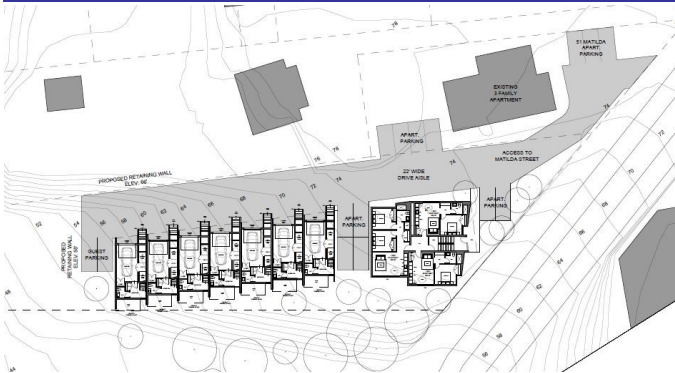


# Providence City Plan Commission



July 21, 2020

## AGENDA ITEM 5 ■ 47 MATILDA STREET



Proposed site plan



Aerial view of the site



Elevations of proposed buildings

### OVERVIEW

<b>OWNER/ APPLICANT:</b>	Matilda Pines LLC, Owner c/o Josh Chu	<b>PROJECT DESCRIPTION:</b>	The applicant is proposing to construct two buildings; a rowhouse development providing seven units and a four story building with eleven units. Design waivers from the front yard build-to percentage requirement and front yard setback are requested.
<b>CASE NO./ PROJECT TYPE:</b>	<b>20-022MI—47 Matilda Street</b> Minor Land Development	<b>RECOMMENDATION:</b>	Approve the project and design waiver subject to the noted findings and conditions.
<b>PROJECT LOCATION:</b>	47 Matilda Street AP 75 Lot 297 C-2 zone, TOD overlay	<b>PROJECT PLANNER:</b>	Choyon Manjrekar
<b>NEIGHBORHOOD:</b>	Hope		

## PROJECT OVERVIEW

The subject property is an irregularly shaped vacant lot with a sloping grade located between Nashua Street and Smithfield Ave. The site is zoned C-2 under the Transit Oriented Development (TOD) overlay. The applicant is proposing to construct two residential buildings. A four story, 11 unit, multifamily dwelling is proposed for the eastern portion of the lot adjacent to Nashua Street. A rowhouse development with seven vertically stacked units is proposed to the west of the multifamily dwelling toward the rear of the lot. The applicant has requested design waivers from the front yard build-to percentage requirement, and to situate the multifamily dwelling outside the front yard build-to zone on Matilda Street.

## ANALYSIS AND IDENTIFICATION OF POTENTIAL ISSUES

### Use

Multifamily dwellings and multiple principal buildings, with no restriction on the number of dwelling units per lot, are permitted by right in the C-2 zone.

### Dimensions and Site Design

**Multifamily building:** The 11 unit multifamily building is proposed at the eastern portion of the lot adjacent to Matilda Street, which is designated as the front yard. Design waivers to situate the building outside the build-to zone, and for the front yard setback have been requested. Per the site plan, the building will be located off a driveway originating on Matilda Street. The four story building, which is approximately 40' tall from average grade, will have a footprint of 2,180 SF and provide a mix of one and two family units. The height is within the TODs' height limit of 70'. The building's design will incorporate a unifying architectural theme with a recessed entrance and balconies on the upper stories. A cornice will break up the roofline.

Per the applicant, design waivers from the build-to percentage requirement, and for situating the multifamily building outside the build-to zone on Matilda Street are being requested due to the unique characteristics of the lot which make it difficult to meet the requirement. The entrance to the lot is located at an elevation above Matilda Street. In order to have the building front on the street, the applicant would be required to break a retaining wall, which could affect the integrity of the landscape and incur significant cost. As proposed, the site will be accessed from a driveway off the street and lead toward the building, which is at a lower grade from the entrance and set back from the front lot line. Given the irregular topography, the applicant will be unable to meet the design guidelines for the zone. The DPD recommends that the CPC grant the waiver as it is required due to the unique configuration of the site.

**Rowhouse development:** A rowhouse development of seven units is proposed to the west of the multifamily dwelling. Based on provided elevations and renderings, the development will follow the gradient of the lot, sloping toward the rear. The rowhouses will conform to the design guidelines for rowhouses in section 1202.K of the ordinance. Every unit will be approximately 32' tall. Each unit will provide one internal parking space and be accessible from a projecting stoop. The façade features changes in articulation with alternating recessed windows on stories two and three.

### Building façade materials

The façade design of both buildings will follow a similar palette and employ building materials that are permitted in the C-2 zone. Per the applicant, these materials include fiber cement board and wood siding, hardi-plank and batten siding, with a smooth stucco finish.

### Landscaping

Aproximately 3,300 SF of canopy coverage is required to meet the landscaping requirement. The landscaping plans haven't been finalized, but the applicant is proposing to retain some existing medium and large trees to meet the requirement. If trees need to be removed during construction, the applicant intends to make additional plantings. The final landscaping plan should be subject to the City Forester's approval.

### Parking

A total of 18 spaces are required for the development. Ten spaces will be provided for the multifamily and seven internal spaces will be provided for each rowhouse. Two guest parking spaces will be provided at the end of the lot. The applicant meets the parking requirement as there is no minimum parking required for residential uses in the TOD overlay.

### Drainage and Stormwater management

A stormwater collection system will be incorporated into the parking area to collect runoff from impervious surfaces and landscaped areas within the limit of disturbance. This system consists of a deep sump catch basin, sediment forebays and infiltration basins. There are two infiltration areas located at the west and south of the development. The stormwater system is designed to have runoff flow down the slope of the lot into the treatment system. The plan shall be subject to the City Engineer's approval.

### **PRELIMINARY PLAN ACTION**

Below are the DPD's recommended findings and actions on the Preliminary Plan

#### **Findings—Preliminary Plan**

Section 806 of the Commission's *Development Review Regulations* requires that the City Plan Commission make the following findings as part of their approval of all land development project applications. Based on the analysis contained herein and subject to the conditions contained in this report, staff has prepared the following findings regarding the request for approval of the Preliminary Plan stage:

1. *Consistency—The proposed development is consistent with the Comprehensive Plan and/or has satisfactorily addressed the issues where there may be inconsistencies.*

Per the future land use map of Providence Tomorrow this area is one intended for Neighborhood Commercial use, where residential uses are encouraged. As the site is adjacent to the growth corridor of North Main Street, the proposed housing would conform to the intent of the plan. Provision of housing would also be in conformance with Objective H-2 of the comprehensive plan, which encourages construction of new and diverse housing stock.

2. *Compliance with Zoning Ordinance—The proposed development is in compliance with the standards and provisions of the Zoning Ordinance.*

Use: Multifamily development is permitted by right in the C-2 zone.

Dimension: The development largely conforms to the dimensional requirements of the C-2 zone as previously discussed. A design waiver to site the building as proposed is required. The DPD recommends that the CPC grant the waiver, finding that it is required due to the site's configuration.

Parking: As discussed, the applicant meets the parking requirement.

Landscaping: The final landscaping plan shall be subject to the City Forester's approval.

3. *Environmental Impact—There will be no significant environmental impacts from the proposed development as shown on the final plan, with all required conditions for approval.*

The applicant has submitted a stormwater management plan which will treat stormwater on site. The plan shall be subject to the City Engineer's approval.

No negative environmental impacts are expected as the applicant is expected to come into conformance with all applicable environmental regulations.

4. *Buildable Lot—The subdivision or development project, as proposed, will not result in the creation of individual lots with such physical constraints to development that building on those lots according to pertinent regulations and building standards would be impracticable.*

Based on the above discussion, there are no physical constraints that impact development of this property.

5. *Street Access—All proposed development projects and all subdivision lots shall have adequate and permanent physical access to a public street. Lot frontage on a public street without physical access shall not be considered compliance with this requirement.*

Adequate vehicular and pedestrian access is provided from Matilda Street.

#### **Recommendation—Preliminary Plan**

##### Design Waiver

The CPC should grant the requested design waivers from the build-to percentage and build-to zone requirements, finding that they are required due to the site's configuration.

##### Preliminary Plan Approval

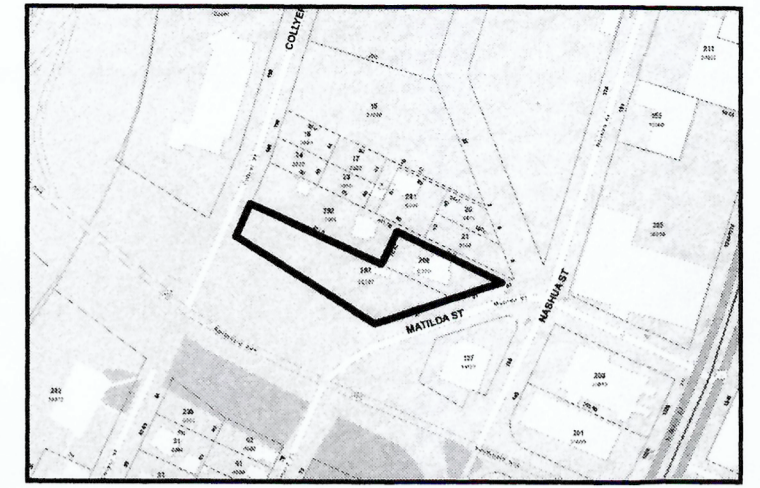
Upon approving the waivers, the CPC should approve the preliminary plan subject to the following conditions:

1. The validity of the preliminary plan should be extended to one year from the date of recording of the approval letter.
2. The final landscaping plan shall be subject to the City Forester's approval.
3. The drainage plan shall be subject to the City Engineer's approval.
4. Final plan approval should be delegated to DPD staff.



**REFERENCE:**

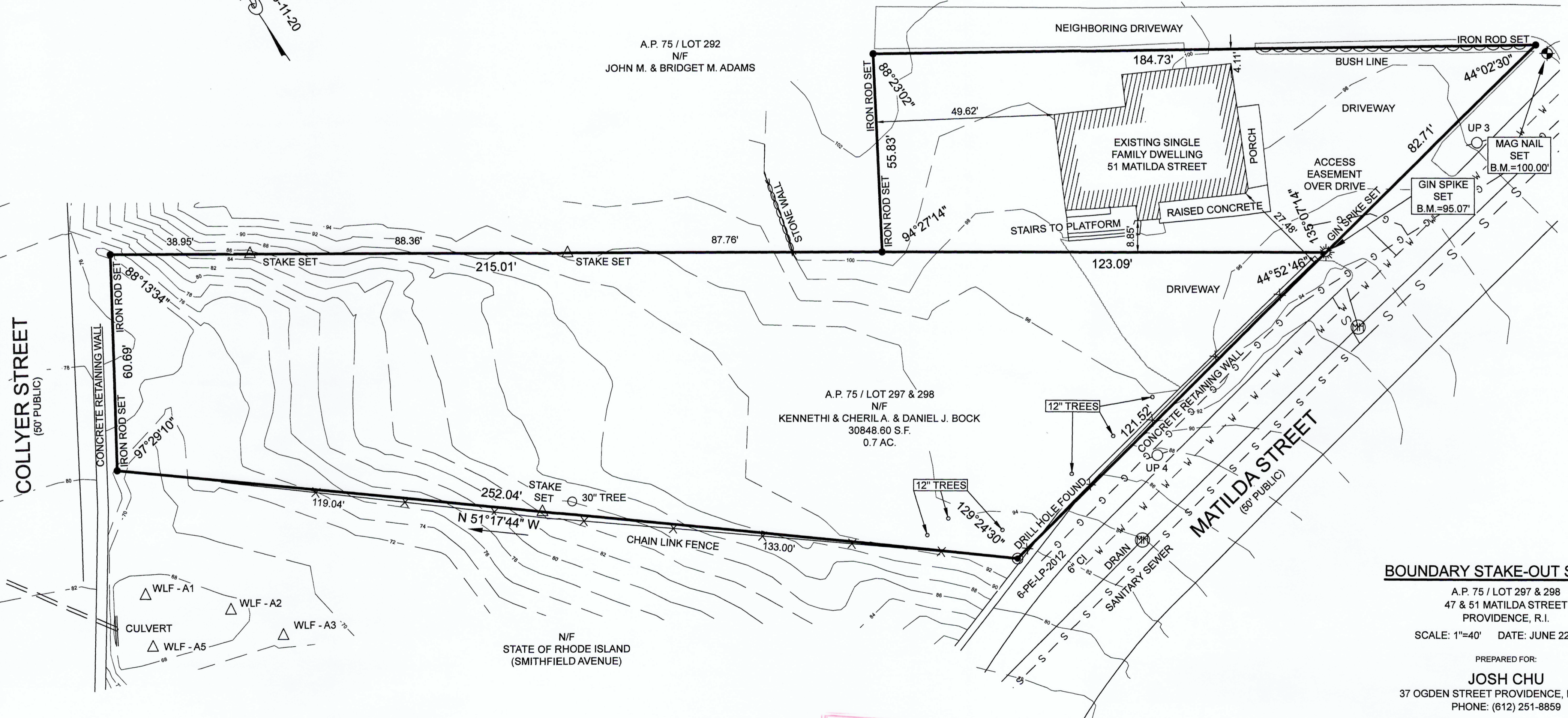
1. DEED BK. 9894 PG. 121
2. NEW LOT #1 "A.P. 75 LOT 291 SUBDIVISION PROVIDENCE, R.I. MATILDA3 MARCH 20, 2007" DOC # 01000625



LOCUS MAP

**ZONING DISTRICT C-2**

MINIMUM LOT AREA	NONE
MINIMUM LOT FRONTAGE	NONE
MINIMUM SETBACKS: FRONT	125'
SIDE	NONE
CORNER SIDE	125'
REAR	NONE
MAXIMUM BUILDING & IMPERVIOUS SURFACE COVERAGE:	NONE
MAXIMUM BUILDING HEIGHT: 50' NOT TO EXCEED 4 STORIES.	
MINIMUM FIRST STORY HEIGHT 9' RES. 11' NON-RES USE	
MINIMUM BUILDING HEIGHT 16'	



**BOUNDARY STAKE-OUT SURVEY**

A.P. 75 / LOT 297 & 298  
47 & 51 MATILDA STREET  
PROVIDENCE, R.I.

SCALE: 1"=40' DATE: JUNE 22, 2020

PREPARED FOR:

**JOSH CHU**

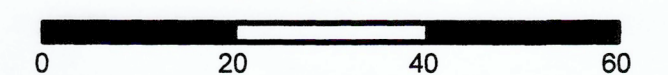
37 OGDEN STREET PROVIDENCE, R.I. 02906  
PHONE: (612) 251-8859

PREPARED BY:

**OCEAN STATE PLANNERS, INC.**  
1255 OAKLAWN AVENUE, CRANSTON, RI 02920  
PHONE: (401) 463-9696 info@osplanners.com

JOB NO. 9714 / DWG. NO. 9714 - (AJB)

GRAPHIC SCALE / 1" = 20'



**SURVEY CLASSIFICATION:**

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY: LIMITED CONTENT BOUNDARY SURVEY  
MEASUREMENT SPECIFICATION: CLASS III

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:

TO ESTABLISH AND STAKE RECORD BOUNDARY LINES, SITE TOPOGRAPHY, AND WETLAND LOCATIONS

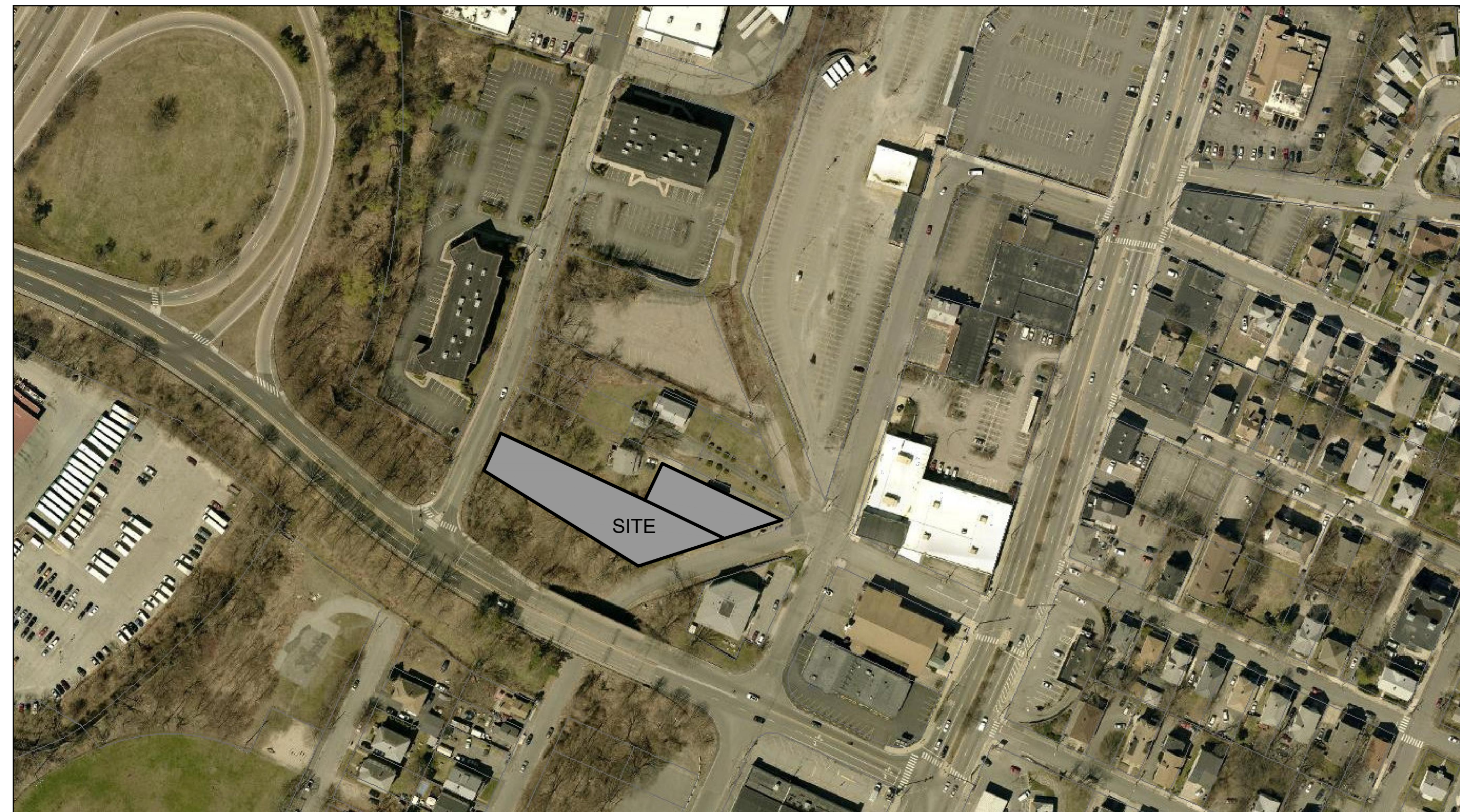
BY: *[Signature]* DATE: 6/22/2020  
BY: RICHARD T. BZDYRA, PLS. LICENSE #1786; COA # LS-A60





