

June 25, 2020

## AGENDA ITEM 5 • 40 CANDACE STREET



Proposed site plan



Aerial view of the site

### **OVERVIEW**

OWNER/	Providence Community	<b>PROJECT DESCRIPTION:</b>	The applicant is requesting a design
APPLICANT:	Health Centers		waiver from the 40 percent build-to
			requirement of the corner side lot line.

CASE NO./ 2020-12 DPR **PROJECT TYPE: Development Plan Review** 

PROJECT	40 Candace Street;	<b>RECOMMENDATION:</b>	Grant the design waiver subject to the
LOCATION:	AP 68 Lot 852		findings and conditions noted on page 2.

**NEIGHBORHOOD:** Smith Hill

**PROJECT PLANNER:** Choyon Manjrekar

### ANALYSIS

The subject property is used as a medical building, and is proposed for expansion. The lot is located between Chalkstone Ave and Wayne Street and the building's main entrance is accessible from the front yard on Candace Street. The site is zoned R-3, but a zone change to C-2 has been requested. Per provided plans, the building will be expanded into the rear yard. The expansion measures approximately 3,616 SF and is irregularly shaped. The expansion begins by following the rear line of the building and stepping back two times.

The project largely conforms to the dimensional and design requirements of the C-2 zone. The addition meets the minimum height requirement of 11 feet as required in the C-2 zone and will be set back an appropriate amount from the residential zone to the rear. However, a dimensional waiver is required for the side yard build-to percentage of the addition.

The C-2 zone requires that at least 40 percent of a building's side yard frontage be located within 0-5 feet of the lot line. The building's length with the addition, will exceed 40 percent of the lot's length on Candace and Wayne Streets. However, the addition will be located outside the build-to zone, for which a dimensional waiver is required.

Per the applicant, the waiver is being requested for the interior layout of the addition and the existing building to coordinate with each other. The addition follows the design of the existing building, while providing a landscape area along Chalkstone Avenue, and provides an accessible staff entrance from the parking area.

As constructed, the building is existing-nonconforming and is outside the build-to zone. The applicant could construct the addition to align with the building, but that would require additional paving and further loss of green space. The addition's design will integrate green space and bicycle parking.

Based on a review of plans, it is the DPD's opinion that the Commission should grant the requested waiver as the requirement to conform would result in a poor design outcome for the site. Granting of the waiver is not expected to have a negative effect on the neighborhood's character as the building's length will address approximately 65 percent of the lot. Locating a portion of the building away from the side lot line would add additional separation between the commercial use and the abutting residential zone.

### RECOMMENDATION

Based on the foregoing discussion, the Commission should grant the requested design waiver subject to the following condition:

The waiver shall become effective upon completion of the zone change.



# PCHC CAPITOL HILL - PROPOSED BUILDING EXPANSION

40 CANDACE STREET PLAT 68 LOT 852 PROVIDENCE, RI

# **ISSUED FOR PERMITTING**

CLIENT: PROVIDENCE COMMUNITY HEALTH CENTERS 375 ALLENS AVENUE PROVIDENCE, RI 02905

# LATEST ISSUED: MAY 26, 2020



	PROPERTY OWNERS				
PLAT - LOT	PROPERTY ADDRESS	PROPERTY OWNER NAME	MAILING ADDRESS		
68-852	40 CANDANCE ST, PROVIDENCE, RI 02908	THE PROVIDENCE COMMUNITY HEALTH CENTERS, INC.	375 ALLENS AVE, PROVIDENCE, RI 02905		

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LATEST ISSUE

3/16/2020



## NOT FOR CONSTRUCTION SEAL: C N BEAULIEU-SHEA STATE OF ISLAND 5701 REGISTERED PROFESSIONAL ENGINEER (CIVIL) 5/26/2020 REVISION DATE DESCRIPTION CLIENT: PROVIDENCE **COMMUNITY HEALTH** CENTERS 375 ALLENS AVENUE PROVIDENCE, RI 02905 PROJECT: PCHC **CAPITOL HILL** PROPOSED BUILDING EXPANSION 40 CANDACE STREET PROVIDENCE, RI 02908 TITLE: COVER ISSUED FOR: PERMITTIN MAY 26, 2020 DATE: SCALE: 1" = 10 DRAWN BY: MJ CHECKED BY:

PROJECT NO: 365320005

	EXIST	PROP		EXIST	PROP
BORING LOCATION	B-1	B-1	MATCHLINE		
TEST PIT LOCATION	TP-1	TP-1	PROPERTY LINE		
MONITORING WELL	MW-1	MW-1	RIGHT-OF-WAY/EASEMENT	·	
BENCH MARK	BM	<b>Ф</b> ВМ	BUILDING SETBACK		
DRAIN MANHOLE	(D)	D	ZONING BOUNDARY		
CATCH BASIN			TOWN BOUNDARY		
DOUBLE CATCH BASIN		ě	STATE BOUNDARY	<b>—</b> – – <b>—</b>	
HEADWALL	in the second se		TREE LINE	uu	u
FLARED END SECTION			STREAM/RIVER		
DRAIN LINE	D	D	WETLAND EDGE		
UNDER DRAIN	UD	UD	50' WETLAND BUFFER	— 50'WB —	
ROOF DRAIN	RD		100' WETLAND BUFFER	- 100'WB -	
FOUNDATION DRAIN	FD	— FD —	200' WETLAND BUFFER	- 200'WB	
SEWER MANHOLE		<u>S</u>	GRAVEL ROAD		
GRAVITY SEWER LINE	s	<u> </u>	BITUMINOUS CONCRETE PAVEMENT		
	FM			EOP	EOP
			SAWCHT		
COMBINED SEWER LINE					
			RIPRAP STONE		
				000000	
WATER LINE		w	EROSION CONTROL FABRIC	PC	
FIRE PROTECTION	FP	FP	BITUMINOUS CURB		
WATER GATE		Ň	CAPE COD BERM		
FIRE HYDRANT		×	PRECAST CONCRETE CURB		PCC
WATER METER		₩M ⊙	VERTICAL GRANITE CURB	VGC	VGC
POST INDICATOR VALVE	PIV	PIV •	SLOPED GRANITE EDGING	SGE	SGE
WELL			LIMIT OF CURB TYPE	PCC VGC	PCC VGC
GAS LINE	G	G	SOLID WHITE LINE	SWL	SWL
GAS GATE	GV	GV	SOLID YELLOW LINE	SYL	SYL
GAS METER	GM	GM O	BROKEN WHITE LINE	BWL	BWL
TELECOMMUNICATIONS	TEL	TEL	BROKEN YELLOW LINE	BYL	<u>BYL</u>
TELEPHONE MANHOLE	T	()	SOLID WHITE CHANNELIZING LINE	SWCL	SWCL
ELECTRIC MANHOLE	E	E	SOLID YELLOW CHANNELIZING LINE	SYCL	SYCL
OVERHEAD ELECTRIC	OHE		DOUBLE YELLOW LINE	DYL	DYL
UNDERGROUND ELECTRIC	UGE		STOP LINE	SL	SL
ELECTRIC BOX	EB	EB	TOP/BOTTOM CURB ELEVATION	TC X	
UTILITY POLE		 ნე	SPOT GRADE	ELEV X	ELEV X
HAND HOLF	ПН	нн			<u> </u>
	EM	EM	MAJOR CONTOUR	5	5 -
	 ⊶⊓	<u>୍</u>		TOS	TOS
			BOTTOM OF SLOPE	BOS	BOS
		<u>0</u> ⊷0			
			BOILDING ENTRANCE	(	<u> </u>
IRAFFIC SIGNAL		•	BOLLARD	•	°
SIGNAL BOX			DUMPSIER PAD	D	P
TRANSFORMER PAD	Т		SINGLE SIGN		
FIRE ALARM	FA	FA —	DOUBLE SIGN		
FIRE ALARM CONTROL PANEL	FACP		PARKING COUNT		
FIRE ALARM BOX	FB •	⊢ FB ⊡	COMPACT PARKING COUNT		(8)
CHAIN LINK FENCE	X	X	ADA PARKING	Ĕ.	Ĕ.
STEEL GUARD RAIL			VAN ACCESSIBLE ADA PARKING	UAN VAN	L L VAN
WOOD GUARD RAIL			ADA RAMP		
STONE WALL			CROSSWALK		
RETAINING WALL		<u> </u>	LIMIT OF DISTURBANCE		LOD ·
TRAIN TRACKS		+++++++++	STRAW WATTLE		— sw -

## ABBREVIATIONS

ABANDON	ABAN	MINIMUM	MIN
ADJUST	ADJ	NOT IN CONTRACT	NIC
AMERICAN SOCIETY FOR TESTING & MATERIALS	ASTM	NOT TO SCALE	NTS
AMERICANS WITH DISABILITIES ACT	ADA	OFFICE OF WATER RESOURCES	OWR
APPROXIMATE	APPROX	ON CENTER	OC
BACK OF CURB	BOC	ONSITE WASTEWATER TREATMENT SYSTEM	OWTS
BITUMINOUS CURB	BC	PAVED WATER WAY	PWW
BOTTOM OF CURB	BOC	POLYVINYLCHLORIDE PIPE	PVC
BOTTOM OF SLOPE	BOS	PRECAST CONCRETE CURB	PCC
BOTTOM OF WALL	BOW	PROPERTY LINE	PL
CAPE COD BERM	ССВ	PROPOSED	PROP
CAST IRON PIPE	CIP	RADIUS	R
CATCH BASIN	СВ	REINFORCED CONCRETE PIPE	RCP
COLUMN	COL	REMOVE	REM
CONCRETE TRANSITION CURB	СТС	REMOVE AND DISPOSE	R&D
CONDUIT	COND	REMOVE AND RELOCATE	R&R
DOUBLE CATCH BASIN	DCB	REMOVE AND STORE	R&S
DUCTILE IRON PIPE	DIP	RETAIN	RET
EDGE OF PAVEMENT	EOP	RIGHT OF WAY	ROW
ELEVATION	ELEV	SIDEWALK	S/W
EXISTING	EXIST	SLOPED GRANITE EDGING	SGE
FOUNDATION	FDN	STANDARD DUTY PAVEMENT	SDP
FRAME AND COVER	F&C	STANDARD	STD
FRAME AND GRATE	F&G	TAPPING SLEEVE, VALVE AND BOX	TS&VB
GALVANIZED	GALV	TOP OF CURB	TOC
GRANITE CURB	GC	TOP OF SLOPE	TOS
HIGH DENSITY POLYETHYLENE	HDPE	TOP OF WALL	тоw
HYDRANT	HYD	TRANSITION	TRANS
INVERT ELEVATION	INV	TYPICAL	TYP
LANDSCAPE AREA	LA	UTILITY POLE	UP
MAXIMUM	MAX	VERTICAL GRANITE CURB	VGC
MONOLITHIC CONCRETE CURB	MCC	WATER GATE	WG

