

# Providence City Plan Commission

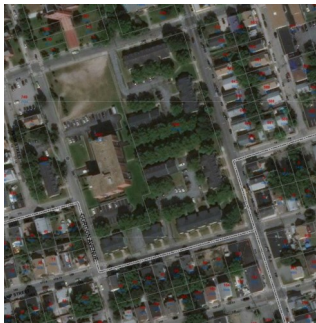
September 15, 2020



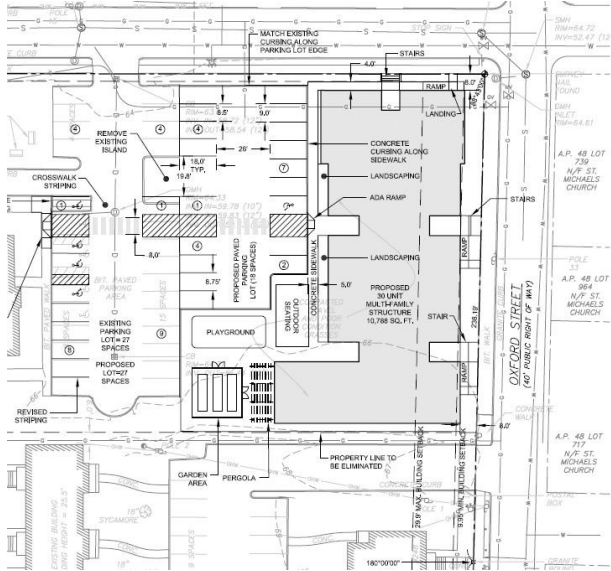
## AGENDA ITEM 2 ■ 200 GORDON AVE AND 445 PRAIRIE AVE



View from Oxford Street



Aerial view of the site



Proposed site plan

### OVERVIEW

|                               |  |                         |   |
|-------------------------------|--|-------------------------|---|
| <b>APPLICANT:</b>             | Partnership c/o Preservation of Affordable Housing                                       | <b>RECOMMENDATION:</b>  | Recommend approval of the proposed reinstatement, preliminary plan, design waiver for building transparency and dimensional adjustments for front yard setback and parking. |
| <b>CASE NO./PROJECT TYPE:</b> | 19-007MI—Minor Land Development project reinstatement                                    |                         |   |
|                               | 200 Gordon Ave and 445 Prairie Ave (AP 48 Lot 1097 and 1099)                             |                         |   |
|                               | R-4 zone   |                         |   |
| <b>PROJECT DESCRIPTION:</b>   | Reinstatement of expired preliminary plan with request for design waiver and adjustments | <b>PROJECT PLANNER:</b> | Choyon Manjrekar  |
|                               | Preliminary Plan approval  |                         |   |

## **Discussion**

The subject property is composed of two lots, zoned R-4, and currently occupied by nine buildings with a total of 122 dwelling units. The City Plan Commission (CPC) granted preliminary plan approval for the applicant's proposal to construct a four story, 30 unit residential building in March 2019. A dimensional adjustment from provision of 29 parking spaces was also granted. Those approvals have since expired.

The applicant is requesting to reinstate the approval, which may be granted by the CPC subject to fulfillment of certain conditions outlined in Section 807 of their Development Review Regulations. Following reinstatement, the CPC may vote to re-approve the preliminary plan. The applicant is requesting a design waiver from the amount of transparency required on a building façade for a multifamily building with the preliminary approval. A minimum of 25% transparency is required for any façade that faces a street but 21.2% and 16.1% will be provided on the Oxford Street and Gordon Ave facades respectively. Dimensional adjustments from the front yard setback in the amount of approximately 8'8", and 12 parking spaces have also been requested.