# SITE DEVELOPMENT PLANS

47 & 51 Matilda Street  
 Assessors Map 75, Parcel 297 & 298  
 Providence, Rhode Island  
 June, 2020

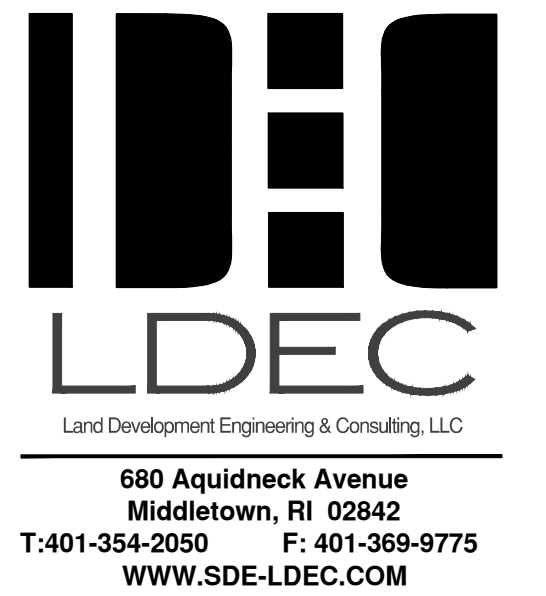


**CIVIL ENGINEER**  
 LAND DEVELOPMENT ENGINEERING  
 & CONSULTING, LLC.  
 1700 WEST MAIN ROAD, SUITE 8  
 MIDDLETOWN, RI 02842  
 (401) 354-2050

**LAND SURVEYOR**  
 OCEAN STATE PLANNERS, INC.  
 1255 OAKLAWN AVENUE,  
 CRANSTON, RI 02920  
 (401) 463-9696

**ARCHITECT**  
 JACK RYAN ARCHITECT  
 22 BIANCO CT.  
 PROVIDENCE, RI 02909  
 (401) 749-1797

<u>PLAN INDEX</u>	
<u>TITLE</u>	<u>SHEET NO.</u>
COVER SHEET	1
EXISTING CONDITIONS PLAN	2
SITE LAYOUT PLAN	3
GRADING & DRAINAGE PLAN	4
UTILITY PLAN	5
EROSION CONTROL PLAN	6
CONSTRUCTION DETAILS	7



NO.	DATE	DESCRIPTION	APPROVED

DATE: JUNE 19, 2020  
 DRAWN BY: SJE    DESIGN BY: SJE    CHECK BY: MER  
 PROJECT NO. 20067  
 ISSUED FOR: PERMITTING



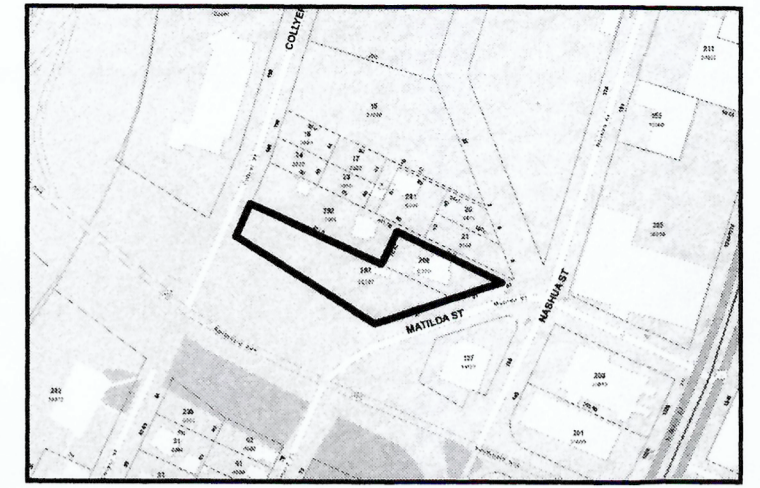
**SITE DEVELOPMENT PLANS**  
 47 & 51 MATILDA STREET  
 ASSESSOR'S MAP 75, PARCELS 297 & 298  
 PROVIDENCE, RHODE ISLAND  
 PREPARED FOR MATILDA PINES, LLC.

DRAWING TITLE:  
**COVER**  
 SCALE: **1" = 10'**  
 SHEET NO.  
**1 OF 7**



**REFERENCE:**

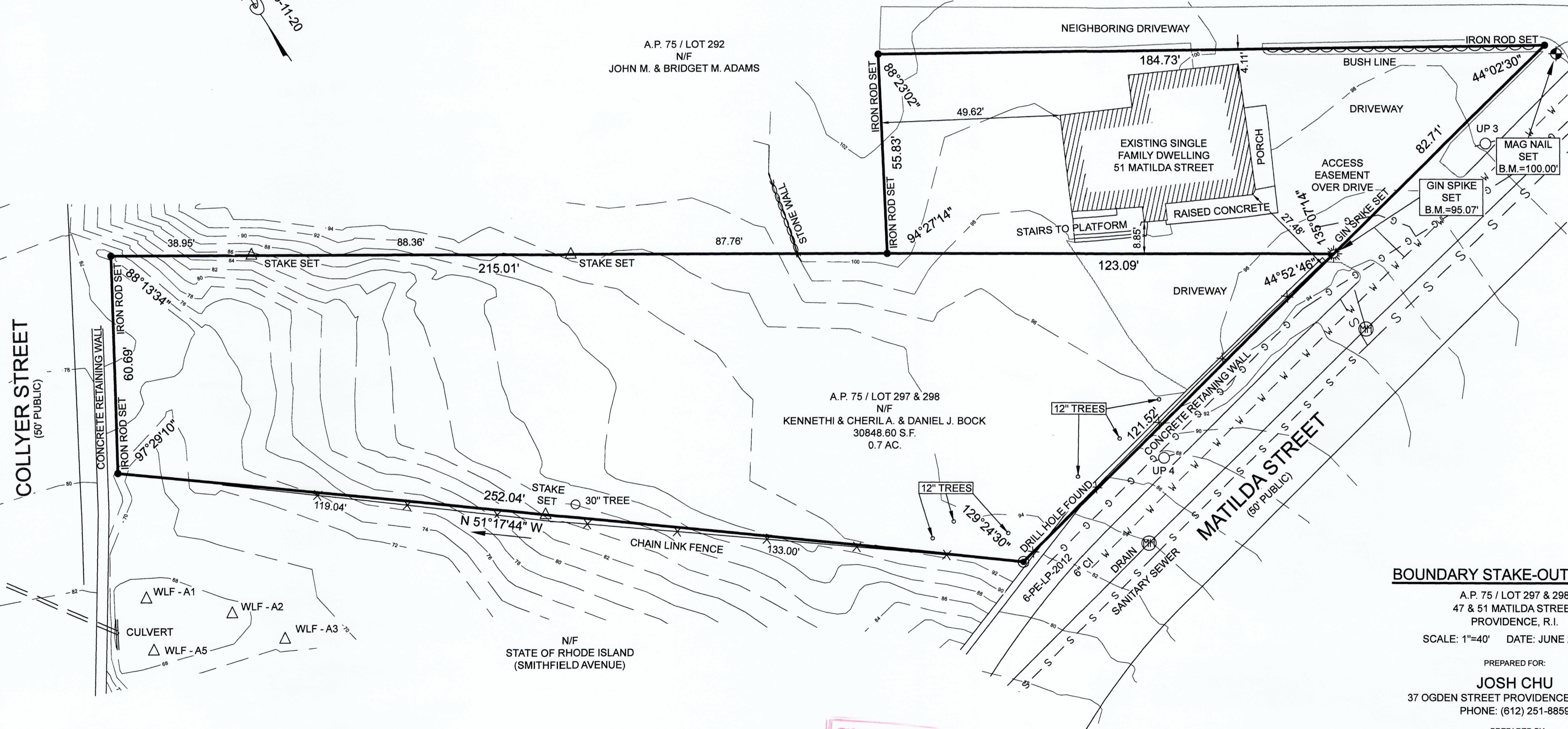
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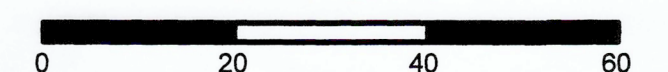
37 OGDEN STREET PROVIDENCE, R.I. 02906  
PHONE: (612) 251-8859

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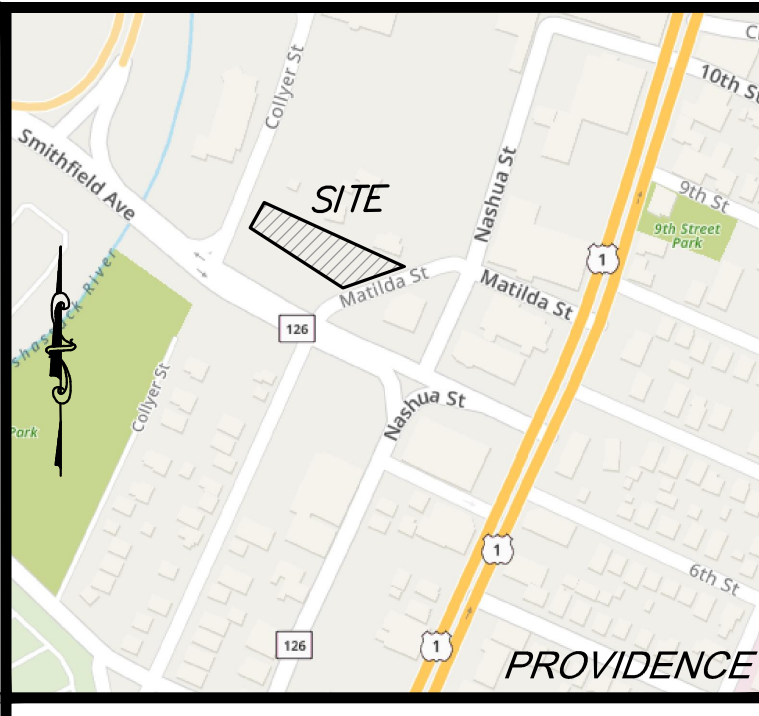
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BY: *[Signature]* DATE: 6/22/2020  
BY: RICHARD T. BZDYRA, PLS. LICENSE #1786; COA # LS-A60







**LOCUS** NOT TO SCALE

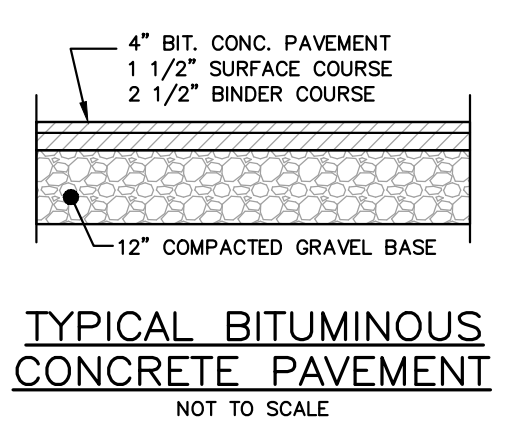
**NOTES:**

- EXISTING CONDITIONS INFORMATION WAS COMPILED FROM AN ON THE GROUND SURVEY PERFORMED BY OCEAN STATE PLANNERS, INC. ON NOVEMBER 25, 2015.
- ELEVATIONS ARE REFERENCED TO AN ASSUME DATUM.
- THE SITE IS NOT LOCATED WITHIN ANY SPECIAL FLOOD HAZARD AREAS AS DETERMINED FROM THE CITY OF PROVIDENCE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 44007C0307J (EFFECTIVE DATE OCTOBER 2, 2015).
- THIS PLAN AND ANY ACCOMPANYING CERTIFICATIONS DO NOT CONSTITUTE A CERTIFICATION OF TITLE TO THE PROPERTY DISPLAYED HEREON. THE OWNER OF LOCUS AND ADJUTING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.
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- WETLAND DELINEATION WAS PERFORMED BY NATURAL RESOURCE SERVICES, INC. ON 5/29/20.

**ZONING REQUIREMENTS:**

ZONING DISTRICT : GENERAL COMMERCIAL DISTRICT (C-2)

	REQUIRED:	EXISTING	PROPOSED
LOT AREA	NONE	22,090 S.F.	22,090 S.F.
LOT FRONTAGE	NONE	121.5 FT.	121.5 FT.
FRONT YARD SETBACK	0'-5'	- FT.	4.1 FT.
SIDE YARD SETBACK	NONE	- FT.	1.15 FT.
REAR YARD SETBACK	NONE	- FT.	70.48 FT.
MAX. BUILDING HEIGHT	50'	- FT.	- FT.
MAX STORIES	4 STORIES	NONE	-

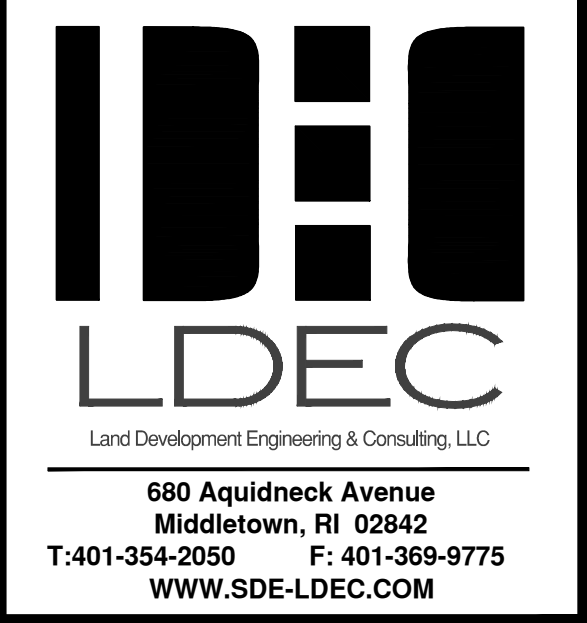
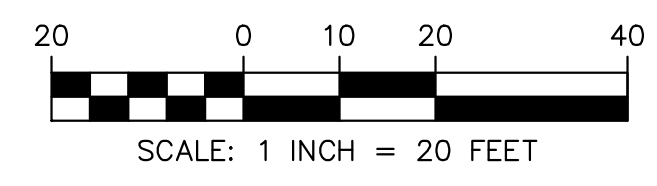
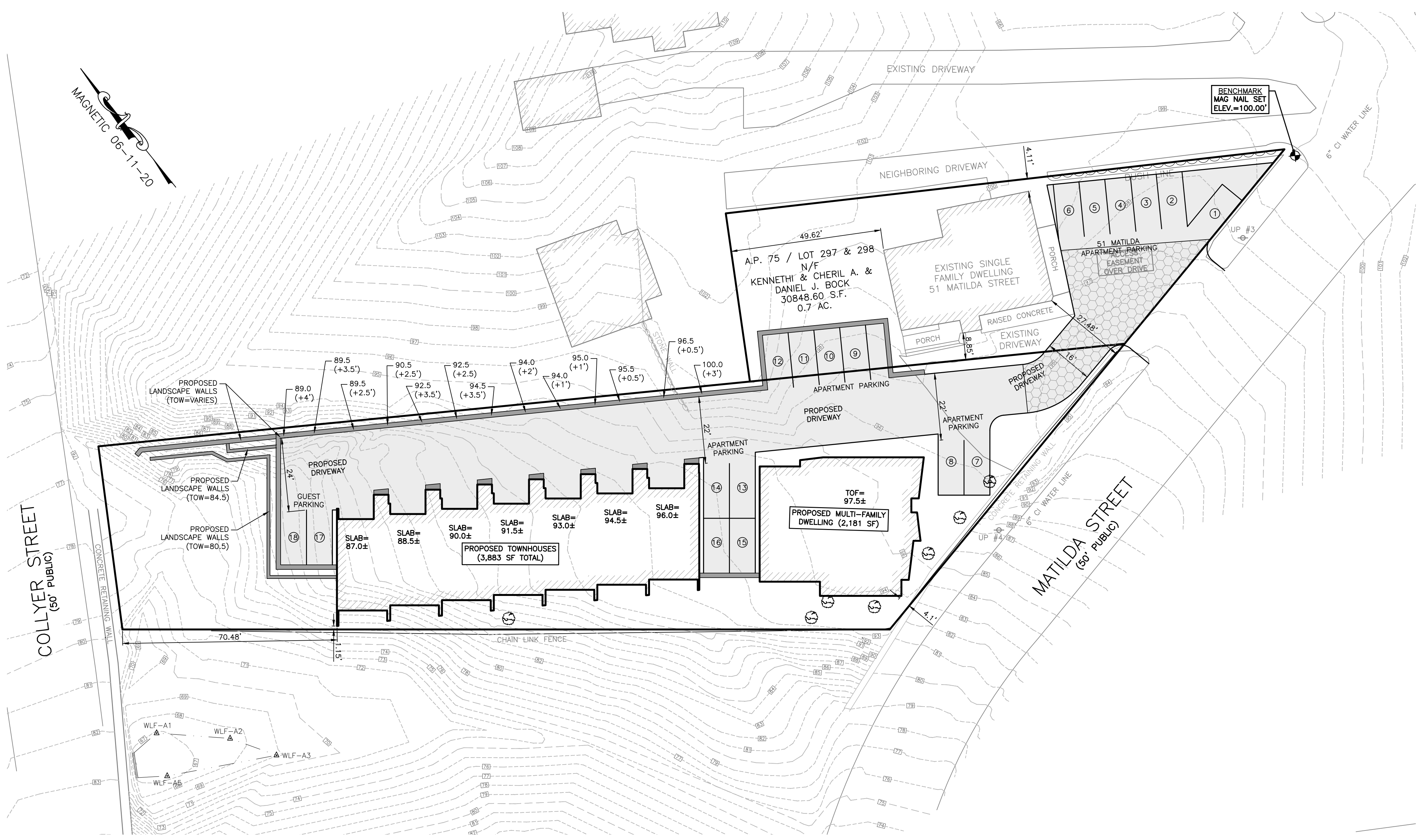


**PARKING REQUIREMENTS**

REGULATION	REQUIREMENT
DWELLING MULTI-FAMILY = 1 PER DWELLING UNIT	10 UNITS = 10 SPACES
SINGLE FAMILY DWELLING = 1 PER DWELLING UNIT	1 UNIT = 1 SPACE 11 SPACES (REQUIRED) 18 SPACES (PROVIDED)
REQUIRED BICYCLE SPACES = 1 PER 5 DWELLING UNITS	TOTAL UNITS = 11 11/5 = 2 BICYCLE SPACES

**LEGEND**

⊙	DRAIN MANHOLE	+88.88	PROPOSED GRADE
⊗	FIRE HYDRANT	88.00	PROPOSED CONTOUR
⊕	MAIL BOX	12" D	PROPOSED DRAIN LINE
⊙	SEWER MANHOLE	G	PROPOSED GAS LINE
⊙	SPOT ELEVATION	EOT	PROPOSED ELECTRIC/TELEPHONE/CABLE
⊕	STONE WALL	FM	LOW PRESSURE SEWER
—	TREE LINE		
—	UTILITY POLE		
—	WATER GATE		
—	WATER LINE		
—	UNDERGROUND GAS		
⊕	WETLAND FLAG		
⊕	WETLANDS		



NO.	DATE	DESCRIPTION	APPROVED

PLAN REVISIONS

DATE: JUNE 19, 2020

DRAWN BY: SJE    DESIGN BY: SJE    CHECK BY: MER

PROJECT NO: 20067

ISSUED FOR: PERMITTING

**PROPOSED SITE PLAN**  
47 & 51 MATILDA STREET  
ASSESSOR'S MAP 75, PARCEL 297 & 298  
PROVIDENCE, RHODE ISLAND

PREPARED FOR MATILDA PINES, LLC.

