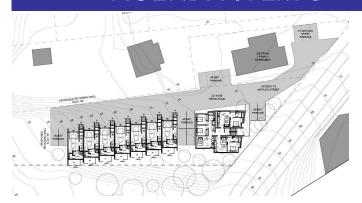
Providence City Plan Commission



July 21, 2020

AGENDA ITEM 5 - 47 MATILDA STREET



Proposed site plan





Aerial view of the site

Elevations of proposed buildings

OVERVIEW

Matilda Pines LLC, Owner c/o **PROJECT DESCRIPTION:** The applicant is proposing to construct

OWNER/ APPLICANT:

Josh Chu

two buildings; a rowhouse development

providing seven units and a four story building with eleven units. Design waivers from the front yard build-to percentage

requirement and front yard setback are

requested.

CASE NO./

20-022MI-47 Matilda Street

PROJECT TYPE:

Minor Land Development

RECOMMENDATION:

Approve the project and design waiver

subject to the noted findings and

conditions.

PROJECT LOCATION: 47 Matilda Street

AP 75 Lot 297

C-2 zone, TOD overlay

NEIGHBORHOOD:

PROJECT PLANNER:

Choyon Manjrekar

PROJECT OVERVIEW

The subject property is an irregularly shaped vacant lot with a sloping grade located between Nashua Street and Smithfield Ave. The site is zoned C-2 under the Transit Oriented Development (TOD) overlay. The applicant is proposing to construct two residential buildings. A four story, 11 unit, multifamily dwelling is proposed for the eastern portion of the lot adjacent to Nashua Street. A rowhouse development with seven vertically stacked units is proposed to the west of the multifamily dwelling toward the rear of the lot. The applicant has requested design waivers from the front yard build-to percentage requirement, and to situate the multifamily dwelling outside the front yard build-to zone on Matilda Street.

ANALYSIS AND IDENTIFICATION OF POTENTIAL ISSUES

Use

Multifamily dwellings and multiple principal buildings, with no restriction on the number of dwelling units per lot, are permitted by right in the C-2 zone.

Dimensions and Site Design

Multifamily building: The 11 unit multifamily building is proposed at the eastern portion of the lot adjacent to Matilda Street, which is designated as the front yard. Design waivers to situate the building outside the build-to zone, and for the front yard setback have been requested. Per the site plan, the building will be located off a driveway originating on Matilda Street. The four story building, which is approximately 40' tall from average grade, will have a footprint of 2,180 SF and provide a mix of one and two family units. The height is within the TODs' height limit of 70'. The building's design will incorporate a unifying architectural theme with a recessed entrance and balconies on the upper stories. A cornice will break up the roofline.

Per the applicant, design waivers from the build-to percentage requirement, and for situating the multifamily building outside the build-to zone on Matilda Street are being requested due to the unique characteristics of the lot which make it difficult to meet the requirement. The entrance to the lot is located at an elevation above Matilda Street. In order to have the building front on the street, the applicant would be required to break a retaining wall, which could affect the integrity of the landscape and incur significant cost. As proposed, the site will be accessed from a driveway off the street and lead toward the building, which is at a lower grade from the entrance and set back from the front lot line. Given the irregular topography, the applicant will be unable to meet the design guidelines for the zone. The DPD recommends that the CPC grant the waiver as it is required due to the unique configuration of the site.

Rowhouse development: A rowhouse development of seven units is proposed to the west of the multifamily dwelling. Based on provided elevations and renderings, the development will follow the gradient of the lot, sloping toward the rear. The rowhouses will conform to the design guidelines for rowhouses in section 1202.K of the ordinance. Every unit will be approximately 32' tall. Each unit will provide one internal parking space and be accessible from a projecting stoop. The façade features changes in articulation with alternating recessed windows on stories two and three.

Building façade materials

The façade design of both buildings will follow a similar palette and employ building materials that are permitted in the C-2 zone. Per the applicant, these materials include fiber cement board and wood siding, hardi-plank and batten siding, with a smooth stucco finish.

Landscaping

Aproximately 3,300 SF of canopy coverage is required to meet the landscaping requirement. The landscaping plans haven't been finalized, but the applicant is proposing to retain some existing medium and large trees to meet the requirement. If trees need to be removed during construction, the applicant intends to make additional plantings. The final landscaping plan should be subject to the City Forester's approval.

Parking

A total of 18 spaces are required for the development. Ten spaces will be provided for the multifamily and seven internal spaces will be provided for each rowhouse. Two guest parking spaces will be provided at the end of the lot. The applicant meets the parking requirement as there is no minimum parking required for residential uses in the TOD overlay.

Drainage and Stormwater management

A stormwater collection system will be incorporated into the parking area to collect runoff from impervious surfaces and landscaped areas within the limit of disturbance. This system consists of a deep sump catch basin, sediment forebays and infiltration basins. There are two infiltration areas located at the west and south of the development. The stormwater system is designed to have runoff flow down the slope of the lot into the treatment system. The plan shall be subject to the City Engineer's approval.

PRELIMINARY PLAN ACTION

Below are the DPD's recommended findings and actions on the Preliminary Plan

Findings—Preliminary Plan

Section 806 of the Commission's *Development Review Regulations* requires that the City Plan Commission make the following findings as part of their approval of all land development project applications. Based on the analysis contained herein and subject to the conditions contained in this report, staff has prepared the following findings regarding the request for approval of the Preliminary Plan stage:

- 1. Consistency—The proposed development is consistent with the Comprehensive Plan and/or has satisfactorily addressed the issues where there may be inconsistencies.
 - Per the future land use map of Providence Tomorrow this area is one intended for Neighborhood Commercial use, where residential uses are encouraged. As the site is adjacent to the growth corridor of North Main Street, the proposed housing would conform to the intent of the plan. Provision of housing would also be in conformance with Objective H-2 of the comprehensive plan, which encourages construction of new and diverse housing stock.
- 2. Compliance with Zoning Ordinance—The proposed development is in compliance with the standards and provisions of the Zoning Ordinance.

Use: Multifamily development is permitted by right in the C-2 zone.

Dimension: The development largely conforms to the dimensional requirements of the C-2 zone as previously discussed. A design waiver to site the building as proposed is required. The DPD recommends that the CPC grant the waiver, finding that it is required due to the site's configuration.

Parking: As discussed, the applicant meets the parking requirement.

Landscaping: The final landscaping plan shall be subject to the City Forester's approval.

- 3. Environmental Impact—There will be no significant environmental impacts from the proposed development as shown on the final plan, with all required conditions for approval.
 - The applicant has submitted a stormwater management plan which will treat stormwater on site. The plan shall be subject to the City Engineer's aproval.
 - No negative environmental impacts are expected as the applicant is expected to come into conformance with all applicable environmental regulations.

- 4. Buildable Lot—The subdivision or development project, as proposed, will not result in the creation of individual lots with such physical constraints to development that building on those lots according to pertinent regulations and building standards would be impracticable.
 - Based on the above discussion, there are no physical constraints that impact development of this property.
- 5. Street Access—All proposed development projects and all subdivision lots shall have adequate and permanent physical access to a public street. Lot frontage on a public street without physical access shall not be considered compliance with this requirement.

Adequate vehicular and pedestrian access is provided from Matilda Street.

Recommendation—Preliminary Plan

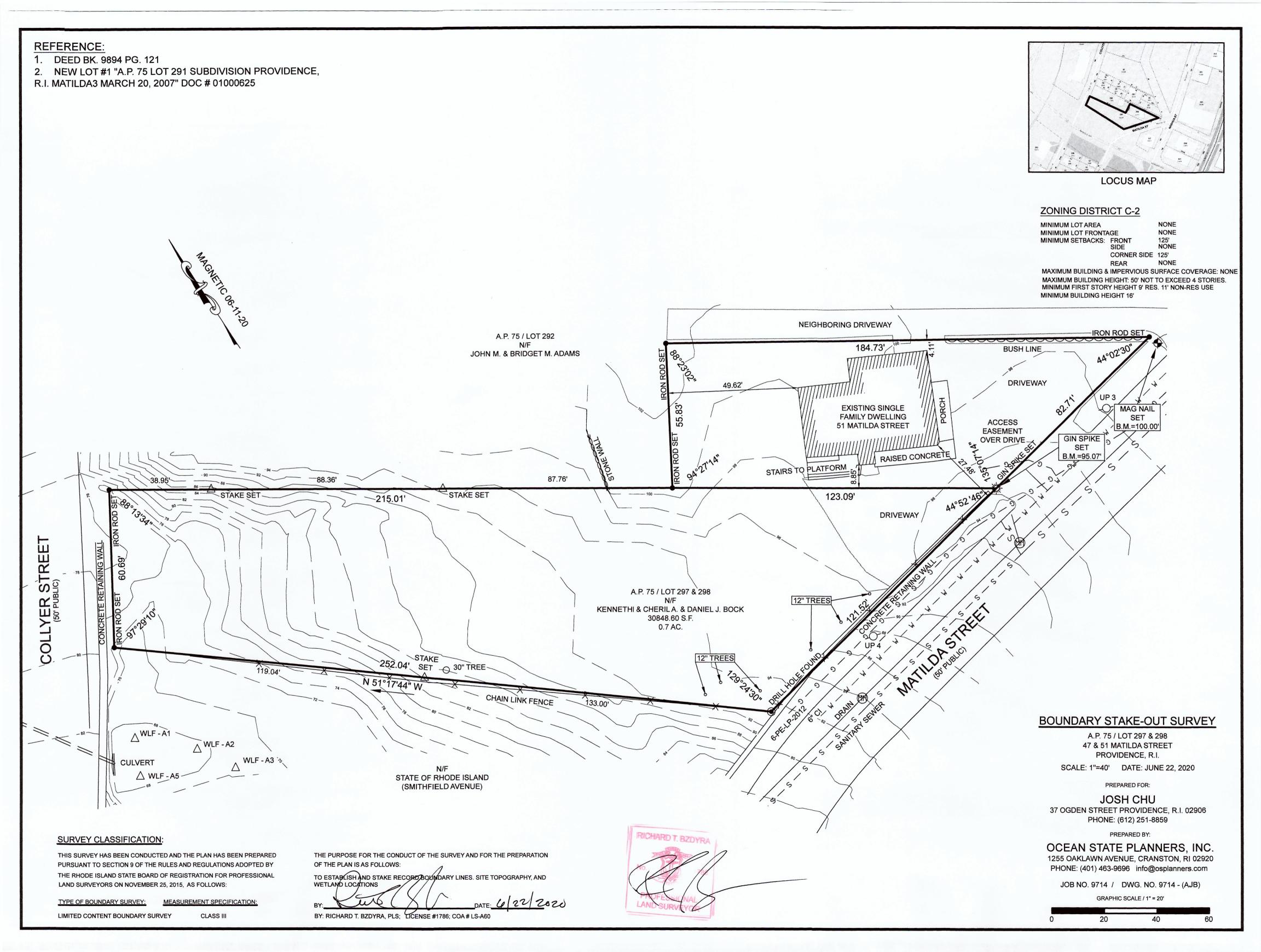
Design Waiver

The CPC should grant the requested design waivers from the build-to percentage and build-to zone requirements, finding that they are required due to the site's configuration.

Preliminary Plan Approval

Upon approving the waivers, the CPC should approve the preliminary plan subject to the following conditions:

- 1. The validity of the preliminary plan should be extended to one year from the date of recording of the approval letter.
- 2. The final landscaping plan shall be subject to the City Forester's approval.
- 3. The drainage plan shall be subject to the City Engineer's approval.
- 4. Final plan approval should be delegated to DPD staff.



SITE DEVELOPMENT PLANS

47 & 51 Matilda Street
Assessors Map 75, Parcel 297 & 298

Providence, Rhode Island

June, 2020

CIVIL ENGINEER

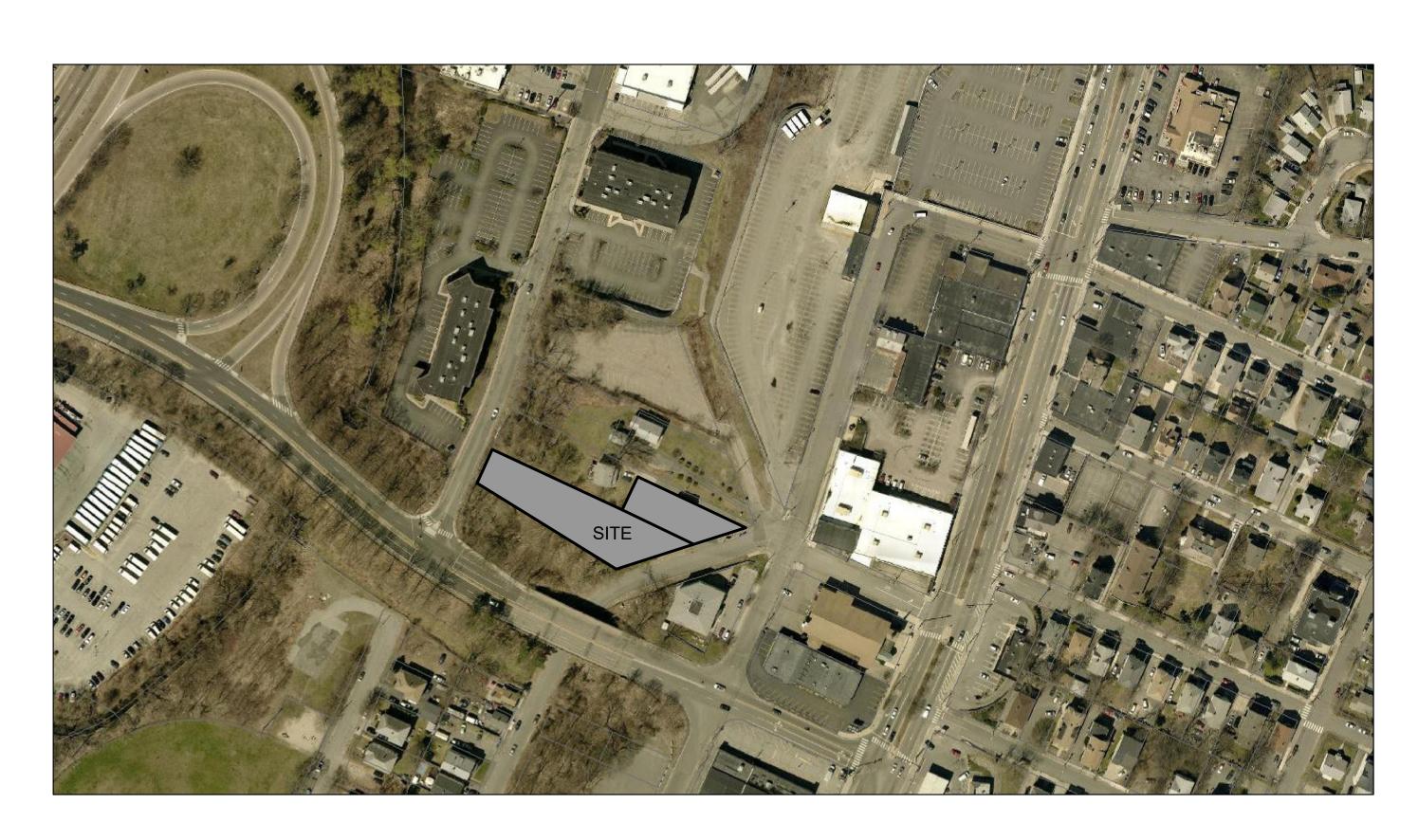
LAND DEVELOPMENT ENGINEERING & CONSULTING, LLC. 1700 WEST MAIN ROAD, SUITE 8 MIDDLETOWN, RI 02842 (401) 354-2050

