

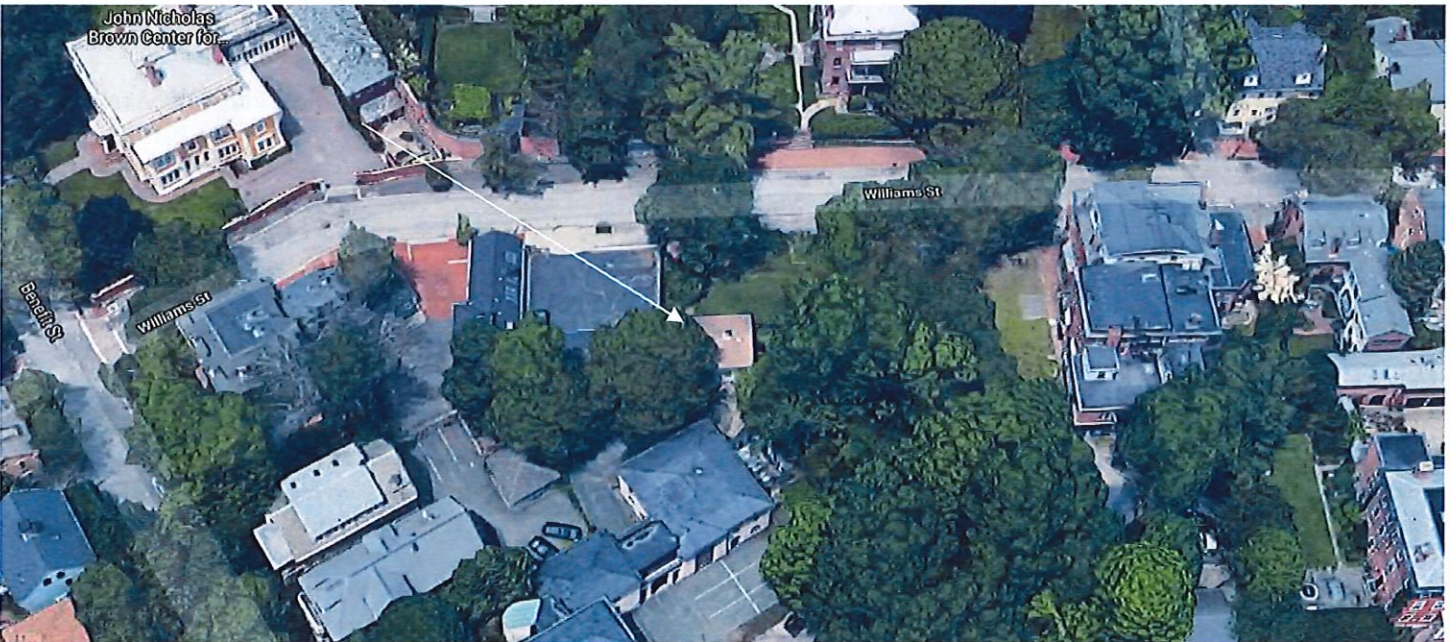
4. CASES 20.060 & 20.061, 59 WILLIAMS STREET, House, 1875-95 (COLLEGE HILL)

Victorian Cottage; 1 story; clapboard; gabled roof with bracket cornice; 4 bays wide with bracketed pediments above windows and doorway. Mid-20th C. garage (NC)

CONTRIBUTING/ Garage is NON-CONTRIBUTING to the College Hill National Historic Landmarks District



Arrow indicates 59 Williams Street.



Arrow indicates project location, looking north.

Applicant: Joseph Furtado, 188 Pratt Street, Providence, RI 02906

Owner: College Hill Realty Trust, 188 Pratt Street, Providence, RI 02906

Architect: Friedrich St. Florian, FAIA, 146 Westminster Street, Providence, RI 02903

Overall Proposal: The scope of work proposed consists of Demolition, Moving/Relocation, Major Alterations and New Construction and includes:

- The applicant is demolition of the existing mid-20th C. four-bay garage; the moving/relocation of the existing cottage to front Williams St, and the construction of a new rear addition and two-bay detached garage.

Demolition Issues: The following issues are relevant to this application:

Significance

The building proposed for demolition is a secondary, non-contributing structure with minimal architectural or historical merit. The existing four-bay, one-story, brick-over-wood garage at 59 Williams Street is not identified within the College Hill local historic district. Staff was unable to locate building record file for the garage, but a comparison of Sanborn Maps indicates that the garage was built post 1921, but before 1955, replacing a barn and stables. The removal of the building will not irreparably diminish the architectural or historical character of the district as a whole.

Demolition Alternatives

Staff is satisfied that given the minimal architectural, there are no alternatives to demolition because no reasonable expectation exists that the structure can be sold for preservation either on or off site. Staff recommends that the documentation requirements relative to demolition alternatives and financial information for the garage be waived as it pertains to a non-contributing structure.

Demolition Criteria

Staff finds the building slated for demolition to be a secondary structure and would use the PHDC's secondary criteria for approving demolition. This proposal meets these criteria, in that it will have little effect on surrounding buildings or on the district as a whole.