DRAWING TITLE:  
**SITE PLAN**

SCALE: **1" = 20'**

SHEET NO.  
**3 OF 7**

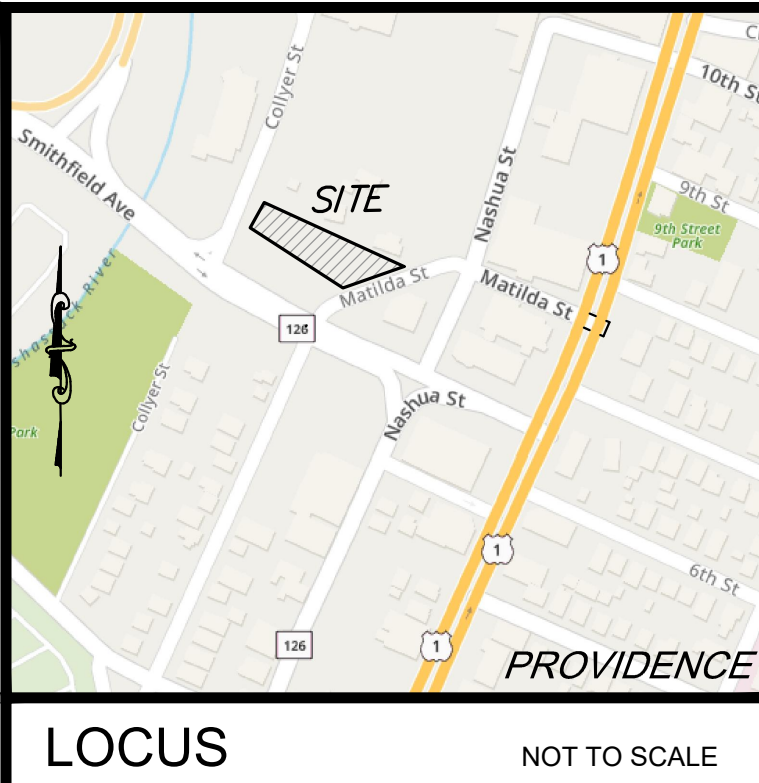








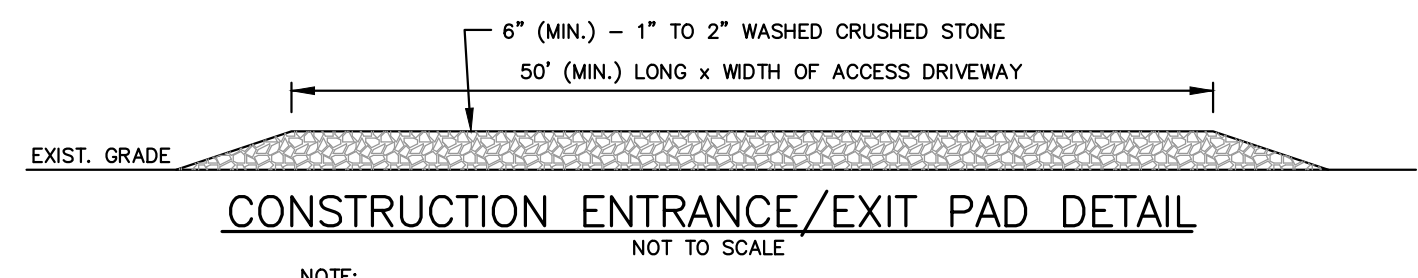




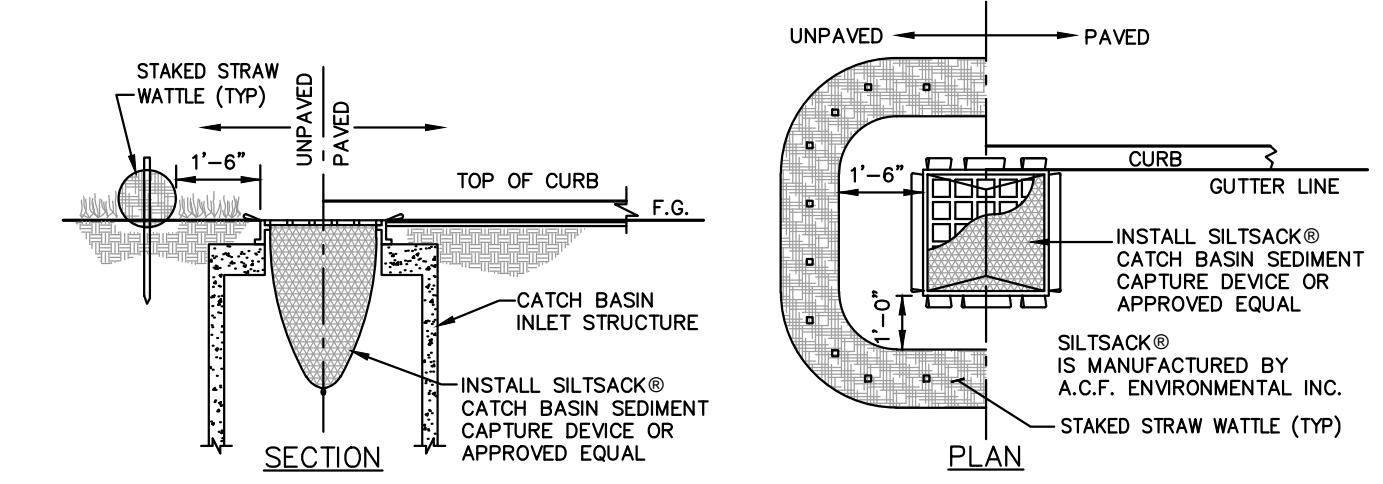
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**LOCUS** NOT TO SCALE

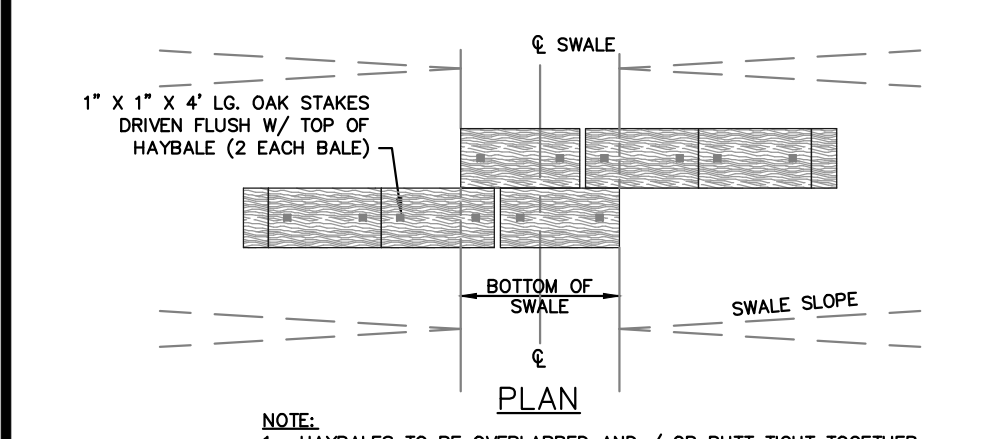


**CONSTRUCTION ENTRANCE/EXIT PAD DETAIL**  
NOT TO SCALE

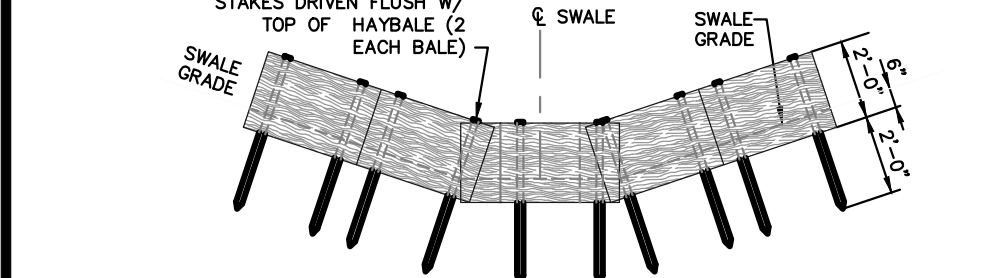


**INLET SEDIMENTATION CONTROL DETAIL**  
NOT TO SCALE

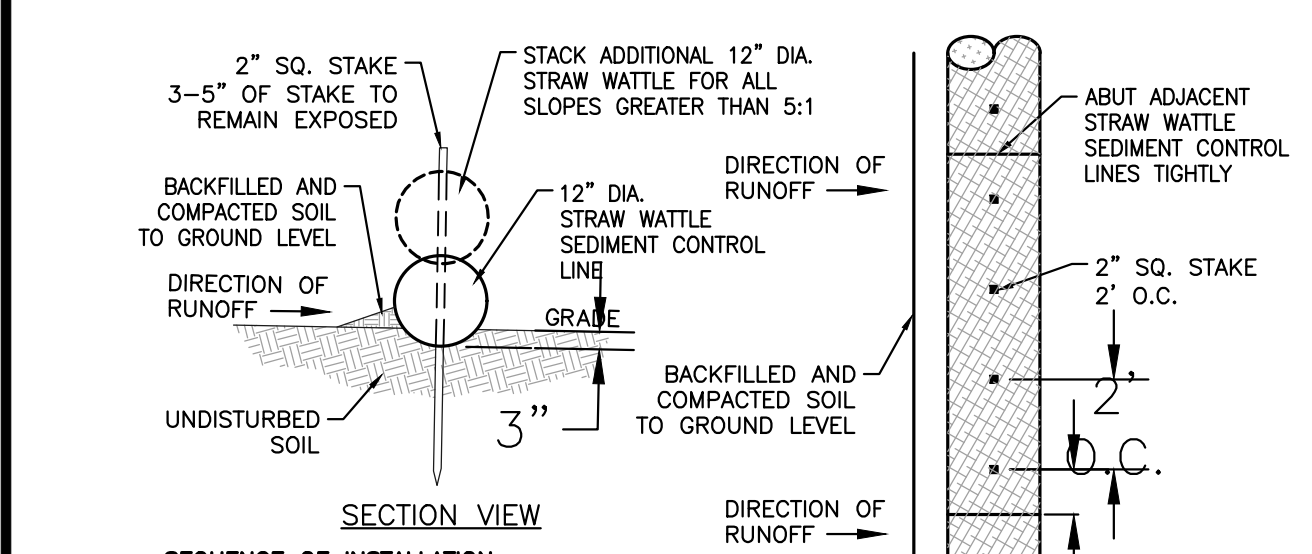
- LEGEND**
- ⊙ DRAIN MANHOLE
  - ⊕ FIRE HYDRANT
  - ⊕ MAIL BOX
  - ⊕ SEWER MANHOLE
  - ⊕ SPOT ELEVATION
  - STONE WALL
  - TREE LINE
  - UTILITY POLE
  - WATER GATE
  - WATER LINE
  - UNDERGROUND GAS
  - ⊕ A10 WETLAND FLAG
  - WETLANDS
  - PROPOSED GRADE
  - PROPOSED CONTOUR
  - PROPOSED DRAIN LINE
  - PROPOSED GAS LINE
  - PROPOSED ELECTRIC/TELEPHONE/CABLE
  - FM LOW PRESSURE SEWER



**HAYBALE CHECK DAM DETAIL**  
NOT TO SCALE

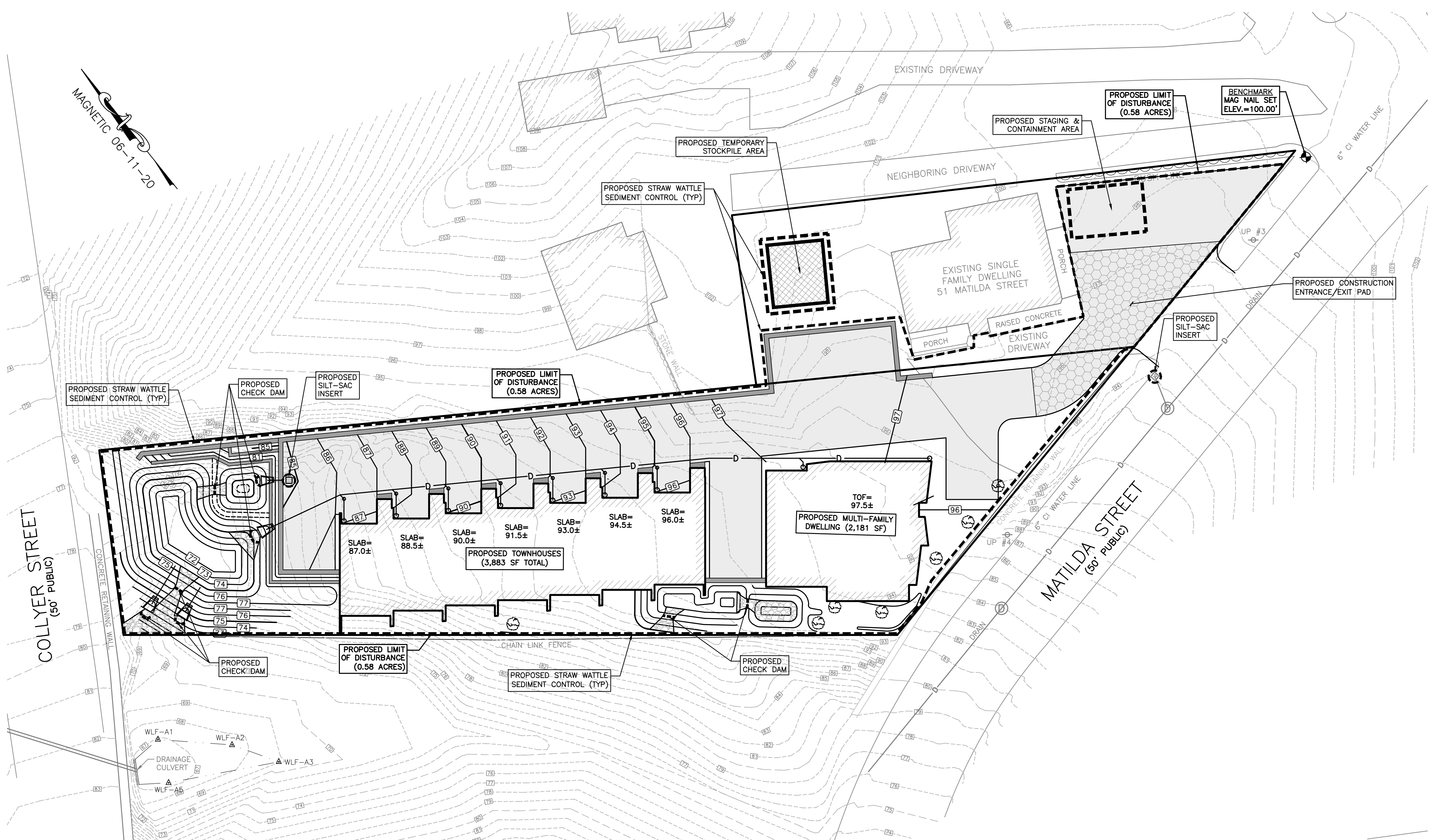


**HAYBALE CHECK DAM DETAIL**  
NOT TO SCALE



- SEQUENCE OF INSTALLATION:**
- TRENCH 3" BELOW EXISTING GRADE ALONG STRAW WATTLE/SEDIMENT CONTROL LINE ALIGNMENT.
  - PLACE AND STAKE STRAW WATTLE/SEDIMENT CONTROL LINES AS SHOWN.
  - ABUT ADJACENT CHAIR LOGS TIGHTLY.
  - BACKFILL AND COMPACT EXCAVATED MATERIAL.
- SPACING FOR SLOPE INSTALLATION:**
- 1:1 SLOPES = 10 FT. APART
  - 2:1 SLOPES = 20 FT. APART
  - 3:1 SLOPES = 30 FT. APART
  - 4:1 SLOPES = 40 FT. APART
- STACKED WATTLES REQUIRED FOR SLOPES GREATER THAN 5:1

**TYPICAL EROSION/SEDIMENT CONTROL STRAW WATTLE DETAIL**  
NOT TO SCALE



SCALE: 1 INCH = 20 FEET



680 Aquidneck Avenue  
Middletown, RI 02842  
T: 401-354-2050 F: 401-369-9775  
WWW.SDE-LDEC.COM

NO.	DATE	DESCRIPTION	APPROVED

**PLAN REVISIONS**

DATE: JUNE 19, 2020

DRAWN BY: SJE DESIGN BY: SJE CHECK BY: MER

PROJECT NO. 20067

ISSUED FOR: PERMITTING

**EROSION CONTROL PLAN**

47 & 51 MATILDA STREET  
ASSESSOR'S MAP 75, PARCEL 297 & 298  
PROVIDENCE, RHODE ISLAND

PREPARED FOR MATILDA PINES, LLC.