SILT FENCE

— SF —

**GENERAL NOTES** 

DOCUMENTS, INCLUDING CAD FILES FOR THE PROJECT, ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND SHALL NOT BE USED IN WHOLE OR IN PART FOR ANY OTHER PURPOSE THAN THE DEVELOPMENT OF THIS PROJECT WITHOUT THE EXPRESSED WRITTEN CONSENT OF WOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS, INC. (WOOD) ANY UNAUTHORIZED USE. RE-USE. ALTERATION, OR MODIFICATION OF THIS DATA SHALL BE AT THE USER'S RISK WITH NO LIABILITY ON THE PART OF WOOD. 2. UPON AWARD OF THE CONTRACT AND PRIOR TO THE START OF

CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND BONDS AND PAYING ALL STATE AND LOCAL FEES RELATING TO THE WORK SHOWN ON THESE DRAWINGS, THE CONSTRUCTION SPECIFICATIONS, AND CONTRACT DOCUMENTS 3. THE CONTRACTOR SHALL NOTIFY DIG-SAFE AT LEAST 72 BUSINESS HOURS PRIOR TO INITIATING ANY EXCAVATION WORK.

4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. WHERE SITE SPECIFICATIONS ARE NOT PROVIDED, THE CONTRACTOR SHALL ADHERE TO LOCAL MUNICIPAL STANDARDS OR THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AS APPLICABLE. WORK WITHIN LOCAL RIGHTS-OF-WAY SHALL ADHERE TO LOCAL MUNICIPAL STANDARDS: WORK WITHIN STATE RIGHTS-OF-WAY SHALL ADHERE TO STATE HIGHWAY STANDARDS. WHERE A DISCREPANCY EXISTS, THE MORE RESTRICTIVE STANDARD SHALL

5. REFERENCE MADE TO "STATE HIGHWAY STANDARDS," "STATE STANDARD SPECIFICATIONS," "STANDARD SPECIFICATIONS," OR "RIDOT STANDARDS" SHALL MEAN AND BE DEFINED AS THE "RHODE ISLAND DEPARTMENT OF TRANSPORTATION - STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION."

6. ANY WORK NOT MEETING THE APPROVED STANDARDS SHALL BE REMOVED IMMEDIATELY AND REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER. 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE SECURITY

AND JOB SAFETY AND SHALL CONFORM TO THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA). 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE

AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING ANY REQUIRED POLICE PROTECTION. ANY REQUIRED TEMPORARY CONSTRUCTION SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD). 9. THE CONTRACTOR SHALL NOT OBSTRUCT PUBLIC ROADWAYS,

SIDEWALKS, OR FIRE HYDRANTS WITHOUT FIRST OBTAINING THE NECESSARY PERMITS TO DO SO. 10. ACCESSIBLE ROUTES, PARKING SPACES, SIDEWALKS, AND RAMPS

SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2. THE CONTRACTOR SHALL INSTALL ALL EROSION AND FEDERAL "AMERICANS WITH DISABILITIES ACT (ADA)" AND LOCAL AND STATE STANDARDS. WHERE A DISCREPANCY EXISTS. THE MORE RESTRICTIVE STANDARD SHALL APPLY.

11. THE LIMITS-OF-WORK (A.K.A. "LIMIT OF DISTURBANCE") SHALL BE AS SHOWN ON THESE PLANS. AREAS DISTURBED BEYOND THESE DEFINED LIMITS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE LANDSCAPE AREAS SHALL BE RESTORED WITH 6 INCHES OF LOAM AND SEED.

12. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT THEIR PROPOSED INTERFACE WITH PROPOSED PAVEMENTS TO ENSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES. 13. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL AND STATE APPROVALS REQUIRED FOR THE PROJECT.

### **GENERAL UTILITY NOTES:**

ASSETS.

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL UTILITY COMPANIES AND WORK TRADES ASSOCIATED WITH THE WORK SHOWN ON THESE PLANS. 2. THE CONTRACTOR SHALL KEEP ALL LOCAL AGENCIES INFORMED OF

SCHEDULE AS NECESSARY. 3. EXISTING UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE LOCATION, SIZE, MATERIAL(S) AND ELEVATION OF ALL EXISTING UTILITIES WITHIN THE LIMIT OF WORK PRIOR TO ORDERING OR INSTALLING THESE MATERIALS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES OR UTILITY CONFLICTS PRIOR TO CONSTRUCTION. 4. WHERE AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED WORK. OR WHERE EXISTING CONDITIONS DIFFER FROM THE INFORMATION SHOWN ON THESE PLANS, SUCH THAT THE WORK CAN NOT BE COMPLETED AS INTENDED, THE CONTRACTOR SHALL IMMEDIATELY IDENTIFY AND PROVIDE THE ENGINEER WITH THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY IN CONFLICT. THE CONTRACTOR SHALL NOT CONTINUE WORK IN THIS AREA UNTIL THE APPROPRIATE REMEDIAL ACTION IS

AGREED UPON BY THE OWNER AND ENGINEER 5. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO OVERHEAD AND/OR UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THESE PLANS THROUGHOUT WORK ON THIS PROJECT

