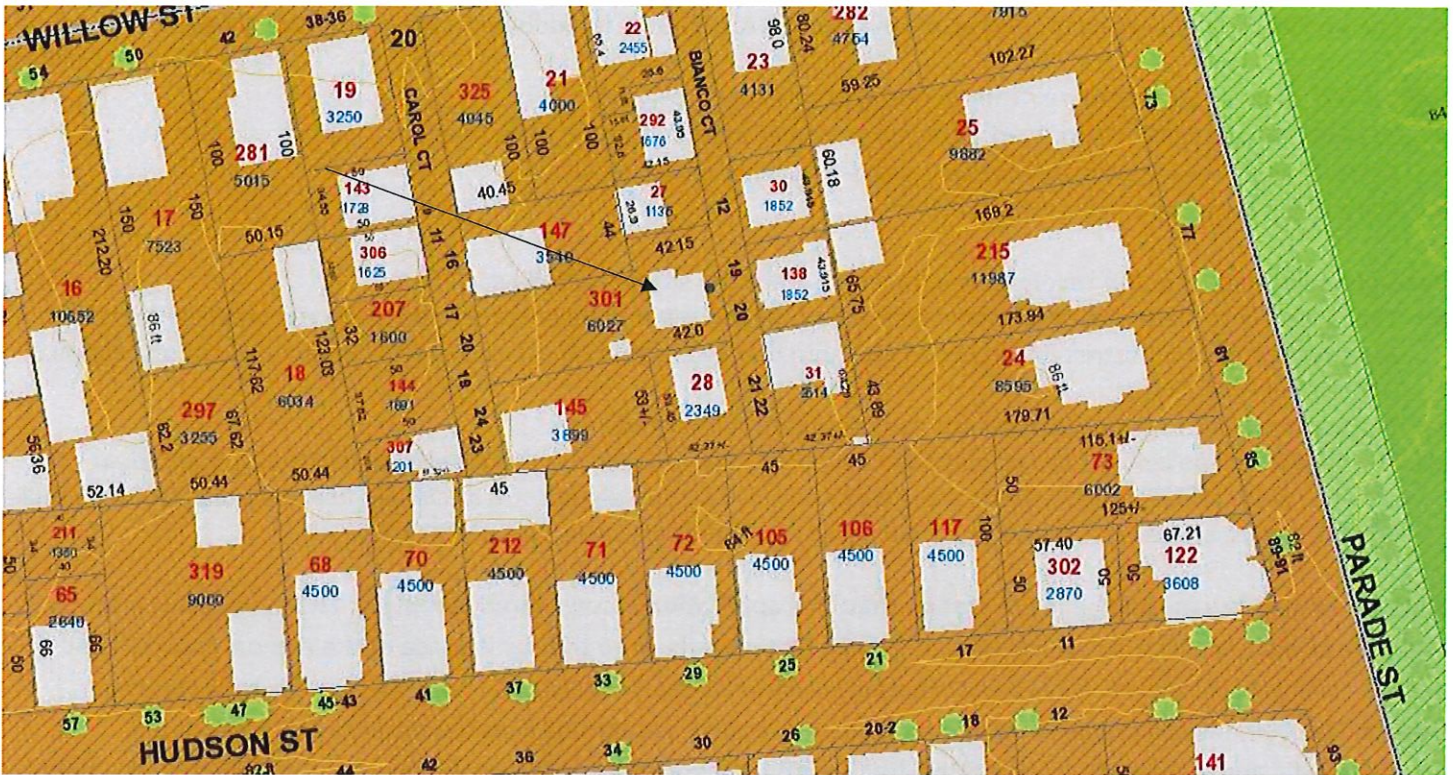
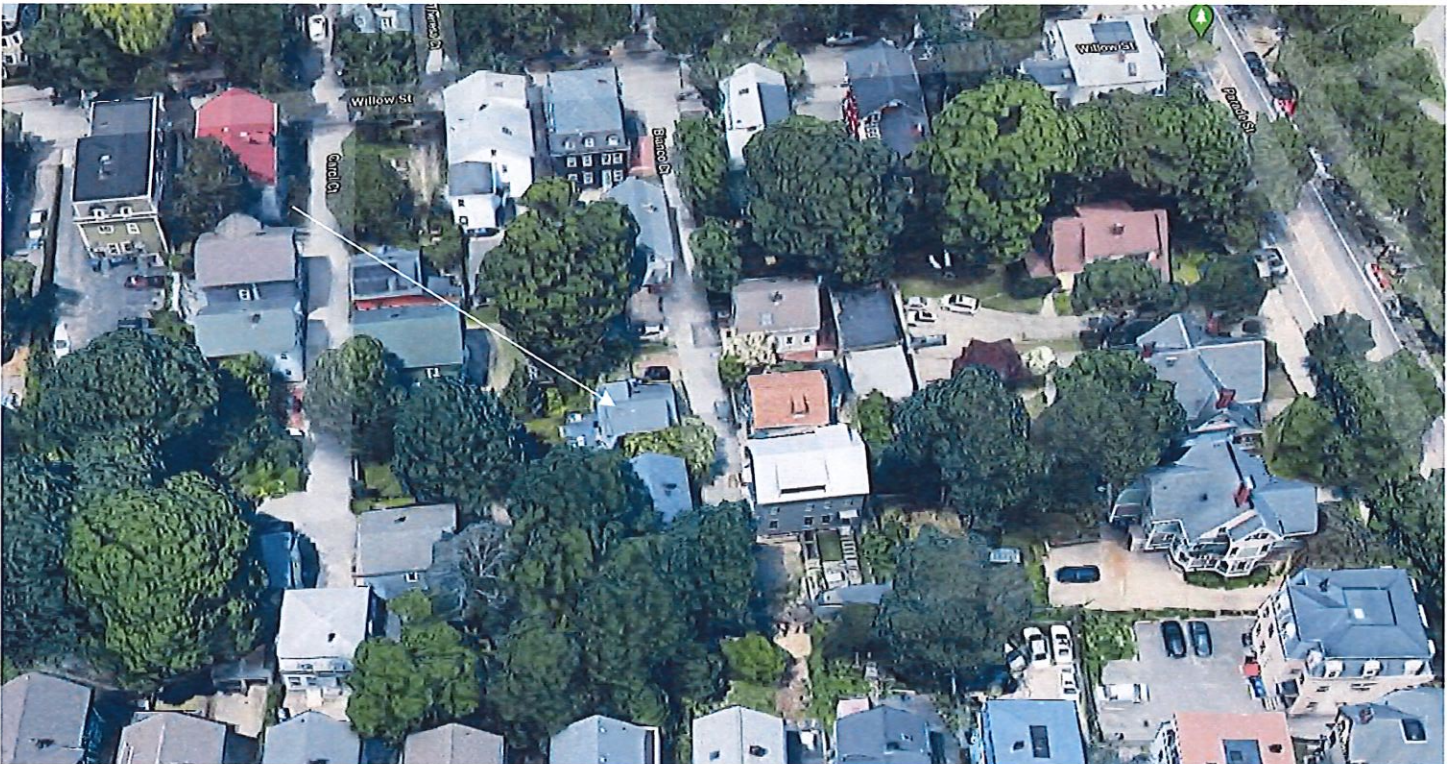


PROJECT REVIEW

1. CASE 20.044, 19 BIANCO COURT, G. S. Jenckes House, ca1850s (ARMORY)
1½-story; end-gable; clapboard cottage; with plain sidehall entry and molded window caps.
CONTRIBUTING



Arrow indicates 19 Bianco Court.



Arrow indicates project location, looking north.

Applicant/Owner: Ottavia De Luca, 19 Bianco Court, Providence, RI 02909

Architect: Union Studio Architects & Community Development, 140 Union Street, Providence, RI 02903

Proposal: The scope of work proposed consists of Major Alterations and includes:

- The applicant is requesting the construction of an approx. 976 sq. ft. addition to the rear of the house.

Issues: The following issues are relevant to this application:

- In 2014 the Commission approved the construction of a dormer to the main house;
- At the June 8th meeting the Commission granted conceptual approval; and,
- Plans and photos have been submitted.

Recommendations: The staff recommends the PHDC make the following findings of fact:

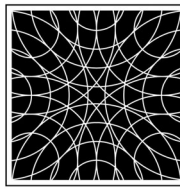
- a) 19 Bianco Court is a structure of historical and architectural significance that contribute to the significance of the Armory local historic district, having been recognized as a contributing structure to the Broadway/Armory National Historic Register District;
- b) The application for Major Alterations is considered complete; and,
- c) The work as proposed is in accord with PHDC Standard 8 as follows: the proposed alterations as submitted are architecturally and historically compatible with the property and district, are minimally-to-not visible from the public rights-of-ways, are reversible and will not have an adverse effect on the property or district.

Staff recommends a motion be made stating that: The application is considered complete. 19 Bianco Court is a structure of historical and architectural significance that contribute to the significance of the Armory local historic district, having been recognized as a contributing structure to the Broadway/Armory National Historic Register District. The Commission grants Final Approval of the proposal as submitted, as the proposed alterations are architecturally and historically compatible with the property and district, are minimally-to-not visible from the public rights-of-ways, are reversible and will not have an adverse effect on the property or district (Standard 8), citing and agreeing to the recommendations in the staff report, with the staff or a sub-committee to review any additional details.

De Luca Mann Addition

19 BIANCO COURT
PROVIDENCE, RI 02909

FOR HDC REVIEW
AUGUST 11, 2020



UNION STUDIO
ARCHITECTURE & COMMUNITY DESIGN
140 Union Street Providence, RI 02903
1-401-272-4724 | 401-272-4825
www.unionstudioarch.com

Contact: Designer

OWNER:

STRUCTURAL ENG.:

NAME

CONTRACTOR:

NAME

De Luca Mann Addition

19 BIANCO COURT
PROVIDENCE, RI 02909

FOR HDC REVIEW

REVISION SCHEDULE

NO. | ISSUE | DATE

JOB #: 2036

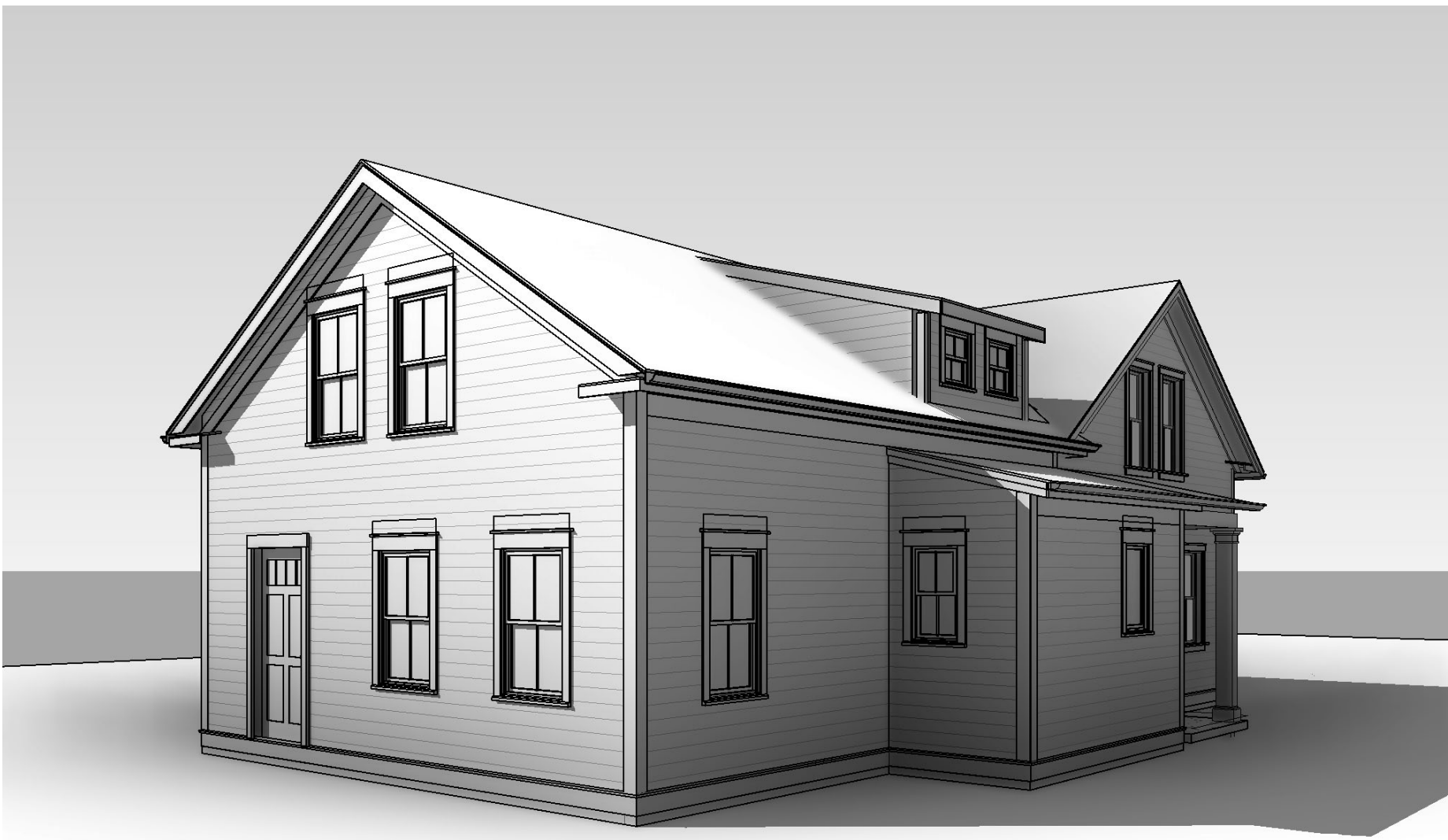
DATE: AUGUST 11, 2020

SCALE: As indicated

© 2019 UNION STUDIO
ARCHITECTURE & COMMUNITY DESIGN
THESE DOCUMENTS HAVE BEEN PREPARED SPECIFICALLY
FOR OTTAVIA DE LUCA & LUCA MANN. THEY ARE NOT
SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER
LOCATIONS WITHOUT THE APPROVAL AND PARTICIPATION
OF UNION STUDIO. REPRODUCTION IS PROHIBITED.