Recommendations: The staff recommends the PHDC make the following findings of fact:

- a) The mid-20th C, four-bay, one-story, brick-over-wood garage at 59 Williams Street is a non-contributing structure and has minimal to no historical and architectural significance, both on its own merit and in relation to the surrounding College Hill local historic district. The removal of the building is consistent with the non-contributing criteria of the PHDC demolition guidelines, in that it would have little impact on the property and the district as a whole;
- b) The application for demolition is complete. The PHDC waives the requirement for documenting financial information relative to the demolition, because the building slated for demolition is a non-contributing structure;
- c) The PHDC is satisfied that there are no alternatives to demolition because no reasonable expectation exists that the secondary structure can be sold for preservation either on or off site;
- d) The review of the proposed demolition is hereby completed in one meeting, as allowed for secondary and non-contributing structures under the PHDC demolition guidelines; and,
- e) The work as proposed is in accord with PHDC Standard 8 in the following way: the work will be done so that it does not destroy the historic character of the property or the district.

Staff recommends a motion be made stating that: 59 Williams Street is a structure of historical and architectural significance that contributes to the significance of the College Hill local historic district being listed as a contributing structure to the College Hill National Historic Landmarks District. The mid-20th C, four-bay, one-story, brick-over-wood garage at 59 Williams Street is a non-contributing structure and has minimal to no historical and architectural significance, both on its own merit and in relation to the surrounding College Hill local historic district, having been identified as such, and is considered secondary and non-contributing by the Commission having minimal to no historical and architectural significance, both on its own merit and in relation to the surrounding College Hill local historic district. The application for demolition is complete. The Commission waives the requirement for documenting financial information relative to the demolition, because the building slated for demolition is a non-contributing structure. The Commission is satisfied that there are no alternatives to demolition because no reasonable expectation exists that the secondary structure can be sold for preservation either on or off site. The review of the proposed demolition is hereby completed in one meeting, as allowed for secondary and non-contributing structures under the Commission's demolition guidelines. The Commission grants Final Approval of the application as submitted as the proposed alterations are appropriate having determined that they are in compliance with Standard 8 as they are aesthetically appropriate.

to the property and district and will be done so that the work does not destroy the historic character of the property or the district as the proposed alterations will not have an adverse effect on the property or district, and the recommendations in the staff report, with staff to review any additional required details

Relocation/Major Alteration/New Construction Issues: The following issues are relevant to this application:

- An undated analysis, most likely from the mid 1990s, by William McKenzie Woodward, Architectural Historian, was located in the Commission's files (attached). Mr. Woodward's analysis states that the building is probably a portion of another house moved to its current location in the late 1880s. This analysis is based on physical and circumstantial evidence as Mr. Woodward could find no written documentation in local records and standard sources. Staff agrees with Mr. Woodward's conclusions;
- The relocation of the structure fills a gap on Williams Street with an appropriately massed structure, while allowing this older structure to be rehabilitated as a valid single-family residence in the neighborhood. The proposed addition and detached garage are appropriately scaled and will be minimally-to-not visible from the public rights-of-way; and
- Plans, renderings and photos have been submitted.

Recommendations: The staff recommends the PHDC make the following findings of fact:

- a) 59 Williams Street is a structure of historical and architectural significance that contribute to the significance of the College Hill local historic district, having been recognized as a contributing structure to the College Hill National Historic Landmarks District;
- b) The application for Moving/Relocation, Major Alterations and New Construction is considered complete for conceptual approval; and,
- c) The work as proposed is in accord with PHDC Standard 8 as follows: as the proposed alterations are appropriate having determined that the proposed construction is aesthetically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district.

Staff recommends a motion be made stating that: The application is considered complete. 59 Williams Street is a structure of historical and architectural significance that contribute to the significance of the College Hill local historic district, having been recognized as a contributing structure to the College Hill National Historic Landmarks District. The Commission grants Conceptual Approval of the proposal as submitted as the proposed New Construction is appropriate having determined that the proposed construction is aesthetically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district, citing and agreeing to the recommendations in the staff report, with the applicant to return to the Commission for final approval.

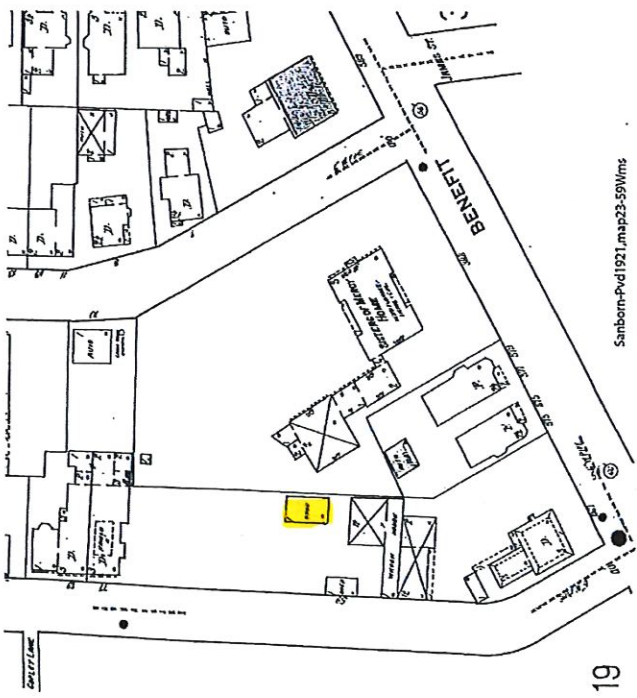
ANALYSIS

The building is probably a portion of another house moved to this site in the late 1880s. Specific written documentation of this conclusion does not exist in local records and standard sources; this analysis therefore depends on physical and circumstantial evidence.