6. ALL STRUCTURES UNDER PAVED AREAS SHALL BE DESIGNED TO MEET HS-20 TRUCK LOAD. 7. PROVIDENCE WATER MUST BE CONTACTED 24 HOURS PRIOR TO ANY WORK ON OR IN CLOSE PROXIMITY TO ANY OF THEIR

8. PROPOSED SEWER/WATER LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVIDENCE WATER (PWSB) AND RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT (RIDEM) SEWER/WATER LINE SEPARATION REQUIREMENTS (SEE THIS PAGE). 9. CONTRACTOR SHALL INSTALL SEWER UTILITIES IN ACCORDANCE WITH NARRAGANSETT BAY COMMISSION RULES AND REQUIREMENTS. AT A MINIMUM, THE CONTRACTOR SHALL:

9.1. CONTACT AND SCHEDULE AN INSPECTION WITH THE NBC ENGINEERING DEPARTMENT 72 HOURS PRIOR TO ANY PHYSICAL CONNECTION WORK (401-461-8848, EXT. 388) 9.2. COMPLETE THE NBC DIRECT CONNECTION INSPECTION FORM UPON COMPLETION OF THE CONNECTION TO THE NBC SEWER

CONNECTION. 9.3. POST THE SEWER CONNECTION PERMIT ON THE CONSTRUCTION SITE THROUGHOUT THE CONSTRUCTION PROCESS

9.4. COMPLETE "AS-BUILT" PLANS OF THE SEWER CONNECTION IN ACCORDANCE WITH NBC REGULATIONS.

### LAYOUT AND MATERIALS NOTES

1. THE CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.

2. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THE ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS. MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.

FACE OF WALL. AND CENTER LINE OF PAVEMENT MARKINGS. UNLESS OTHERWISE NOTED ON THESE PLANS. 4. PROPOSED BOUNDS AND ANY OTHER EXISTING PROPERTY LINE

MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR. 5. THE CONTRACTOR SHALL PROVIDE TEMPORARY BITUMINOUS PATCH PUBLIC RIGHTS-OF-WAY UNTIL PERMANENT PATCHING IS INSTALLED.

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**DEMOLITION** 

- 1. THESE PLANS AND THEIR CORRESPONDING ELECTRONIC 1. WITHIN THE LIMIT OF WORK/DISTURBANCE, THE CONTRACTOR TO ENSURE THE LONG-TERM FUNCTION AND VALUE OF ANY AREA SHALL CLEAR AND GRUB ALL EXISTING VEGETATION AND STOCKPILE AND SCREEN TOPSOIL FOR RE-USE IN LANDSCAPE AREAS. THE CONTRACTOR SHALL ALSO REMOVE AND DISPOSE OF ALL EXISTING MANMADE FEATURES, INCLUDING BUT NOT LIMITED TO BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, WALLS, FENCES, UTILITIES (BOTH OVERHEAD AND UNDERGROUND), SIGNS, ETC., EXCEPT AS OTHERWISE NOTED ON THESE PLANS. THE EXISTING SOIL CAP SHALL NOT BE DISTURBED UNLESS OTHERWISE INDICATED ON THESE PLANS.
  - 2. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN
  - ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. THE EXTENT OF DEMOLITION DEPICTED ON THESE PLANS IS INTENDED TO AID THE CONTRACTOR IN BIDDING THE PROJECT AND S NOT NECESSARILY INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE FULL EXTENTS OF THE DEMOLITION WORK PRIOR TO CONTRACT AWARD AND SHALL NOT BE COMPENSATED FOR UNFORESEEN CONDITIONS ONCE THE WORK HAS COMMENCED.
  - 4. UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THESE PLANS, THE ENGINEER HAS NOT PREPARED PLANS FOR THE DISCOVERY, REMOVAL, ABATEMENT, OR DISPOSAL OF ANY HAZARDOUS OR TOXIC MATERIALS FOUND DURING CONSTRUCTION.
  - SHOULD THE CONTRACTOR ENCOUNTER SUSPECTED CONTAMINATED SOIL, GROUNDWATER, OR OTHER MATERIAL DURING EXCAVATION, THE CONTRACTOR SHALL IMMEDIATELY STOP WORK IN THE SUSPECTED AREA AND NOTIFY THE OWNER SO THAT THE APPROPRIATE ACTIONS AND TESTING CAN TAKE PLACE.

<u>100–YEAR FLOOD PLAIN IMPACT AVOIDANCE</u>

ACCORDING TO FEMA COMMUNITY PANEL NUMBER 44005C0101J, EFFECTIVE SEPTEMBER 4, 2013, THE ENTIRE SITE LIES WITHIN ZONE X. THIS ZONE DESIGNATES "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".

EXISTING CONDITIONS

EXISTING CONDITIONS ARE COMPILED FROM THE FOLLOWING SOURCES: FIELD SURVEY BY WATERMAN ENGINEERING DATED MARCH 16, 2020. HORIZONTAL DATUM IS RI STATE PLANE (NAD 83). VERTICAL DATUM, IN U.S. SURVEY FEET IS REFERENCED TO NAVD88. 2. SUPPLEMENTAL INFORMATION PROVIDED THROUGH FIELD VISITS BY WOOD.

