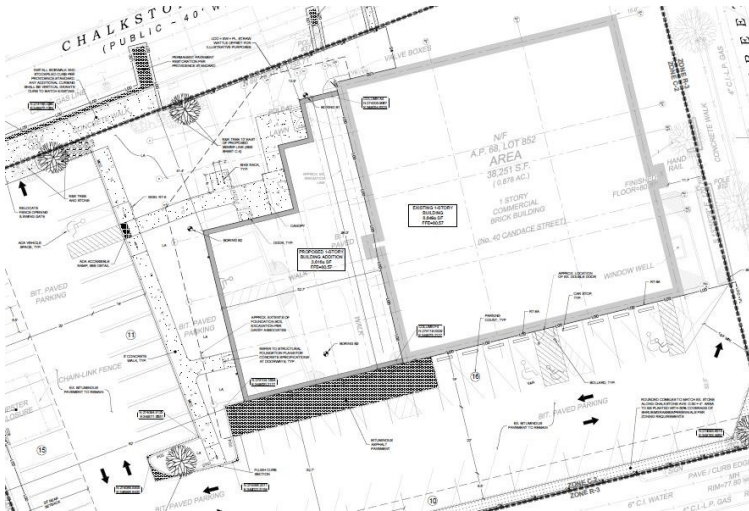


Providence City Plan Commission



June 25, 2020

AGENDA ITEM 5 ■ 40 CANDACE STREET



Proposed site plan



Aerial view of the site

OVERVIEW

OWNER/ APPLICANT:	Providence Community Health Centers	PROJECT DESCRIPTION:	The applicant is requesting a design waiver from the 40 percent build-to requirement of the corner side lot line.
CASE NO./ PROJECT TYPE:	2020-12 DPR Development Plan Review		
PROJECT LOCATION:	40 Candace Street; AP 68 Lot 852	RECOMMENDATION:	Grant the design waiver subject to the findings and conditions noted on page 2.
NEIGHBORHOOD:	Smith Hill	PROJECT PLANNER:	Choyon Manjrekar

ANALYSIS

The subject property is used as a medical building, and is proposed for expansion. The lot is located between Chalkstone Ave and Wayne Street and the building's main entrance is accessible from the front yard on Candace Street. The site is zoned R-3, but a zone change to C-2 has been requested. Per provided plans, the building will be expanded into the rear yard. The expansion measures approximately 3,616 SF and is irregularly shaped. The expansion begins by following the rear line of the building and stepping back two times.

The project largely conforms to the dimensional and design requirements of the C-2 zone. The addition meets the minimum height requirement of 11 feet as required in the C-2 zone and will be set back an appropriate amount from the residential zone to the rear. However, a dimensional waiver is required for the side yard build-to percentage of the addition.

The C-2 zone requires that at least 40 percent of a building's side yard frontage be located within 0-5 feet of the lot line. The building's length with the addition, will exceed 40 percent of the lot's length on Candace and Wayne Streets. However, the addition will be located outside the build-to zone, for which a dimensional waiver is required.

Per the applicant, the waiver is being requested for the interior layout of the addition and the existing building to coordinate with each other. The addition follows the design of the existing building, while providing a landscape area along Chalkstone Avenue, and provides an accessible staff entrance from the parking area.

As constructed, the building is existing-nonconforming and is outside the build-to zone. The applicant could construct the addition to align with the building, but that would require additional paving and further loss of green space. The addition's design will integrate green space and bicycle parking.

Based on a review of plans, it is the DPD's opinion that the Commission should grant the requested waiver as the requirement to conform would result in a poor design outcome for the site. Granting of the waiver is not expected to have a negative effect on the neighborhood's character as the building's length will address approximately 65 percent of the lot. Locating a portion of the building away from the side lot line would add additional separation between the commercial use and the abutting residential zone.

RECOMMENDATION

Based on the foregoing discussion, the Commission should grant the requested design waiver subject to the following condition:

The waiver shall become effective upon completion of the zone change.

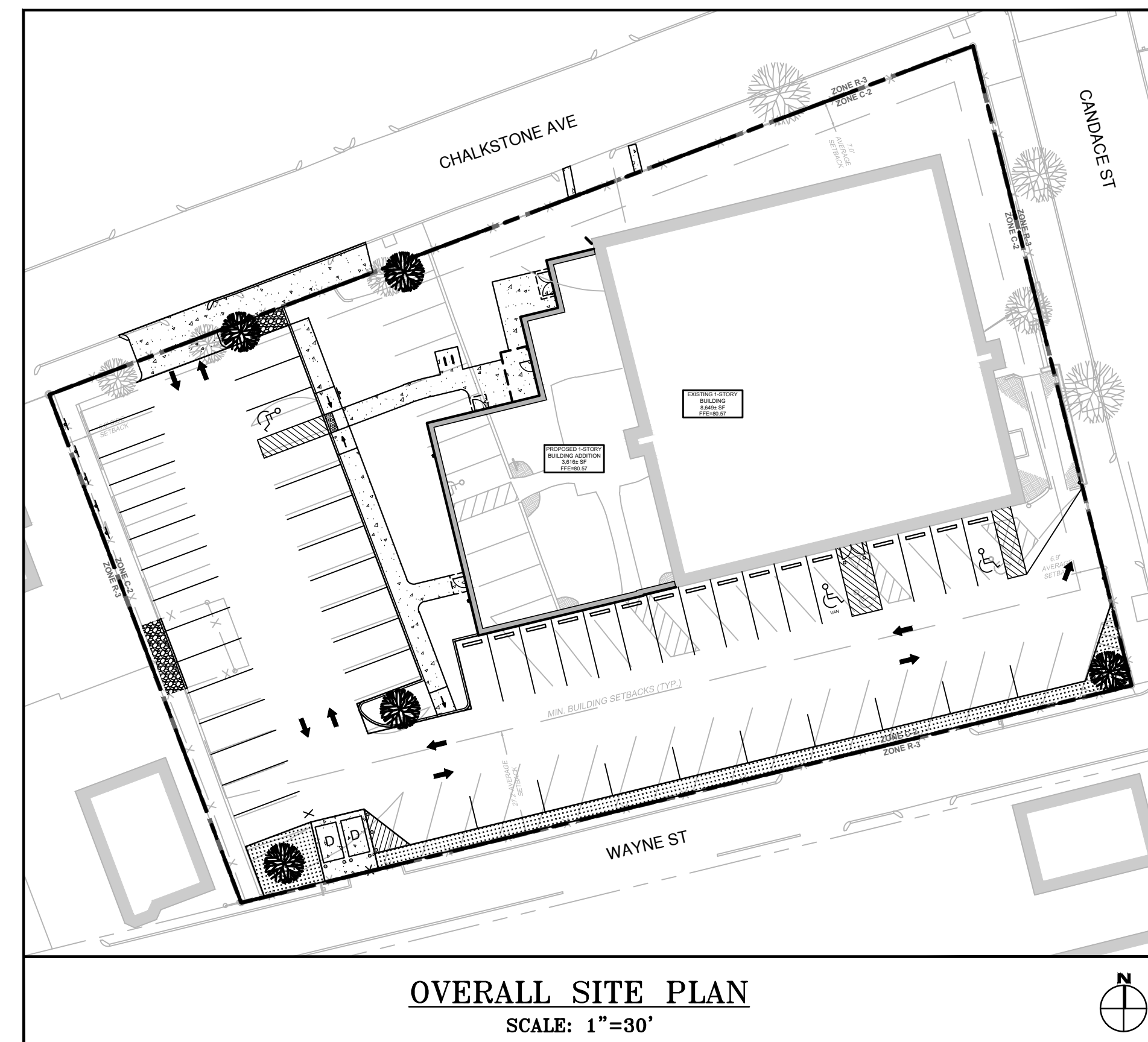
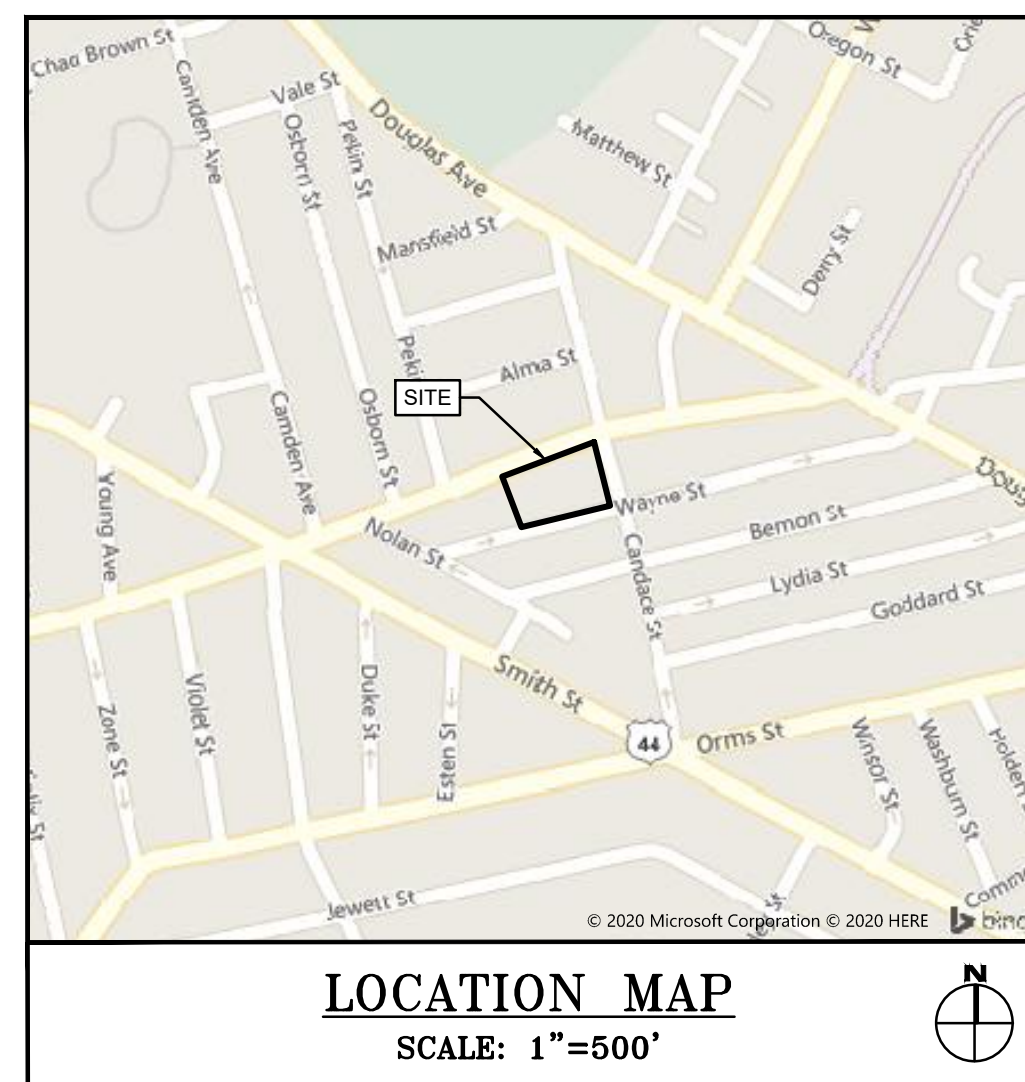
PCHC CAPITOL HILL - PROPOSED BUILDING EXPANSION

