ARE TO BE SEALED TO MAINTAIN FIRE & ACOUSTICAL RATING.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING IN-WALL BLOCKING AT ALL AREAS OF NEW WALL-MOUNTED FIXTURES/FURNISHINGS/EQUIPMENT, INCLUDING BUT NOT LIMITED TO CABINETS, MILLWORK & PLUMBING FIXTURES.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ACCESS PANELS IN HARD CEILINGS FOR MECHANICAL EQUIPMENT WHEREVER VALVES, CONTROLS, OR ACCESS IS REQUIRED. PAINT PANELS TO MATCH WALL/CEILING (TYP).
- DIMENSIONS
 - CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DIMENSIONS IN-FIELD.
 - DRAWINGS ARE NOT TO BE SCALED; VERIFY ANY MISSING OR CONFLICTING DRAWN DIMENSIONS w/ ARCHITECT PRIOR TO CONSTRUCTION.
 - NOTIFY ARCHITECT OF CONDITIONS WHERE "CLEAR" OR CRITICAL DIMENSIONS ARE DESIGNATED BUT CANNOT BE MET OR WHERE CORRIDOR/AISLE WIDTH CANNOT MEET MINIMUM REQUIREMENTS.
 - MAINTAIN FINISH FLOOR BASE ELEVATION THROUGHOUT THE CONTRACT AREA SUCH THAT ALL DIMENSIONS INDICATED AS "ABOVE FINISH FLOOR" ARE AT THE SAME ELEVATION.
 - ALL DIMENSIONS OF FIXTURES, DEVICES, ETC. ARE TO C/L OF FIXTURE, U.O.N. WHERE ITEMS ARE IN LINE, CENTERLINE OF ITEMS OR GROUPS OF ITEMS ARE TO ALIGN U.O.N.
 - ALL EXTERIOR DIMENSIONS ARE MEASURED TO EXTERIOR FACE OF STUD/ ROUGH OPENING.
 - ALL INTERIOR DIMENSIONS ARE MEASURED FROM INTERIOR FACE OF STUD OF EXTERIOR WALLS AND TO CENTERLINE OF INTERIOR WALLS
- INTERIOR WALL TYPES
 - ALL CORRIDOR WALLS ARE TO BE **W08** U.O.N.
 - ALL EXISTING WALLS WITHIN UNITS AND PUBLIC SPACES ARE TO BE **W10A** U.O.N.
 - ALL STAIRWELL RATED WALLS ARE TO BE **W10B** U.O.N.
 - ALL NON-LOAD BEARING & NON-WETWALL/PLUMBING WALLS **W11N** UNITS ARE TO BE **W11A** U.O.N.
 - ALL **WET** WALLS FOR PLUMBING W/IN UNITS ARE TO BE **W02** U.O.N.



1 00 - BASEMENT
1/8" = 1'-0"

CLIENT
885 WESTMINSTER DMBB LLC
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PROVIDENCE, RI

ARCHITECT
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PROJECT NAME
885 WESTMINSTER
ST. MIXED USE

885 WESTMINSTER STREET
PROVIDENCE RI 02903

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BUT SHALL VERIFY AT THE SITE ALL
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AND INSTALLATION OF THE WORK.
MINOR DETAILS OF THE WORK NOT
SPECIFICALLY SHOWN ON THE
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WITH THE INTENT OF THIS PROJECT.

REVISIONS

NO. DESCRIPTION DATE

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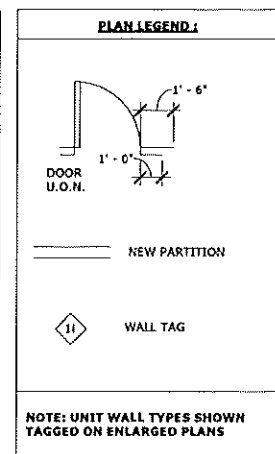
BASEMENT
LEVEL FLOOR
PLAN

DRAWING NO.

A1.00

<u>UNIT MATRIX</u>				
LEVEL	STUDIO	1 BED	2 BED	TOTAL
GROUND LEVEL:				5
SECOND LEVEL:	1	12	3	16
THIRD LEVEL:	1	15	3	19
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NOTE: PROJECT REQUIRES:
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 - F. ALL EXTERIOR DIMENSIONS ARE MEASURED TO EXTERIOR FACE OF STUDY/ ROUGH OPENING.
 - G. ALL INTERIOR DIMENSIONS ARE MEASURED FROM INTERIOR FACE OF STUD OF EXTERIOR WALLS AND TO CENTERLINE OF INTERIOR WALLS
 10. INTERIOR WALL TYPES
 - A. ALL CORRIDOR WALLS ARE TO BE W6R U.O.N.
 - B. ALL DEHISING WALLS WITHIN UNITS BETWEEN UNITS AND PUBLIC SPACES ARE TO BE W10A U.O.N.
 - C. ALL STAIRWELL RATED WALLS ARE TO BE W10R U.O.N.
 - D. ALL NON-LOAD BEARING & NON-WETWALL/PLUMBING WALLS W1N UNITS ARE TO BE W4A U.O.N.
 - E. ALL WET-WALLS FOR PLUMBING W/IN UNITS ARE TO BE W6D U.O.N.

CLIENT
885 WESTMINSTER DMBB LLC
201 WAYLAND AVE;
PROVIDENCE, RI

ARCHITECT

ZDS
ZDS INC.
2 CHARLES STREET, SUITE A1
PROVIDENCE, RI 02904
+1.401.680.6699

525 9TH ST NW STE 350
WASHINGTON, DC 20004
+1.202.660.0555

STAMP

PROJECT NAME
885 WESTMINSTER
ST. MIXED USE

885 WESTMINSTER STREET
PROVIDENCE RI 02903

PROJECT NO. 725057

THESE DRAWINGS ARE FOR THE CONSTRUCTION OF THE PROJECT LISTED ABOVE AND ARE NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF ZDS, INC. THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS, BUT SHALL VERIFY AT THE SITE ALL LEVELS AND MEASUREMENTS NECESSARY FOR COMPLETE FABRICATION, ASSEMBLY AND INSTALLATION OF THE WORK. MINOR DETAILS OF THE WORK NOT SPECIFICALLY SHOWN ON THESE DRAWINGS SHALL BE DETERMINED BY THE CONTRACTOR AT THE SITE OF THE WORK, AND SHALL BE ACCOMPLISHED WITH THE INTENT OF THIS PROJECT.

