

Providence City Plan Commission

June 25, 2020



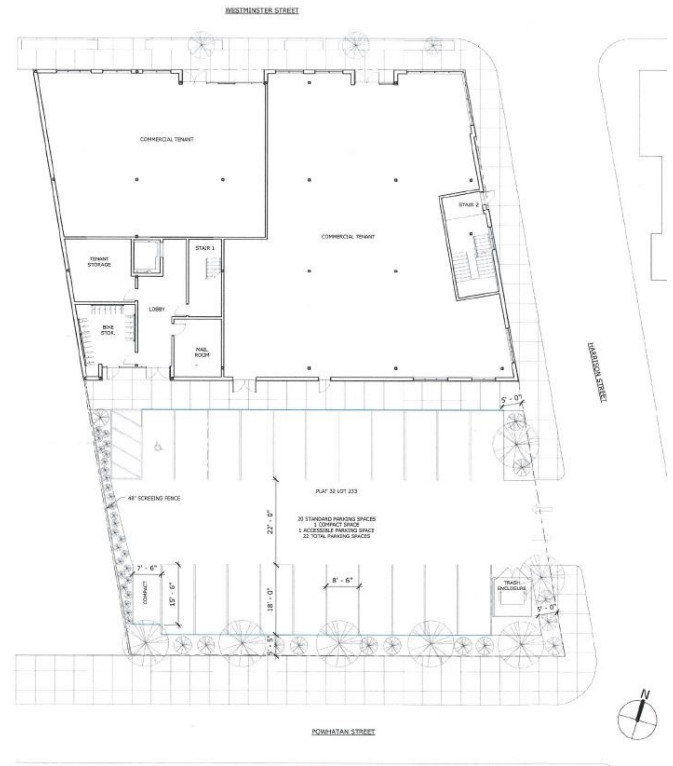
AGENDA ITEM 5 ■ 1292 WESTMINSTER STREET



A view of the building from Westminster Street



View of the lot at 334 Carpenter Street



Site Plan

OVERVIEW

OWNER/APPLICANT: 1290 Westminster LLC, Owner

Michael Lemoi and 1290
Westminster Street LLC,
Applicant

CASE NO./

17-034 MA

PROJECT TYPE:

Preliminary Plan

PROJECT DESCRIPTION:

The applicant is seeking approval for a five story building with 7,200 SF of commercial space on the first floor and a total of 35 dwelling units on floors 2-5. The item is being reconsidered by the CPC after an appeal was granted by the superior court.

PROJECT LOCATION: 1292 Westminster Street

AP 32 Lots 233
C-2 under HD Overlay

RECOMMENDATION:

Approval of the Preliminary Plan subject to the findings and conditions noted below.

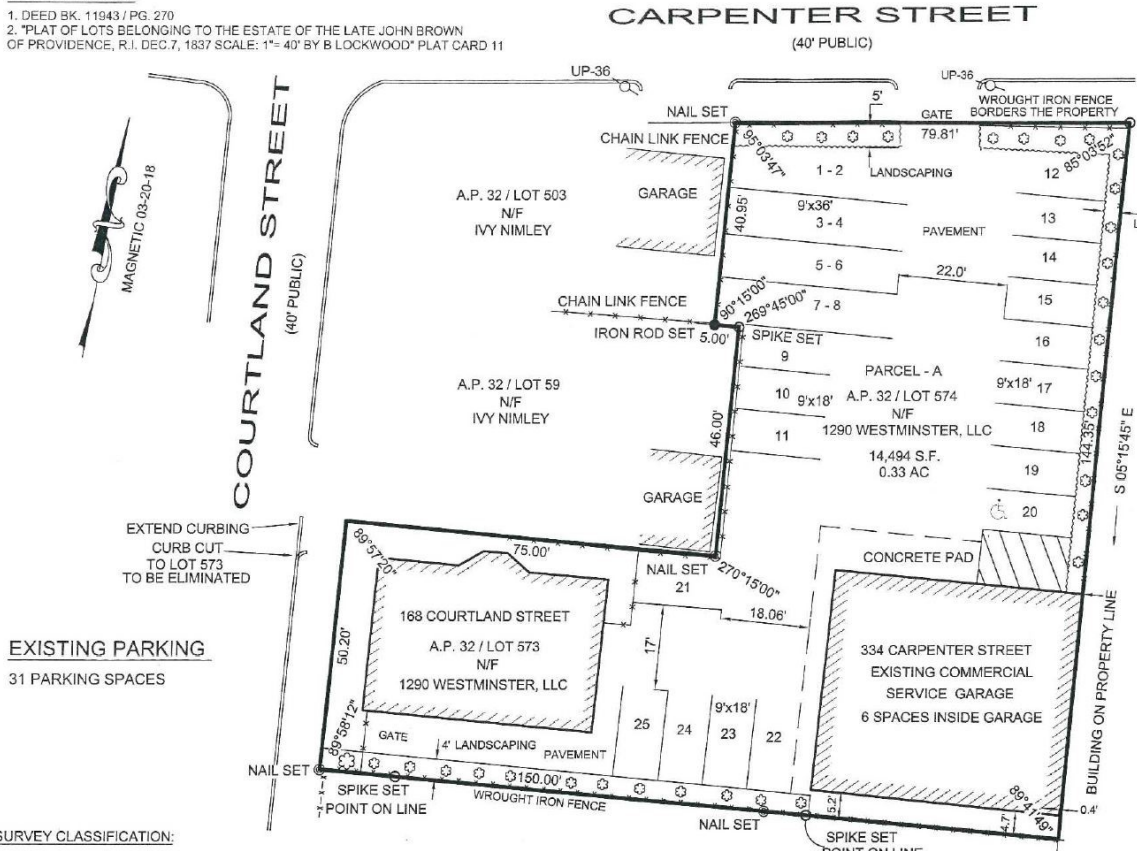
NEIGHBORHOOD: West End

PROJECT PLANNER:

Choyon Manjrekhar

REFERENCE:

1. DEED BK. 11943 / PG. 270
2. "PLAT OF LOTS BELONGING TO THE ESTATE OF THE LATE JOHN BROWN OF PROVIDENCE, R.I. DEC. 7, 1837 SCALE: 1"= 40' BY B. LOCKWOOD" PLAT CARD 11



Proposed parking area

PROJECT OVERVIEW

The subject lot measures approximately 16,825 SF and is zoned C-2 under the Historic District overlay. The project consists of a 58 foot tall, five story mixed use building with 7,200 SF of commercial space on the ground floor and 35 units on floors 2-5. The CPC granted an eight foot, one story dimensional adjustment from the height restriction at the master plan stage. Forty three parking spaces are required but 22 onsite vehicular spaces and 18 bike spaces will be provided. Twenty one additional dedicated spaces will be provided within an accessory parking lot also owned by the applicant, which would fulfill the parking requirement.

ANALYSIS AND IDENTIFICATION OF POTENTIAL ISSUESUse

The subject property is zoned C-2 which permits mixed use development by right.

Dimensions

A building which was deemed noncontributing by the Historic District Commission (HDC) was demolished prior to construction of the structure. The building is set to the lot

lines at Westminister and Harrison Streets with parking at the rear. A height of five stories and 58 feet will be maintained through a height adjustment granted by the CPC at the master plan stage.

The foundation slightly encroaches onto the public right of way on Westminister Street. Articulations on the building's façade include a canopy that projects three feet and windows that project two feet over the right of way. The applicant has received encroachment permits for these projections.

Building and Site Design

The building's design follows suggestions by the CPC to introduce more fenestration on the western façade and to pull back the upper stories back to accommodate the increased transparency. The HDC and CPC have approved the final design.

The main entrance for commercial and residential uses is located on Westminister Street. Stair access is provided from Harrison Street. The commercial space on the ground floor conforms to the C-2 design regulations by providing a largely transparent façade composed of brick, glass and other materials encouraged in the zone. The upper stories are

composed of brick veneer, glazing and fiber cement panels with transparency that exceeds the 10 percent required for upper stories.

Parking

A total of 43 parking spaces are required for the development. Thirty five parking spaces are required for the residential use, with a requirement of one per dwelling unit. Eight spaces are required for the commercial use after accounting for parking exemptions and reductions as follows:

The commercial area requires one space per 500 SF of development. Fourteen spaces are required for 7,200 SF, but the requirement is reduced by five due to the first 2,500 SF of commercial development being exempt from parking in the C-2 zone. Seven bicycle spaces, calculated as one per five dwelling units are required, but 18 permanent indoor bike spaces are proposed. As the total exceeds 120% of required bicycle spaces, the amount of required parking is further reduced by one space for a total of 43 required spaces.

Twenty two vehicle spaces are provided in a parking area at the rear of the building. The applicant is proposing to provide 21 additional parking spaces dedicated to the development in a lot at 170 Courtland/334 Carpenter Street, about 0.1 miles away or an approximately 2 minute walk from the development. The site is currently used as an auto repair business. The applicant has proposed to abandon the auto body repair use, merge the 334 Carpenter Street property with an adjacent lot the applicant owns at 170 Courtland Street, which includes a 3-family dwelling, and to convert the auto body repair building to an accessory garage. The parking on the lot will now be accessory to a permitted use, and the surplus parking will be used for the subject development. In connection with this application, the applicant has obtained a letter from Joseph Atchue, Director of Inspection and Standards. Section 1404.A.1.a of the Ordinance authorizes the Director to grant approval for off-site parking on a separate lot from a development. In a letter issued by Director Atchue, he makes findings that are consistent with the requirements of Section 1404.A.1.a. It finds the following:

- That the parking spaces are within a reasonable distance from the subject development.
- The three family dwelling is a legally permitted use of the property so, therefore, the offsite parking conforms to the zoning ordinance.
- A total of 31 spaces are located on the site and three are required for the dwelling, resulting in a surplus of 28 spaces. The excess parking spaces on the property are not required for the three-family use or any other use.

The letter finds that the offsite parking spaces “may be used as part of the required parking count for 1292 Westminister Street,” in conformance with Sect. 1404.A.1.a of the Zoning Ordinance. Therefore, the applicant meets the parking requirements of the subject application.

Landscaping—1292 Westminister

The development employs a mix of four large and five small trees and maintain a planting strip around the perimeter of the parking lot. Approximately 2,500 SF of canopy coverage is required. Per the plan, the applicant meets the canopy coverage requirement, providing a total of 5,500 SF of coverage in addition to shrubs and groundcover. The western portion of the parking area which abuts a residential lot is screened using a stockade fence as required for parking areas that abut residential zones.

Lighting

The applicant has submitted a lighting plan which employs freestanding LED area lighting with downward facing fixtures around the parking lot. Per the photometric plan, there will be no light spillover off the site, onto neighboring property or on rights of way.

Drainage, Stormwater and Site Management

Drainage and stormwater management: The applicant has submitted a detailed stormwater management plan which employs measures like a stormtech infiltration system that uses crushed stone and a filter fabric. The plan includes a maintenance schedule for the stormwater system as well as site management activities for trash and snow removal and landscape maintenance.

The plans have been approved by the City Engineer.

The applicant has received stormwater connection and sewer connection permits from the Narragansett Bay Commission (NBC) as well as a stormwater construction permit from the Department of Environmental Management (DEM).

FINDINGS

Section 806 of the Commission's *Development Review Regulations* requires that the City Plan Commission make the following findings as part of their approval of all land development project applications. Based on the analysis contained herein and subject to the conditions contained in this report, staff has prepared the following findings regarding the request for approval of the Preliminary Plan stage:

1. *Consistency—The proposed development is consistent with the Comprehensive Plan and/or has satisfactorily addressed the issues where there may be inconsistencies.*

The subject property is located in an area that the future land use map of *Providence Tomorrow: The Comprehensive Plan* intends for Neighborhood Commercial/Mixed Use. The plan describes these areas as ones intended to foster the expansion of traditional, transit and pedestrian oriented commercial uses that serve neighborhood needs. The development is in conformance with this designation.

Provision of housing conforms to objectives H-1 and H-2 of the comprehensive plan which seek to create new housing opportunities and improve existing housing. According to Map 11.1 of the Comprehensive plan, Westminster Street is designated a growth corridor which is suited to accommodate high density mixed use development to accommodate an improved transit system. The development is in conformance with objective LU-2 which encourages growth within corridors best suited to provide access to jobs and transit.

2. *Compliance with Zoning Ordinance—The proposed development is in compliance with the standards and provisions of the Zoning Ordinance.*

Use: Mixed use development is permitted by right in the C-2 zone.

Dimension: The development conforms to the dimensional requirements of the C-2 zone. The applicant received an adjustment from the height limit of the C-2 zone at the master plan stage.

Landscaping: The applicant meets the landscaping requirements for the development. The plans have been approved by the City Forester.

Parking: The applicant meets the parking requirement, providing 43 spaces. Twenty two spaces will be provided at 1292 Westminster Street and 21 will be provided in the lot at 170 Courtland/334 Carpenter Street.

Lighting: The lighting plan meets the requirements of the zoning ordinance.

3. *Environmental Impact—There will be no significant environmental impacts from the proposed development as shown on the final plan, with all required conditions for approval.*

Stormwater, site management and erosion control plans have been submitted and approved by the City Engineer. All state approvals have been granted.

No negative environmental impacts are expected as the applicant is in conformance with applicable environmental regulations.

4. *Buildable Lot—The subdivision or development project, as proposed, will not result in the creation of individual lots with such physical constraints to development that building on those lots according to pertinent regulations and building standards would be impracticable.*

There are no physical constraints that impact development of this property as the applicant meets the dimensional requirements for this zone.

5. *Street Access—All proposed development projects and all subdivision lots shall have adequate and permanent physical access to a public street. Lot frontage on a public street without physical access shall not be considered compliance with this requirement.*

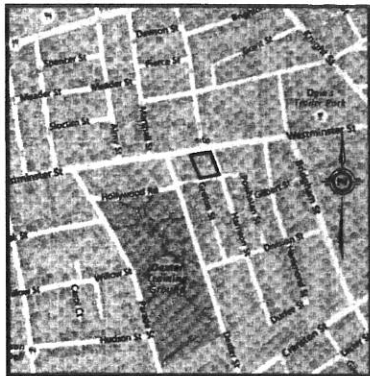
Adequate vehicular and pedestrian access is provided from Westminster and Harrison Streets.

RECOMMENDATION

Preliminary Plan Approval

The CPC should vote to approve the preliminary plan, finding it to be in conformance with the zoning ordinance and comprehensive plan, subject to the following condition:

Final plan approval should be delegated to DPD staff.



LOCUS MAP
NOT TO SCALE

REFERENCES:

- DEED BOOK 3788, PAGE 88
- LOTS 15, 14 AND PORTION OF 13 ON THAT PLAN ENTITLED "PLOT OF LOTS OF LAND BELONGING TO THE DEXTER DONATION SURVEYED AND PLATTED NOV. 1843 BY ATWATER & SCHUBARTH", PLAT CARD 52
- STREETLINE PLAN HARRISON STREET, CITY ENGINEER'S OFFICE.
- MAP OF MILLER STREET (POWHATAN STREET) FROM DEXTER STREET TO DIVISION STREET. PROVIDENCE, R.I. CITY ENGINEER'S OFFICE, DEC. 22, 1883

ZONING DISTRICT: C-2


MINIMUM LOT AREA	NONE FOOTNOTE 305.1-3
MINIMUM SETBACKS:	
FRONT	0' FOOTNOTE 305.1-4, 10
SIDE	0' FOOTNOTE 305.1-7
REAR	0' FOOTNOTE 305.1-8

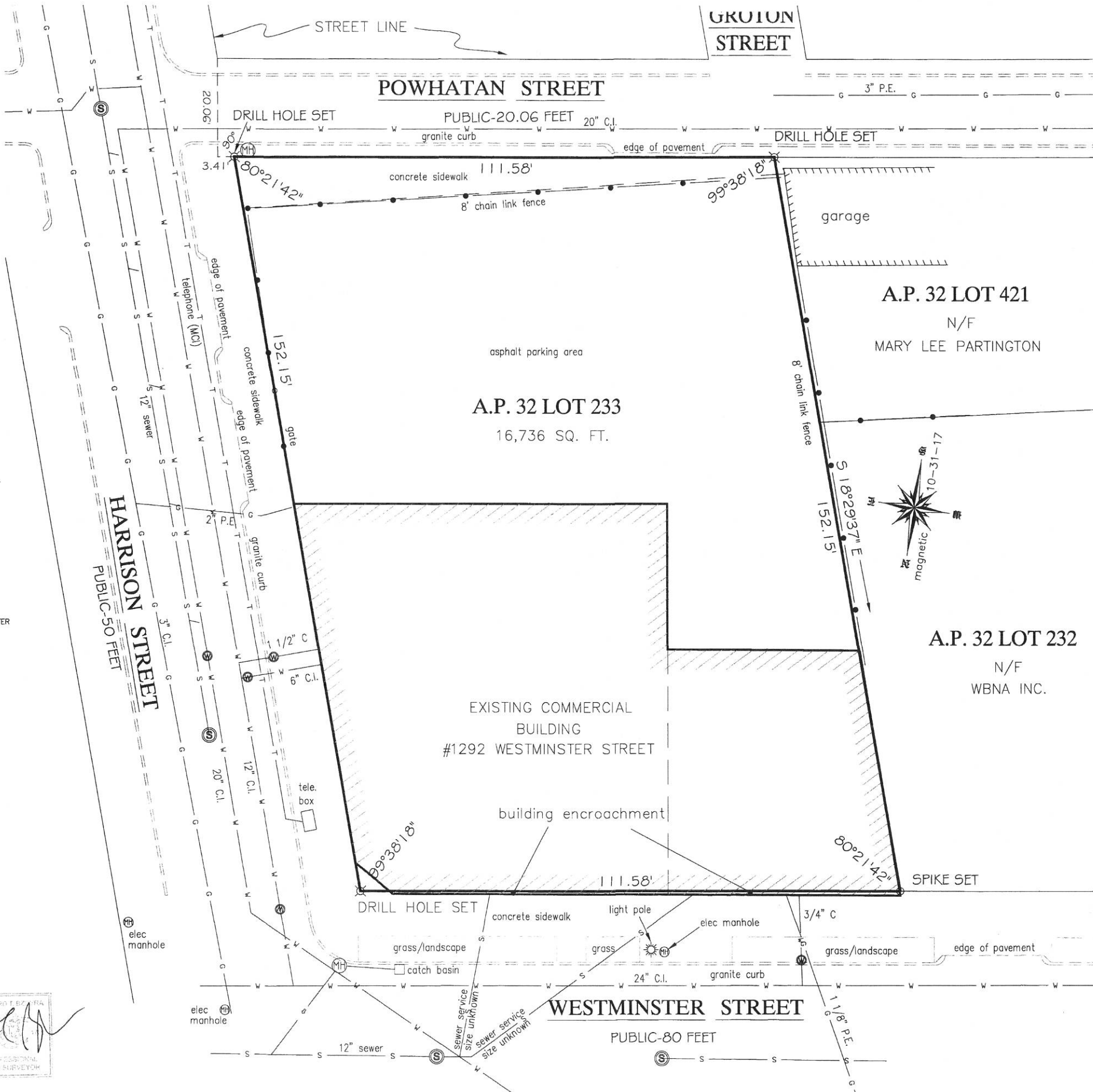
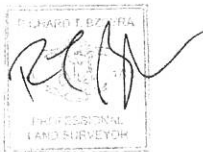
CERTIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY:	MEASUREMENT SPECIFICATION:
LIMITED CONTENT BOUNDARY SURVEY	CLASS 1

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
TO ESTABLISH RECORD BOUNDARY LINES AND UTILITIES

BY:  DATE: Nov 3, 2017
BY: RICHARD T. BZDYRA, P.E., LICENSE #1786; COA # LS-A80



LIMITED CONTENT BOUNDARY SURVEY

A.P. 32, LOT 233
1292 WESTMINSTER STREET
PROVIDENCE, RHODE ISLAND
Prepared For:
MICHAEL LEMOI c/o ZDS, INC.

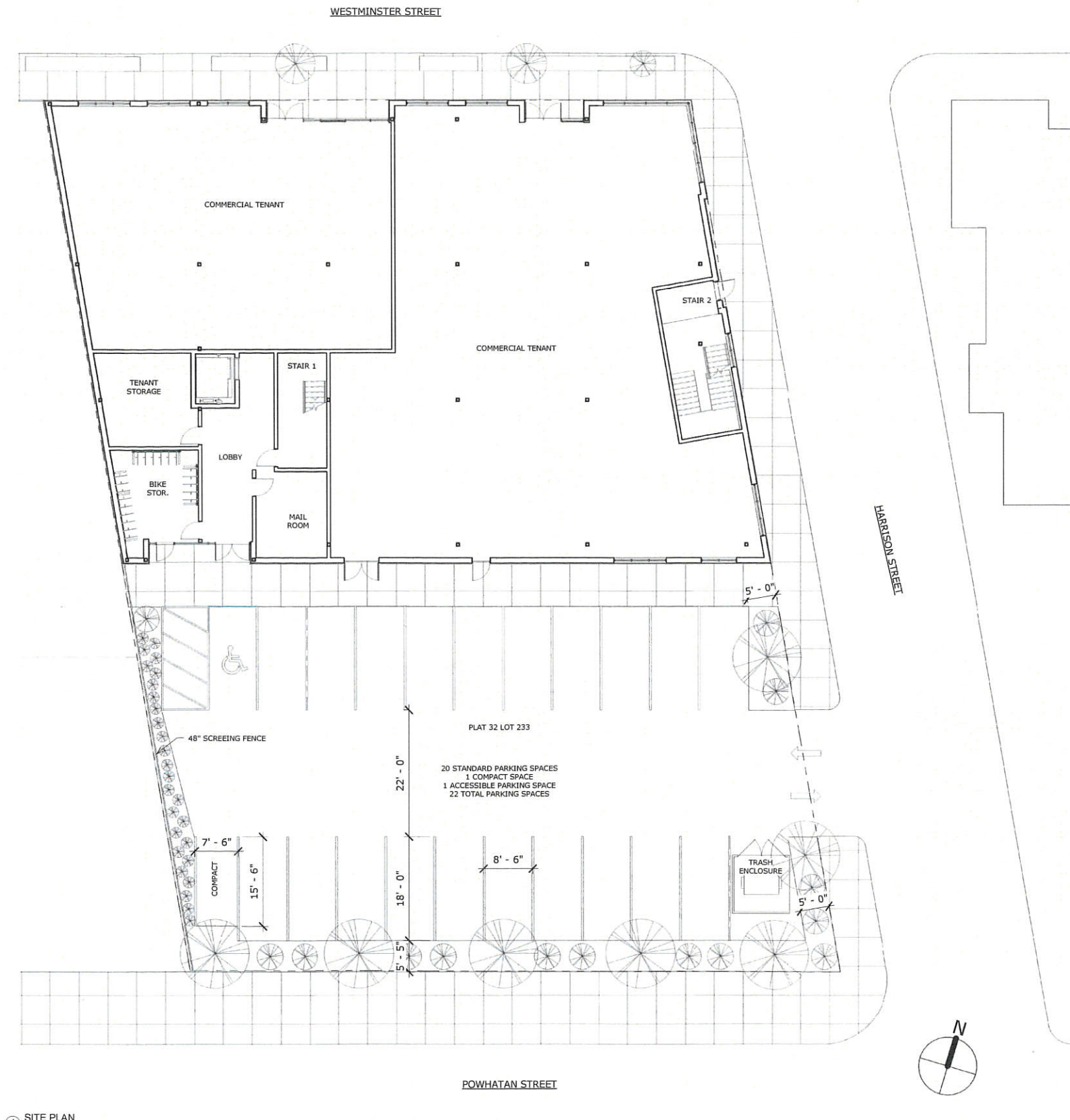
Ocean State Planners, Inc.