40 CANDACE STREET
PLAT 68 LOT 852
PROVIDENCE, RI

ISSUED FOR PERMITTING

CLIENT:
PROVIDENCE COMMUNITY HEALTH CENTERS
375 ALLENS AVENUE
PROVIDENCE, RI 02905

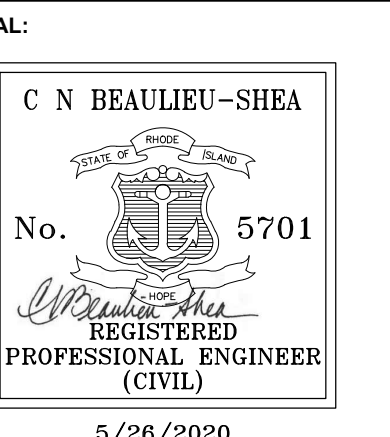
LATEST ISSUED: MAY 26, 2020



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C-2	LEGEND & NOTES	5/26/2020
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SURVEY PLAN		
SU1	BOUNDARY & TOPOGRAPHIC SURVEY PLAN	3/16/2020

PROPERTY OWNERS			
PLAT - LOT	PROPERTY ADDRESS	PROPERTY OWNER NAME	MAILING ADDRESS
68-852	40 CANDACE ST., PROVIDENCE, RI 02908	THE PROVIDENCE COMMUNITY HEALTH CENTERS, INC.	375 ALLENS AVE., PROVIDENCE, RI 02905

NOT FOR CONSTRUCTION



REVISION	DATE	DESCRIPTION

CLIENT:
PROVIDENCE COMMUNITY HEALTH CENTERS
375 ALLENS AVENUE
PROVIDENCE, RI 02905

PROJECT:
PCHC CAPITOL HILL PROPOSED BUILDING EXPANSION
40 CANDACE STREET
PROVIDENCE, RI 02908

TITLE:

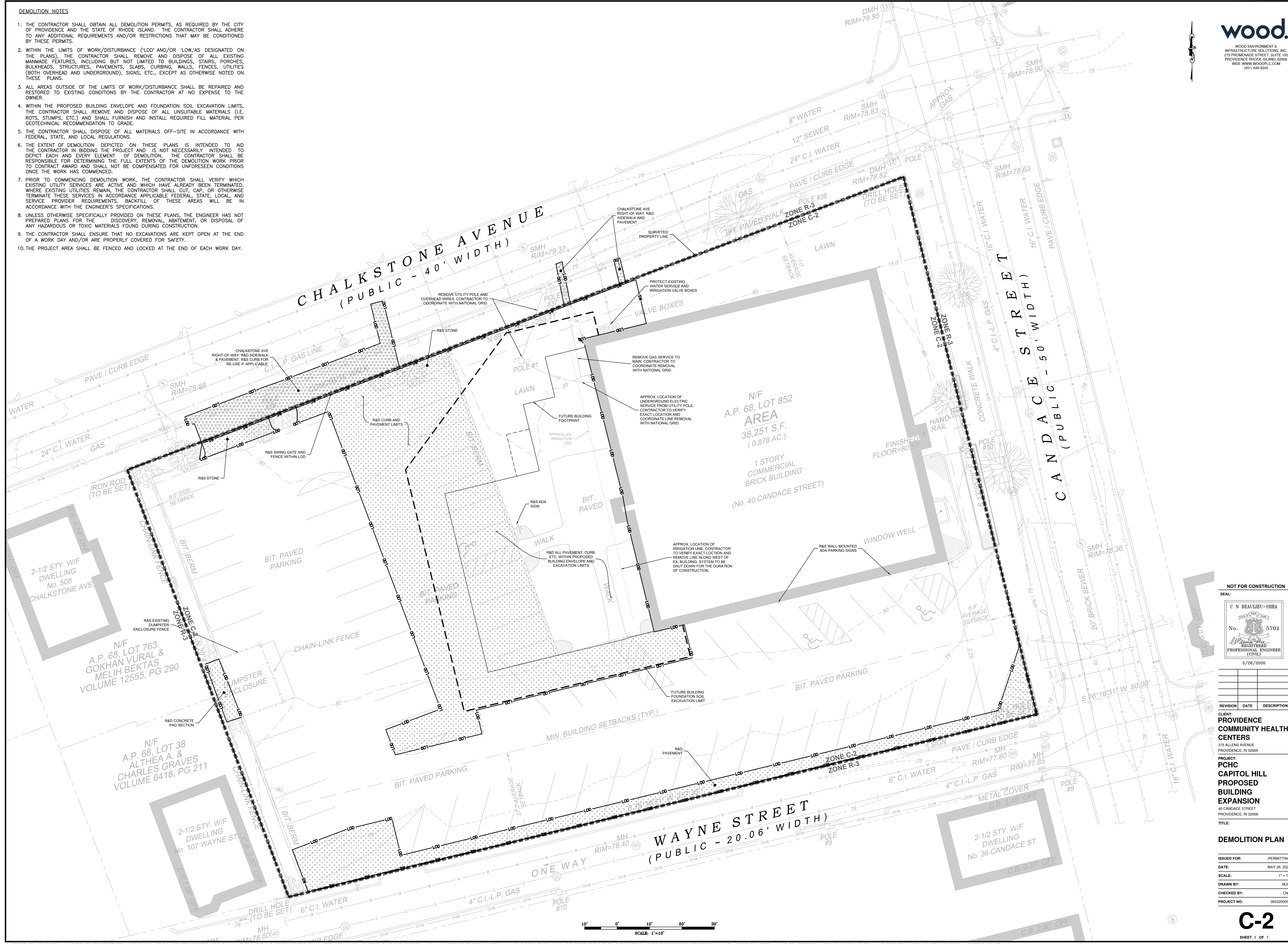
COVER

ISSUED FOR:	PERMITTING
DATE:	MAY 26, 2020
SCALE:	1" = 10'
DRAWN BY:	MJV
CHECKED BY:	CNB
PROJECT NO:	3653200059

C-0

DEMOLITION NOTES

1. THE CONTRACTOR SHALL OBTAIN ALL DEMOLITION PERMITS, AS REQUIRED BY THE CITY OF PROVIDENCE AND THE STATE OF RHODE ISLAND. THE CONTRACTOR SHALL ADHERE TO ANY ADDITIONAL REQUIREMENTS AND/OR RESTRICTIONS THAT MAY BE CONDITIONED BY THESE PERMITS.
2. WITHIN THE LIMITS OF WORK/DISTURBANCE ("LOD" AND/OR "LOW" AS DESIGNATED ON THE PLANS), THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING MANMADE FEATURES, INCLUDING BUT NOT LIMITED TO BUILDINGS, STAIRS, PORCHES, BULKHEADS, STRUCTURES, PAVEMENTS, SLABS, CURBING, WALLS, FENCES, UTILITIES (BOTH OVERHEAD AND UNDERGROUND), SIGNS, ETC., EXCEPT AS OTHERWISE NOTED ON THESE PLANS.
3. ALL AREAS OUTSIDE OF THE LIMITS OF WORK/DISTURBANCE SHALL BE REPAIRED AND RESTORED TO EXISTING CONDITIONS BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
4. WITHIN THE PROPOSED BUILDING ENVELOPE AND FOUNDATION SOIL EXCAVATION LIMITS, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL UNSUITABLE MATERIALS (I.E. ROTTS, STUMPS, ETC.) AND SHALL FURNISH AND INSTALL REQUIRED FILL MATERIAL PER GEOTECHNICAL RECOMMENDATION TO GRADE.
5. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
6. THE EXTENT OF DEMOLITION DEPICTED ON THESE PLANS IS INTENDED TO AID THE CONTRACTOR IN BIDDING THE PROJECT AND IS NOT NECESSARILY INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE FULL EXTENTS OF THE DEMOLITION WORK PRIOR TO CONTRACT AWARD AND SHALL NOT BE COMPENSATED FOR UNFORESEEN CONDITIONS ONCE THE WORK HAS COMMENCED.
7. PRIOR TO COMMENCING DEMOLITION WORK, THE CONTRACTOR SHALL VERIFY WHICH EXISTING UTILITY SERVICES ARE ACTIVE AND WHICH HAVE ALREADY BEEN TERMINATED. WHERE EXISTING UTILITIES REMAIN, THE CONTRACTOR SHALL CUT, CAP, OR OTHERWISE TERMINATE THESE SERVICES IN ACCORDANCE APPLICABLE FEDERAL, STATE, LOCAL, AND SERVICE PROVIDER REQUIREMENTS. BACKFILL OF THESE AREAS WILL BE IN ACCORDANCE WITH THE ENGINEER'S SPECIFICATIONS.
8. UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THESE PLANS, THE ENGINEER HAS NOT PREPARED PLANS FOR THE DISCOVERY, REMOVAL, ABATEMENT, OR DISPOSAL OF ANY HAZARDOUS OR TOXIC MATERIALS FOUND DURING CONSTRUCTION.
9. THE CONTRACTOR SHALL ENSURE THAT NO EXCAVATIONS ARE KEPT OPEN AT THE END OF A WORK DAY AND/OR ARE PROPERLY COVERED FOR SAFETY.
10. THE PROJECT AREA SHALL BE FENCED AND LOCKED AT THE END OF EACH WORK DAY.



NOT FOR CONSTRUCTION

SEAL:
 C N BEAULIEU-SHEA
 No. 5701
 REGISTERED PROFESSIONAL ENGINEER (CIVIL)
 5/26/2020

REVISION	DATE	DESCRIPTION

CLIENT:
PROVIDENCE COMMUNITY HEALTH CENTERS
 375 ALLENS AVENUE
 PROVIDENCE, RI 02905

PROJECT:
PCHC CAPITOL HILL PROPOSED BUILDING EXPANSION
 40 CANDACE STREET
 PROVIDENCE, RI 02908

TITLE:
DEMOLITION PLAN

ISSUED FOR:	PERMITTING
DATE:	MAY 26, 2020
SCALE:	1" = 10'
DRAWN BY:	MJV
CHECKED BY:	CNB
PROJECT NO.:	365320059

C-2
 SHEET 3 OF 7

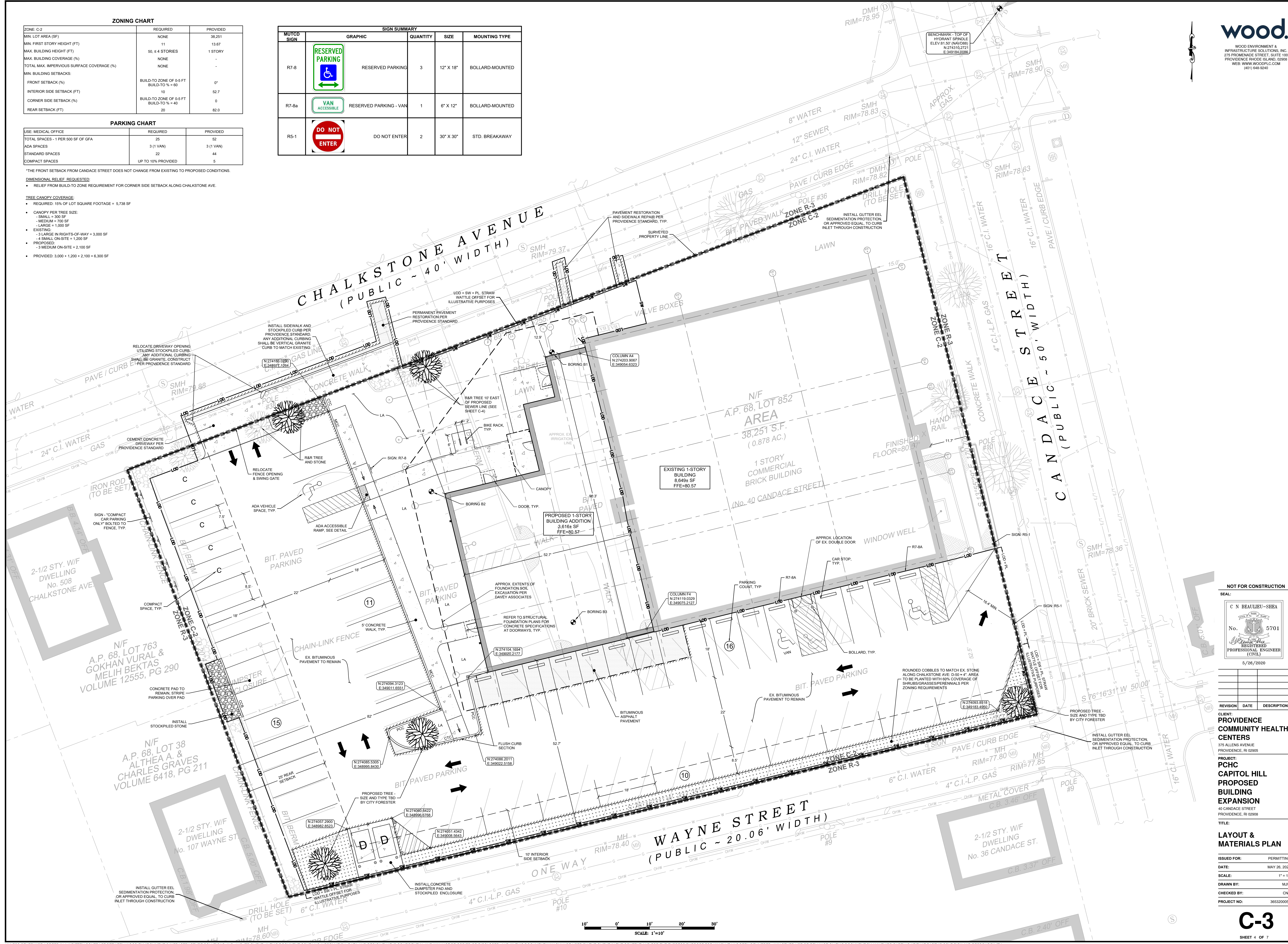
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ZONING CHART		
ZONE: C-2	REQUIRED	PROVIDED
MIN. LOT AREA (SF)	NONE	38,251
MIN. FIRST STORY HEIGHT (FT)	11	13.67
MAX. BUILDING HEIGHT (FT)	50, 5-4 STORIES	1 STORY
MAX. BUILDING COVERAGE (%)	NONE	-
TOTAL MAX. IMPERVIOUS SURFACE COVERAGE (%)	NONE	-
MIN. BUILDING SETBACKS:		
FRONT SETBACK (%)	BUILD-TO-ZONE OF 0-5 FT BUILD-TO-% = 60	0'
INTERIOR SIDE SETBACK (FT)	10	52.7
CORNER SIDE SETBACK (%)	BUILD-TO-ZONE OF 0-5 FT BUILD-TO-% = 40	0
REAR SETBACK (FT)	20	82.0