Visually the building relates to local high-style Italianate domestic architecture built between 1850 and 1880. The flushboard siding and pedimented windows were no longer stylish by the mid- to late 1880s, and careful artisanship of waning style and detail is uncharacteristic of the architecture of outbuildings, which, if stylish, reflect the architecture of the main building. Its scale, particularly that of the ornamentation, is more monumental than typical for buildings of its size and suggests that it relates to a larger whole.

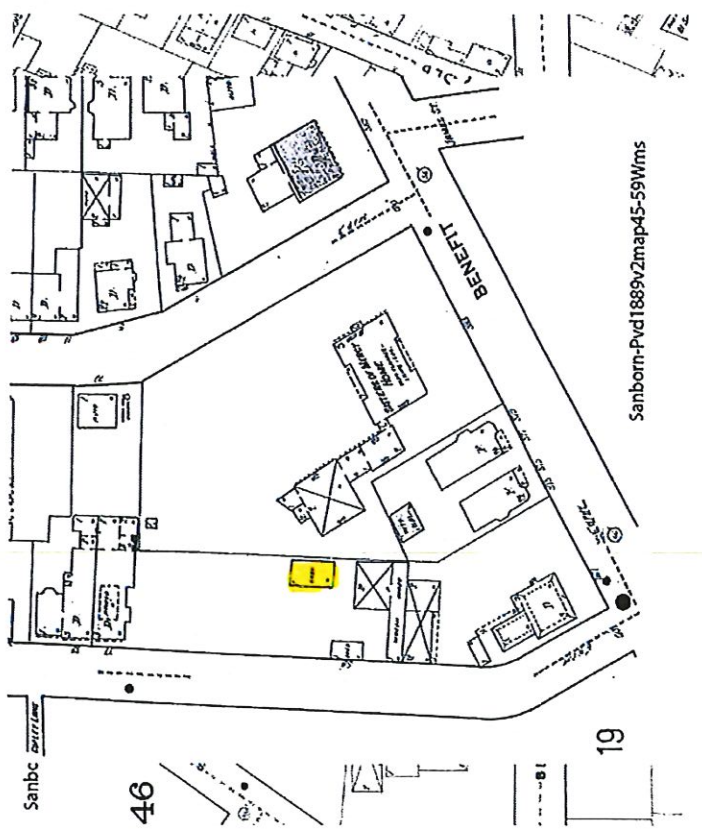
Physical evidence shows that the building has been reconfigured. The existence of the coved ceiling above and the continuous flooring below the partitions in the three easternmost bays of living space indicate that the space was originally one large room. The treatment of the entrance suggests that a door was inserted into what was originally a window opening. The consistent notching of the floor joists below the first story strongly suggests that the building rested on another foundation; there is no reason for the notching for this foundation. Further investigation is needed to determine the evolution of the building from conjectured original form to present conditions.

Wm McKenzie Woodward
Architectural Historian



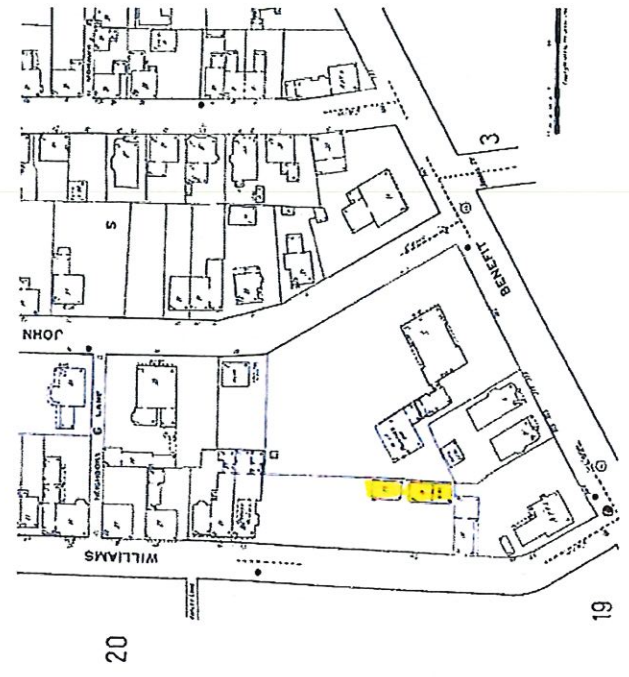
Sanborn-Pvd1921_map23-59Wms

19



Sanborn-Pvd1889v2map45-59Wms

19



Sanborn-Pvd1921_repub1956v2map23-59Wms

20

19

DEPARTMENT OF INSPECTION & STANDARDS

DATE May 14, 1927 **PERMIT NO.** 1226
LOCATION Williams St near Benefit St
WARD 1 **PLAT** 16 **LOT** 237
OWNER Malcolm G. Chase
ARCHITECT Ciccone Cement Block Co
BUILDER Cement Blocks
MATERIAL
NATURE OF WORK New
NO. OF BLDGS. one
NO. OF STORIES one
TO BE USED FOR Garage (4)
NO. OF FAMILIES
FIRE DISTRICT Second