TITLE SHEET

000



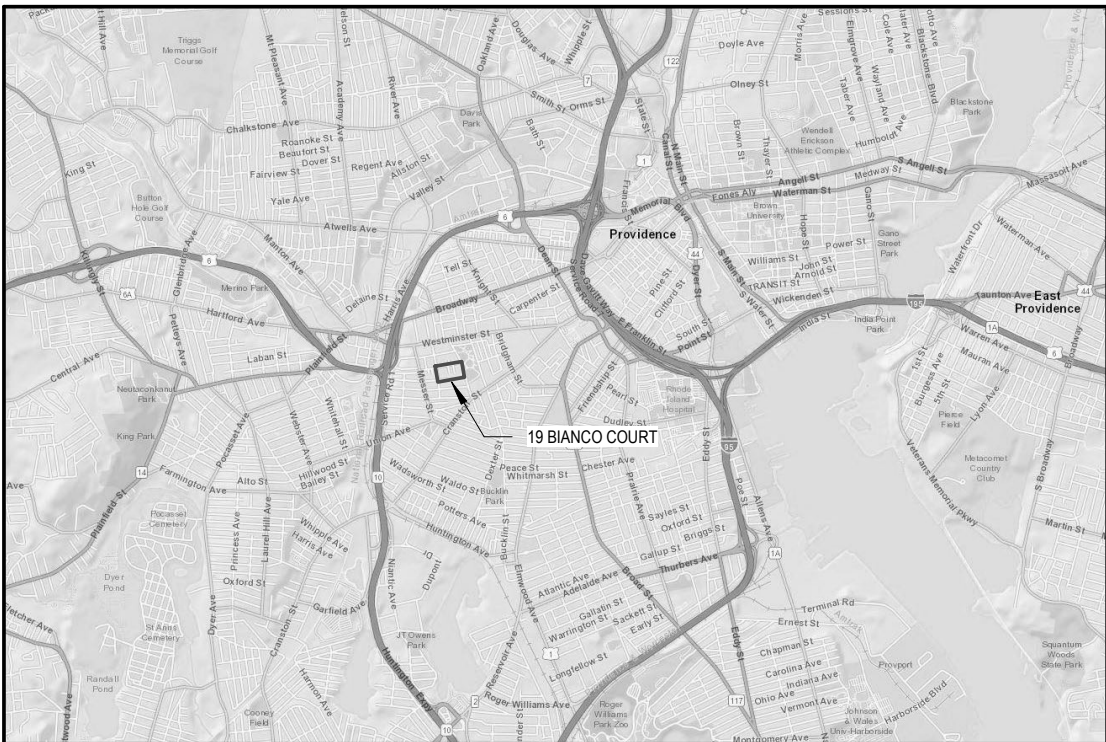
PERSPECTIVE - FRONT



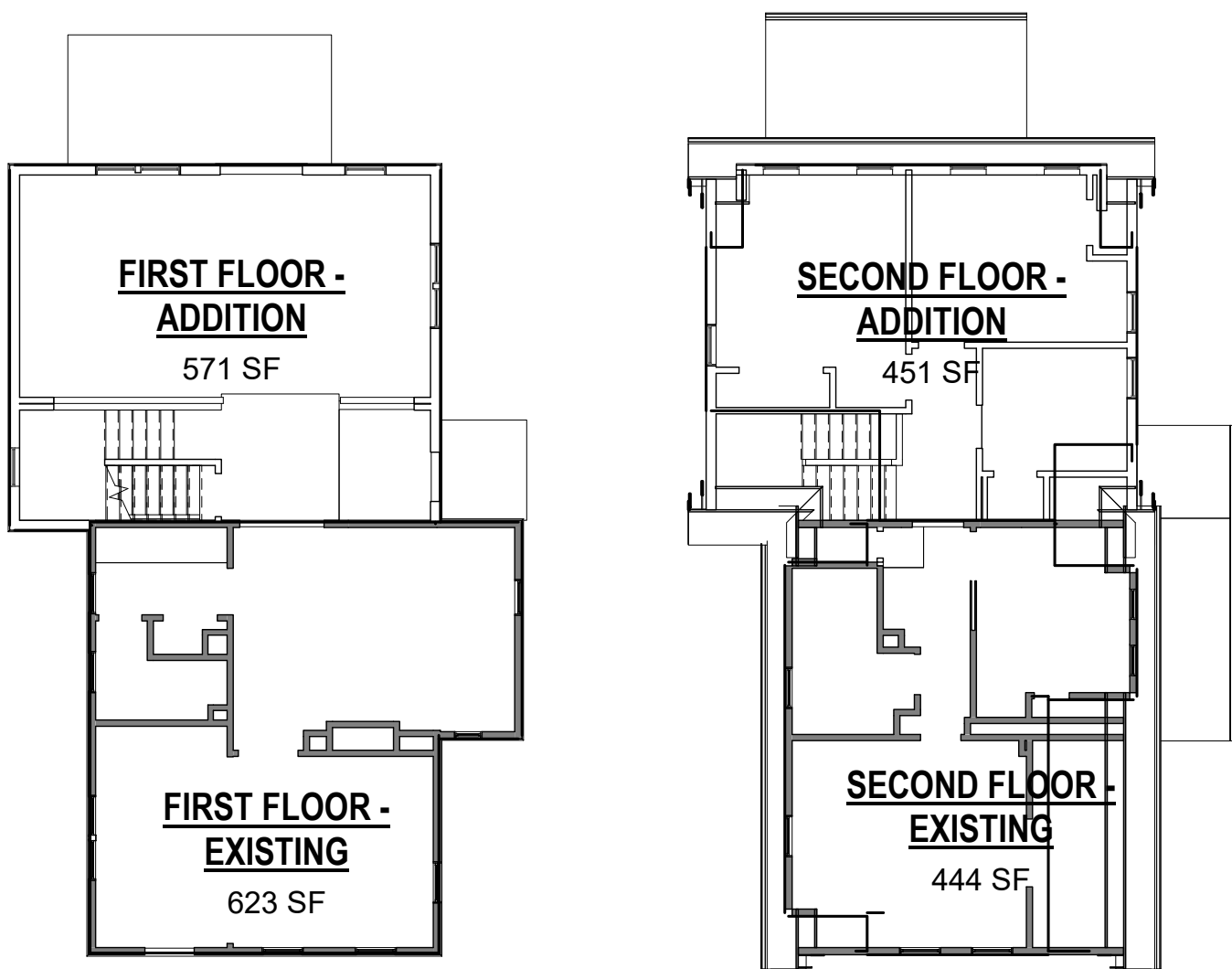
PERSPECTIVE - REAR



VICINITY MAP



SITE MAP



FIRST FLOOR - GROSS AREA PLAN
3/32" = 1'-0"

SECOND FLOOR - GROSS AREA PLAN
3/32" = 1'-0"

AREA SCHEDULE - GROSS BUILDING	
AREA NAME	AREA (SF)
FIRST FLOOR - ADDITION	571 SF
SECOND FLOOR - ADDITION	451 SF
Conditioned	
FIRST FLOOR - EXISTING	623 SF
SECOND FLOOR - EXISTING	444 SF
Unconditioned	
BASEMENT	400 SF
	2,489 SF

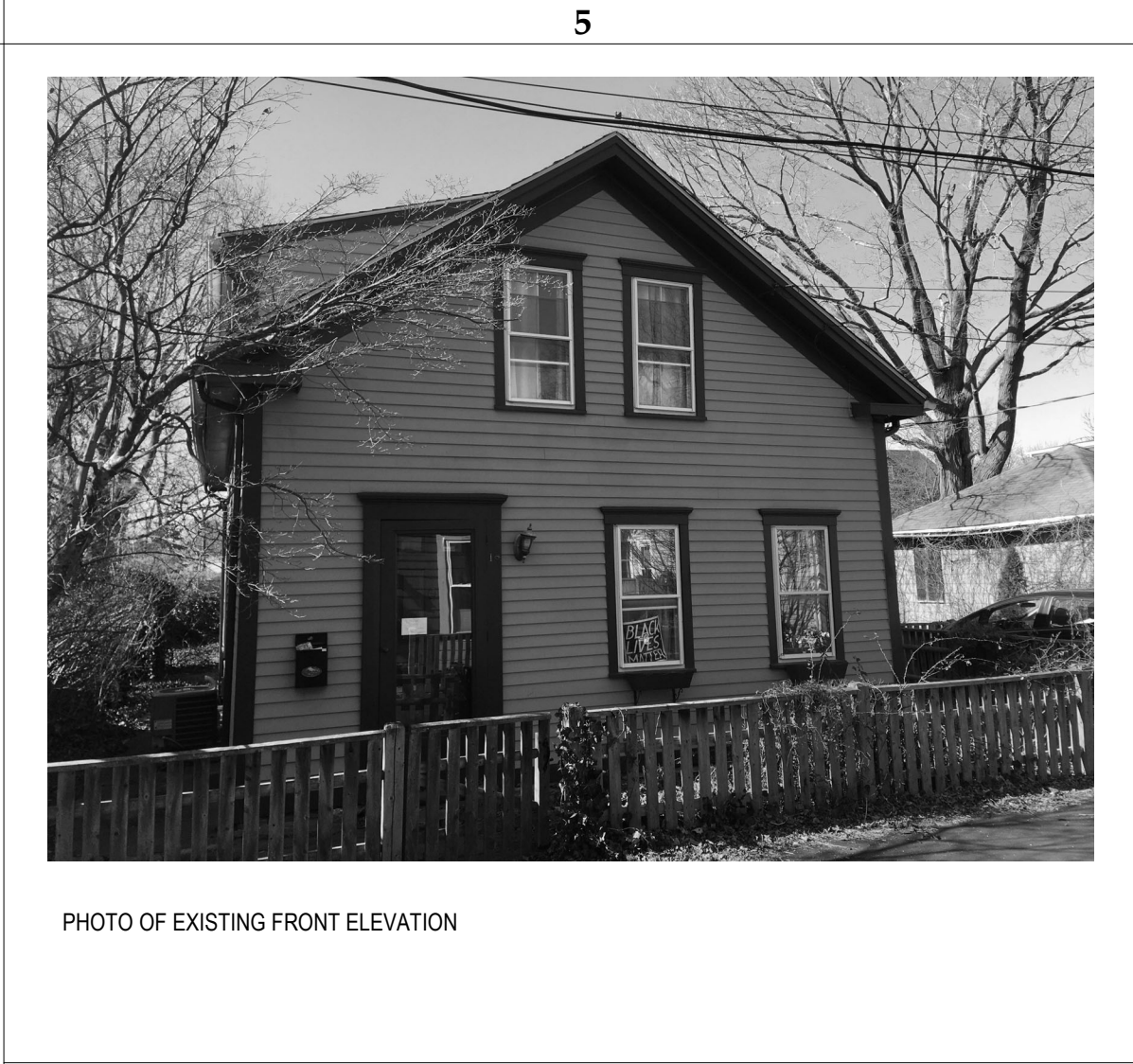
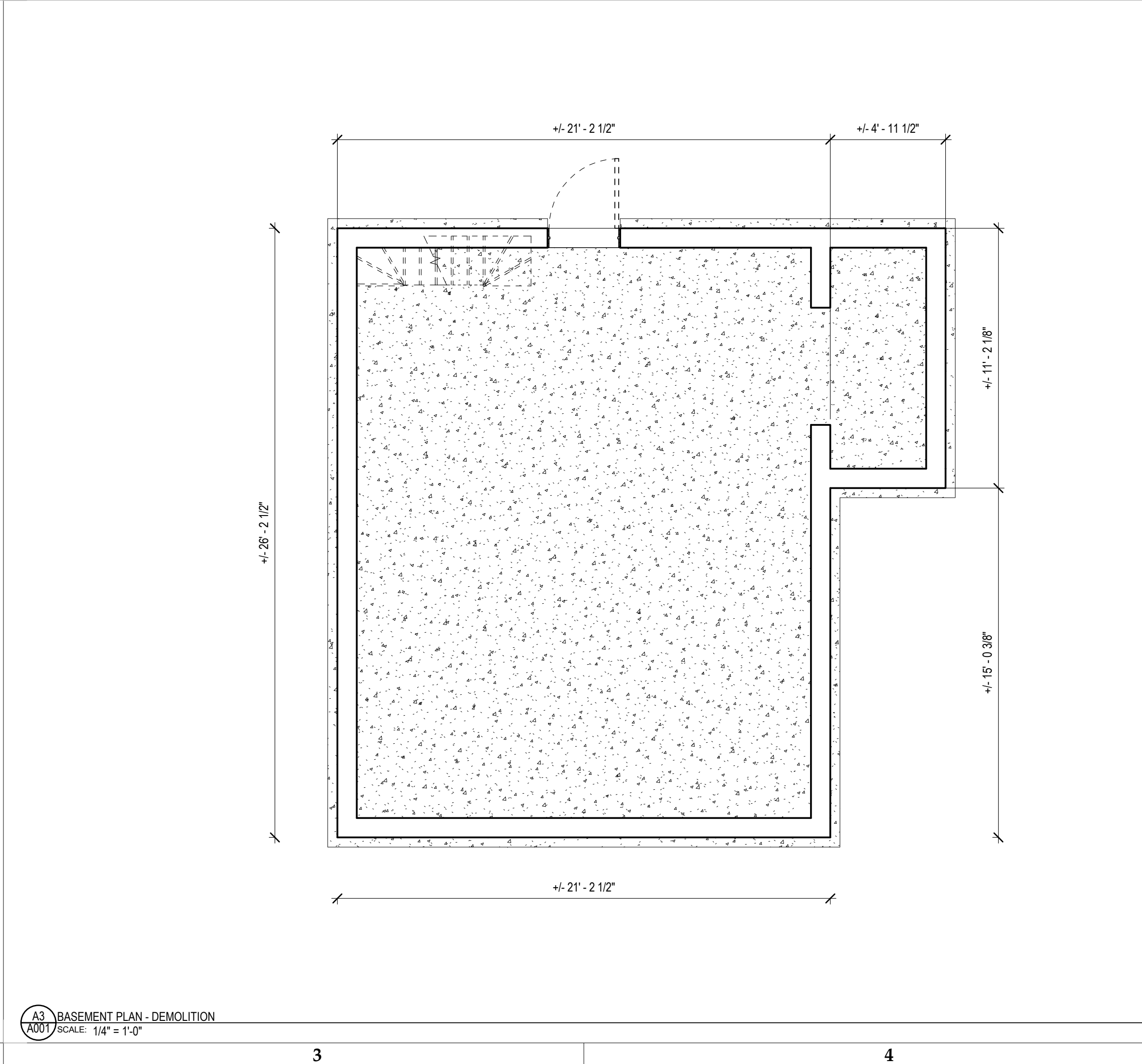
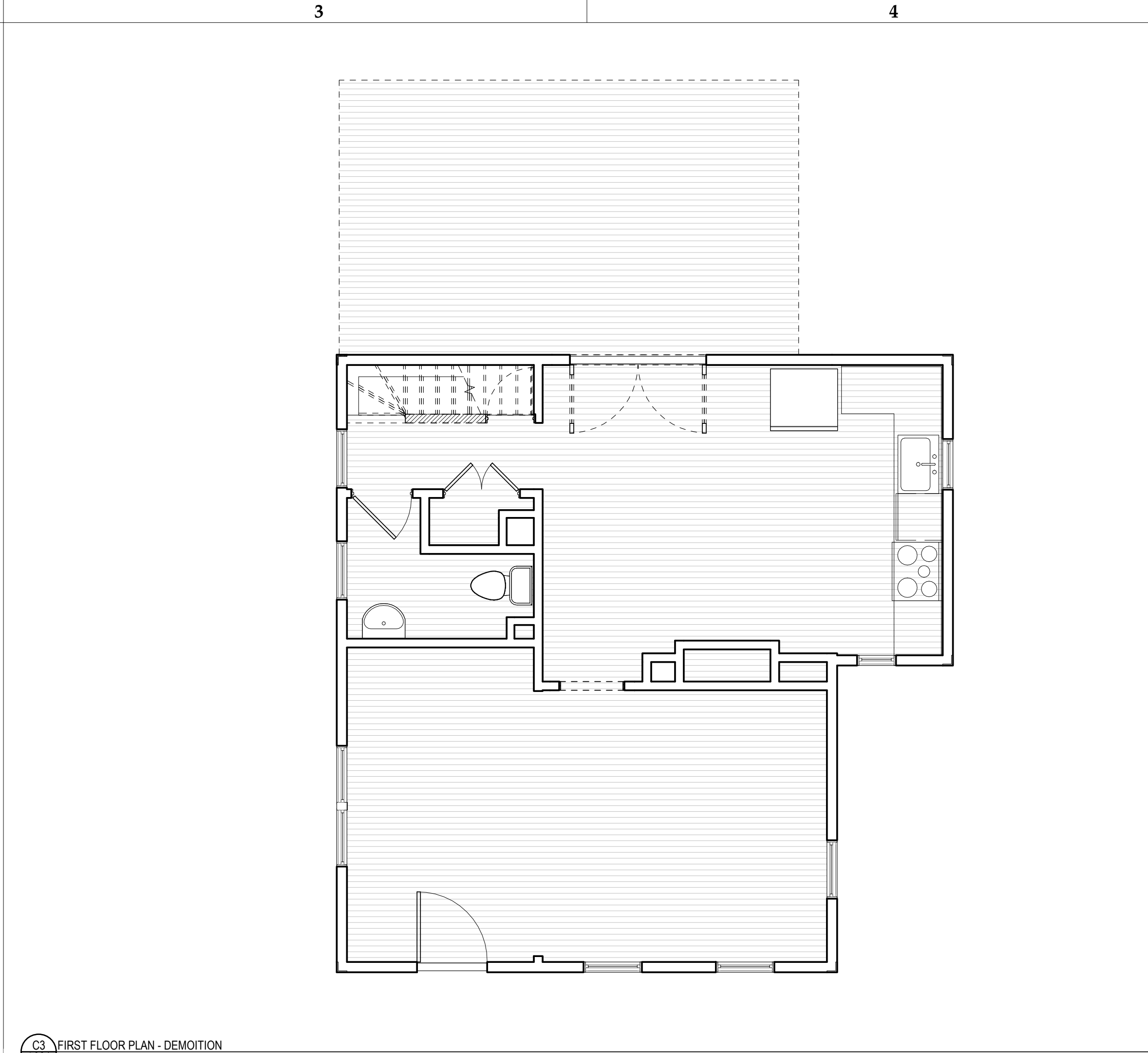
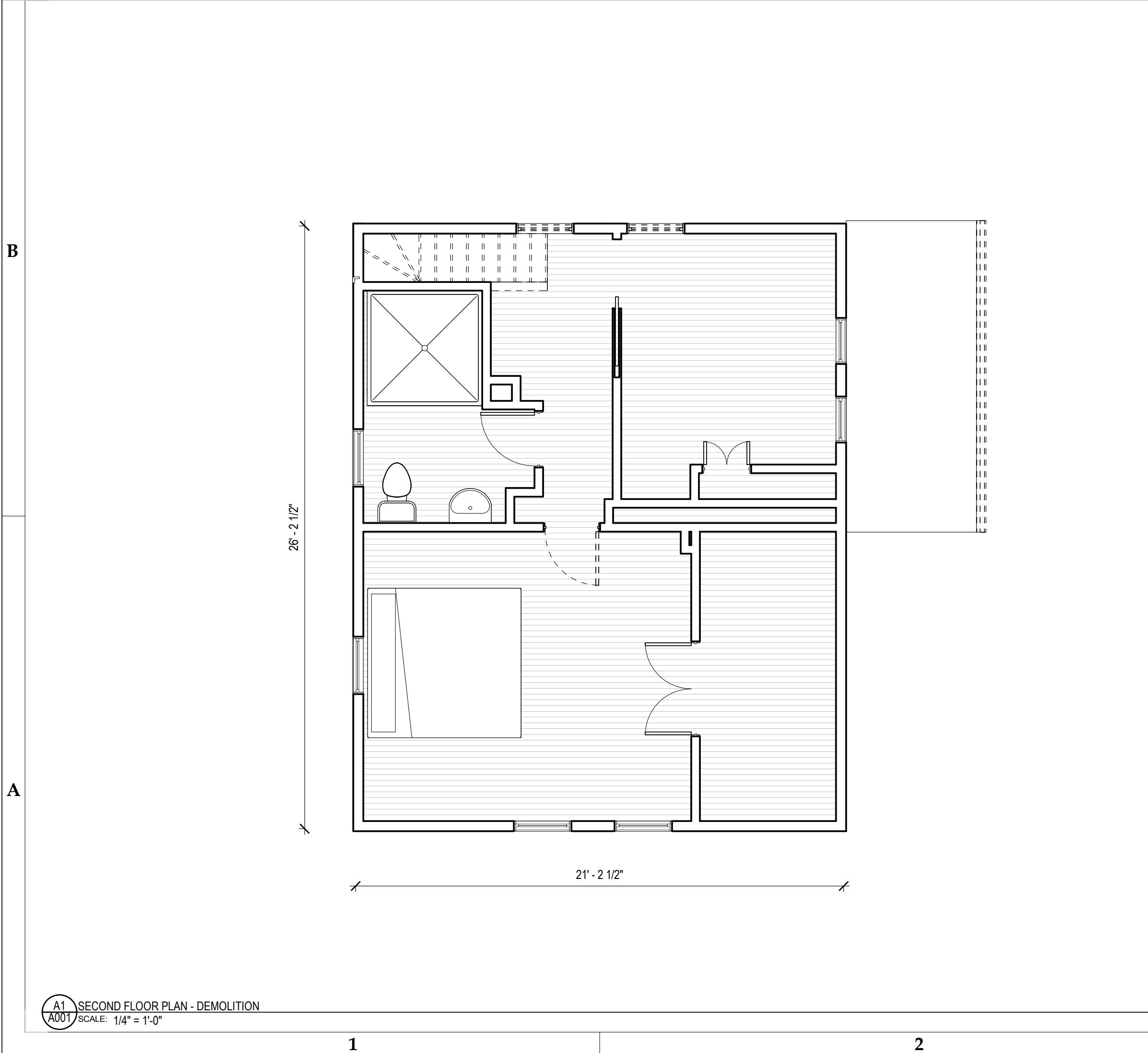
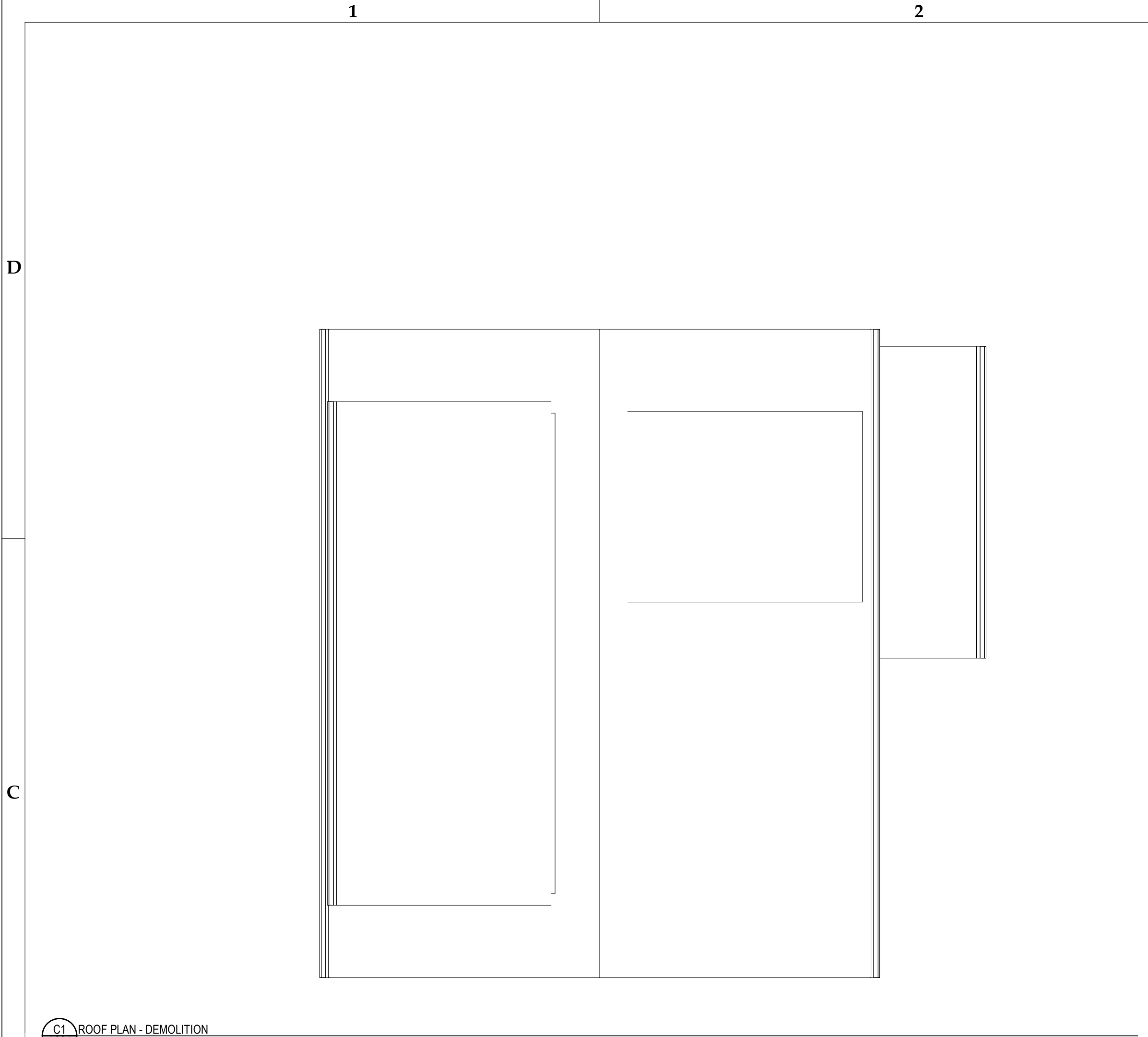
PROJECT DATA			
BUILDING CODE DATA		ZONING ORDINANCE DATA	
RHODE ISLAND ONE AND TWO-FAMILY DWELLING CODE SBC-2-2019		CITY OF PROVIDENCE ZONING ORDINANCE	
UNIT SEPARATION	N/A	ZONING DISTRICT	R-3 RESIDENTIAL
GARAGE SEPARATION	N/A	OVERLAY DISTRICT	HD HISTORIC DISTRICT OVERLAY
SPRINKLERS	NONE	REQUIRED	PROPOSED
BASIC WIND SPEED	100 MPH	RESIDENTIAL	SINGLE FAMILY
SEISMIC CATEGORY	NONE	LOT AREA	N/A 6027 SF
FROST DEPTH	40"	LOT FRONTAGE	N/A 60'
WEATHERING POTENTIAL	SEVERE	FRONT SETBACK	Sec. 402.B UNCHANGED
TERMITE POTENTIAL	MODERATE TO HEAVY	SIDE SETBACK	6' 6'
		REAR SETBACK	25' 25'
		LOT COVERAGE	45% 20%
		PARKING	1/D.U. 2
		BUILDING HEIGHT	3 STORIES / 45 FT 1.75 / 20 FT
STRUCTURAL DESIGN LIVE LOADS		ENERGY CODE DATA	
NON-SLEEPING AREAS	40 PSF	CLIMATE ZONE	5A
SLEEPING AREAS	30 PSF	REQUIRED	PROPOSED
DECKS/BALCONIES	40 PSF	FRAMED WALL	R-20 R-20
ATTICS	10 PSF	FLOOR	R-30 R-30
GROUND SNOW LOAD	30 PSF	CEILING	R-49 R-49
GARAGE	50 PSF	CEILING (NO ATTIC)	R-38 R-38
HANDRAILS/GUARDS	200 PSF	BASEMENT WALL	R-15 R-15
GUARD INFILL	50 PSF	SLAB	R-10 R-10
		WINDOWS	U 0.30 U 0.30
		HERS SCORE	55 55