PARKING CHART		
USE: MEDICAL OFFICE	REQUIRED	PROVIDED
TOTAL SPACES - 1 PER 500 SF OF GFA	25	52
ADA SPACES	3 (1 VAN)	3 (1 VAN)
STANDARD SPACES	22	44
COMPACT SPACES	UP TO 10% PROVIDED	5

SIGN SUMMARY				
MUTCD SIGN	GRAPHIC	QUANTITY	SIZE	MOUNTING TYPE
R7-8		3	12" X 18"	BOLLARD-MOUNTED
R7-8a		1	6" X 12"	BOLLARD-MOUNTED
R5-1		2	30" X 30"	STD. BREAKAWAY

- *THE FRONT SETBACK FROM CANDACE STREET DOES NOT CHANGE FROM EXISTING TO PROPOSED CONDITIONS.
- DIMENSIONAL RELIEF REQUESTED:**
- RELIEF FROM BUILD-TO-ZONE REQUIREMENT FOR CORNER SIDE SETBACK ALONG CHALKSTONE AVE.
- TREE CANOPY COVERAGE:**
- REQUIRED: 15% OF LOT SQUARE FOOTAGE = 5,738 SF
 - CANOPY PER TREE SIZE:
 - SMALL = 300 SF
 - MEDIUM = 700 SF
 - LARGE = 1,000 SF
 - EXISTING:
 - 3 LARGE IN RIGHTS-OF-WAY = 3,000 SF
 - 4 SMALL ON-SITE = 1,200 SF
 - PROPOSED:
 - 3 MEDIUM ON-SITE = 2,100 SF
 - PROVIDED: 3,000 + 1,200 + 2,100 = 6,300 SF



NOT FOR CONSTRUCTION

SEAL:

C N BEAULIEU-SHEA

No. 5701

REGISTERED PROFESSIONAL ENGINEER (CIVIL)

5/26/2020

REVISION	DATE	DESCRIPTION

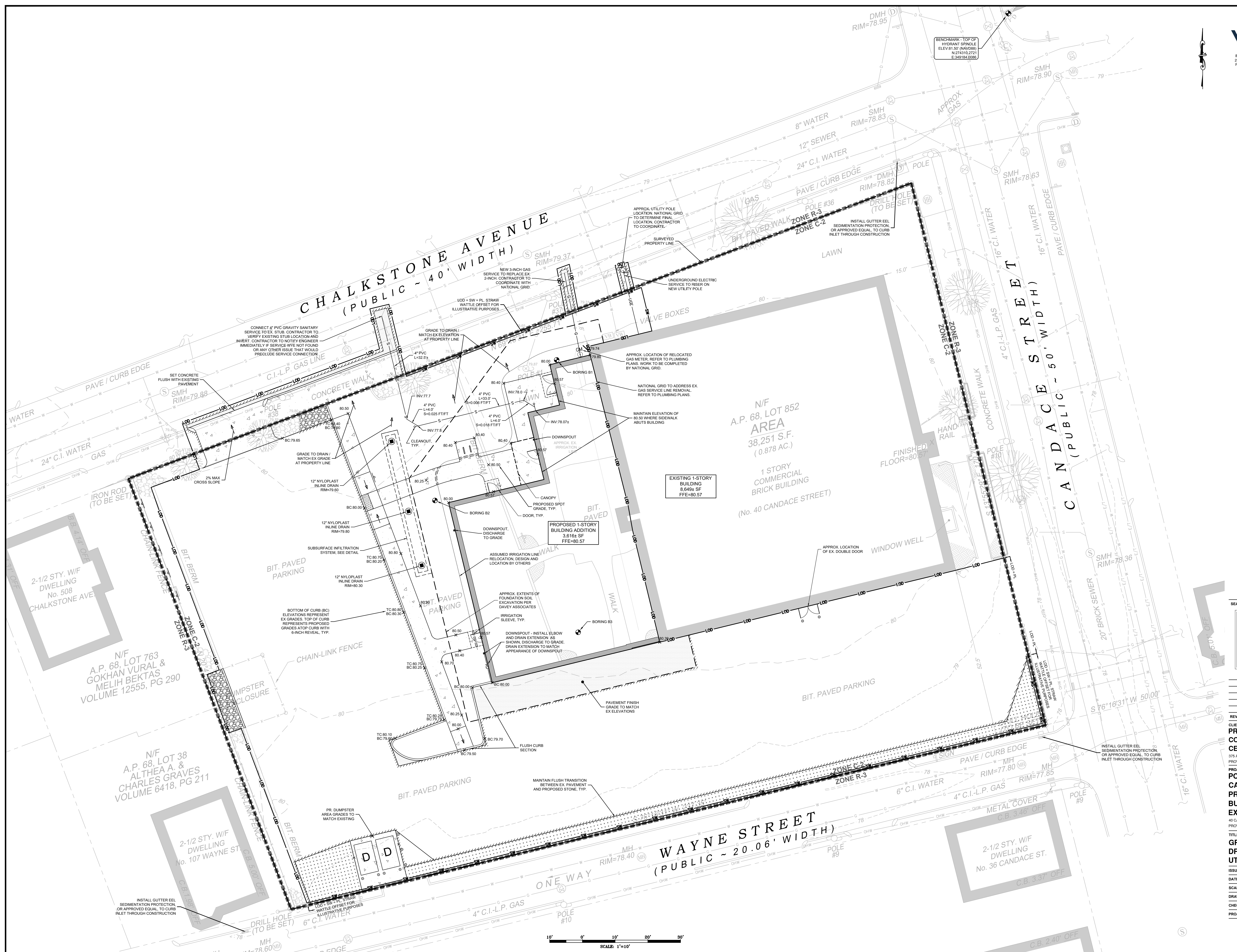
CLIENT: PROVIDENCE COMMUNITY HEALTH CENTERS
375 ALLENS AVENUE
PROVIDENCE, RI 02905

PROJECT: PCHC CAPITOL HILL PROPOSED BUILDING EXPANSION
40 CANDACE STREET
PROVIDENCE, RI 02905

TITLE: LAYOUT & MATERIALS PLAN

ISSUED FOR:	PERMITTING
DATE:	MAY 28, 2020
SCALE:	1" = 10'
DRAWN BY:	MAV
CHECKED BY:	CNB
PROJECT NO.:	365320059

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No. 5701

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5/26/2020

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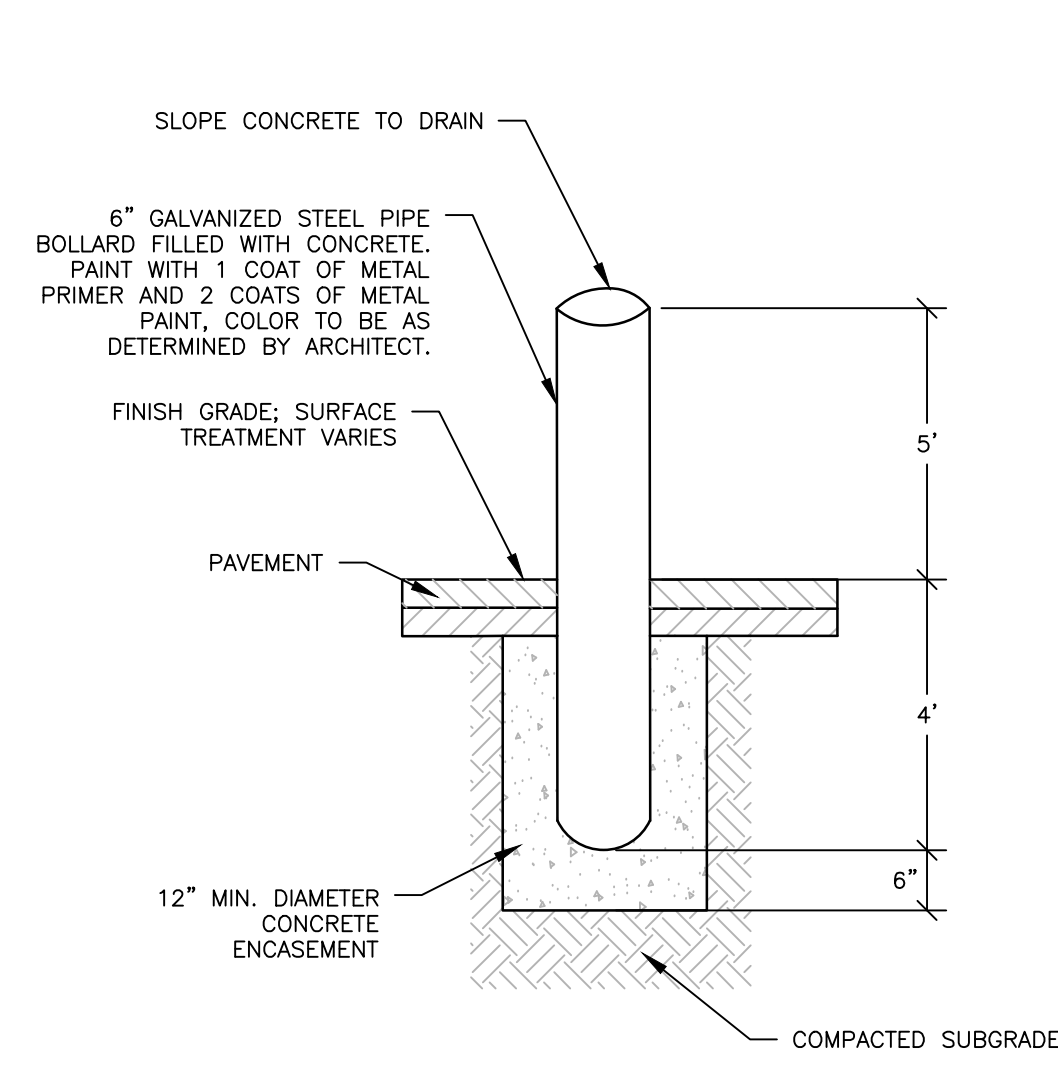
CLIENT:
PROVIDENCE COMMUNITY HEALTH CENTERS
375 ALLENS AVENUE
PROVIDENCE, RI 02905