REVISIONS		
NO.	DESCRIPTION	DATE

ISSUED FOR
PRICING

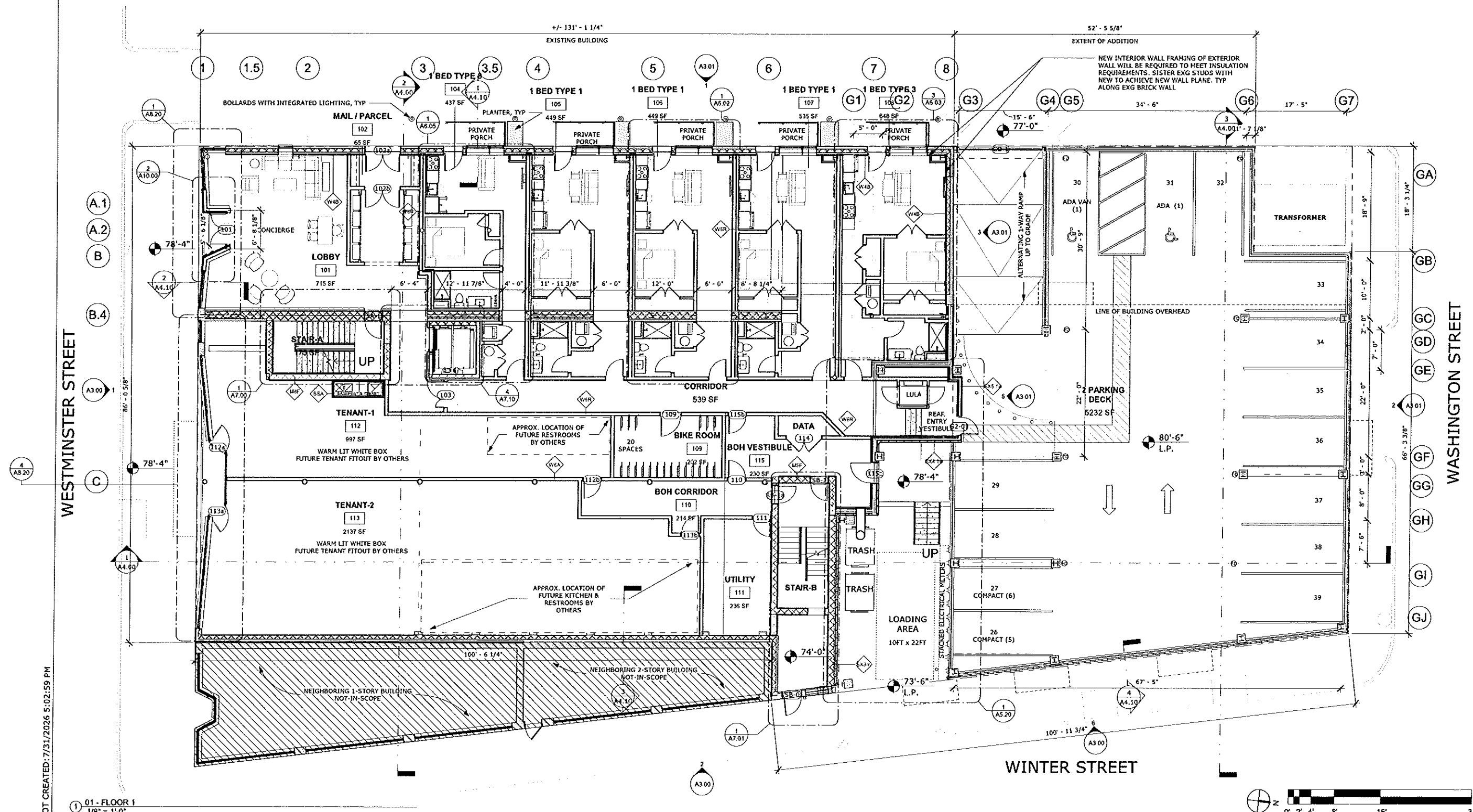
ISSUED DATE: JULY 30, 2026

SHEET TITLE

GROUND LEVEL
FLOOR PLAN

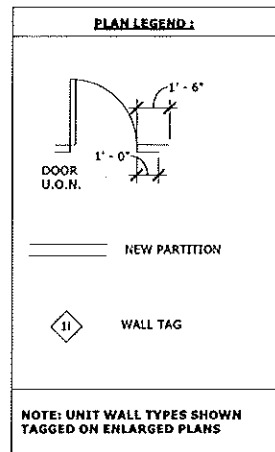
DRAWING NO. 4

A1.01



UNIT MATRIX				
LEVEL	STUDIO	1 BED	2 BED	TOTAL
GROUND LEVEL:	5	5	5	15
SECOND LEVEL:	1	12	3	16
THIRD LEVEL:	1	15	3	19
FOURTH LEVEL:	1	15	3	19
FIFTH LEVEL:	1	12	2	15
TOTAL UNITS:	4	59	11	74

NOTE: PROJECT REQUIRES:
(2) TYPE A UNITS (2% OF UNITS ARE REQUIRED TO BE TYPE A) - NOTED IN PLANS
(1) HEARING IMPAIRED UNIT. SELECTION TO BE PROVIDED IN NEXT SUBMISSION.



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 - SEE EXTERIOR WALL ASSEMBLIES PAGE FOR WALL CONSTRUCTION.
 - ALL DOOR FRAMES TO BE 4" FROM NEAREST PERPENDICULAR PARTITION U.O.N.
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 - REFER TO ENLARGED PLANS FOR ADDITIONAL INFORMATION, DIMENSIONS, ETC.
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 - CONTRACTOR IS RESPONSIBLE FOR PROVIDING IN-WALL BLOCKING AT ALL AREAS OF NEW WALL-MOUNTED FIXTURES/FURNISHINGS/EQUIPMENT, INCLUDING BUT NOT LIMITED TO CABINETS, MILLWORK & PLUMBING FIXTURES.
 - CONTRACTOR IS RESPONSIBLE FOR PROVIDING ACCESS PANELS IN HARD CEILINGS FOR MECHANICAL EQUIPMENT WHEREVER VALVES, CONTROLS, OR ACCESS IS REQUIRED. PAINT PANELS TO MATCH WALL/CEILING (TYP).
 - DIMENSIONS
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 - ALL EXTERIOR DIMENSIONS ARE MEASURED TO EXTERIOR FACE OF STUDY/ROUGH OPENING.
 - ALL INTERIOR DIMENSIONS ARE MEASURED FROM INTERIOR FACE OF STUDY OF EXTERIOR WALLS AND TO CENTERLINE OF INTERIOR WALLS
 - INTERIOR WALL TYPES
 - ALL CORRIDOR WALLS ARE TO BE W48 U.O.N.
 - ALL DEMISING WALLS WITHIN UNITS AND PUBLIC SPACES ARE TO BE W108 U.O.N.
 - ALL STAIRWELL RATED WALLS ARE TO BE W108 U.O.N.
 - ALL NON-LOAD BEARING & NON-WETWALL/PLUMBING WALLS W/IN UNITS ARE TO BE W44 U.O.N.
 - ALL WET WALLS FOR PLUMBING W/IN UNITS ARE TO BE W60 U.O.N.

CLIENT
885 WESTMINSTER DMBB LLC
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PROVIDENCE, RI

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525 9TH ST NW STE 350
WASHINGTON, DC 20004
+1.202.660.0555

STAMP

PROJECT NAME
885 WESTMINSTER ST. MIXED USE

885 WESTMINSTER STREET
PROVIDENCE RI 02903

PROJECT NO. 25057
THESE DRAWINGS ARE FOR THE CONSTRUCTION OF THE PROJECT LISTED ABOVE AND ARE NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF ZDS, INC. THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS, BUT SHALL VERIFY AT THE SITE ALL LEVELS AND MEASUREMENTS NECESSARY FOR COMPLETE FABRICATION, ASSEMBLY AND INSTALLATION OF THE WORK. MINOR DETAILS OF THE WORK NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE ASCERTAINED BY THE CONTRACTOR AT THE SITE OF THE WORK, AND SHALL BE ACCOMPLISHED WITH THE INTENT OF THIS PROJECT.