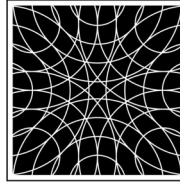
SYMBOLS LEGEND	
SYMBOL	DESCRIPTION
	DATUM POINT
	ELEVATION MARKER
	BUILDING SECTION
	AREA OF DETAIL
	DETAIL SECTION
	WALL SECTION
	INTERIOR ELEVATION
	EXTERIOR ELEVATION
	WINDOW TYPE
	DOOR NUMBER
	ROOM NAME AND NUMBER
	WALL TYPE
	EXISTING
	REVISION NUMBER AND CLOUD REFERENCE
	ROOF PITCH
	CENTERLINE

GENERAL PROJECT NOTES

- GENERAL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES.
- UNLESS NOTED OTHERWISE, THE GENERAL CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY, PERMITS, TRANSPORTATION AND OTHER SERVICES AND FACILITIES NECESSARY FOR PROPER AND TIMELY EXECUTION OF THE REQUIRED WORK UNDER THE CONTRACT.
- ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AS WELL AS ANY REQUIREMENTS SET FORTH BY ALL AUTHORITIES HAVING JURISDICTION.
- IN THE EVENT OF CONFLICTING PROVISIONS WITHIN THE DRAWINGS, THE FOLLOWING ORDER OF PRECEDENCE FOR RESOLUTION OF THE CONFLICT SHALL APPLY: THE MORE SPECIFIC PROVISION SHALL TAKE PRECEDENCE OVER THE LESS SPECIFIC; IF NOT RESOLVED, THE LESS STRINGENT SHALL TAKE PRECEDENCE OVER THE MORE STRINGENT; IF NOT RESOLVED, THE LESS EXPENSIVE ITEM WILL TAKE PRECEDENCE OVER THE MORE EXPENSIVE.
- DRAWING SCALES: THESE DRAWINGS ARE PREPARED TO THE SCALES NOTED. HOWEVER, DIMENSIONS ARE NOT TO BE DERIVED BY SCALING THE PLANS, SECTIONS OR DETAILS. ON ALL DRAWINGS, FIGURES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- THE REQUIREMENTS OF THE DRAWINGS, GENERAL REQUIREMENTS AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING ON ALL CONTRACTORS AND TRADES. EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL SETS OF THE CONTRACT DOCUMENTS FOR THEIR EMPLOYEES USE ON THE PROJECT TO ENSURE THAT ALL WORK IS PROPERLY COORDINATED AND INSTALLED WITH THE WORK OF OTHER CONTRACTORS AND TRADES.
- ALL DIMENSIONS ARE ACTUAL AND ARE TAKEN TO THE FACE OF STUD, FACE OF CONCRETE WALL, OR FACE OF FRAME, UNLESS NOTED OTHERWISE.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ADEQUATE SHORING AND BRACING TO SAFELY SUPPORT THE STRUCTURE DURING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR DUST AND WEATHER PROTECTION DURING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF PERSONS USING THE SURROUNDING FACILITIES WHO COME INTO CONTACT WITH THE AREA OF CONSTRUCTION. THE CONSTRUCTION AREA SHALL BE PROPERLY BARRICADED TO PREVENT INTRUSION BY PERSONS NOT ASSOCIATED WITH THE CONSTRUCTION OF THIS FACILITY.
- SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION AND COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE CONDITIONED, USED, APPLIED, INSTALLED, CONNECTED, ERECTED AND CLEANED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS, GUIDELINES AND INSTALLATION INSTRUCTIONS.
- THE GENERAL CONTRACTOR WARRANTS THAT ALL MATERIALS AND EQUIPMENT FURNISHED AND INSTALLED UNDER THE CONTRACT ARE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE AS SPECIFIED AND FREE OF DEFECTS.
- THE GENERAL CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.

8/11/2020 2:25:55 PM C:\Desktop\Revit\DMA\20_0811 DMA Model_LOCAL_JVW.rvt





UNION STUDIO
ARCHITECTURE & COMMUNITY DESIGN
140 Union Street Providence, RI 02903
1-401-272-4724 | 401-272-4823
www.unionstudioarch.com

Contact: Designer

OWNER:

STRUCTURAL ENG.:

NAME

CONTRACTOR:

NAME

De Luca Mann Addition

19 BIANCO COURT
PROVIDENCE, RI 02909

FOR HDC REVIEW

REVISION SCHEDULE		
NO.	ISSUE	DATE

JOB #: 2036
DATE: AUGUST 11, 2020
SCALE: 1/4" = 1'-0"

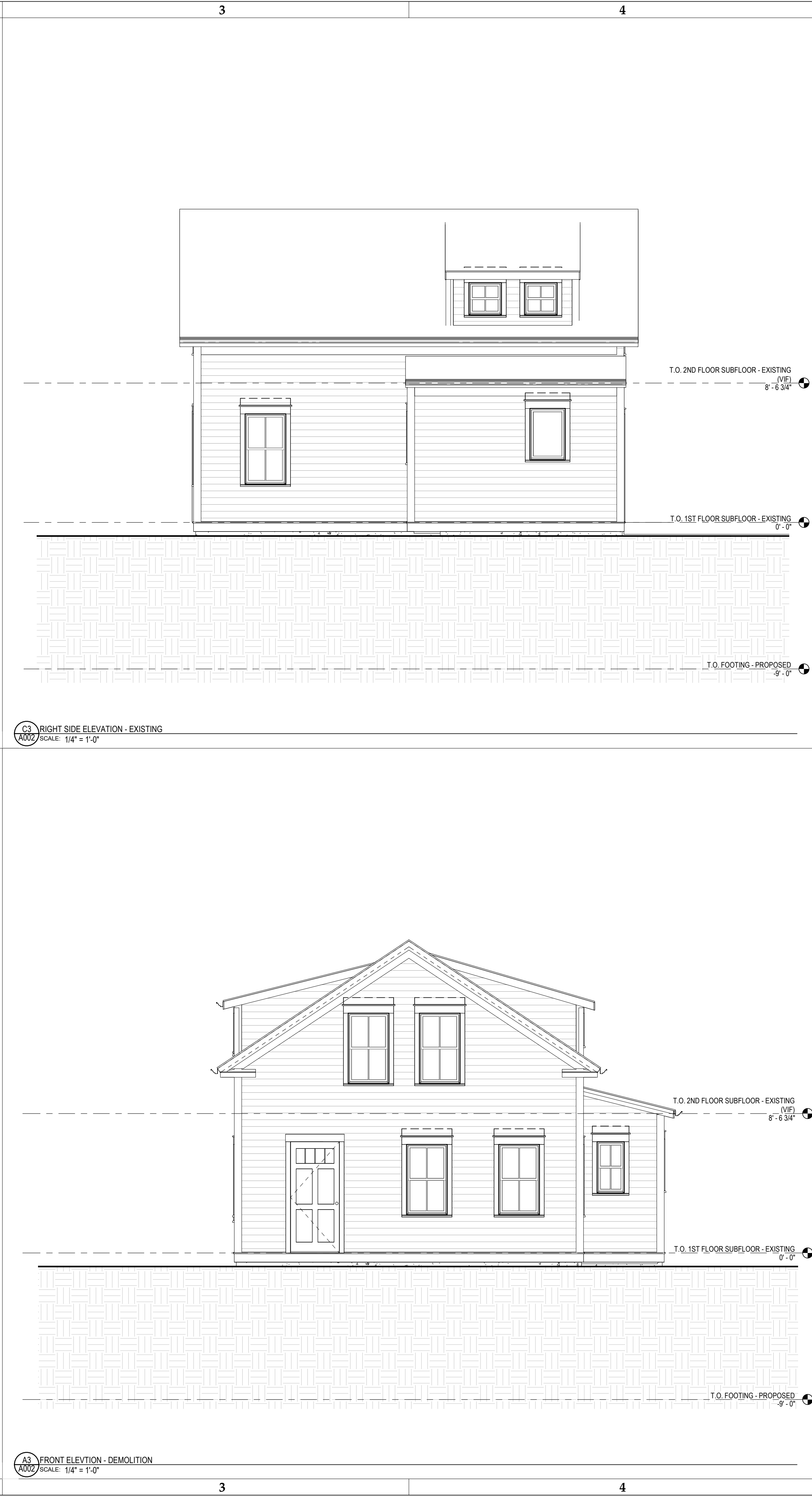
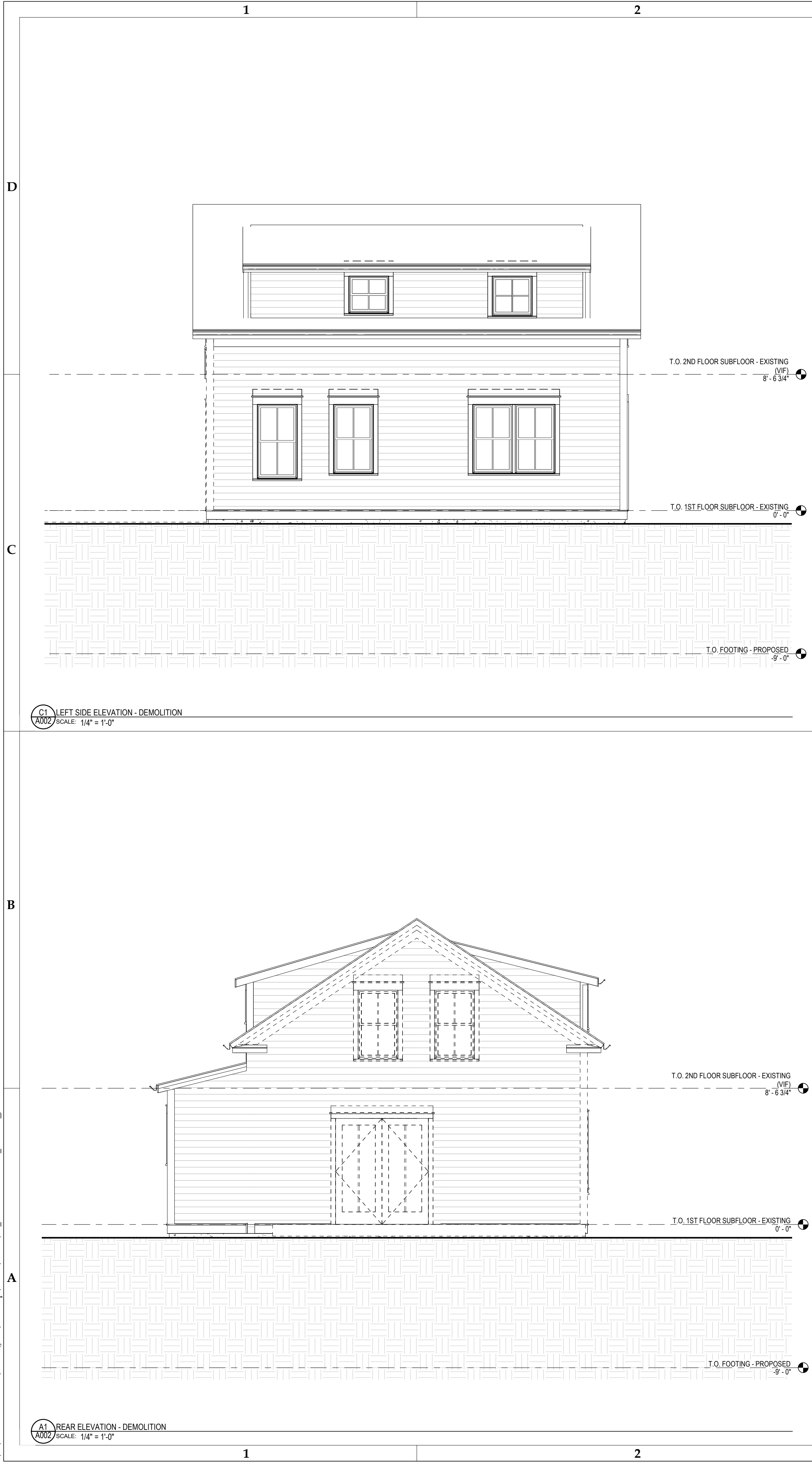
© 2019 UNION STUDIO
ARCHITECTURE & COMMUNITY DESIGN

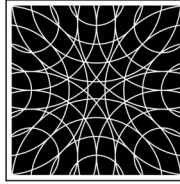
THESE DOCUMENTS HAVE BEEN PREPARED SPECIFICALLY FOR OTTAWA DE LUCA & LUCA MANN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE APPROVAL AND PARTICIPATION OF UNION STUDIO. REPRODUCTION IS PROHIBITED.