PROJECT:
PCHC CAPITOL HILL PROPOSED BUILDING EXPANSION
40 CANDACE STREET
PROVIDENCE, RI 02908

TITLE:
GRADING, DRAINAGE, & UTILITIES PLAN

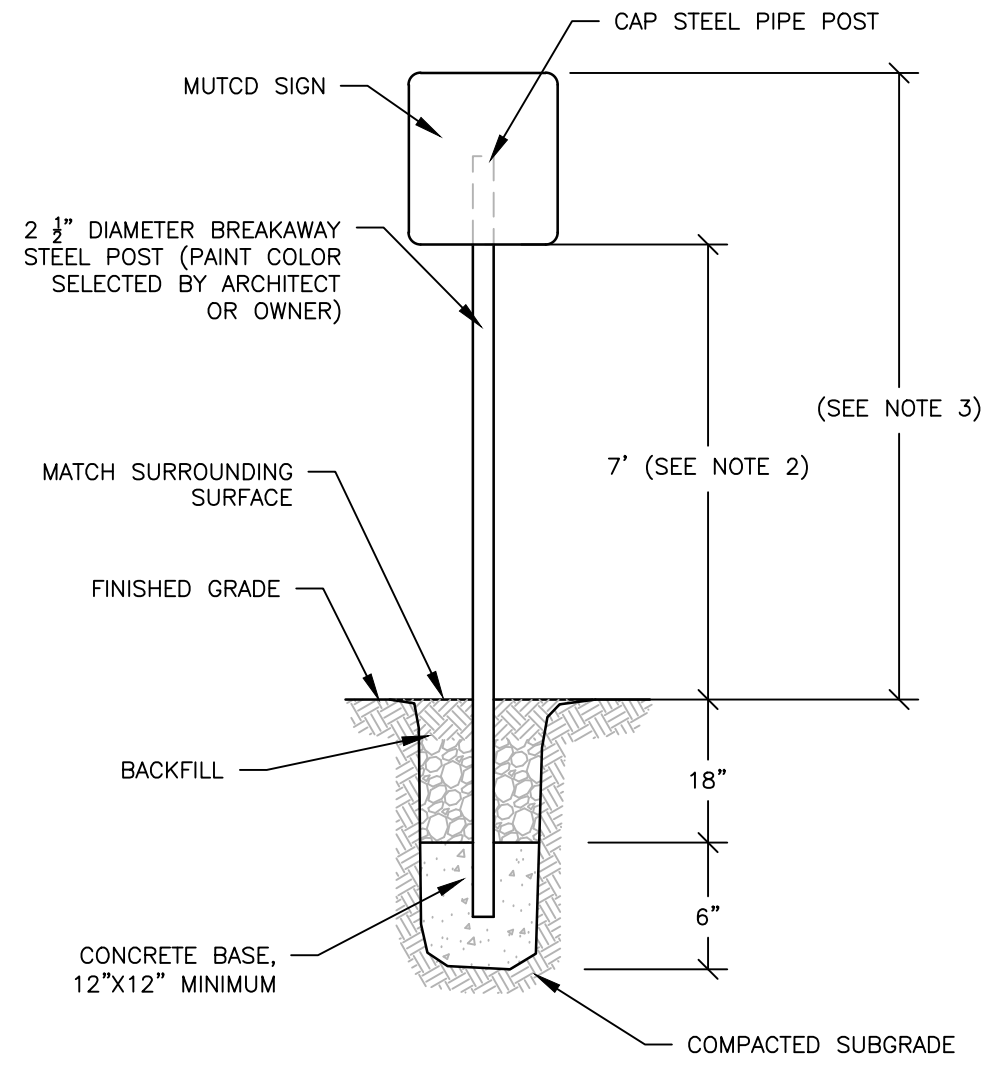
ISSUED FOR: PERMITTING
DATE: MAY 28, 2020
SCALE: 1" = 10'
DRAWN BY: M/V
CHECKED BY: C/NB
PROJECT NO: 365320059

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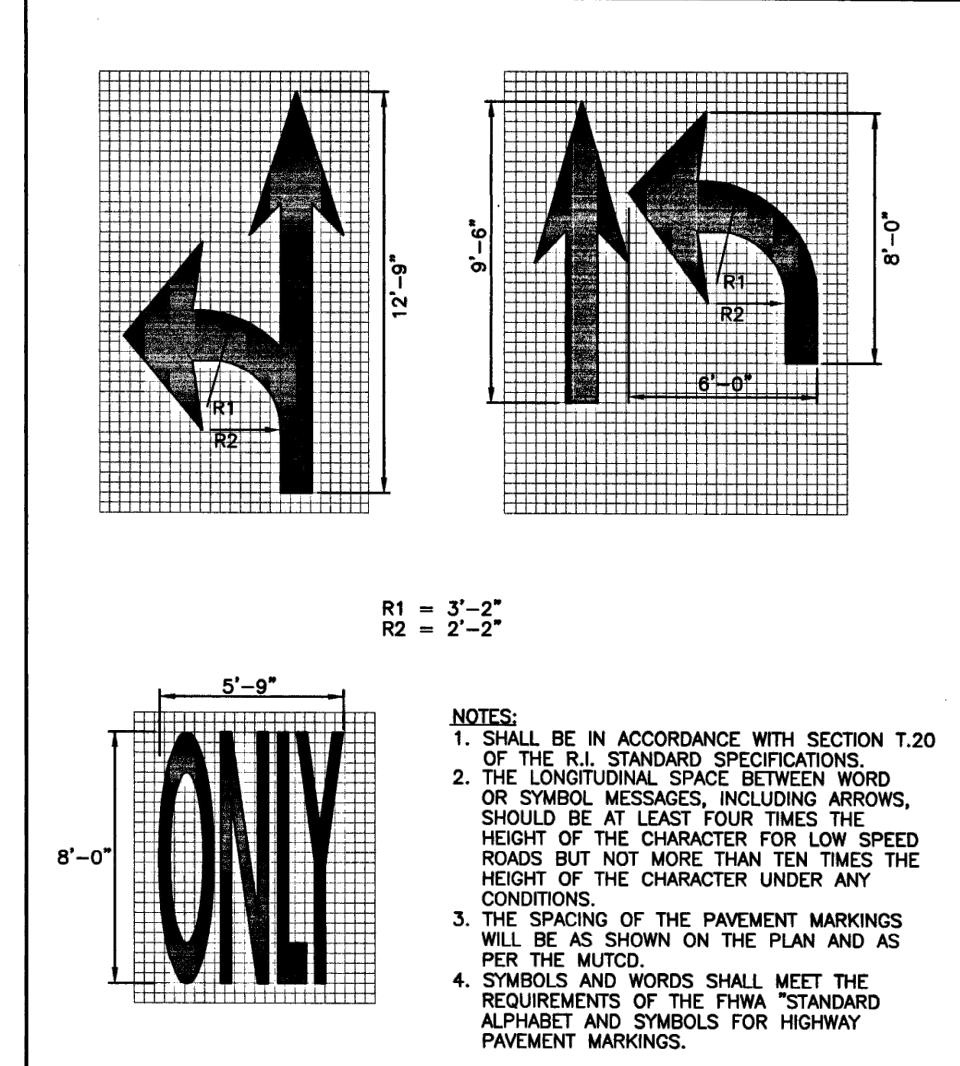
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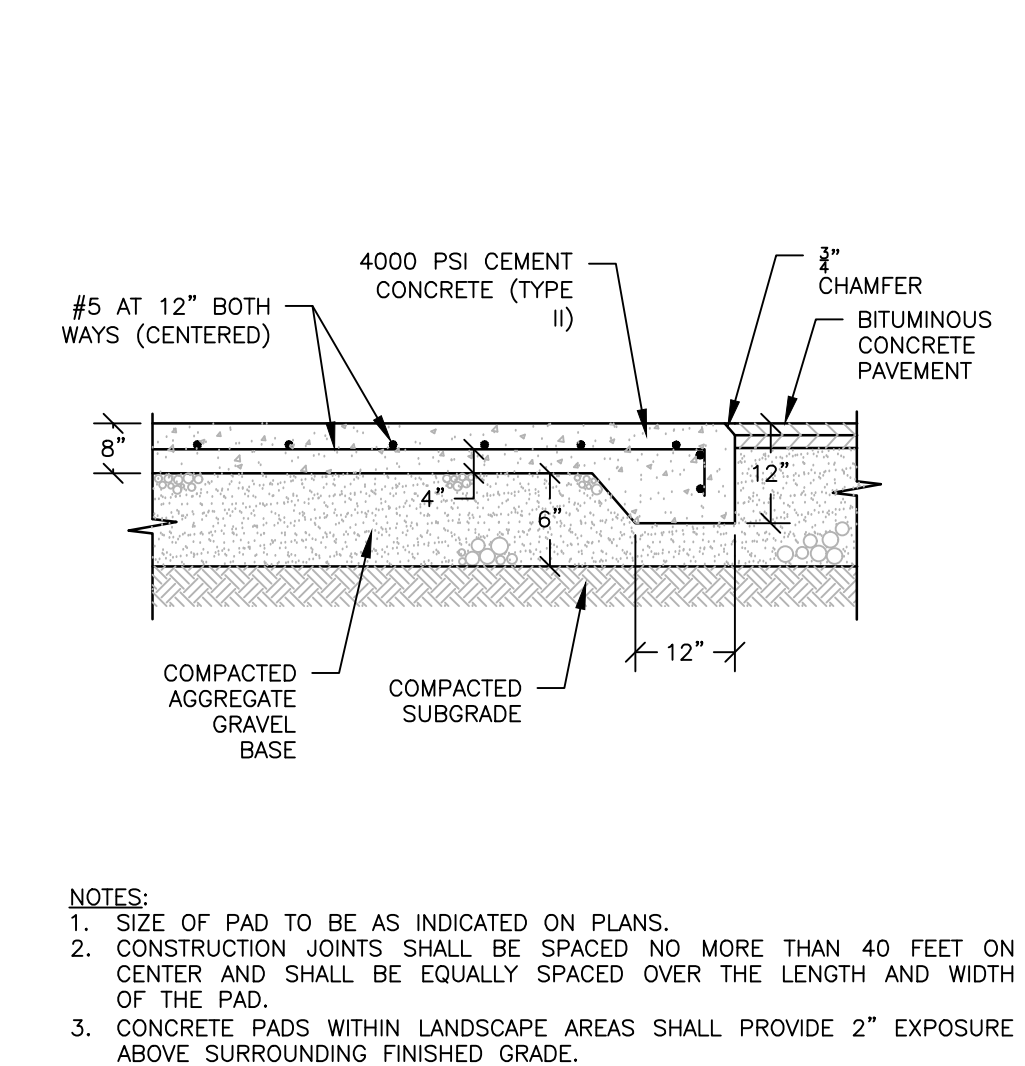