<u>ROSION CONTROLS/CONSTRUCTION SEQUENCING</u>

- 1. PRIOR TO THE START OF CONSTRUCTION OF ANY EARTHWORK ACTIVITIES, THE CONTRACTOR SHALL NOTIFY ALL APPLICABLE AGENCIES AND INSTALL THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL PERMITS PERTAINING TO THIS PROJECT.
- SEDIMENTATION (E&S) CONTROL MEASURES SHOWN ON THE PLAN SET IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK."
- THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN AND/OR UPGRADE THESE MEASURES, AS NECESSARY, THROUGHOUT CONSTRUCTION, TO MEET THE REQUIREMENTS OF ALL RELATED PERMITS FOR THE PROJECT.
- THE CONTRACTOR SHALL PREPARE AND MAINTAIN A RED-LINED COPY OF THE PLANS SHOWING INTENDED AREAS FOR STAGING, STOCKPILING, WASHOUT, SOLID WASTE CONTAINMENT, AND TEMPORARY SEDIMENTATION CONTROL AREAS. ALL SUCH AREAS IN SITUATIONS WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SHALL BE LOCATED OUTSIDE OF AREAS INTENDED FOR HORIZONTAL AND VERTICAL SEPARATION AS STIPULATED ABOVE, THE INFILTRATION PRACTICES. 5. EROSION CONTROL DEVICES:
- a. AT LEAST ONE STABILIZED CONSTRUCTION EXIT SHALL BE INSTALLED FOR ACCESS TO THE PROJECT BY CONSTRUCTION VEHICLES. THE CONSTRUCTION EXIT SHALL BE INSTALLED BEFORE CONSTRUCTION VEHICLES ARE ALLOWED TO ENTER THE CONSTRUCTION SITE. ADDITIONAL EXITS SHALL BE INSTALLED IF MORE THAN ONE ACCESS POINT IS ANTICIPATED BY THE CONTRACTOR. A WASH OUT PAD MAY ALSO BE INSTALLED TO WASH CONSTRUCTION VEHICLES EXITING THE SITE.
- b. ROADS ADJACENT TO THE CONSTRUCTION SITE SHALL BE CLEAN AT THE END OF EACH WORK DAY. c. STRAW WATTLE AND SILT SACKS SHALL BE INSTALLED AT ALL
- DOWN-GRADIENT CATCH BASINS WITHIN THE LIMIT OF WORK TO CONTROL EROSION AND SEDIMENTATION AND TO PROTECT OFF-SITE AREAS. THESE DEVICES SHALL BE INSTALLED AS SHOWN ON THE E&S CONTROL PLAN PRIOR TO INITIATION OF MAJOR SITE WORK ACTIVITIES AND SHALL BE MAINTAINED/REPAIRED UNTIL B. SEWERS CROSSING WATER LINES FINAL STABILIZATION OF ALL DISTURBED AREAS.
- d. SILT FENCE SHALL BE INSTALLED AROUND ALL EARTH STOCKPILES. STOCKPILES SHALL BE STABILIZED WITH TEMPORARY SEED ACCORDING TO NOTE 11 BELOW. IF TEMPORARY SEED IS NOT FEASIBLE OR NOT PRACTICAL, STOCKPILES SHALL BE COVERED WITH POLYETHYLENE SHEETING OR SIMILAR PRODUCT AT THE END OF EACH DAY TO MINIMIZE DUST
- 6. THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS ARE INTENDED TO BE THE MINIMUM NECESSARY AT THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN AND SUPPLEMENT THESE EROSION CONTROLS, AS NECESSARY THROUGHOUT CONSTRUCTION, TO PREVENT DAMAGE TO SURROUNDING PROPERTIES.
- THE CONTRACTOR SHALL PREVENT DUST, DEBRIS, AND SEDIMENTS FROM LEAVING THE SITE DURING CONSTRUCTION AND SHALL BE RESPONSIBLE TO REPAIR, CLEAN UP, AND TAKE OTHER CORRECTIVE ACTION IMMEDIATELY OR NO LATER THAN 24 HOURS AFTER ANY ISSUE ARISES.
- THE CONTRACTOR SHALL CONTROL CONSTRUCTION STORMWATER RUNOFF IN SUCH A MANNER AS TO PREVENT DAMAGE TO DOWN-GRADIENT PROPERTIES; ANY PROPERTIES SO DAMAGED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- 9. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL DEVICES ON A WEEKLY BASIS AND WITHIN 12 HOURS AFTER A RAINFALL EVENT. THE CONTRACTOR SHALL IMMEDIATELY REPAIR DAMAGED DEVICES AND SHALL REMOVE ACCUMULATED SEDIMENTS IN ACCORDANCE WITH LOCAL REQUIREMENTS WHEN APPLICABLE. ACCUMULATED SEDIMENTS SHALL BE REMOVED FROM THE SITE OR PLACED AWAY FROM CLOSED DRAINAGE SYSTEMS.
- 10. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PERFORM EARTHWORK IN PHASES THAT ALLOW FOR STABILIZATION OF THESE AREAS IN A RELATIVELY SHORT TIME PERIOD AND TO DISCOURAGE EROSION AND SEDIMENTATION. ANY EXPOSED SOILS INTENDED TO REMAIN FOR MORE THAN 14 DAYS SHALL BE STABILIZED WITH MULCH, OR TEMPORARY SEED AND WATERED TO ENCOURAGE VEGETATION.
- 11. THE CONTRACTOR SHALL INSTALL PERMANENT SEEDING BETWEEN APRIL 15TH AND JUNE 15TH AND/OR AUGUST 15TH TO OCTOBER
- 12. THE CONTRACTOR SHALL APPLY PERMANENT SOIL STABILIZATION MEASURES TO ALL GRADED AREAS WITHIN SEVEN (7) DAYS OF ESTABLISHING FINAL GRADE.
- 13. THE CONTRACTOR SHALL PERFORM A FINAL INSPECTION OF ALL EXISTING CATCH BASINS, DRAINAGE PIPING, AND ASSOCIATED DRAINAGE STRUCTURES WITHIN THE PROJECT LIMITS TO ENSURE THAT ALL SEDIMENTS HAVE BEEN REMOVED BEFORE WORK IS DEEMED COMPLETE.
- 14. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL E&S MEASURES ONLY AFTER FINAL PAVEMENT IS PLACED VEGETATION IN LANDSCAPE AREAS IS WELL ESTABLISHED.
- 3. DIMENSIONS ARE TO/FROM FACE OF CURB, FACE OF BUILDING, 15. PERMANENT CONTROLS OR SURFACE STABILIZATION SHALI COMMENCE AS SOON AS PRACTICABLE BUT IN NO CASE MORE THAN 14 DAYS AFTER COMPLETION OF FILLING AND GRADING ACTIVITIES. AREAS WHICH WILL NOT BE REWORKED FOR 14 CALENDAR DAYS SHALL BE TEMPORARILY SEEDED AND MULCHED AS SOON AS IT IS KNOWN WITH REASONABLE CERTAINTY THAT WORK WILL BE STOPPED FOR AT LEAST 14 CALENDAR DAYS.
- FOR ANY TRENCH WORK WITHIN PAVEMENT OR SIDEWALK AREAS IN 16. TEMPORARY EROSION AND SEDIMENT CONTROL BMPS (INCLUDING STRAW WATTLE AND CONSTRUCTION ENTRANCE) SHALL BE REMOVED WITHIN 30 CALENDAR DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY BMPS ARE NO LONGER NEEDED AS DETERMINED BY THE ENGINEER. TRAPPED SEDIMENT SHALL BE REMOVED OR STABILIZED ON SITE. DISTURBED SOIL RESULTING FROM REMOVAL OF BMPS OR VEGETATION SHALL BE PERMANENTLY STABILIZED (95% VEGETATION DENSITY).
  - 17. THE EROSION CONTROL DEVICES SHOWN ON THE DRAWING REPRESENT THE MINIMUM REQUIRED FOR EROSION CONTROL AND SHALL BE INSTALLED AS REQUIRED. THE CONTRACTOR SHALL ADD TO THESE DEVICES ANY AND ALL MEASURES AS REQUIRED BY THE ENGINEER TO EFFECTIVELY PREVENT EROSION AND MIGRATION OF SEDIMENT FROM THE WORK AREA.