LAND SURVEYOR

OCEAN STATE PLANNERS, INC. 1255 OAKLAWN AVENUE, CRANSTON, RI 02920 (401) 463–9696

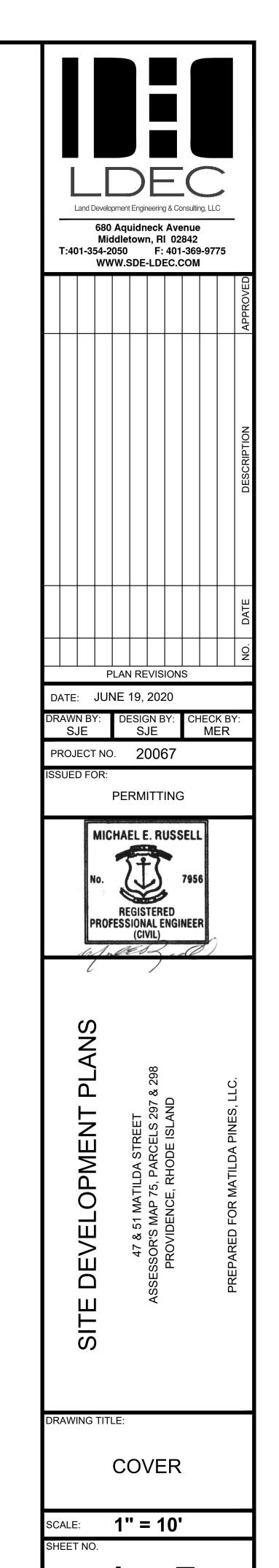
<u>ARCHITECT</u>

JACK RYAN ARCHITECT 22 BIANCO CT. PROVIDENCE, RI 02909 (401) 749–1797

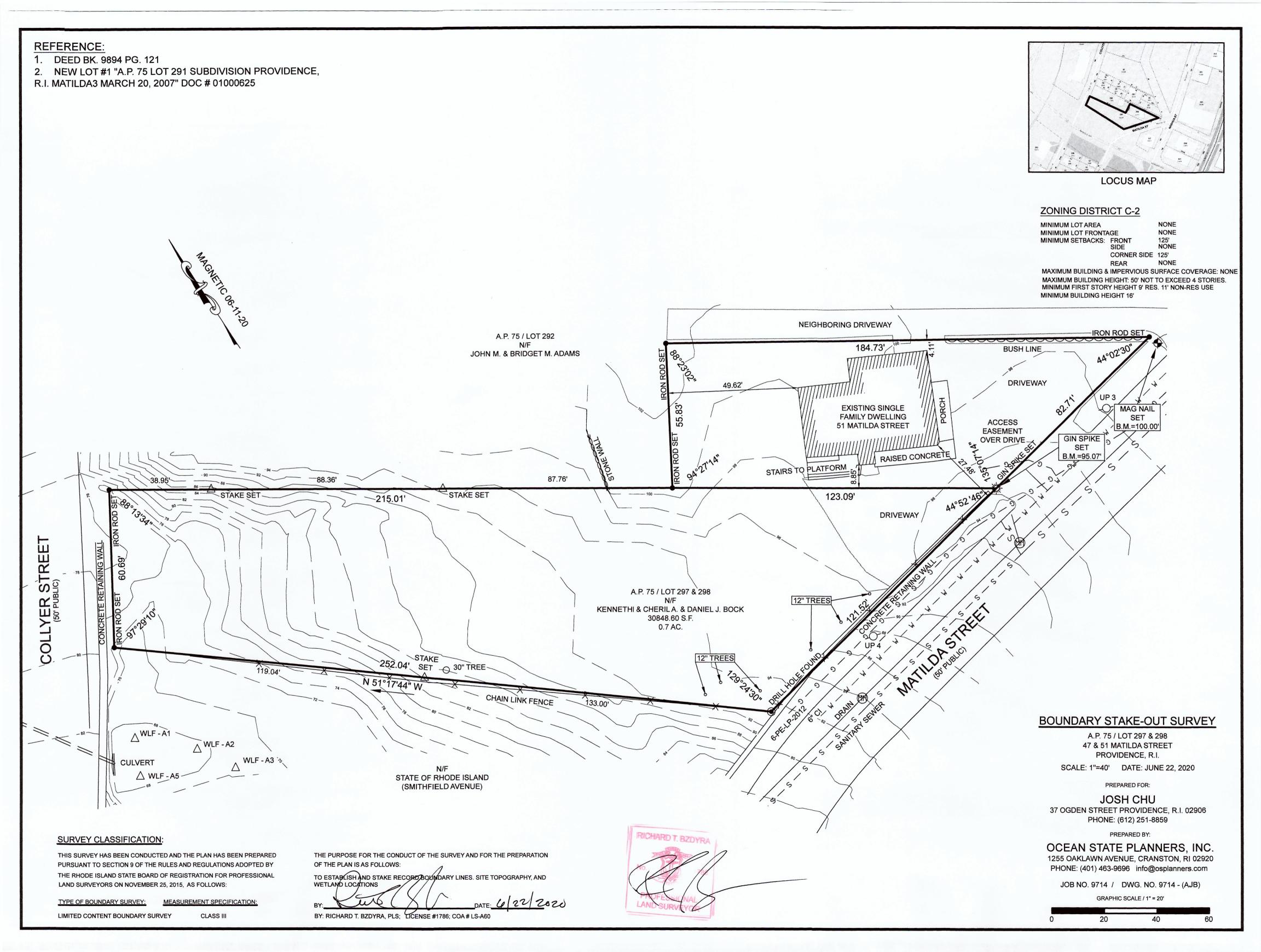


PLAN INDEX

<u>TITLE</u>	SHEET NO.
COVER SHEET	1
EXISTING CONDITIONS PLAN	2
SITE LAYOUT PLAN	3
GRADING & DRAINAGE PLAN	4
UTILITY PLAN	5
EROSION CONTROL PLAN	6
CONSTRUCTION DETAILS	7



1 of 7



SITE SITE

NOTES:

- 1. EXISTING CONDITIONS INFORMATION WAS COMPILED FROM AN ON THE GROUND SURVEY PERFORMED BY OCEAN STATE PLANNERS, INC. ON NOVEMBER 25, 2015.
- 2. ELEVATIONS ARE REFERENCED TO AN ASSUME DATUM.
- 3. THE SITE IS NOT LOCATED WITHIN ANY SPECIAL FLOOD HAZARD AREAS AS DETERMINED FROM THE CITY OF PROVIDENCE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 44007C0307J (EFFECTIVE DATE OCTOBER 2, 2015).
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- 6. WETLAND DELINEATION WAS PERFORMED BY NATURAL RESOURCE SERVICES, INC. ON 5/29/20.

ZONING REQUIREMENTS:

ZONING DISTRICT : GENERAL COMMERCIAL DISTRICT (C-2)

	REQUIRED:	EXISTING	PROPOS
LOT AREA	NONE	22,090 S.F.	22,090 S.
LOT FRONTAGE	NONE	121.5 FT.	121.5 FT
FRONT YARD SETBACK	0'-5'	– FT.	4.1 FT.
SIDE YARD SETBACK	NONE	– FT.	1.15 FT.
REAR YARD SETBACK	NONE	– FT.	70.48 F1
MAX. BUILDING HEIGHT	50'	– FT.	– FT.
MAX STORIES	4 STORIES	NONE	_

4" BIT. CONC. PAVEMENT 1 1/2" SURFACE COURSE 2 1/2" BINDER COURSE
12" COMPACTED GRAVEL BASE

TYPICAL BITUMINOUS
CONCRETE PAVEMENT
NOT TO SCALE

PARKING REQUIREMENTS								
REGULATION	REQUIREMENT							
DWELLING MULTI-FAMILY = 1 PER DWELLING UNIT	10 UNITS = 10 SPACES							
SINGLE FAMILY DWELLING = 1 PER DWELLING UNIT	1 UNIT = 1 SPACE							
- TTER BWEELING GIVI	11 SPACES (REQUIRED) 18 SPACES (PROVIDED)							
REQUIRED BICYCLE SPACES = 1 PER 5 DWELLING UNITS	TOTAL UNITS = 11 11/5 = 2 BICYCLE SPACE							

BENCHMARK
MAG NAIL SET
ELEV.=100.00'

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	PROJECT NO. 20067										

ECT NO.	20067					
D FOR:						
PERMITTING						

PROPOSED SITE PLAN
47 & 51 MATILDA STREET
ASSESSOR'S MAP 75, PARCEL 297 & 298
PROVIDENCE, RHODE ISLAND

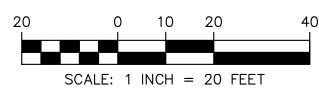
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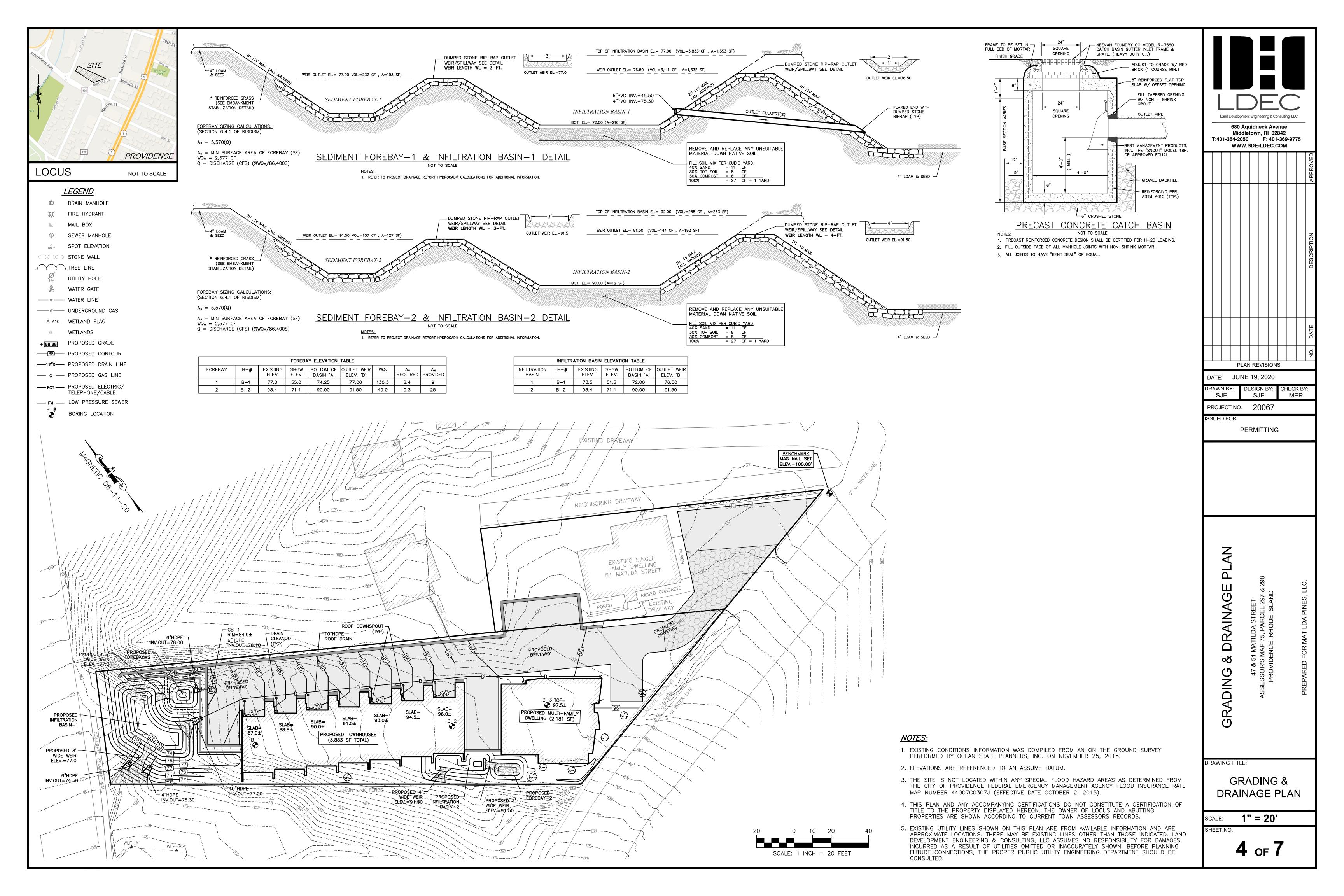
SITE PLAN

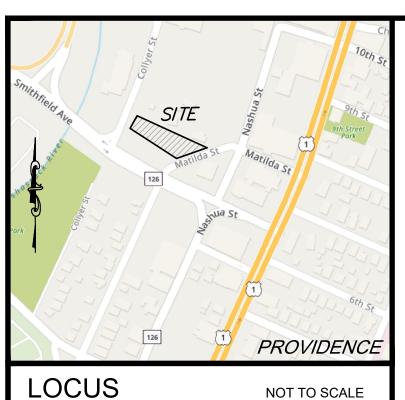
SCALE:	1" = 20'

3 of 7

<u>LEGEND</u>		
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∆ A10 WETLAND FLAG		100
<u>wetlands</u>		7/7////////////////////////////////////
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	(TOW=84.5) GUEST 97.5±	9
	PROPOSED WILTI-FAMILY DWELLING (2,181 SF) SLAB= 91.5± SLAB= 90.0± SLAB= 90.0± SLAB= 90.0± PROPOSED MULTI-FAMILY DWELLING (2,181 SF)	88 - 6
	LANDSCAPE WALLS (TOW=80.5) B	UP #4/87
	PROPOSED LANDSCAPE WALLS (TOW=80,5) PROPOSED TOWNHOUSES (3,883 SF TOTAL) PROPOSED TOWNHOUSES (3,883 SF TOTAL) DWELLING (2,181 SF) DWELLING (2,181 SF)	E55,
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		(87)
	CHAIN LINK FENCE.	X





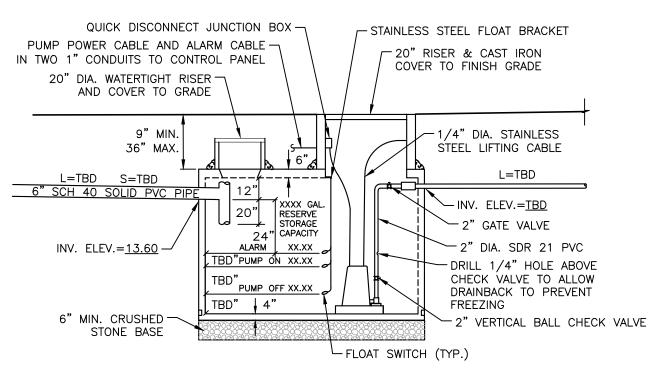


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- SEWER LINES TO BE SLEEVED WITHIN 15' OF A DRAINAGE LINE OR WITHIN 10' OF A WATER SERVICE PER 250-RICR-150-10-6.23(B).