### **Discussion—Reinstatement**

Section 807 requires that the CPC make the following findings to reinstate applications. Based on the analysis contained herein and subject to the conditions contained in this report, staff has prepared the following findings regarding the request for reinstatement:

*1. The subdivision or development project is consistent with the Comprehensive Plan, and the Comprehensive Plan has not changed substantially since the time of the original application as it would apply to this subdivision or development project.*

Based on the CPC's findings at the preliminary plan stage, the project is in conformance with the comprehensive plan which has not changed.

*2. These Regulations, the Zoning Ordinance, and all applicable state and federal regulations are substantially the same as they were at the time of original application, as they would apply to this subdivision or development project.*

The zoning ordinance, and any applicable state and federal regulations are the same as when preliminary plan approval was issued.

*3. The Zoning Map designation for the subdivision or development project has not changed substantially since the time of original application.*

The zoning designation of R-4 is unchanged.

*4. No substantial change to the physical conditions of the subdivision or development project or the neighboring property has occurred since the time of original application.*

The applicant applied for and received a minor change to the project in December 2019. The height of the building was reduced from four to three stories, resulting in a 9 % increase in the building envelope. The number of dwelling units remained unchanged. The changes were found to be minor as they did not result in an increase in the number of residential units or change streets, driveways, parking lots or public infrastructure. The 9 % change to the building envelope, is within the allowable 20 % threshold for a change to be considered minor. Therefore, no substantial changes to the physical conditions of the project or surroundings have occurred since the original application.

### **Recommendation—Reinstatement**

Based on the foregoing discussion, the DPD recommends that the CPC reinstate the plan, finding it to be in conformance with the criteria for reinstatement.

## **Preliminary plan approval—Discussion**

In approving the preliminary plan, which has changed since it was last reviewed by the CPC, the DPD makes the following findings.

### **Use**

Multifamily development and more than one principal building per lot is permitted by right in the R-4 zone.

### **Dimensions**

The R-4 zone requires 1,200 SF of lot area per dwelling unit for multifamily development. The applicant is proposing to merge the subject lots, which would result in a single lot of 224,807 SF (~ 5.1 acres) that could accommodate 187 units. Upon merging, the lot would have a width of approximately 400', which meets the minimum requirement for this zone. The building will have height of 34' which is within the 45' height limit of the zone.

The proposed building will address the corner of Oxford Street and Gordon Ave. The front yard setback is calculated relative to the average setback maintained by neighboring property within 100' on either side of the building. The building is required to be located within the average setback of an existing multifamily dwelling to the east as there are no buildings the west. The existing building maintains a setback of approximately 21'8" feet. The build-to zone allows the building to be set back up to 16'8", but a front setback of 8' is proposed. The applicant has requested a dimensional adjustment of approximately 8'8" to maintain the proposed setback. The side yard setback will maintain the same dimension as the front. The rear yard setback is not applicable as the site comprises an entire city block in which each frontage is considered either a front yard or a corner side yard.

The development will conform to the density requirement with a total of 152 units on the site. Based on plans provided, 122,465 SF (54.5 %) of the site will be composed of impervious surface, which would be within the 65 % maximum impervious surface limit for multifamily development in this zone. A building height of 34' is proposed, which is within the 45' height limit of this zone. The limit for maximum building coverage in the R-4 zone is 55%, but only 20.7% of the development will be covered, including the new building.

Based on elevations provided, the building will conform to the design requirements for multifamily dwellings outlined in section 1202 K of the ordinance. The entrance of the building is oriented toward Oxford Street, where direct access from the street is provided per the CPC's suggestion at the preliminary plan stage. The façade will feature a recessed entrance with canopies providing three dimensional elements. The roofline will have a cornice running along the edge. The exterior will be surfaced with lap siding and hardi-plank which are materials permitted by right in this zone. Multifamily dwellings are required to provide at least 25% of transparency on the building façade. Approximately 21.1% and 16.1% of transparency will be provided on the Oxford Street and Gordon Ave facades. A design waiver to maintain the reduced transparency has been requested.