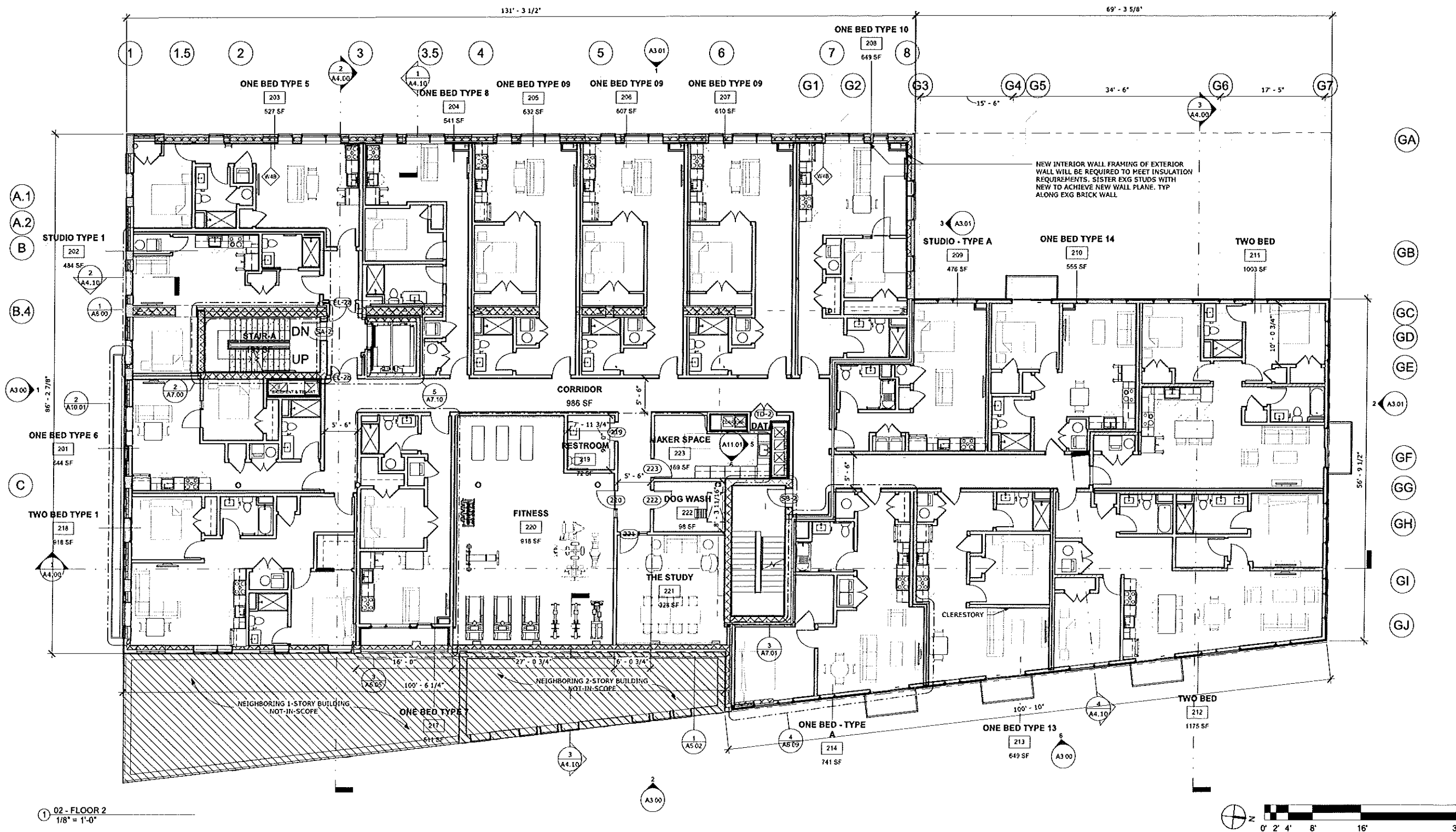
REVISIONS

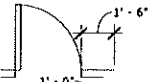
NO.	DESCRIPTION	DATE

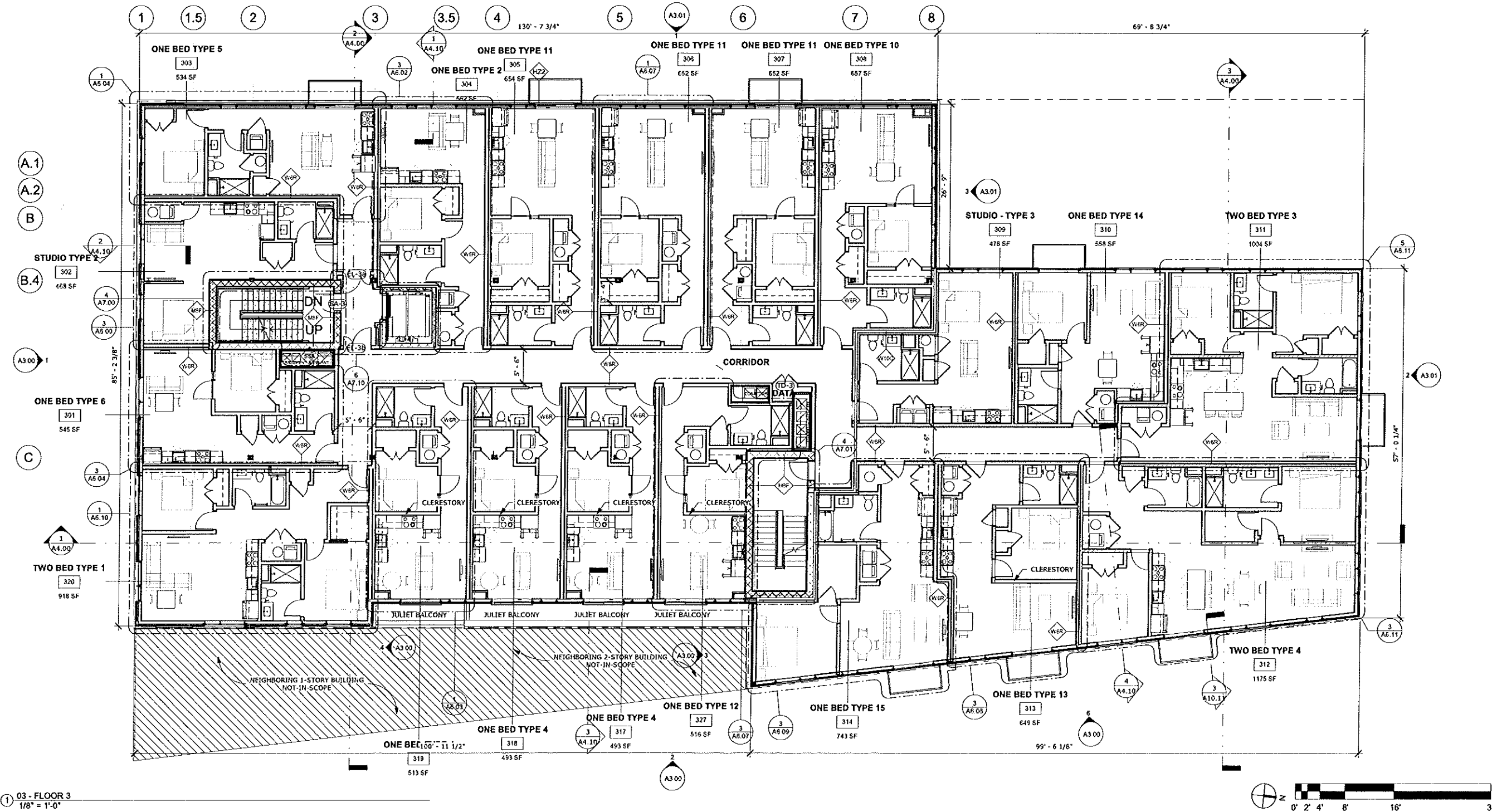
ISSUED DATE: JULY 30, 2026

SHEET TITLE
SECOND LEVEL FLOOR PLAN

DRAWING NO.
A1.02



PLAN LEGEND:		PLAN NOTES:
 DOOR U.O.N.	NEW PARTITION	- ANY CONFLICT BETWEEN SITE CONDITIONS & DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT. - SEE EXTERIOR WALL ASSEMBLIES PAGE FOR WALL CONSTRUCTION. - ALL DOOR FRAMES TO BE 4" FROM NEAREST PARTITION U.O.N. - REVIEW LAYOUTS FOR PARTITIONS IN-FIELD w/ ARCHITECT PRIOR TO THE START OF CONSTRUCTION. - REFER TO ENLARGED PLANS FOR ADDITIONAL INFORMATION, DIMENSIONS, ETC. - ALL PENETRATIONS ARE TO BE SEALED TO MAINTAIN FIRE & ACOUSTICAL RATING. - CONTRACTOR IS RESPONSIBLE FOR PROVIDING IN-WALL BLOCKING AT ALL AREAS OF NEW WALL-MOUNTED FIXTURES/FURNISHINGS/EQUIPMENT, INCLUDING BUT NOT LIMITED TO CABINETRY, MILLWORK & PLUMBING FIXTURES. - CONTRACTOR IS RESPONSIBLE FOR PROVIDING ACCESS PANELS IN HARD CEILINGS FOR MECHANICAL EQUIPMENT WHEREVER VALVES, CONTROLS, OR ACCESS IS REQUIRED. PAINT PANELS TO MATCH WALL/CEILING (TYP). - DIMENSIONS - CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DIMENSIONS IN-FIELD. - DRAWINGS ARE NOT TO BE SCALED; VERIFY ANY HISSING OR CONFLICTING DRAWN DIMENSIONS w/ ARCHITECT PRIOR TO CONSTRUCTION. - NOTIFY ARCHITECT OF CONDITIONS WHERE "CLEAR" OR CRITICAL DIMENSIONS