PVC (SDR25) -C.I. SEWER CLEANOUT RING AND LOCKING COVER LEBARON No. LA0910 THREADED PLUG OR APPROVED EQUAL FINISH GRADE -12" COMPACTED GRAVEL BASE GAP BETWEEN CONCRETE AND PIPE - CEMENT CONCRETE BASE UNDER CLEANOUT -PVC (SDR25) RISER SUSCEPTIBLE GRAVEL TO 4' MIN. PVC (SDR25) 1/8 BEND BELOW GRADE -FLOW PVC (SDR25) SEWER PIPE -

TYPICAL SEWER CLEANOUT DETAIL NOT TO SCALE



PUMP CHAMBER (H20)

DRAIN MANHOLE

<u>LEGEND</u>

PROPOSED CONTOUR ——12"D—— PROPOSED DRAIN LINE MAIL BOX SEWER MANHOLE —— G —— PROPOSED GAS LINE

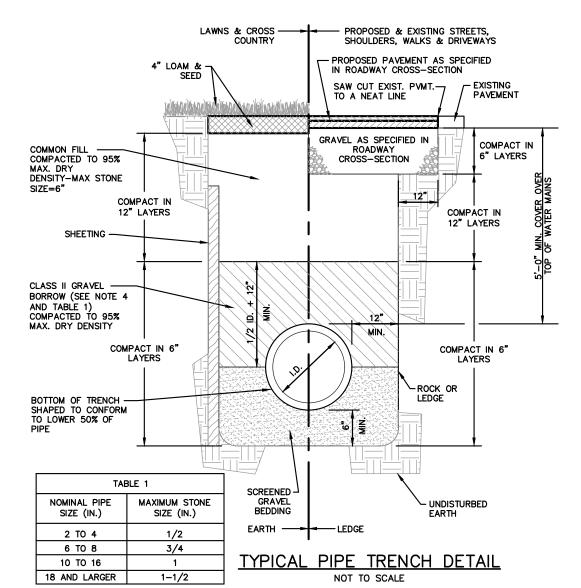
PROPOSED GRADE

SPOT ELEVATION —— ECT —— PROPOSED ELECTRIC/ TELEPHONE/CABLE STONE WALL ----- FM ---- LOW PRESSURE SEWER TREE LINE

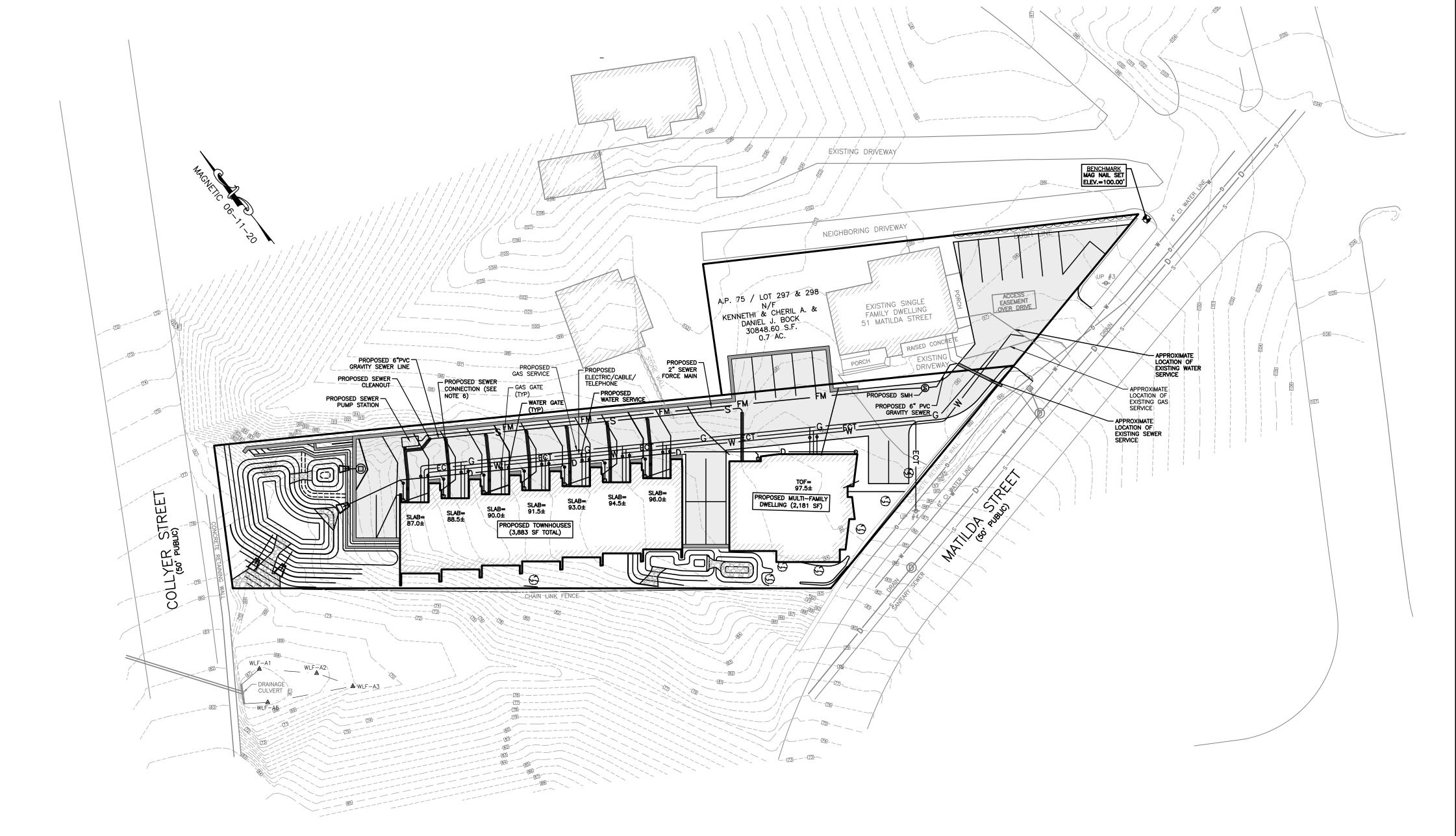
UTILITY POLE WATER GATE

△ A10 WETLAND FLAG

WETLANDS



- SHEETING IF USED, IN ALL CASES SHALL BE LEFT INPLACE BELOW A LINE 1'-0" ABOVE THE TOP OF THE PIPE. UNLESS OTHERWISE INDICATED OR DIRECTED.
- "COVER" AT ANY POINT SHALL BE DEFINED AS THE VERTICAL DISTANCE FROM THE UNDERMOST POINT OF THE PIPE TO A LINE WHICH CONNECTS THE SURFACE OF UNDISTURBED GROUND AT EITHER SIDE OF THE TRENCH AND IS AT RIGHT ANGLES TO THE DIRECTION OF THE PIPE.
- 3. SCREENED GRAVEL SHALL BE HARD, DURABLE, ROUNDED PARTICLES, FREE FROM SAND, LOAM, CLAY, EXCESS FINES AND DELETERIOUS MATERIAL, UNIFORMLY GRADED SUCH THAT NOT LESS THAN 95% WILL PASS A 1/2 INCH SIEVE AND NOT MORE THAN 5% PASS A NO. 4 SIEVE.
- 4. CLASS II GRAVEL BORROW SHALL BE A CLEAN, COARSE GRAINED GRAVEL—SAND MIXTURE. THE MIXTURE SHOULD CONTAIN LESS THEN 5% PASSING THE #200 SIEVE AS WELL AS COMPLYING TO THE REQIUREMENTS OF TABLE 1.
- 5. WHERE FUTURE EXTENSION OF A PLUGGED PIPE OR A PLUGGED BRANCH WILL ENTAIL ROCK EXCAVATION. TRENCH EXCAVATION IN ROCK SHALL BE EXTENDED FOR A DISTANCE OF 5'-0" BEYOND THE PLUG.



—FINISH GRADE (MATCH EXISTING)

— SEE NOTE #2

— SEE NOTE #3 2 TELEPHONE CONDUIT

4" TYPE DB-60 PVC

O ELECTRICAL CONDUIT

BASE SPACER

INTERMEDIATE SPACER

SEE NOTE #4 -

4" TYPE EB-20 PVC

ELECTRIC & TELEPHONE

NOT TO SCALE

PRIMARY SERVICE DETAIL

(1) BACKFILL TO BE FREE OF STONES GREATER THAN ONE INCH AND SHALL NOT CONTAIN ASHES, CINDERS, SHELL, OR FROZEN MATERIAL.

(2) WARNING TAPE TO BE PLACED 12" BELOW FINISH GRADE AND DIRECTLY ABOVE POWER CONDUIT.

(3) MINIMUM SEPARATION BETWEEN ELECTRICAL CONDUIT

AND FOREIGN CONDUIT OR PIPES IS AS FOLLOWS:

(4) CONCRETE THICKNESS AROUND THE OUTSIDE DUCTS SHALL BE 3 TO 6 INCHES. CONCRETE SHALL BE IN ACCORDANCE

COMMUNICATION - 3" OF CONCRETE ENCASEMENT

WATER, GAS, SEWER — 12" WHERE THE PATH OF THESE UTILITIES INTERSECT AT APPROXIMATELY RIGHT ANGLES WITH ELECTRICAL CONDUIT.

24" SEPARATION SHALL BE MAINTAINED BETWEEN PARALLEL PLACEMENT OF THESE UTILITIES AND ELECTRICAL CONDUIT.

Land Development Engineering & Consulting, LLC 680 Aquidneck Avenue Middletown, RI 02842 T:401-354-2050 F: 401-369-9775 WWW.SDE-LDEC.COM

PLAN REVISIONS DATE: JUNE 19, 2020 CHECK BY: MER SJE PROJECT NO. 20067 ISSUED FOR:

PERMITTING

DRAWING TITLE:

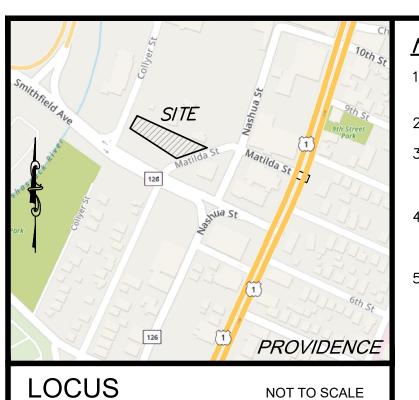
UTILITY PLAN

1" = 20'

SHEET NO.

5 OF **7**

SCALE: 1 INCH = 20 FEET



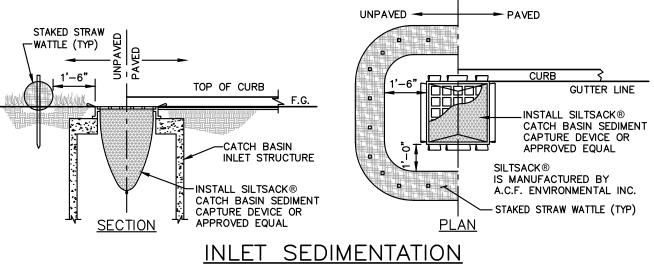
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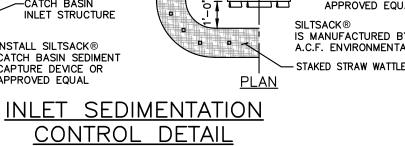
6" (MIN.) - 1" TO 2" WASHED CRUSHED STONE 50' (MIN.) LONG x WIDTH OF ACCESS DRIVEWAY

CONSTRUCTION ENTRANCE/EXIT PAD DETAIL

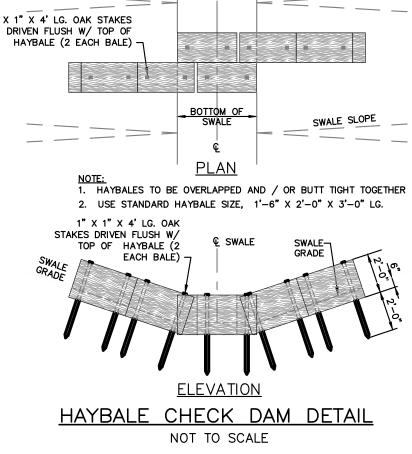
CONSTRUCTION ENTRANCE IS A TEMPORARY STONE - STABILIZED PAD LOCATED AT POINTS OF VEHICULAR INGRESS AND EGRESS ON THE CONSTRUCTION SITE TO AND FROM A PAVED PUBLIC ROAD OR OTHER PAVED AREAS.

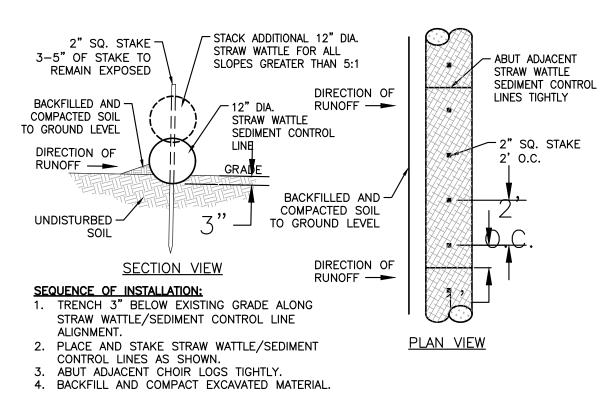


NOT TO SCALE



<u>LEGEND</u> +[88.88] PROPOSED GRADE D DRAIN MANHOLE ——12"D—— PROPOSED DRAIN LINE SEWER MANHOLE —— G —— PROPOSED GAS LINE SPOT ELEVATION —— ECT —— PROPOSED ELECTRIC/ TELEPHONE/CABLE STONE WALL ----- FM ---- LOW PRESSURE SEWER TREE LINE UTILITY POLE WATER GATE ∆ A10 WETLAND FLAG <u>₩</u> WETLANDS 1" X 1" X 4' LG. OAK STAKES DRIVEN FLUSH W/ TOP OF HAYBALE (2 EACH BALE) -