SURVEYORS • DESIGNERS

1255 OAKLAWN AVENUE CRANSTON, RHODE ISLAND
PHONE (401) 463-9696 FAX (401) 463-9039

REVISION:

DATE: NOVEMBER 3, 2017
DRAWN BY: DCD
SCALE: 1" = 10'
GRAPHIC SCALE
SHEET 1
OF 1 SHEETS
JOB NO. 9106
DWG. NO. 9106-LCBS



1 SITE PLAN
1" = 10'-0"

SITE PLAN

1292 WESTMINSTER ST

JANUARY 2018

UNIT MATRIX:

	TYPE	AREA	FLOOR 2	FLOOR 3	FLOOR 4	FLOOR 5	TOTAL	%
ONE BED UNIT			8	8	9	7	32	91.4%
	A1	810 SF	1	1	-	-	2	5.7%
	A2	816 SF	5	5	-	-	10	28.5%
	A3	790 SF	1	1	-	-	2	5.7%
	A4	902 SF	1	1	-	-	2	5.7%
	A5	785 SF	-	-	1	-	1	2.9%
	A6	791 SF	-	-	5	-	5	14.3%
	A7	716 SF	-	-	1	-	1	2.9%
	A8	826 SF	-	-	1	-	1	2.9%
	A9	830 SF	-	-	1	-	1	2.9%
	A10	480 SF	-	-	-	1	1	2.9%
	A11	605 SF	-	-	-	4	4	11.4%
	A12	665 SF	-	-	-	1	1	2.9%
	A13	580 SF	-	-	-	1	1	2.9%
TWO BED UNIT			1	1	0	1	3	8.6%
	B1	1,047 SF	1	1	-	-	2	5.7%
	B2	1,076 SF	-	-	-	1	1	2.9%
TOTAL			9	9	9	8	35	100.0%

BUILDING SUMMARY:

PARCEL AREA - 16,824 SF
FLOOR AREA
BASEMENT - 5,209 SF
FIRST FLOOR - 8,708 SF
SECOND FLOOR - 8,856 SF
THIRD FLOOR - 8,856 SF
FOURTH FLOOR - 8,250 SF
FIFTH FLOOR - 6,365 SF
TOTAL BUILDING SQUARE FOOTAGE - 46,244 SF

7,049 SF TOTAL COMMERCIAL SPACE
AT GROUND FLOOR

9 UNITS PER FLOOR @ FLOORS 2-4
8 UNITS @ FLOOR 5
4 RESIDENTIAL FLOORS TOTAL
35 UNITS TOTAL
UNITS RANGE FROM 480 SF - 1,072 SF

PARKING SUMMARY:

ON SITE
20 STANDARD PARKING SPACES
1 COMPACT PARKING SPACE
1 ACCESSIBLE PARKING SPACE
22 TOTAL PARKING SPACES

ON ALTERNATE SITE
16 STANDARD PARKING SPACES FOR 1292 WESTMINSTER

TOTAL:
22 + 16 = 38 PARKING SPACES
43 SPACES REQUIRED, REQUESTING RELIEF OF 5 SPACES

20 INDOOR BIKE STORAGE SPACES

ZONING:

C-2 ZONE
HISTORIC OVERLAY DISTRICT (ARMORY)
MIN. LOT AREA: NONE
MIN. BUILDING HEIGHT: 16'
MIN. FIRST STORY HEIGHT: 11'
MAX. BUILDING HEIGHT: 50', NOT TO EXCEED 4 STORIES
MAX. BUILDING COVERAGE: NONE

FRONT SETBACK: BUILD TO ZONE OF 0'-5'
INTERIOR SIDE SETBACK: NONE, 10' WHEN ABUTTING A RESIDENTIAL DISTRICT
CORNER SIDE SETBACK: BUILD TO ZONE 0'-5'
REAR SETBACK: NONE, 20' WHEN ABUTTING A RESIDENTIAL DISTRICT

PARKING CALCULATIONS:

DWELLING - MULTI-FAMILY:
1 PARKING SPACE PER DWELLING UNIT = 35 CAR SPACES
1 BICYCLE SPACE PER 5 DWELLING UNITS = 7 BICYCLE SPACES

MULTI-TENANT RETAIL:
1 PARKING SPACE PER 500 SF
1 BICYCLE SPACE PER 5,000 SF

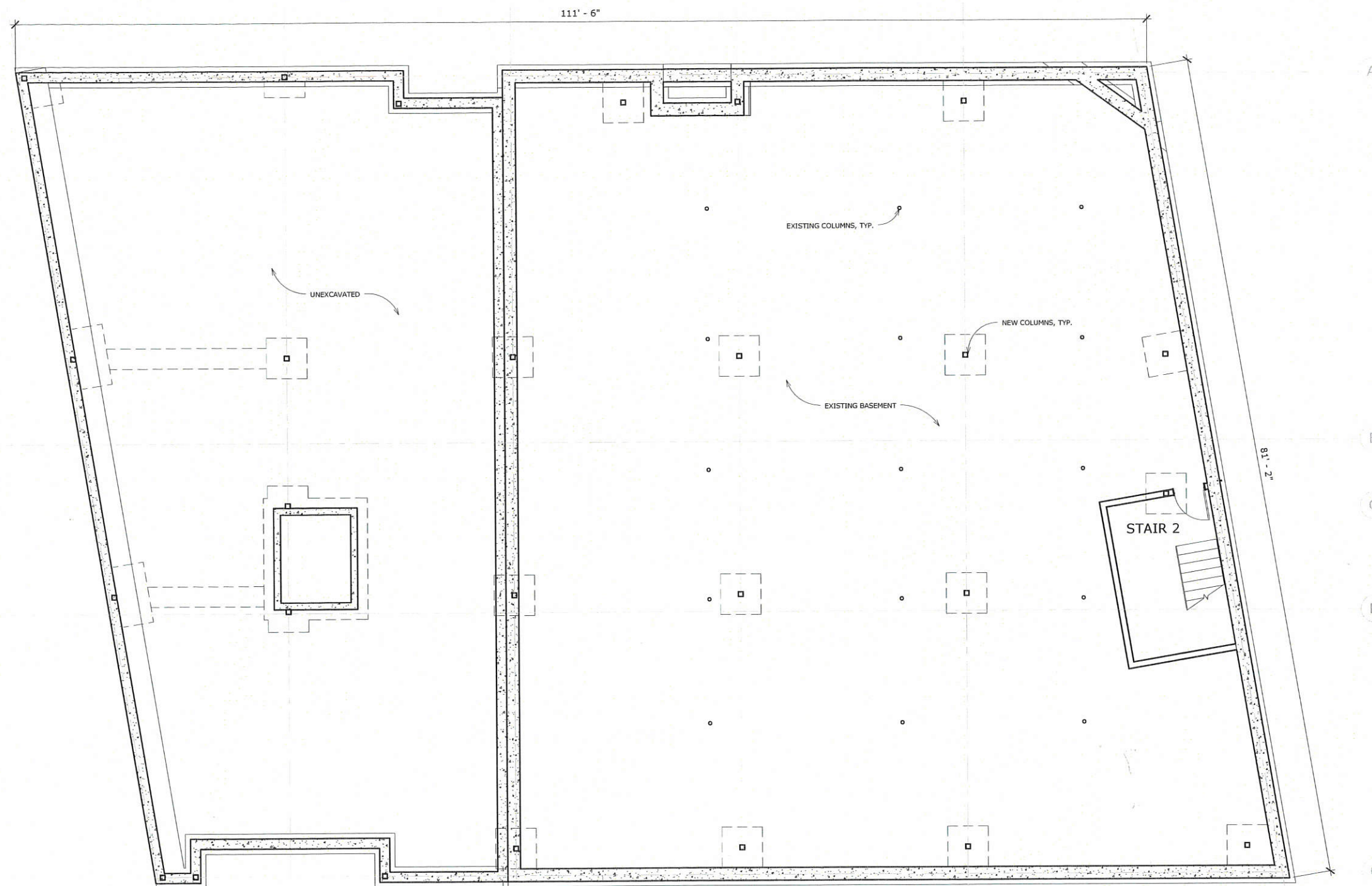
7,049 SF - 2,500 SF (PER 1410.B5) = 4,549 SF / 500 SF = 9.10 ~ 9 CAR SPACES
4,549 SF / 5,000 SF = .91 ~ 1 BICYCLE SPACE

PER 1402.C3: WHERE A NON-RESIDENTIAL USE PROVIDES ADDITIONAL BICYCLE PARKING
OF 120% OR MORE OF THAT REQUIRED, THE NON-RESIDENTIAL USE IS
PERMITTED A VEHICLE PARKING SPACE REDUCTION OF UP TO
10%.

1 BICYCLE SPACE X 120% = 1.2 SPACES, 1 + 1.2 = 2.2 ~ 3 BICYCLE SPACES
9 CAR SPACES X 10% = .9 SPACES, 9 - .9 = 8.1 ~ 8 CAR SPACES

TOTAL:
CAR SPACES:
35 + 8 = 43 SPACES
BICYCLES SPACES
7 + 3 = 10 SPACES

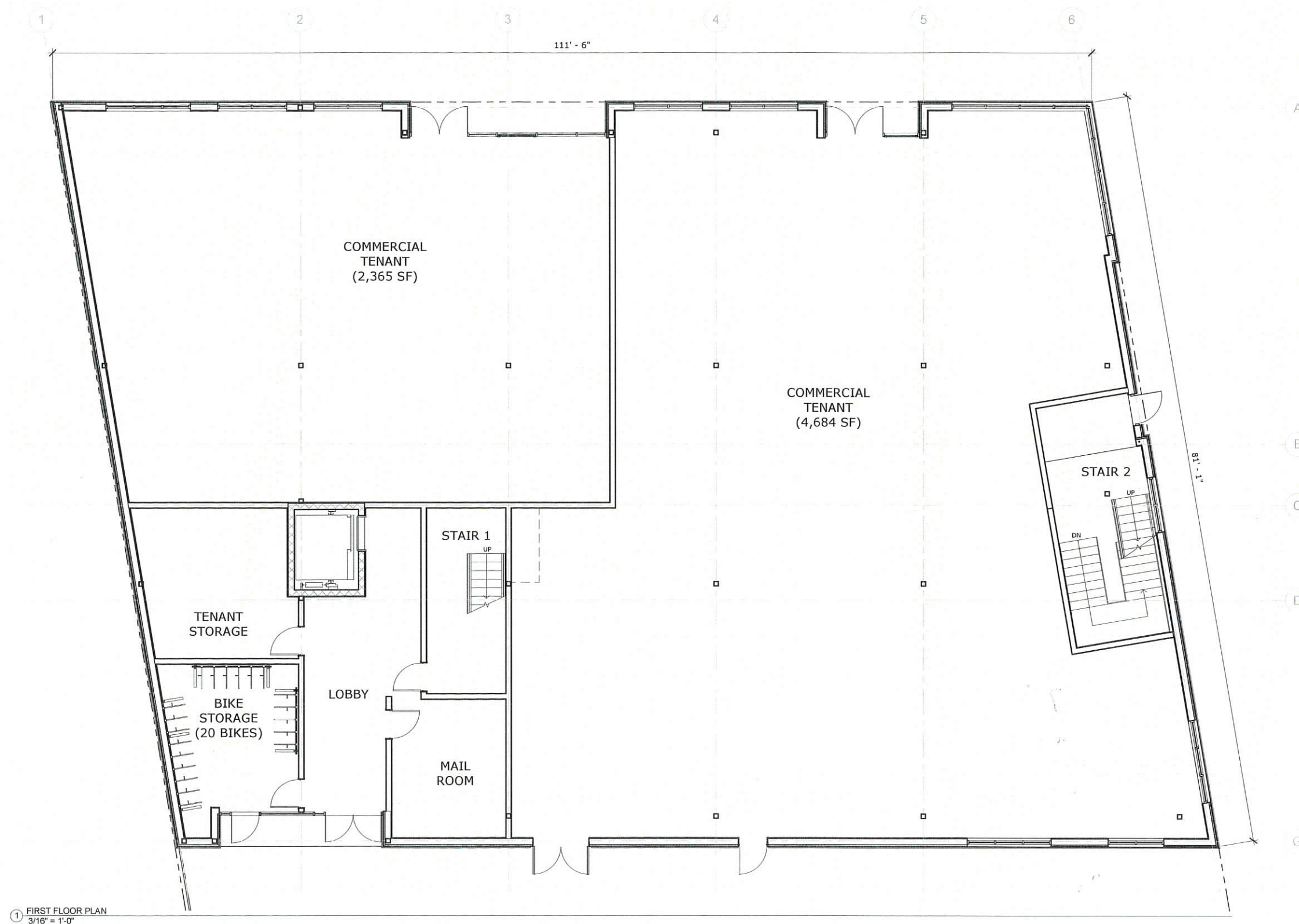




① -01 - BASEMENT FLOOR
3/16" = 1'-0"

BASEMENT/FOUNDATION PLAN
1292 WESTMINSTER ST
JANUARY 2018



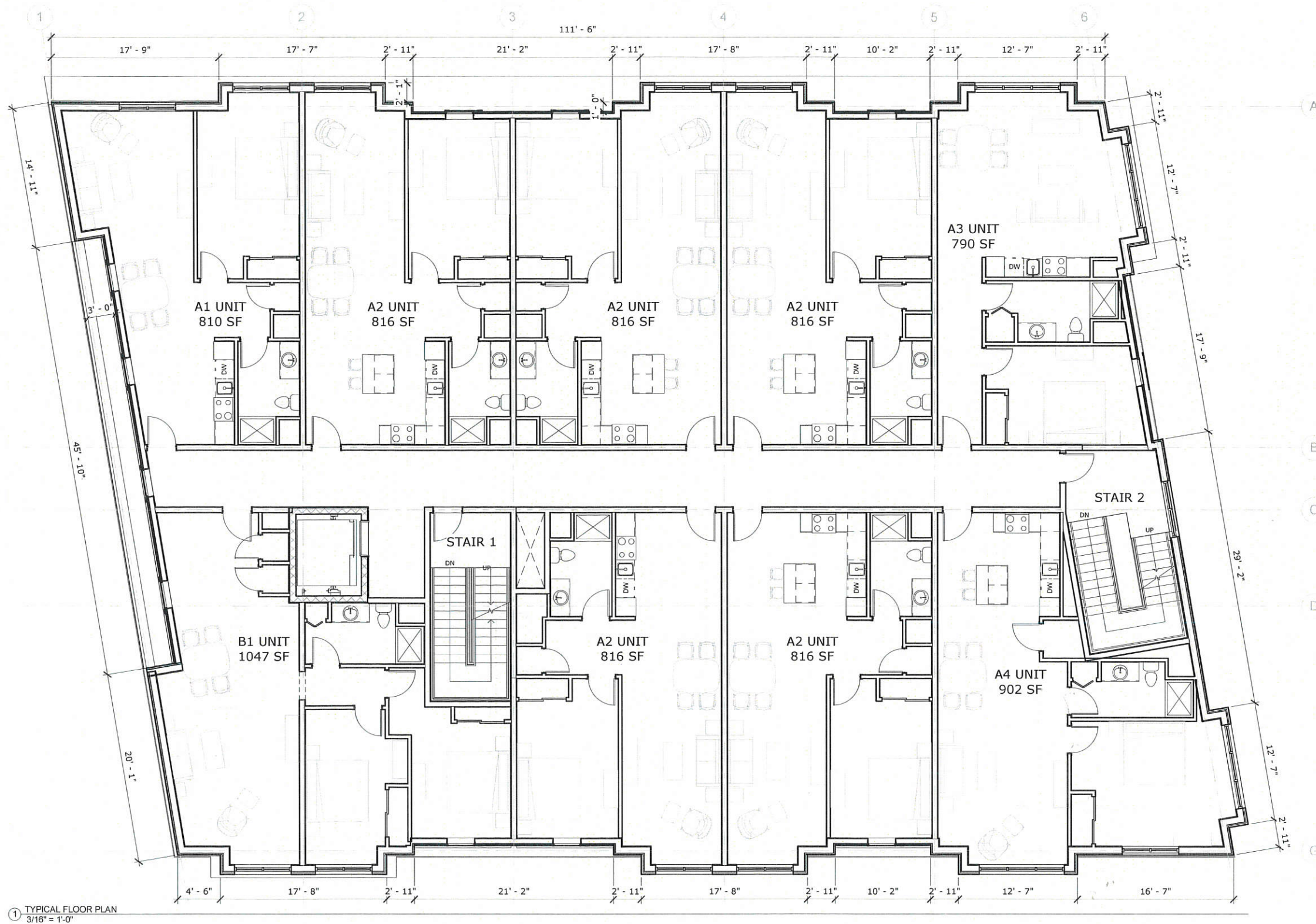


FIRST FLOOR PLAN

1292 WESTMINSTER ST

JANUARY 2018

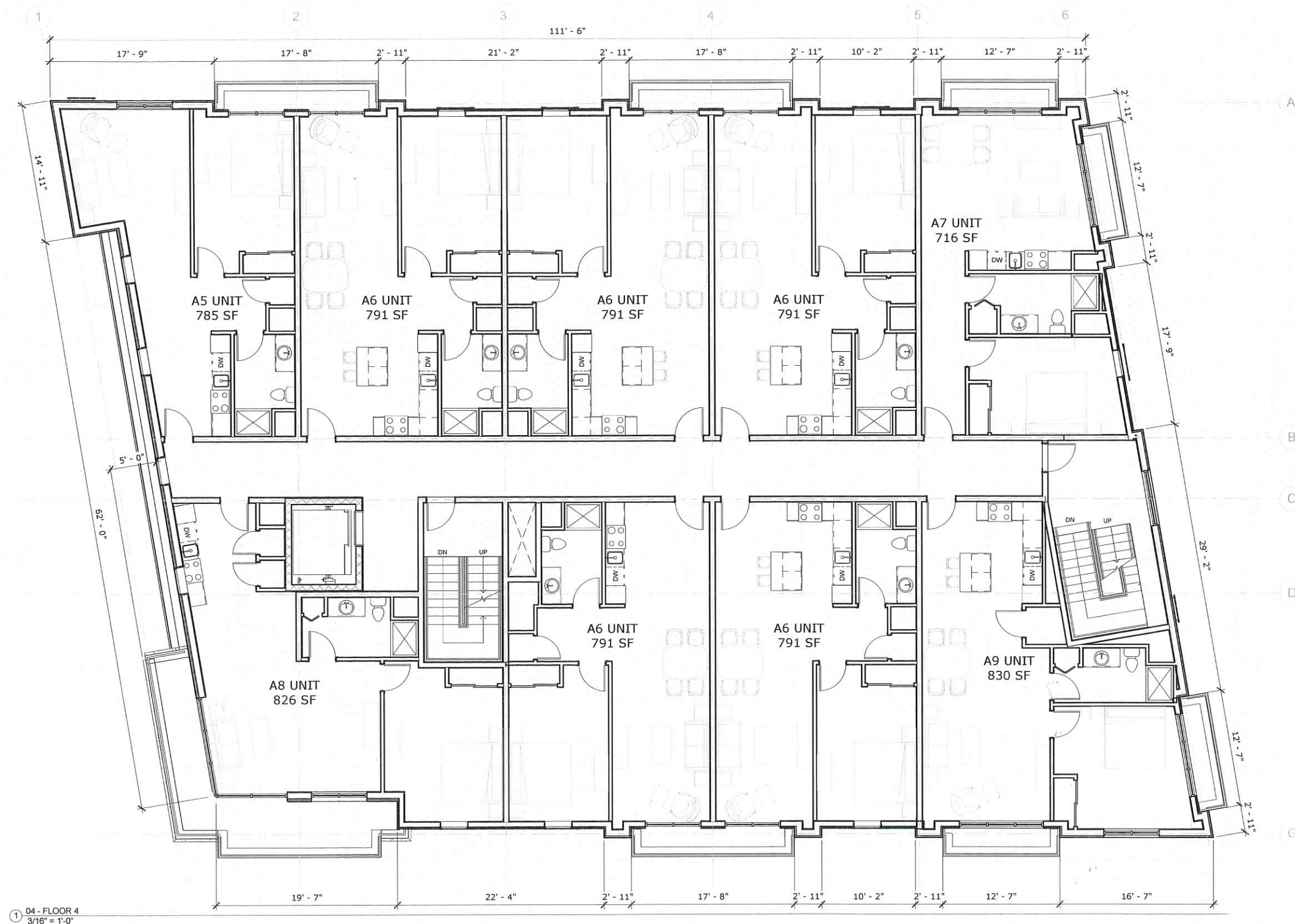




TYPICAL FLOOR PLAN (2-3)