INFILTRATION AREAS CONSTRUCTION:

- THESE AREAS SHALL NOT BE USED FOR TEMPORARY OR DEWATERING AREAS. THESE AREAS SHALL REMAIN OFF-LINE UNTIL THE ENTIRE
- OR VEGETATION, AS APPLICABLE. AWAY FROM THESE AREAS TO THE GREATEST EXTENT PRACTICABLE
- CONSTRUCTION. THE SUBGRADE BELOW THESE AREAS SHALL NOT BE COMPACTED;
- FOR MATERIALS STOCKPILES. PERFORMED USING HAND OR HYDRAULIC EQUIPMENT TO ENSURE

THAT THE NATURAL FILTRATION EARTH MATERIAL IS NOT DISTURBED OR OTHERWISE COMPACTED. UPON COMPLETION OF CONSTRUCTION OF ANY OF THESE AREAS, THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES TO PREVENT SILTATION OF THE FILTER MATERIALS.

RIDEM SEWER/WATER LINE SEPARATION POLICY FOR DESIGN OF SANITARY SEWERS

A. LATERAL PLACEMENT OF SEWERS AND WATER LINES

SEWERS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER LINE. THE DISTANCE SHALL BE MEASURED EDGE-TO-EDGE. THERE IS NO MINIMUM VERTICAL SEPARATION REQUIRED PROVIDED THE 10 FOOT HORIZONTAL SEPARATION IS MAINTAINED. STRUCTURES, OTHER THAN PIPELINES OR CONDUITS, THROUGH WHICH SANITARY WASTEWATER FLOWS SUCH AS, BUT NOT LIMITED TO, MANHOLES, VALVE VAULTS, METER PITS AND PUMP STATION WET WELLS SHALL ALSO BE CONSTRUCTED AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER LINE, MEASURED EDGE-TO-EDGE.

IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE RIDEM OFFICE OF WATER RESOURCES (OWR) MAY ALLOW DEVIATION ON A CASE-BY-CASE BASIS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER. SUCH DEVIATION MAY ALLOW INSTALLATION OF THE SEWER PIPELINES AND/OR STRUCTURES CLOSER TO A WATER LINE, PROVIDED THAT: 1. THE SEWER PIPELINE AND/OR STRUCTURES AND WATER LINE ARE LAID IN SEPARATE TRENCHES, OR

2. THE SEWER PIPELINE AND/OR STRUCTURES AND WATER LINE MAY BE INSTALLED IN THE SAME TRENCH WITH THE WATER LINE PLACED ON A BENCH OF UNDISTURBED EARTH, AND 3. IN EITHER CASE, THE CROWN OF THE SEWER PIPELINE SHALL BE AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER LINE.

FOLLOWING PROTECTION SHALL BE PROVIDED:

- SPECIFICATIONS, OR
- SEPARATION.