ARE DESIGNATED BUT CANNOT BE MET OR WHERE CORRIDOR/AISLE WIDTH CANNOT MEET MINIMUM REQUIREMENTS. - MAINTAIN FINISH FLOOR BASE ELEVATION THROUGHOUT THE CONTRACT AREA SUCH THAT ALL DIMENSIONS INDICATED AS "ABOVE FINISH FLOOR" ARE AT THE SAME ELEVATION. - ALL DIMENSIONS OF FIXTURES, DEVICES, ETC. ARE TO C/L OF FIXTURE, U.O.N. WHERE ITEMS ARE IN LINE, CENTERLINE OF ITEMS OR GROUPS OF ITEMS ARE TO ALIGN U.O.N. - ALL EXTERIOR DIMENSIONS ARE MEASURED TO EXTERIOR FACE OF STUD/ ROUGH OPENING. - ALL INTERIOR DIMENSIONS ARE MEASURED FROM INTERIOR FACE OF STUD OF EXTERIOR WALLS AND TO CENTERLINE OF INTERIOR WALLS - INTERIOR WALL TYPES - ALL CORRIDOR WALLS ARE TO BE <u>W68</u> U.O.N. - ALL <u>DEFENDING</u> WALLS WITHIN UNITS AND PUBLIC SPACES ARE TO BE <u>W10A</u> U.O.N. - ALL <u>STARVALL</u> RATED WALLS ARE TO BE <u>W10B</u> U.O.N. - ALL NON-LOAD BEARING & NON-WETWALL/PLUMBING WALLS <u>W/IN UNITS</u> ARE TO BE <u>W4A</u> U.O.N. - ALL <u>WET-WALLS</u> FOR PLUMBING <u>W/IN UNITS</u> ARE TO BE <u>W6D</u> U.O.N.
 WALL TAG		
NOTE: UNIT WALL TYPES SHOWN TAGGED ON ENLARGED PLANS		



PROJECT NAME

885 WESTMINSTER STREET
GT. MIXED USE

885 WESTMINSTER STREET
PROVIDENCE RI 02903

PROJECT NO. **285057**

THESE DRAWINGS ARE FOR THE CONSTRUCTION OF THE PROJECT LISTED ABOVE AND ARE NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF ZOS, INC.

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[illegible]