### **Parking**

Currently, there are 106 spaces on site with 122 required, resulting in 16 grandfathered spaces. With the proposed development, the applicant will be required to provide 152 spaces, but only 18 new spaces will be created for a total of 124 spaces resulting in a deficiency of 28 spaces. Taking the grandfathered spaces into account, the applicant will have a shortfall of 12 spaces. A parking adjustment was granted when the plan was first before the CPC.

### **Design Waiver—Discussion**

The applicant has requested a design waiver from the requirement that the street facing facades of multifamily dwellings provide at least 25% of transparency. Approximately 21.1% and 16.1% will be provided on the Oxford Street and Gordon Ave facades respectively. The building's design features recesses and projections, which are encouraged by the design regulations, but make installation of transparency difficult. Elevations provided indicate that there will be one window for each unit. Per the applicant, the reduction in height resulted in the elimination of some common space areas, which reduced the amount of provided transparency. The CPC had suggested that direct entrance from the street be provided on the façade during review of the preliminary plan. According to the applicant, the installation

of entrances further reduced the area available for provision of fenestration.

Although the amount of transparency will be less than what is required, the amount of fenestration provided is in character with what is expected for a multifamily development and equally distributed along the façade. As the provided fenestration is in character with multifamily development, the DPD does not object to granting the requested waiver.

### **Recommendation**

The CPC should vote to grant a design waiver from the required amount of transparency on a street facing façade for a multifamily dwelling.

### **Dimensional adjustments—Front yard setback and parking**

The applicant is seeking a dimensional adjustment for front yard setback in the amount of 8'8", where a front yard setback of 16'8" is permitted but a front setback of 8' is proposed. It appears that the adjustment is necessary due to the deep setback maintained by the neighboring building from which the average setback is calculated. Maintaining that setback would affect the parking configuration and site layout for the entire development.

As previously discussed, the CPC granted a dimensional adjustment for a shortfall of 12 parking spaces.

Per the Zoning Ordinance, Section 1904.E.f, the CPC may grant a dimensional adjustment for up to 10' of building setback and 50 % of parking spaces when housing for low and moderate income families is provided. Per the applicant, all units will be affordable. The DPD supports these adjustments because they are in accordance with the eligibility for adjustments.

### **Recommendation**

1. The CPC should vote to grant a dimensional adjustment of approximately 8'8" from the front yard setback requirement, finding that the applicant will be providing low and moderate income housing.
2. The CPC should vote to grant a dimensional adjustment for 12 parking spaces finding that the applicant will be providing low and moderate income housing.

### **FINDINGS**

Section 806 of the Commission's Development Review Regulations requires that the City Plan Commission make the following findings as part of their approval of all land development project applications. Based on the analysis contained herein and subject to the conditions contained in this report, staff has prepared the following findings regarding the request for approval of the Preliminary Plan stage:

*1. Consistency—The proposed development is consistent with the Comprehensive Plan and/or has satisfactorily addressed the issues where there may be inconsistencies.*

The subject property is located in an area that the future land use map of Providence Tomorrow: The Comprehensive Plan intends for high density residential development. Multifamily housing is a use that is most appropriate for this designation. Provision of housing, particularly for low and moderate income families, would conform to objectives H-2 and H-3 which encourage creation of new and affordable housing opportunities in the City.

*2. Compliance with Zoning Ordinance—The proposed development is in compliance with the standards and provisions of the Zoning Ordinance.*

Use: Multifamily development and multiple buildings per lot are permitted by right in the R-4 zone.

Dimension: The applicant shall apply for an administrative subdivision to merge the lots prior to final plan approval to allow for the site to meet the density requirement. Upon subdivision, the development will conform to the dimensional and design requirements for multifamily residential development. Subject to the CPC granting a dimensional adjustment for front yard setback, and a design waiver from the transparency requirement, the building will conform to the dimensional and design regulations of the zone.