SIGN POST
NTS

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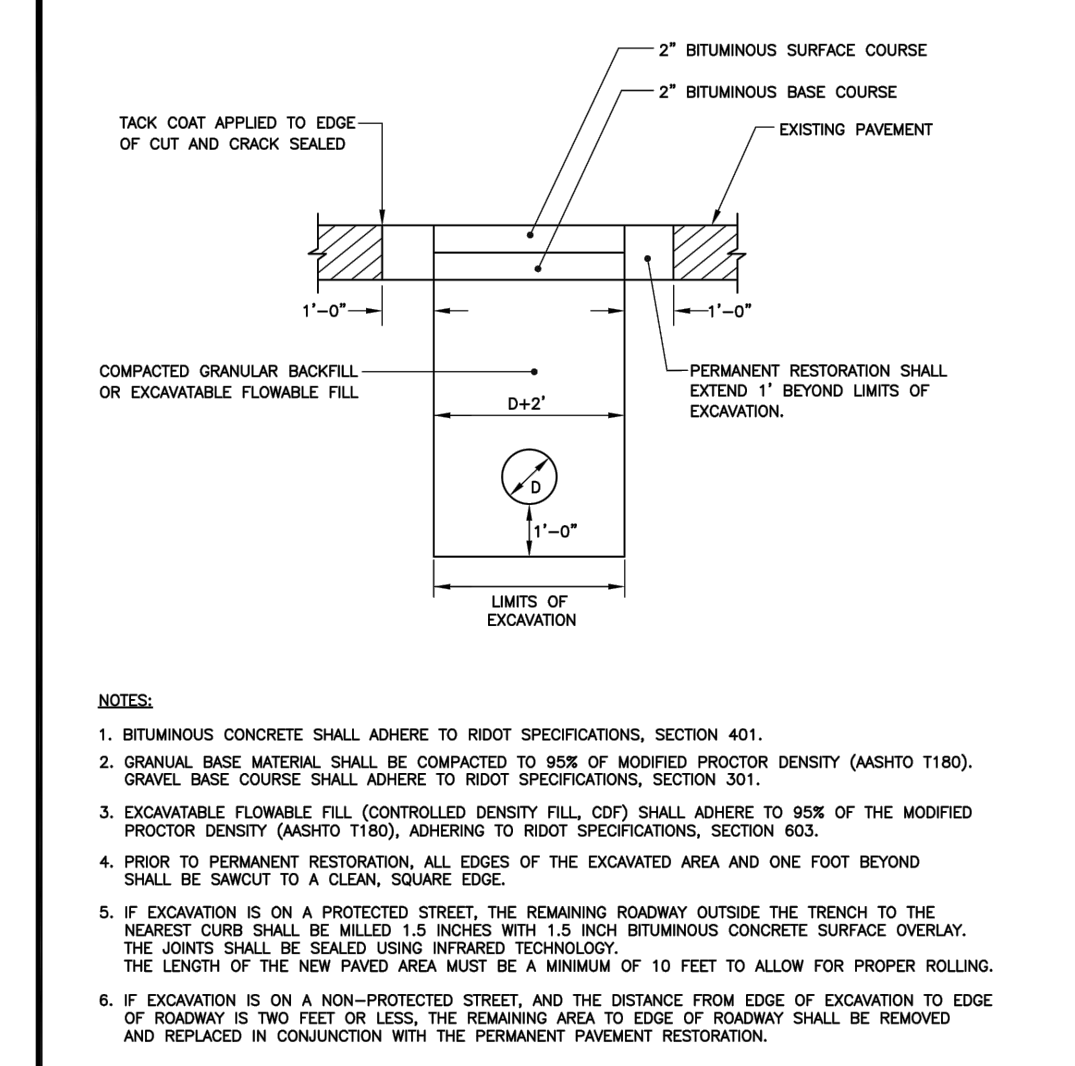