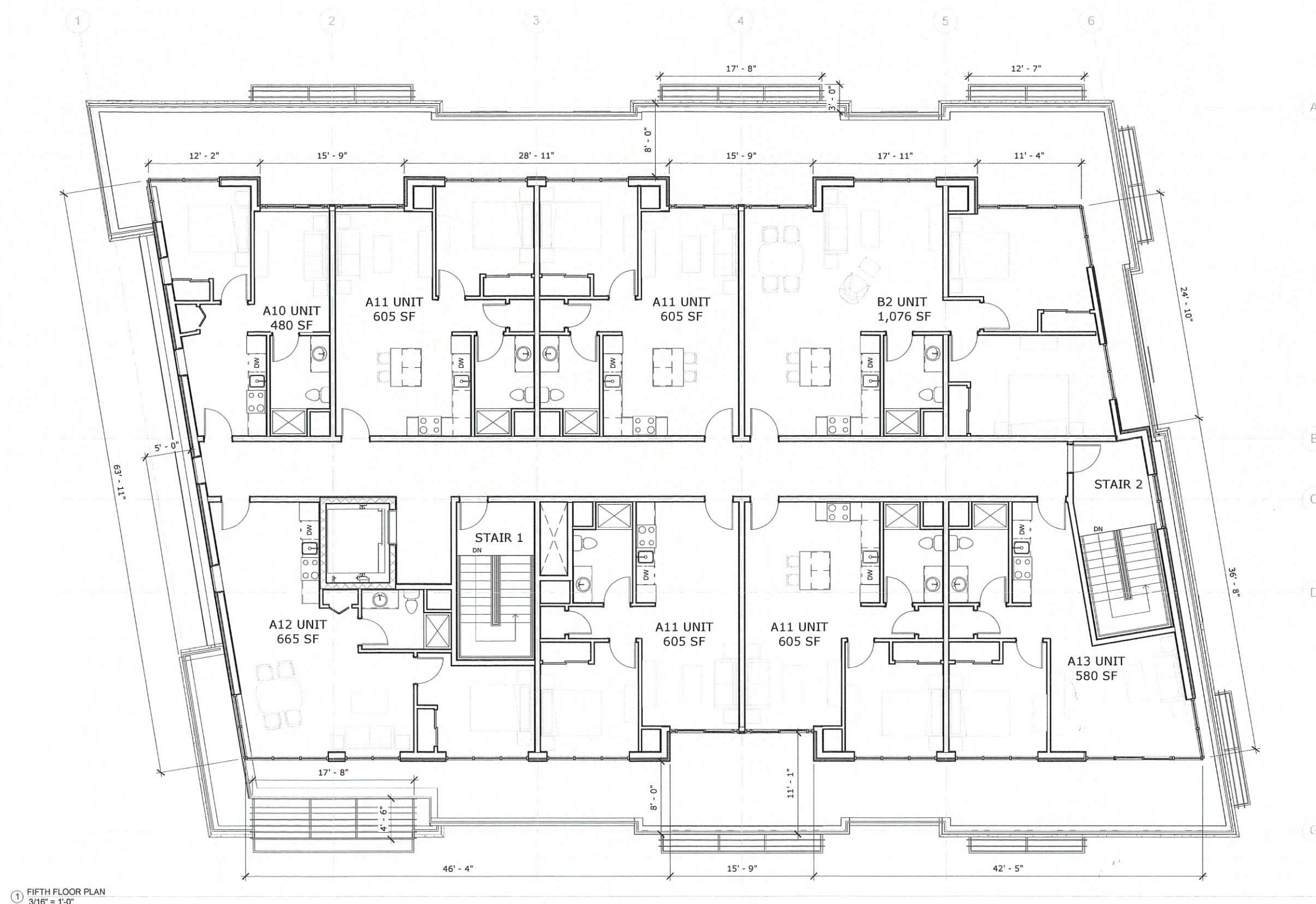
1292 WESTMINSTER ST

JANUARY 2018



FOURTH FLOOR PLAN
1292 WESTMINSTER ST
JANUARY 2018

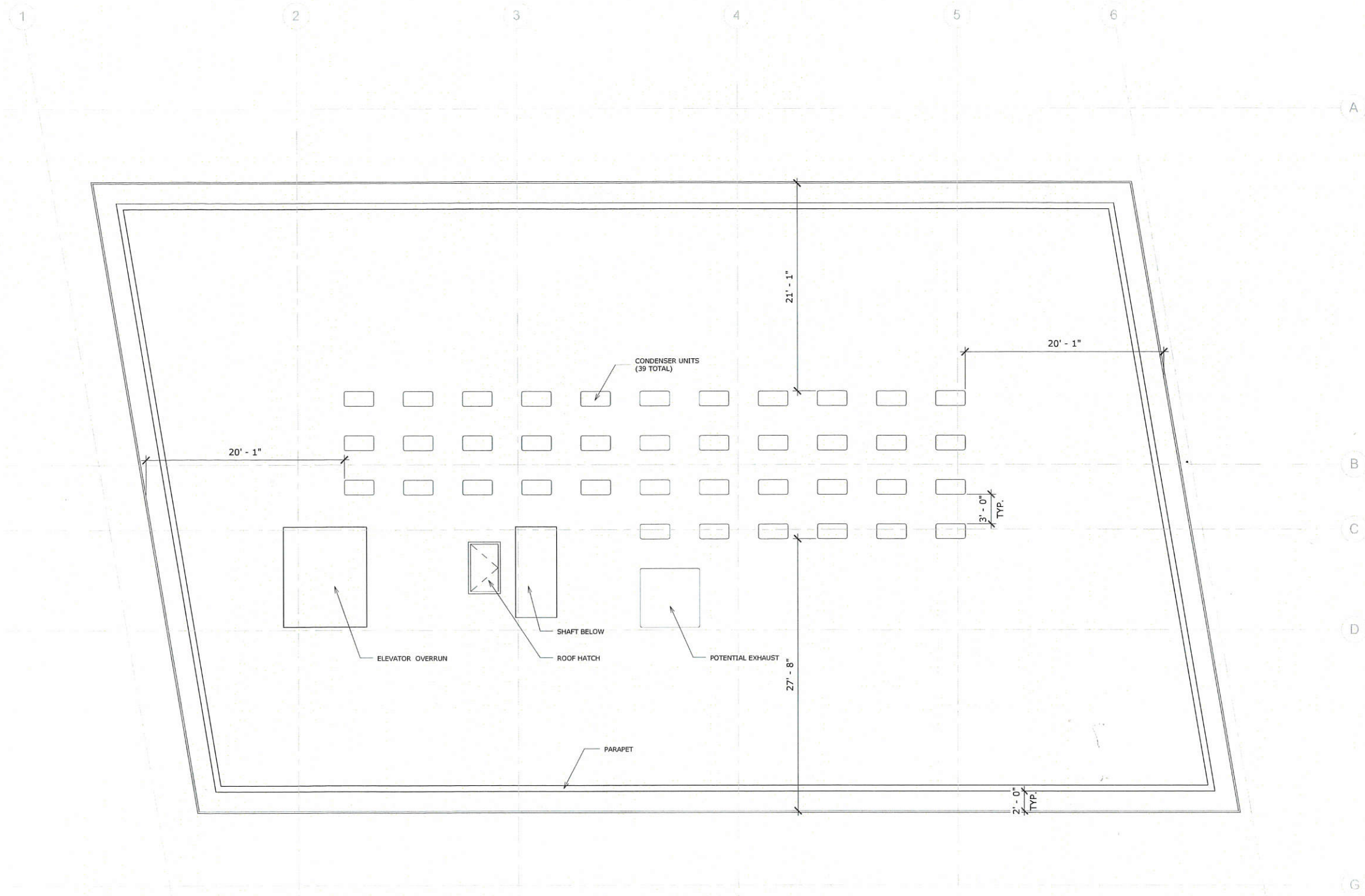




FIFTH FLOOR PLAN

1292 WESTMINSTER ST

JANUARY 2018



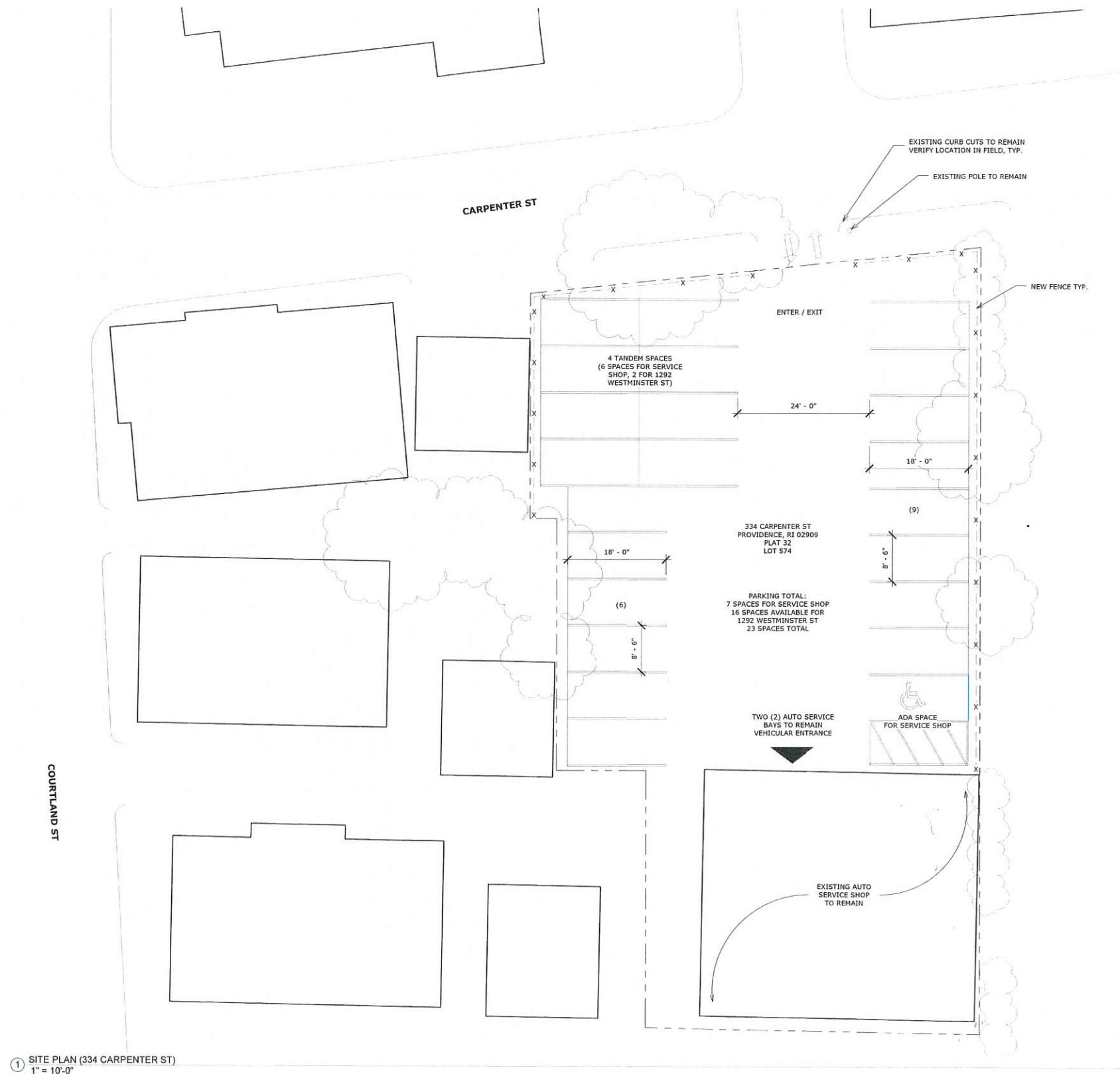
① ROOF PLAN
3/16" = 1'-0"

ROOF PLAN

1292 WESTMINSTER ST

JANUARY 2018





334 CARPENTER STREET PARKING LAYOUT

1292 WESTMINSTER ST

JANUARY 2018



1292 WESTMINSTER ST
PROVIDENCE CITY PLANNING COMMISSION

JANUARY 23, 2018





IBC 2012

TABLE 705.8

3' - 5' FROM PROPERTY LINE, SPRINKLERED - 15% ALLOWABLE WALL OPENING AREA (14.7% @ 2ND & 3RD FLOORS)

5' - 10' FROM PROPERTY LINE, SPRINKLERED - 25% ALLOWABLE WALL OPENING AREA (25% @ 4TH FLOOR, 23.4% @ 5TH FLOOR)

PROPOSED SOUTH WEST 3D VIEW

1292 WESTMINSTER ST

JANUARY 2018





PROPOSED SOUTH EAST 3D VIEW

1292 WESTMINSTER ST

JANUARY 2018



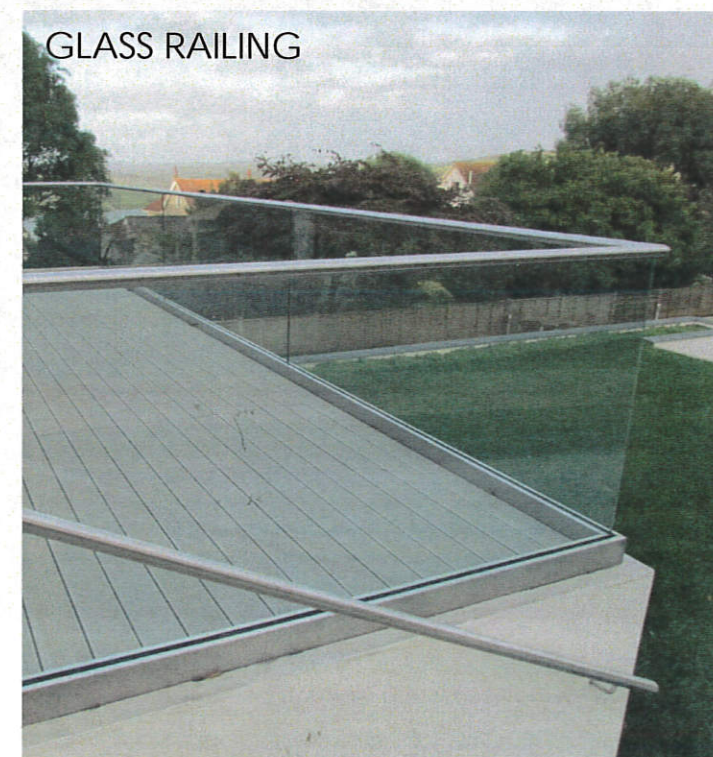
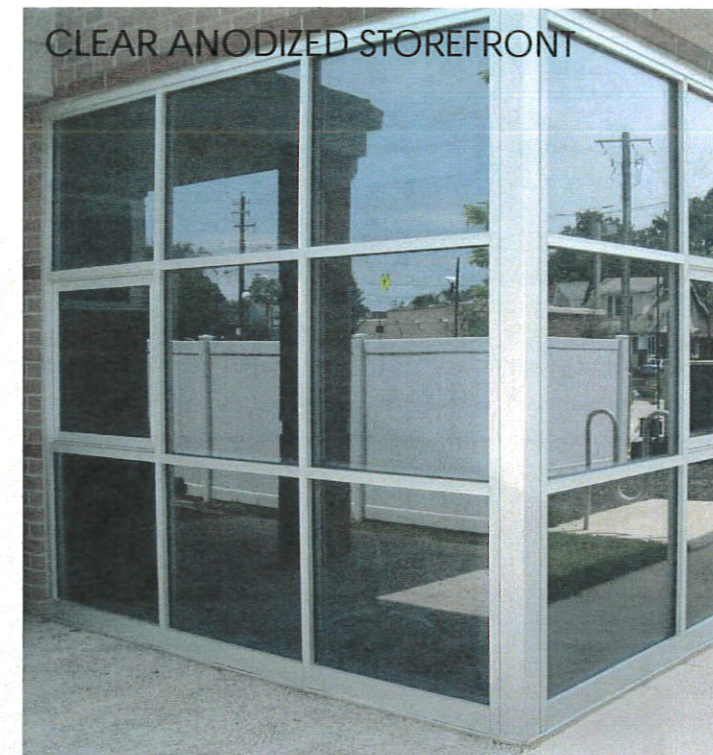
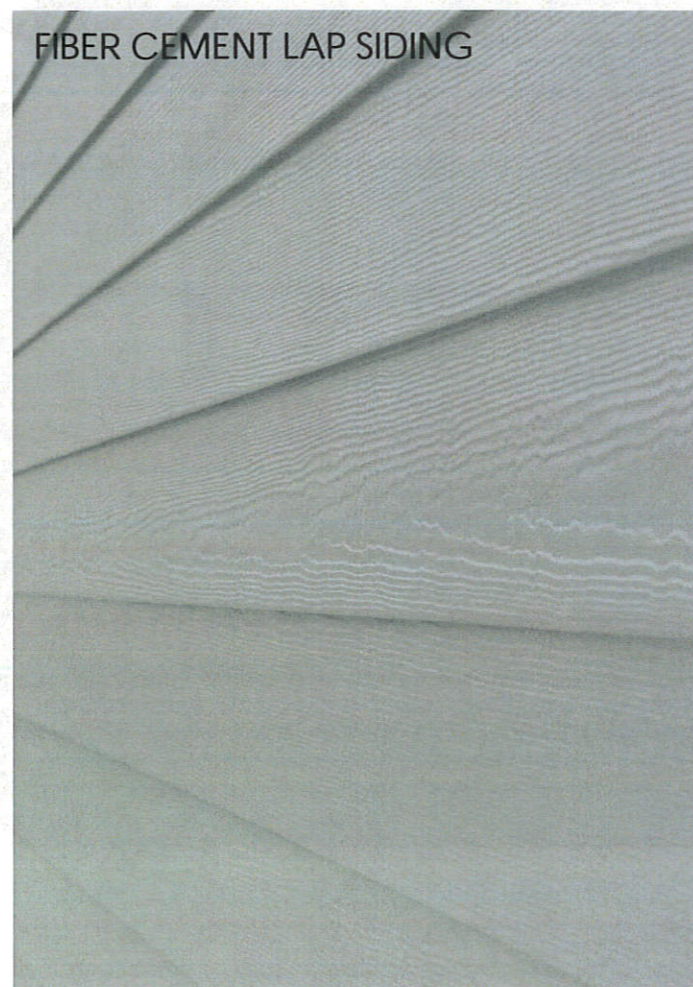


PROPOSED NORTH WEST 3D VIEW

1292 WESTMINSTER ST

JANUARY 2018





BUILDING MATERIALS
 1292 WESTMINSTER ST
 OCTOBER 2017





NORTH ELEVATION - WESTMINSTER ST



EAST ELEVATION - HARRISON ST



SOUTH ELEVATION



WEST ELEVATION

BUILDING ELEVATIONS
1292 WESTMINSTER ST
JANUARY 2018



SITE PLAN SET
FOR
**1292 WESTMINSTER STREET
IMPROVEMENTS**

**PLAT 32, LOT 233
ZONING DISTRICT: C-2
GENERAL COMMERCIAL DISTRICT
HISTORIC OVERLAY DISTRICT
1292 WESTMINSTER STREET
PROVIDENCE, RHODE ISLAND**

OWNER

1292 WESTMINSTER LLC
311 BROADWAY
PROVIDENCE, RHODE ISLAND
02903

APPLICANT

MICHAEL LEMOI
311 BROADWAY
PROVIDENCE, RHODE ISLAND
02903

ENGINEERS and LAND SURVEYORS



- Civil
- Transportation
- Environmental
- Site Planning
- Surveying
- Permitting
- Landscape Architecture

CROSSMAN ENGINEERING

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Warwick, RI 02886
Phone: (401) 738-5660

Massachusetts
103 Commonwealth Avenue
North Attleboro, MA 02763
Phone: (508) 695-1700

Email: cel@crossmaneng.com

ARCHITECT



ZDS inc.

86 WEYBOSSET ST, SUITE 302
PROVIDENCE, RI 02903
+1.401.680.6699
www.z-ds.com



LOCATION MAP

NOT TO SCALE

INDEX OF DRAWINGS

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C1	GENERAL NOTES and LEGEND
C2	EXISTING AERIAL MAP
C3	PROPOSED AERIAL MAP
C4	EXISTING CONDITIONS PLAN
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C6	PRELIMINARY GRADING and DRAINAGE PLAN
C7	SOIL EROSION and SEDIMENT CONTROL PLAN
C8	MISCELLANEOUS DETAIL PLAN No. 1
C9	MISCELLANEOUS DETAIL PLAN No. 2
C10	MISCELLANEOUS DETAIL PLAN No. 3
E1	SITE LIGHTING PLAN
L1	LANDSCAPE PLAN
L2	LANDSCAPE DETAIL PLAN
	LIMITED CONTENT BOUNDARY SURVEY

REVISIONS:

No.:	DATE:	DESCRIPTION:



*Submitted
1-22-18
Preliminary Filing*

**JANUARY 2018
SHEET 1 of 15**

1. THE EXISTING CONDITIONS AND UTILITY INFORMATION REFERENCED IN THIS PLAN SET IS BASED UPON A SURVEY PLAN PREPARED BY OTHERS (SEE MAP REFERENCE). THE PLANS DO NOT DEPICT ALL UNDERGROUND UTILITY SYSTEMS, THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING DRAINAGE AND UTILITIES, BOTH UNDERGROUND AND OVERHEAD, BEFORE EXCAVATION BEGINS IN ACCORDANCE WITH "DIG SAFE PROGRAM LAW" ENACTED BY THE R.I. LEGISLATURE AND BY CONTACTING THE INDIVIDUAL UTILITY COMPANIES. EXCAVATION SHALL BE IN ACCORDANCE WITH ORDINANCES, RULES AND REGULATIONS OF ANY CITY, STATE OR FEDERAL AGENCY THAT MAY APPLY, ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

3. FOR ALL EXCAVATION AND PLACEMENT OF FILL, THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE R.I. STANDARD SPECIFICATION SECTION 202.