DRAWING TITLE:

**EROSION CONTROL PLAN**

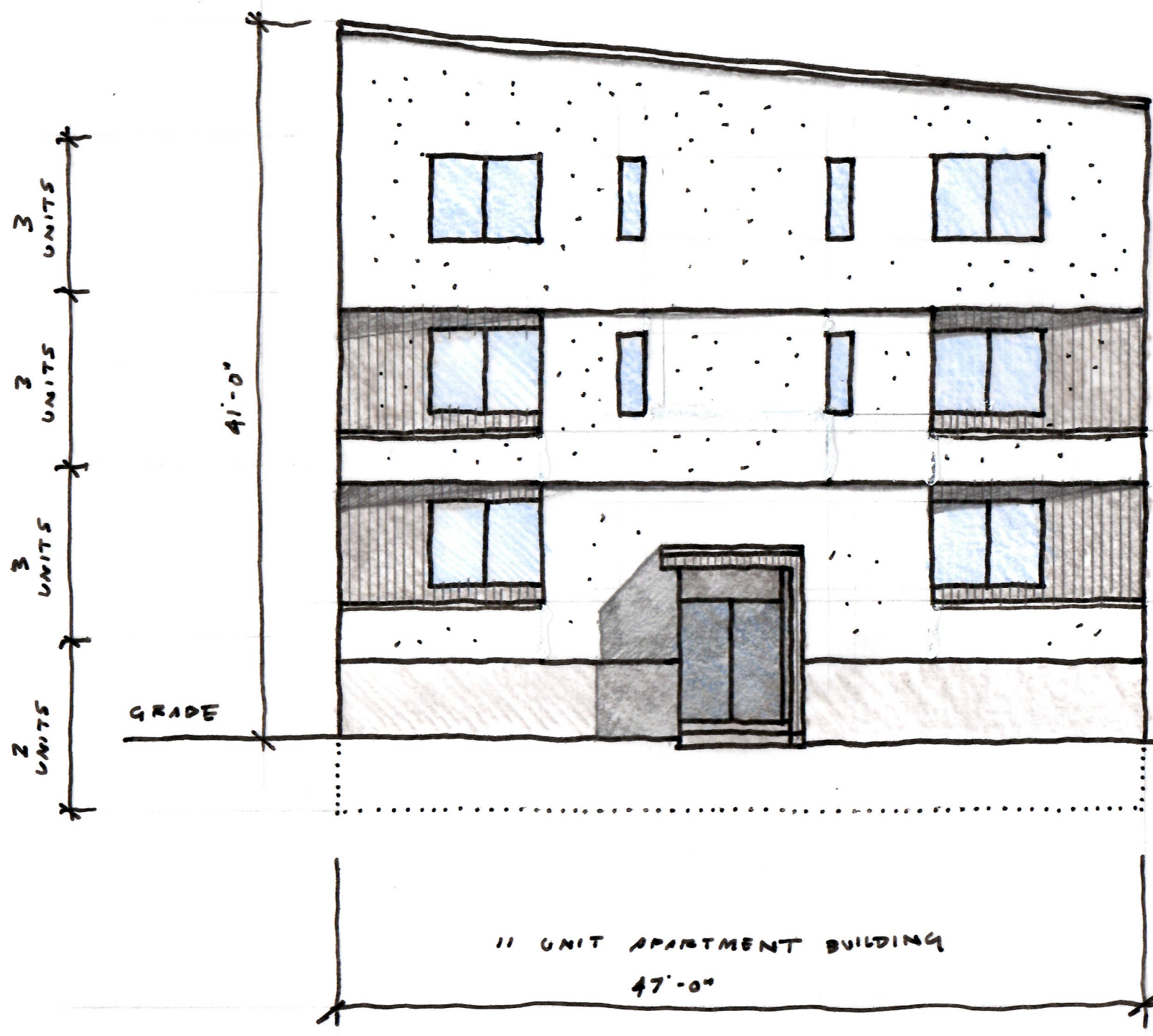
SCALE: 1" = 20'

SHEET NO.









ARCHITECT:	JACK RYAN ARCHITECT, LLC 22 BIANCO COURT PROVIDENCE, RI 02908 401 749 1797 WWW.JACKRYANARCHITECT.COM	PROJECT:	MATILDA PINES, LLC RESIDENTIAL DEVELOPMENT 47 AND 51 MATILDA STREET PROVIDENCE, RHODE ISLAND 02904	ISSUE:	FEASIBILITY STUDY NORTH ELEVATION	DWG. NO.:	303
	ARCHITECT:		JACK RYAN ARCHITECT, LLC 22 BIANCO COURT PROVIDENCE, RI 02908 401 749 1797 WWW.JACKRYANARCHITECT.COM		PROJECT:		MATILDA PINES, LLC RESIDENTIAL DEVELOPMENT 47 AND 51 MATILDA STREET PROVIDENCE, RHODE ISLAND 02904





ARCHITECT:

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22 BIANCO COURT  
PROVIDENCE, RI 02909  
401 749 1797  
WWW.JACKRYANARCHITECT.COM

PROJECT:

**MATILDA PINES, LLC**  
RESIDENTIAL DEVELOPMENT  
47 AND 51 MATILDA STREET  
PROVIDENCE, RHODE ISLAND 02904

ISSUE:

**FEASIBILITY STUDY  
EXTERIOR PERSPECTIVE**

DWN BY:

RYAN

CKD BY:

RYAN

DATE:

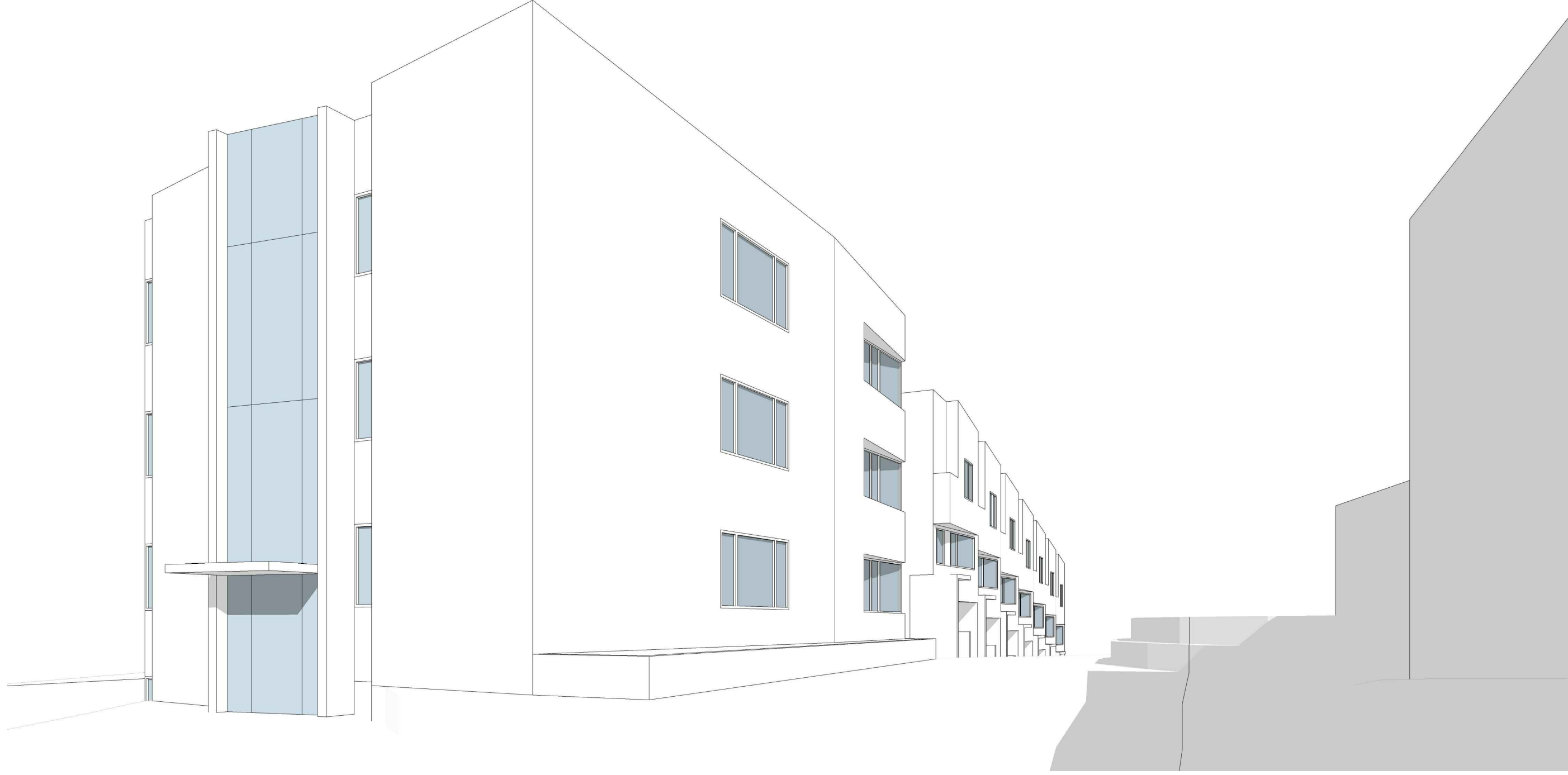
06-10-2020

SCALE:

N.T.S.

DWG. NO.:

**A**



ARCHITECT :

**JACK RYAN ARCHITECT, LLC**  
22 BIANCO COURT  
PROVIDENCE, RI 02909  
401 749 1797  
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PROJECT :

**MATILDA PINES, LLC**  
RESIDENTIAL DEVELOPMENT  
47 AND 51 MATILDA STREET  
PROVIDENCE, RHODE ISLAND 02904

ISSUE :

**FEASIBILITY STUDY  
EXTERIOR PERSPECTIVE  
FROM MATILDA STREET**

DWN BY :

RYAN

CKD BY :

RYAN

DATE :

06-10-2020

SCALE :

N.T.S.

DWG. NO. :

**B**





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22 BIANCO COURT  
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PROJECT :

**MATILDA PINES, LLC**  
RESIDENTIAL DEVELOPMENT  
47 AND 51 MATILDA STREET  
PROVIDENCE, RHODE ISLAND 02904

ISSUE :

**FEASIBILITY STUDY  
EXTERIOR PERSPECTIVE  
OF ROWHOUSES LOOKING SOUTHWEST**

DWN BY :

RYAN

CKD BY :

RYAN

DATE :

06-10-2020

SCALE :

N.T.S.

DWG. NO. :

**C**



ARCHITECT :

**JACK RYAN ARCHITECT, LLC**  
22 BIANCO COURT  
PROVIDENCE, RI 02909  
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PROJECT :

**MATILDA PINES, LLC**  
RESIDENTIAL DEVELOPMENT  
47 AND 51 MATILDA STREET  
PROVIDENCE, RHODE ISLAND 02904

ISSUE :

**FEASIBILITY STUDY  
EXTERIOR PERSPECTIVE  
OF ROWHOUSES LOOKING SOUTHEAST**

DWN BY :

RYAN

CKD BY :

RYAN

DATE :

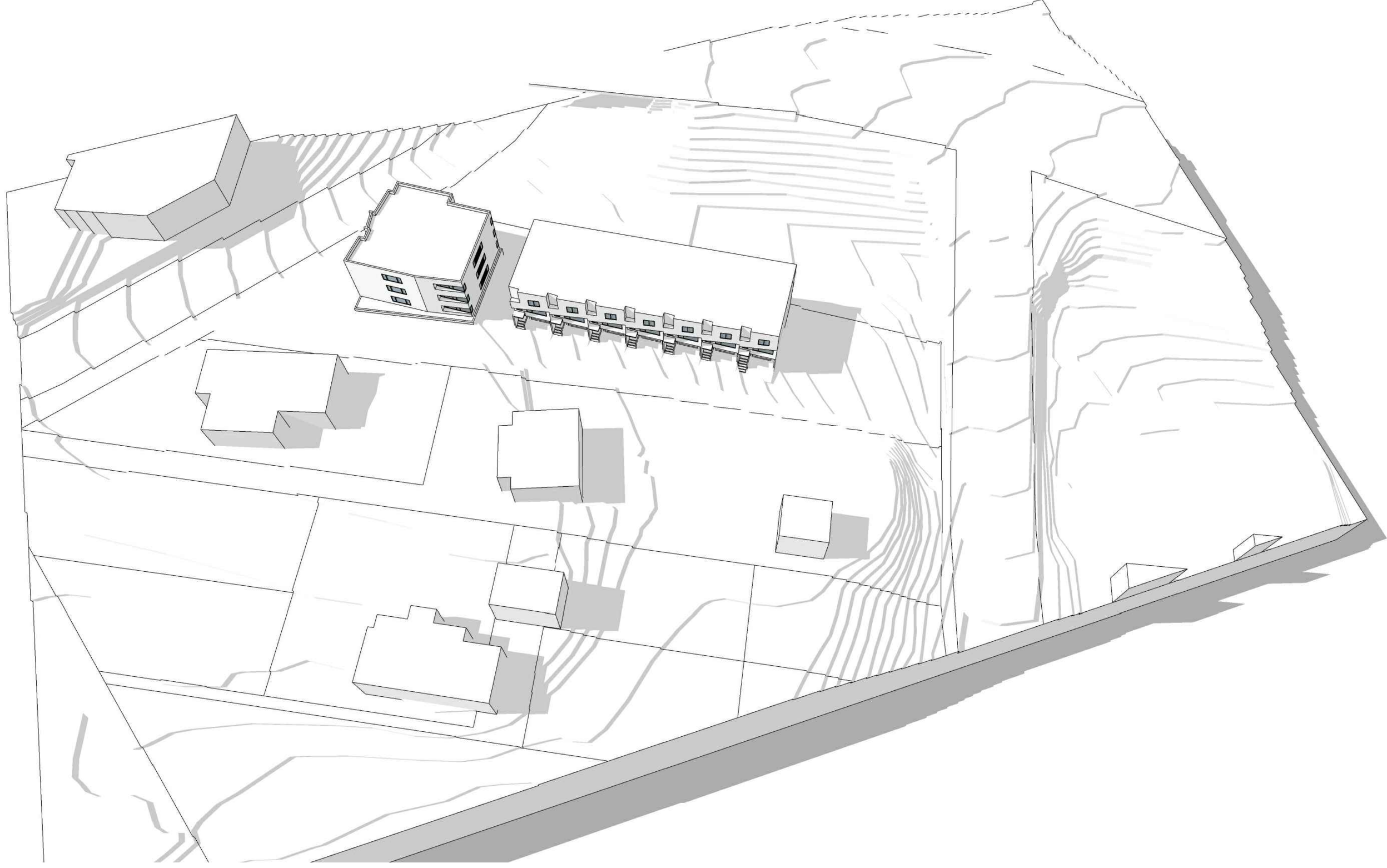
06-10-2020

SCALE :

N.T.S.

DWG. NO. :

**D**



ARCHITECT :

**JACK RYAN ARCHITECT, LLC**  
22 BIANCO COURT  
PROVIDENCE, RI 02909  
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PROJECT :

**MATILDA PINES, LLC**  
RESIDENTIAL DEVELOPMENT  
47 AND 51 MATILDA STREET  
PROVIDENCE, RHODE ISLAND 02904

ISSUE :

**FEASIBILITY STUDY  
AERIAL PERSPECTIVE**

DWN BY :

RYAN

CKD BY :

RYAN

DATE :

06-10-2020

SCALE :

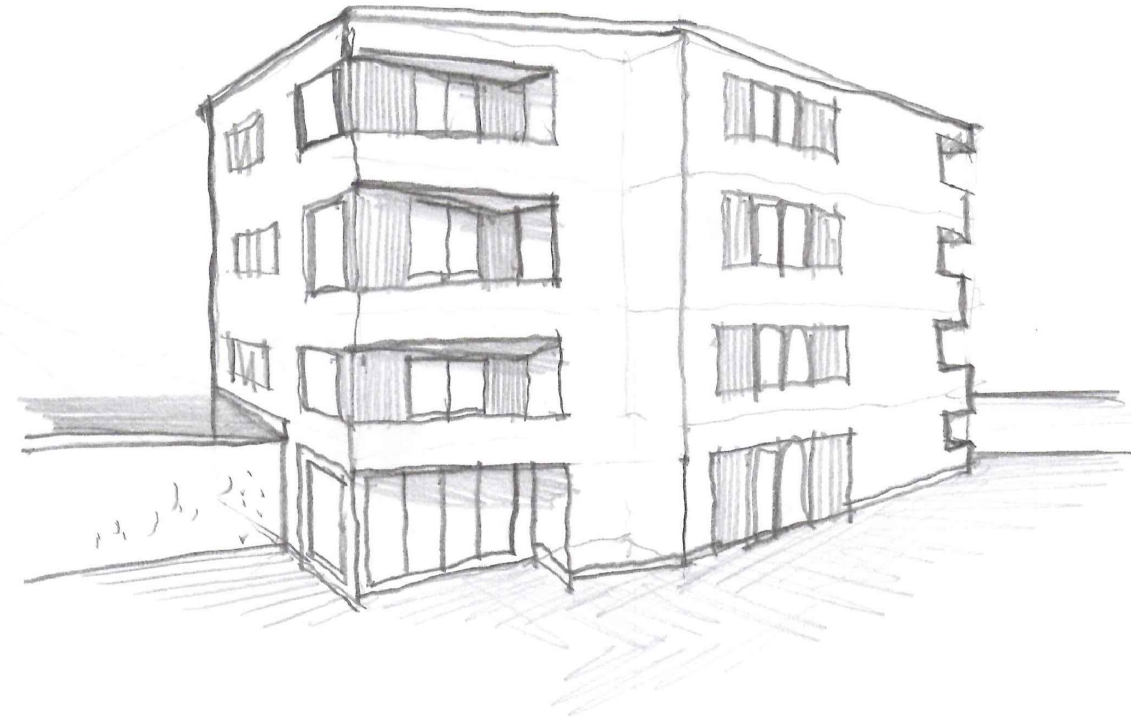
N.T.S.