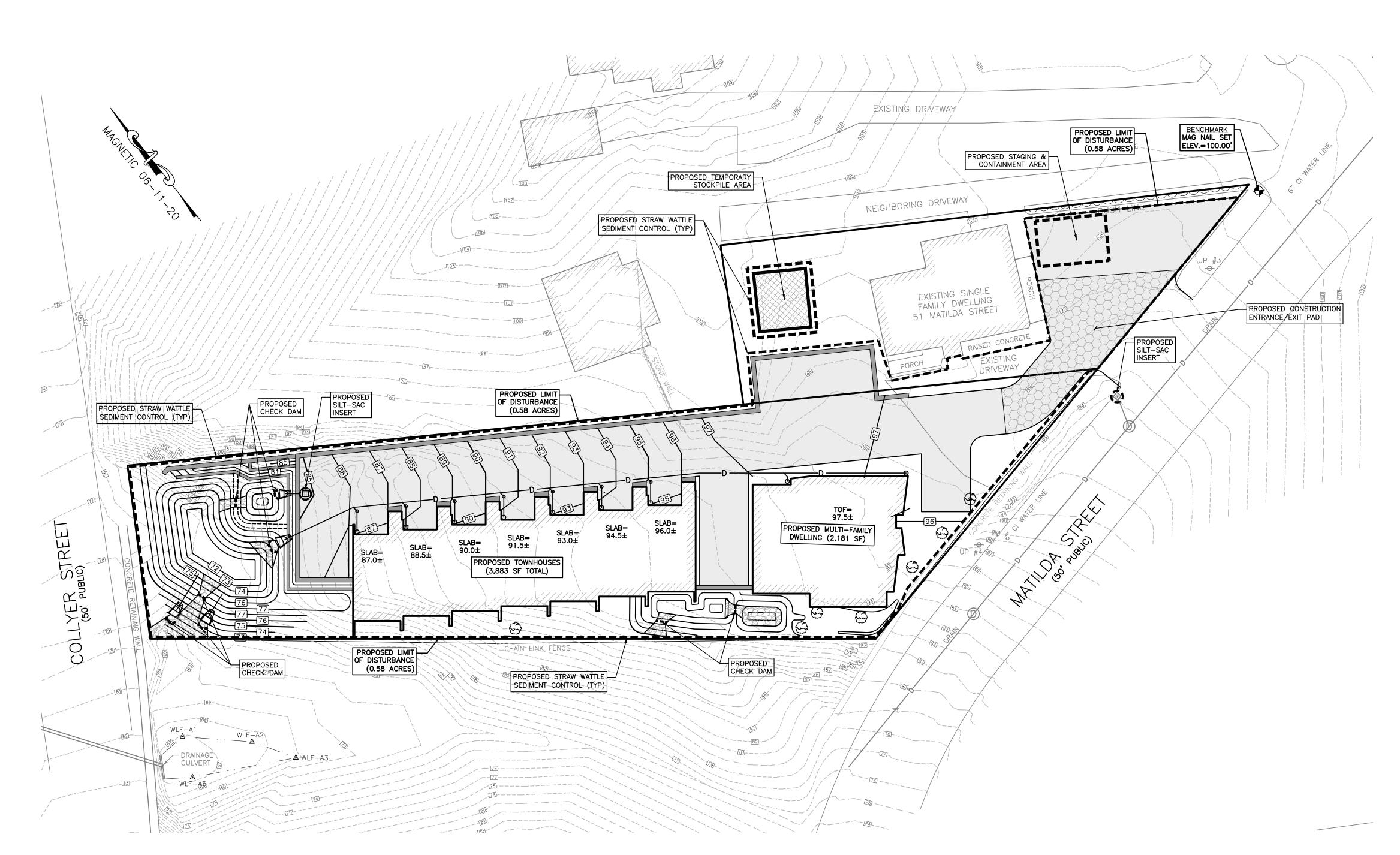


SPACING FOR SLOPE INSTALLATION:
1:1 SLOPES = 10 FT. APART
2:1 SLOPES = 20 FT. APART 3:1 SLOPES = 30 FT. APART 4:1 SLOPES = 40 FT. APART STACKED WATTLES REQUIRED FOR

TYPICAL EROSION/SEDIMENT CONTROL STRAW WATTLE DETAIL

SLOPES GREATER THAN 5:1

NOT TO SCALE





Middletown, RI 02842 T:401-354-2050 F: 401-369-9775 WWW.SDE-LDEC.COM

											APPROVED
											DESCRIPTION
											DATE
											NO.
PLAN REVISIONS DATE: JUNE 19, 2020											
DR		N BY	/ :	DE		SN B	Y:	CH	IECI Me	K BY	′ :
SJE SJE MER PROJECT NO. 20067											
ISSUED FOR: PERMITTING											

CONTR N O

DRAWING TITLE:

EROSION CONTROL PLAN

1" = 20' SHEET NO.

SCALE: 1 INCH = 20 FEET

6 of 7

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

- 1. PRIOR TO INITIATING CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS, AS DIRECTED BY THE ENGINEER AND/OR AS NECESSITATED BY FIELD CONDITIONS. THE CONTRACTOR SHALL MAINTAIN THESE MEASURES UNTIL ALL WORK IS COMPLETED AND ALL AREAS HAVE BEEN STABILIZED.
- INSTALLATION SEQUENCE
 A. INSTALL SILT FENCE AND STRAW WATTLES AS SHOWN ON PLAN.

CONTROL BLANKETS UNLESS OTHERWISE NOTED.

- . CLEAR AND GRUB SITE. CONSTRUCT SITE INFRASTRUCTURE AS SHOWN ON PLANS
- THE FOLLOWING ACTIVITIES SHALL TAKE PLACE IMMEDIATELY FOLLOWING CONSTRUCTION OF EMBANKMENTS AND FILL SLOPES: PLACEMENT OF LOAM AND GRASS SEED, INSTALLATION OF GEOWEB SLOPE STABILIZATION. THE CONTRACTOR SHALL INSPECT ALL FILL SLOPES AND EMBANKMENTS ON A WEEKLY BASIS AND FOLLOWING ALL RAINFALL EVENTS UNTIL A MINIMUM 75% GRASS COVER IS ESTABLISHED SUFFICIENT TO PREVENT EROSION FROM OCCURRING
- 2. ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR OR AS DIRECTED BY THE ENGINEER.
- 3. AFTER THE INSTALLATION OF DRAINAGE STRUCTURES, EROSION CONTROL DEVICES OR OTHER APPROVED MATERIALS SHALL BE PLACED TO PROTECT THE INTEGRITY OF THE STRUCTURES.
- 4. DISTURBED AREAS SHALL BE STABILIZED WITH THE APPLICATION OF A MINIMUM OF FOUR INCHES (4) OF LOAM AND SHALL BE SEEDED WITH AN APPROVED GRASS MIX OR SHALL BE RIPRAPPED AS SOON AS POSSIBLE AFTER THE FINISHED GRADE HAS BEEN MET. IF FINAL GRADING DOES NOT OCCUR DURING THE GROWING SEASON, THESE AREAS SHALL BE MULCHED WITH HAY AND SECURED BY JUTE NETTING WITH STAPLES. SLOPES EXCEEDING 2:1 SHALL BE LOAMED AND STABILIZED WITH PEGGED SOD OR APPROVED EROSION
- 5. THE MOUTHS OF ALL CATCH BASINS SHALL BE FITTED WITH SILTSACK OR FILTER FABRIC DURING THE ENTIRE CONSTRUCTION PROCESS
- 6. WHERE APPLICABLE, PROPER DUST CONTROL MEASURES SHALL APPLY TO REDUCE THE SURFACE AND AIR TRANSPORT OF DUST GENERATED DURING CONSTRUCTION. THE FOLLOWING METHODS SHALL BE USED:
- A. WET SUPPRESSION WITHOUT WETTING AGENT SHALL BE APPLIED DURING LOAD IN / LOAD OUT AND EARTH MOVING CONSTRUCTION ACTIVITIES, SPECIALLY ON STOCKPILES.
- B. INACTIVE STOCKPILES SHALL BE STABILIZED THROUGH APPLICATION OF SOIL STABILIZERS OR SEEDING.
- C. WIND SCREENS OR BARRIERS AND PLASTIC TARP COVERS SHALL BE SECURED TO PREVENT WIND DISLODGE AND DAMAGE. ANY DAMAGES SHALL BE REPAIRED OR REPLACED IMMEDIATELY.
- 7. CONTRACTOR SHALL CONSTRUCT A TEMPORARY CRUSHED STONE CONSTRUCTION ENTRANCE APPROXIMATELY THE WIDTH OF ACCESS DRIVEWAY BY 50' LONG BY 6" DEEP FOR USE DURING CONSTRUCTION ACTIVITIES AS NECESSARY TO REMOVE SEDIMENT FROM VEHICLES. THE CONSTRUCTION ENTRANCES ARE TO BE LOCATED AT THE ENTRANCE TO THE SITE FROM EAST MAIN ROAD AND AQUIDNECK AVE.
- 8. DEWATERING OPERATIONS SHALL BE PROVIDED, IF REQUIRED; ALL DISCHARGE SHALL PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON WATER BODIES, BORDERING VEGETATED WETLANDS, DRAINAGE SYSTEMS AND ABUTTING PROPERTIES.
- 9. SEE EROSION & SEDIMENT CONTROL CONSTRUCTION DETAILS
- 10. STRAW WATTLE OR EQUIVALENT STRAW BASED EROSION CONTROL DEVICE SHALL BE USED IN PLACE OF HAYBALES.
- 11. TEMPORARY CONSTRUCTION SEDIMENT TRAPS TO BE DUG OUT AND SEDIMENT FOREBAYS AND SAND FILTER SYSTEMS TO BE REESTABLISHED, REBUILT AND REVEGETATED AT THE COMPLETION OF PAVEMENT CONSTRUCTION PHASE.

CONSTRUCTION NOTES

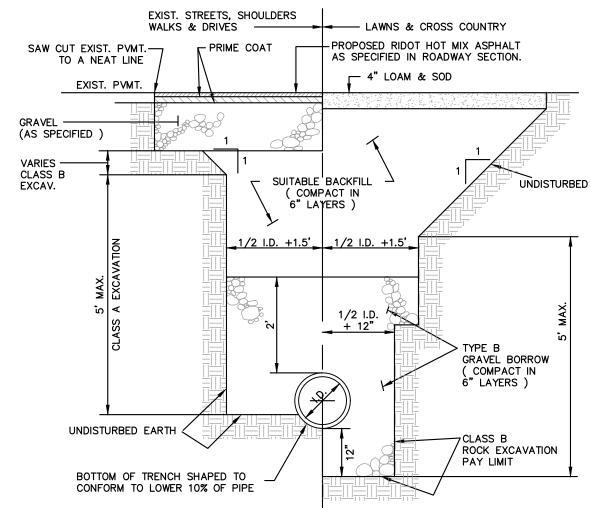
- 1. THE CONTRACTOR SHALL MAKE APPLICATIONS FOR AND PAY ALL FEES FOR PERMITS REQUIRED TO CONSTRUCT THIS PROJECT.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE PREPARATION NECESSARY FOR THE COMPLETE INSTALLATION OF THE PROJECT FACILITIES DURING
- 3. ALL CHANGES TO THE PLAN MUST BE APPROVED BY LAND DEVELOPMENT
- 4. ALL SYSTEM COMPONENTS, EXCEPT PERFORATED PIPING, SHALL BE WATERTIGHT AS REQUIRED BY THE TOWN OF PROVIDENCE DEPARTMENT OF PUBLIC WORKS.
- THE LOCATION OF UNDERGROUND UTILITIES AND STRUCTURES ARE APPROXIMATE ONLY. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION AND INVERT ELEVATIONS OF THE UTILITIES AND STRUCTURES, AS REQUIRED PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES WITH RECORD DATA SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR IS CAUTIONED TO CONTACT DIG SAFE (1-888-344-7233) 72 HOURS
- 6. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE HIS WORK WITH THE APPROPRIATE HIGHWAY & UTILITY DEPARTMENTS.
- CONTRACTOR SHALL MAINTAIN ALL EXISTING AND NEWLY INSTALLED UTILITIES IN GOOD WORKING ORDER AND SHALL PROTECT THEM FROM DAMAGE AT ALL TIMES UNTIL THE WORK IS COMPLETED AND ACCEPTED BY THE OWNER.
- 8. ELECTRIC, GAS, TELEPHONE, AND CABLE TELEVISION UTILITY CONNECTIONS AND SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE
- 9. THE CONTRACTOR SHALL UTILIZE ALL MEASURES AND MATERIALS NECESSARY TO ENSURE THE SAFETY OF ALL PERSONS AND PROPERTIES AT THE SITE DURING CONSTRUCTION. ALL EXCAVATIONS SHALL CONFORM TO CURRENT OSHA STANDARDS.
- 10. A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHENEVER SANITARY SEWERS PASS BELOW WATER MAINS OR DRAIN LINES. OTHERWISE, WATER SERVICE, DRAIN LINES AND SEWER LINES SHALL BE CAREFULLY ENCASED IN CONCRETE FOR A MINIMUM OF TEN (10) FEET FROM THE CROSSING POINT. WHERE SEWER LINES PASS ABOVE WATER OR DRAIN LINES, THEY SHALL ALL BE ENCASED IN CONCRETE

STORMWATER FACILITY OPERATION AND MAINTENANCE

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSPECTION AND MAINTENANCE OF ALL STORMWATER FACILITIES UNTIL SUCH TIME AS THE ROADWAYS AND ASSOCIATED UTILITIES ARE ACCEPTED BY THE
- 2. ALL STORMWATER FACILITIES SHOULD BE INSPECTED AFTER EVERY MAJOR RAINFALL EVENT FOR THE FIRST 3 MONTHS AFTER CONSTRUCTION TO ENSURE PROPER STABILIZATION AND CONSTRUCTION.
- 3. THE CONTRACTOR SHALL INSPECT AND CLEAN ALL FACILITIES OF SEDIMENT AND DEBRIS PRIOR TO THE OWNER'S ACCEPTANCE.
- ACCUMULATED SILT AND SEDIMENT SHOULD BE REMOVED FROM ALL FACILITIES AT LEAST ONCE A YEAR OR MORE FREQUENTLY IF ACCUMULATED DEPTH OF SEDIMENT EXCEEDS THREE INCHES.
- THE SIDE SLOPES AND BOTTOMS OF ALL DRAINAGE SWALES SHOULD BE MOWED TO A MINIMUM HEIGHT OF FOUR INCHES AT LEAST TWICE A YEAR. ALL GRASS CLIPPINGS AND ORGANIC MATTER SHOULD BE REMOVED FROM ALL DRAINAGE WAYS AND WETLAND BUFFER ZONES.
- 6. ALL REMOVED SEDIMENTS ARE TO BE PROPERLY DISPOSED AT A LOCATION TO BE APPROVED BY THE BOARD OF HEALTH. TRANSPORTATION AND DISPOSAL OF SEDIMENTS SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
- 7. ANY DEFICIENCIES NOTED DURING MAINTENANCE SHALL BE REPORTED TO THE OWNER AND CORRECTED IMMEDIATELY.
- 8. FOLLOW MANDATE PROGRAM AND SCHEDULE FOR EXISTING STORMWATER MANAGEMENT SYSTEM AS APPROVED BY THE TOWN OF MIDDLETOWN AND THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL PROTECTION DECISION DATED 2007.

CONSTRUCTION SEQUENCE

- 1. INSTALL CONSTRUCTION FENCING/TREE PROTECTION AS SPECIFIED.
- 2. INSTALL PERIMETER EROSION CONTROL MEASURES, CONSTRUCTION EXIT, AND INLET PROTECTION ON ADJACENT DRAINAGE STRUCTURES.
- 3. CLEAR AND GRUB PROPERTY, INSTALL BASIN OUTFALL SWALE FOR COLLECTION OF SEDIMENTS.
- 4. PERFORM DEMOLITION AND ROUGH GRADE SITE.
- 5. INSTALL UTILITIES AND SITE IMPROVEMENTS. FINISH GRADE AND INSTALL LANDSCAPE MATERIAL AS SPECIFIED.
- 6. REMOVE SEDIMENTATION CONTROLS ONLY WHEN SITE IS COMPLETELY STABILIZED, AND AT THE DIRECTION OF THE OWNER/ENGINEER.

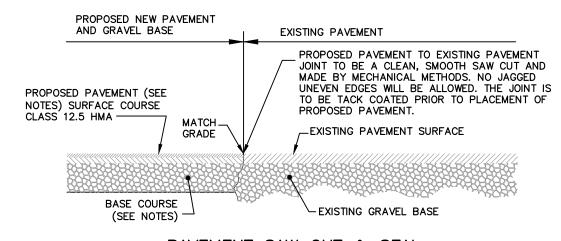


MAX. STONE SIZE = 6" IN TOP 2 FEET OF BACKFILL.