EXISTING CONDITIONS

A001

8/11/2020 2:25:59 PM C:\Users\Joel\Desktop\Revit\DMA\20_0811 DMA Model_LOCAL_JVW.rvt





UNION STUDIO
ARCHITECTURE & COMMUNITY DESIGN
140 Union Street Providence, RI 02903
1-401-272-4724 | 401-272-4823
www.unionstudioarch.com

Contact: Designer

OWNER:

STRUCTURAL ENG.:

NAME

CONTRACTOR:

NAME

De Luca Mann Addition

19 BIANCO COURT
PROVIDENCE, RI 02909

FOR HDC REVIEW

REVISION SCHEDULE		
NO.	ISSUE	DATE

JOB #: 2036

DATE: AUGUST 11, 2020

SCALE: 1/4" = 1'-0"

© 2019 UNION STUDIO
ARCHITECTURE & COMMUNITY DESIGN

THESE DOCUMENTS HAVE BEEN PREPARED SPECIFICALLY FOR OTTAWA DE LUCA & LOUIS MANN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE APPROVAL AND PARTICIPATION OF UNION STUDIO. REPRODUCTION IS PROHIBITED.

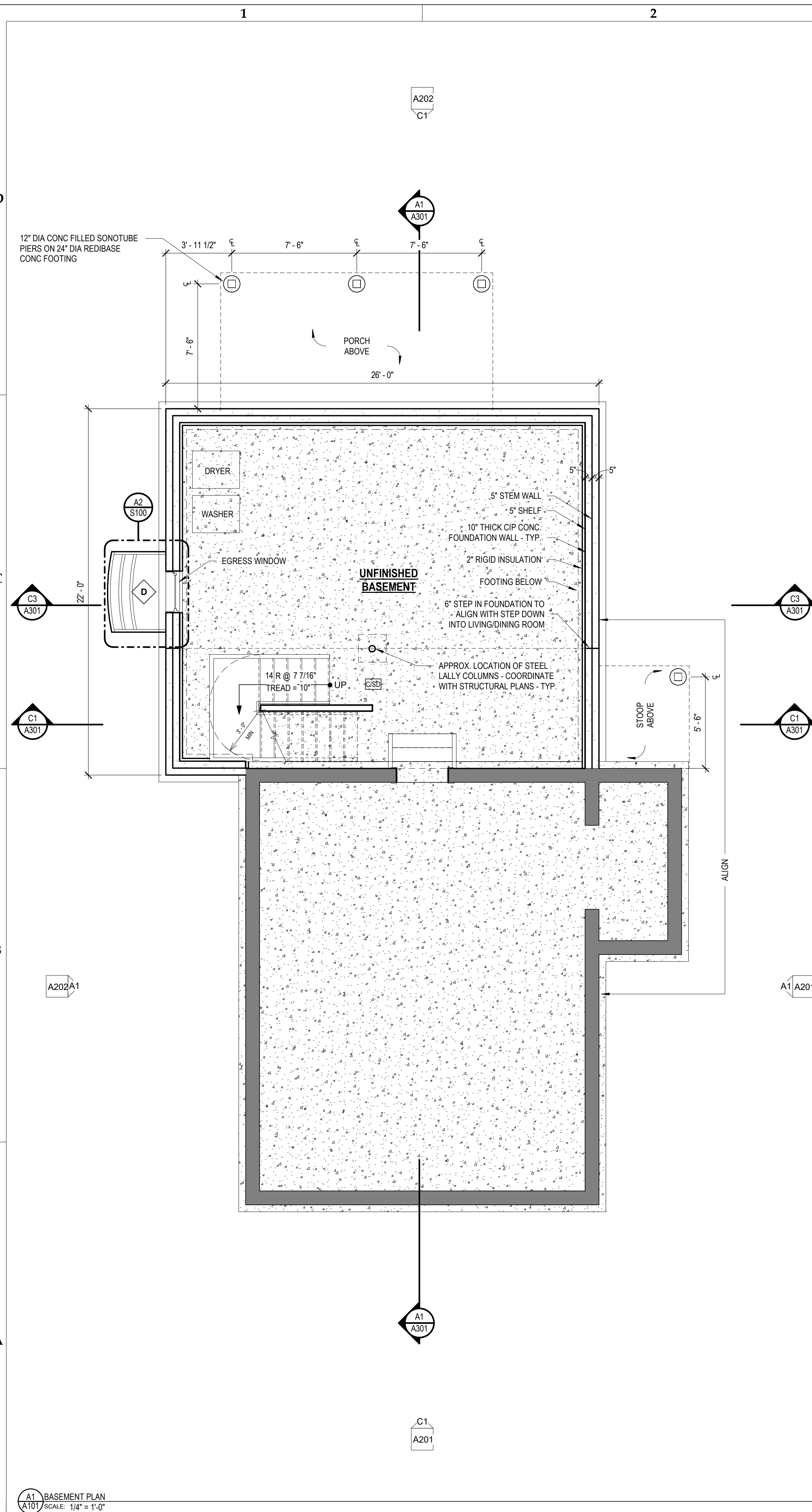
EXISTING CONDITIONS

A002

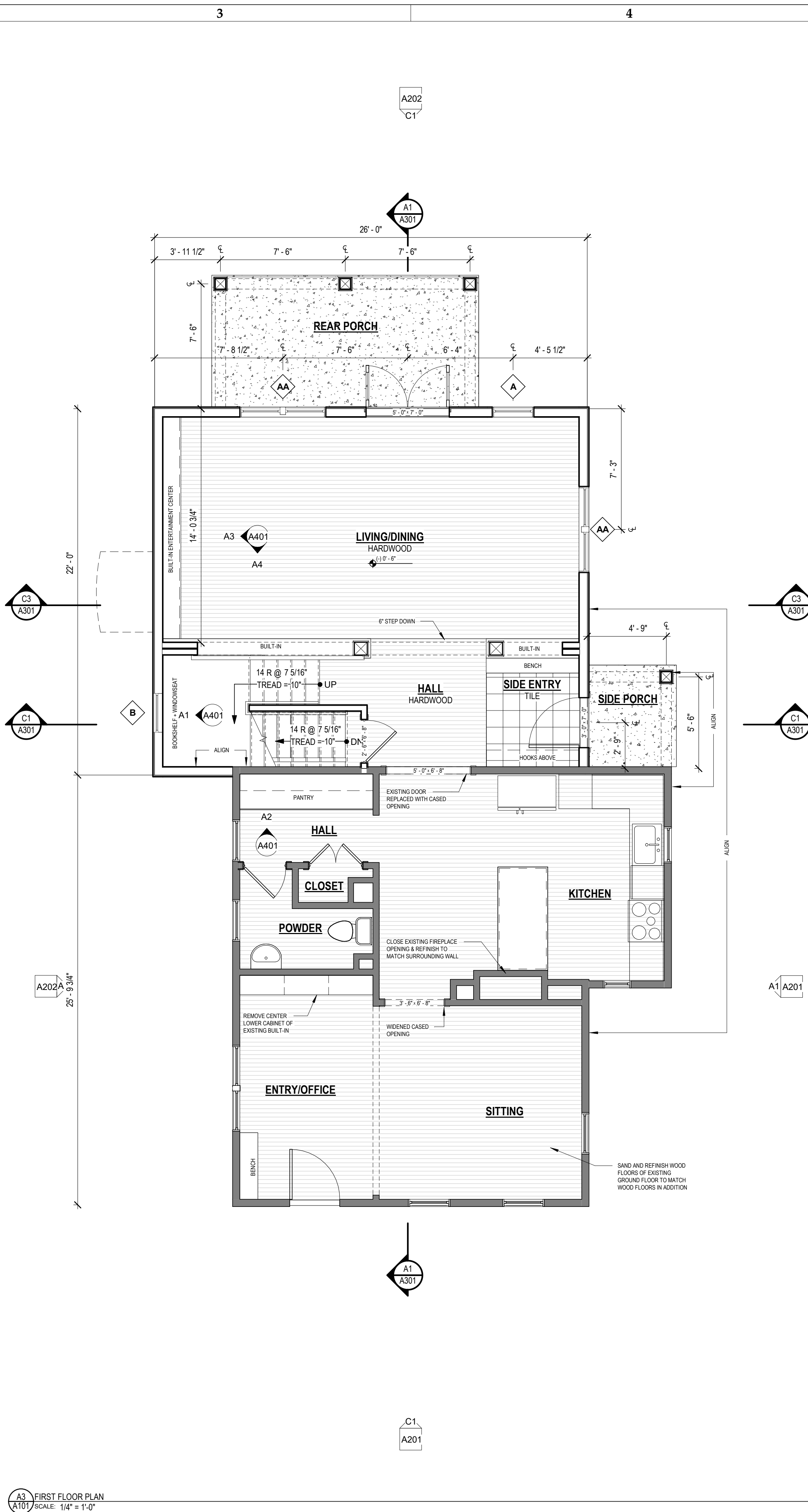


GENERAL PLAN NOTES

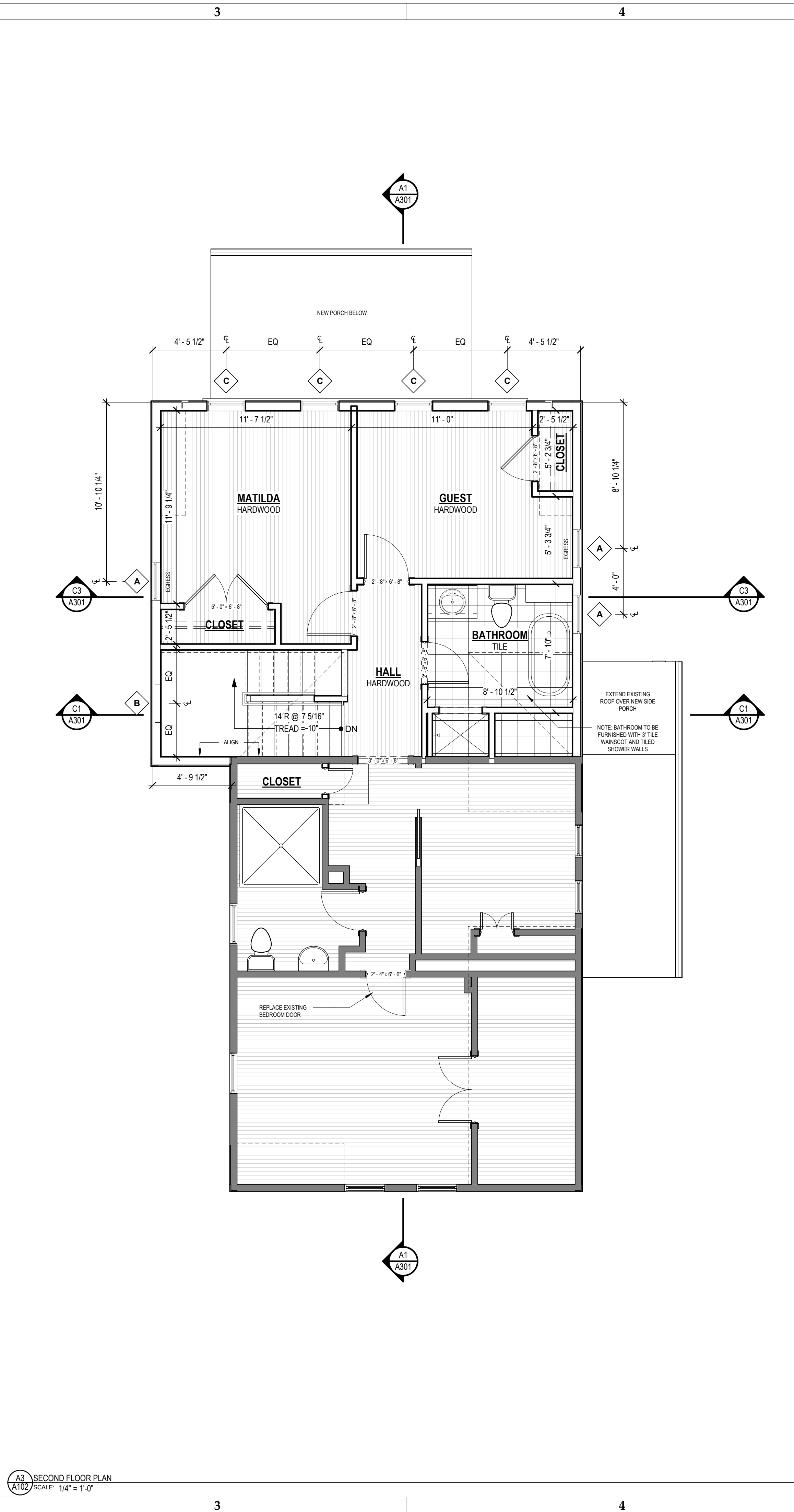
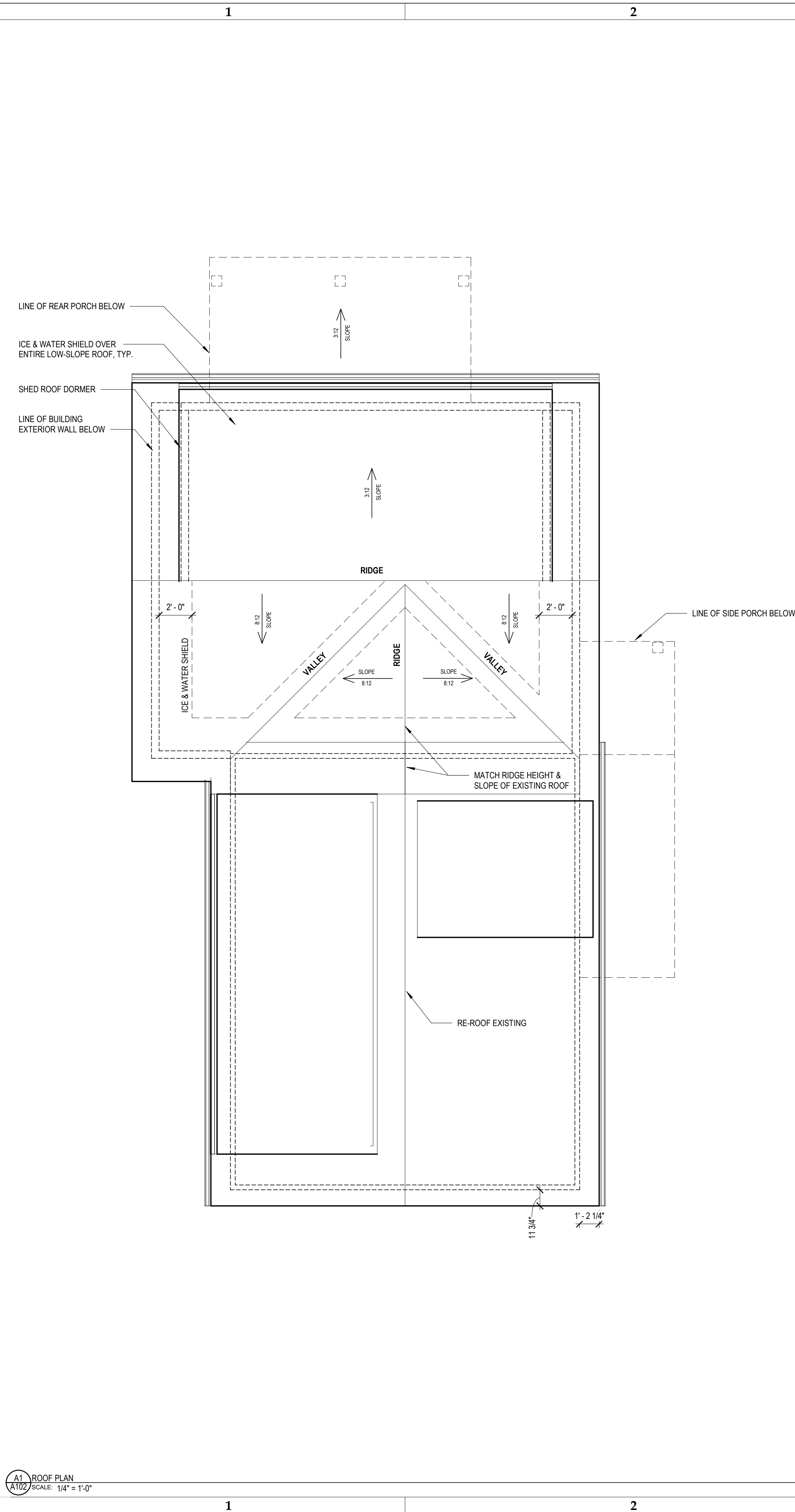
1. ALL FLOOR LEVELS ON THIS SHEET ARE ASSUMED TO BE AT ESTABLISHED DATUM UNLESS NOTED OTHERWISE.
2. ALL INTERIOR PARTITIONS TO BE 2x4 STUDS @ 16" O.C. WITH 1/2" GYPSUM WALL BOARD, UNLESS NOTED OTHERWISE. SUBSTITUTE WITH 1/2" "GREENBOARD" GYPSUM WALL BOARD AT BATHROOMS AND BASEMENTS. SUBSTITUTE 1/2" CEMENT BOARD BOARD AT TILED SHOWER AND TUB SURROUNDS.
3. ALL INTERIOR WALLS AND PARTITIONS SHALL EXTEND TO THE UNDERSIDE OF STRUCTURE OR DECK ABOVE, UNLESS NOTED OTHERWISE.
4. ALL BATHROOM AND BEDROOM WALLS SHALL HAVE ACOUSTIC INSULATION.
5. DOOR OPENINGS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALLS AS SHOWN OR LOCATED 6" FROM FINISH WALL TO FINISH JAMB UNLESS OTHERWISE NOTED.
6. ALL PENETRATIONS THROUGH FIRE RATED WALLS AND CEILINGS SHALL BE INSTALLED WITH FIRE DAMPERS, FIRE SEAL, ETC. SO AS TO MAINTAIN THE FIRE-RESISTIVE RATING AND STRUCTURAL INTEGRITY OF WALL AND CEILING ASSEMBLIES.
7. PROVIDE (5) 18" DEEP ADJUSTABLE WOOD SHELVES IN ALL LINEN CLOSETS AND PANTRY CLOSETS UNLESS OTHERWISE NOTED.
8. PROVIDE HANGING ROD AND 14" DEEP FIXED WOOD SHELF IN ALL BEDROOM CLOSETS AND COAT CLOSETS UNLESS OTHERWISE NOTED.
10. ALL BEDROOMS AND BASEMENTS TO HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING COMPLYING WITH LOCAL CODES.
11. ALL STAIRS TO HAVE RISE/RUN AND GUARDS/HANDRAILS COMPLYING WITH LOCAL CODES.