ISSUED DATE: JULY 30, 2026

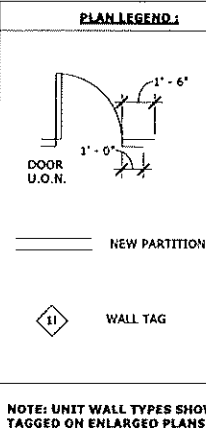
SHEET TITLE

THIRD LEVEL
FLOOR PLAN

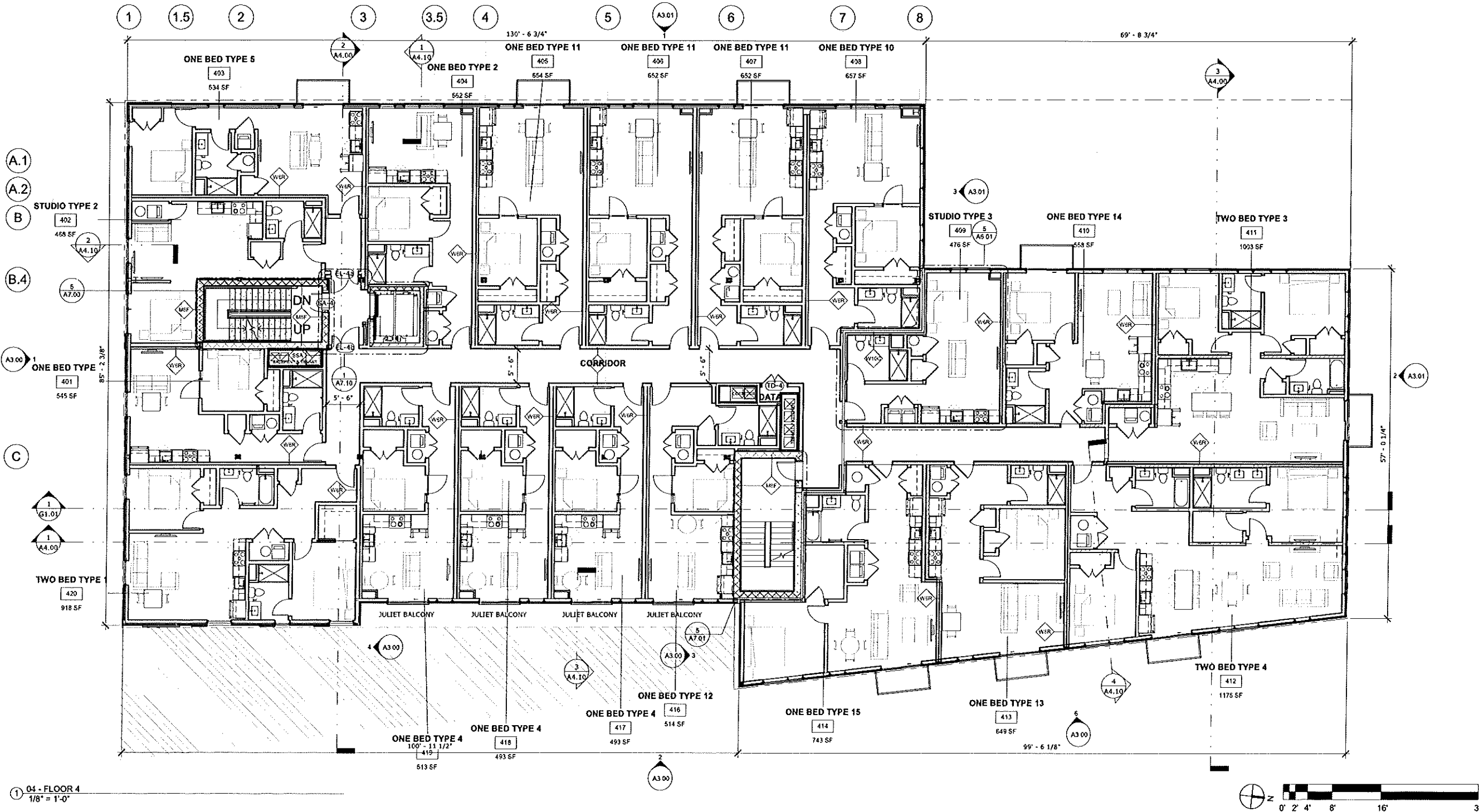
AWING NO. **A1.03**

UNIT MATRIX				
LEVEL	STUDIO	1 BED	2 BED	TOTAL
GROUND LEVEL:				5
SECOND LEVEL:	1	12	3	16
THIRD LEVEL:	1	15	3	19
FOURTH LEVEL:	1	15	3	19
FIFTH LEVEL:	1	12	2	15
TOTAL UNITS:	4	59	11	74

NOTE: PROJECT REQUIRES:
(2) TYPE A UNITS (2% OF UNITS ARE REQUIRED TO BE TYPE A) - NOTED IN PLANS
(1) HEARING IMPAIRED UNIT. SELECTION TO BE PROVIDED IN NEXT SUBMISSION.



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 - ALL INTERIOR DIMENSIONS ARE MEASURED FROM INTERIOR FACE OF STUD OF EXTERIOR WALLS AND TO CENTERLINE OF INTERIOR WALLS
 - INTERIOR WALL TYPES
 - ALL CORRIDOR WALLS ARE TO BE WBR U.O.N.
 - ALL DIVISION WALLS WITHIN UNITS AND PUBLIC SPACES ARE TO BE WLOA U.O.N.
 - ALL STAIRWELL RATED WALLS ARE TO BE WLCB U.O.N.
 - ALL NON-LOAD BEARING & NON-WETWALL/PLUMBING WALLS W/WIN UNITS ARE TO BE WMA U.O.N.
 - ALL WET WALLS FOR PLUMBING W/WIN UNITS ARE TO BE WED U.O.N.



CLIENT
885 WESTMINSTER DMBB LLC
201 WAYLAND AVE;
PROVIDENCE, RI

ARCHITECT
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ZDS INC.
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PROVIDENCE, RI 02904
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525 9TH ST NW STE 350
WASHINGTON, DC 20004
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STAMP

PROJECT NAME
885 WESTMINSTER ST. MIXED USE

885 WESTMINSTER STREET
PROVIDENCE RI 02903

PROJECT NO. 25057

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REVISIONS

NO.	DESCRIPTION	DATE

ISSUED FOR PRICING

ISSUED DATE: JULY 30, 2026

SHEET TITLE
FOURTH-LEVEL FLOOR PLAN

DRAWING NO.
A1.04



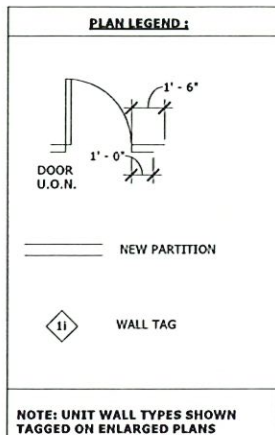
ROD FOR GREENROOF/ SEDUM BLANKET

1. SEDUM/ GROWING MEDIUM - BARRETT ROOFS, SUNRAY SEDUM-MIX BLANKET
2. FILTER FABRIC - BARRETT ROOFS, POLYFELT EX9
3. WATER RETENTION/ DRAINAGE LAYER - BARRETT ROOFS, ROOFSCAPES RND 1.0
4. ROOT BARRIER - BARRETT ROOFS, RAM RB 30
- 4A. ROOF EDGING - BARRETT ROOFS, ROOFSCAPES EDGE+