Parking: The applicant will meet the parking requirement subject to the CPC granting a dimensional adjustment for 12 parking spaces.

*3. Environmental Impact—There will be no significant environmental impacts from the proposed development as shown on the final plan, with all required conditions for approval.*

There do not appear to be any negative environmental impacts as a result of the development as the applicant is expected to come into conformance with all applicable environmental regulations.

*4. Buildable Lot—The subdivision or development project, as proposed, will not result in the creation of individual lots with such physical constraints to development that building on those lots according to pertinent regulations and building standards would be impracticable.*

The applicant shall merge the lots prior to applying for final plan approval. There are no physical constraints that impact development of this property as it will conform to the dimensional requirements of the zoning ordinance.

*5. Street Access—All proposed development projects and all subdivision lots shall have adequate and permanent physical access to a public street. Lot frontage on a public street without physical access shall not be considered compliance with this requirement.*

Adequate pedestrian access is provided from Oxford Street and Gordon Ave. The plan has been modified since it was last before the CPC to provide direct pedestrian access from Oxford Street.

#### **Recommendation—Preliminary Plan Approval**

The CPC found the development to be in compliance with the zoning ordinance and comprehensive plan in granting preliminary plan approval in March 2019. As the conditions surrounding the development have remained largely unchanged, the DPD recommends that the CPC adopt their original findings and grant preliminary plan approval for the reinstated plan.

The reinstated preliminary plan shall be subject to the following conditions of approval:

1. The applicant shall merge the subject lots prior to final plan submission.
2. Final plan approval should be delegated to DPD staff.
3. The validity of the re-instated preliminary plan approval is extended to one year from the date of recording of the approval letter.

JON M. RESTIVO, ESQ.  
JRESTIVO@DARROWEVERETT.COM

**PROVIDENCE OFFICE:**

One Turks Head Place  
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Providence, RI 02903  
Tel: (401) 453-1200  
Fax: (401) 453-1201

September 2, 2020

**VIA E-MAIL:**

Choyon Manjrekar  
City Plan Commission  
City of Providence  
444 Westminster Street  
Providence, RI 02903  
[cmanjrekar@providence.ri.gov](mailto:cmanjrekar@providence.ri.gov)

**Re: Oxford Land Family Housing – Written Request for Waivers**

Dear Mr. Manjrekar:

As you are aware, this office represents Preservation of Affordable Housing, Inc. (“POAH”), in connection with its minor land development project of the property located at 200 Gordon Avenue, Providence, RI 02905 (the “Project”). As you know, the City Plan Commission (CPC) issued preliminary plan approval for the Project in March 2019, which has since expired, and we have formally requested that the expired preliminary plan be reinstated by the CPC.

In addition, by this letter we are also requesting that the CPC provide this Project with waivers of the design standards set forth in Section 1202.K.3.b of the Zoning Ordinance, which requires that a Multi-Family Dwelling conform with a minimum 25% transparency requirement on any facade facing a street, as well as the standards set forth in Section 402.B. of the Zoning Ordinance concerning front yard setbacks.

As shown on the accompany plans, the building facades currently show transparencies of 21.2% and 16.1%, and show a front yard setback of 8 feet.

The building that was approved by the City Plan Commission was four stories tall, and included a significant amount of common area on the ground floor, with just one access point to the building along the streets themselves. In reducing the height of the building to better fit in with the surrounding neighborhood, we maintained the same number of units by concentrating common areas and facilities in other buildings already existing on the property. We also added additional access points on the street in response to feedback we received when the project was approved that the street facades did not engage the street as much as a residential building should.

Eliminating this common space and increasing the number of access points resulted in a reduction in transparency, as the greater concentration of residential uses on the ground floor of the building does not accommodate the large windows that previously looked into building common space, and some windows have now been replaced with doors.