A1 BASEMENT PLAN
A101 SCALE: 1/4" = 1'-0"

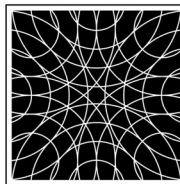


A3 FIRST FLOOR PLAN
A101 SCALE: 1/4" = 1'-0"



GENERAL PLAN NOTES

1. ALL FLOOR LEVELS ON THIS SHEET ARE ASSUMED TO BE AT ESTABLISHED DATUM UNLESS NOTED OTHERWISE.
2. ALL INTERIOR PARTITIONS TO BE 2x4 STUDS @ 16" O.C. WITH 1/2" GYPSUM WALL BOARD, UNLESS NOTED OTHERWISE. SUBSTITUTE WITH 1/2" "GREENBOARD" GYPSUM WALL BOARD AT BATHROOMS AND BASEMENTS. SUBSTITUTE 1/2" CEMENT BACKER BOARD AT TILED SHOWER AND TUB SURROUNDS.
3. ALL INTERIOR WALLS AND PARTITIONS SHALL EXTEND TO THE UNDERSIDE OF STRUCTURE OR DECK ABOVE, UNLESS NOTED OTHERWISE.
4. ALL BATHROOM AND BEDROOM WALLS SHALL HAVE ACOUSTIC INSULATION.
5. DOOR OPENINGS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALLS AS SHOWN OR LOCATED 6" FROM FINISH WALL TO FINISH JAMB UNLESS OTHERWISE NOTED.
6. ALL PENETRATIONS THROUGH FIRE RATED WALLS AND CEILINGS SHALL BE INSTALLED WITH FIRE DAMPERS, FIRE SEAL, ETC. SO AS TO MAINTAIN THE FIRE-RESISTIVE RATING AND STRUCTURAL INTEGRITY OF WALL AND CEILING ASSEMBLIES.
7. PROVIDE (6) 18" DEEP ADJUSTABLE WOOD SHELVES IN ALL LINEN CLOSETS AND PANTRY CLOSETS UNLESS OTHERWISE NOTED.
8. PROVIDE HANGING ROD AND 14" DEEP FIXED WOOD SHELF IN ALL BEDROOM CLOSETS AND COAT CLOSETS UNLESS OTHERWISE NOTED.
10. ALL BEDROOMS AND BASEMENTS TO HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING COMPLYING WITH LOCAL CODES.
11. ALL STAIRS TO HAVE RISE/RUN AND GUARDS/HANDRAILS COMPLYING WITH LOCAL CODES.



UNION STUDIO
ARCHITECTURE & COMMUNITY DESIGN

140 Union Street Providence, RI 02903
t 401.272.4724 f 401.272.4825
www.unionstudioarch.com

Contact: Designer

OWNER:

STRUCTURAL ENG.:

NAME _____

CONTRACTOR:

NAME _____

De Luca Mann Addition

19 BIANCO COURT
PROVIDENCE, RI 02909

FOR HDC REVIEW

REVISION SCHEDULE		
NO.	ISSUE	DATE

JOB #: 2036

DATE: AUGUST 11, 2020

SCALE: 1/4" = 1'-0"

© 2019 UNION STUDIO
ARCHITECTURE & COMMUNITY DESIGN

THESE DOCUMENTS HAVE BEEN PREPARED SPECIFICALLY FOR OTTAVIA DE LUCA & LUCAS MANN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE APPROVAL AND PARTICIPATION OF UNION STUDIO. REPRODUCTION IS PROHIBITED.

SECOND FLOOR & ROOF PLAN

A102



OWNER:

NAME

NAME

19 BIANCO COURT
PROVIDENCE, RI 02909

Q.	ISSUE	DATE
----	-------	------

© 2019 UNION STUDIO
ARCHITECTURE & COMMUNITY DESIGN

THESE DOCUMENTS HAVE BEEN PREPARED SPECIFICALLY FOR OTTAVIA DE LUCA & LUCAS MANN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE APPROVAL AND PARTICIPATION OF UNION STUDIO. REPRODUCTION IS PROHIBITED.

A202

SIDING: TO MATCH EXISTING - BEVELED SMOOTH PNTD WOOD SIDING WITH 5" EXPOSURE

SIDING: TO MATCH EXISTING - BEVELED SMOOTH PNTD WOOD SIDING WITH 5" EXPOSURE

RUNNING TRIM: TO MATCH EXISTING - SMOOTH PNTD WOOD TRIM BOARDS

CASINGS: TO MATCH EXISTING - WOOD TRIM BOARDS TO MATCH EXISTING

CORNER BOARDS: TO MATCH EXISTING - 5/4 x 6 SMOOTH PNTD WOOD

SKIRT: TO MATCH EXISTING - WOOD OR POLY-ASH COMPOSITE

WINDOWS: TRIMLINE, PELLA, KOLBE OR ANDERSEN 400 SERIES

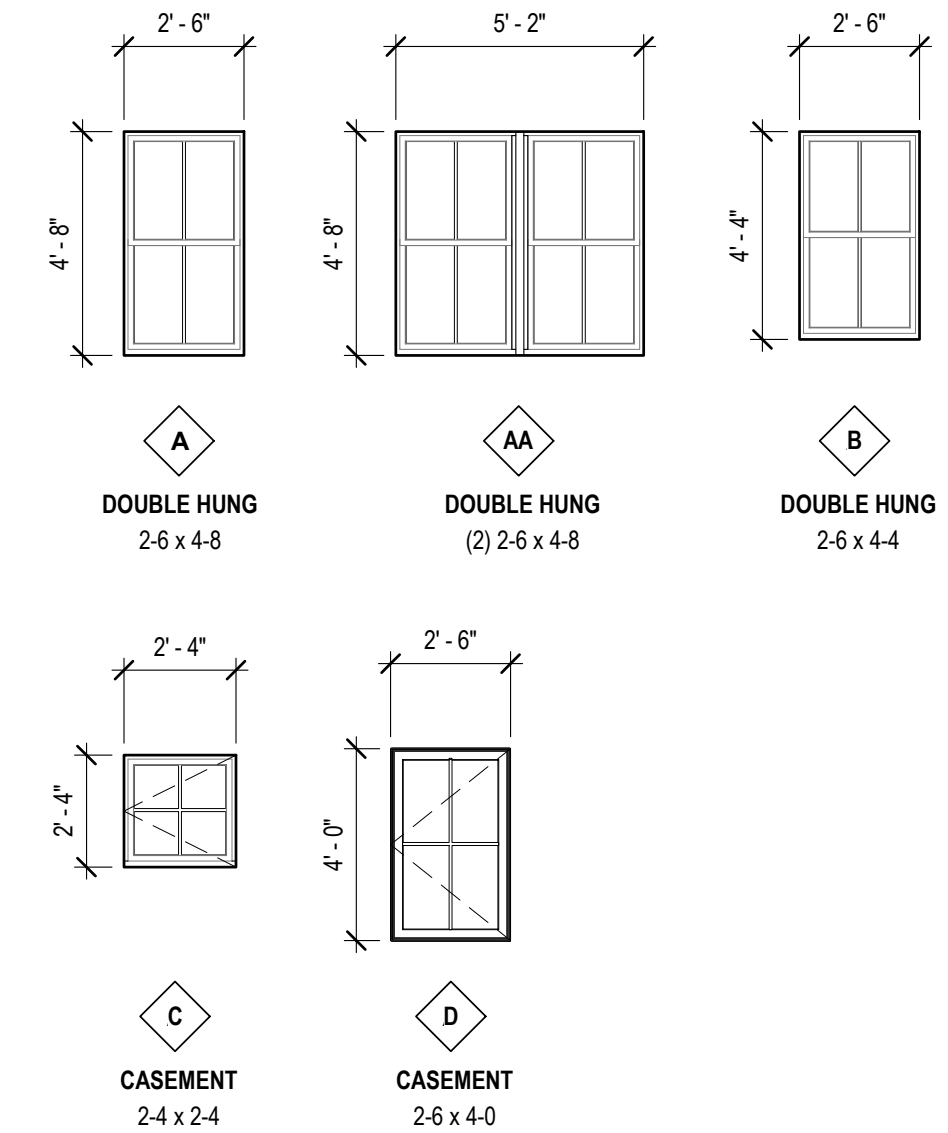
ENTRY DOOR: PNTD INSULATED FIBERGLASS DOOR WITH VISION LITE, THERMA-TRU OR EQ.

COLUMNS: 8" SQUARE FIBERGLASS COLUMNS WITH SMOOTH SHAFT AND TUSCAN CAP AND BASE, HB& OR EQ.

ROOFING: ARCHITECTURAL ASPHALT SHINGLE WITH 30-YR WARRANTY.

CORRUGATED DOWNSPOUT. TIE LEADERS TO DRAINAGE SYSTEM, DAYLIGHT, OR DRYWELL.

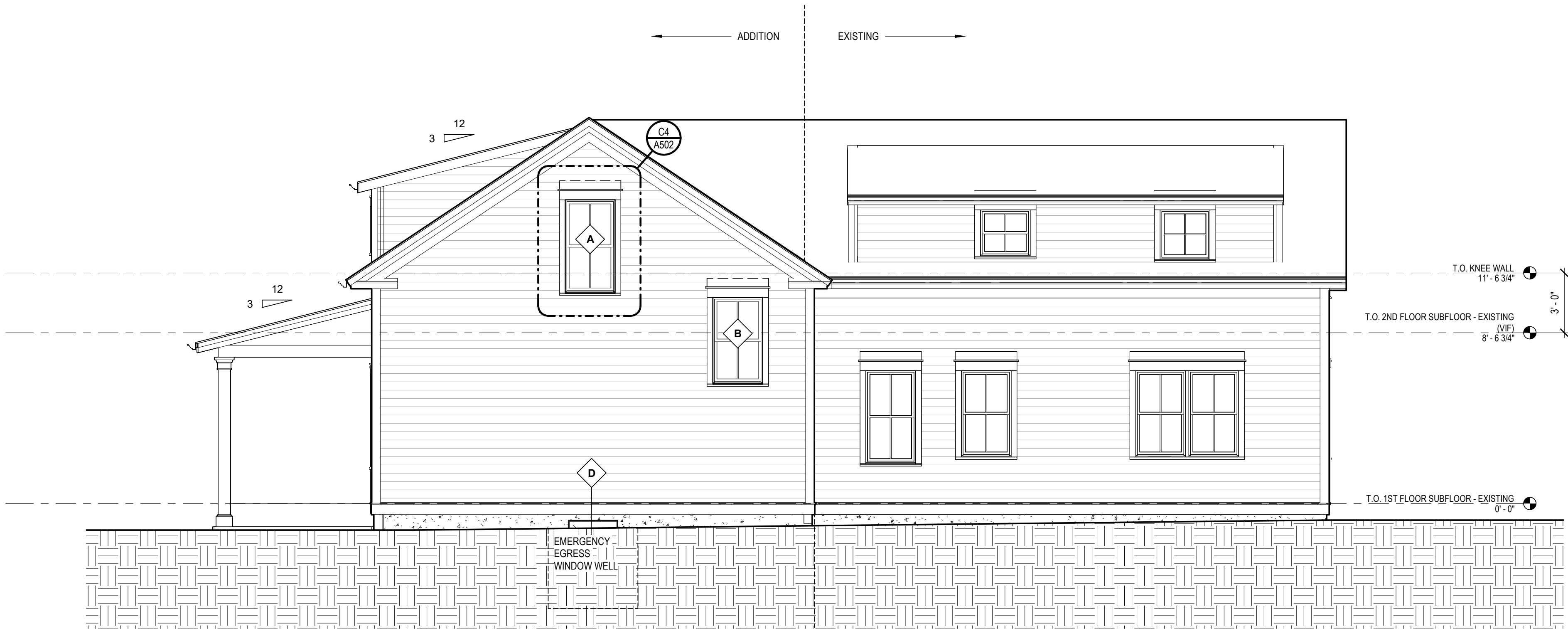
FOUNDATION: EXPOSED CAST-IN-PLACE CONCRETE WITH SMOOTH FORMED FINISH.



WINDOW TYPES

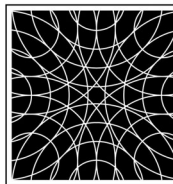
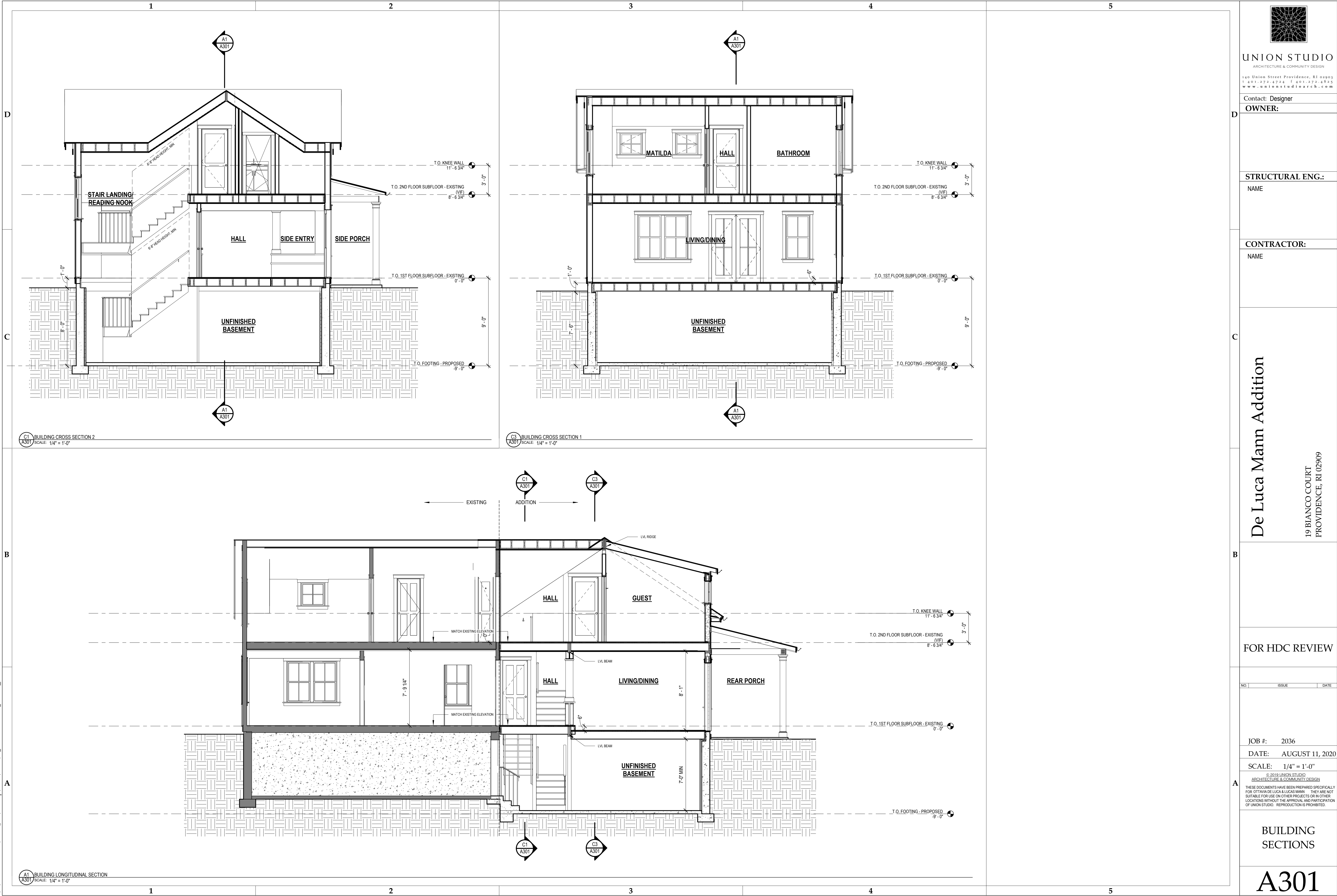


C1 REAR ELEVATION - PROPOSED
A202 SCALE: 1/4" = 1'-0"



A1 LEFT SIDE ELEVATION - PROPOSED
A202 SCALE: 1/4" = 1'-0"

8/11/2020 2:26:24 PM C:\Users\joe\Desktop\Revit\DMA\20_0811 DMA Model_LOCAL\JTW.rvt



UNION STUDIO
ARCHITECTURE & COMMUNITY DESIGN
140 Union Street Providence, RI 02903
1-401-272-4724 | 401-272-4823
www.unionstudioarch.com

Contact: Designer

OWNER:

STRUCTURAL ENG.:

NAME

CONTRACTOR:

NAME

De Luca Mann Addition

19 BIANCO COURT
PROVIDENCE, RI 02909

FOR HDC REVIEW

NO. | ISSUE | DATE

JOB #: 2036

DATE: AUGUST 11, 2020

SCALE: 1/4" = 1'-0"

© 2019 UNION STUDIO
ARCHITECTURE & COMMUNITY DESIGN

THESE DOCUMENTS HAVE BEEN PREPARED SPECIFICALLY
FOR OTTAWA DE LUCA & LUCAS MANN. THEY ARE NOT
SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER
LOCATIONS WITHOUT THE APPROVAL AND PARTICIPATION
OF UNION STUDIO. REPRODUCTION IS PROHIBITED.