DRAINAGE PIPE TRENCH DETAIL

NOT TO SCALE NOTES: 1. SHEETING IF USED, IN ALL CASES SHALL BE LEFT INPLACE BELOW A LINE 1'-0" ABOVE THE TOP

- OF THE PIPE. UNLESS OTHERWISE INDICATED OR DIRECTED. 2. "COVER" AT ANY POINT SHALL BE DEFINED AS THE VERTICAL DISTANCE FROM THE UNDERMOST
- POINT OF THE PIPE TO A LINE WHICH CONNECTS THE SURFACE OF UNDISTURBED GROUND AT EITHER SIDE OF THE TRENCH AND IS AT RIGHT ANGLES TO THE DIRECTION OF THE PIPE.
- 3 SCREENED GRAVEL SHALL BE HARD, DURABLE, ROUNDED PARTICLES, FREE FROM SAND, LOAM, CLAY, EXCESS FINES AND DELETERIOUS MATERIAL, UNIFORMLY GRADED SUCH THAT NOT LESS THAN 95% WILL PASS A 1/2 INCH SIEVE AND NOT MORE THAN 5% PASS A NO. 4 SIEVE.
- 4. CLASS II GRAVEL BORROW SHALL BE A CLEAN, COARSE GRAINED GRAVEL-SAND MIXTURE. THE MIXTURE SHOULD CONTAIN LESS THEN 5% PASSING THE #200 SIEVE AS WELL AS COMPLYING TO THE REQIUREMENTS OF TABLE 1.
- 5. WHERE FUTURE EXTENSION OF A PLUGGED PIPE OR A PLUGGED BRANCH WILL ENTAIL ROCK EXCAVATION. TRENCH EXCAVATION IN ROCK SHALL BE EXTENDED FOR A DISTANCE OF 5'-0" BEYOND THE PLUG.

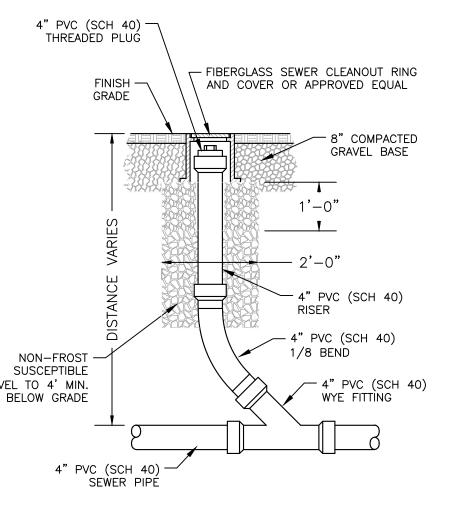


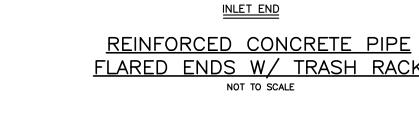
PAVEMENT SAW CUT & SEAL ROADWAY ENTRANCE & UTILITY TRENCH R.I.-DET. 147.1.1 NOT TO SCALE

NOTES:

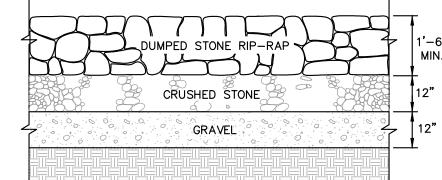
- 1. THE TWO SECTION (PROPOSED & EXISTING) SHALL BE SIMILAR STRUCTURAL CAPACITIES GRAVEL TO 4' MIN. AND FIELD TESTING SHALL BE PERFORMED.
- 2. ROADWAY PAVEMENT SAW CUTTING CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH SECTION 932 AND SECTION 934.03.1 OF THE R.I. STANDARD SPECIFICATIONS. 3. AGGREGATES, GRAVEL BASE AND SUBBASE COURSES MATERIALS AND CONSTRUCTION
- METHODS SHALL BE IN ACCORDANCE WITH SECTION 300 AND SECTION M.01 OF THE R.I. STANDARD SPECIFICATIONS. 4. BITUMINOUS CONCRETE PAVEMENT MATERIALS AND CONSTRUCTION METHODS SHALL BE
- IN ACCORDANCE WITH SECTION 400 AND SECTION M.03 OF THE R.I. STANDARD SPECIFICATIONS.
- 5. CONCRETE MATERIAL AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH SECTION 600 OF THE R.I. STANDARD SPECIFICATIONS.
- 6. DEPTH(S) OF NEW MATERIALS SHALL MATCH EXISTING PAVEMENT CONSTRUCTION DEPTHS FOR GRAVEL BORROW, SUBBASE, BASE, BINDER COURSE, AND SURFACE
- 7. INITIAL FULL DEPTH ASPHALT PATCH OF CLASS 19 BASE MIX SHALL BE INSTALLED AND ALLOWED TO SETTLE FOR A MINIMUM OF 30 DAYS BEFORE FINAL RESTORATION. FINAL
- RESTORATION SHALL CONSIST OF A 2 INCH MILL AND OVERLAY OF ALL AFFECTED TRAVEL LANES. 8. BITUMINOUS CONCRETE SHALL CONFORM TO RHODE ISLAND STANDARD SPECIFICATIONS
- M.03.06. AND RIDOT SECT. 401.03.11 9. GRAVEL BORROW TYPE C SHALL CONFORM TO RHODE ISLAND STANDARD SPECIFICATIONS
- M.01.09 RIDOT SECT. 401.03.11. 10. GRAVEL BORROW SHALL CONSIST OF INERT MATERIAL THAT IS HARD, DURABLE STONE
- AND COARSE SAND, FREE FROM LOAM AND CLAY, SURFACE COATINGS AND DELETERIOUS MATERIALS. GRADATION REQUIREMENTS FOR GRAVEL SHALL BE DETERMINED BY

111 AND 127 AN	ID STIALL CON	TORW TO THE TOLLOWING.
SIEVE	PERCENT	MAXIMUM SIZE OF STON
<u>DESIGNATION</u>	<u>PASSING</u>	IN GRAVEL SHALL BE 2
1/2 IN	50-85	INCHES LARGEST
NO. 4	40-75	DIMENSION
NO. 50	8-28	



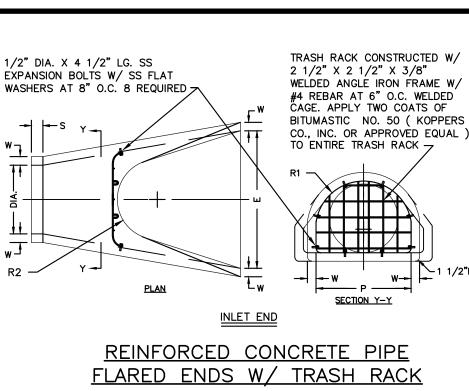


TYPICAL DRAIN CLEANOUT DETAIL NOT TO SCALE

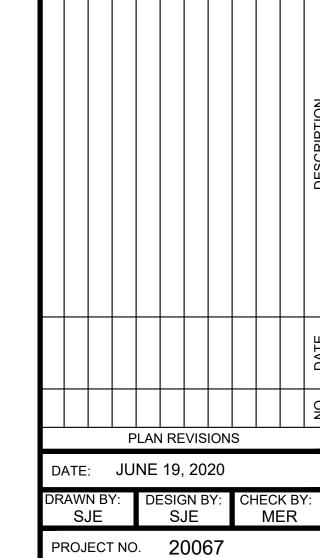


TYPICAL OUTLET PROTECTION DUMPED STONE RIP-RAP DETAIL

1. STONES SIZES ARE BASED UPON ASSUMED SPECIFIC WEIGHT OF 165 LBS./CF. 2. DUMPED STONE RIP-RAP STONE SIZE AS PER RIDOT (STD. SPEC. SEC. M.10.03).



ROCK GRADATION MIN. SIZE OF STONE | PERCENT(%) OF TOTAL WEIGHT SMALLER THAN (INCHES) THE GIVEN SIZE 6 TO 8 100 5 TO 7 85 4 TO 6 50 1 TO 2 15



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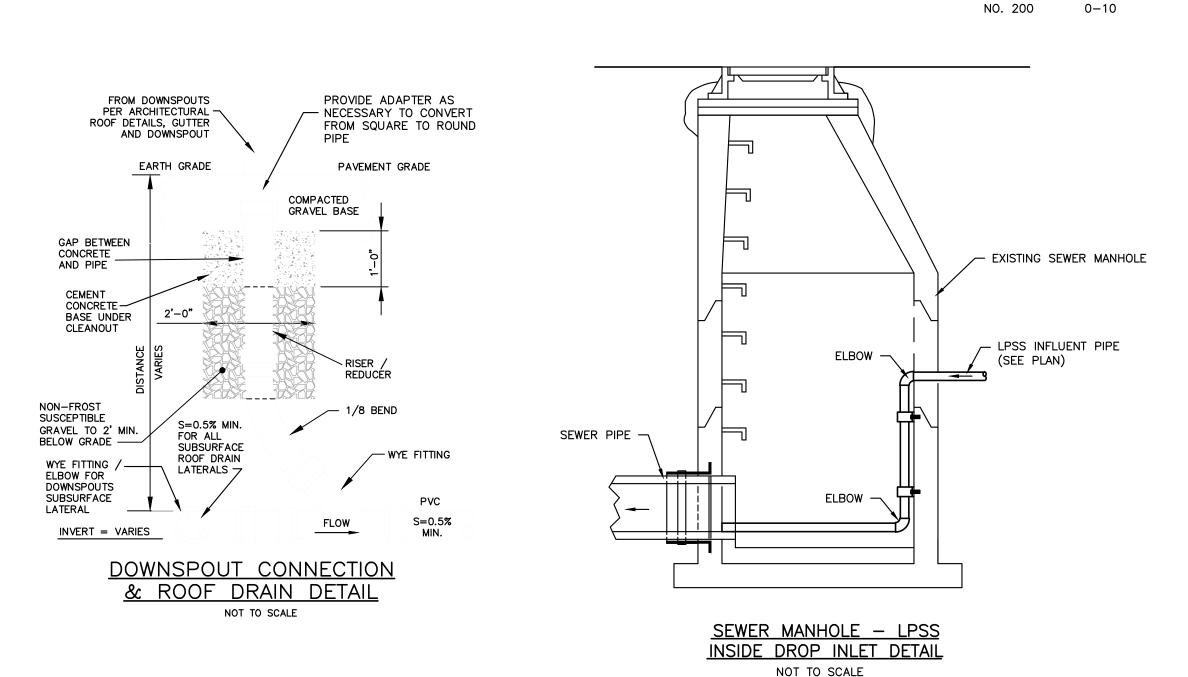
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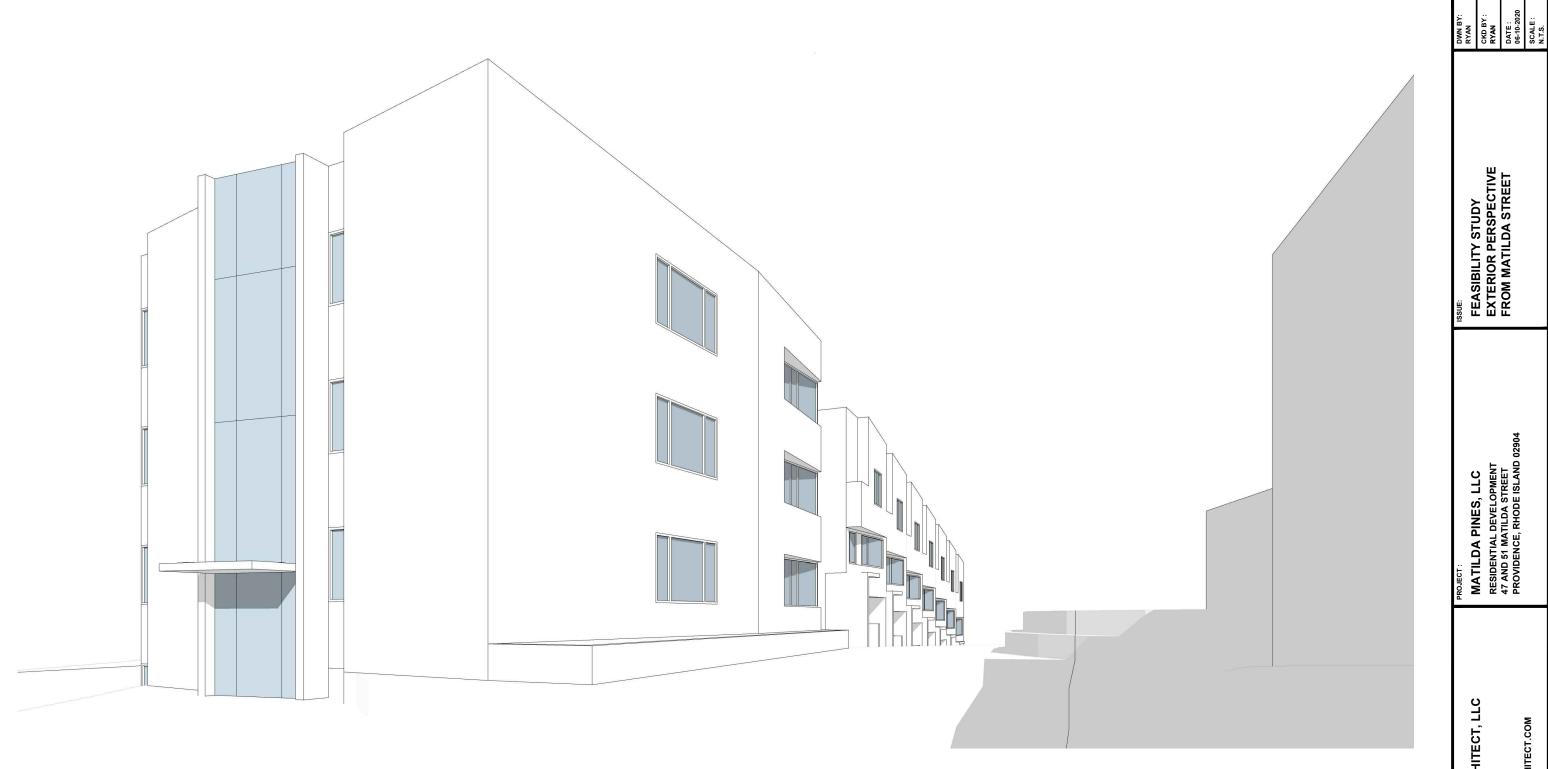






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FEASIBILITY STUDY
EXTERIOR PERSPECTIVE



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PROVIDENCE, RHODE ISLAND 02904

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FEASIBILITY STUDY
EXTERIOR PERSPECTIVE
OF ROWHOUSES LOOKING SOUTHWEST