SEWERS CROSSING OVER WATER LINES SHOULD BE AVOIDED, BUT IF CONDITIONS WARRANT THIS SITUATION, THEN ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO MAINTAIN LINE AND GRADE. SEWERS CROSSING UNDER WATER LINES SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL SEPARATION OF 18 INCHES BETWEEN THE INVERT OF THE WATER LINE AND THE CROWN OF THE SEWER. RELOCATION OF AN EXISTING WATER LINE MAY BE NECESSARY TO ACHIEVE THIS VERTICAL SEPARATION. RELOCATED WATER LINES SHALL BE CONSTRUCTED OF AN AWWA-APPROVED MATERIAL FOR POTABLE WATER CONVEYANCE AND DESIGNED FOR THE REQUIRED WATER SERVICE PRESSURE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE CROSSING, MEASURED PERPENDICULAR TO THE SEWER. THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER

LINE JOINTS.

WHERE CONDITIONS PREVENT AN 18 INCH VERTICAL SEPARATION FROM BEING MAINTAINED, THE FOLLOWING METHODS SHALL BE SPECIFIED: 1. THE DESIGN AND CONSTRUCTION OF THE SEWER MUST MEET THE REQUIREMENTS APPLICABLE TO WATER LINES (ANY AWWA-APPROVED MATERIAL FOR POTABLE WATER CONVEYANCE) FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE CROSSING. MEASURED PERPENDICULAR TO THE WATER LINE AND PRESSURE TESTED IN ACCORDANCE WITH AWWA SPECIFICATIONS,

PROPOSED FOR INFILTRATION, INCLUDING BUT NOT LIMITED TO SUBSURFACE INFILTRATION CHAMBERS, THE CONTRACTOR SHALL EXERCISE THE FOLLOWING BEST MANAGEMENT PRACTICES THROUGHOUT

CONSTRUCTION SEDIMENTATION CONTROL, SEDIMENTATION BASINS,

CONSTRUCTION AREA CONTRIBUTING TO THESE AREAS HAS BEEN STABILIZED WITH BUILDINGS, BUILDING FOUNDATIONS, PAVEMENT, STORMWATER RUNOFF DURING CONSTRUCTION SHALL BE DIRECTED

WHERE NOT FEASIBLE, THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROLS UP-GRADIENT OF THESE AREAS TO PREVENT SEDIMENTATION OF THESE AREAS DURING

THEREFORE, THE CONTRACTOR SHALL RESTRICT ACCESS TO THESE AREAS BY HEAVY EQUIPMENT AND SHALL NOT USE THESE AREAS EXCAVATION AND CONSTRUCTION OF THESE AREAS SHALL BE

1. ENCASEMENT OF THE SEWER PIPELINE IN CONCRETE (MIN. 6 INCH THICKNESS) OR A CARRIER PIPE FOR AT LEAST 10 FEET EITHER SIDE OF THE AREA NOT COMPLYING WITH THE MINIMUM HORIZONTAL AND VERTICAL SEPARATION, OR 2. THE DESIGN AND CONSTRUCTION OF THE SEWER PIPELINE MUST MEET THE REQUIREMENTS APPLICABLE TO WATER LINES (ANY AWWA-APPROVED MATERIAL FOR POTABLE WATER CONVEYANCE), AND PRESSURE TESTED IN ACCORDANCE WITH AWWA

3. IN INSTANCES OF CONFLICT WITH SANITARY WASTEWATER STRUCTURES MENTIONED ABOVE, RELOCATE THE WATER LINE TO ACHIEVE EITHER A 10 FOOT HORIZONTAL OR 18 INCH VERTICAL

2. EITHER THE WATER LINE OR THE SEWER MAY BE ENCASED IN CONCRETE (MIN. 6 INCH THICKNESS) OR A CARRIER PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE CROSSING, MEASURED PERPENDICULAR TO THE WATER LINE. THE CARRIER PIPE SHALL BE DESIGNED AND CONSTRUCTED OF MATERIALS WHICH ARE SATISFACTORY TO THE OWR, OR 3. ANY OTHER METHODS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER, WHICH ENSURE ADEQUATE WATERTIGHTNESS AND ARE SATISFACTORY TO THE OWR.



NOT FOR CONSTRUCTION			
SEAL:			
C No.	BEAULI BEAULI BEAULI BEAULIN BEAULI	EU-SHEA 5701 SRED ENGINEER L)	
	0/20/~		
		DESCRIPTION	
	DATE	DESCRIPTION	
COMMUNITY HEALTH CENTERS 375 ALLENS AVENUE PROVIDENCE, RI 02905 PROJECT: PCHC CAPITOL HILL PROPOSED BUILDING EXPANSION 40 CANDACE STREET PROVIDENCE, RI 02908			
LEGEND & NOTES			
ISSUED FO	R:	PERMITTIN	G
DATE:		MAY 26, 202	20
SCALE:		N/	A
DRAWN BY	:	MJ	N
CHECKED	BY:	CN	в
PROJECT N	10:	365320005	59

SHEET 2 OF 7







No. REGISTERED PROFESSIONAL ENGINEER (CIVIL) 5/26/2020				
REVISION	DATE	DESCRIPTION		
PROVIDENCE COMMUNITY HEALTH CENTERS 375 ALLENS AVENUE PROVIDENCE, RI 02905 PROJECT: PCHC CAPITOL HILL PROPOSED BUILDING EXPANSION 40 CANDACE STREET PROVIDENCE, RI 02908 TITLE: DEMOLITION PLAN				
	<b>D</b> .	DEDMITTING		
	···			
SCALE: 1" = 10'				
DRAWN BY	:	MJW		
CHECKED I	BY:	CNB		
PROJECT NO: 3653200059				
<b>C-2</b> SHEET 3 OF 7				