DEPARTMENT OF INSPECTION & STANDARDS

DATE 8-19-97 **PERMIT NO.** 284
LOCATION 59 Williams St
WARD **PLAT** 16 **LOT** 595
OWNER Allan Pipkin
ARCHITECT
BUILDER owner
MATERIAL 5b
NATURE OF WORK interior demo no structural work under sup of Eng.
NO. OF BLDGS. Yoder & Tidwell Ltd. no exterior work to be done
NO. OF STORIES 1
TO BE USED FOR one (1) family
NO. OF FAMILIES one (1) family
FIRE DISTRICT 2 1000

DEPARTMENT OF INSPECTION & STANDARDS,

DATE 12-19-97 **PERMIT NO.** 882
LOCATION 57-59 Williams St
WARD **PLAT** 16 **LOT** 595
OWNER Ann Pipkin
ARCHITECT
BUILDER Herman Johnson
MATERIAL 5b
NATURE OF WORK erect new one story wood frame addition at right
NO. OF BLDGS. side of house and garage 6'-10"x17'-6" for new
NO. OF STORIES bathroom & additional kitchen space additional
TO BE USED FOR permit req. to support snow drift load
NO. OF FAMILIES one family
FIRE DISTRICT one family
 2 \$7,500

ZB Res 8099

ADD ROOF FRAMING 1/23/98

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
submitted to the
PROVIDENCE HISTORIC DISTRICT COMMISSION
June 5, 2020

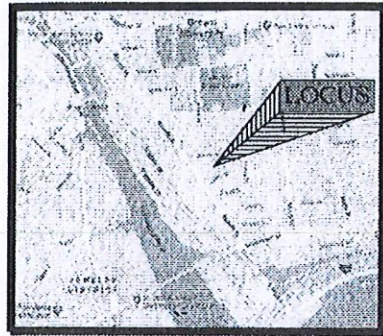
Friedrich StFlorian Architects

Attachment #1: Scope of Work

1.

59 Williams Street, Providence, RI 02906 (Parcel A)

Parcel A (5,016 SF), currently occupied by a four car garage and a parking lot will be transformed into a residential site featuring a historically significant cottage that will be moved from its current location to a more prominent site along Williams Street (see attached Plan C2). A 338 SF addition will be added to the southeast corner of the cottage. It will house a master bedroom suite. A new two car garage at the southwest corner of the site will replace the existing four car garage that will be demolished. The garage is in poor condition and in our judgment a "non-contributing" structure. The residence will feature an outdoor patio and a landscaped city garden. Hedges along the driveway and the southern edge of the site will create a welcome sense of scale and privacy for the property.



Location Map



CROSSMAN ENGINEERING
 Rhode Island: 151 Canterbury Road, Warwick, RI 02886
 Massachusetts: 163 Commonwealth Avenue, North Attleboro, MA 02763
 Phone: (401) 738-5660 Fax: (508) 609-1700
 Email: ca@crossmaneng.com

THESE DRAWINGS ARE THE PROPERTY OF CROSSMAN ENGINEERING AND HAVE BEEN PREPARED FOR THEIR CLIENT FOR A SPECIFIC SITE AND PROJECT. THESE DRAWINGS ARE NOT TO BE COPIED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF CROSSMAN ENGINEERING.

PROJECT TITLE
PROPOSED SUBDIVISION PLAN
PLAT 16, LOTS 685 and 686
(FORMERLY LOT 595)
ZONING DISTRICTS R-1 and R-2
RESIDENTIAL DISTRICTS
HISTORIC DISTRICT
59 WILLIAMS STREET
PROVIDENCE, RI 02906

APPLICANT:
ALLEN and ANN PIPKIN
59 WILLIAMS STREET
PROVIDENCE, RI 02906

DRAWING TITLE:
PROPOSED SUBDIVISION PLAN

DATE: FEBRUARY 2019 **SCALE:** 1"=20'

DWG. NAME: 59 Williams St - Proposed Subdivision

REVISIONS

NUMBER	REMARKS	DATE

DRAWING NUMBER
C1
 SHEET 1 OF 1

- LEGEND**
- 100.00' --- EXISTING PROPERTY LINE
 - STOCKADE FENCE
 - x---x--- CHAIN LINK FENCE
 - DHF (circle with dot) DRILL HOLE FOUND
 - PDH (circle with cross) PROPOSED DRILL HOLE
 - PIP (circle with dot) PROPOSED IRON PIN
 - ⊕ WATER CURB STOP
 - ⊙ MANHOLE COVER
 - ⊕ UTILITY POLE
 - BRICK COLUMN
 - - - - 56' - - - - EXISTING CONTOUR
 - - - - ZONE LINE
 - - - - BUILDING SETBACKS
 - - - - PROPOSED PROPERTY LINE
 - - - - PROPERTY LINE TO BE ABANDONED

FLOOD ZONE NOTE
 THE SITE IS WITHIN FLOOD ZONE X, AREAS TO BE OUTSIDE THE 0.2% CHANCE FLOODPLAIN, ACCORDING TO FLOOD INSURANCE RATE MAP, PROVIDENCE COUNTY, RHODE ISLAND, PANEL 309 OF 451, MAP NUMBER 44007C0309K, EFFECTIVE DATE OCTOBER 2, 2015