4. RHODE ISLAND STANDARDS REFERENCED ARE ACCORDING TO THE STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS "RHODE ISLAND STANDARD DETAILS" DATED MAY 20, 2015, WITH ALL REVISIONS AS PREPARED BY THE DEPARTMENT OF TRANSPORTATION.

5. THE CONTRACTOR MUST VERIFY PRIOR TO CONSTRUCTION THAT ALL REQUIRED AUTHORIZATION TO PERFORM WORK HAS BEEN OBTAINED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION OPERATIONS INCLUDING ALL ACTIONS OR OMISSIONS OF ANY SUBCONTRACTORS, AGENTS OR EMPLOYEES. THE CONTRACTOR MUST ENSURE THAT THE CONDITIONS OF ALL PERMITS, SPECIFICATIONS AND FEDERAL, STATE AND LOCAL REGULATIONS ARE STRICTLY ENFORCED. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ASPECTS OF ON-SITE SAFETY INCLUDING ANY DAMAGE TO EXISTING STRUCTURES.

6. WORK SHOWN ON THE PLANS FOR WHICH THERE ARE NO PARTICULAR DETAILS OR SPECIFICATIONS DOES NOT RELIEVE THE CONTRACTOR FROM FURNISHING AND INSTALLING THE WORK. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE CONTRACT DOCUMENTS AND PLANS AND INSPECT THE SITE. THE BID PRICE SHALL INCLUDE ALL LABOR, INCIDENTALS, TOOLS, EQUIPMENT, TESTING, SERVICES AND MATERIALS NECESSARY TO COMPLETE THE PROJECT. ANY CHANGES TO THE PROJECT OR THE INSTALLATION OF AN ITEM FOR WHICH NO PARTICULAR DETAIL OR SPECIFICATION WAS PROVIDED MUST BE REVIEWED BY AND MUST BE ACCEPTABLE TO THE ENGINEER AND OWNER.

7. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY WORK.

8. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT PRIOR TO THE INITIATION OF WORK. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS, RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

9. ALL DISTURBED AREAS SHALL BE REPLACED IN KIND UNLESS OTHERWISE SHOWN.

10. THROUGHOUT THE SITE URBAN FILL AND/OR DEBRIS MAY BE ENCOUNTERED DURING EXCAVATION. THE CONTRACTOR SHALL INCLUDE REMOVAL AND DISPOSAL OF THIS MATERIAL WITHIN THE REQUIRED EXCAVATION AREA, IN THE BID PRICE.

11. ALL PROPOSED SIDEWALK RAMPS SHALL HAVE A DETECTABLE WARNING DEVICE (RI STD 48.1.0).

12. THE SITE IS NOT WITHIN 200' OF ANY WETLAND AREAS, WATER COURSES OR COASTAL FEATURES.

13. THE EXISTING WATER, SEWER AND GAS UTILITIES TO THIS SITE WILL BE RE-USED FOR THE PROPOSED BUILDING IMPROVEMENTS. REFER TO ARCHITECTURAL PLANS FOR THE INTERIOR MODIFICATIONS INCLUDING THE WATER METER AND BACKFLOW PREVENTER.

14. REFER TO ARCHITECTURAL PLANS FOR THE ELECTRIC, TELEPHONE AND CABLE SERVICE LOCATIONS. THE CONTRACTOR SHALL COORDINATE WITH EACH UTILITY COMPANY FOR SERVICE INSTALLATION.

THE LAYOUT SHOWN REPRESENTS A GRAPHICAL DESIGN, AND PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL LAND SURVEYOR (PLS) REGISTERED IN THE STATE TO SET AND VERIFY ALL LINES AND GRADES AND PROVIDE A BENCH MARK FOR CONSTRUCTION. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEM FOUND WHICH DOES NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. NO WORK SHALL PROCEED UNTIL AUTHORIZED BY THE ENGINEER.

1. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY COMPANIES AND OWNER TO OBTAIN THE LOCATION OF ALL UTILITIES PRIOR TO BEGINNING WORK. THE MARKED LOCATIONS SHALL BE PRESERVED BY THE CONTRACTOR DURING THE COURSE OF THE WORK, UNTIL SUCH TIME AS THE ARE NO LONGER NEEDED.

2. ALL UTILITIES INTERFERED WITH OR DAMAGED BY THE CONTRACTOR SHALL BE IMMEDIATELY AND PROPERLY RESTORED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL FULLY COMPACT ALL BACKFILL MATERIAL AROUND AND UNDER ALL EXISTING UTILITIES ENCOUNTERED OR CROSSED.

3. UNDERGROUND UTILITIES REFERENCED ON THESE PLANS HAVE BEEN PROVIDED BY OTHERS, REFER TO MAP REFERENCE.

4. CROSSMAN ENGINEERING HAS LOCATED THE SITE TOPOGRAPHY IN JANUARY 2018. THE BENCH MARK USES AN ASSUMED DATUM.

1. LIMITED CONTENT BOUNDARY SURVEY, A.P. 32 LOT 233, 1292 WESTMINSTER STREET, PROVIDENCE, RHODE ISLAND, PREPARED FOR MICHAEL LEMOI C/O ZDS, INC., PREPARED BY: OCEAN STATE PLANNERS, INC., 1255 OAKLAWN AVENUE, CRANSTON, RHODE ISLAND, (401) 463-9696, DATE: NOVEMBER 3, 2017, SCALE 1"=10'.

THE SITE IS LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE FLOOD, AS NOTED ON THE FLOOD INSURANCE RATE MAP, PROVIDENCE COUNTY, RHODE ISLAND (ALL JURISDICTIONS), PANEL 308 OF 451, MAP NUMBER 44007C0308J, MAP REVISED OCTOBER 2, 2015.

ON-SITE
1 1/2" BITUMINOUS CONCRETE COURSE
2 1/2" BITUMINOUS CONCRETE BASE COURSE
8" GRAVEL BORROW SUBBASE

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY CONSTRUCTION SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.)

2. TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.

3. THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS WILL NOT BE PARKED IN ANY ROADWAY RIGHT-OF-WAY.

4. ALL MAINTENANCE AND PROTECTION OF TRAFFIC CONTROL SETUPS, SIGNS, CHANNELING DEVICES, ETC., SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, 2009 EDITION, INCLUDING REVISION 2, MAY 2012, AND SUBSEQUENT ADDENDA.

5. SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH THE STATE D.O.T. SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.

6. THE CONTRACTOR SHALL INCLUDE POLICE DETAILS REQUIRED FOR WORK WITHIN THE CITY RIGHT-OF-WAY, WITHIN THE CONTRACT PRICE.

7. ROAD OPENING PERMITS SHALL BE OBTAINED BY THE CONTRACTOR.

6. COORDINATION WITH THE PROVIDENCE DEPARTMENT OF PUBLIC WORKS IS REQUIRED TO REVIEW ALL WORK IMPACTING SIDEWALKS AND/OR PEDESTRIAN TRAFFIC WITHIN THE CITY R.O.W. THE CONTRACTOR IS RESPONSIBLE FOR ALL SIGNAGE, DETOURS AND TEMPORARY FENCING AROUND SITE REQUIRED DURING CONSTRUCTION. DPW APPROVALS WILL BE REQUIRED FOR SIDEWALK WORK.

1. THE CONTRACTOR SHALL REVIEW ALL PLANS PREPARED BY THE ARCHITECT, MECHANICAL, ELECTRIC AND PLUMBING ENGINEER TO CONFIRM IF ALL EXISTING UTILITY SERVICES TO THE BUILDING ARE TO REMAIN. EXISTING SERVICE UTILITIES NO LONGER REQUIRED SHALL BE CUT AND CAPPED AT THE PROPERTY LINE. COORDINATION WITH THE UTILITY COMPANIES WILL BE REQUIRED.

2. PRIOR TO CONSTRUCTION AND AS REQUIRED FOR NEW SERVICES, THE CONTRACTOR MUST PERFORM ADDITIONAL TESTS TO:

A. CONFIRM THE EXISTING DEPTHS OF UTILITIES AT ALL PROPOSED CONNECTION POINTS AND POTENTIAL CROSSOVER (CONFLICT) POINTS.

B. CONFIRM THE EXTENT OF LEDGE WHICH MAY EXIST IN ALL ANTICIPATED UTILITY TRENCH AREAS. PRIOR TO CONSTRUCTION, THE FINDINGS ARE TO BE REVIEWED BY THE OWNER AND THE ENGINEER. IF NECESSARY, ALTERNATIVES TO MINIMIZE LEDGE REMOVAL AND UTILITY CONFLICTS WILL BE DEVELOPED. NO CONSTRUCTION WILL BE ALLOWED WITHOUT THE OWNER'S AUTHORIZATION.

C. THE CONTRACTOR SHALL DIG TEST HOLES TO VERIFY THE ELEVATIONS AND PIPE MATERIAL OF THE EXISTING WATER, GAS AND SANITARY SERVICES AT THE PROPOSED TIE-IN LOCATION.

2. ANY MODIFICATIONS TO THE PROPOSED UTILITIES TO AVOID CONFLICTS MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION. NO EXTRA PAYMENT TO THE CONTRACTOR DUE TO RELOCATIONS WILL BE AUTHORIZED.

3. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO TIE-IN OR SERVICE REMOVAL.

4. THIS UTILITY PLAN DOES NOT REPRESENT THE SITE ELECTRICAL/TELEPHONE/COMMUNICATION SYSTEM DESIGNS AND DOES NOT REPRESENT IRRIGATION PIPING. CONTRACTOR SHALL COORDINATE WITH ARCHITECT TO VERIFY IRRIGATION PIPING REQUIREMENTS.

5. AS APPLICABLE FOR NEW SERVICE; THE CONTRACTOR MUST LOCATE THE EXISTING WATER MAIN TO OBTAIN THE PROPER OUTSIDE DIAMETER TO SIZE THE SLEEVE.

6. AS APPLICABLE FOR NEW SERVICE; THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL NEW UTILITY PIPE SIZES INCLUDING WATER, SEWER AND GAS ARE VERIFIED BY THE ARCHITECT PRIOR TO ORDERING PIPE OR RELATED MATERIAL.

7. ALL PROPOSED PIPES AND CONDUITS SHALL BE INSTALLED TO MEET H-20 LOADING CAPACITY. ALL MATERIAL AND TRENCHING METHODS SHALL CONFORM TO H-20 LOADING CAPACITIES, AS RECOMMENDED BY THE MANUFACTURER. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS/CATALOG CUTS FOR PROPOSED PIPE AND CONDUIT TO ENGINEER FOR APPROVAL.

1. AS APPLICABLE FOR TERMINATING EXISTING SERVICES; THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITY STUBS TO THIS SITE AND PROPERLY PLUG AND CAP STUBS AT THE PROPERTY LINE OR CURB LINE.

2. PRIOR TO REMOVAL OF OVERHEAD POLES AND WIRES THE CONTRACTOR SHALL CONTACT THE ELECTRIC, TELEPHONE, CABLE AND FIRE ALARM COMPANIES.

3. THE CONTRACTOR IS RESPONSIBLE TO REMOVE AND DISPOSE ALL ITEMS OUTSIDE THE BUILDING FOOTPRINT, INCLUDING BUT NOT LIMITED TO EXISTING PAVEMENT, SIDEWALKS, LIGHT POLES, DEBRIS, BOLLARDS, TREES, UNDERGROUND PIPES AND FENCING ON SITE.

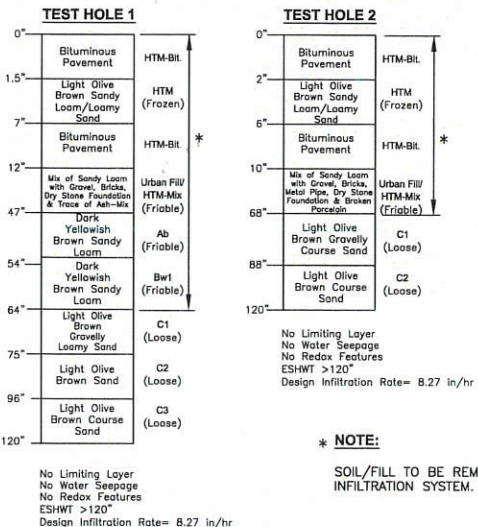
4. BUILDING DEMOLITION IS NOT INCLUDED OR REFERENCED IN THIS PLAN SET. REFER TO ARCHITECTURAL PLANS FOR REQUIRED PERMITS, TESTING, REMOVAL AND DISPOSAL REQUIREMENTS FOR THE BUILDING DEMOLITION.

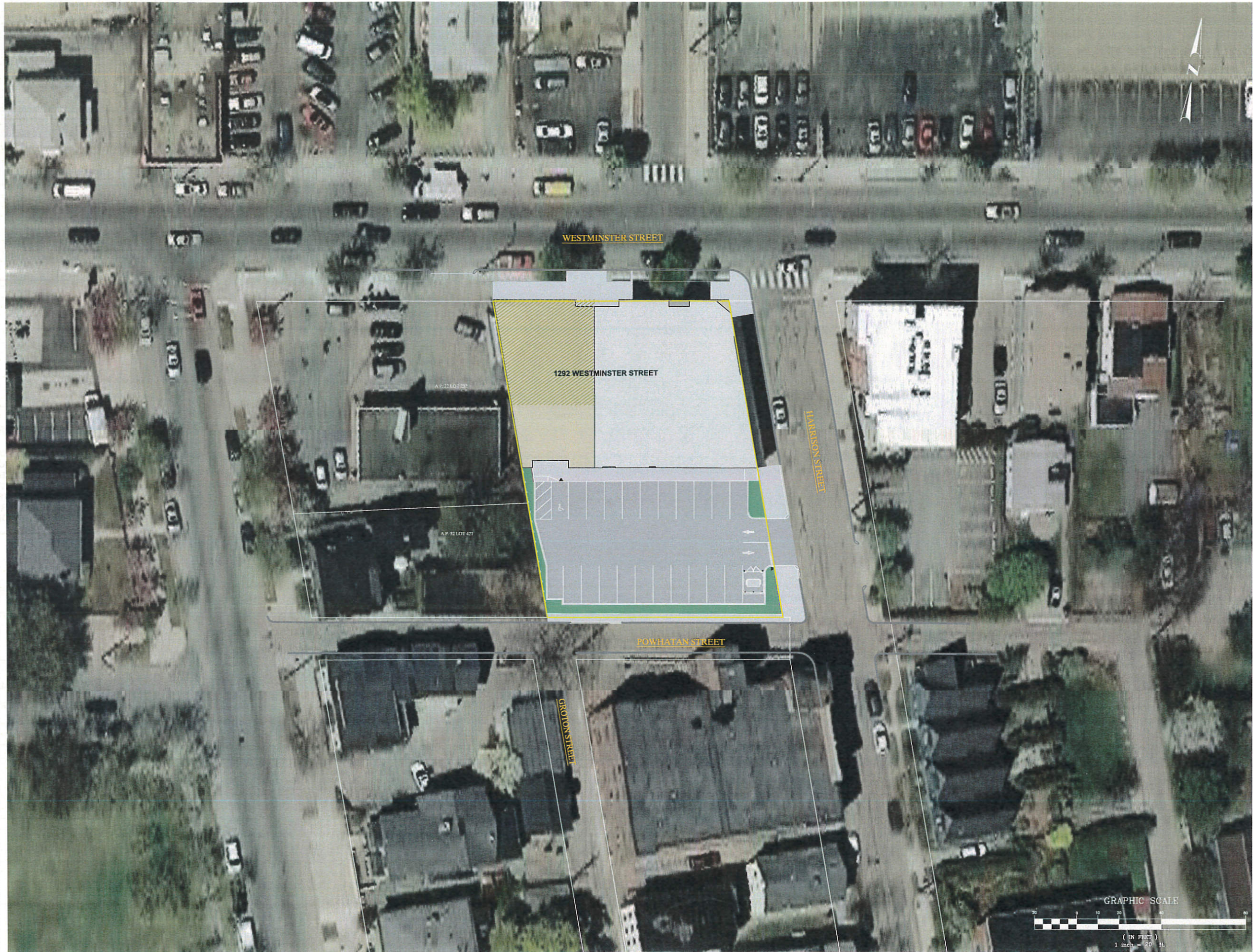
THE SOIL EVALUATIONS CONDUCTED FOR THIS SITE NOTED REMAINS OF AN OLD STONE FOUNDATION. THIS STONE FOUNDATION WOULD BE CONSIDERED AN UNSTABLE CONDITION FOR THE NEW PARKING LOT. THEREFORE PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL DIG TEST HOLES TO THE OTHER STONE FOUNDATIONS OR UNSTABLE CONDITIONS EXIST. ONCE THE FOUNDATION IS ESTABLISHED, THE CONTRACTOR SHALL REMOVE ALL STONE, DEBRIS AND/OR SOIL. WITHIN THE BID PRICING, THE CONTRACTOR SHALL PROVIDE A UNIT COST FOR REMOVAL AND DISPOSAL OF STONES OR DEBRIS AND/OR SOIL. PRICING SHALL INCLUDE REPLACING THE VOID AREAS WITH GRAVEL BORROW, COMPACTED TO 95% DRY DENSITY, MODIFIED PROCTOR METHOD. THE CONTRACTOR SHALL PROVIDE THE PILING, AND LABOR SHALL BE PROVIDED BY THE CONTRACTOR. COORDINATE DETAILS WITH OWNER.

PROPERTY LINE
EASEMENT LINE
CURB
UTILITY POLE
LIGHT POLE
DRAIN LINE
SANITARY SEWER
SANITARY FORCE MAIN
GAS LINE
DOMESTIC WATER LINE
FIRE SERVICE LINE
ELECTRIC/CABLE/TELEPHONE
DRAINAGE MANHOLE
CATCH BASIN
SEWER MANHOLE
ELECTRIC MANHOLE
TELEPHONE MANHOLE
HYDRANT
WATER GATE
GAS GATE
CLEAN-OUT TO GRADE
SAWCUT PAVEMENT
CONTOURS
SPOT GRADES
CHAIN LINK FENCE
STOCKADE FENCE
RETAINING WALL
STONE WALL
GUARDRAIL
GRADE TO DRAIN

The plan view shows a horizontal road alignment represented by two parallel lines. Above the alignment, there is a hatched area representing a ditch or embankment. A point labeled "CO" is located on the upper boundary of this hatched area. To the right of the "CO" label is a legend indicating that a solid circle represents "DMH" and a solid square represents "CB". Below the alignment, there are several rectangular boxes labeled "ELEV." and "00x0". Further down, there is a dashed line with cross-ticks, and below it, a solid line with cross-ticks. A circular feature labeled "X" is shown near the bottom left, and a legend indicates that a solid circle represents "BOLLARD".

TEST PITS WERE CONDUCTED ON JANUARY 19, 2017 BY CROSSMAN ENGINEERING





- Civil
- Transportation
- Environmental
- Site Planning
- Surveying
- Permitting
- Landscape Architecture

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KEY PLAN

PROJECT TITLE:

1292 WESTMINSTER STREET

PLAT MAP 32, LOT 233
ZONING DISTRICT C2
GENERAL COMMERCIAL
DISTRICT and HISTORIC
OVERLAY DISTRICT
1292 WESTMINSTER STREET
PROVIDENCE, RHODE ISLAND

PREPARED FOR:

ZDS ZDS inc.
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DRAWING TITLE:

PROPOSED AERIAL MAP

DATE: JANUARY 23, 2018 SCALE: 1"=20'

DWG. NAME: 2290-C03-PR-AERIAL.dwg

REVISIONS

NUMBER	REMARKS	DATE
---	---	---

DRAWING NUMBER

C3



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PROJECT TITLE:
1292 WESTMINSTER STREET

**PLAT MAP 32, LOT 233
ZONING DISTRICT C2
GENERAL COMMERCIAL
DISTRICT and HISTORIC
OVERLAY DISTRICT
1292 WESTMINSTER STREET
PROVIDENCE, RHODE ISLAND**

PREPARED FOR:

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www.z-ds.com

DRAWING TITLE:

EXISTING AERIAL MAP

DATE: JANUARY 23, 2018 **SCALE:** 1"=20'
DWG. NAME: 2290-C02-EX-AERIAL.dwg

REVISIONS

NUMBER	REMARKS	DATE

DRAWING NUMBER

C2

PROVIDENCE ZONING REQUIREMENTS		
ZONING DISTRICT: C-2 GENERAL COMMERCIAL DISTRICT		
OVERLAY DISTRICT: HISTORIC OVERLAY DISTRICT (ARMORY)		
PERMITTED USE: MULTI-TENANT RETAIL AND MULTI-FAMILY DWELLING		
MINIMUM LOT REQUIREMENTS	REQUIRED	PROVIDED
MINIMUM LOT AREA	NONE	51,696 S.F.
MINIMUM BUILDING HEIGHT	20'	57'
MAXIMUM BUILDING HEIGHT	50' - 4 STORIES	5 STORIES (SEE NOTE 1)
SETBACK REQUIREMENTS		
MINIMUM FRONT SETBACK	0'-5' *(A)	*(E)
MINIMUM INTERIOR SIDE SETBACK	NONE *(B)	0'
MINIMUM CORNER SIDE SETBACK	0'-5' *(C)	0'
MINIMUM REAR SETBACK	NONE *(D)	NA

- *(A) THE REQUIRED BUILD-TO PERCENTAGE IS 60% OF THE FRONT LINE
 *(B) 10' IF ABUTTING RESIDENTIAL
 *(C) THE REQUIRED BUILD-TO PERCENTAGE IS 40% OF THE CORNER SIDE LOT LINE
 *(D) 20' IF ABUTTING RESIDENTIAL
 *(E) THE EXISTING BUILDING ENCLOSES INTO THE WESTMINSTER STREET R.O.W. THE PROPOSED BUILDING IS TO MATCH THE EXISTING ENCROACHMENT OF 1'. ARCHITECT TO COORDINATE FOR PROPOSED ENCROACHMENTS.