BUILDING
SECTIONS

A301

Contact: Designe

OWNER:

STRUCTURAL ENG.:

NAME _____

CONTRACTOR:

NAME _____

De Luca Mann Addition

19 BIANCO COURT
PROVIDENCE, RI 02909

FOR HDC REVIEW

O.	ISSUE	DATE
----	-------	------

JOB #: 2036

DATE: AUGUST 11, 202

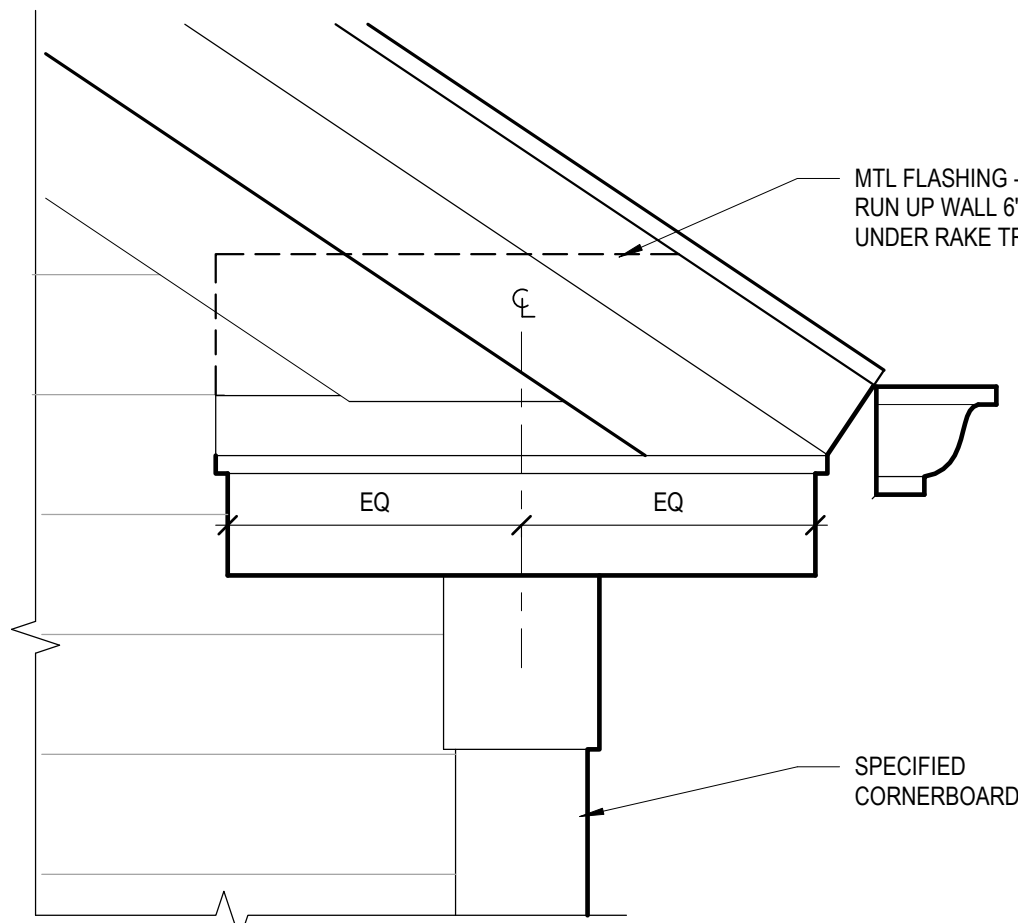
SCALE: 1 1/2" = 1'-0"

© 2019 UNION STUDIO
ARCHITECTURE & COMMUNITY DESIGN

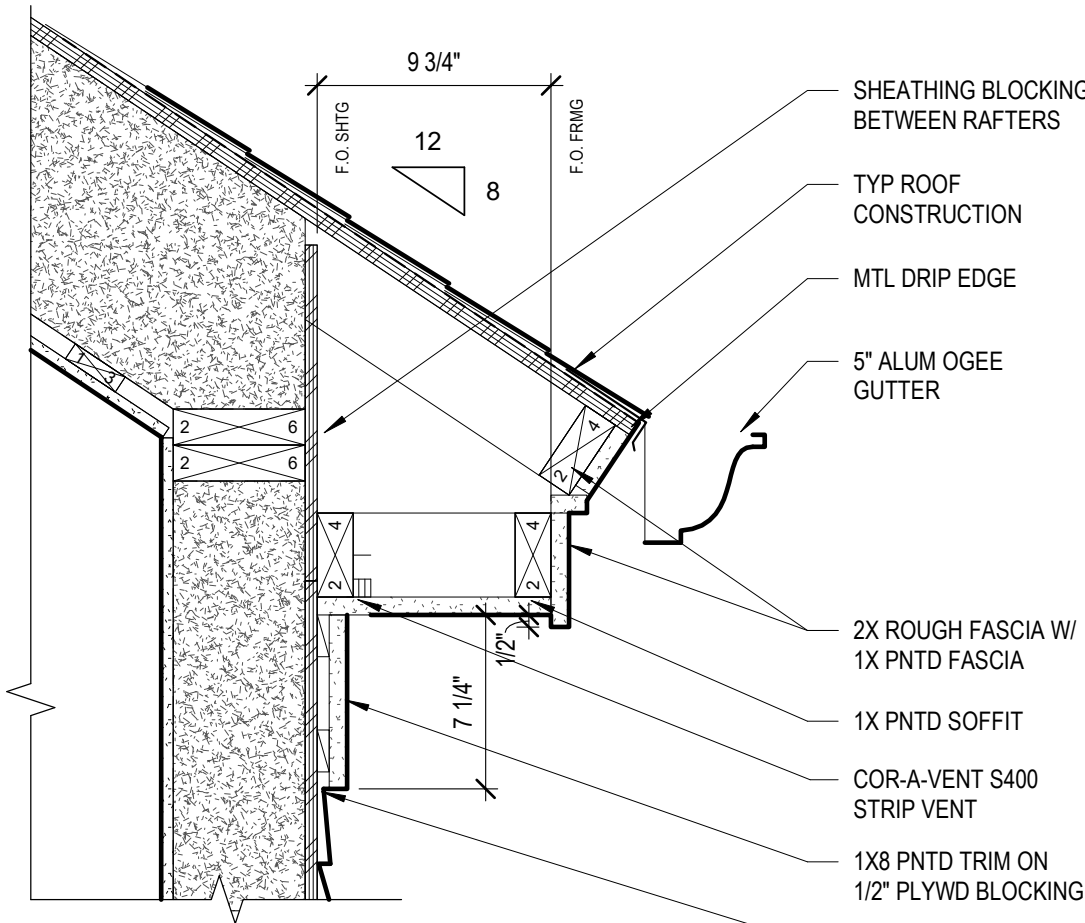
THESE DOCUMENTS HAVE BEEN PREPARED SPECIFICALLY FOR OTTAVIA DE LUCA & LUCAS MANN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE APPROVAL AND PARTICIPATION OF UNION STUDIO. REPRODUCTION IS PROHIBITED.

TYPICAL EXTERIOR DETAILS

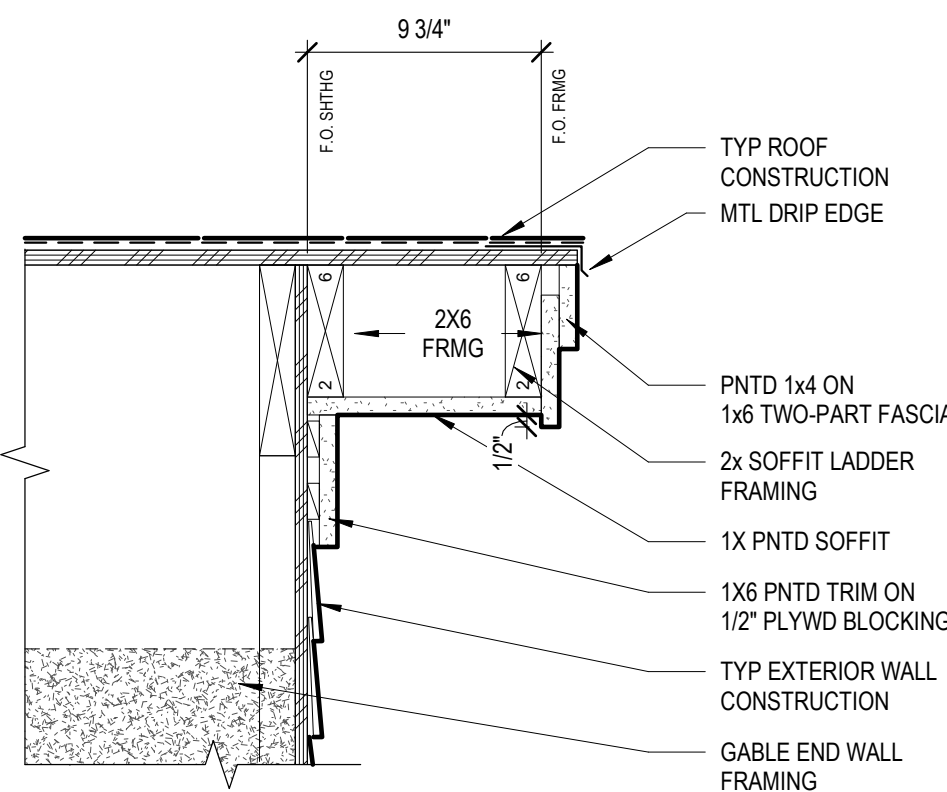
A501



8 DETAIL @ ROOF EAVE RETURN ELEVATION
A501 SCALE: 1 1/2" = 1'-0"

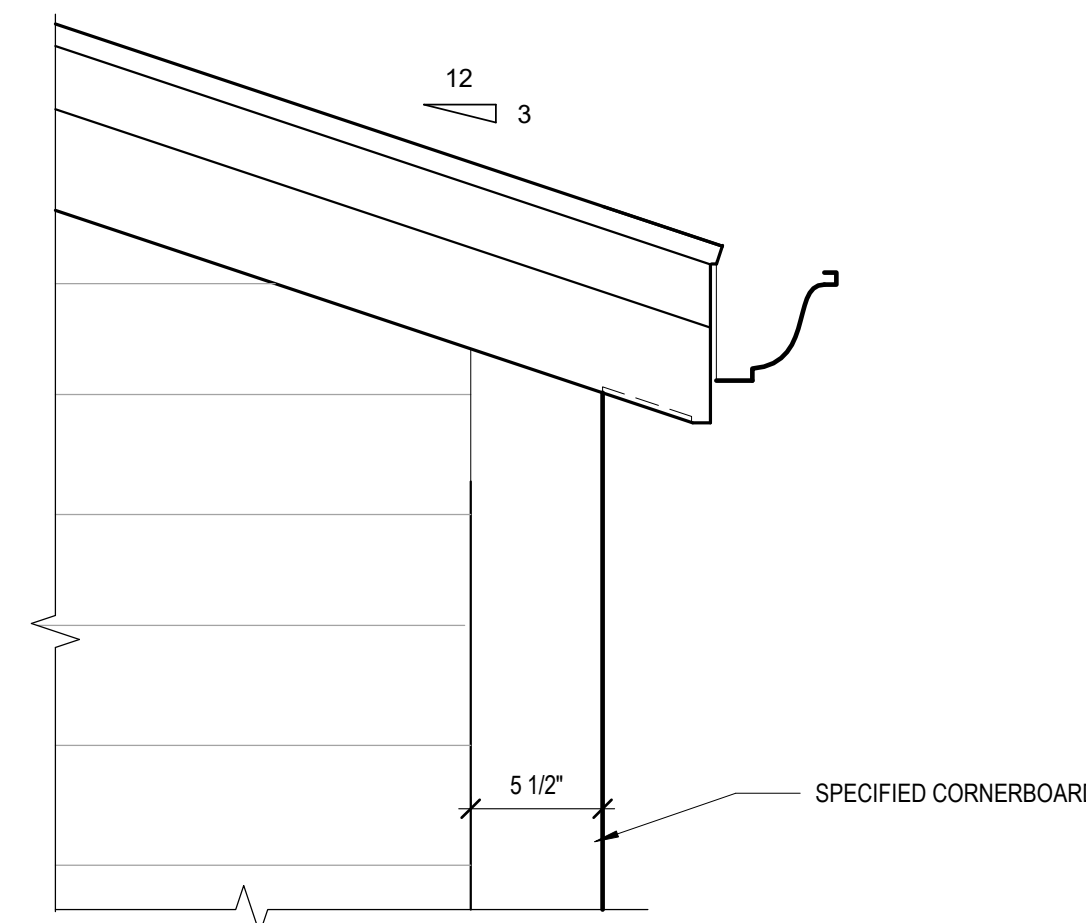


7 DETAIL @ ROOF EAVE
A501 SCALE: 1 1/2" = 1'-0"

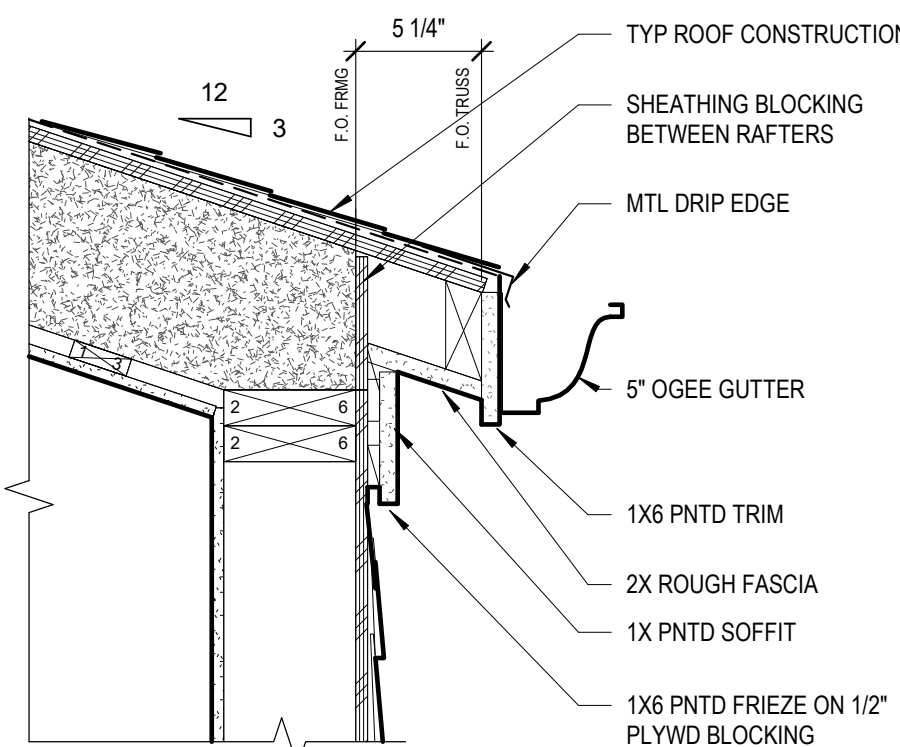


9
A501

DETAIL @ MAIN ROOF RAKE
SCALE: 1 1/2" = 1'-0"