PAVEMENT MARKINGS
ARROWS AND ONLY
NTS



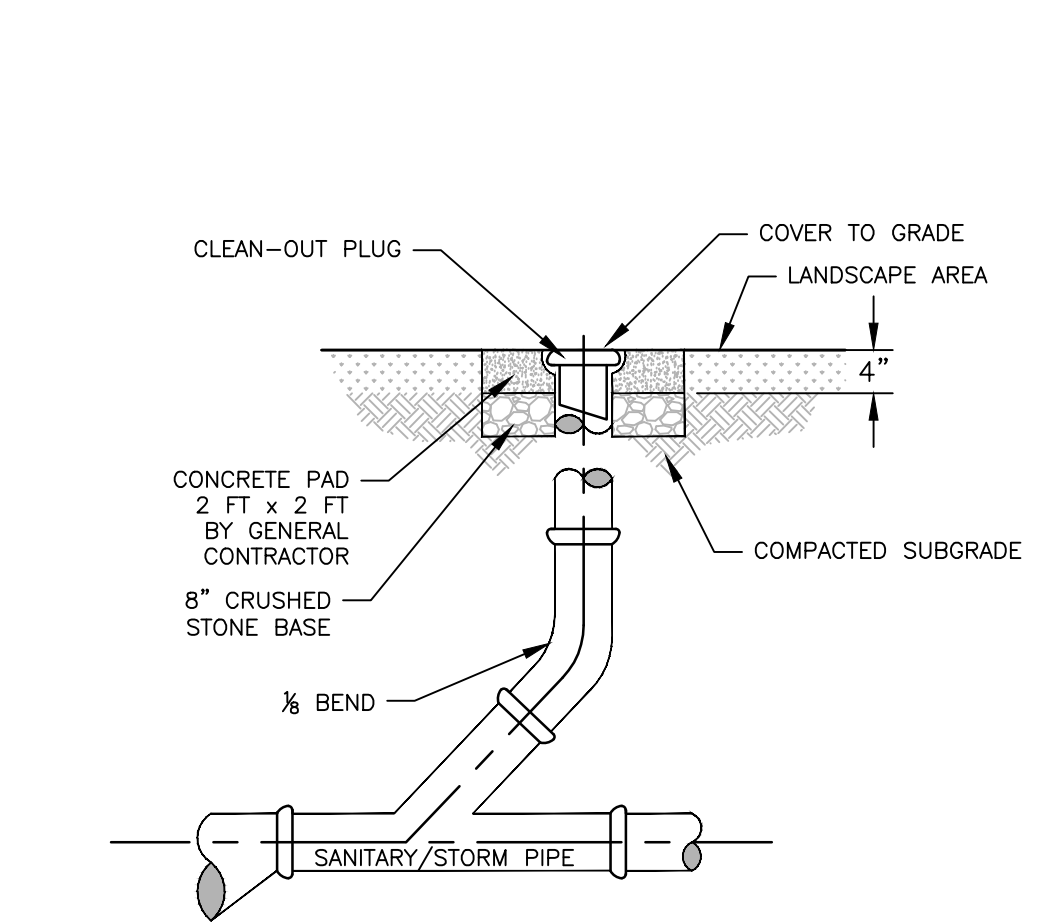
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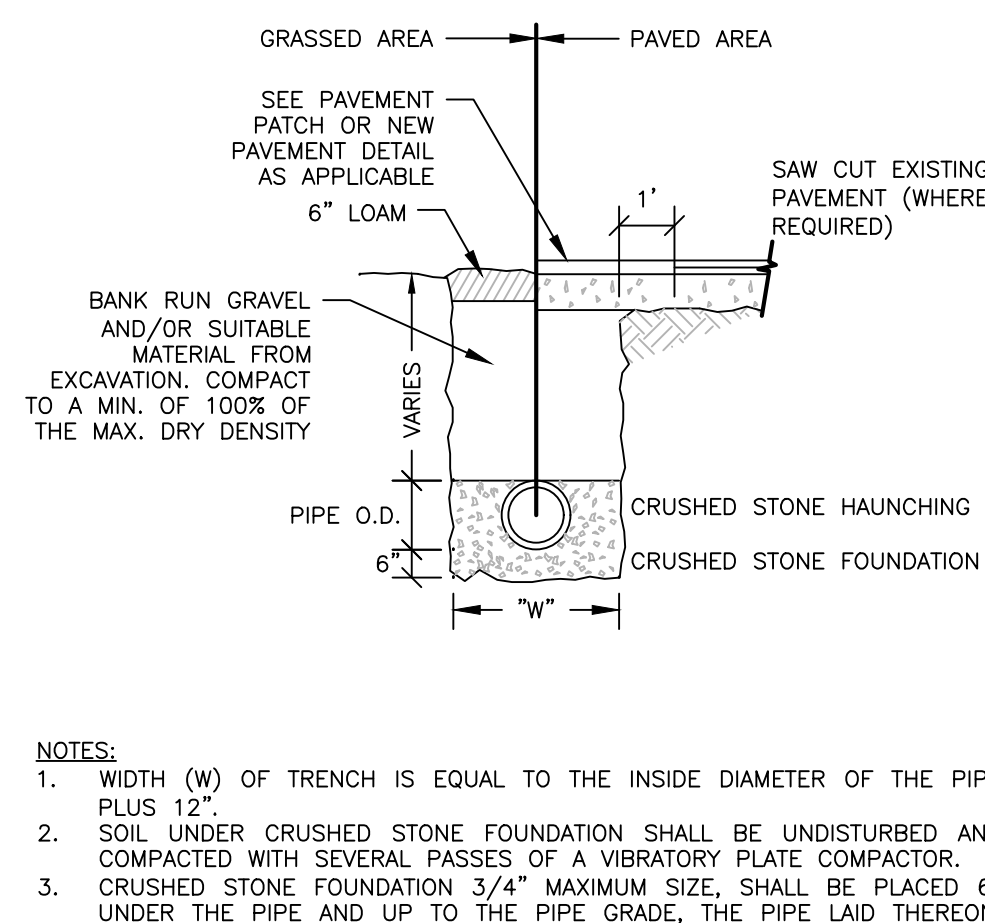
PERMANENT ROADWAY RESTORATION - GRANULAR BASE
NTS