DIMENSIONAL REGULATIONS - SINGLE FAMILY ZONE: R-1 & R-2	LOT 595 EXISTING	PARCEL A REQUIRED	PARCEL A PROVIDED	PARCEL B REQUIRED	PARCEL B PROVIDED	PARCEL C REQUIRED	PARCEL C PROVIDED
MINIMUM LOT AREA	23,219 S.F.	5,000 S.F.	8,623 S.F.	5,000 S.F.	7,590 S.F.	5,000 S.F.	7,007 S.F.
MINIMUM LOT WIDTH							
MEASURED AT FRONT YARD SETBACK	170'	50'	110'	50'	58.8'	50'	60'
MINIMUM SIDE YARD SETBACK							
LOT WIDTH LESS THAN 40'		4'	1.0'	4'		4'	
LOT WIDTH MORE THAN 40'	1.0'	6'	(EXISTING)	6'	>6'	6'	>6'
MINIMUM REAR YARD SETBACK							
25% OF LOT DEPTH OR 25', WHICHEVER IS LESS	12'	18.83'	12'	25'	>25'	25'	>25'
MINIMUM FRONT YARD SETBACK							
AVERAGE OF FRONT SETBACKS OF DEVELOPED LOTS WITHIN 100' ON EITHER SIDE OF THE SUBJECT LOT ON THE SAME SIDE OF THE STREET (SECTION 402.B.1)	51.6'	1'	51.6'	17.25'	>17.25'	1'	>1'
MAXIMUM BUILDING HEIGHT	<40'	40' AND	<40'	40' AND	--	40' AND	--
	1.5 STORIES	3 STORIES	1.5 STORIES	3 STORIES		3 STORIES	
MAXIMUM BUILDING COVERAGE	8.5%	45%	23.0%	45%	0%	45%	0%
MAXIMUM IMPERVIOUS SURFACE COVERAGE							
FRONT YARD	30%	33%	33%	33%	0%	33%	0%
REAR YARD	0%	50%	0%	50%	0%	50%	0%
TOTAL MAXIMUM IMPERVIOUS SURFACE COVERAGE	20%	65%	45.0%	65%	0%	65%	0%

REFERENCES:

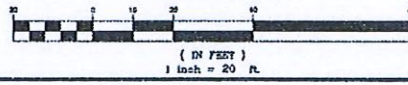
- MAP OF JOHN ST. FROM BENEFIT ST. TO GOVERNOR ST. IN FIVE SHEETS CITY ENGINEERS OFFICE OCT. 16, 1879 SCALE 40FT PER INCH.
- MAP OF LAND IN PROVIDENCE, R.I. BELONGING TO MALCOLM G. CHACE SURVEYED AND DRAWN BY WATERMAN ENGINEERING CO. JANUARY 1927. SCALE 1"=20'
- MAP OF LAND IN PROVIDENCE, R.I., BELONGING TO DONALD WALLACE O'LEARY REALTY CORPORATION BY WATERMAN ENGINEERING CO. SEPT. 1946 RESURVEYED SEPT 13, 1966 SCALE: 1"=30'
- PLAN OF LAND IN PROVIDENCE, R.I. SURVEYED FOR ARTHUR C. O'LEARY BY WATERMAN ENGINEERING CO. MAY 1948 SCALE: 1"=20'0".
- PROPOSED SUBDIVISION PLAN, PLAT 16 LOT 595, 59 WILLIAMS STREET, PROVIDENCE RI, BY BOYER ASSOCIATES & CROSSMAN ENGINEERING. APRIL 2018 SCALE: 1"=20'. GRAPHIC SCALE.

This survey has been conducted and the plan has been prepared pursuant to Section 9 of the Rules and Regulations adopted by the Rhode Island State Board of Registration for Professional Land Surveyors effective as of November 25, 2015 as follows:

TYPE OF SURVEY:	MEASUREMENT SPECIFICATION:
Comprehensive Boundary Survey	I
OTHER TYPE OF SURVEY	
Date Accumulation Survey	II
TOPOGRAPHIC SURVEY ACCURACY:	
T-3	II