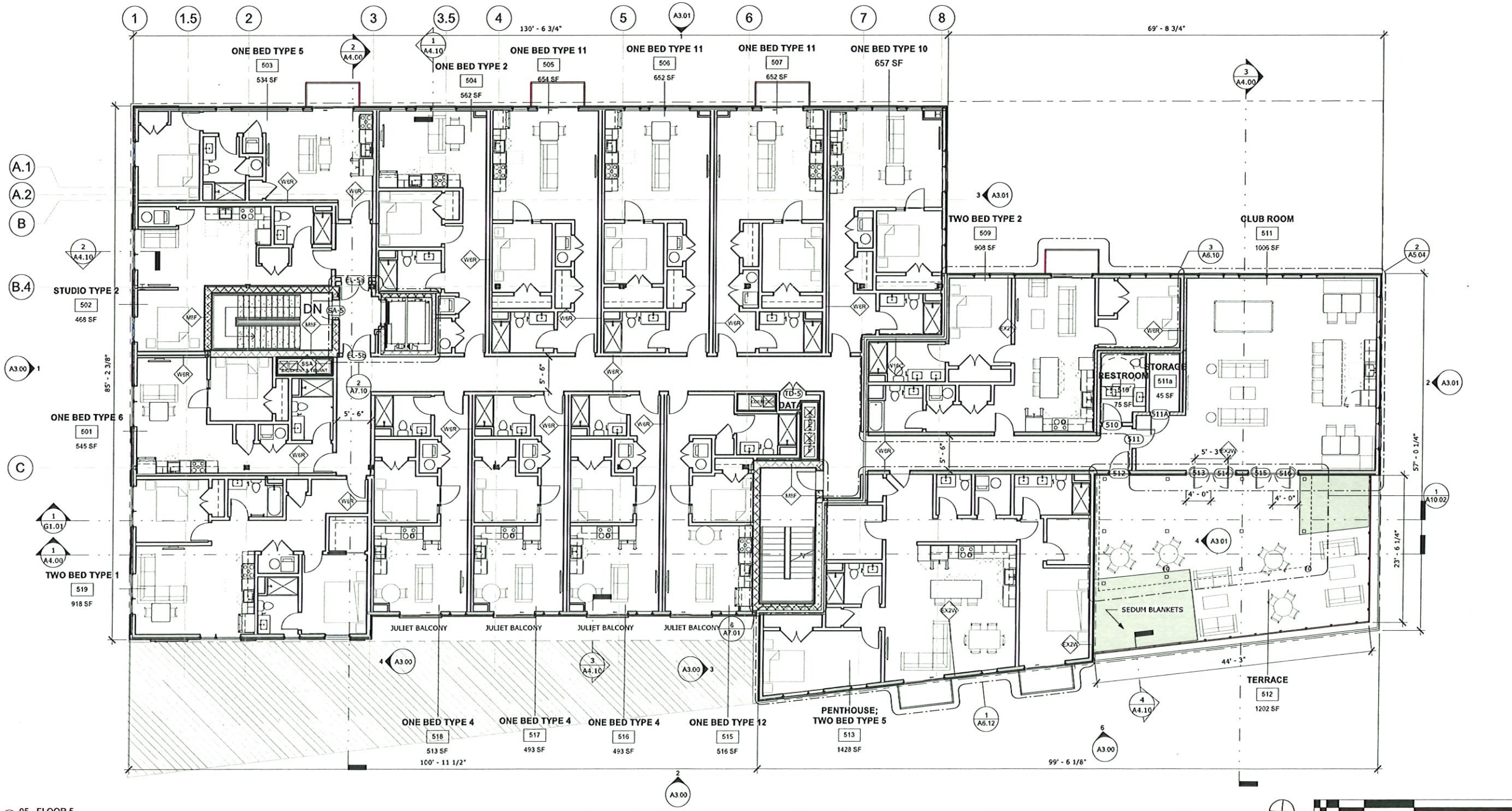
ROD FOR ROOF SCREEN
TBD

UNIT MATRIX				
LEVEL	STUDIO	1 BED	2 BED	TOTAL
GROUND LEVEL:		5		5
SECOND LEVEL:	1	12	3	16
THIRD LEVEL:	1	15	3	19
FOURTH LEVEL:	1	15	3	19
FIFTH LEVEL*	1	12	2	15
TOTAL UNITS:	4	59	11	74

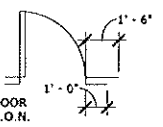
NOTE: PROJECT REQUIRES:
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 - G. ALL INTERIOR DIMENSIONS ARE MEASURED FROM INTERIOR FACE OF STUD OF EXTERIOR WALLS AND TO CENTERLINE OF INTERIOR WALLS
 10. INTERIOR WALL TYPES
 - A. ALL CORRIDOR WALLS ARE TO BE W68 U.O.N.
 - B. ALL DEMISING WALLS WITHIN UNITS BETWEEN UNITS AND PUBLIC SPACES ARE TO BE W10A U.O.N.
 - C. ALL STAIRWELL RATED WALLS ARE TO BE W10B U.O.N.
 - D. ALL NON-LOAD BEARING & NON-WETWALL/PLUMBING WALLS W/IN UNITS ARE TO BE W4A U.O.N.
 - E. ALL WET WALLS FOR PLUMBING W/IN UNITS ARE TO BE W6D U.O.N.



PLAN LEGEND:



DOOR
U.O.N.



NEW PARTITION

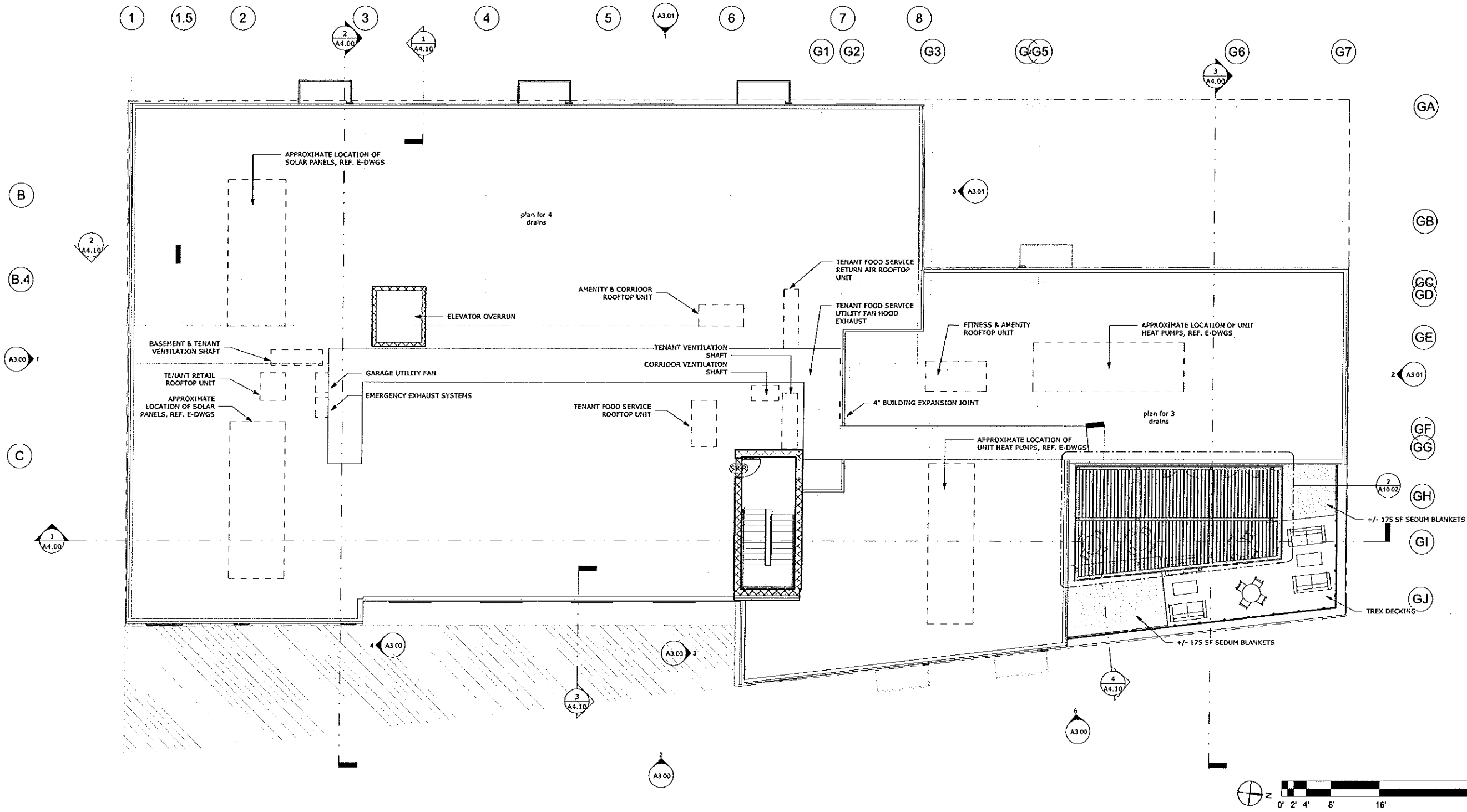


WALL TAG

**NOTE: UNIT WALL TYPES SHOWN
TAGGED ON ENLARGED PLANS**

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- INTERIOR WALL TYPES
 - ALL CORRIDOR WALLS ARE TO BE W48 U.O.N.
 - ALL DEMISING WALLS WITHIN UNITS BETWEEN UNITS AND PUBLIC SPACES ARE TO BE W10A U.O.N.
 - ALL STAIRWELL RATED WALLS ARE TO BE W10B U.O.N.
 - ALL NON-LOAD BEARING & NON-WETWALL/PLUMBING WALLS W/IN UNITS ARE TO BE W4A U.O.N.
 - ALL WET-WALLS FOR PLUMBING W/IN UNITS ARE TO BE W4D U.O.N.