60.2.0 P
PROVIDENCE
STANDARD



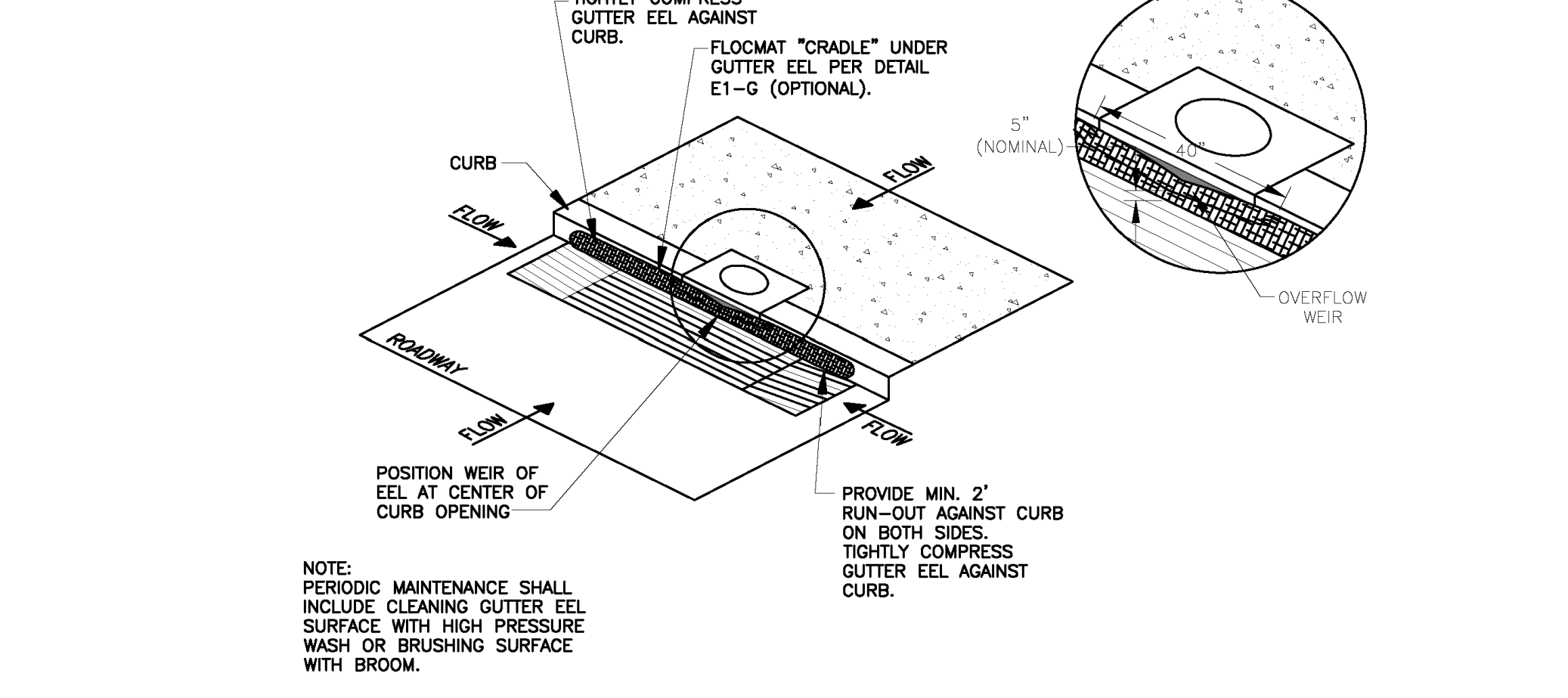
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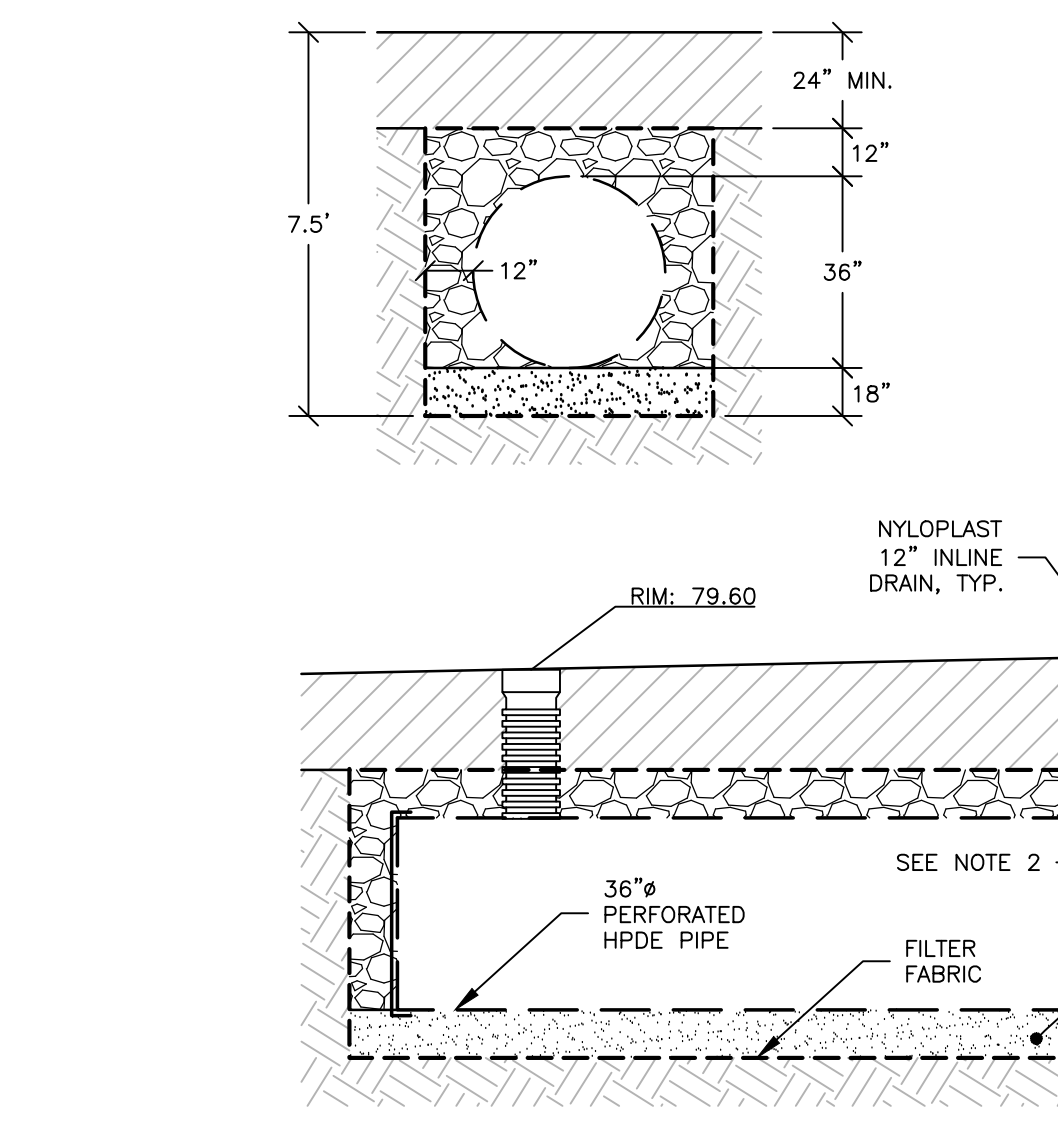
UTILITY TRENCH
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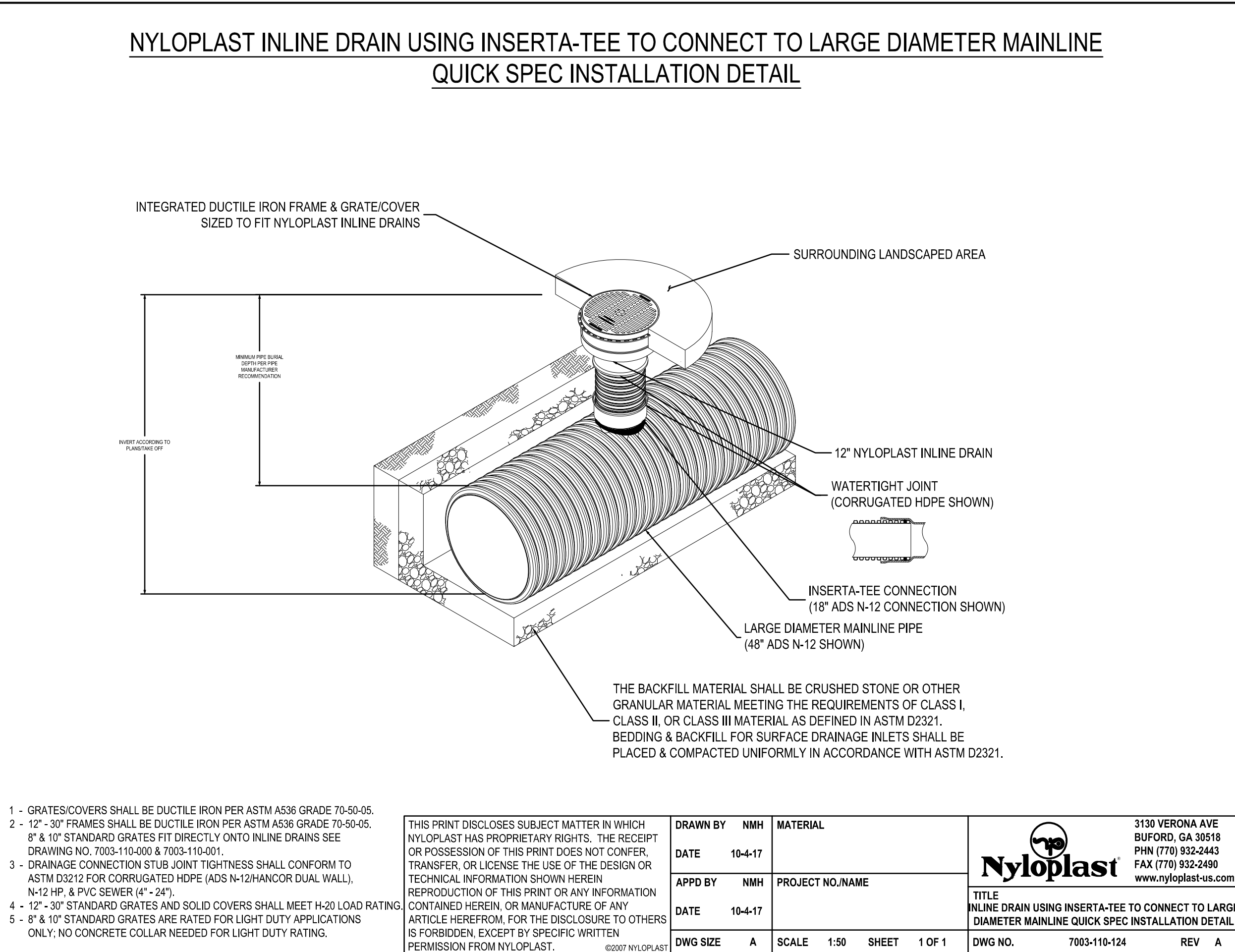
GUTTER EEL - OR EQUIVALENT
NTS

wood



SUBSURFACE SAND FILTER
NTS

wood_3.55



1 - GRATES/COVERS SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
2 - 12\"/>

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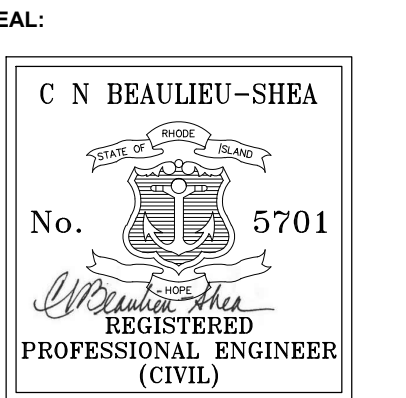
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BUDFORD, GA 30518
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FAX (770) 933-2480
www.nyloplast-us.com

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TITLE
INLINE DRAIN USING INSERTA-TEE TO CONNECT TO LARGE DIAMETER MAINLINE QUICK SPEC INSTALLATION DETAIL.

DWG NO. 7003-116-124 REV A

NOT FOR CONSTRUCTION



REVISION	DATE	DESCRIPTION

CLIENT:
PROVIDENCE COMMUNITY HEALTH CENTERS
375 ALLENS AVENUE
PROVIDENCE, RI 02905

PROJECT:
PCHC CAPITOL HILL PROPOSED BUILDING EXPANSION
40 CANDACE STREET
PROVIDENCE, RI 02906

TITLE:
DETAILS - 2

ISSUED FOR:	PERMITTING
DATE:	MAY 26, 2020
SCALE:	N/A
DRAWN BY:	NMH
CHECKED BY:	CNB
PROJECT NO.:	3653200059