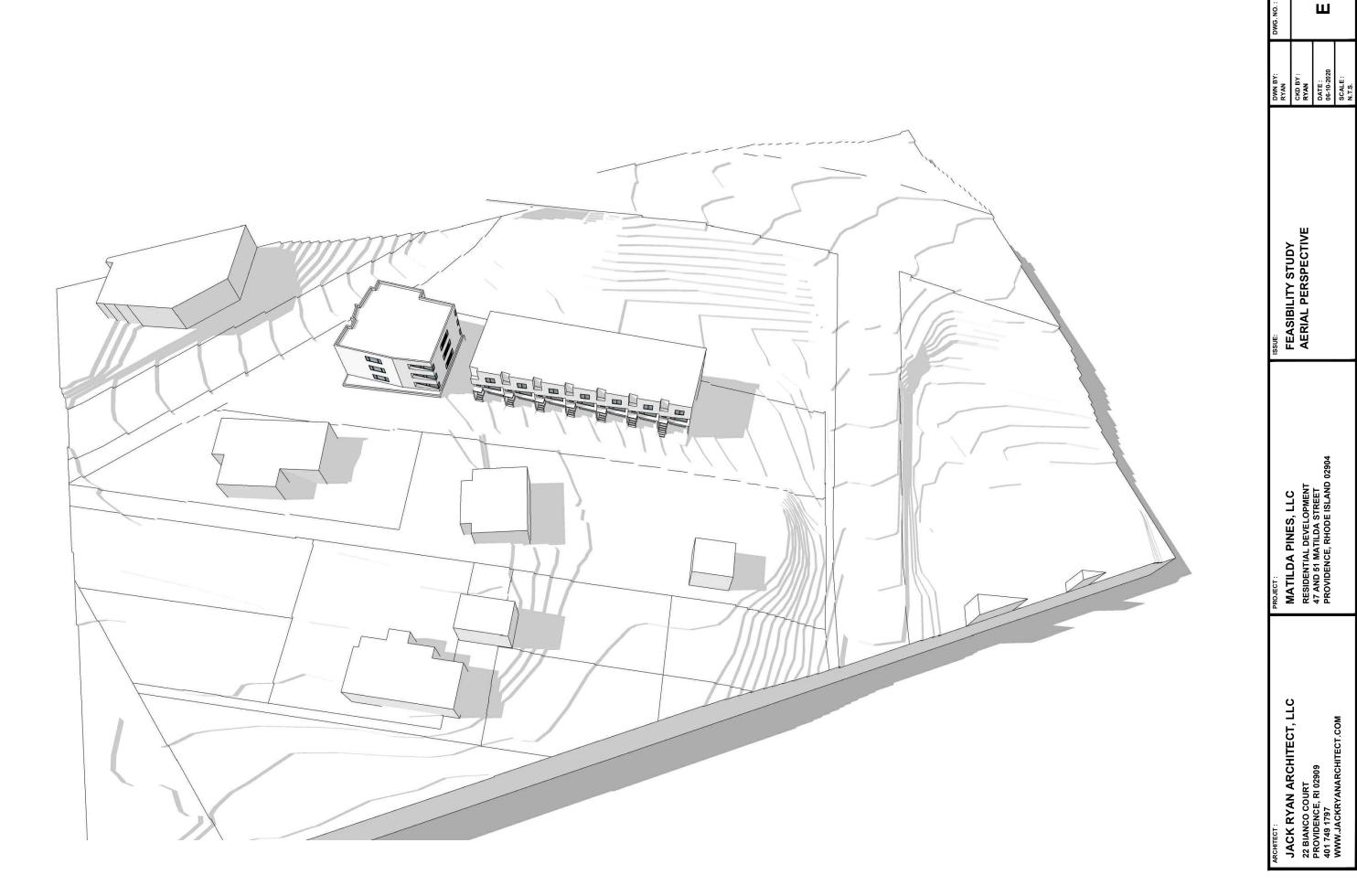
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EXTERIOR PERSPECTIVE
OF ROWHOUSES LOOKING SOUTHEAST

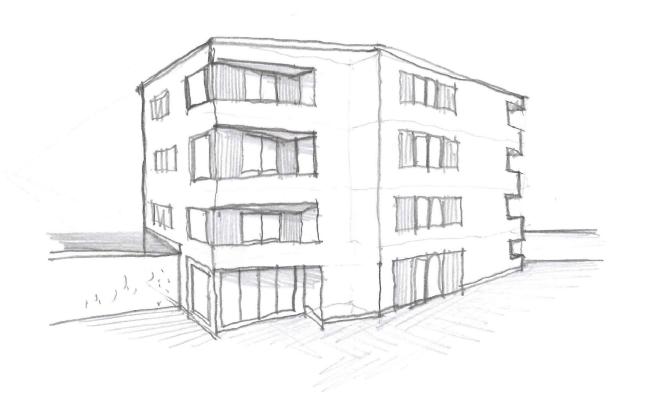


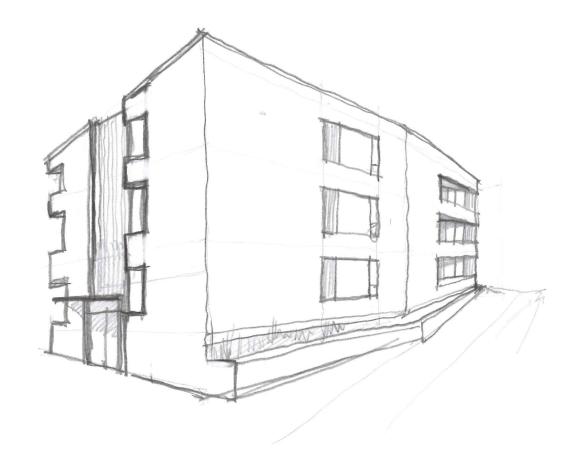
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FRONT VIEW

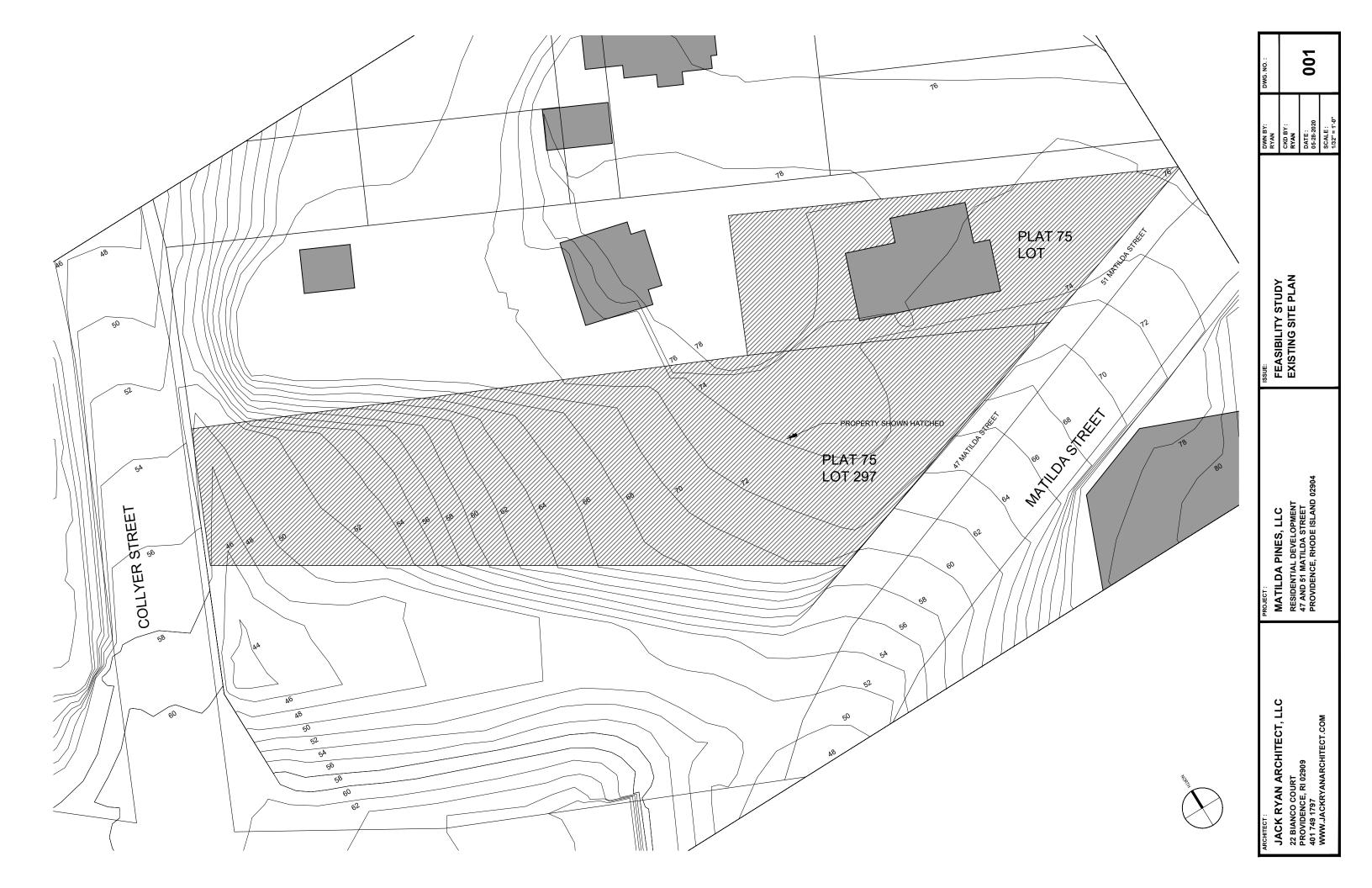
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PEAR VIEW