![](_page_6_Picture_1.jpeg)

![](_page_6_Picture_2.jpeg)

![](_page_7_Figure_0.jpeg)

![](_page_7_Figure_1.jpeg)

![](_page_7_Figure_2.jpeg)

![](_page_7_Figure_3.jpeg)

UNLESS OTHERWISE AGREED IN A WRITTEN CONTRACT BETWEEN WOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS, INC. AND ITS CLIENT: (I) THIS DOCUMENT BY AND THE CONTEXT AND FOR THE EXPRESS PURPOSE FOR WHICH IT HAS BEEN DELIVERED. ANY OTHER USE OR RELIANCE ON THIS DOCUMENT BY AND THE CONTEXT AND FOR THE EXPRESS PURPOSE FOR WHICH IT HAS BEEN DELIVERED. ANY OTHER USE OR RELIANCE ON THIS DOCUMENT BY ANY THIRD PARTY IS AT THAT PARTY'S SOLE RISK AND RESPONSIBILITY

THE HOT-SEAL MATERIAL SHALL COMPLETELY FILL THE SAWCUT SUCH THAT AFTER COOLING THE LEVEL OF THE SEALER WILL NOT BE GREATER THAN 4. CARE SHALL BE TAKE DURING THE SEALING OPERATION TO INSURE THAT

![](_page_7_Figure_7.jpeg)

SAWCUT

![](_page_7_Figure_8.jpeg)

![](_page_7_Figure_9.jpeg)

![](_page_7_Figure_10.jpeg)

![](_page_7_Picture_11.jpeg)

![](_page_7_Figure_12.jpeg)

wood\_7.10

![](_page_7_Figure_13.jpeg)

CAPE COD BERM

SLOPE VARIES

![](_page_7_Figure_14.jpeg)

![](_page_7_Figure_15.jpeg)

![](_page_7_Figure_16.jpeg)

**| →** 12" **→** 

![](_page_7_Figure_17.jpeg)

![](_page_7_Figure_18.jpeg)

wood\_2.5

wood\_8.1

——— B —

![](_page_7_Figure_19.jpeg)

![](_page_7_Figure_20.jpeg)

![](_page_7_Figure_21.jpeg)

![](_page_7_Figure_22.jpeg)

NOTES: 1. DETECTABLE WARNING MAT SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS FROM THE LATEST ADA GUIDELINES. 2. THE DETECTABLE WARNING MAT SHALL EXTEND ACROSS THE ENTIRE WIDTH OF THE SIDEWALK OR ADA RAMP. 3. THE DETECTABLE WARNING MAT SHALL BE INSTALLED ACCORDING TO THE MANUFACTURERS REQUIREMENTS.

4. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER ON THE COLOR OF THE DETECTABLE WARNING MAT WHILE COMPLYING WITH THE ADA GUIDELINES.

wood\_1.4

![](_page_7_Figure_25.jpeg)

**DETECTABLE WARNING MAT** 

![](_page_7_Figure_26.jpeg)

![](_page_7_Figure_27.jpeg)

![](_page_7_Picture_28.jpeg)

NOT FOR CONSTRUCTION			
SEAL:			
C N BEAULIEU-SHEA No. No. S701 Welaution REGISTERED PROFESSIONAL ENGINEER (CIVIL) 5/26/2020			
REVISION	DATE	DESCRIPTION	
CONMONITY REALTR CENTERS 375 ALLENS AVENUE PROVIDENCE, RI 02905 PROJECT: PCHC CAPITOL HILL PROPOSED BUILDING EXPANSION 40 CANDACE STREET PROVIDENCE, RI 02908			
DETAILS - 1			
ISSUED FO	R:	PERMITTING	
DATE: MAY 26, 2020			
SCALE: N/A			
DRAWN BY: MJW			
CHECKED BY: CNB			
PROJECT NO: 3653200059			

SHEET 6 OF 7

![](_page_8_Figure_0.jpeg)

![](_page_8_Figure_4.jpeg)

3130 VERONA AVE BUFORD, GA 30518 PHN (770) 932-2443 <sup>®</sup> FAX (770) 932-2490 Nylopiast www.nyloplast-us.com INLINE DRAIN USING INSERTA-TEE TO CONNECT TO LARGE

DIAMETER MAINLINE QUICK SPEC INSTALLATION DETAIL

![](_page_8_Picture_8.jpeg)

NOT FOR CONSTRUCTION			
SEAL:			
C N BEAULIEU-SHEA No. S7701 Wolling REGISTERED PROFESSIONAL ENGINEER (CIVIL) 5/26/2020			
REVISION	DATE	DESCRIPTION	
375 ALLENS AVENUE PROVIDENCE, RI 02905 PROJECT: PCHC CAPITOL HILL PROPOSED BUILDING EXPANSION 40 CANDACE STREET PROVIDENCE, RI 02908			
DETAILS - 2			
ISSUED FO	R:	PERMITTING	
DATE: MAY 26, 2020			
SCALE: N/A			
DRAWN BY: MJW			
CHECKED BY: CNB			
PROJECT NO: 3653200059			

SHEET 7 OF 7