DWG. NO. :

**E**

47 MATILDA

REAR VIEW



47 MATILDA

FRONT VIEW

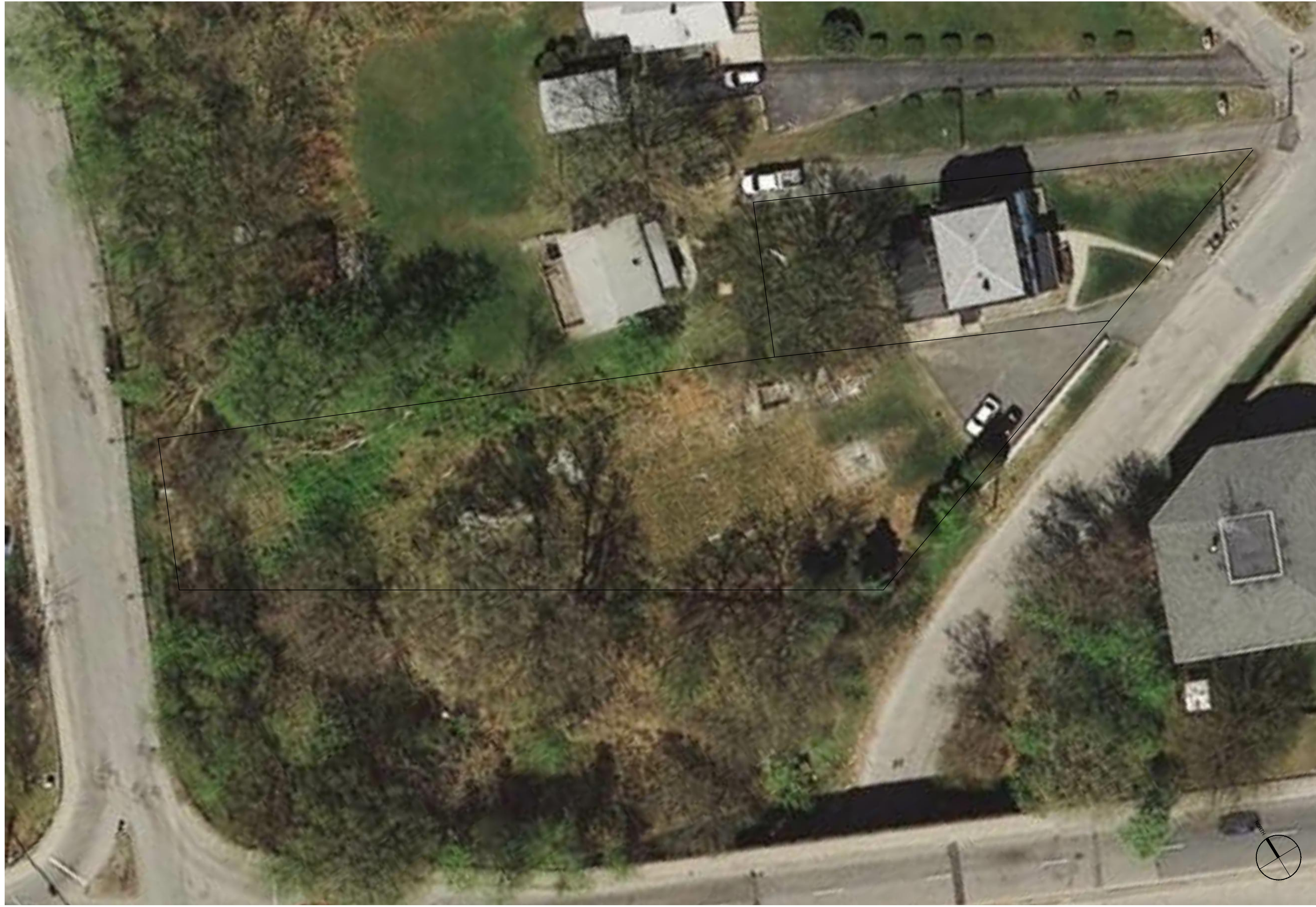


ARCHITECT: <b>JACK RYAN ARCHITECT, LLC</b> 22 BIANCO COURT PROVIDENCE, RI 02909 401 749 1797 WWW.JACKRYANARCHITECT.COM	PROJECT: <b>MATILDA PINES, LLC</b> RESIDENTIAL DEVELOPMENT 47 AND 51 MATILDA STREET PROVIDENCE, RHODE ISLAND 02904	ISSUE: <b>FEASIBILITY STUDY</b> <b>APARTMENT BUILDING MASSING</b>	DWN BY: RYAN	DWG. NO.: <b>F</b>
			CKD BY: RYAN	



ARCHITECT:	<b>JACK RYAN ARCHITECT, LLC</b> 22 BIANCO COURT PROVIDENCE, RI 02909 401.749.1797 WWW.JACKRYANARCHITECT.COM	
	PROJECT:	
ISSUE:	<b>MATILDA PINES, LLC</b> RESIDENTIAL DEVELOPMENT 47 AND 51 MATILDA STREET PROVIDENCE, RHODE ISLAND 02904	
	FEASIBILITY STUDY EXISTING SITE PLAN	
DWG. NO.:	DWN BY:	001
	RYAN	
	CKD BY:	
	RYAN	
	DATE:	05-28-2020
	SCALE:	1/32" = 1'-0"





**ARCHITECT :**

**JACK RYAN ARCHITECT, LLC**  
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PROVIDENCE, RI 02909  
401 749 1797  
WWW.JACKRYANARCHITECT.COM

**PROJECT :**

**MATILDA PINES, LLC**  
RESIDENTIAL DEVELOPMENT  
47 AND 51 MATILDA STREET  
PROVIDENCE, RHODE ISLAND 02904

**ISSUE:**

**FEASIBILITY STUDY  
AERIAL PHOTO**

**DWN BY:**

RYAN

**CKD BY:**

RYAN

**DWG. NO. :**

**DATE :**

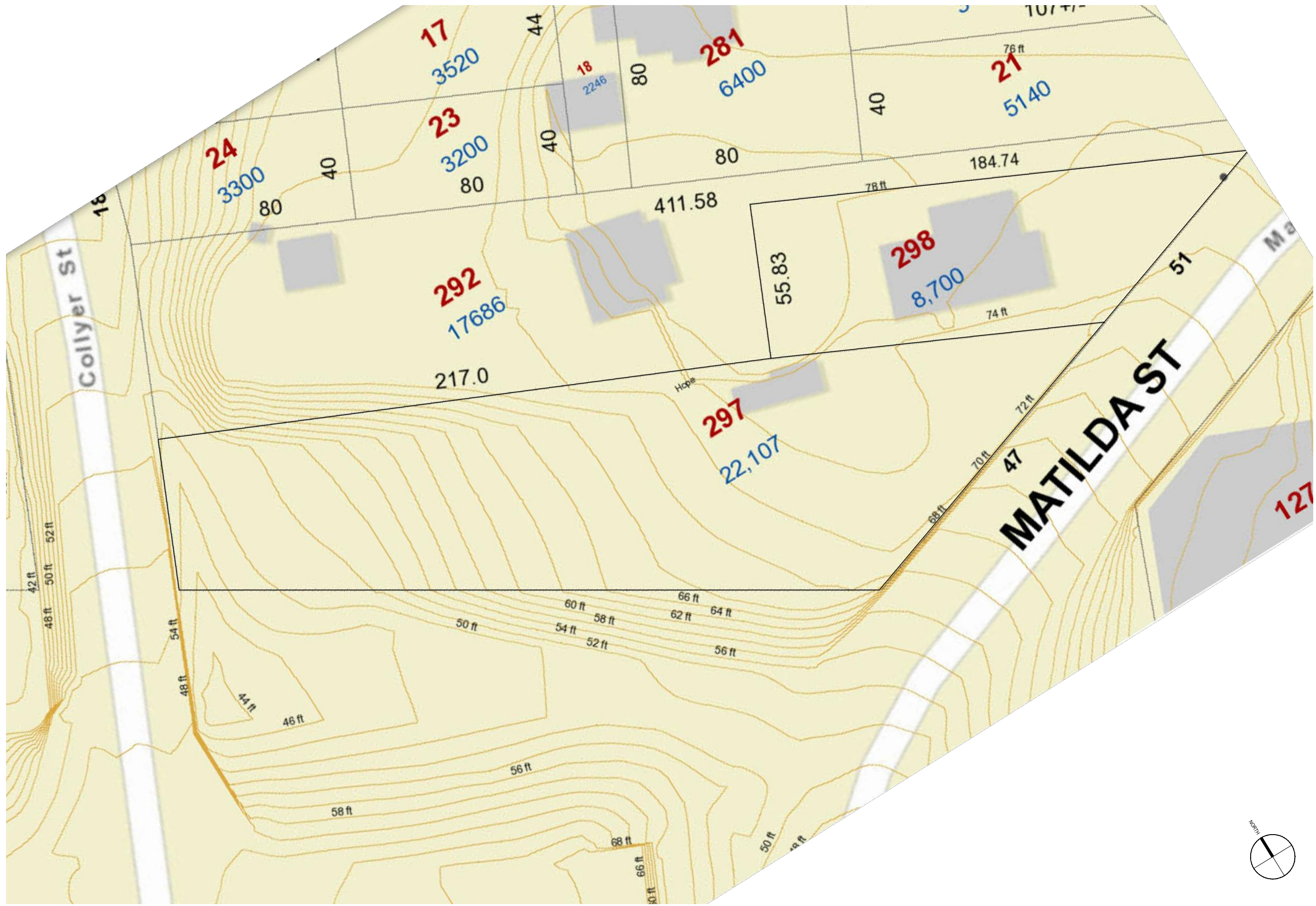
05-28-2020

**SCALE :**

1/32" = 1'-0"

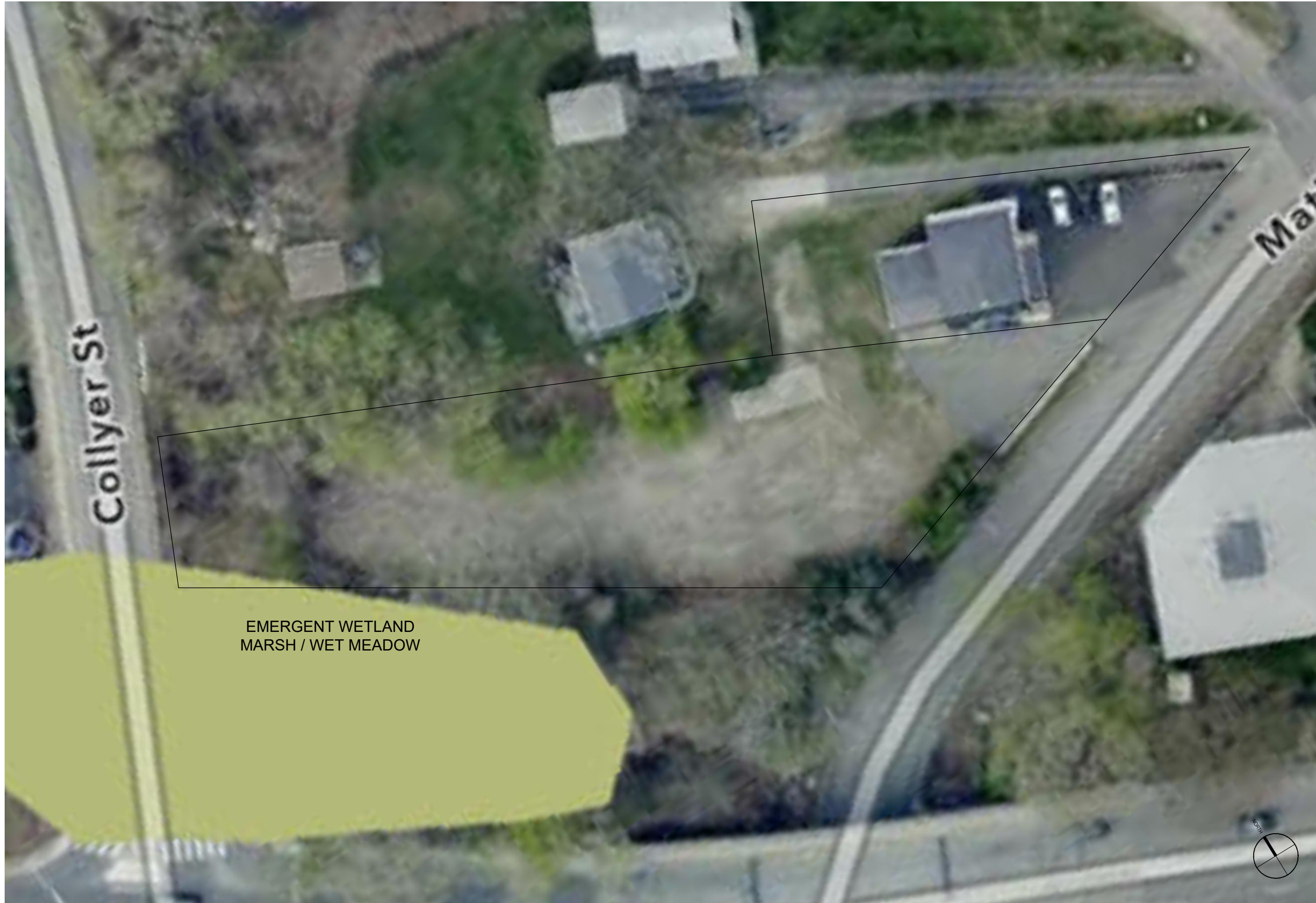
**002**





ARCHITECT:	JACK RYAN ARCHITECT, LLC 22 BIANCO COURT PROVIDENCE, RI 02909 401 749 1797 WWW.JACKRYANARCHITECT.COM	PROJECT:	MATILDA PINES, LLC RESIDENTIAL DEVELOPMENT 47 AND 51 MATILDA STREET PROVIDENCE, RHODE ISLAND 02904	ISSUE:	FEASIBILITY STUDY ASSESSORS PLAN	DWN BY: RYAN	CKD BY: RYAN	DATE: 05-28-2020	SCALE: 1/32" = 1'-0"	DWG. NO.:	003





EMERGENT WETLAND  
MARSH / WET MEADOW

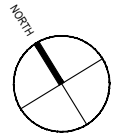
Collyer St

Matilda St



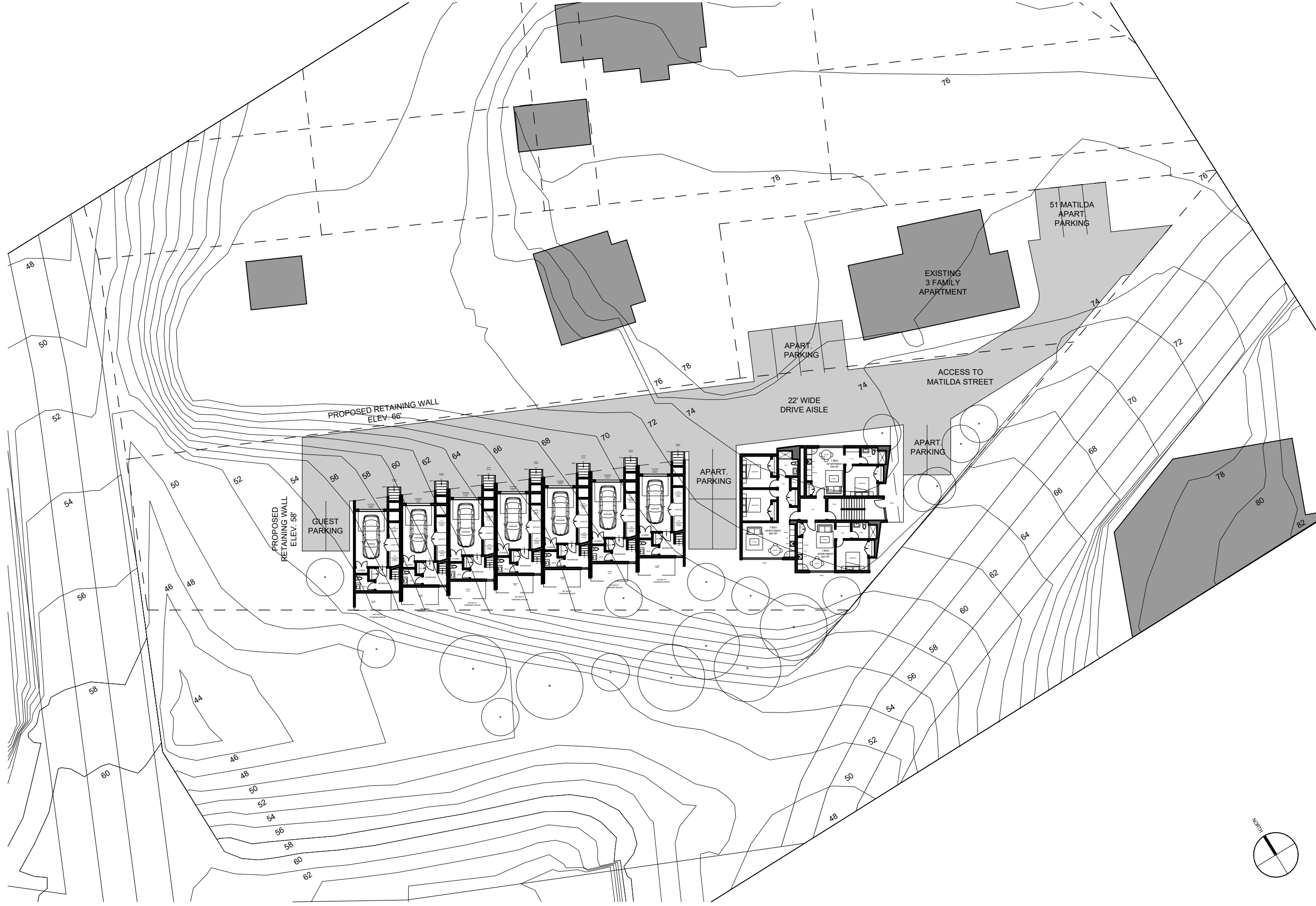
ARCHITECT :	<b>JACK RYAN ARCHITECT, LLC</b> 22 BIANCO COURT PROVIDENCE, RI 02909 401 749 1797 WWW.JACKRYANARCHITECT.COM	PROJECT :	<b>MATILDA PINES, LLC</b> RESIDENTIAL DEVELOPMENT 47 AND 51 MATILDA STREET PROVIDENCE, RHODE ISLAND 02904	ISSUE:	<b>FEASIBILITY STUDY</b> <b>RI DEM MAPPING</b>	
					DWN BY:	RYAN
				CKD BY:	RYAN	
				DATE:	05-28-2020	
				SCALE:	1/32" = 1'-0"	