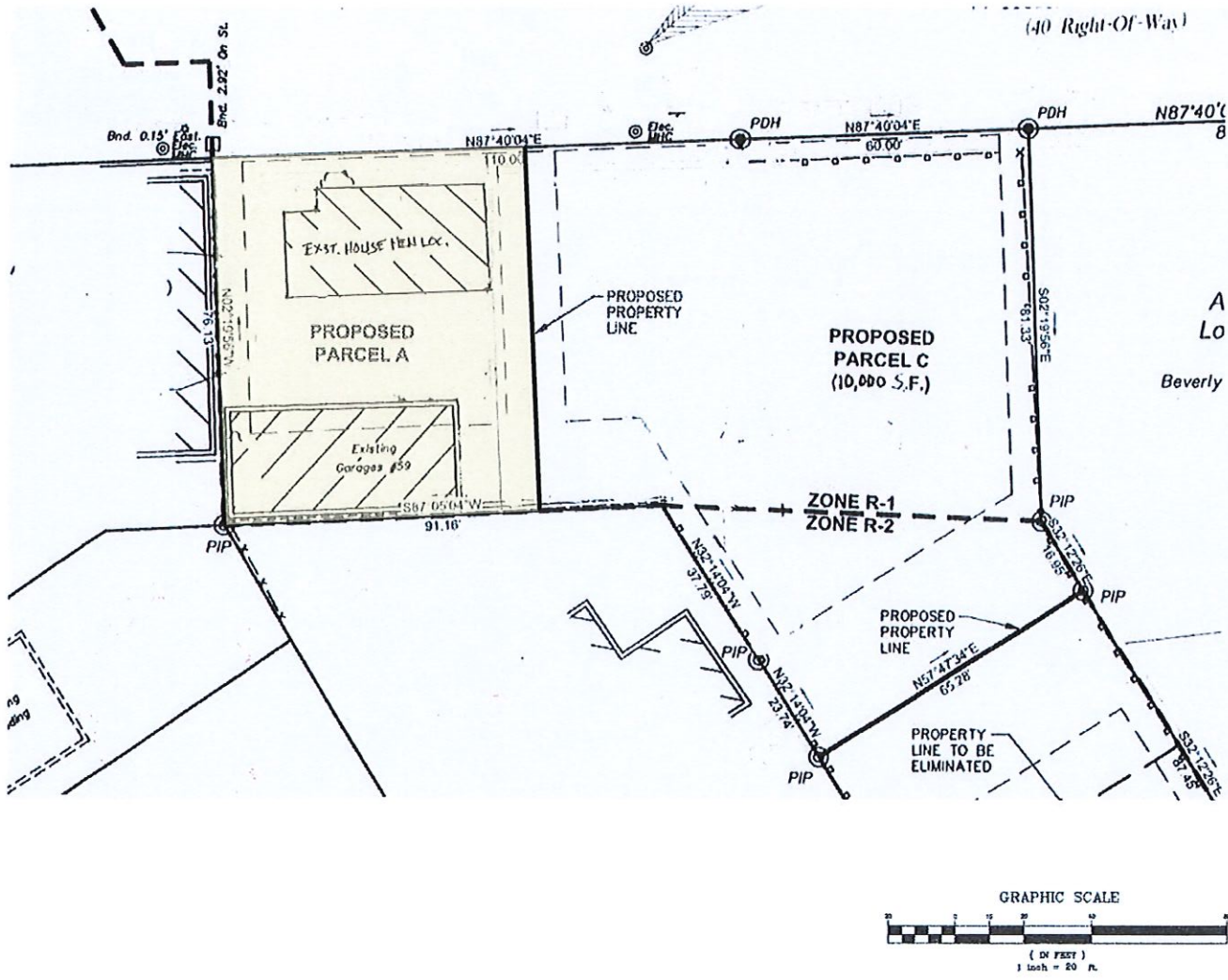
The purpose for the conduct of this survey and for the preparation of the plan is to establish the deeded property lines, depict the existing conditions of the subject parcel and delineate the proposed property lines for a minor subdivision to the City of Providence Planning Department.

Mark D. Boyer #1888
 Boyer Associates C.O.A. # A317

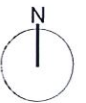


59 WILLIAMS STREET
PROVIDENCE, RI 02906

FRIEDRICH ST.FLORIAN
ARCHITECT
146 WESTMINSTER STREET
PROVIDENCE, RI 02903
T:(401)831-8400
F:(401)831-8688
email: info@fstflorian.com



NOT FOR CONSTRUCTION



DESCRIPTION: DATE:

PROJECT NUMBER
DRAWING TITLE
**PROPOSED
PARCEL A**
Publication: 11" x 17"
Scale: N.T.S.
Drawn By: AL
Checked By: FSF
Date:

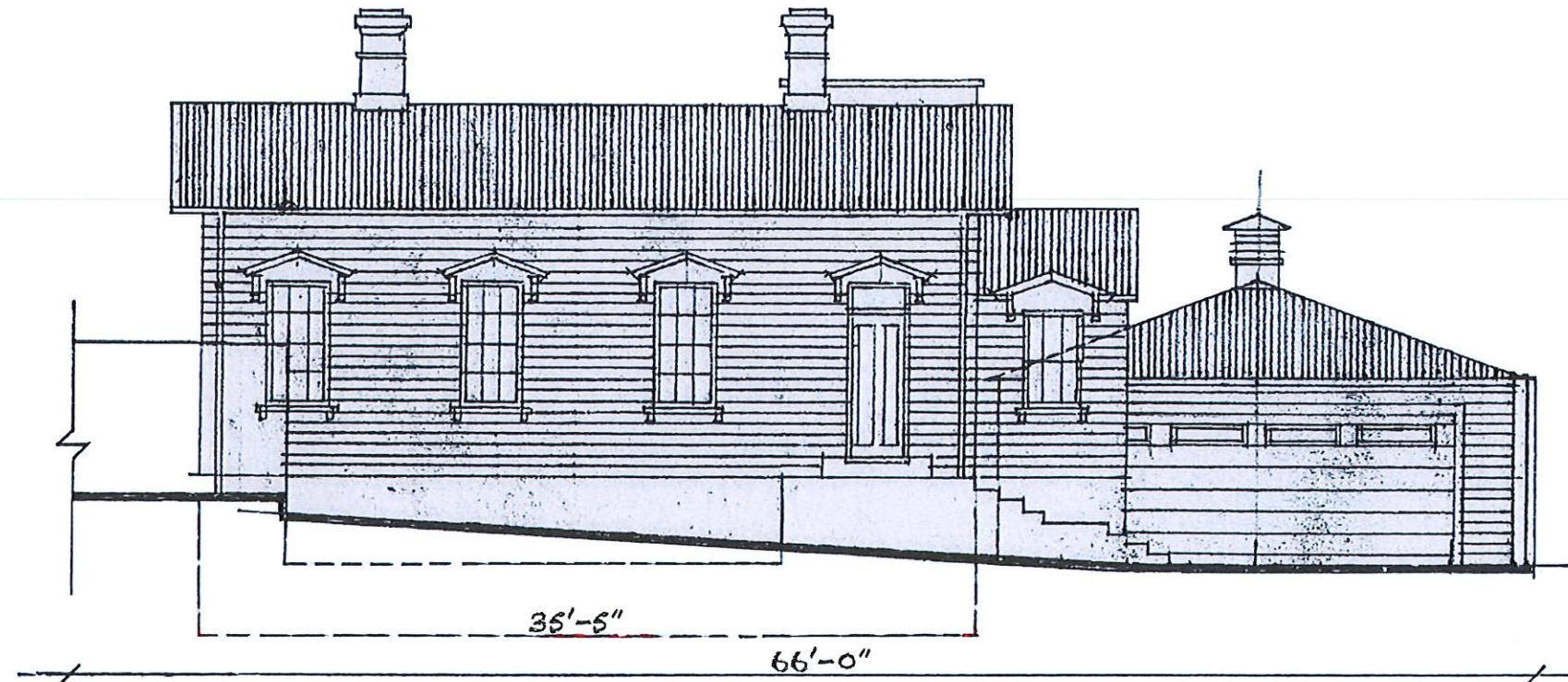
C2

59 WILLIAMS STREET PROPOSAL
Demolition of Existing Garage and New Residence

Friedrich StFlorian Architects

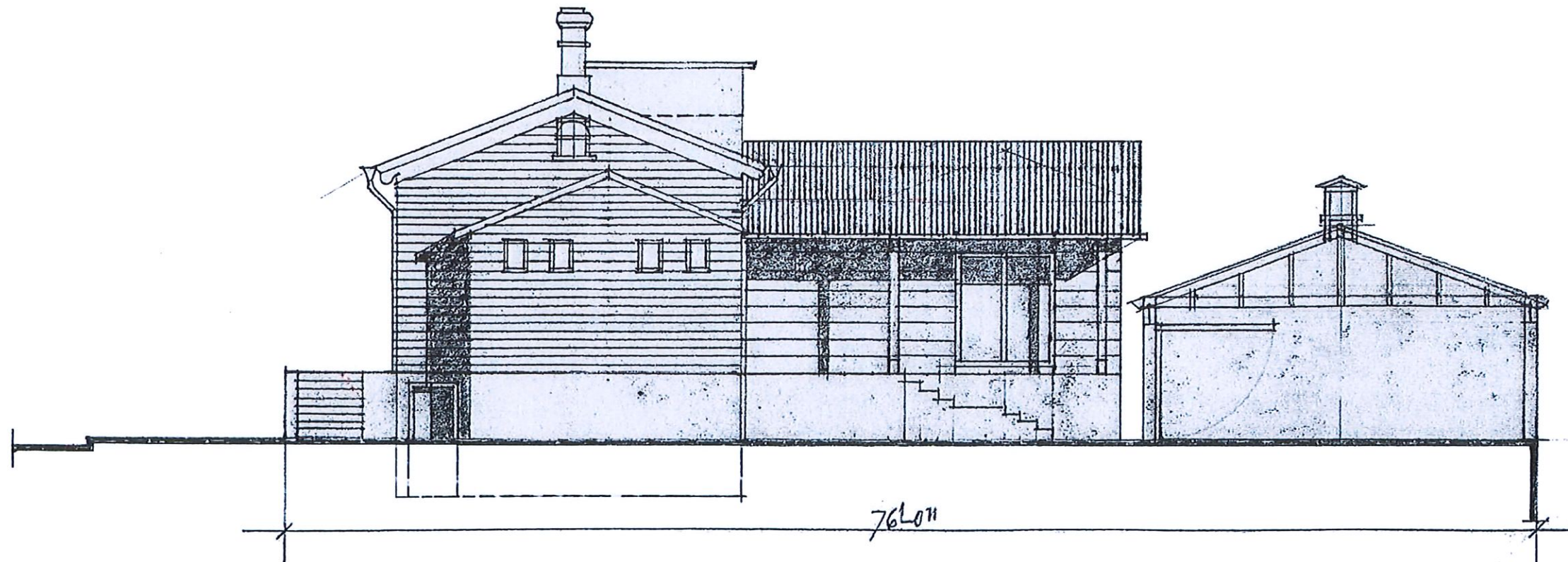
59 WILLIAMS STREET
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2 NORTH ELEVATION
4 1/8" = 1'-0"

NOT FOR CONSTRUCTION



1 WEST ELEVATION
4 1/8" = 1'-0"

DESCRIPTION: DATE:

PROJECT NUMBER
DRAWING TITLE
**EXTERIOR
ELEVATIONS**

Full sheet size: 11" x 17"
Scale: 1/8" = 1'-0"
Drawn By: AL
Checked By: FSF
Date:

59 Williams St



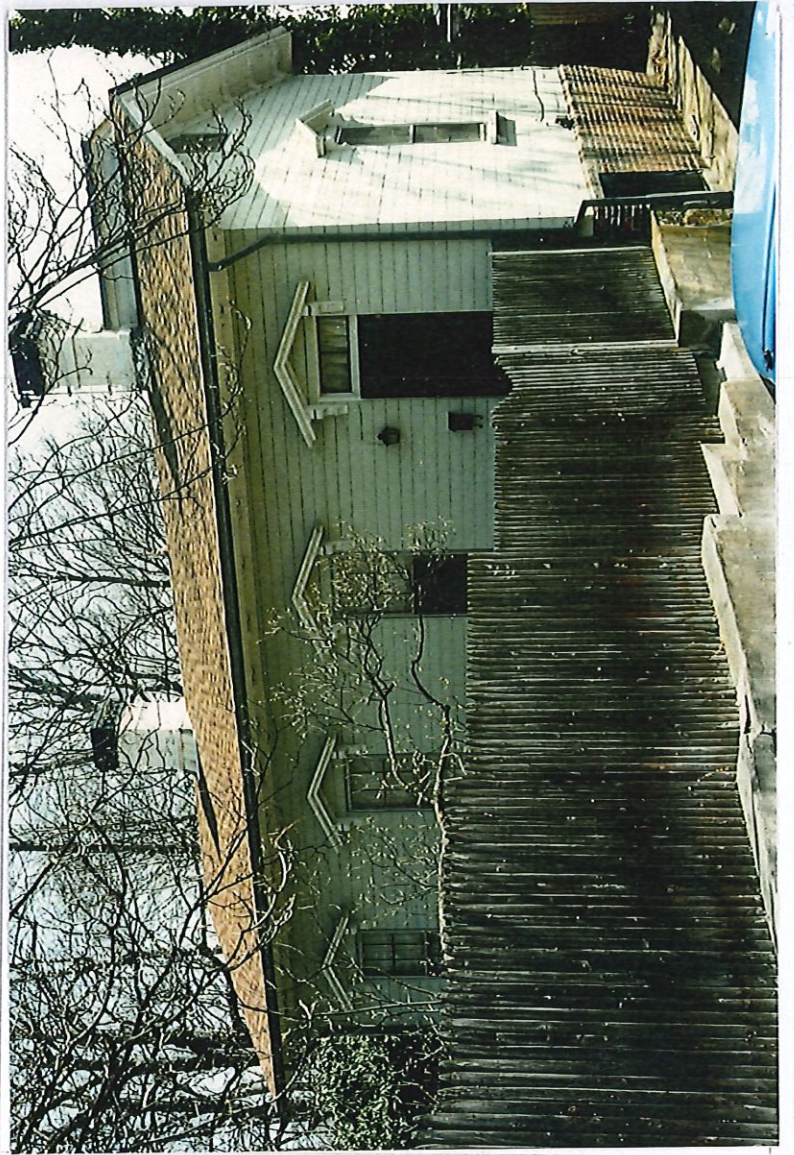
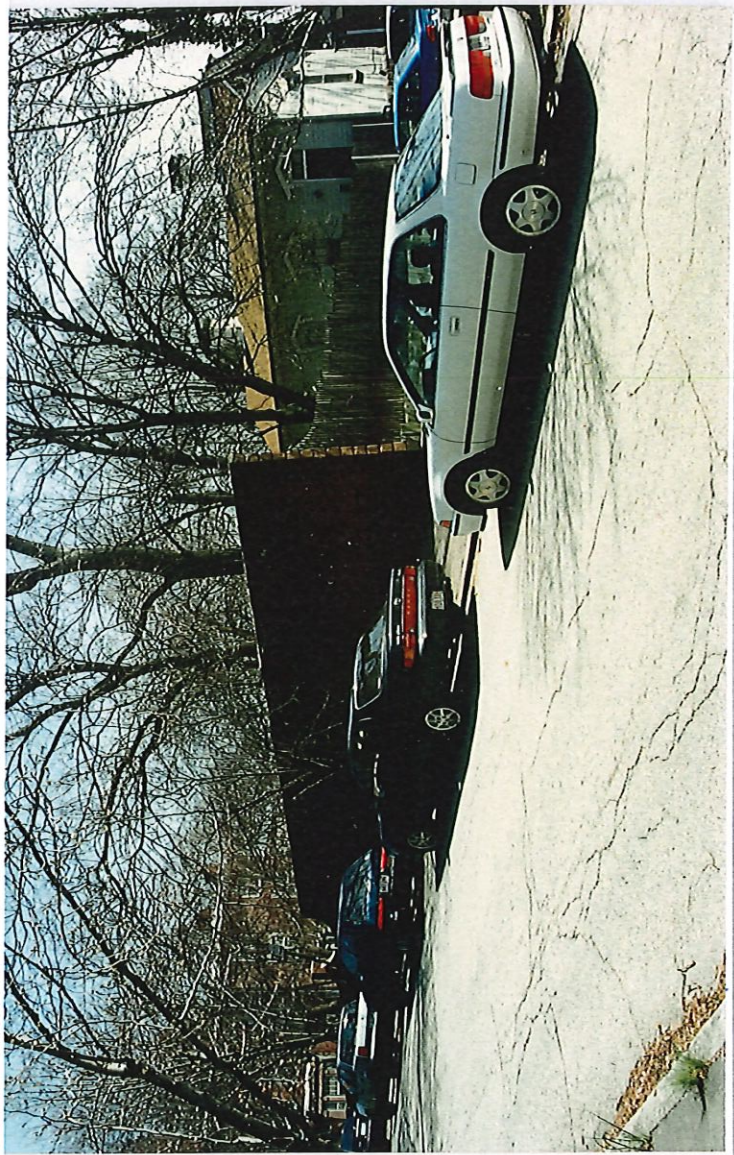
Garage



West on Wms St



East on Wms St



57-59
WILLIAMS
ST