PARKING REQUIREMENTS		
ZONING REQUIREMENT: 1 SPACE PER DWELLING UNIT & 1 SPACE PER 500 SF OF RETAIL GFA		
PROPOSED 35 DWELLING UNITS 35 DWELLING UNITS X 1 SPACE / UNIT = 35 SPACES		
PROPOSED 7,049 S.F. RETAIL GFA 7,049 SF - 2,500 SF (PER SECTION 1410.B5 OF THE ZONING ORDINANCE) = 4,595 SF X 1 SPACE / 500 SF = 10 SPACES		
TOTAL PARKING SPACES REQUIRED = 45 SPACES		
	REQUIRED	PROVIDED
PARKING SPACES	45	(SEE NOTE 2)
PARKING STALL SIZE	8.5'x18'	8.5'x18'
ALIDE WIDTH	22' FOR 90'	22' FOR 90'
DRIVEWAY WIDTH	24' MAX.	22'
LANDSCAPE BUFFER	5' PERIMETER	≥5' (R.O.W. AREAS)
INTERIOR LANDSCAPE COVERAGE (NA FOR PARKING < 20,000 SF)	NA	NA
LOADING SPACES	0	0
BICYCLE SPACES (1/5 ROOMS + 1/5,000 SF RETAIL)	8 (7 LONG TERM REQUIRED)	20+ INSIDE BUILDING (REFER TO ARCHITECTURAL PLANS)

NOTES

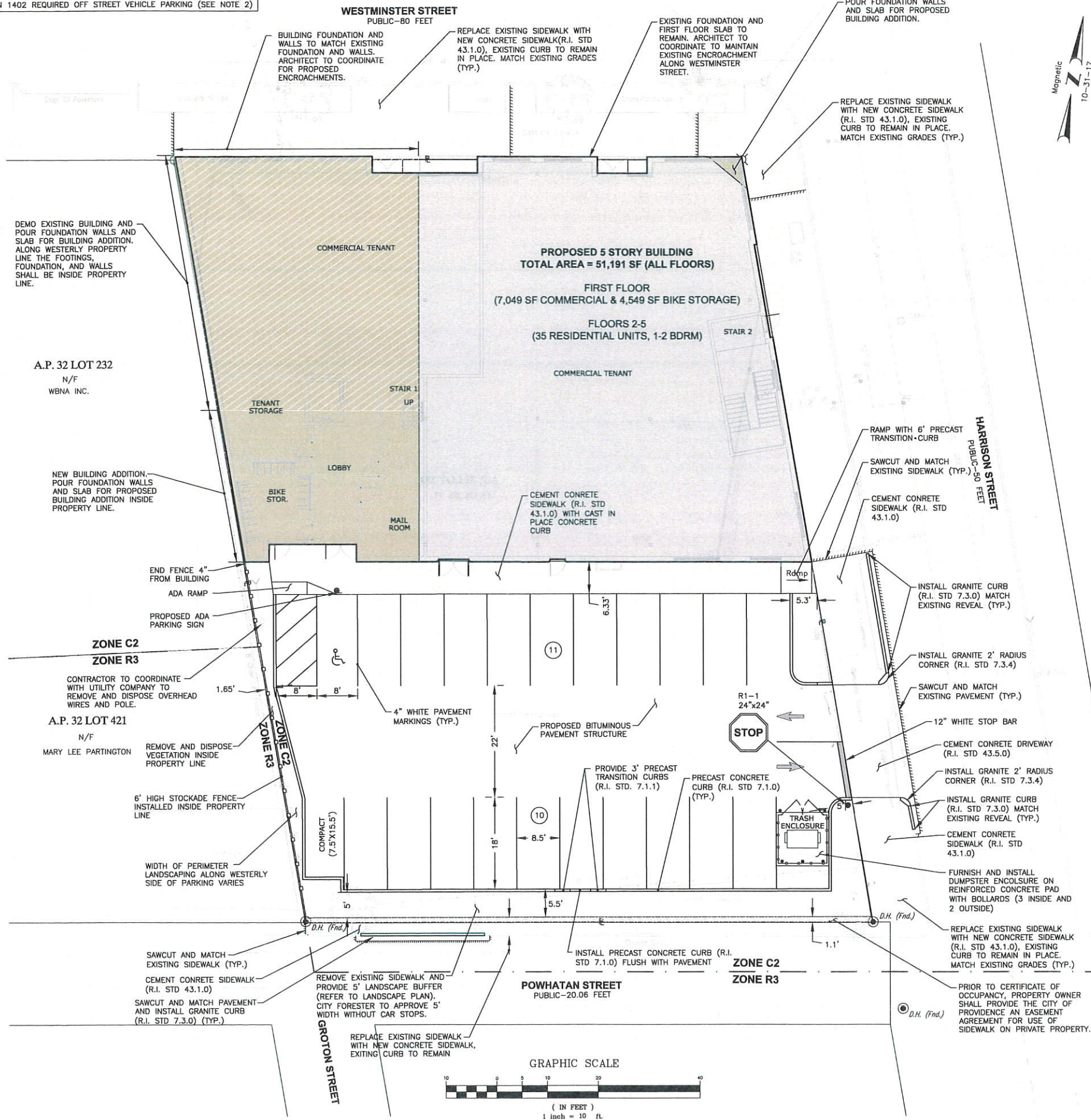
- REFER TO PREVIOUS CITY PLAN COMMISSION APPROVALS FOR WAIVERS GRANTED TO THE CITY OF PROVIDENCE ZONING ORDINANCE ARTICLE 5 TABLE 5-1 FOR BUILDING HEIGHT.
- APPLICANT IS PURSUING ALTERNATE OFF SITE LOCATIONS FOR PARKING. COORDINATION WITH PLANNING DEPARTMENT IS REQUIRED TO PROVIDE APPROPRIATE ONSITE AND OFFSITE PARKING TO MEET ZONING REQUIREMENTS.
- REFER TO ARCHITECTURAL PLANS FOR ENTRANCE AND BUILDING DETAILS.
- CONCRETE SIDEWALKS SHALL BE INSTALLED WITH CONTROL JOINTS EVERY 5' AND EXPANSION JOINTS EVERY 20'.
- SIDEWALK REPAIR WITHIN THE CITY RIGHT-OF-WAY WILL EXTEND FROM SIDEWALK CONTROL JOINT TO CONTROL JOINT.
- REFER TO ARCHITECT DETAIL PLANS FOR FENCE DETAILS. ALTERNATIVE FENCING MAY BE USED IF APPROVED BY THE ARCHITECT.
- NEW AND RESET GRANITE CURB SHALL BE INSTALLED TO MATCH EXISTING CURB REVEALS.
- DETECTABLE WARNING SYSTEM (R.I. STD. 48.1.0) SHALL BE USED AT ALL RAMP AREAS WITHIN THE CITY RIGHT-OF-WAY AND ON SITE.
- ALL EXISTING AND PROPOSED BUILDING ENCROACHMENTS SHALL BE APPROVED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH ARCHITECT.
- NEW SIDEWALK SLOPES SHALL BE INSTALLED TO DRAIN AWAY FROM THE BUILDING.

BUILDING LEGEND

- EXISTING BUILDING TO BE DEMOLISHED ABOVE FIRST FLOOR. EXISTING FOUNDATION TO REMAIN FOR NEW BUILDING CONSTRUCTION.
- EXISTING BUILDING AND FOUNDATION TO BE DEMOLISHED. CONSTRUCT NEW BUILDING.
- NEW BUILDING ADDITION.

NOTE: REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND DETAILS.

ORDINANCE RELIEF/APPROVAL	
ZONING CODE SECTION	
SECTION 1402 REQUIRED OFF STREET VEHICLE PARKING (SEE NOTE 2)	



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KEY PLAN

PROJECT TITLE:

1292 WESTMINSTER STREET

PLAT MAP 32, LOT 233
 ZONING DISTRICT C2
 GENERAL COMMERCIAL
 DISTRICT and HISTORIC
 OVERLAY DISTRICT
 1292 WESTMINSTER STREET
 PROVIDENCE, RHODE ISLAND

PREPARED FOR:

ZDS inc.
 86 WEYBOSSET ST., SUITE 302
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 +1.401.680.5599
 www.zds.com

DRAWING TITLE:

SITE LAYOUT PLAN

DATE: JANUARY 23, 2018 SCALE: 1"=10'

DWG. NAME: 2290-C05-SITE.dwg

REVISIONS

NUMBER	REMARKS	DATE
1	REVISION	
2	REVISION	
3	REVISION	
4	REVISION	
5	REVISION	
6	REVISION	
7	REVISION	
8	REVISION	
9	REVISION	
10	REVISION	

DRAWING NUMBER

C5

DRAINAGE STRUCTURE TABLE

NUMBER	STRUCTURE	FRAME AND GRATE/COVER	RIM	INVERT (IN)	INVERT (OUT)
CB 1	PRECAST CONCRETE (4' DIA.)	R.I. STD. 6.3.0 (DOUBLE GRATE)	81.30	78.30 (12")	78.20 (12")
DMH1	PRECAST CONCRETE (6' DIA.)	R.I. STD. 6.2.1	81.70	77.83 (12")	78.00 (12")
STC450i	STORMCEPTOR	MODEL STC 450i	81.73	77.63 (6")	77.38 (6")

DRAINAGE NOTES

1. CONTRACTOR TO VERIFY THAT ALL STRUCTURES ARE COMPATIBLE WITH FRAME AND GRATE.
2. CONTRACTOR IS RESPONSIBLE TO PROVIDE SHOP DRAWINGS AND SPECIFICATIONS FOR ALL DRAINAGE RELATED ITEMS FOR REVIEW AND APPROVAL BY THE ENGINEER, PRIOR TO ORDERING. CONCRETE MANUFACTURER SHALL REVIEW RIM TO TOP OF PIPE ELEVATIONS AND PROVIDE SPECIFIC DETAILS.
3. ALL STRUCTURES SHALL BE DESIGNED FOR H-20 LOADING.
4. ALL CATCH BASINS SHALL BE PRECAST CONCRETE WATER TIGHT STRUCTURES. (NO WEEP HOLES)
5. UNLESS OTHERWISE NOTED, ALL SOLID DRAINAGE PIPE SHALL BE ADS N-12 HDPE OR APPROVED EQUAL. PIPE BEDDING SHALL BE IN CRUSHED STONE OR GRAVEL BORROW COMPACTED TO 95% DRY DENSITY (MODIFIED PROCTOR METHOD). ADS PIPE SHALL BE INSTALLED ACCORDING TO MANUFACTURERS' REQUIREMENTS.
6. GRADES WITHIN HANDICAP ACCESSIBLE PARKING SPACES AND AISLES SHALL NOT BE LESS THAN 1% OR GREATER THAN 2%.
7. ALL CATCH BASINS WILL BE DEEP SUMP (3' DEEP) CATCH BASINS.
8. THE CONTRACTOR SHALL PROVIDE AS-BUILT PLANS THAT INCLUDE DRAINAGE SYSTEM (PIPE INVERTS, SAND FILTER LOCATION AND GRADES, AND OUTLET STRUCTURE INVERTS.
9. WATER QUALITY CHAMBER (STORMCEPTOR) MAY BE SUBSTITUTED BY AN APPROVED EQUAL STRUCTURE. CONTRACTOR SUBMITTAL REQUIREMENTS INCLUDE TSS REMOVAL CALCULATIONS FOR THIS SPECIFIC SITE.
10. UPON CONSTRUCTION COMPLETION, THE CONTRACTOR SHALL INSPECT THE DRAINAGE SYSTEM WITH THE OWNER. ANY SEDIMENT NOTED WITHIN THE SYSTEM SHALL BE REMOVED BY THE CONTRACTOR.
11. ALL ROOF DRAINS SHALL BE INSTALLED AT 1% (MINIMUM) SLOPE. REFER TO ARCHITECT PLANS FOR ROOF DOWNSPOUT LOCATIONS.
12. CLEANOUTS SHALL BE PROVIDED OVER INFILTRATION SYSTEM AS RECOMMENDED BY THE MANUFACTURER. ALL CLEANOUTS SHALL HAVE A H-20 ACCESS COVER TO GRADE.
13. THE PROPOSED STORMWATER MANAGEMENT SYSTEM SHALL BE COORDINATED WITH THE CITY ENGINEER PRIOR TO FINAL PLAN SUBMISSION.

A.P. 32 LOT 232

N/F
WBNA INC.

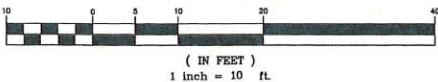
UNDERGROUND INFILTRATION SYSTEM (UIS) NO. 2
5 ROWS OF 8 ADS STORMTECH DC780 CHAMBERS
WRAPPED IN FILTER FABRIC INSTALLED IN A
CRUSHED STONE BED WRAPPED IN FILTER FABRIC.
CRUSHED STONE BED SHALL BE 9" AND CRUSHED
STONE COVER SHALL BE 6". CHAMBER SPACING
SHALL BE 6".
CHAMBER INV.=76.75, STONE INV.=76.00
SYSTEM DIMENSIONS= 60.40'X26.25'

ZONE C2
ZONE R3

A.P. 32 LOT 421
N/F
MARY LEE PARTINGTON

UNDERGROUND INFILTRATION SYSTEM (UIS) NO. 1
1 ROW OF 8 ADS STORMTECH DC780 CHAMBERS
WRAPPED IN FILTER FABRIC INSTALLED IN A
CRUSHED STONE BED WRAPPED IN FILTER FABRIC.
CRUSHED STONE BED SHALL BE 9" AND CRUSHED
STONE COVER SHALL BE 6".
CHAMBER INV.=76.75, STONE INV.=76.00
SYSTEM DIMENSIONS= 60.40'X7.25'

GRAPHIC SCALE



WESTMINSTER STREET
PUBLIC-80 FEET

HARRISON STREET
PUBLIC-50 FEET

POWHATAN STREET
PUBLIC-20.06 FEET

GROTON STREET



- Civil
- Transportation
- Environmental
- Site Planning
- Surveying
- Permitting
- Landscape Architecture

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KEY PLAN

PROJECT TITLE:

1292 WESTMINSTER STREET

PLAT MAP 32, LOT 233
ZONING DISTRICT C2
GENERAL COMMERCIAL
DISTRICT and HISTORIC
OVERLAY DISTRICT
1292 WESTMINSTER STREET
PROVIDENCE, RHODE ISLAND

PREPARED FOR:

ZDS inc.
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DRAWING TITLE:

PRELIMINARY GRADING
AND DRAINAGE PLAN

DATE: JANUARY 23, 2018 SCALE: 1"=10'

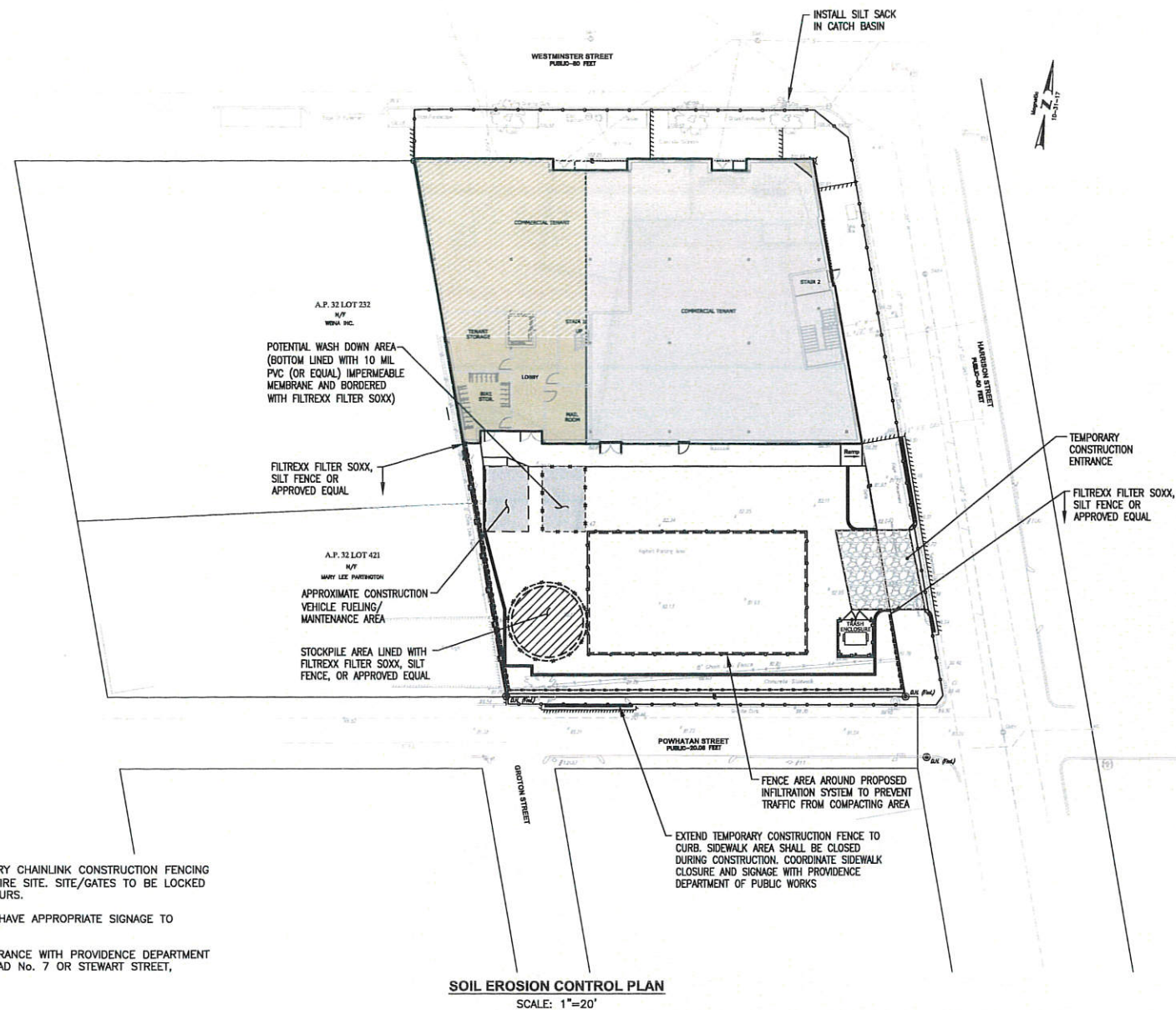
DWG. NAME: 2290-C06-GRADE.dwg

REVISIONS

NUMBER	REMARKS	DATE

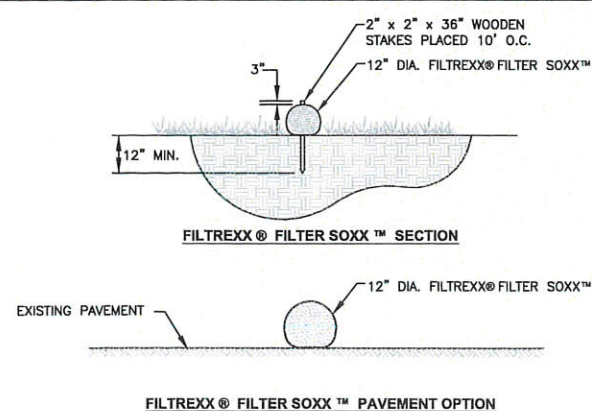
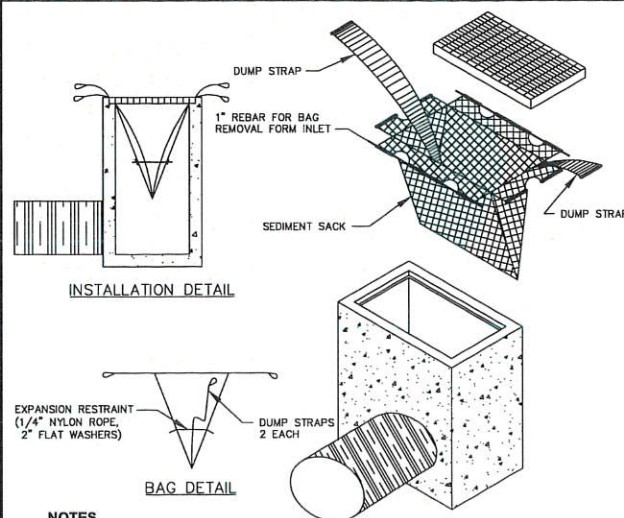
DRAWING NUMBER

C6



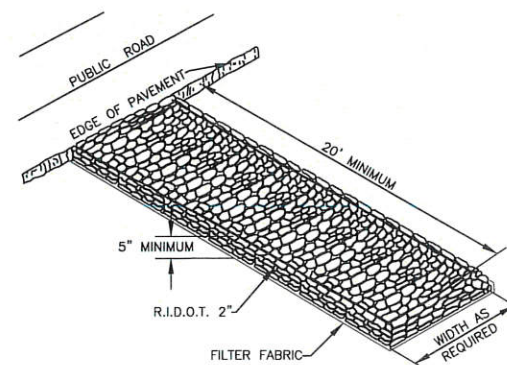
CONSTRUCTION NOTES

1. FURNISH AND INSTALL TEMPORARY CHAINLINK CONSTRUCTION FENCING WITH ENTRY GATES AROUND ENTIRE SITE. SITE/GATES TO BE LOCKED DURING NON-CONSTRUCTION HOURS.
2. CONSTRUCTION FENCING SHALL HAVE APPROPRIATE SIGNAGE TO PROTECT THE PUBLIC.
3. VERIFY CONSTRUCTION SITE ENTRANCE WITH PROVIDENCE DEPARTMENT OF PUBLIC WORKS, SERVICE ROAD No. 7 OR STEWART STREET,



NOTES

1. FILTREXX FILTER SOXX MAY BE USED IN LIEU OF SILT FENCE.
2. CONTRACTOR IS RESPONSIBLE TO BECOME FAMILIAR WITH THE FILTREXX PRODUCTS AND COORDINATE INSTALLATION SCHEDULES AND METHODS WITH THE ENGINEER PRIOR TO PLACEMENT.
3. ALL MATERIAL SHALL MEET FILTREXX SPECIFICATIONS.
4. COMPOST MATERIAL SHALL NOT BE DISPERSED ON SITE AFTER CONSTRUCTION.