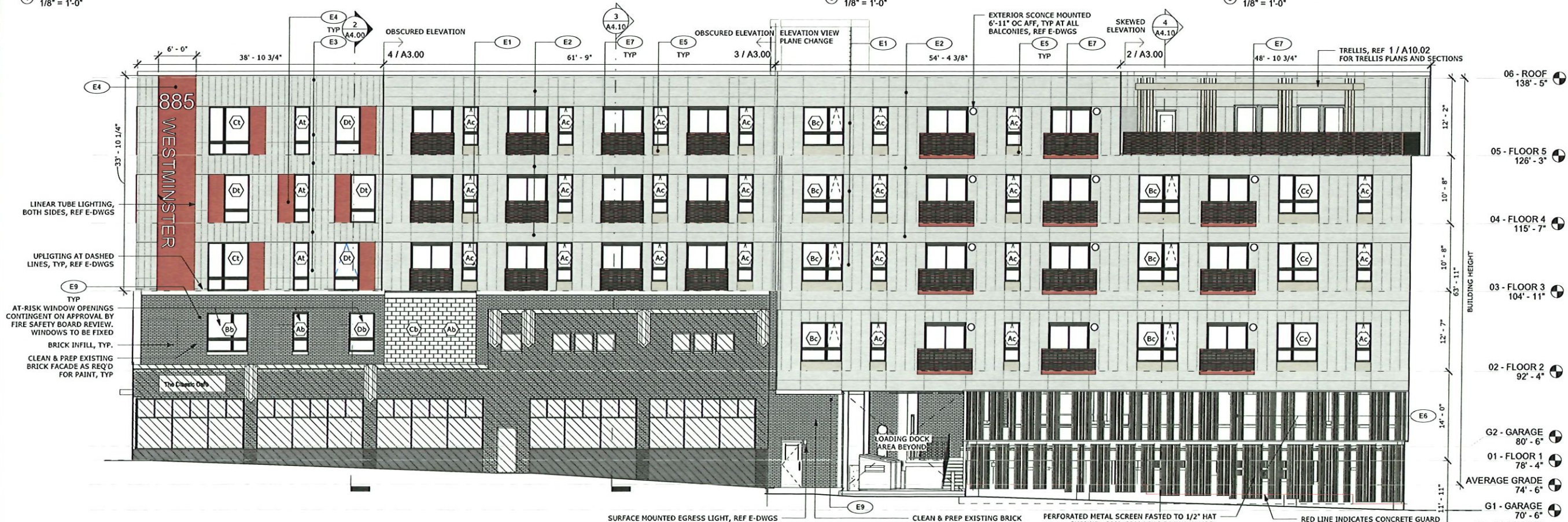


NOTE: MECHANICAL LOUVERS ARE SHOWN ON THIS ELEVATION, BUT NOT ILLUSTRATED ON ALL ELEVATIONS UNTIL COORDINATION IS COMPLETE AND AN UNDERSTANDING FROM OLIMPIA FOR THE SIZE OF THE LOUVERS IS PROVIDED.

PLEASE ASSUME DESIGN INTENT OF LOUVERS FROM THIS ELEVATION



1 SOUTH ELEVATION (WESTMINSTER STREET FRONT) - A
1/8" = 1'-0"



2 EAST ELEVATION (WINTER STREET) - A
1/8" = 1'-0"

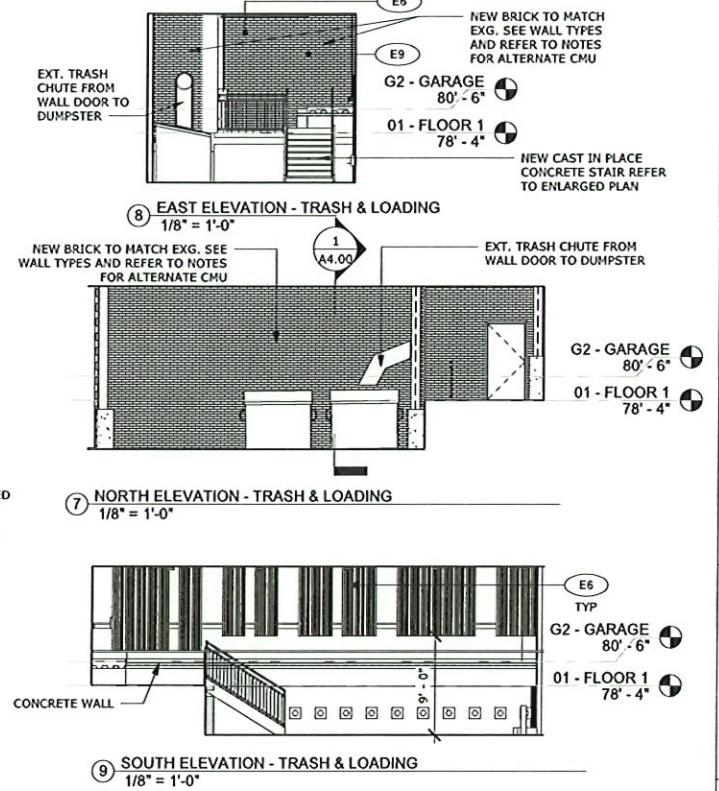
6 EAST ELEVATION (WINTER STREET) - B
1/8" = 1'-0"

GENERAL NOTES:

1. ALL BREAK METAL FLASHING & COPING TO MATCH ADJACENT CLADDING MATERIAL.
2. E3 ALTERNATE - EXTRUDED METAL PANEL SYSTEM BY MORIN METALS IN CHAMPAGNE BRONZE.

EXTERIOR MATERIAL SCHEDULE:

MARK	MATERIAL	MANUFACTURER	COLOR/DESCRIPTION
E1	CERAMIC COATED SIDING	CERACLAD	SILVER GRAY, 8 REVEAL
E2	CERAMIC COATED SIDING	CERACLAD	SILVER GRAY, CASHMERE SMOOTH
E3*	TERRACOTTA	TONALITY	MONTANO, WHITE GLOSSY
E4	ALUMINUM COMPOSITE MATERIAL	ALUCOBOND	RUSSET MICA, EASY FIX
E5	ALUMINUM COMPOSITE MATERIAL	ALUCOBOND	JLR CHAMPAGNE METALLIC, EASY FIX
E6	PERFORATED CORRUGATED METAL PANEL	MORIN BY KINGSPAN	CHAMPAGNE BRONZE
E7	RAILING / GUARDRAIL	BOK MODERN	GUARDRAIL, PATTERN:B21, PEARL COPPER
E8	TENANT STOREFRONT ENTRY CANOPY	VESTIS	DARK BRONZE
E9	PAINT ON EXG BRICK	SHERWIN WILLIAMS	COLOR MATCH CERACLAD SILVER GRAY
E10	PAINT ON EXG EXTERIOR COLUMN	SHERWIN WILLIAMS	COLOR MATCH CERACLAD SILVER GRAY



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885 WESTMINSTER STREET
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PROJECT NO. 25057
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REVISIONS