Even though the project does not meet the transparency guidelines set forth in Section 1202 K.3.b, we feel the redesign is more appropriate to the surrounding residential context and the fact that we've added street-level access to the facades to help better engage the street is in keeping within the spirit of the ordinance.

With respect to the front yard setback, the only buildings located on the same side of the street as the proposed building are an 8-unit multi-family building set back, on average, approximately 21.8' from the property line. According to Section 402.B. of the Zoning Ordinance, the calculation of the appropriate build-to zone can be increased or decreased by 5 feet, resulting in a minimum permitted front yard setback of 16.8'. As set forth in Section 1904.E.2. of the Zoning Ordinance, the CPC has the authority to grant a modification of up to 10' from the required setback if, among other things, housing for low- and moderate-income families is provided. We are requesting a modification of 8.8', for a front yard setback of 8' for this building.

Please accept this letter as a formal request to have these waivers considered when the CPC considers reinstatement of Preliminary Plan for this Project at their upcoming meeting.

Thank you for your attention to this matter. Should you wish to discuss this matter in further detail please feel free to contact my office at (401)-453-1200.

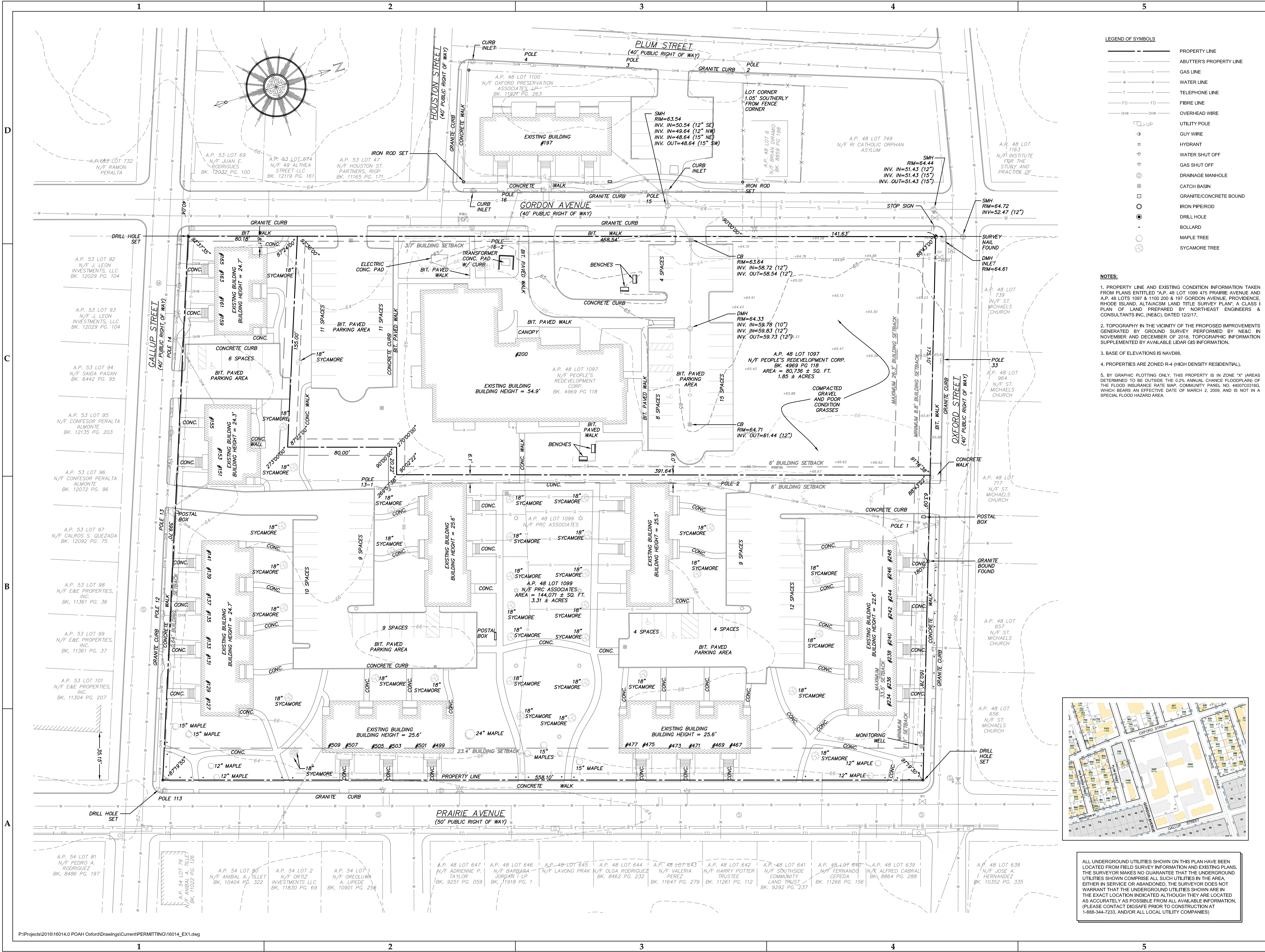
Very truly yours,

Jon M. Restivo, Esq.

cc: Robert Azar  
Alexis Thompson



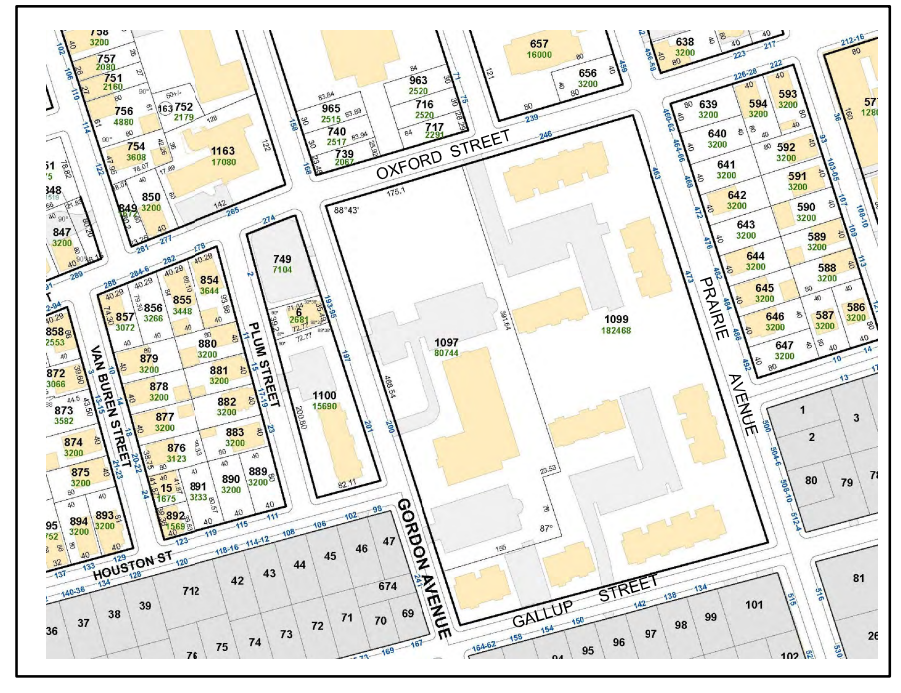




**LEGEND OF SYMBOLS**

|               |                         |
|---------------|-------------------------|
| ---           | PROPERTY LINE           |
| - - - -       | ABUTTER'S PROPERTY LINE |
| — G — G —     | GAS LINE                |
| — W — W —     | WATER LINE              |
| — T — T —     | TELEPHONE LINE          |
| — FO — FO —   | FIBRE LINE              |
| — OHW — OHW — | OVERHEAD WIRE           |
| ⊕             | UTILITY POLE            |
| ⊙             | GUY WIRE                |
| ⊗             | HYDRANT                 |
| ⊖             | WATER SHUT OFF          |
| ⊕             | GAS SHUT OFF            |
| ⊙             | DRAINAGE MANHOLE        |
| ⊖             | CATCH BASIN             |
| ⊕             | GRANITE/CONCRETE BOUND  |
| ⊙             | IRON PIPE ROD           |
| ⊕             | DRILL HOLE              |
| ⊙             | BOLLARD                 |
| ⊕             | MAPLE TREE              |
| ⊙             | SYCAMORE TREE           |