DUST CONTROL NOTES

ON AN AS-NEEDED BASIS OR AS DIRECTED BY THE CITY, RIDEM OR OWNER, THE CONTRACTOR SHALL UTILIZE ONE OF THE FOLLOWING METHODS TO CONTROL DUST:

- A. THE EXPOSED SOIL SURFACE SHOULD BE MOISTENED PERIODICALLY WITH ADEQUATE WATER TO CONTROL DUST.
- B. CALCIUM CHLORIDE SHOULD BE EITHER LOOSE DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH A SPREADER AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE.

THE METHODS SHOULD BE REPEATED AS NEEDED, AND SPECIAL ATTENTION MUST BE GIVEN TO THE ACCESS DRIVES.

INSPECTION/MAINTENANCE NOTES

1. PRIOR TO COMMENCING PAVEMENT REMOVAL AND/OR EXCAVATION OPERATIONS AND EARTHWORK, EROSION CONTROLS SHALL BE PLACED INSIDE SAWCUT EDGE TO PREVENT SEDIMENT FROM ENTERING EXISTING ROADWAY DRAINAGE SYSTEM AND ADJUTING PROPERTIES.
2. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE DRAINAGE SYSTEM.
3. ALL DISTURBED AREAS WHICH BECOME SUBJECT TO EROSION TENDENCIES WHETHER THEY BE NEWLY FILLED OR EXCAVATED SHALL RECEIVE SLOPE PROTECTION - SUCH AS RIP-RAP.
4. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING PERIODS OF RAINFALL.
5. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT & REPLACE DAILY DURING CONSTRUCTION, FOLLOWING RAINFALL AND WEEKLY DURING NON CONSTRUCTION PERIODS.
6. ADDITIONAL FILTERS OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
7. THE LATEST VERSION OF THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE R.I. STATE CONSERVATION COMMITTEE, MUST BE UTILIZED BY THE CONTRACTOR AS A GUIDE.
8. THE CONTRACTOR IS RESPONSIBLE FOR ALL DUST CONTROL AND FOR THE ENTIRE PROJECT DURATION, INCLUDING TEMPORARY SHUT-DOWN PERIODS, MUST MONITOR AND REPAIR, AS NEEDED, ALL SLOPES TO ENSURE A STABLE PRODUCT.

GENERAL PROJECT WIDE NOTES

1. CONTRACTOR SHALL INSTALL TEMPORARY MEASURES SUCH AS; FIBER MATTING, CRUSHED STONE, HAY OR STRAW IN AREAS WHERE SLOPES OR STABILIZATION HAS FAILED.
2. IF SEDIMENT IS TRACKED OR ERODED INTO THE ROADWAY, THE CONTRACTOR WILL BE REQUIRED TO INSTALL SILT SACK OR APPROVED EQUAL UNDER THE EXISTING CATCH BASIN GRATES. REMOVE AFTER CONSTRUCTION.
3. FILTER SOXX (OR SILT FENCE) SHALL BE INSTALLED AROUND THE PERIMETER OF THE AREA TO BE DISTURBED BY CONSTRUCTION. ADDITIONAL APPLICATIONS OF THESE CONTROLS MEASURES MAY BE REQUIRED DURING THE CONSTRUCTION PROCESS. THE CONTRACTOR SHALL INSPECT THE SITE AT A MINIMUM OF ONCE PER WEEK OR WITHIN 24 HOURS AFTER A STORM EVENT.
4. IF EROSION OR EROSION TENDENCIES ARE APPARENT ON THE SITE, THE CONTRACTOR IS RESPONSIBLE TO INSTALL ADDITIONAL EROSION CONTROLS.
5. IF SEDIMENT OR DEBRIS IS TRACKED ONTO EXISTING PAVED AREAS ADJACENT TO THE CONSTRUCTION AREA, THE CONTRACTOR IS REQUIRED TO SWEEP THE PAVEMENT ON A DAILY BASIS. THE AREA SHALL BE INSPECTED DAILY.
6. THE CONTRACTOR IS RESPONSIBLE TO KEEP THE SITE CLEAN OF TRASH. RECOMMENDED DAILY TRASHING OF THE CONSTRUCTION SHOULD BE CONDUCTED TO PICK UP TRASH. THE OPERATOR SHALL REQUIRE THE CONTRACTOR TO HAVE PORTABLE SANITARY FACILITIES ON SITE. ROUTINE CLEANING AND WASTE DISPOSAL OF THESE PORTABLE SANITARY FACILITIES IS REQUIRED.

FILTREXX SOXX NOTE

CONTRACTOR IS RESPONSIBLE TO BECOME FAMILIAR WITH THE FILTREXX PRODUCTS AND COORDINATE INSTALLATION SCHEDULES AND METHODS WITH THE ENGINEER PRIOR TO PLACEMENT.

EROSION CONTROL AND SOIL STABILIZATION PROGRAM

1. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE DRAINAGE SYSTEM, ADJACENT PROPERTY AND ROADWAYS.
2. TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH PROTECTIVE COVERS, SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE OWNER.
3. HAY OR STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 3,000-4,000 LBS/ACRE.
4. STOCKPILES SHALL HAVE NO SLOPE STEEPER THAN 2:1 AND SHALL BE SURROUNDED BY STAKED HAY BALES OR SILT FENCING.
5. STOCKPILES EXPOSED FOR EXCESSIVE PERIODS SHALL RECEIVE TEMPORARY TREATMENT CONSISTING OF HAY, STRAW OR FIBER MATTING.
6. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT/REPLACE AS NEEDED.
7. ADDITIONAL HAY BALES OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER, OWNER, MUNICIPAL REPRESENTATIVES OR LOCAL D.O.T.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DUST CONTROL AT NO ADDITIONAL COST TO THE OWNER.
9. ALL CATCH BASINS ADJACENT TO THE CONSTRUCTION AREA SHALL BE PROTECTED BY SILT SACKS. ROUTINE CLEANING OF SEDIMENT WILL BE REQUIRED.
10. ALL PROPOSED CATCH BASINS SHALL BE PROTECTED BY STAKED HAY BALES, SILT FENCING OR SILT SACKS.
11. THE FILTREXX FILTER SOXX MAY BE INSTALLED ON THE EXISTING PAVEMENT IMPERVIOUS AREA WITH OUT STAKES. CONTRACTOR SHALL INSPECT DAILY, IF SOIL EROSION OR SEEDMENT IS OBSERVED IN THESE AREAS, THE CONTRACTOR SHALL RELOCATE OR INSTALL ADDITIONAL FILTREXX FILTER SOXX IN LOCATIONS THAT CAN BE STAKED. THIS WORK IS INCLUDED IN THE PROJECT SCOPE.
12. SILT FENCE OR STAKED HAYBALES MAY BE USED IN LIEU OF FILTREXX FILTER SOXX. ENGINEER APPROVAL IS REQUIRED.
13. AN ALTERNATE COMPOST SOCK OR STRAW WATTLE PRODUCT MAY BE USED IN LIEU OF FILTREXX FILTER SOCK UPON APPROVAL OF THE ENGINEER.



- Civil
- Transportation
- Environmental
- Site Planning
- Surveying
- Permitting
- Landscape Architecture

CROSSMAN ENGINEERING

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KEY PLAN

PROJECT TITLE:

1292 WESTMINSTER STREET

**PLAT MAP 32, LOT 233
ZONING DISTRICT C2
GENERAL COMMERCIAL
DISTRICT and HISTORIC
OVERLAY DISTRICT
1292 WESTMINSTER STREET
PROVIDENCE, RHODE ISLAND**

PREPARED FOR



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DRAWING TITLE

SOIL EROSION and SEDIMENT CONTROL PLAN

DATE: JANUARY 23, 2018	SCALE: AS SHOWN
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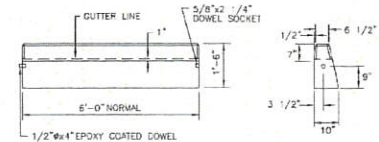
DWG. NAME: 2290-C07-SOIL.dwg

REVISIONS

[illegible]

DRAWING NUMBER

C7



CIRCULAR CURB

- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR PIECES TO BE 3'-0".
 3. EXPOSED SURFACES TO HAVE A SPOUGE FLOAT FINISH.
 4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADIUS OF 160'-0" OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0" RADIUS.
 5. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

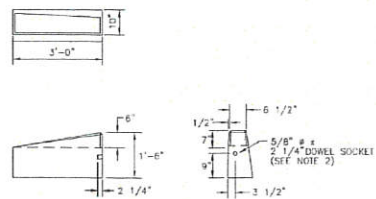
RHODE ISLAND DEPARTMENT OF TRANSPORTATION

REVISIONS	NO.	BY	DATE
1	W.P.	06/21/16	
2	W.P.	06/21/16	

PRECAST CONCRETE CURB

JUNE 15, 1998

R.I. STANDARD 7.1.0



3'-0" PRECAST CONCRETE TRANSITION CURB

- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. DRAWING SHOWS TRANSITION CURB FOR ONE DIRECTION. FOR OTHER DIRECTION USE REVERSE SIDE AND INCLUDE A 1/2" x 4" EPOXY COATED DOWEL.
 3. EXPOSED SURFACES TO HAVE A SPOUGE FLOAT FINISH.
 4. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.
 5. LEFT AND RIGHT SECTIONS SHALL BE INSTALLED AS REQUIRED.

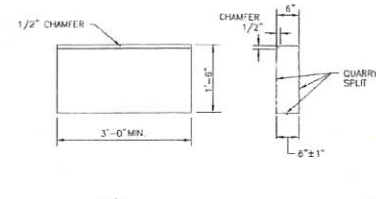
RHODE ISLAND DEPARTMENT OF TRANSPORTATION

REVISIONS	NO.	BY	DATE
1	W.P.	06/21/16	
2	W.P.	06/21/16	

3'-0" PRECAST CONCRETE TRANSITION CURB

JUNE 15, 1998

R.I. STANDARD 7.1.1



CIRCULAR CURB

- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. TOP SURFACE TO BE DRESSED BY SAW. REMAINDER MAY BE QUARRY SPLIT.
 3. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR PIECES TO BE 3'-0".
 4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADIUS OF 160'-0" OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0" RADIUS.

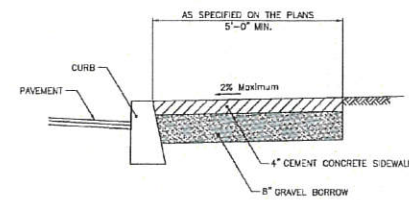
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2	W.P.	06/21/16	

GRANITE CURB

JUNE 15, 1998

R.I. STANDARD 7.3.0



- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. FOR CURB SETTING DETAIL REFERENCE STD. 7.6.0.

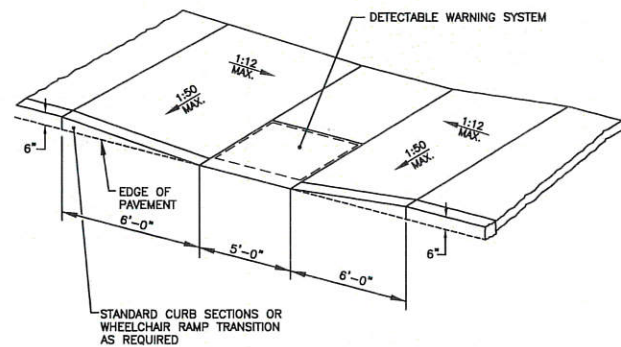
RHODE ISLAND DEPARTMENT OF TRANSPORTATION

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2	W.P.	06/21/16	

CEMENT CONCRETE SIDEWALK

JUNE 15, 1998

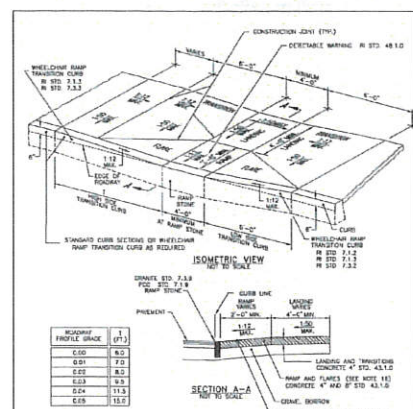
R.I. STANDARD 43.1.0



ISOMETRIC VIEW

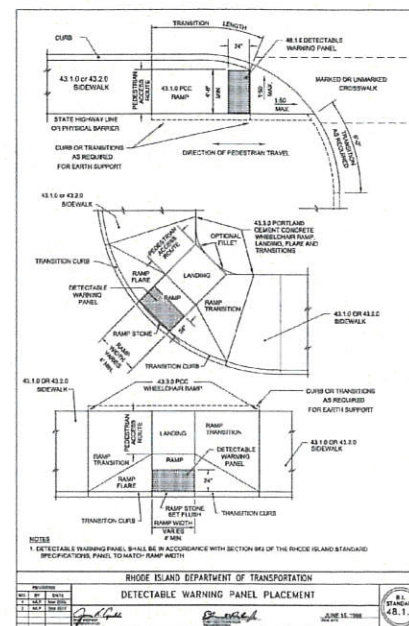
- NOTES:
1. ALL WHEELCHAIR RAMPS SHALL BE IN ACCORDANCE WITH LOCAL STANDARDS, STATE BUILDING CODE AND ADA REQUIREMENTS.
 2. PROVIDE DETECTABLE WARNING SYSTEM FOR ALL RAMPS.

WHEELCHAIR RAMP DETAIL
NOT TO SCALE

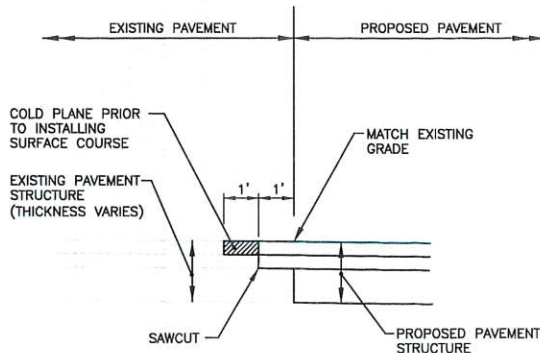


- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. WHEN ANY DETECTABLE WARNING SYSTEM IS REQUIRED, THE WHEELCHAIR RAMP SHALL BE PROVIDED SUCH THAT THE DETECTABLE WARNING SYSTEM IS LOCATED OUTSIDE OF THE RAMP AREA.
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 18. DETECTABLE WARNING SYSTEM SHALL BE LOCATED OUTSIDE OF THE RAMP AREA.

WHEELCHAIR RAMP
NOT TO SCALE

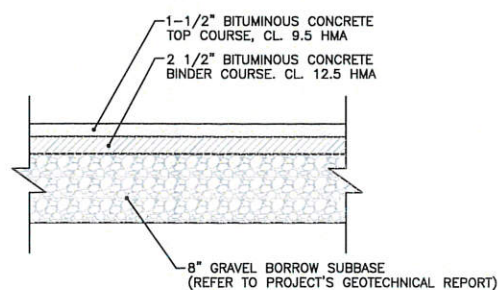


TYPICAL PRECAST CONCRETE CURB
INSTALLATION WITHIN PARKING AREAS
NOT TO SCALE



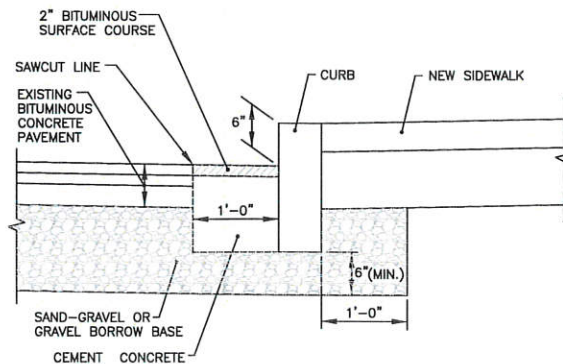
- NOTE:
- PROPOSED BITUMINOUS PAVEMENT SHALL BE CLASS 12.5 OR CLASS 9.5 HMA

PROPOSED PAVEMENT MATCH AT EXISTING PAVEMENT
NOT TO SCALE



- NOTES:
1. THE ABOVE PAVEMENT THICKNESS REPRESENTS THE MINIMUM THICKNESS FOR PASSENGER VEHICLE AREAS. PAVEMENT DEPTH TO BE BASED UPON SITE SPECIFIC SOIL CONDITIONS.
 2. PROPOSED BITUMINOUS PAVEMENT SHALL BE CLASS 12.5 OR CLASS 9.5 HMA

TYPICAL PAVEMENT STRUCTURE DETAIL
NOT TO SCALE



TYPICAL CURB LOCK DETAIL
NOT TO SCALE



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KEY PLAN

PROJECT TITLE:

1292 WESTMINSTER STREET

PLAT MAP 32, LOT 233
ZONING DISTRICT C2
GENERAL COMMERCIAL
DISTRICT and HISTORIC
OVERLAY DISTRICT
1292 WESTMINSTER STREET
PROVIDENCE, RHODE ISLAND

PREPARED FOR:

ZDS inc.
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DRAWING TITLE:

MISCELLANEOUS DETAIL
PLAN No. 1

DATE: JANUARY 23, 2018
SCALE: AS SHOWN

DWG. NAME: 2290-COB-DETAIL1.dwg

REVISIONS

NUMBER	REMARKS	DATE
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DRAWING NUMBER

C8

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PLAT MAP 32, LOT 233
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DRAWING TITLE:
**MISCELLANEOUS DETAIL
PLAN No. 3**

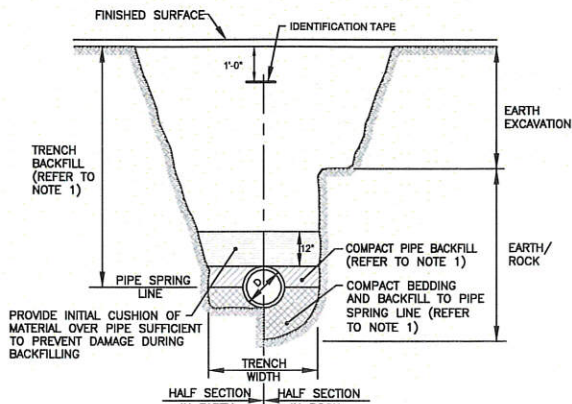
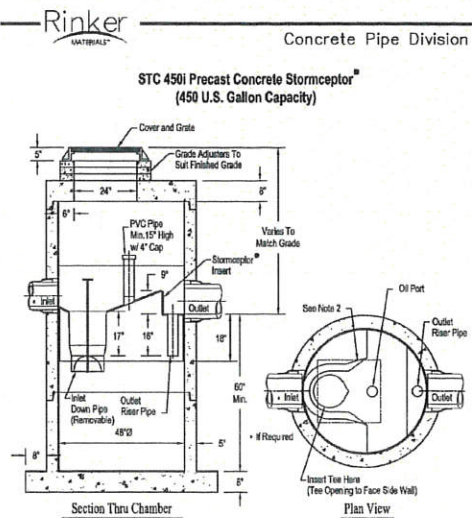
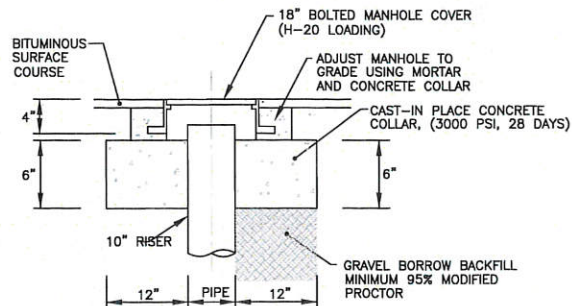
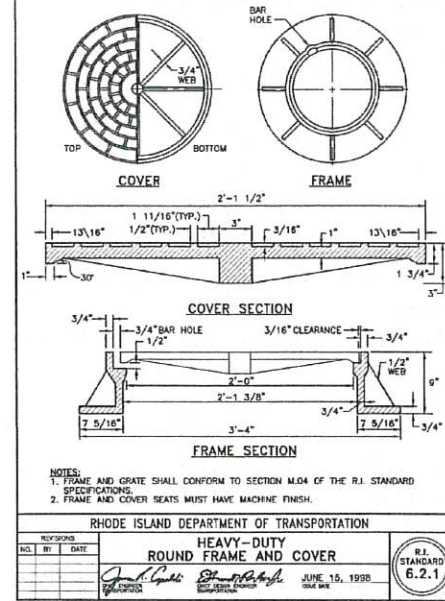
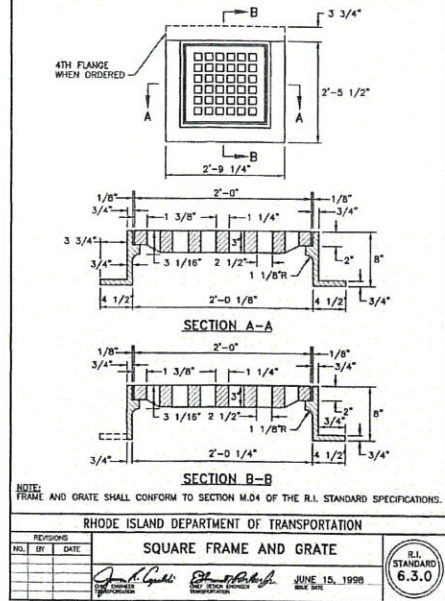
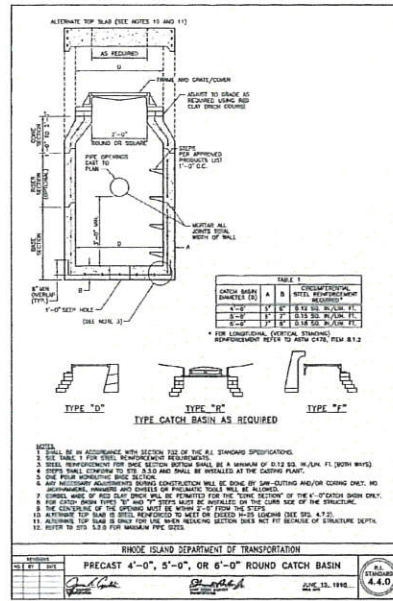
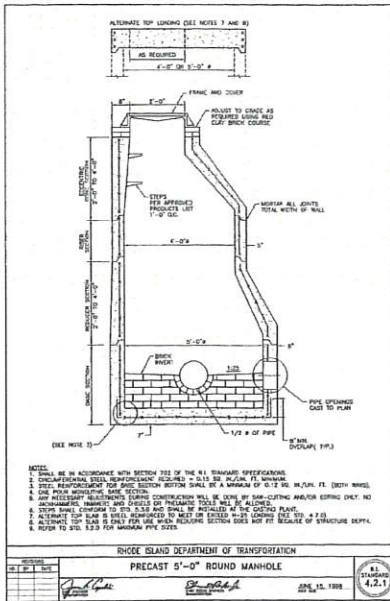
DATE: JANUARY 23, 2018
SCALE: AS SHOWN