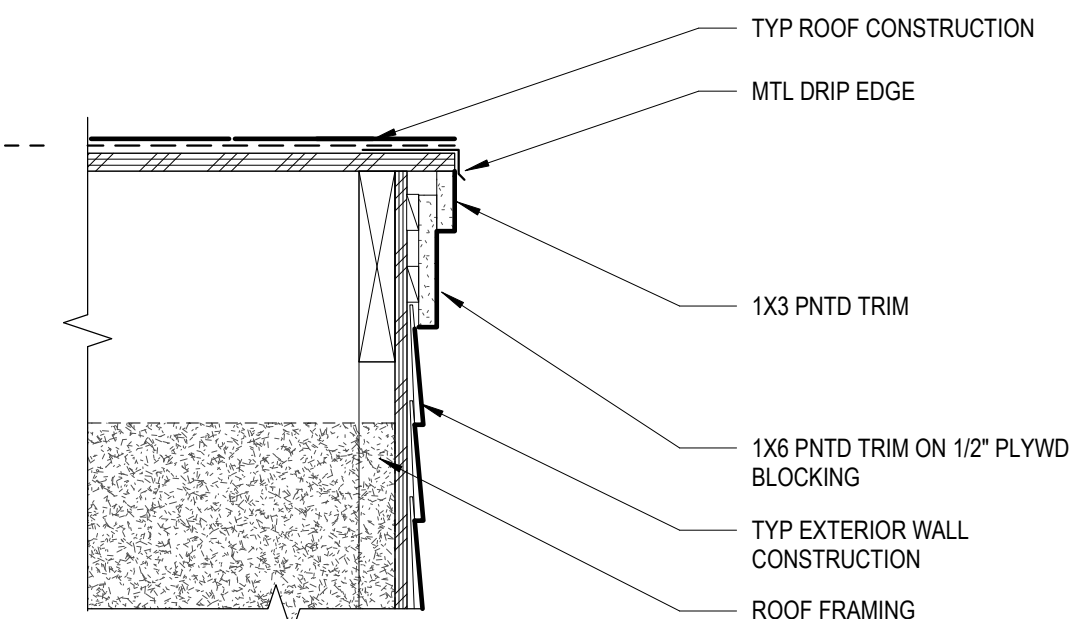


3 DETAIL @ LOW ROOF EAVE RETURN ELEVATION
A501 SCALE: 1 1/2" = 1'-0"



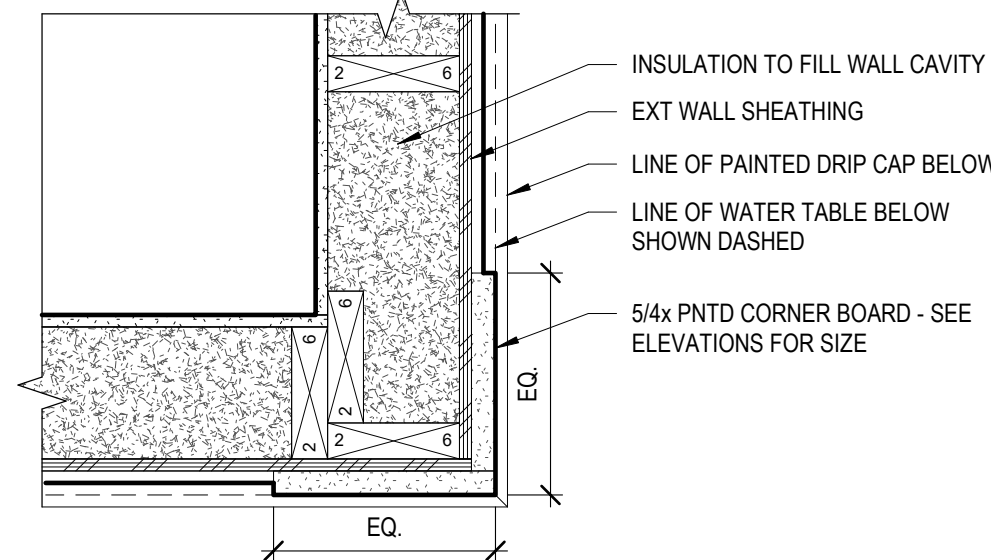
2
A501

DETAIL @ LOW ROOF EAVE
SCALE: 1 1/2" = 1'-0"



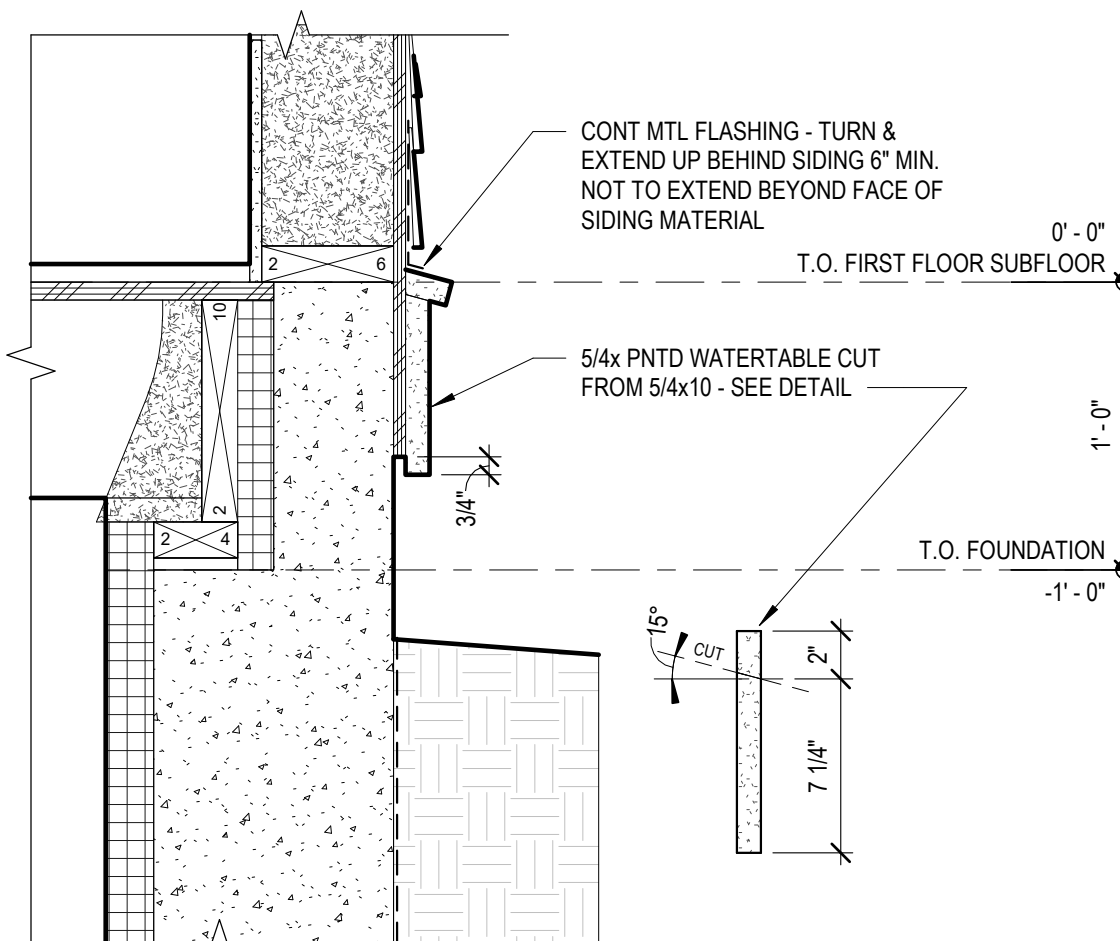
4
A501

DETAIL @ LOW ROOF RAKE
SCALE: 1 1/2" = 1'-0"



1
A501

DETAIL @ CORNER BOARD
SCALE: 1 1/2" = 1'-0"



10
A501

DETAIL @ WATER TABLE
SCALE: 1 1/2" = 1'-0"

8/11/2020 2:26:30 PM; C:\Users\Joel\Desktop\Revit\DMA\20_0811 DMA Model_LOCAL\JWV.rvt

D

C

B

A

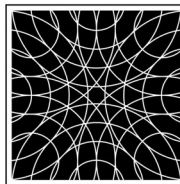
1

2

3

4

5



UNION STUDIO

ARCHITECTURE & COMMUNITY DESIGN

140 Union Street Providence, RI 02903
1-401-272-4724 | 401-272-4803
www.unionstudioarch.com

Contact: Designer

OWNER:

STRUCTURAL ENG.:

NAME

CONTRACTOR:

NAME

De Luca Mann Addition

19 BIANCO COURT
PROVIDENCE, RI 02909

FOR HDC REVIEW

NO. ISSUE DATE

JOB #: 2036

DATE: AUGUST 11, 2020

SCALE: As indicated

© 2019 UNION STUDIO
ARCHITECTURE & COMMUNITY DESIGN

THESE DOCUMENTS HAVE BEEN PREPARED SPECIFICALLY
FOR OTTAWA DE LUCA & LUCA MANN. THEY ARE NOT
SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER
LOCATIONS WITHOUT THE APPROVAL AND PARTICIPATION
OF UNION STUDIO. REPRODUCTION IS PROHIBITED.

DOOR &
WINDOW
DETAILS

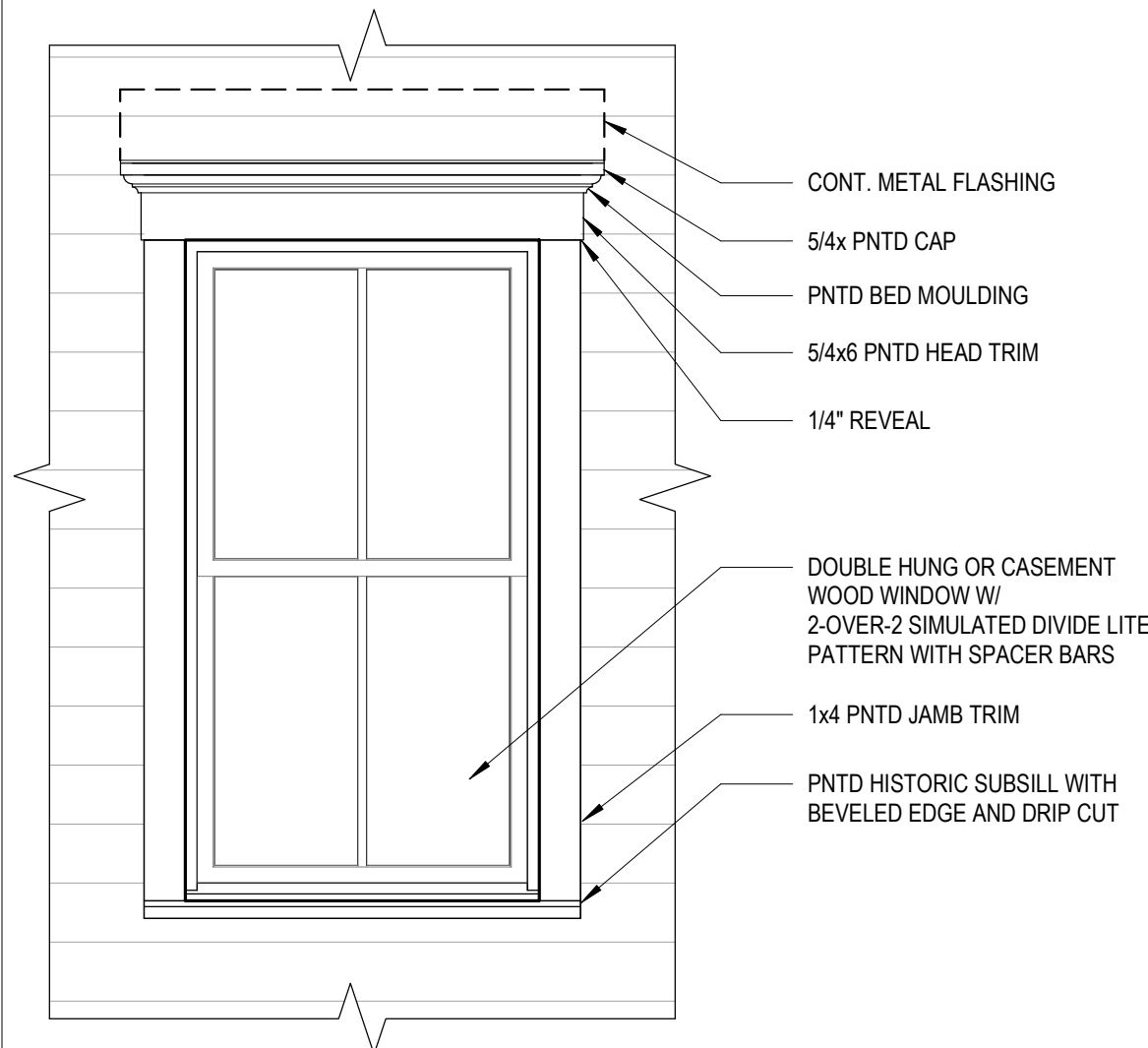
A502

TAKEOFF SCHEDULE - WINDOWS

TYPE COMMENTS	TYPE MARK	QTY	WIDTH	HEIGHT
DOUBLE HUNG, SINGLE	A	4	2'-6"	4'-8"
DOUBLE HUNG, DOUBLE	AA	2	5'-2"	4'-8"
DOUBLE HUNG, SINGLE	B	1	2'-6"	4'-4"
CASEMENT	C	4	2'-4"	2'-4"
CASEMENT	D	1	2'-6"	4'-0"

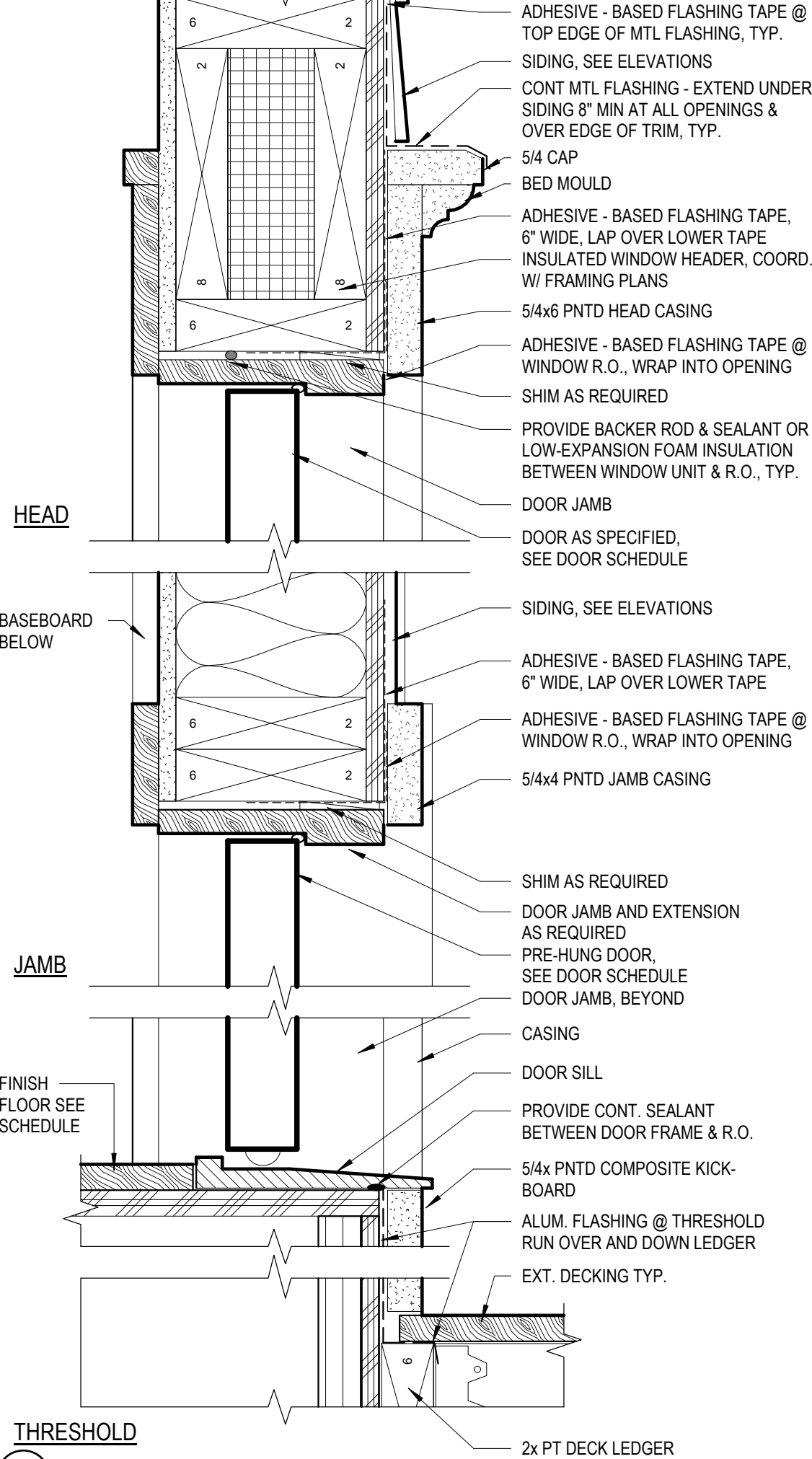
TAKEOFF SCHEDULE - DOORS

TYPE COMMENTS	QTY	DOOR OPENING SIZE	
		WIDTH	HEIGHT
HALF-LITE EXTERIOR	1	3'-0"	7'-0"
DOUBLE PATIO	1	5'-0"	7'-0"
DOUBLE INTERIOR	1	5'-0"	6'-8"
SINGLE INTERIOR	1	1'-6"	6'-8"
SINGLE INTERIOR	1	2'-4"	6'-6"
SINGLE INTERIOR	2	2'-6"	6'-8"
SINGLE INTERIOR	3	2'-8"	6'-8"



C4 DETAIL @ EXTERIOR WINDOW TRIM
AS02 SCALE: 3/4" = 1'-0"