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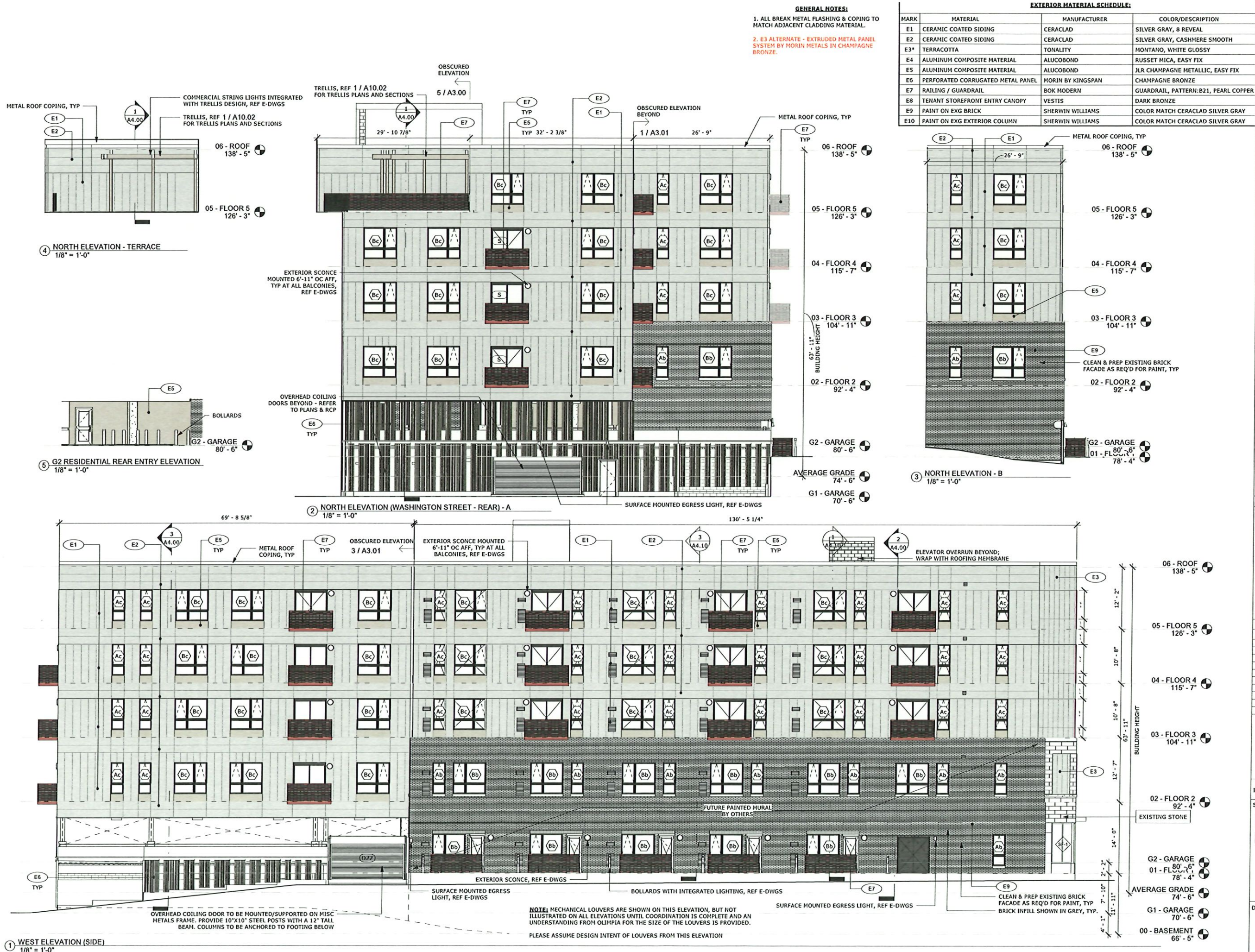
SHEET TITLE

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DRAWING NO.

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REVISIONS

NO.	DESCRIPTION	DATE
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ISSUED FOR PRICING

ISSUED DATE: JULY 30, 2026

SHEET TITLE
EXTERIOR ELEVATIONS

DRAWING NO.
A3.01

CLIENT
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PROJECT NAME
**885 WESTMINSTER
ST. MIXED USE**

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BUT SHALL VERIFY AT THE SITE ALL
LEVELS AND MEASUREMENTS NECESSARY
FOR COMPLETE FABRICATION, ASSEMBLY
AND INSTALLATION OF THE WORK.
MINOR DETAILS OF THE WORK NOT
SPECIFICALLY SHOWN ON THE
DRAWINGS SHALL BE ASCERTAINED BY
THE CONTRACTOR AT THE SITE OF THE
WORK, AND SHALL BE ACCOMPLISHED
WITH THE INTENT OF THIS PROJECT.

REVISIONS

NO.	DESCRIPTION	DATE
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IBC 2021 TABLE 705.8:
MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE
SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION



FIRE SEPARATION DISTANCE TO CENTERLINE OF PUBLIC WAY = >30'-0"
DEGREE OF OPENING PROTECTION: NO LIMIT

① SOUTH ELEVATION (WESTMINSTER STREET FRONT) - A CODE
1/16" = 1'-0"



FIRE SEPARATION DISTANCE TO NEIGHBORING
LOT LINE = 0'-0"
DEGREE OF OPENING PROTECTION: PROTECTED
BY SPRINKLER HEADS ON INTERIOR & EXTERIOR
PENDING APPROVAL BY LOCAL AHJ
FIRE SEPARATION DISTANCE TO
NEIGHBORING LOT LINE = 5'-0"
DEGREE OF OPENING PROTECTION: 25%

② EAST ELEVATION (WINTER STREET) - A CODE
1/16" = 1'-0"



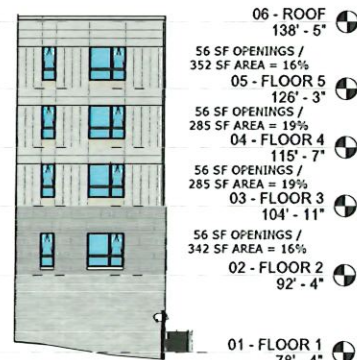
FIRE SEPARATION DISTANCE TO CENTERLINE OF PUBLIC WAY = 29'-0"
DEGREE OF OPENING PROTECTION: NO LIMIT

③ EAST ELEVATION (WINTER STREET) - B CODE
1/16" = 1'-0"



FIRE SEPARATION DISTANCE TO CENTERLINE OF PUBLIC WAY = 20'-0"
DEGREE OF OPENING PROTECTION: NO LIMIT

④ NORTH ELEVATION (WASHINGTON STREET - REAR) - A CODE
1/16" = 1'-0"



FIRE SEPARATION DISTANCE TO CENTERLINE OF
PUBLIC WAY = >30'-0"
DEGREE OF OPENING PROTECTION: NO LIMIT

⑤ NORTH ELEVATION - B CODE
1/16" = 1'-0"



FIRE SEPARATION DISTANCE TO NEIGHBORING LOT LINE = >30'-0"
DEGREE OF OPENING PROTECTION: NO LIMIT
FIRE SEPARATION DISTANCE TO NEIGHBORING LOT LINE = 9'-0"
DEGREE OF OPENING PROTECTION: 25%

⑥ WEST ELEVATION (SIDE) CODE
1/16" = 1'-0"