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REVISIONS		
NUMBER	REMARKS	DATE

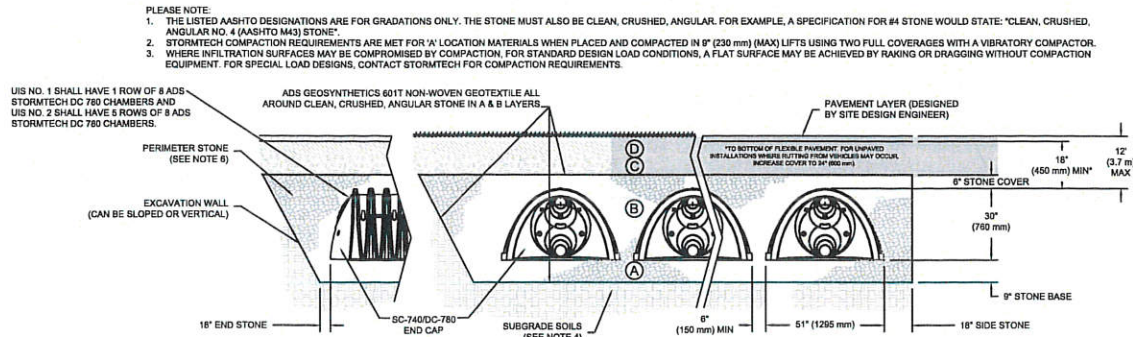
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C10



INFILTRATION SYSTEM CONSTRUCTION NOTE

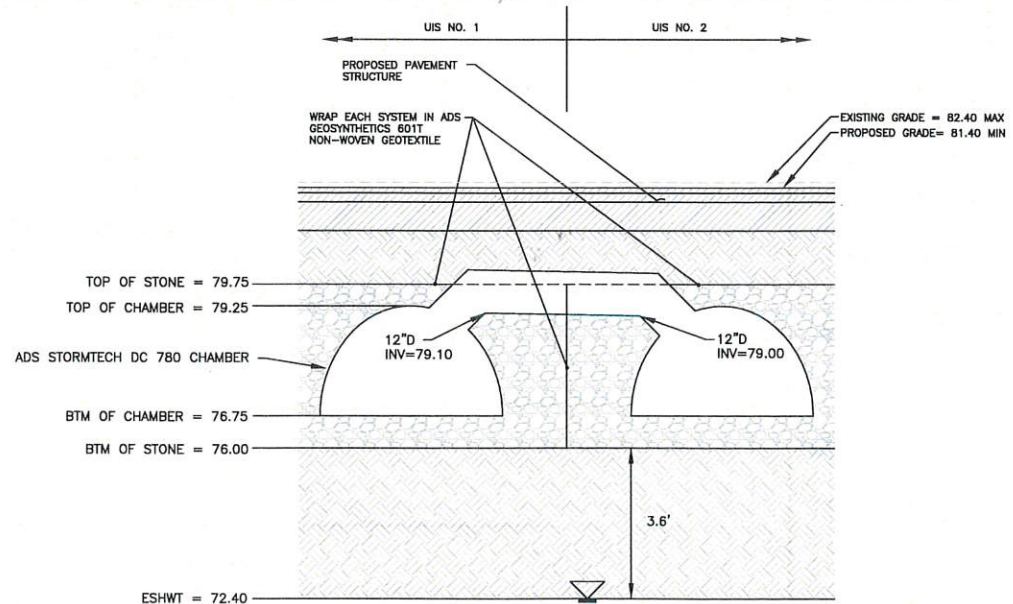
1. WITHIN THE INFILTRATION SYSTEMS, THE CONTRACTOR SHALL REMOVE ALL TOPSOIL AND SUBSOIL AREAS (A AND B HORIZONS) AND ANY FILL AREAS (HTM). CONTRACTOR SHALL COORDINATE A BOTTOM BED INSPECTION WITH OWNER AND ENGINEER. IF NECESSARY THE AREA SHALL BE PREPARED WITH SAND FILL SOIL MEETING THE MEDIA REQUIREMENTS OF SAND FILTERS, AS DESCRIBED IN THE RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL, MARCH 2015, SECTION 5.5 (ASTM C-33 SAND). THE DEPTH OF EXISTING SAND REMOVAL SHALL BE VERIFIED BY THE ENGINEER. PLACEMENT OF THE SAND FILL (ASTM C-33 SAND), SHALL BE USED TO BRING THE BOTTOM OF SYSTEM TO THE DESIGN ELEVATIONS.
2. INFILTRATION SYSTEM CONSTRUCTION AND MATERIALS SHALL CONFORM TO RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL, MARCH 2015, APPENDIX F.3 CONSTRUCTION STANDARDS/SPECIFICATIONS FOR INFILTRATION BMP'S. AFTER CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE FINAL INSPECTIONS WITH THE OWNER IN ACCORDANCE WITH TABLE F-5 IN APPENDIX F.3.
3. THE CONTRACTOR IS REQUIRED TO SUBMIT A LIST OF MATERIALS, GRADATIONS AND THE NAME AND ADDRESS OF THE SUPPLIERS TO THE ENGINEER PRIOR TO APPROVAL PRIOR TO BRINGING MATERIAL ON SITE. MATERIAL CERTIFICATIONS SHALL ALSO BE REQUIRED FOR REVIEW AND APPROVAL.
4. THE CONTRACTOR IS RESPONSIBLE TO BECOME FAMILIAR WITH THE ABOVE REFERENCED MANUAL. THE MANUAL CAN BE FOUND AT: <http://www.dem.ri.gov/pubs/regs/regs/water/swmanual.pdf>
5. GREAT CARE MUST BE TAKEN TO PREVENT THE INFILTRATION AREA FROM COMPACTION; BY MARKING OFF THE INFILTRATION UNDERGROUND SYSTEM LOCATION BEFORE THE START OF CONSTRUCTION, AND BY CONNECTING UPSTREAM DRAINAGE AREAS ONLY AFTER CONSTRUCTION IS COMPLETE AND THE CONTRIBUTING AREA IS STABILIZED.
6. IF LARGE ROCKS OR BOULDERS ARE FOUND WITHIN 36" BELOW THE INFILTRATION SYSTEMS, OR WITHIN A 10' PERIMETER AROUND SYSTEM, THE CONTRACTOR SHALL REMOVE THE ROCKS/BOULDERS AND REPLACE WITH GRAVEL BORROW. CONTRACTOR SHALL COORDINATE WITH ENGINEER.
6. THE CONTRACTOR MUST SUBMIT SHOP DRAWINGS FOR THE PIPES TO BE USED IN THE UNDERGROUND INFILTRATION SYSTEMS TO THE ENGINEER PRIOR TO CONSTRUCTION. THE SHOP DRAWINGS MUST VERIFY THAT THE PIPES CAN SUPPORT H-20 LOADING WITH THE SYSTEM SPECIFIC COVER.



NOTES:

1. DC-780 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
2. DC-780 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2187 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
3. "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
4. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
5. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
6. ONCE LAYER 'C' IS PLACED, ANY SOIL MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

UNDERGROUND INFILTRATION SYSTEM DETAILS NOT TO SCALE





FEATURES & SPECIFICATIONS

WEIGHTED - This fixture is designed to provide uniform lighting for a 10' x 10' area. The fixture is designed to provide uniform lighting for a 10' x 10' area. The fixture is designed to provide uniform lighting for a 10' x 10' area.

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Model	Power (W)	Beam Angle (°)	Height (ft)	Spacing (ft)
SSA 20 4G DM19 DBL	40	120	20	10

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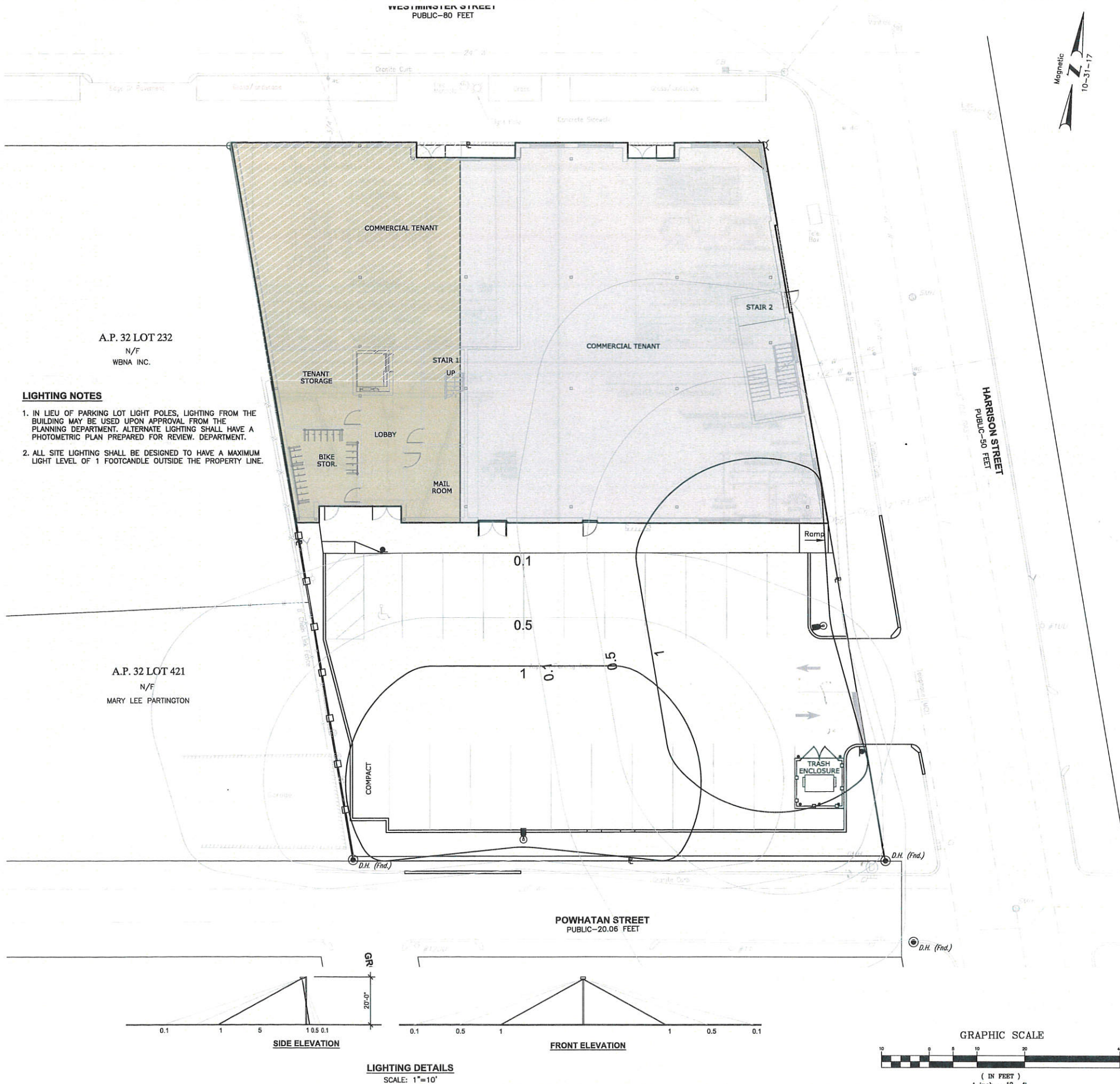
Model	Power (W)	Beam Angle (°)	Height (ft)	Spacing (ft)
SSA 20 4G DM19 DBL	40	120	20	10

A.P. 32 LOT 232
N/F
WBNA INC.

LIGHTING NOTES

1. IN LIEU OF PARKING LOT LIGHT POLES, LIGHTING FROM THE BUILDING MAY BE USED UPON APPROVAL FROM THE PLANNING DEPARTMENT. ALTERNATE LIGHTING SHALL HAVE A PHOTOMETRIC PLAN PREPARED FOR REVIEW. DEPARTMENT.
2. ALL SITE LIGHTING SHALL BE DESIGNED TO HAVE A MAXIMUM LIGHT LEVEL OF 1 FOOTCANDLE OUTSIDE THE PROPERTY LINE.

A.P. 32 LOT 421
N/F
MARY LEE PARTINGTON



CROSSMAN ENGINEERING

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KEY PLAN

PROJECT TITLE
1292 WESTMINSTER STREET

PLAT MAP 32, LOT 233
ZONING DISTRICT C2
GENERAL COMMERCIAL
DISTRICT and HISTORIC
OVERLAY DISTRICT
1292 WESTMINSTER STREET
PROVIDENCE, RHODE ISLAND

PREPARED FOR:

ZDS inc.
86 WEYBOSSETT ST., SUITE 202
PROVIDENCE, RI 02903
+1.401.680.5599
www.z-ds.com

DRAWING TITLE:

SITE LIGHTING PLAN

DATE: JANUARY 23, 2018
SCALE: 1"=10'

DWG. NAME: 2290-E01-LIGHT.dwg

REVISIONS

NUMBER	REMARKS	DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

DRAWING NUMBER

E1

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KEY PLAN

PROJECT TITLE:

1292 WESTMINSTER STREET

**PLAT MAP 32, LOT 233
ZONING DISTRICT C2
GENERAL COMMERCIAL
DISTRICT and HISTORIC
OVERLAY DISTRICT
1292 WESTMINSTER STREET
PROVIDENCE, RHODE ISLAND**

PREPARED FOR:

ZDS ZDS inc.
86 WEYBOSSET ST., SUITE 202
PROVIDENCE, RI 02903
+1 401 950 6099
www.z-ds.com

DRAWING TITLE:

LANDSCAPE PLAN

DATE: JANUARY 2018 SCALE: 1"=10'

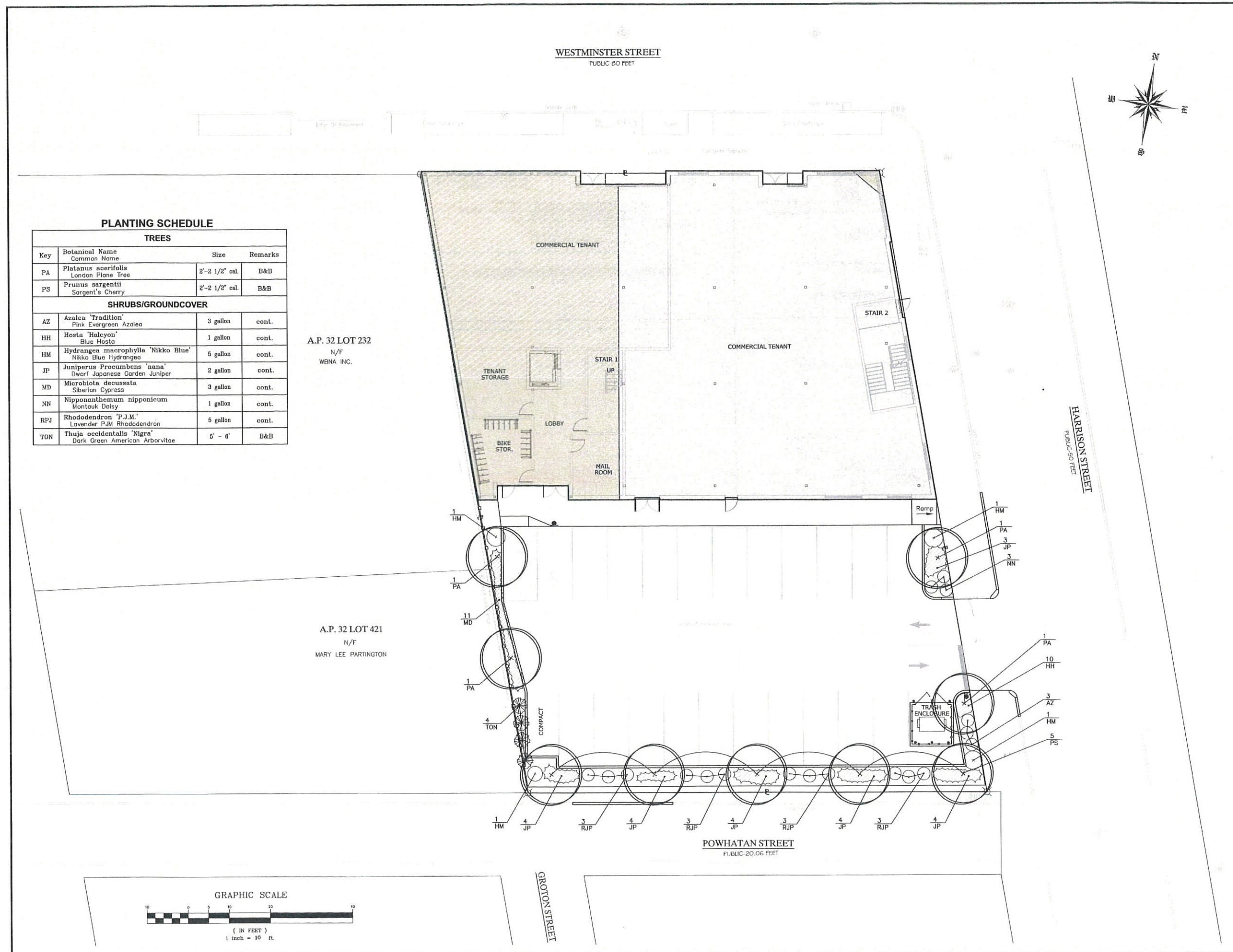
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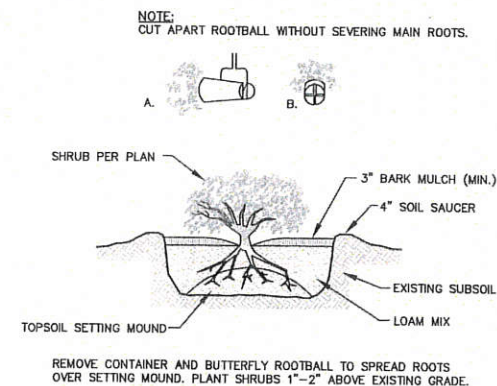
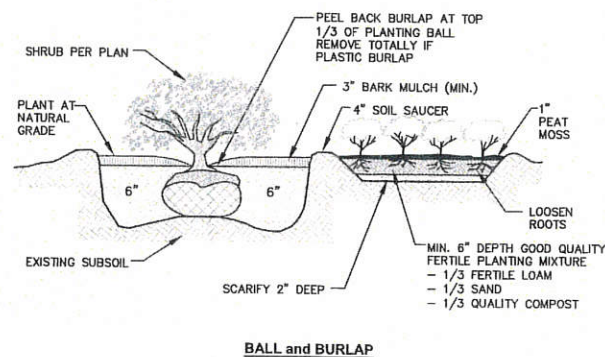
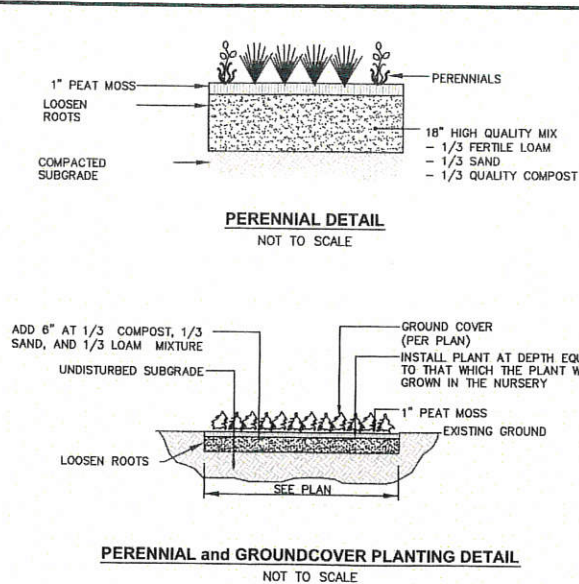
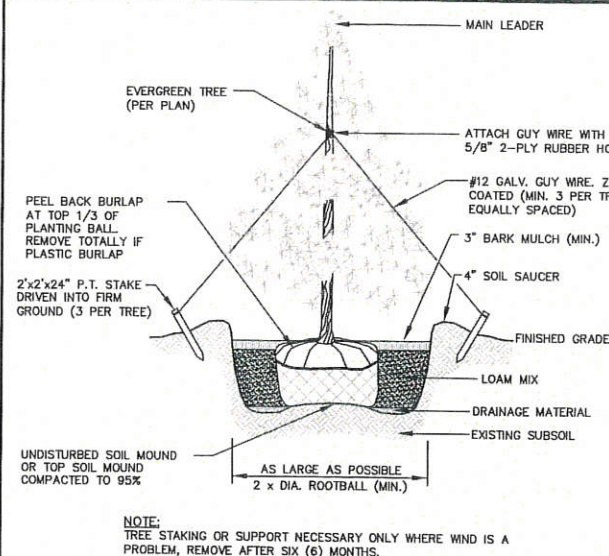
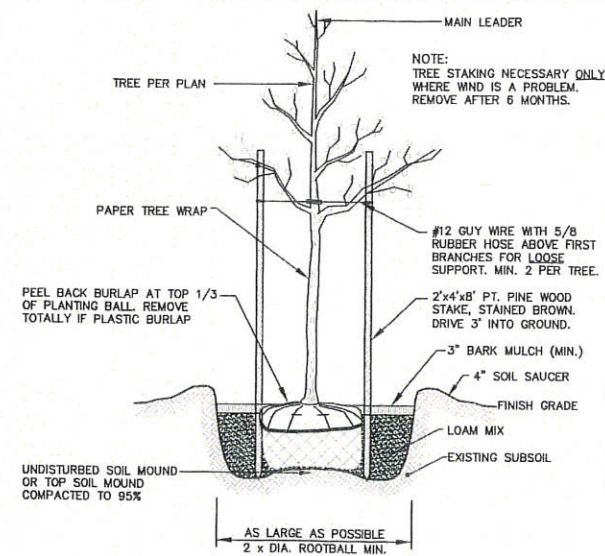
REVISIONS