47 MOTILDA

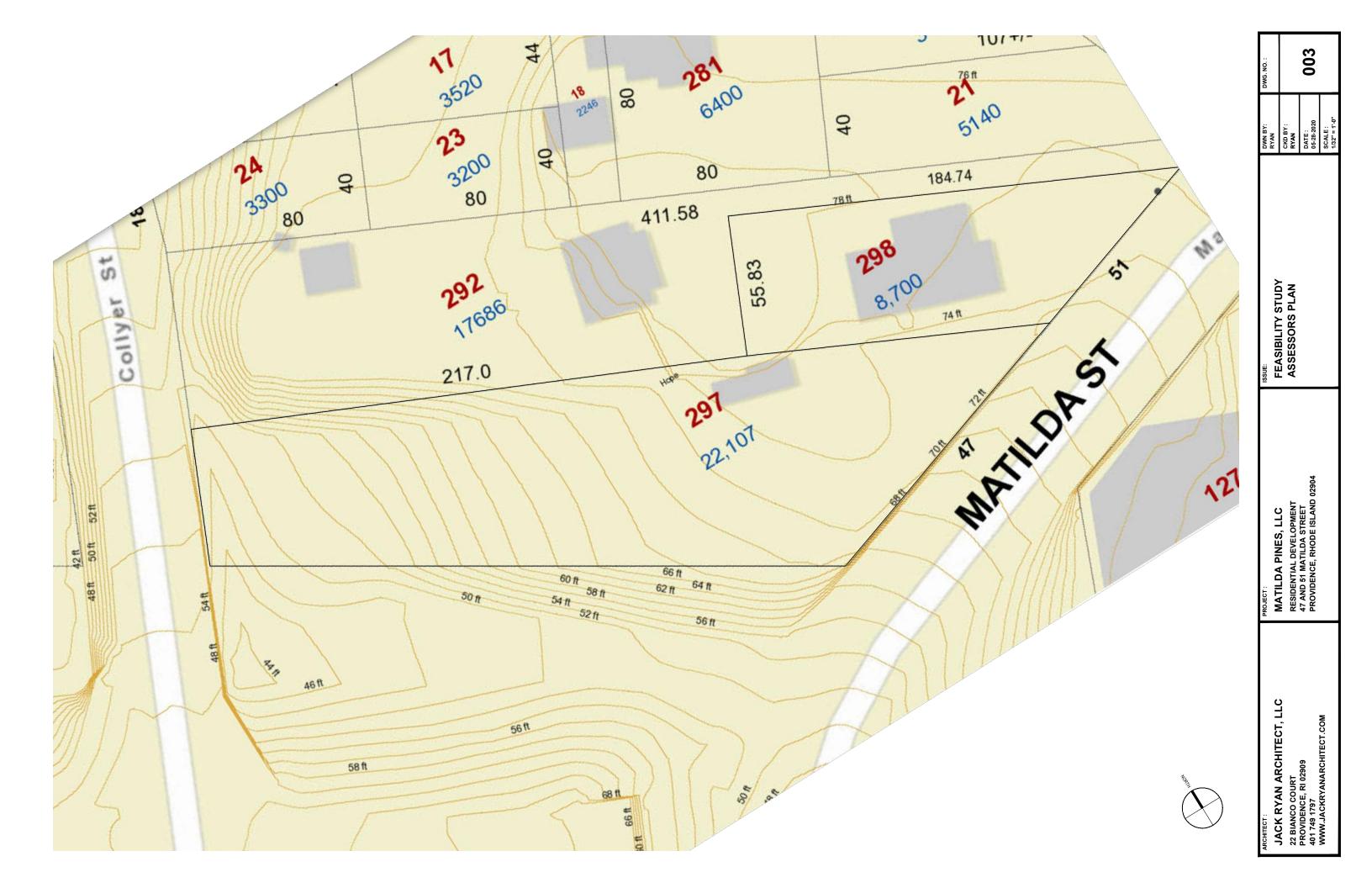




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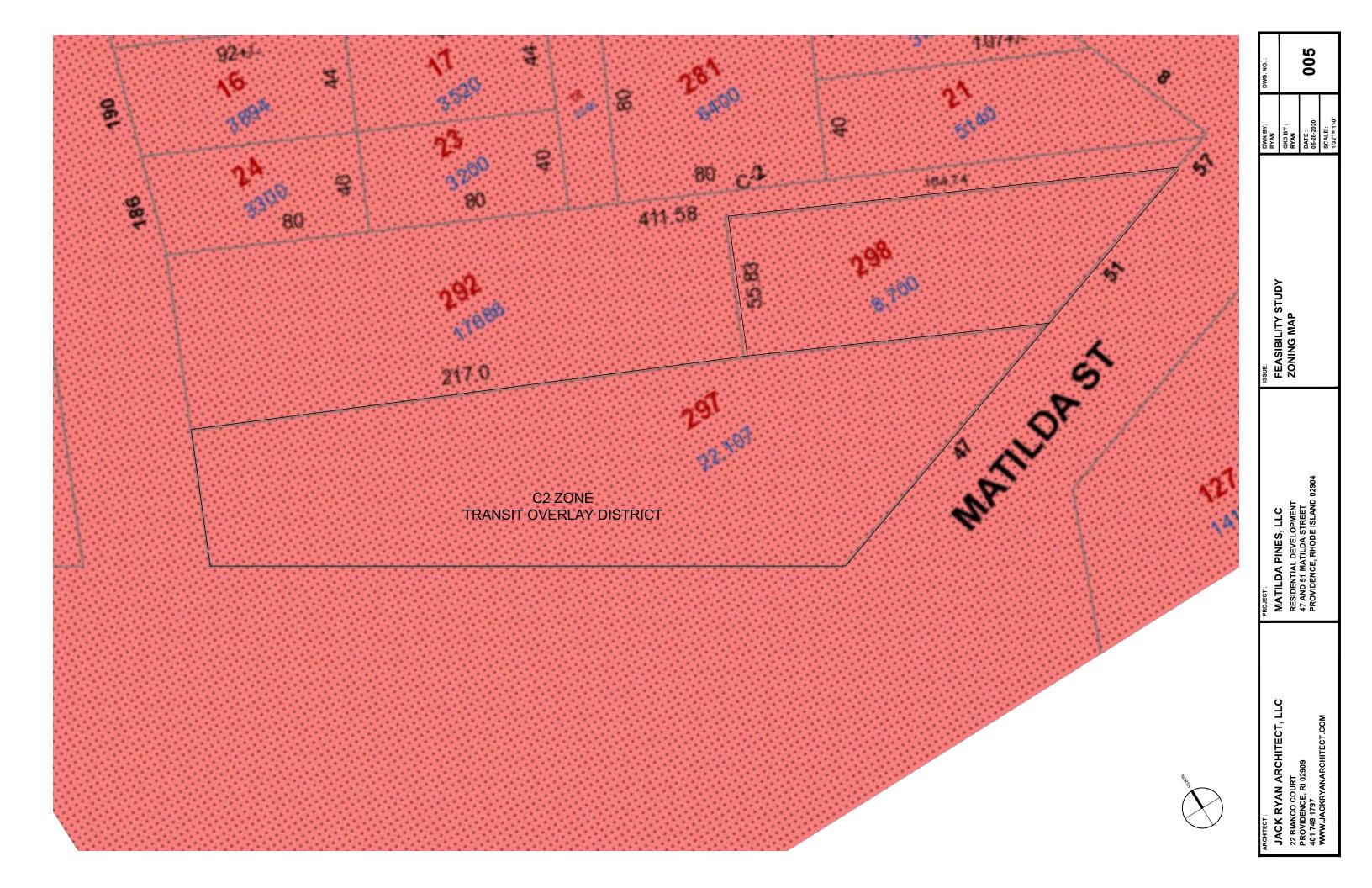
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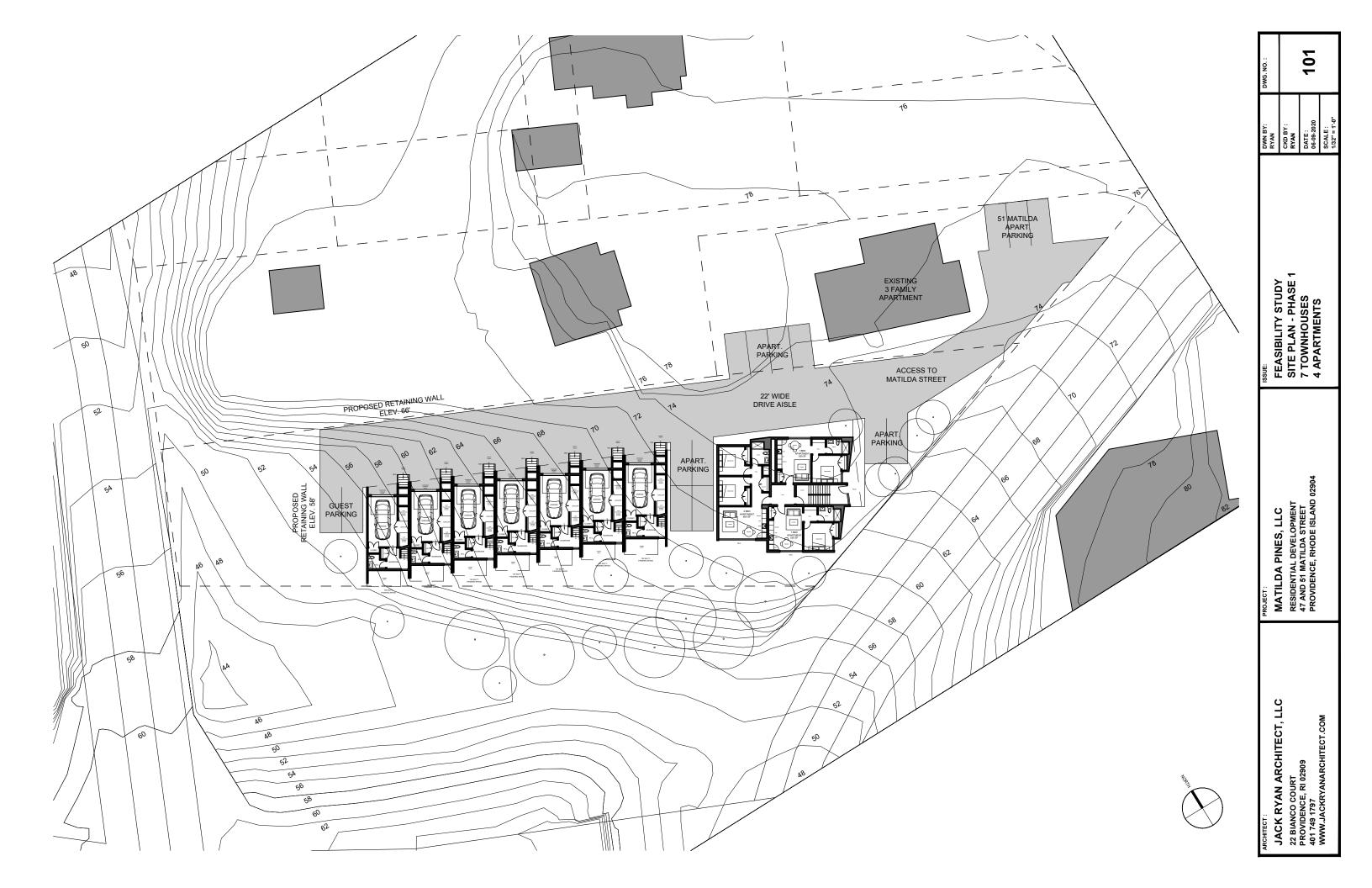
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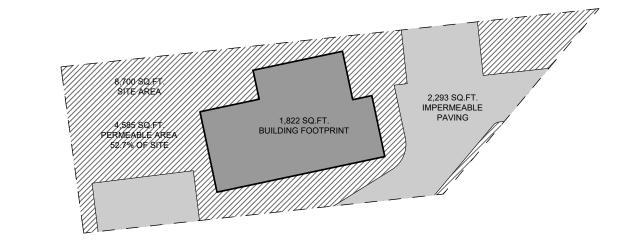
RESIDENTIAL DEVELOPMENT

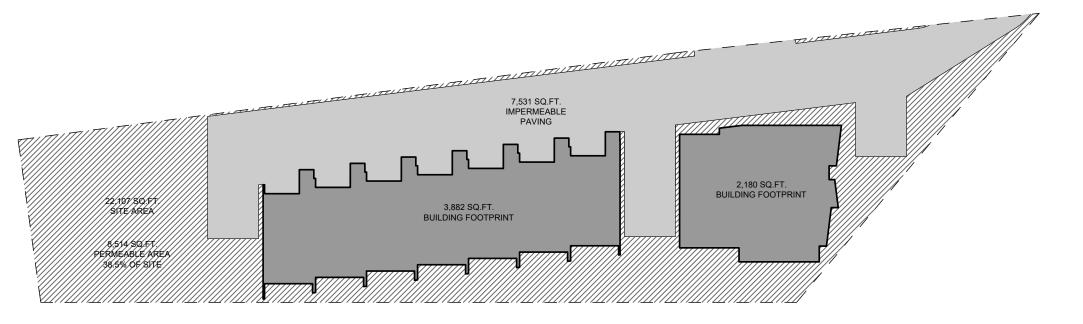
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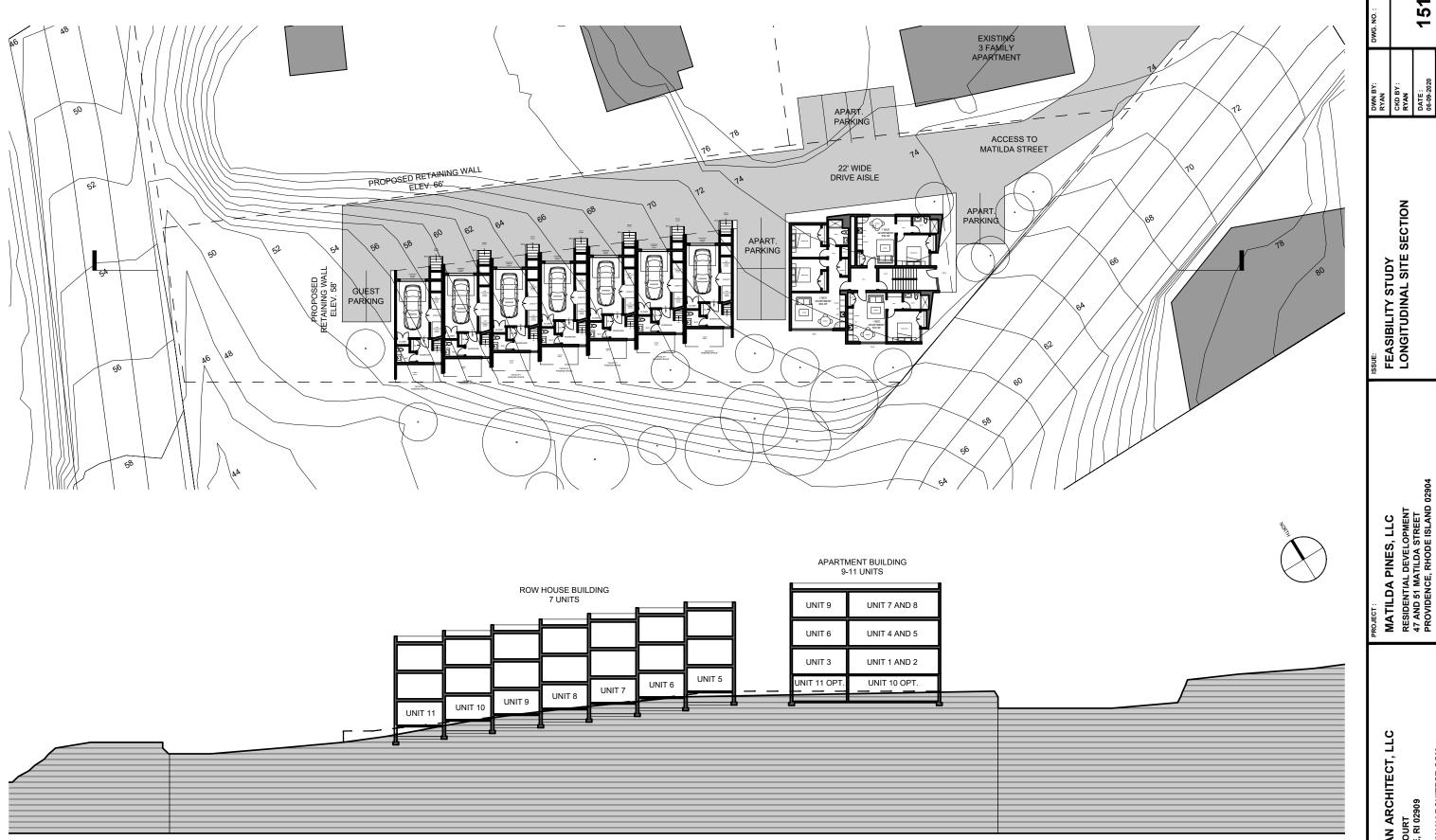


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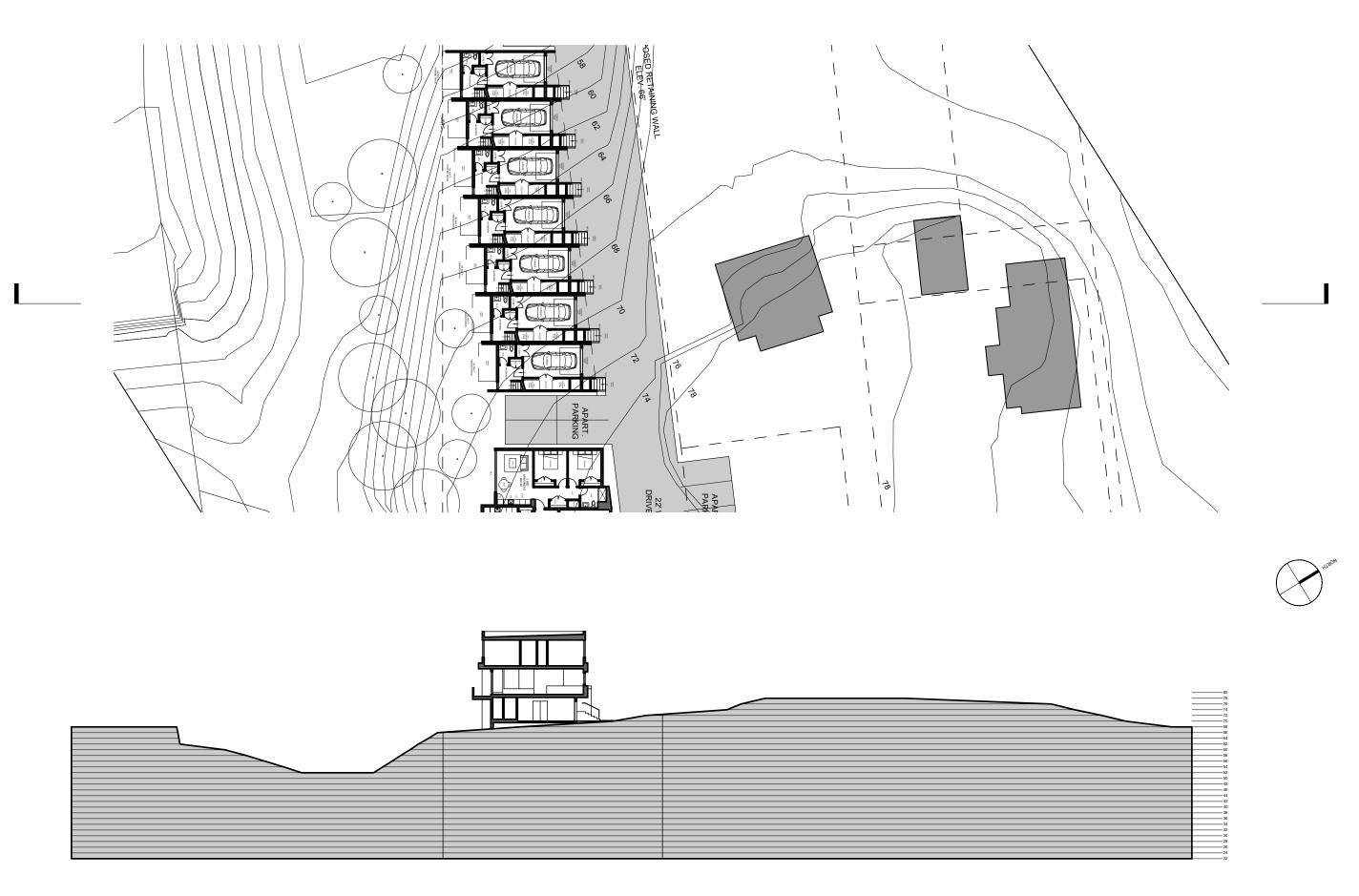
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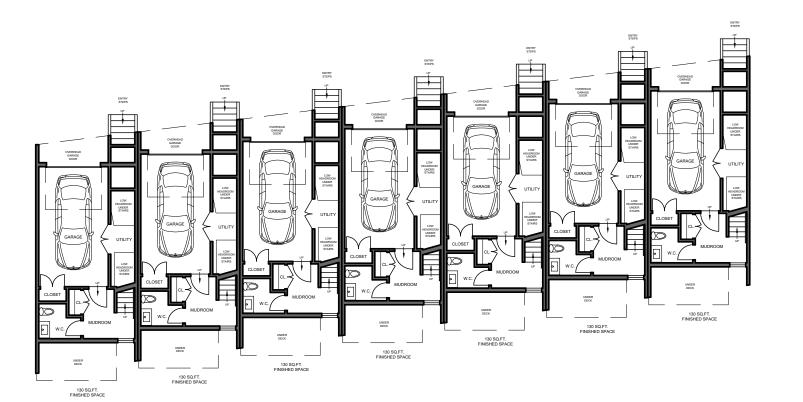
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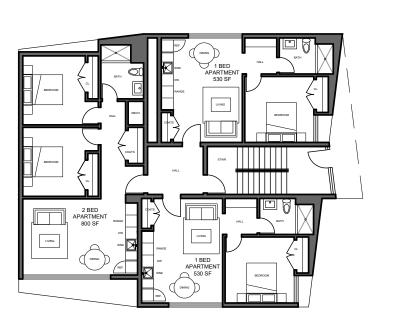
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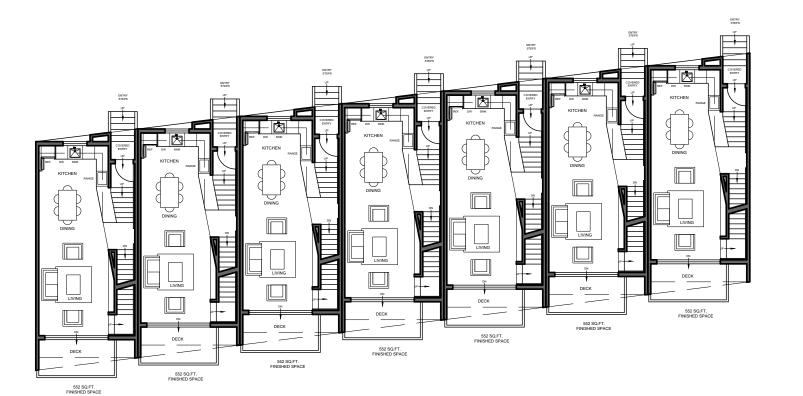
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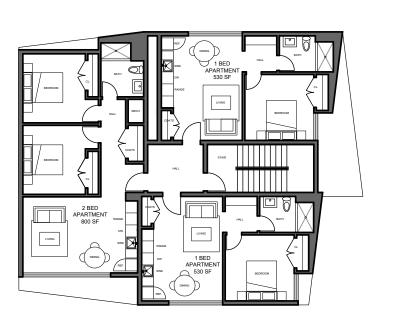
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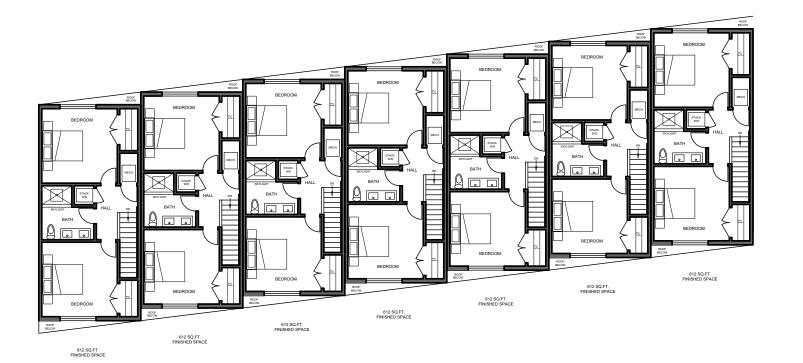