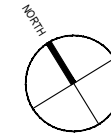
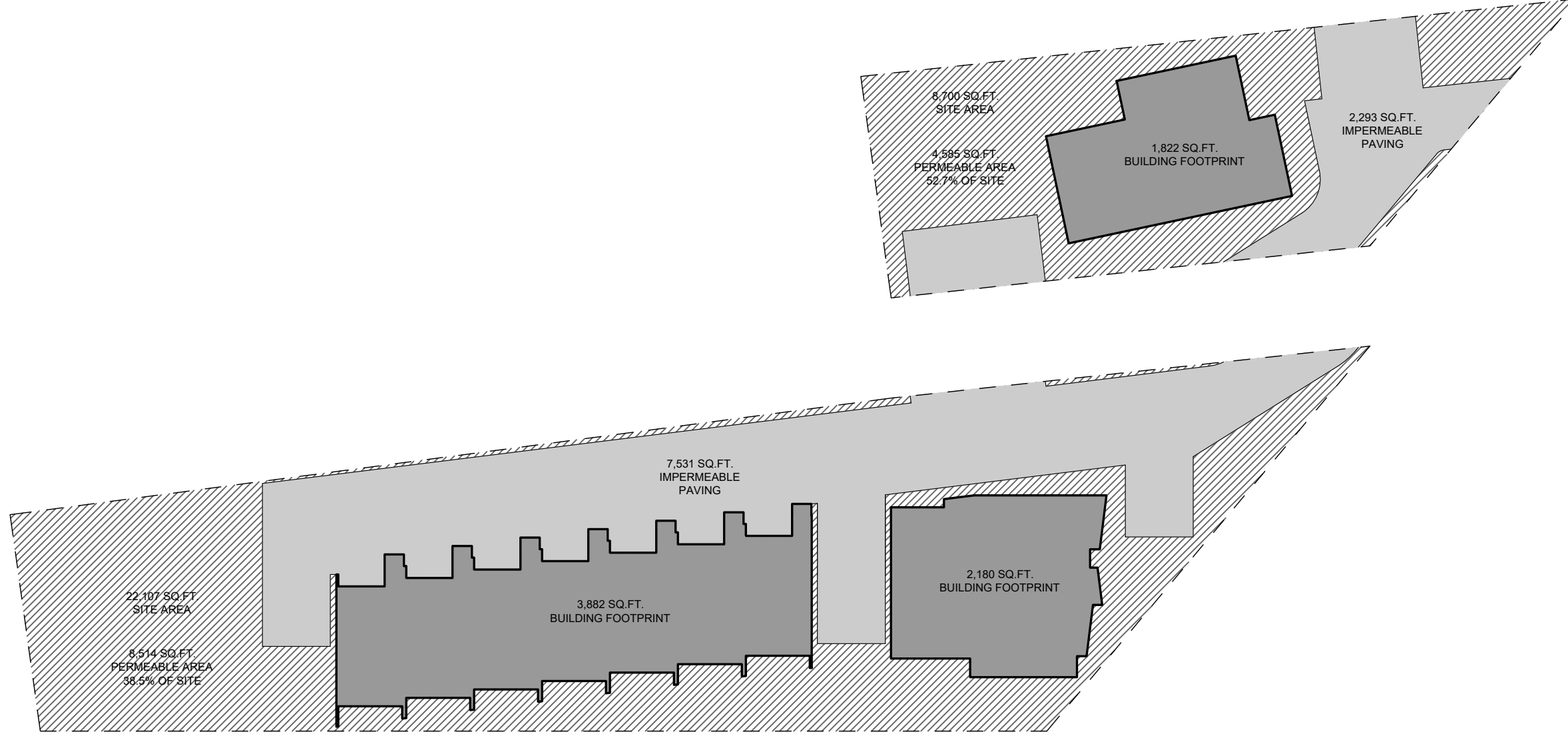


<b>ARCHITECT:</b> <b>JACK RYAN ARCHITECT, LLC</b> 22 BIANCO COURT PROVIDENCE, RI 02909 401.749.1797 WWW.JACKRYANARCHITECT.COM	<b>PROJECT:</b> <b>MATILDA PINES, LLC</b> RESIDENTIAL DEVELOPMENT 47 AND 51 MATILDA STREET PROVIDENCE, RHODE ISLAND 02904	<b>ISSUE:</b> <b>FEASIBILITY STUDY ZONING MAP</b>	<b>DWG. NO.:</b> <b>005</b>
			<b>DWN BY:</b> RYAN
<b>CKD BY:</b> RYAN			<b>DATE:</b> 05-28-2020
<b>SCALE:</b> 1/32" = 1'-0"			

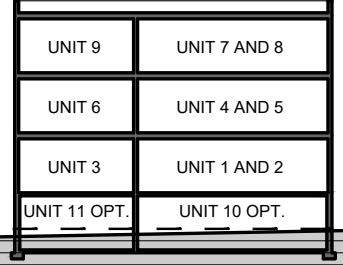
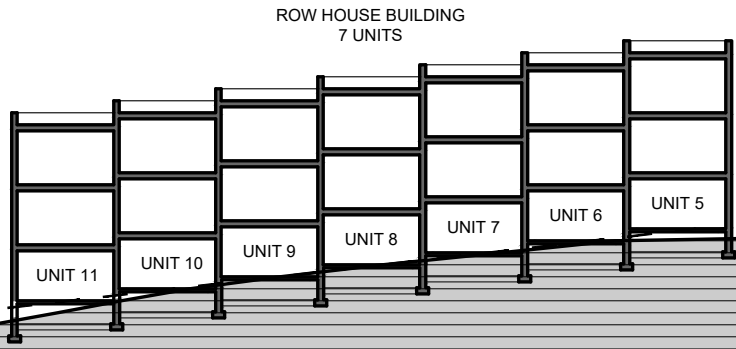
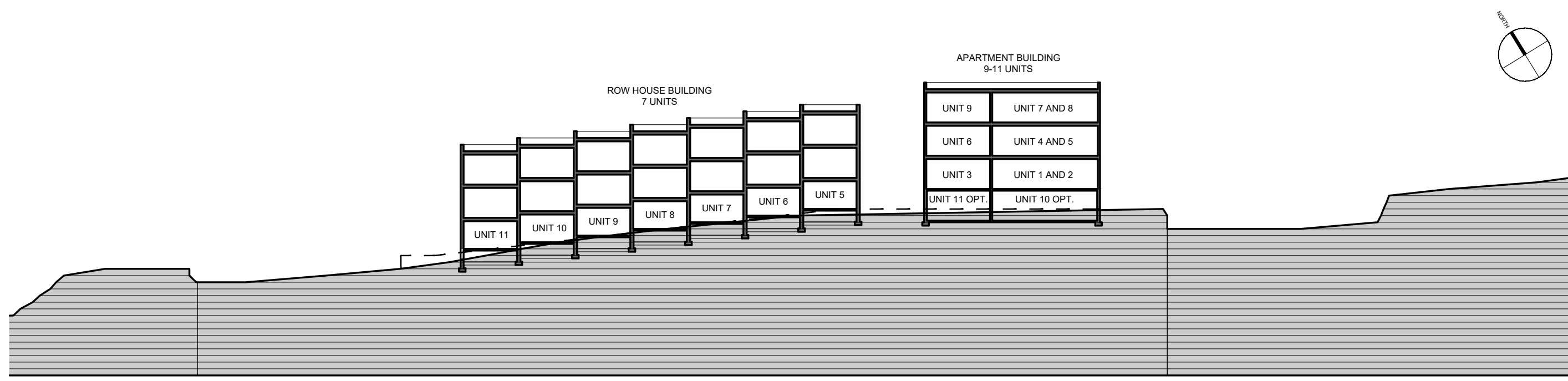
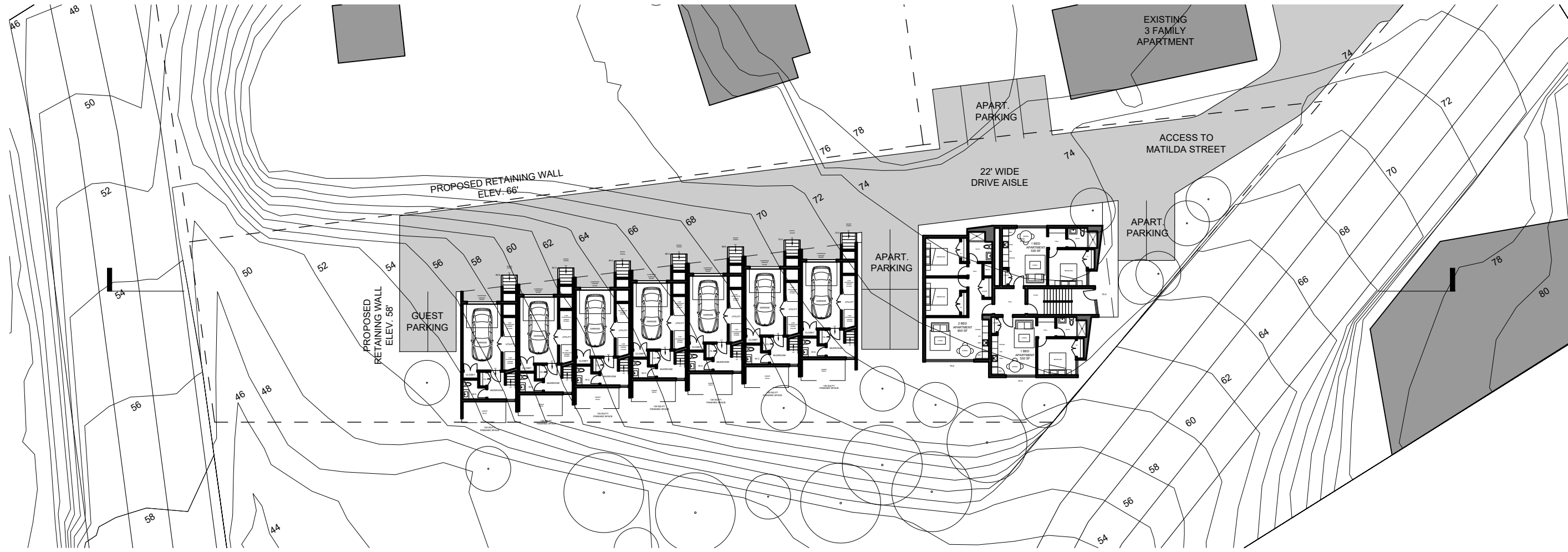




ARCHITECT:	<b>JACK RYAN ARCHITECT, LLC</b> 22 BIANCO COURT PROVIDENCE, RI 02909 401 749 1797 WWW.JACKRYANARCHITECT.COM	
	PROJECT:	
ISSUE:	<b>MATILDA PINES, LLC</b> RESIDENTIAL DEVELOPMENT 47 AND 51 MATILDA STREET PROVIDENCE, RHODE ISLAND 02904	
	FEASIBILITY STUDY SITE PLAN - PHASE 1 7 TOWNHOUSES 4 APARTMENTS	
DWN BY:	RYAN	DWG. NO.:
CKD BY:	RYAN	101
DATE:	06-09-2020	SCALE:
		1/32" = 1'-0"



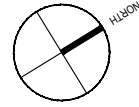
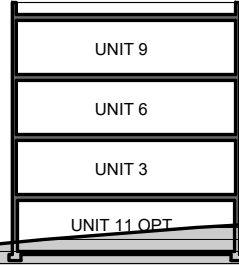
<b>ARCHITECT :</b> <b>JACK RYAN ARCHITECT, LLC</b> 22 BIANCO COURT PROVIDENCE, RI 02909 401 749 1797 WWW.JACKRYANARCHITECT.COM	<b>PROJECT :</b> <b>MATILDA PINES, LLC</b> RESIDENTIAL DEVELOPMENT 47 AND 51 MATILDA STREET PROVIDENCE, RHODE ISLAND 02904	<b>ISSUE:</b> <b>FEASIBILITY STUDY</b> <b>AREA PLANS</b>	DWN BY: RYAN	DWG. NO. : <b>102</b>
			CKD BY: RYAN	DATE : 06-09-2020



ARCHITECT:	<b>JACK RYAN ARCHITECT, LLC</b> 22 BIANCO COURT PROVIDENCE, RI 02909 401 749 1797 WWW.JACKRYANARCHITECT.COM	
	PROJECT:	
ISSUE:	<b>MATILDA PINES, LLC</b> RESIDENTIAL DEVELOPMENT 47 AND 51 MATILDA STREET PROVIDENCE, RHODE ISLAND 02904	
	FEASIBILITY STUDY LONGITUDINAL SITE SECTION	
DWG. NO.:	DWN BY: RYAN	151
	CKD BY: RYAN	
	DATE: 06-09-2020	
	SCALE: 1/32" = 1'-0"	



APARTMENT BUILDING  
9-11 UNITS



ARCHITECT :

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PROJECT :

**MATILDA PINES, LLC**  
RESIDENTIAL DEVELOPMENT  
47 AND 51 MATILDA STREET  
PROVIDENCE, RHODE ISLAND 02904

ISSUE :

**FEASIBILITY STUDY  
TRANSVERSE SITE SECTION A**

DWN BY :

RYAN

CKD BY :

RYAN

DATE :

06-09-2020

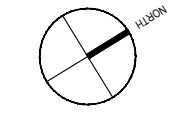
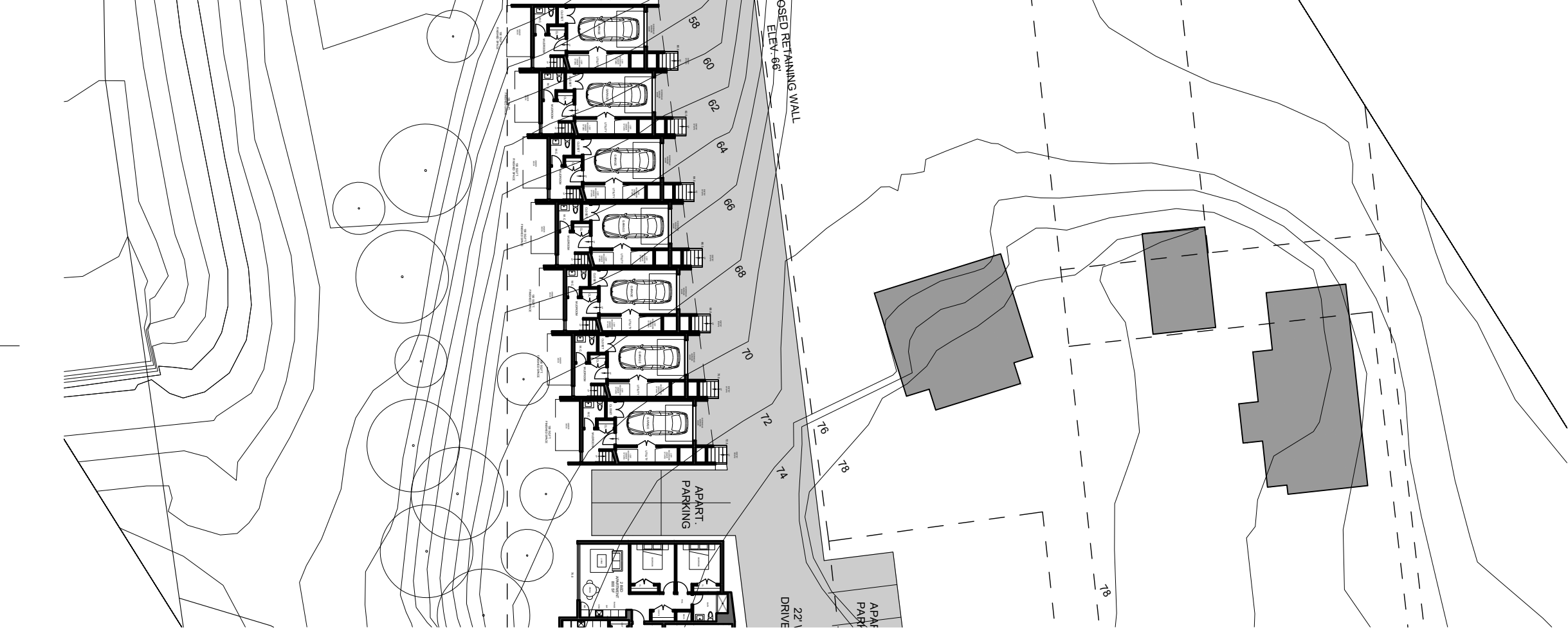
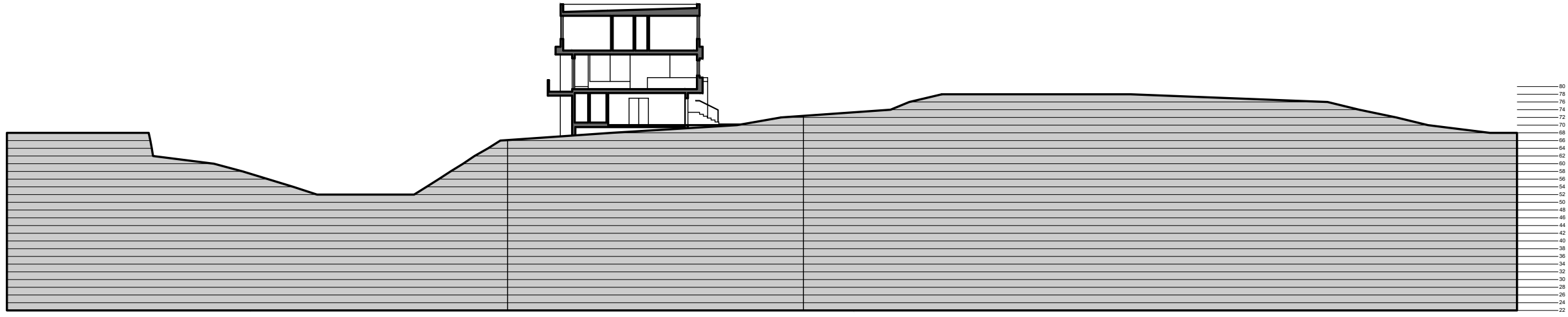
SCALE :