INTERIOR

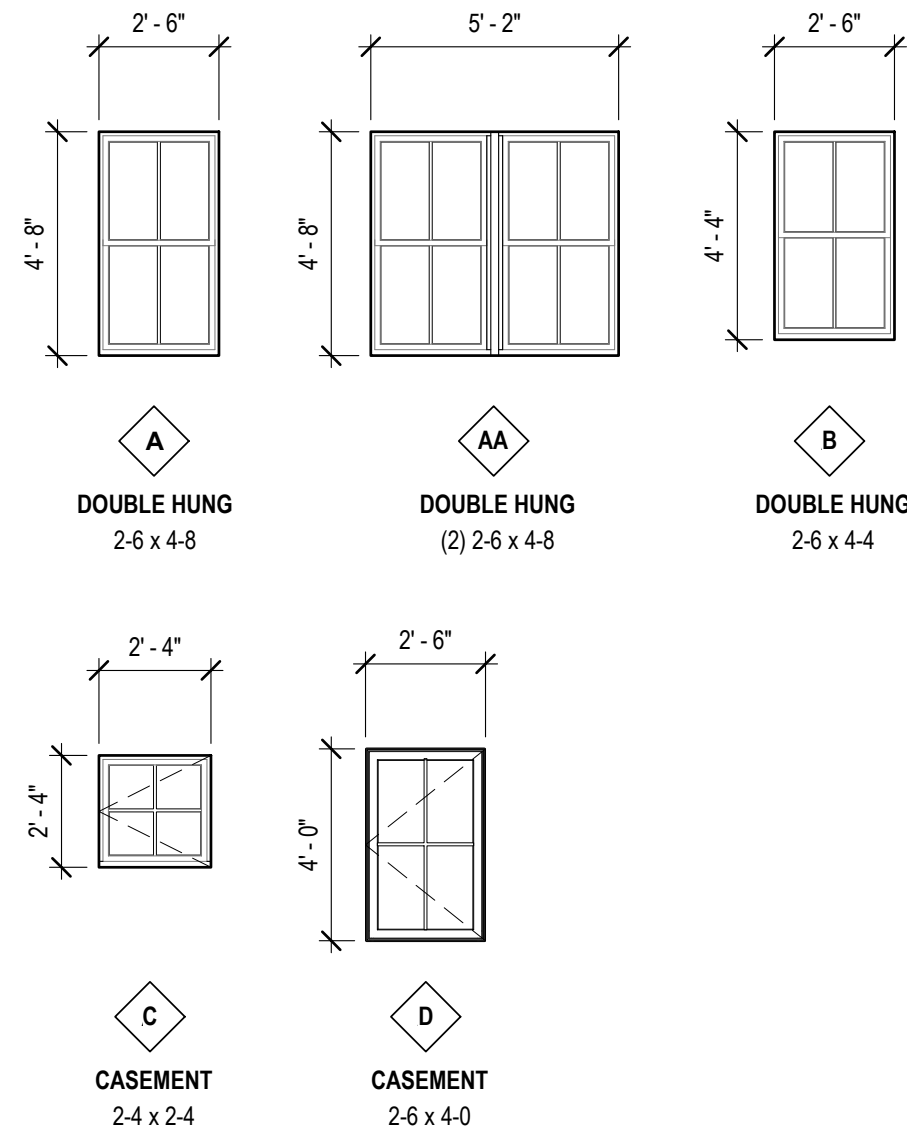


THRESHOLD

A4 DETAIL @ TYPICAL EXTERIOR DOOR
AS02 SCALE: 3" = 1'-0"

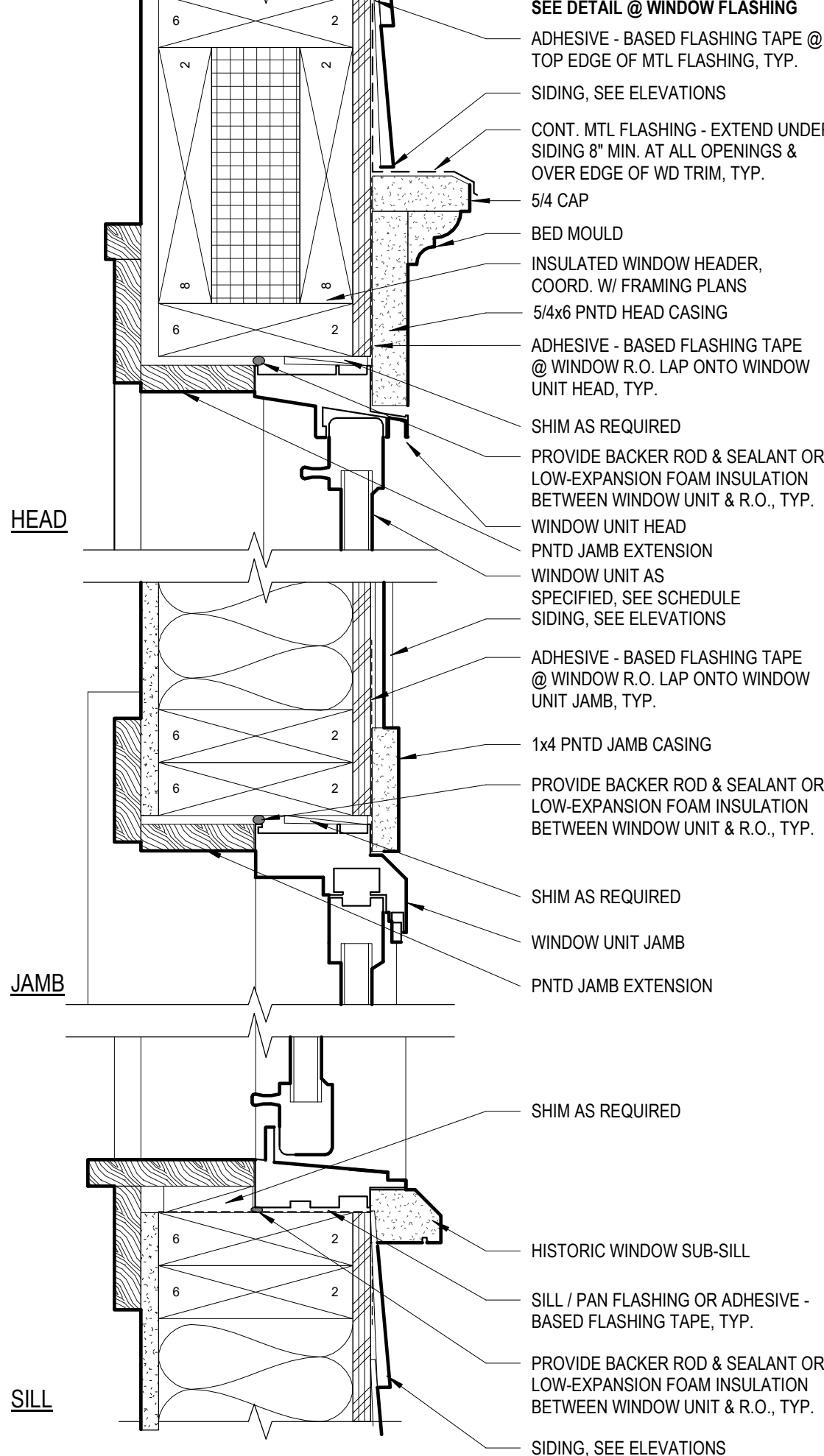
GENERAL WINDOW AND DOOR NOTES

- EGRESS WINDOWS TO MEET LOCAL AND STATE BUILDING CODES FOR AN EMERGENCY ESCAPE AND RESCUE OPENING.
- ALL GLAZING FOR DOORS AND WINDOWS TO BE INSULATED WITH LOW-E COATING. U-FACTOR AND SHGC VALUE AS REQUIRED TO MEET LOCAL AND STATE BUILDING CODE SPECIFICATIONS.
- WINDOW SIZES ARE GENERAL IN NATURE. CONTRACTOR TO COORDINATE ACTUAL SIZES WITH MANUFACTURER.
- ALL WINDOWS TO HAVE SIMULATED DIVIDED LITES WITH SPACER BARS.
- ALL OPERABLE WINDOW UNITS WILL BE PROVIDED WITH FULL FIBERGLASS MESH INSECT SCREENS. FRAME COLOR TO MATCH EXTERIOR FINISH COLOR AT HUNG, SLIDING OR HOPPER UNITS, OR INTERIOR FINISH COLOR AT CASEMENT AND AWNING UNITS.



WINDOW TYPES
1/4" = 1'-0"

INTERIOR

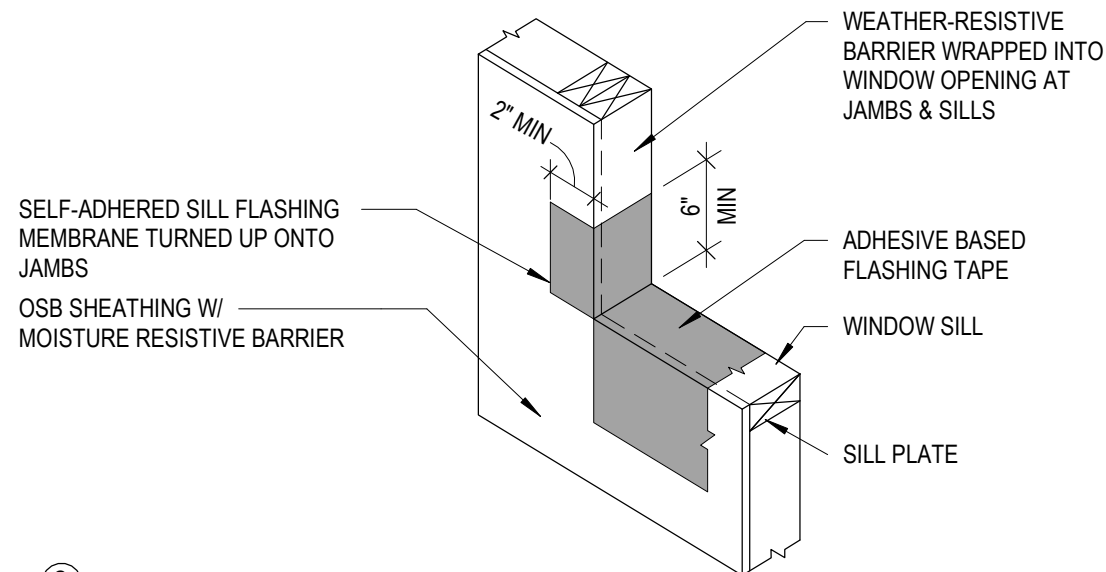


SILL

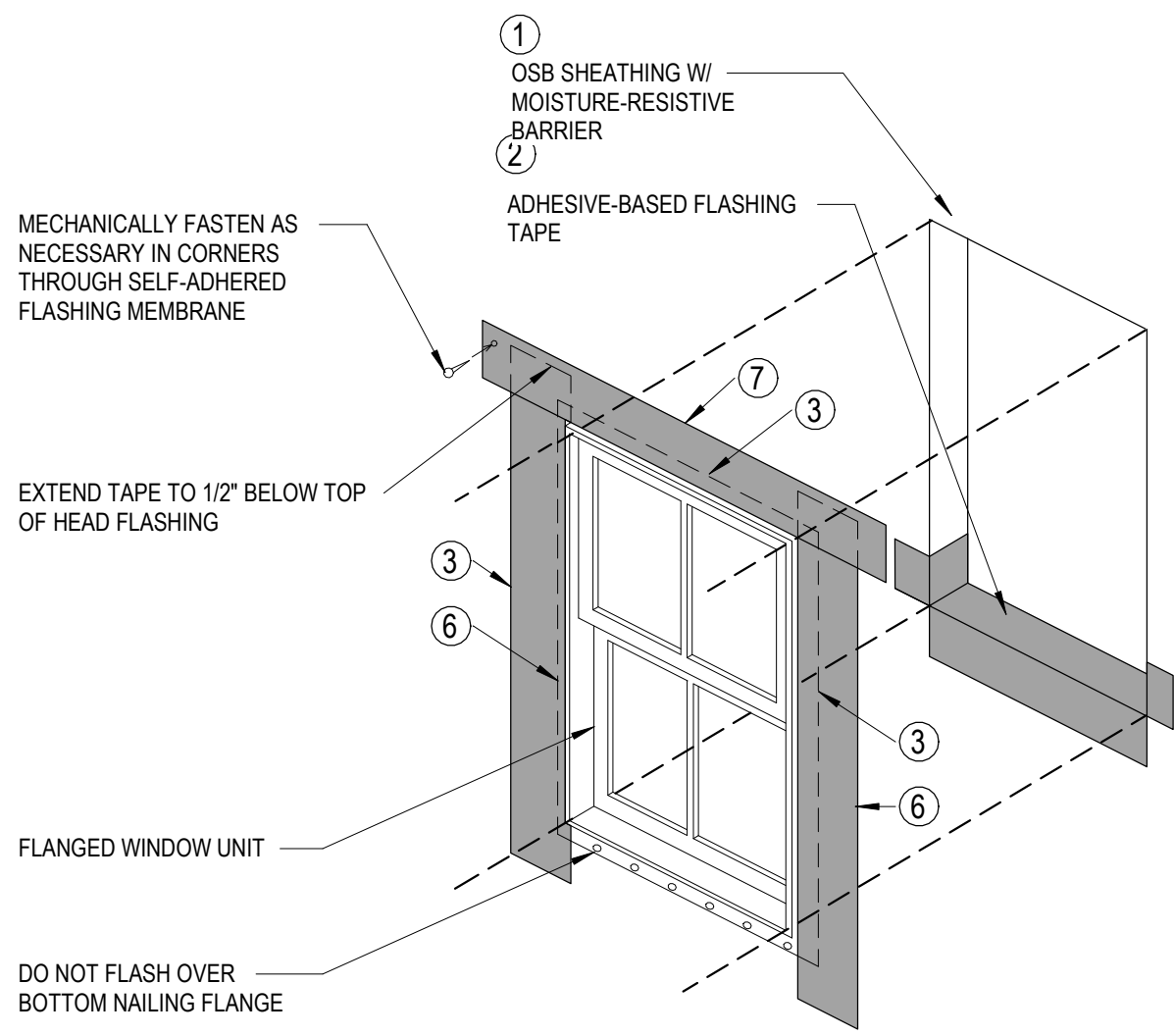
AS DETAIL @ TYPICAL WINDOW
AS02 SCALE: 3" = 1'-0"

WINDOW INSTALLATION STEPS:

- FASTEN OSB WALL SHEATHING TO THE WOOD FRAME.
- APPLY ADHESIVE-BASED FLASHING TAPE, ENSURING THAT FLASHING EXTENDS UP JAMBS AT LEAST 6" & OVERHANGS SHEATHING AT LEAST 2".
- APPLY A 3/8" NOM. DIA. BEAD OF SEALANT TO THE BACKSIDE (INTERIOR) OF THE WINDOW MOUNTING FLANGE AT THE TOP AND SIDES ONLY. PLACE BEAD IN LINE WITH ANY PRE-PUNCHED HOLES.
- IMMEDIATELY INSTALL WINDOW USING MANUFACTURER RECOMMENDED FASTENERS.
- APPLY BEAD OF SEALANT ACROSS THE FACE OF THE MOUNTING FLANGE AT HEAD.
- APPLY JAMB FLASHING, EXTENDING TO 1/2" BELOW TOP OF HEAD FLASHING. ONCE IN PLACE USE TAPE GUN OR ROLLER TO SEAL THE FLASHING TO THE SHEATHING.
- APPLY HEAD FLASHING, OVERLAPPING JAMB FLASHING BY 1" MINIMUM. ONCE IN PLACE USE TAPE GUN OR ROLLER TO SEAL THE FLASHING TO THE SHEATHING.
- INSTALL METAL CAP FLASHING AND TRIM.

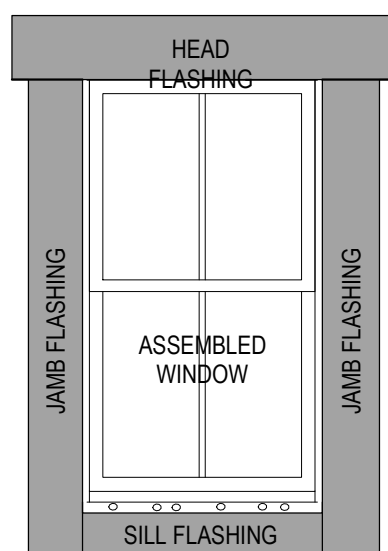


2 SILL FLASHING

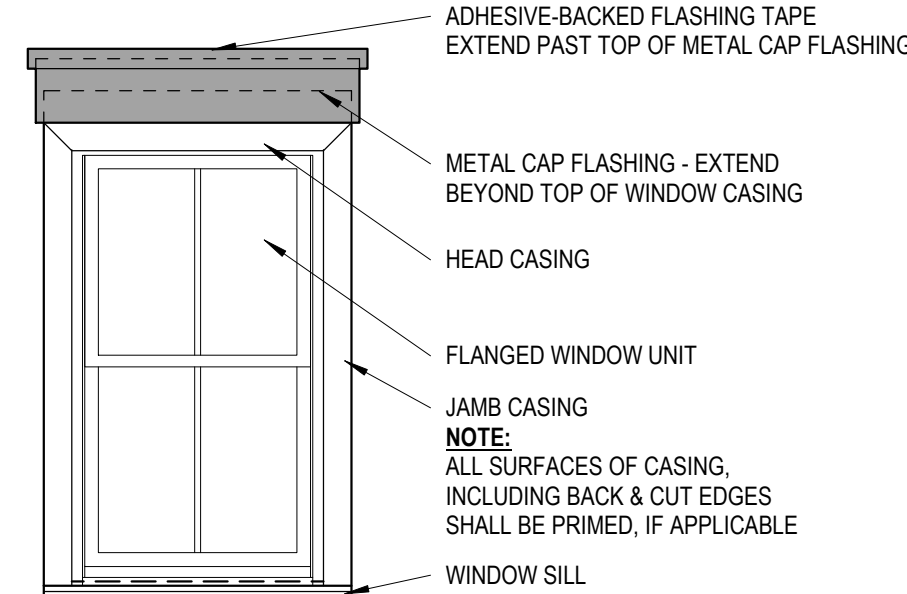


3 4 5 6 7 JAMB & HEAD FLASHING DETAILS

A2 TYPICAL WINDOW FLASHING
AS02 SCALE: 1/2" = 1'-0"



FINAL CLOSURE DETAIL



8 CAP FLASHING & TRIM DETAIL