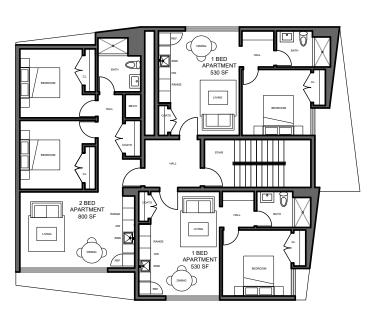
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FEASIBILITY STUDY SECOND LEVEL PLAN

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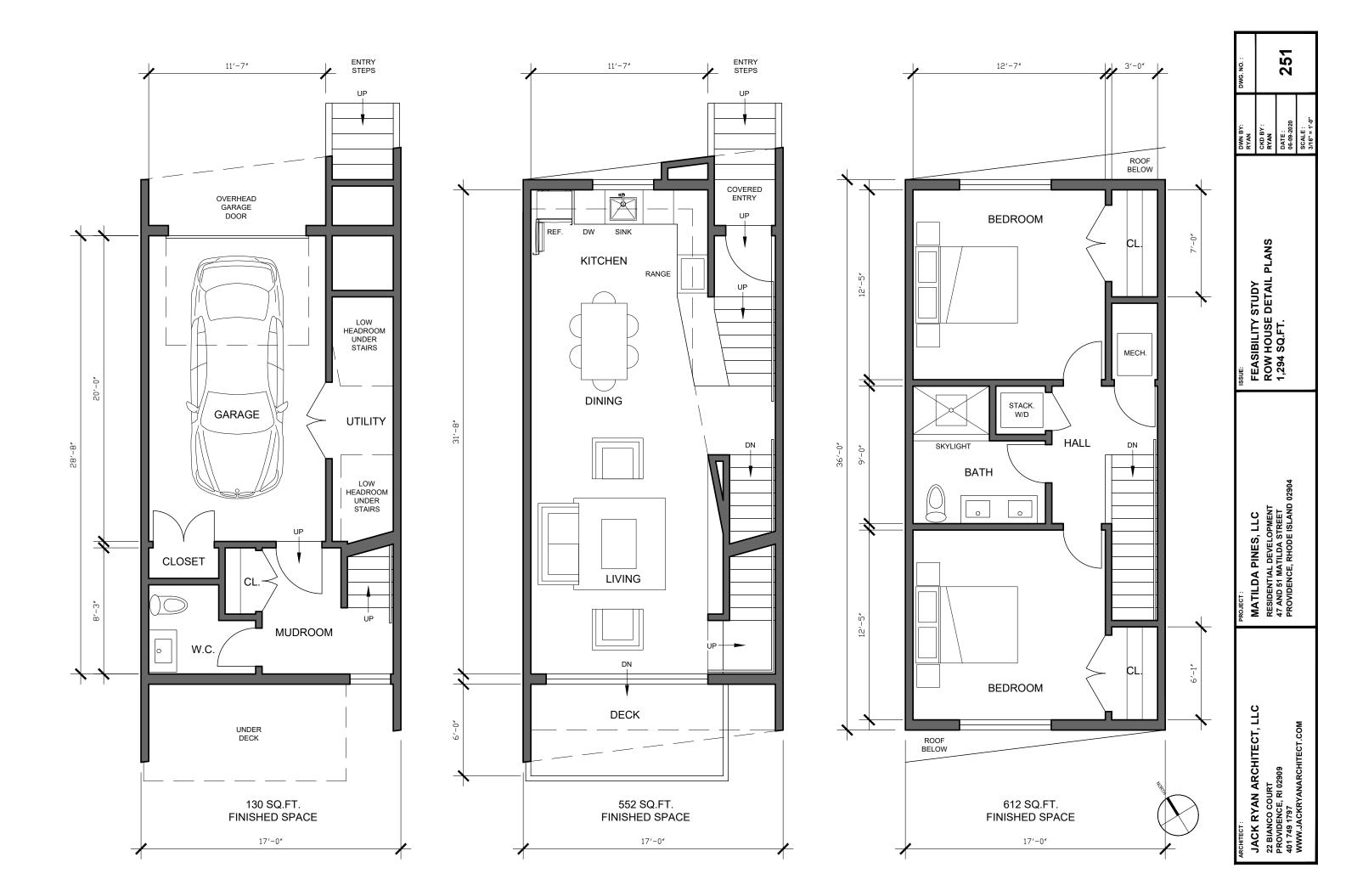


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FEASIBILITY STUDY
APARTMENT DETAIL PLANS
GROUND FLOOR





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FEASIBILITY STUDY
APARTMENT DETAIL PLANS
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301



ISSUE: FEASIBILITY STUDY SOUTH ELEVATION MATILDA PINES, LLC
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FEASIBILITY STUDY
SOUTH ELEVATION DETAIL PROJECT:

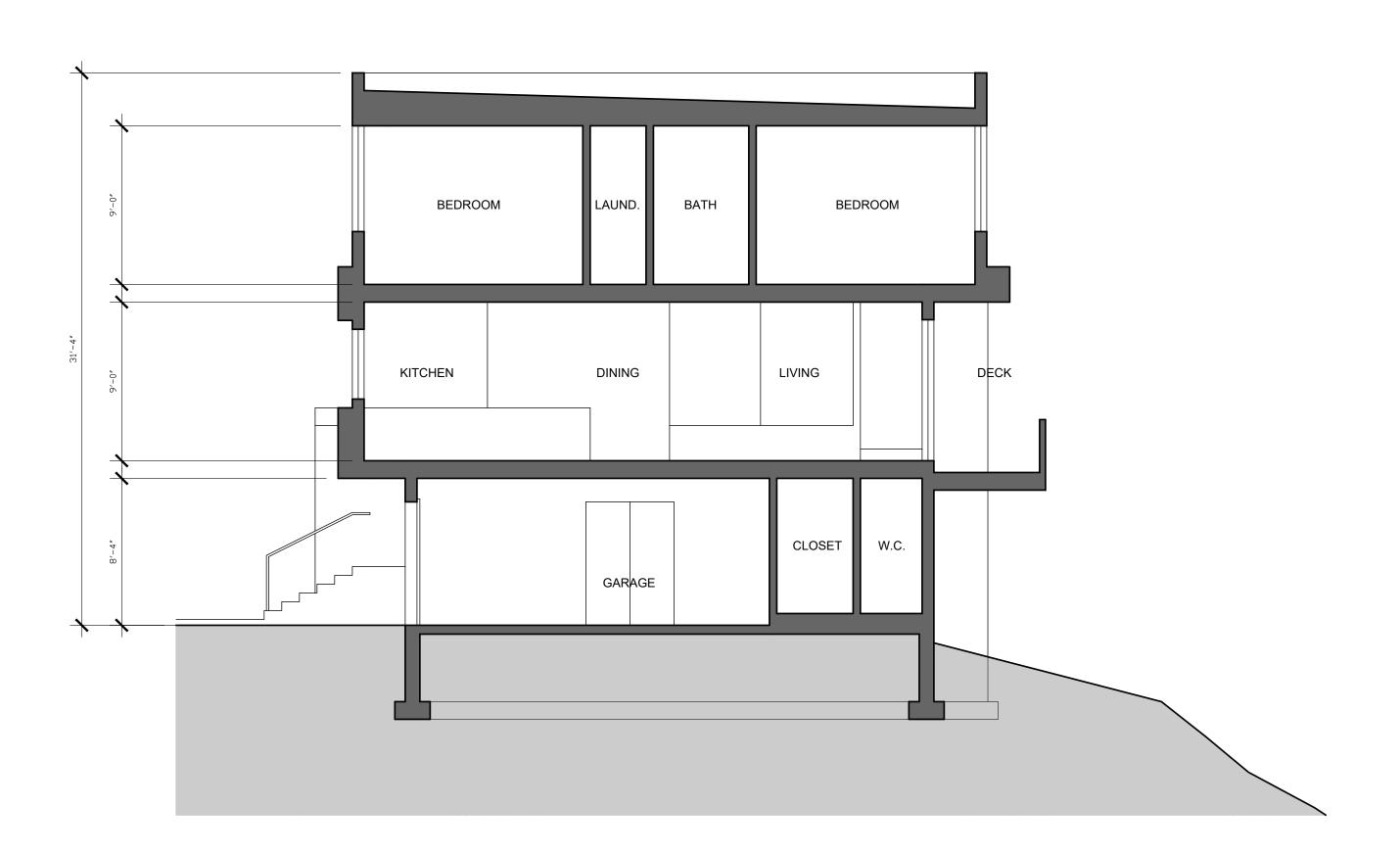
MATILDA PINES, LLC

RESIDENTIAL DEVELOPMENT
47 AND 51 MATILDA STREET

PROVIDENCE, RHODE ISLAND 02904 ARCHITECT:

JACK RYAN ARCHITECT, LLC
22 BIANCO COURT
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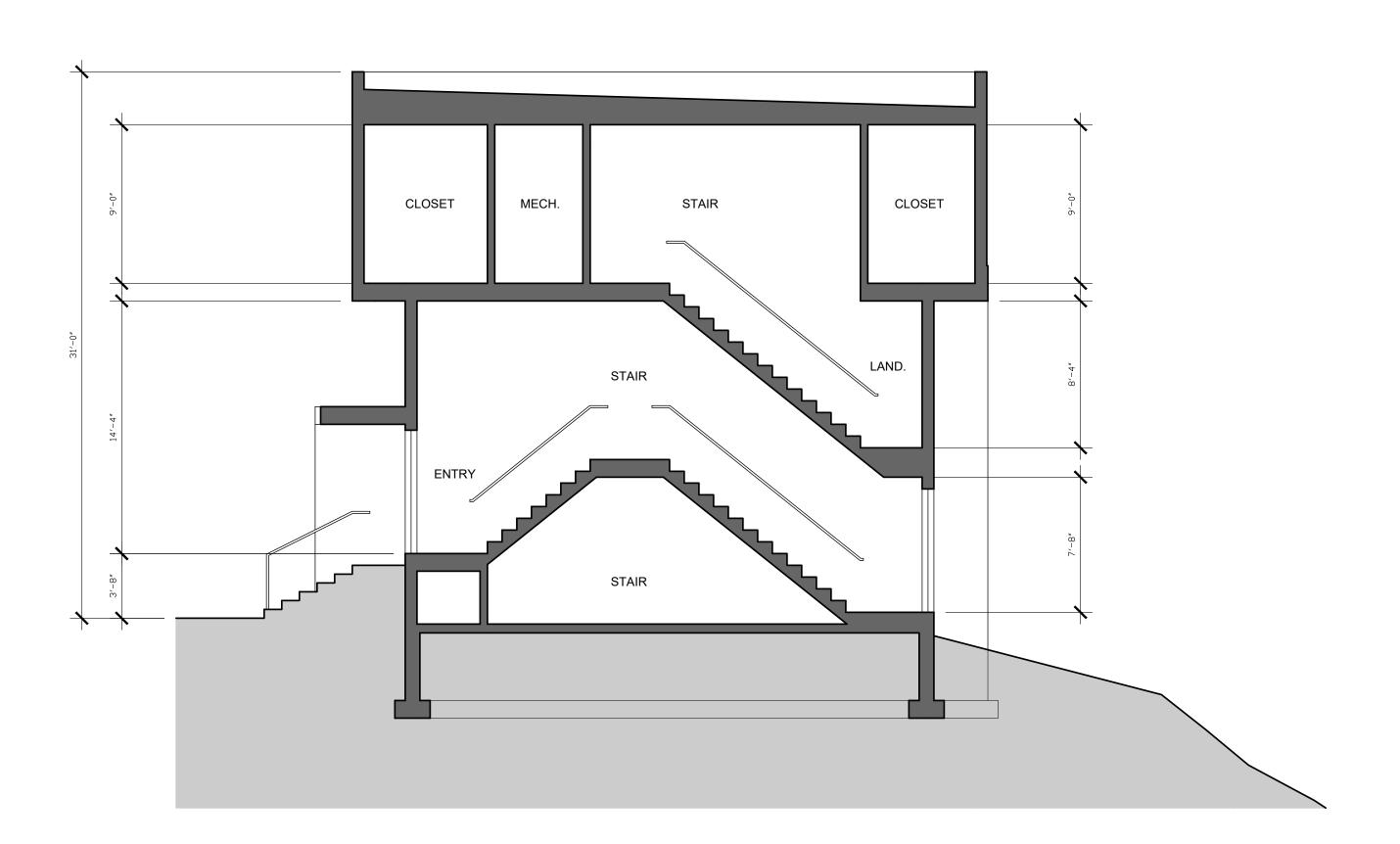
ISSUE: FEASIBILITY STUDY BUILDING SECTION MATILDA PINES, LLC
RESIDENTIAL DEVELOPMENT
47 AND 51 MATILDA STREET
PROVIDENCE, RHODE ISLAND 02904

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ARCHITECT:

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FEASIBILITY STUDY
BUILDING SECTION AT STAIR MATILDA PINES, LLC
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