1/32" = 1'-0"

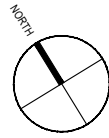
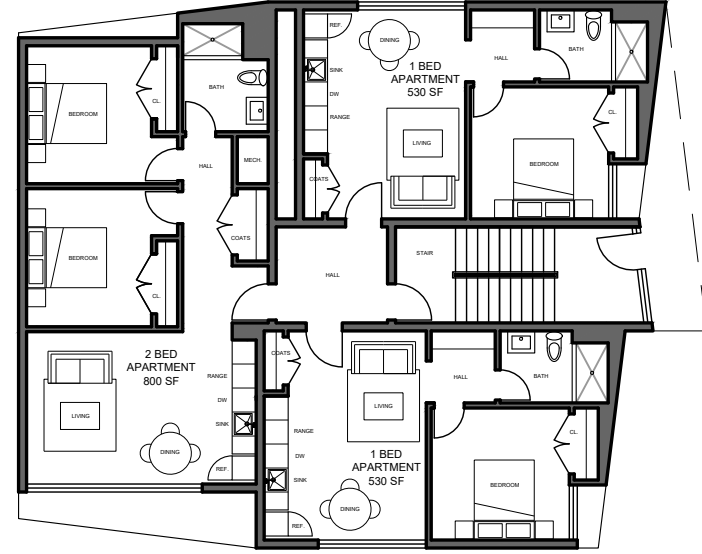
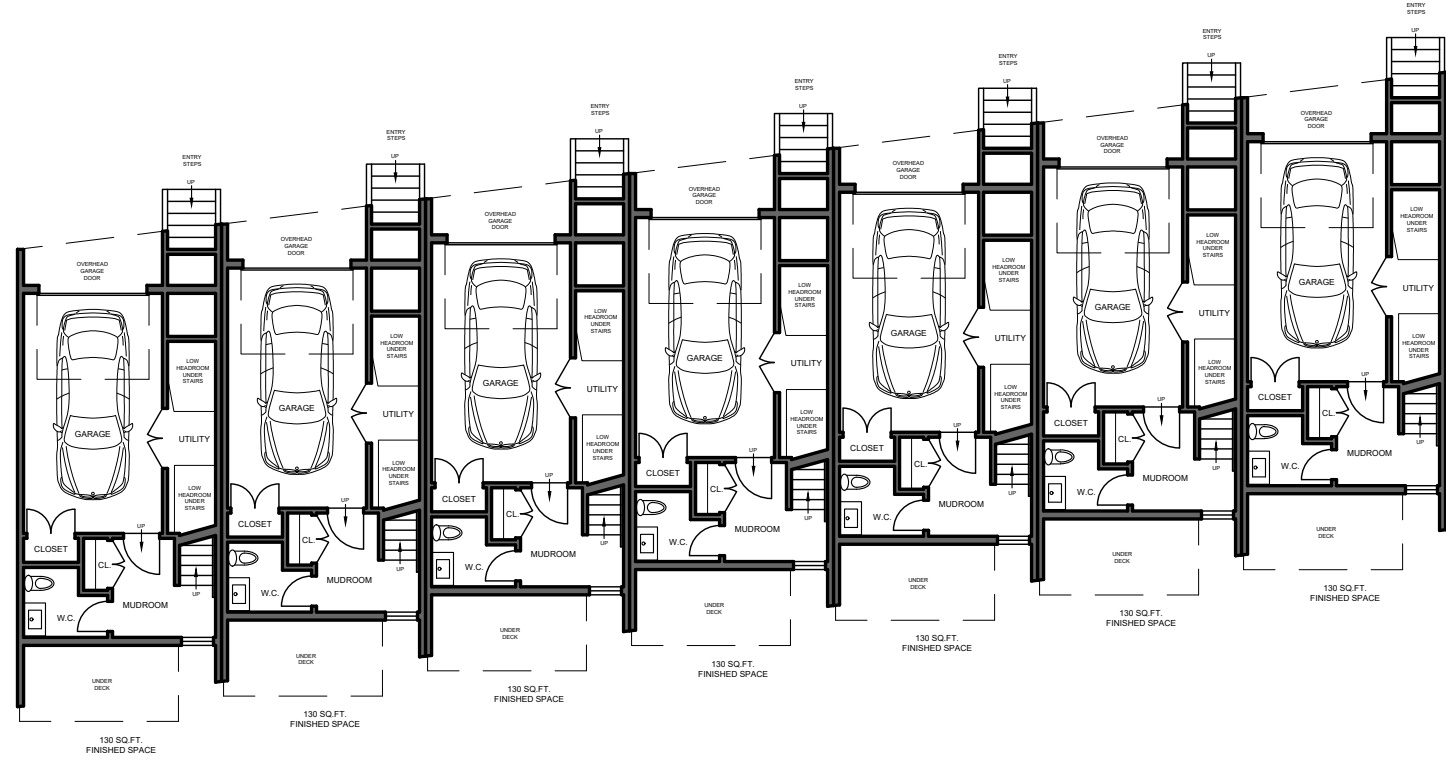
DWG. NO. :

**152**

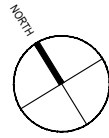
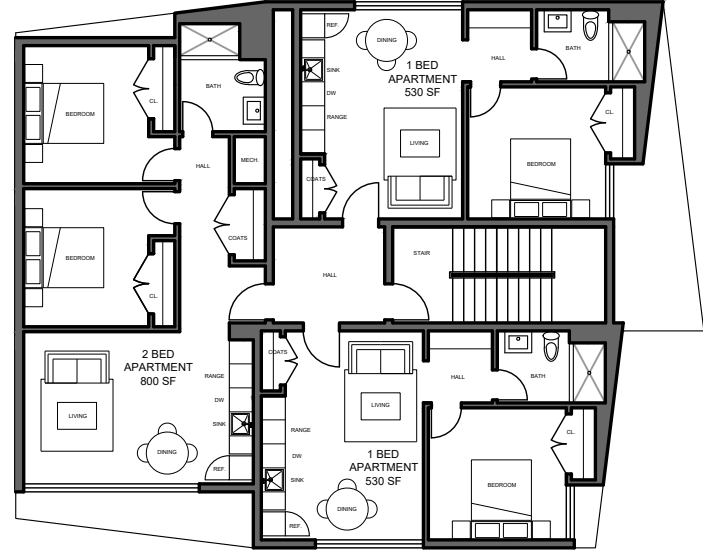
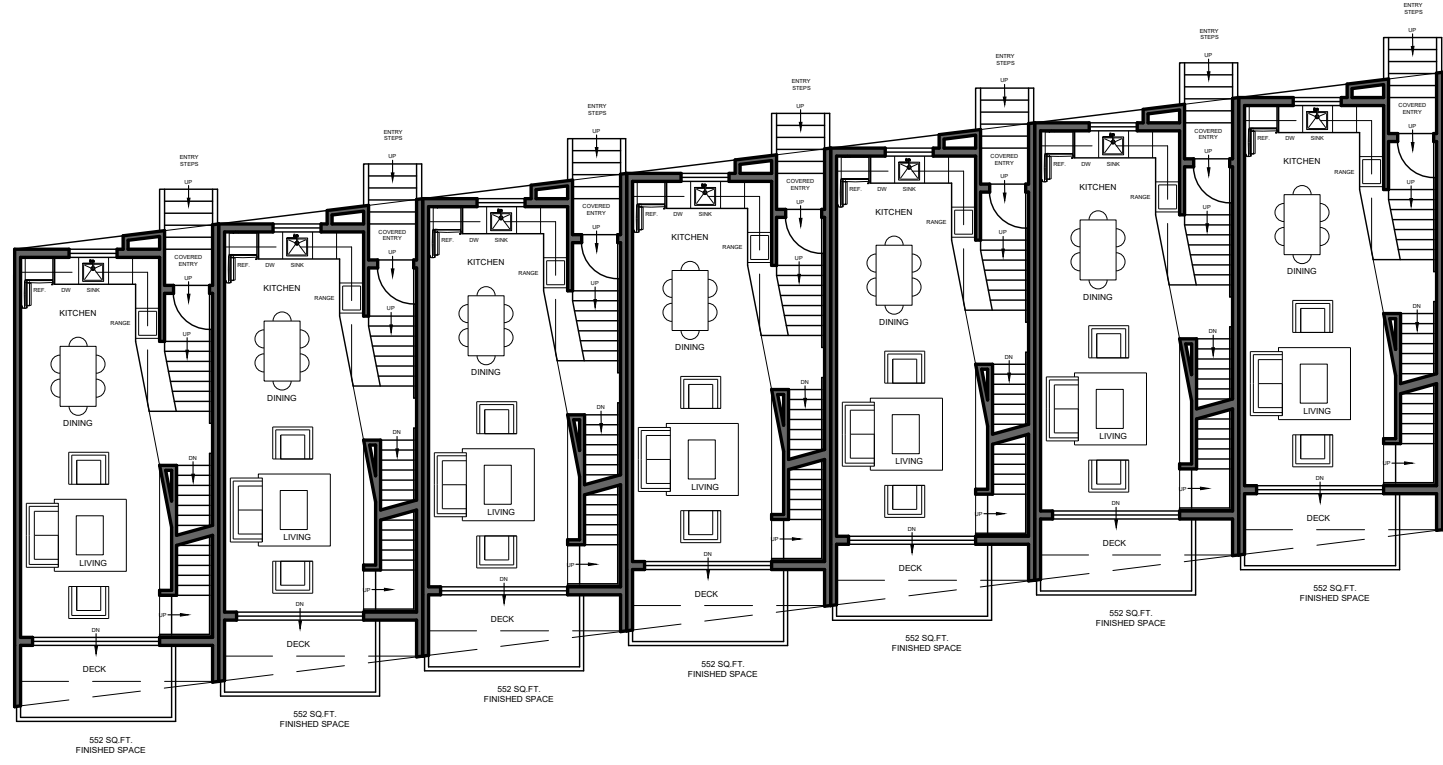




<b>ARCHITECT :</b> <b>JACK RYAN ARCHITECT, LLC</b> 22 BIANCO COURT PROVIDENCE, RI 02909 401.749.1797 WWW.JACKRYANARCHITECT.COM	<b>PROJECT :</b> <b>MATILDA PINES, LLC</b> RESIDENTIAL DEVELOPMENT 47 AND 51 MATILDA STREET PROVIDENCE, RHODE ISLAND 02904	<b>ISSUE:</b> <b>FEASIBILITY STUDY</b> <b>TRANSVERSE SITE SECTION B</b>		<b>DWN BY:</b> RYAN	<b>DWG. NO. :</b>
		<b>CKD BY:</b> RYAN	<b>DATE :</b> 06-09-2020	<b>SCALE :</b> 1/32" = 1'-0"	<b>153</b>



ARCHITECT :	<b>JACK RYAN ARCHITECT, LLC</b> 22 BIANCO COURT PROVIDENCE, RI 02909 401 749 1797 WWW.JACKRYANARCHITECT.COM	
	PROJECT :	
ISSUE :	<b>MATILDA PINES, LLC</b> RESIDENTIAL DEVELOPMENT 47 AND 51 MATILDA STREET PROVIDENCE, RHODE ISLAND 02904	
	FEASIBILITY STUDY GROUND LEVEL PLAN	
DWN BY :	RYAN	DWG. NO. :
CKD BY :	RYAN	
DATE :	05-28-2020	
SCALE :	1/16" = 1'-0"	
		<b>201</b>



ARCHITECT :

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 401 749 1797  
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PROJECT :

**MATILDA PINES, LLC**  
 RESIDENTIAL DEVELOPMENT  
 47 AND 51 MATILDA STREET  
 PROVIDENCE, RHODE ISLAND 02904

ISSUE:

**FEASIBILITY STUDY  
 SECOND LEVEL PLAN**

DWN BY:

RYAN

CKD BY:

RYAN

DATE :

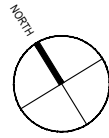
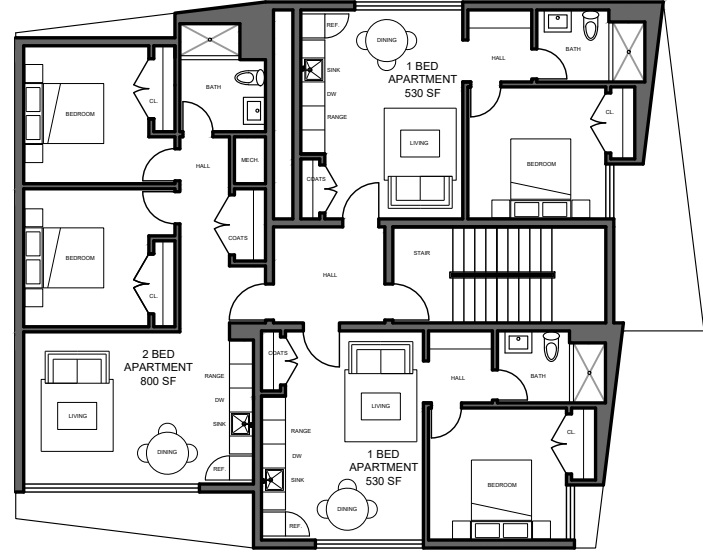
05-28-2020

SCALE :

1/16" = 1'-0"

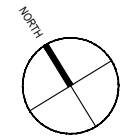
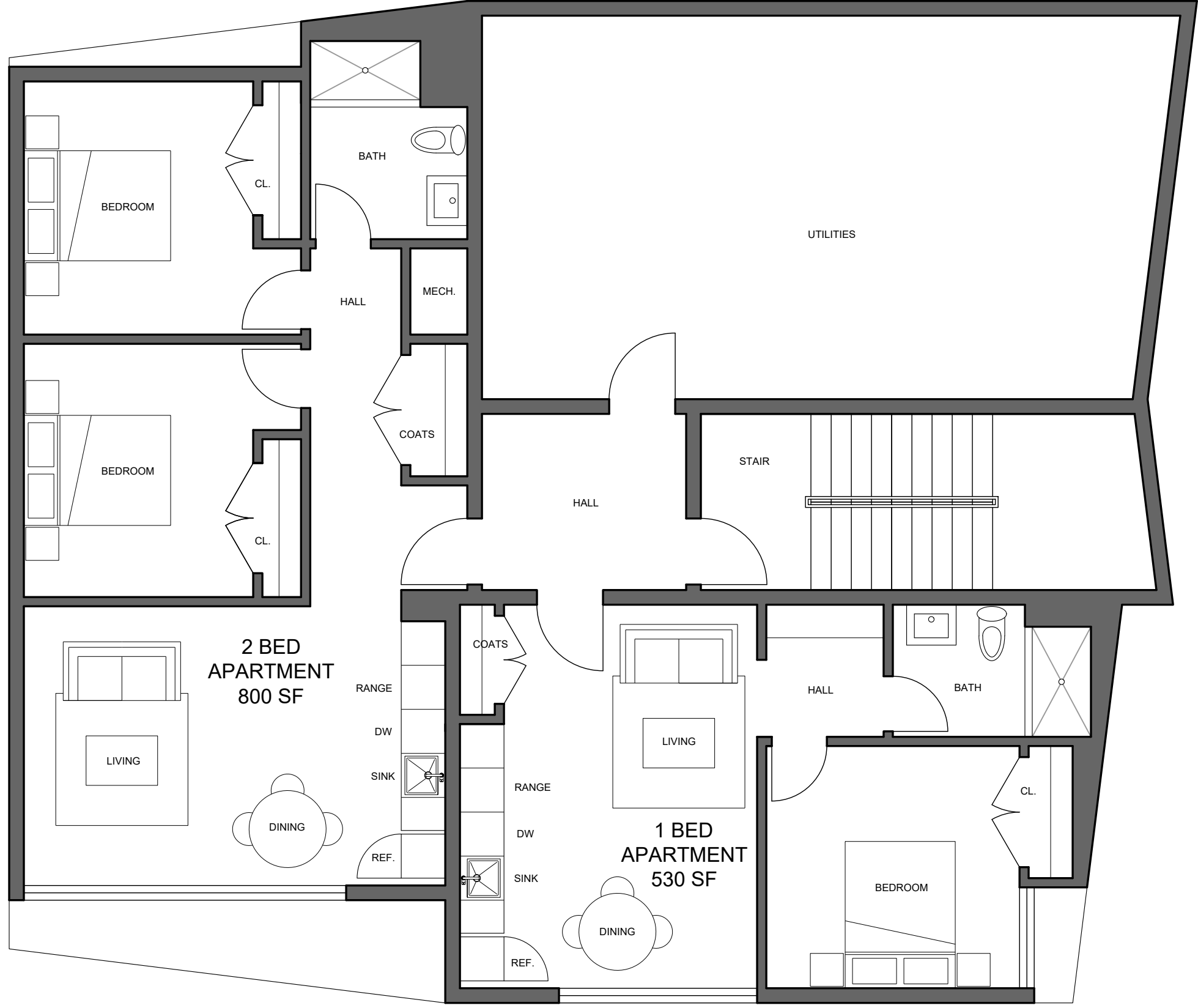
DWG. NO. :