NUMBER	REMARKS	DATE

DRAWING NUMBER

L1





- LANDSCAPE CONSTRUCTION NOTES**

1. FURNISH AND INSTALL ALL PLANTS SHOWN ON THE DRAWINGS SPECIFIED HEREIN, AND IN THE QUANTITIES LISTED ON THE PLANT LIST. NO SUBSTITUTIONS WILL BE PERMITTED, UNLESS APPROVED BY THE LANDSCAPE ARCHITECT.
2. LOAM TO BE SCREENED, GOOD QUALITY, FERTILE, FREE OF WEEDS, STICKS, STONES OVER 3/4", AND ROOTS. SPREAD TO A MINIMUM OF 6" OVER ALL PLANTED AREAS.
3. BIO-RETENTION AREAS-PLANTING SOIL AND MULCH:
LOAMY SAND TO A SANDY LOAM-80% SAND <20% SILT, <2% CLAY. WELL AGED GRADED COMPOST (25% OF SOIL MIX). WELL AGED, AERATED DARK BROWN HARD-WOOD MULCH (AGED 6 MONTHS).
4. NURSERY STOCK SHALL MEET THE STANDARDS OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION AS TO GRADING AND QUALITY.
5. ONLY NURSERY-GROWN PLANTS, GROWN IN ACCORDANCE WITH ACCEPTED HORTICULTURAL PRACTICES, AND GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST TWO (2) YEARS, WILL BE ACCEPTED.
6. SET PLANTS PLUMB AND AT A LEVEL THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATION TO THE SURROUNDING GROUND AS THEY BORE TO THE GROUND FROM WHICH THEY WERE DUG. SETTLE BACKFILL MATERIAL FOR PLANTS, THOROUGHLY AND PROPERLY TRIMMING OR TAMING, FOR SACKERS, CAPABLE OF HOLDING WATER ABOVE INDIVIDUAL PLANTS, BY PLACING RIDGES OF PLANTING SOIL AROUND EACH.
7. STAKE ALL TREES OVER 5 FEET AS SHOWN ON PLANS. REMOVE STAKES AT THE END OF THE GUARANTEE PERIOD.
8. WATERING: WATER ALL PLANTS WITHIN 48 HOURS AFTER PLANTING. IF CONDITIONS WARRANT, AND AS MANY TIMES THEREAFTER TO SUSTAIN HEALTHY CONDITIONS UNTIL LANDSCAPE INSTALLATION IS COMPLETED. SATURATE THE SOIL AROUND EACH PLANT THOROUGHLY AT EACH WATERING.
9. PRUNING: PRUNE PLANTS, AS DIRECTED BY OWNER, AT THE PROJECT SITE BEFORE OR IMMEDIATELY AFTER PLANTING IN ACCORDANCE WITH THE BEST HORTICULTURAL PRACTICES. CUT BRUNKEN, DEAD OR INJURED BRANCHES IMMEDIATELY ABOVE THE STEM COLLAR ON THE TRUNK OR LIMB. PRUNE ALL BROKEN ROOTS ON THE PLANT SIDE OF THE BREAK. PAINT CUTS OVER 3/4" IN DIAMETER WITH TREE WOUND PAINT. PRUNING SHALL NOT DEFORM OR OTHERWISE DESTROY THE TYPICAL SHAPE OR SYMMETRY OF THE PLANT, AND SHALL NOT REDUCE THE HEIGHT BY MORE THAN ONE-THIRD. DO NOT CUT BACK THE LEADER OF THE PLANT UNLESS DIRECTED BY THE LANDSCAPE ARCHITECT.
10. FERTILIZING: FERTILIZE SHRUB BEDS WITH 10-6-4 FERTILIZER BROADCAST AT A RATE OF THREE POUNDS PER 100 SQUARE FEET OF SURFACE AREA BROADCAST. APPLY THE FERTILIZER UNIFORMLY TO THE SURFACE BEDS AND WORK INTO THE UPPER TWO INCHES OF SOIL. FERTILIZE INDIVIDUAL TREES AT A RATE OF ONE AGRIFORM PELLETT PER INCH OF TRUNK DIAMETER (FOLLOW MANUFACTURER'S WRITTEN INSTRUCTIONS). APPLY A SECOND APPLICATION OF FERTILIZER TO ALL PLANT ITEMS AT THE SAME SPECIFIED RATES OVER THE MULCH AT THE END OF AN EIGHT WEEK PERIOD.
11. LIMING: ADD POWDERED LIME EVERY SIX MONTHS - OR SLOW RELEASE GRANULAR LIME-AS PER MANUFACTURER'S INSTRUCTION.
12. MULCHING: WITHIN A 72 HOUR PERIOD AFTER PLANTING, COVER ALL PLANTED AREAS WITH 3" DARK HEMLOCK MULCH. NO RED OR DYED MULCH IS TO BE USED. MULCH SHOULD BE PULLED ONE INCH AWAY FROM PLANT TRUNK OR STEM, AND NOT ALLOWED TO REST DIRECTLY AGAINST THE TRUNK OR STEM.
13. GUARANTEE: ALL PLANTS FURNISHED BY THE CONTRACTOR SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER PRELIMINARY INSPECTION AND SHALL BE ALIVE AND IN SATISFACTORY GROWTH AT THE END OF THE GUARANTEE PERIOD. DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED AT ONCE BY THE CONTRACTOR, FREE OF CHARGE. CONTRACTOR SHALL PROVIDE WRITTEN GUARANTEE PRIOR TO CONSTRUCTION COMPLETION.



CROSSMAN ENGINEERING

<u>Rhode Island</u>	<u>Massachusetts</u>
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Email: cei@crossmaneng.com

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KEY PLAN

PROJECT TITLE:

292 WESTMINSTER STREET

**PLAT MAP 32, LOT 233
ZONING DISTRICT C2
GENERAL COMMERCIAL
DISTRICT and HISTORIC
OVERLAY DISTRICT
1292 WESTMINSTER STREET
PROVIDENCE, RHODE ISLAND**

PREPARED FOR:

ZDS **ZDS inc.**
96 WEYBOSSET ST, SUITE 302
PROVIDENCE, RI 02903
+1.401.580.6699
www.zds.com

DRAWING TITLE:

LANDSCAPE DETAIL PLAN

DATE:	SCALE:
JANUARY 2018	NO SCALE

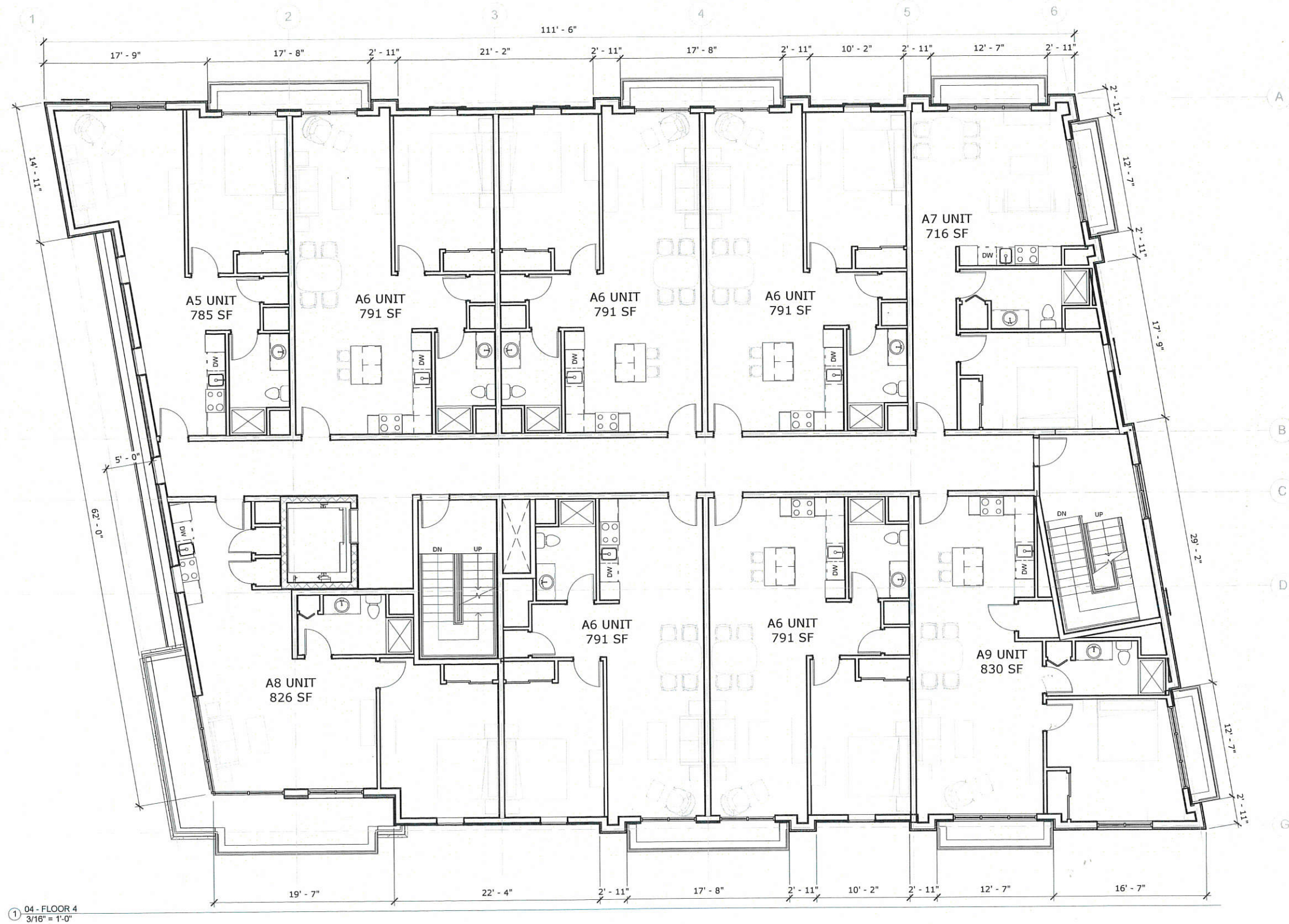
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REVISIONS

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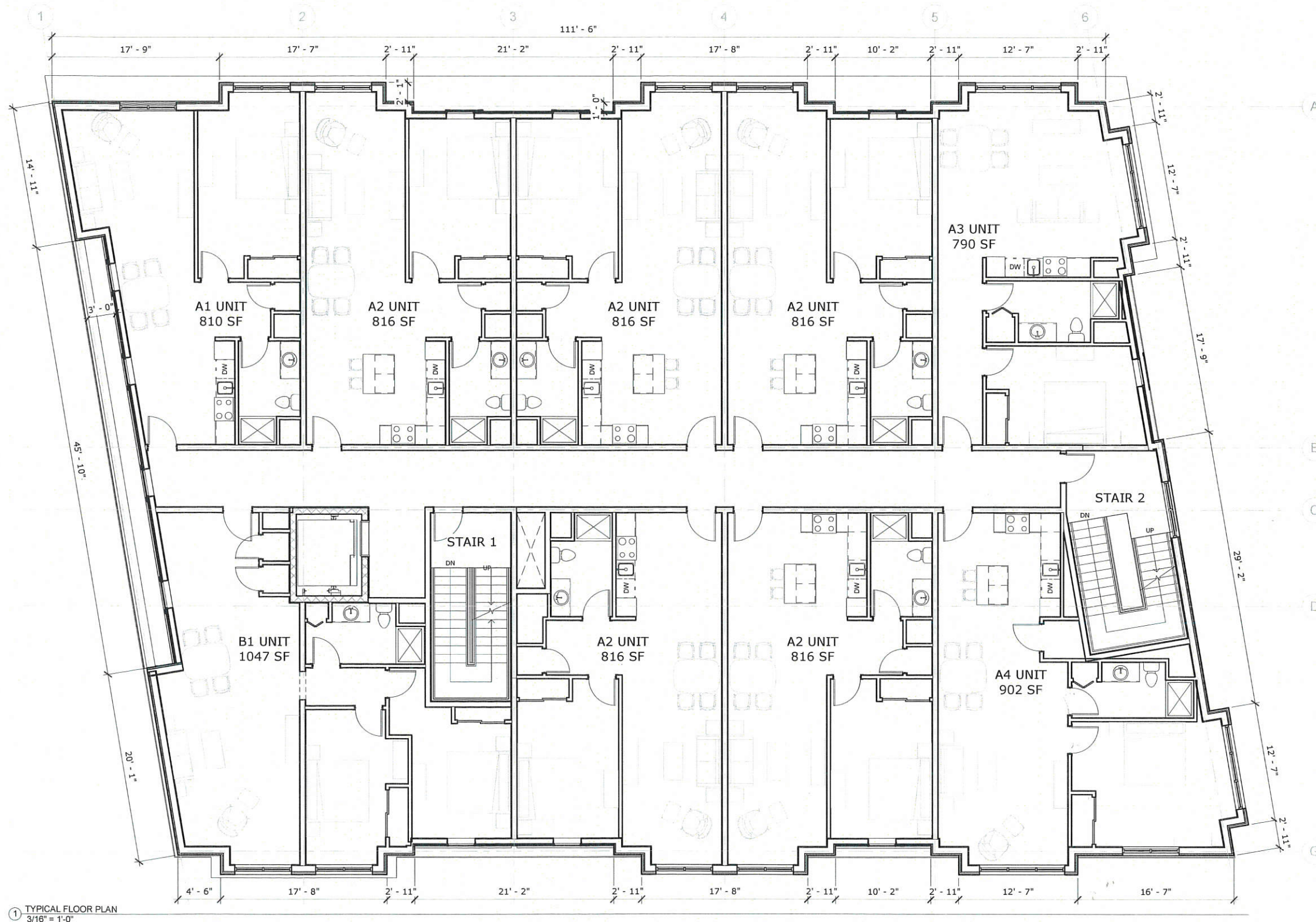
DRAWING NUMBER		

L2



FOUTH FLOOR PLAN
 1292 WESTMINSTER ST
 JANUARY 2018

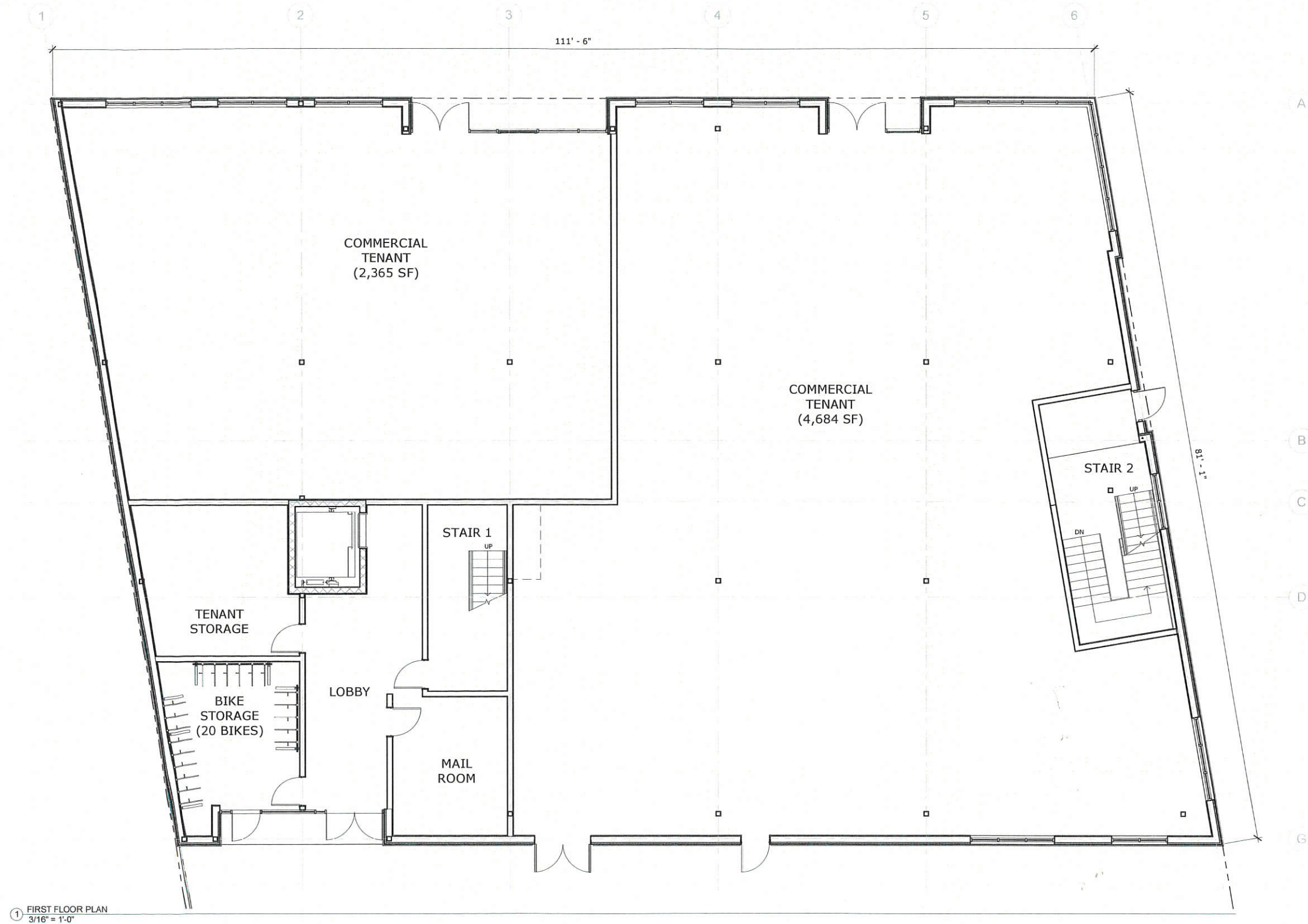




TYPICAL FLOOR PLAN (2-3)

1292 WESTMINSTER ST

JANUARY 2018

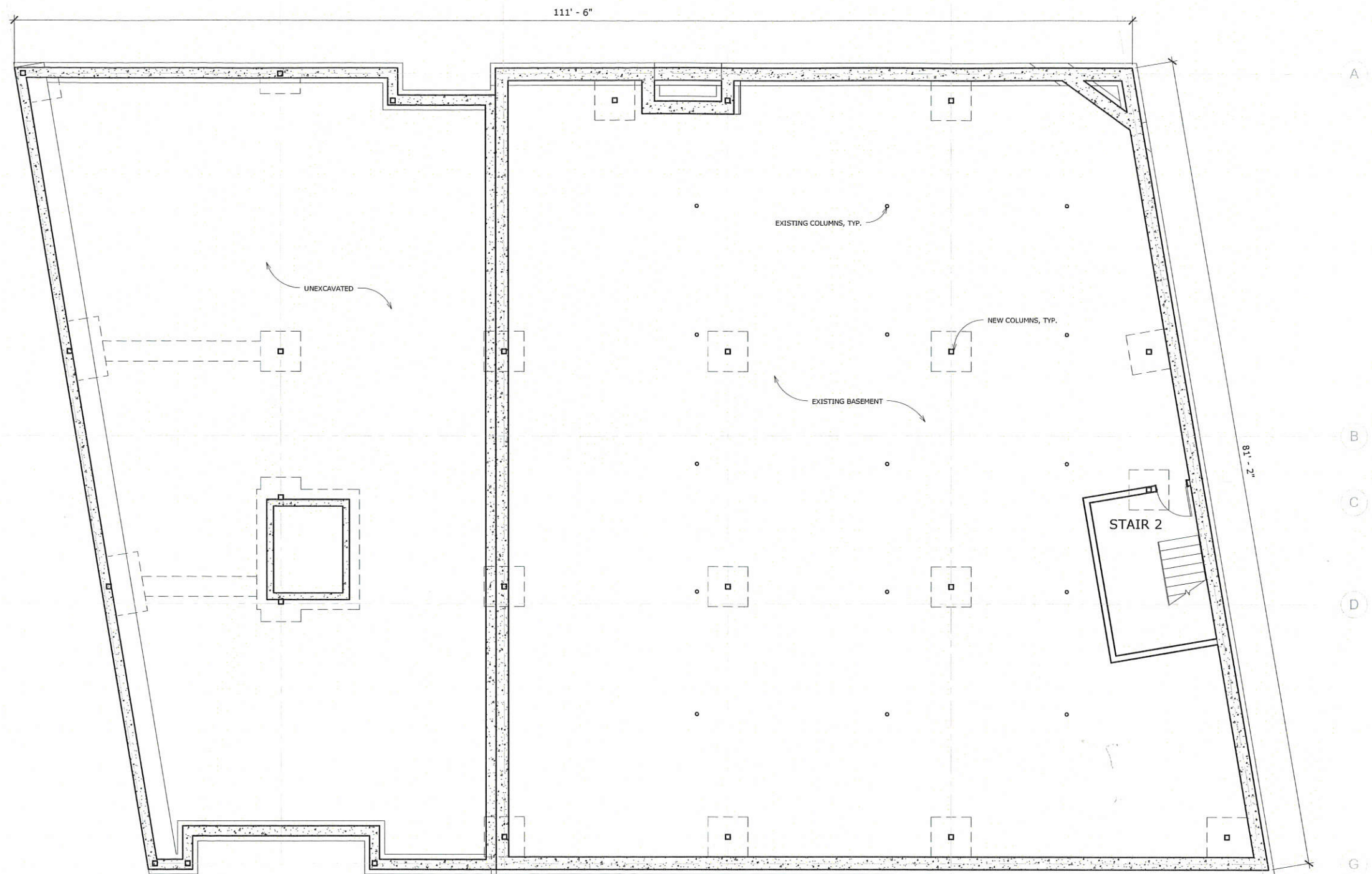


FIRST FLOOR PLAN

1292 WESTMINSTER ST

JANUARY 2018





① -01 - BASEMENT FLOOR
3/16" = 1'-0"

BASEMENT/FOUNDATION PLAN

1292 WESTMINSTER ST

JANUARY 2018