**202**

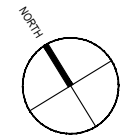


ARCHITECT :	<b>JACK RYAN ARCHITECT, LLC</b> 22 BIANCO COURT PROVIDENCE, RI 02909 401 749 1797 WWW.JACKRYANARCHITECT.COM	
	PROJECT :	
ISSUE:	<b>MATILDA PINES, LLC</b> RESIDENTIAL DEVELOPMENT 47 AND 51 MATILDA STREET PROVIDENCE, RHODE ISLAND 02904	
	FEASIBILITY STUDY THIRD LEVEL PLAN	
DWN BY:	RYAN	DWG. NO. :
CKD BY:	RYAN	<b>203</b>
DATE :	05-28-2020	SCALE :
		1/16" = 1'-0"

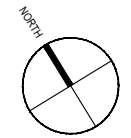
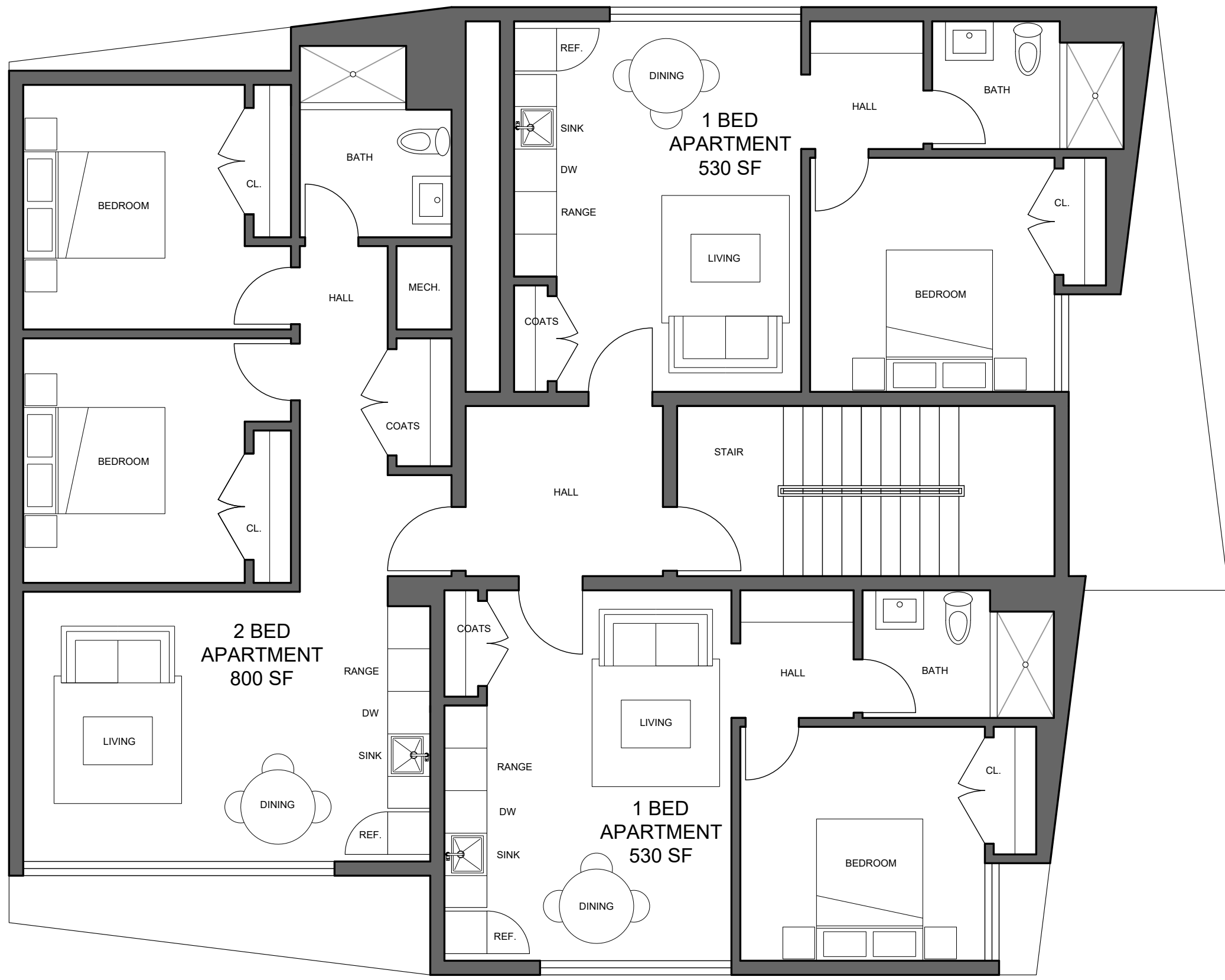




ARCHITECT :	<b>JACK RYAN ARCHITECT, LLC</b> 22 BIANCO COURT PROVIDENCE, RI 02909 401 749 1797 WWW.JACKRYANARCHITECT.COM	
	PROJECT :	
ISSUE:	<b>MATILDA PINES, LLC</b> RESIDENTIAL DEVELOPMENT 47 AND 51 MATILDA STREET PROVIDENCE, RHODE ISLAND 02904	
	FEASIBILITY STUDY APARTMENT DETAIL PLANS BASEMENT	
DWN BY:	RYAN	DWG. NO. :
CKD BY:	RYAN	<b>252</b>
DATE :	06-09-2020	SCALE :
		3/16" = 1'-0"



<b>ARCHITECT :</b> <b>JACK RYAN ARCHITECT, LLC</b> 22 BIANCO COURT PROVIDENCE, RI 02909 401 749 1797 WWW.JACKRYANARCHITECT.COM	<b>PROJECT :</b> <b>MATILDA PINES, LLC</b> RESIDENTIAL DEVELOPMENT 47 AND 51 MATILDA STREET PROVIDENCE, RHODE ISLAND 02904	<b>ISSUE:</b> <b>FEASIBILITY STUDY</b> <b>APARTMENT DETAIL PLANS</b> <b>GROUND FLOOR</b>	<b>DWG. NO. :</b> <b>253</b>
			<b>DWN BY:</b> RYAN



ARCHITECT:	<b>JACK RYAN ARCHITECT, LLC</b>		PROJECT:	<b>MATILDA PINES, LLC</b>		ISSUE:	<b>FEASIBILITY STUDY</b>		DWG. NO.:	<b>254</b>	
	22 BIANCO COURT PROVIDENCE, RI 02909 401 749 1797 WWW.JACKRYANARCHITECT.COM			RESIDENTIAL DEVELOPMENT 47 AND 51 MATILDA STREET PROVIDENCE, RHODE ISLAND 02904			APARTMENT DETAIL PLANS SECOND AND THIRD FLOOR			DWN BY: RYAN	
						DATE:		06-09-2020		SCALE: 3/16" = 1'-0"	





ARCHITECT :

**JACK RYAN ARCHITECT, LLC**  
22 BIANCO COURT  
PROVIDENCE, RI 02909  
401 749 1797  
WWW.JACKRYANARCHITECT.COM

PROJECT :

**MATILDA PINES, LLC**  
RESIDENTIAL DEVELOPMENT  
47 AND 51 MATILDA STREET  
PROVIDENCE, RHODE ISLAND 02904

ISSUE :

**FEASIBILITY STUDY  
NORTH ELEVATION**

DWN BY :

RYAN

CKD BY :

RYAN

DATE :

06-09-2020

SCALE :

1/16" = 1'-0"

DWG. NO. :

**301**



ARCHITECT :

**JACK RYAN ARCHITECT, LLC**  
 22 BIANCO COURT  
 PROVIDENCE, RI 02909  
 401 749 1797  
 WWW.JACKRYANARCHITECT.COM

PROJECT :

**MATILDA PINES, LLC**  
 RESIDENTIAL DEVELOPMENT  
 47 AND 51 MATILDA STREET  
 PROVIDENCE, RHODE ISLAND 02904

ISSUE :

**FEASIBILITY STUDY  
 SOUTH ELEVATION**

DWN BY :

RYAN

CKD BY :

RYAN

DATE :

06-09-2020

SCALE :

1/16" = 1'-0"

DWG. NO. :

**302**



ARCHITECT :

**JACK RYAN ARCHITECT, LLC**  
22 BIANCO COURT  
PROVIDENCE, RI 02909  
401 749 1797  
WWW.JACKRYANARCHITECT.COM

PROJECT :

**MATILDA PINES, LLC**  
RESIDENTIAL DEVELOPMENT  
47 AND 51 MATILDA STREET  
PROVIDENCE, RHODE ISLAND 02904

ISSUE :

**FEASIBILITY STUDY  
NORTH ELEVATION DETAIL**

DWN BY :

RYAN

CKD BY :

RYAN

DATE :

05-28-2020

SCALE :

3/16" = 1'-0"

DWG. NO. :

**351**



ARCHITECT :

**JACK RYAN ARCHITECT, LLC**  
22 BIANCO COURT  
PROVIDENCE, RI 02909  
401 749 1797  
WWW.JACKRYANARCHITECT.COM

PROJECT :

**MATILDA PINES, LLC**  
RESIDENTIAL DEVELOPMENT  
47 AND 51 MATILDA STREET  
PROVIDENCE, RHODE ISLAND 02904

ISSUE :

**FEASIBILITY STUDY**  
**SOUTH ELEVATION DETAIL**

DWN BY :

RYAN

CKD BY :

RYAN

DATE :

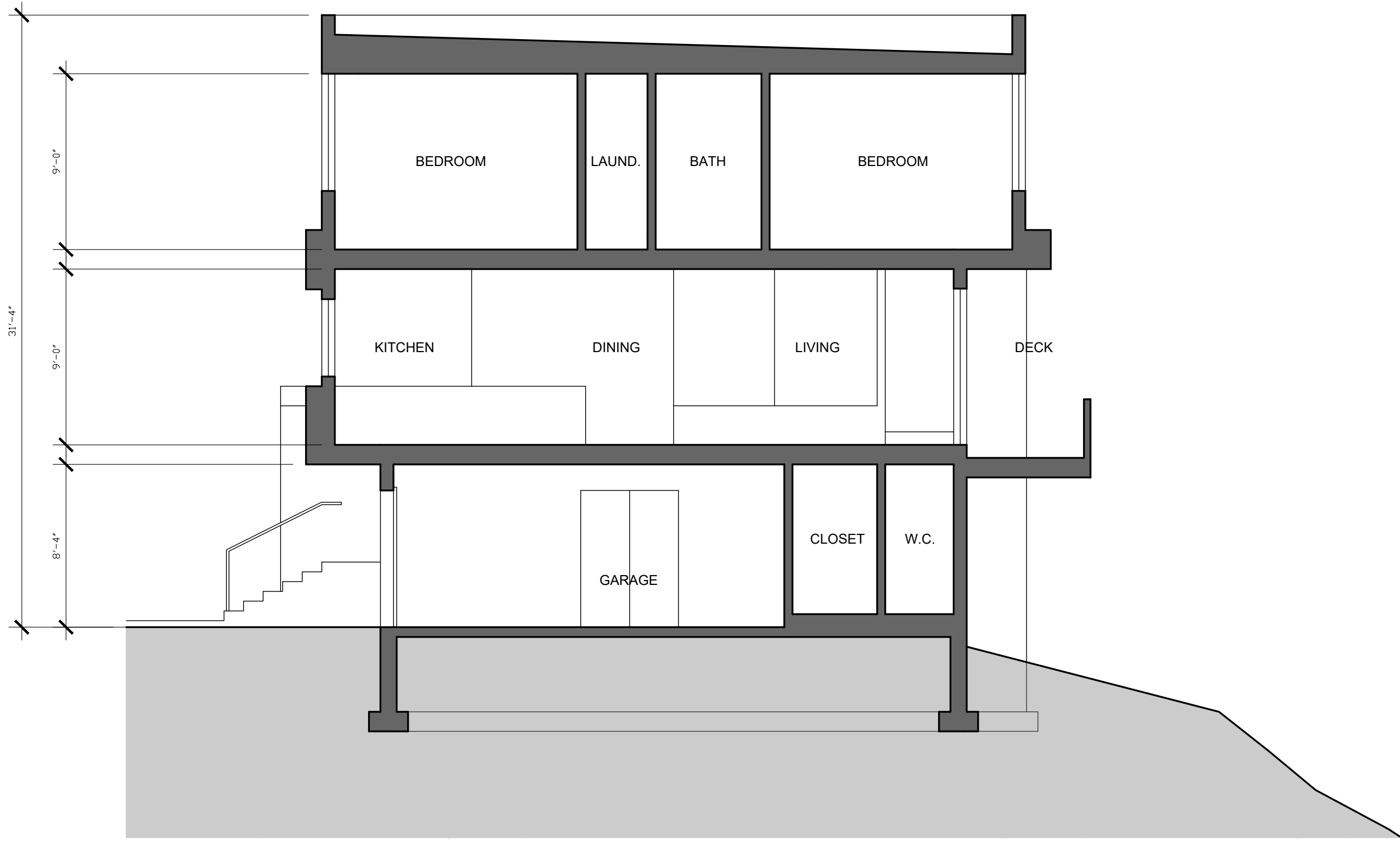
05-28-2020

SCALE :

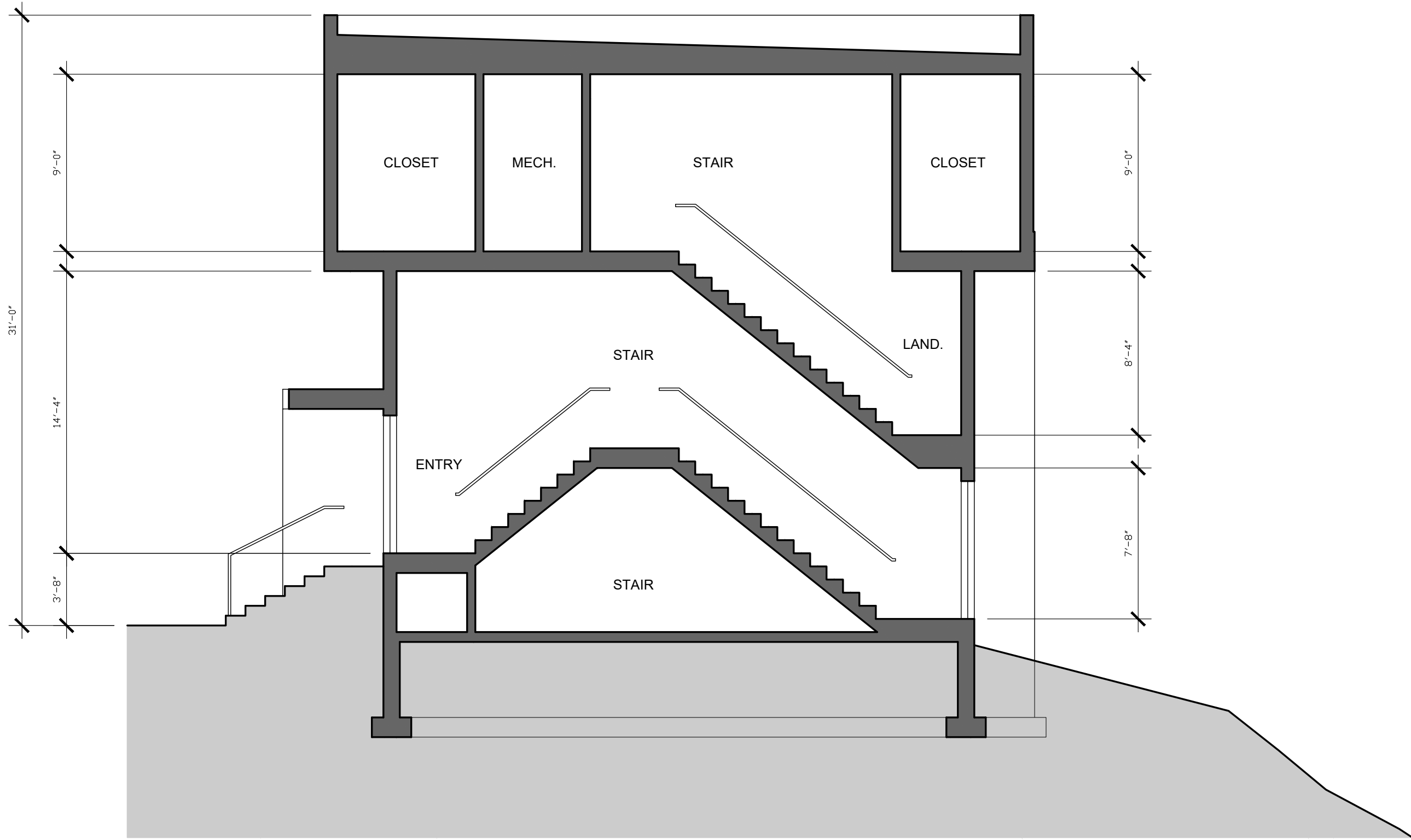
3/16" = 1'-0"

DWG. NO. :

**352**



<b>ARCHITECT :</b> <b>JACK RYAN ARCHITECT, LLC</b> 22 BIANCO COURT PROVIDENCE, RI 02909 401 749 1797 WWW.JACKRYANARCHITECT.COM	<b>PROJECT :</b> <b>MATILDA PINES, LLC</b> RESIDENTIAL DEVELOPMENT 47 AND 51 MATILDA STREET PROVIDENCE, RHODE ISLAND 02904	<b>ISSUE:</b> <b>FEASIBILITY STUDY</b> <b>BUILDING SECTION</b>	<b>DWN BY:</b> RYAN	<b>DWG. NO. :</b>  
			<b>CKD BY:</b> RYAN	<b>401</b>
			<b>DATE :</b> 05-28-2020	<b>SCALE :</b> 3/16" = 1'-0"



ARCHITECT:	<b>JACK RYAN ARCHITECT, LLC</b> 22 BIANCO COURT PROVIDENCE, RI 02909 401 749 1797 WWW.JACKRYANARCHITECT.COM	PROJECT:	<b>MATILDA PINES, LLC</b> RESIDENTIAL DEVELOPMENT 47 AND 51 MATILDA STREET PROVIDENCE, RHODE ISLAND 02904	ISSUE:	<b>FEASIBILITY STUDY</b> <b>BUILDING SECTION AT STAIR</b>		DWG. NO.:	<b>402</b>
					DWN BY:	RYAN	CKD BY:	