- NOTES:**
- PROPERTY LINE AND EXISTING CONDITION INFORMATION TAKEN FROM PLANS ENTITLED "A.P. 48 LOT 1098 475 PRAIRIE AVENUE AND A.P. 48 LOTS 1097 & 1100 200 & 197 GORDON AVENUE, PROVIDENCE, RHODE ISLAND, ALTA/ACSM LAND TITLE SURVEY PLAN", A CLASS I PLAN OF LAND PREPARED BY NORTHEAST ENGINEERS & CONSULTANTS INC. (NE&C), DATED 12/21/17.
  - TOPOGRAPHY IN THE VICINITY OF THE PROPOSED IMPROVEMENTS GENERATED BY GROUND SURVEY PERFORMED BY NE&C IN NOVEMBER AND DECEMBER OF 2018. TOPOGRAPHIC INFORMATION SUPPLEMENTED BY AVAILABLE LIDAR GIS INFORMATION.
  - BASE OF ELEVATIONS IS NAVD88.
  - PROPERTIES ARE ZONED R-4 (HIGH DENSITY RESIDENTIAL).
  - BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 4401020160, WHICH BEARS AN EFFECTIVE DATE OF MARCH 2, 2009, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA).



ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING PLANS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN SERVICE OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM ALL AVAILABLE INFORMATION. (PLEASE CONTACT DISAFAE PRIOR TO CONSTRUCTION AT 1-888-344-7233, AND/OR ALL LOCAL UTILITY COMPANIES)



**OWNER:**  
PRESERVATION OF AFFORDABLE HOUSING  
40 COURT STREET, SUITE 700  
BOSTON, MA 02108

**OXFORD LAND FAMILY HOUSING**  
200 GORDON AVE.  
PROVIDENCE, RI 02905

**FOR REVIEW & COORDINATION ONLY**

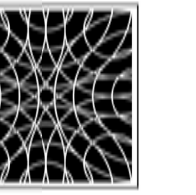
50%  
**CONSTRUCTION DOCUMENTS**

| REVISION SCHEDULE |       |      |
|-------------------|-------|------|
| NO.               | ISSUE | DATE |
|                   |       |      |
|                   |       |      |
|                   |       |      |

JOB #: PNZ/OXL-1854  
DATE: 8/25/20  
SCALE: 1" = 30'

**EXISTING CONDITIONS PLAN**

**C001**



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BOSTON, MA 02108

OXFORD LAND  
FAMILY HOUSING

200 GORDON AVE.  
PROVIDENCE, RI 02905

FOR REVIEW &  
COORDINATION  
ONLY

50%  
CONSTRUCTION  
DOCUMENTS

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|                   |       |      |

JOB #: PNZ/OXL-1854

DATE: 8/25/20

SCALE: 1" = 30'

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OVERALL  
PROPOSED  
LAYOUT PLAN

C002

**LEGEND OF SYMBOLS**

|  |                           |
|--|---------------------------|
|  | PROPERTY LINE             |
|  | ABUTTER'S PROPERTY LINE   |
|  | GAS LINE                  |
|  | WATER LINE                |
|  | TELEPHONE LINE            |
|  | FIBRE LINE                |
|  | OVERHEAD WIRE             |
|  | UTILITY POLE              |
|  | GUY WIRE                  |
|  | HYDRANT                   |
|  | WATER SHUT OFF            |
|  | GAS SHUT OFF              |
|  | DRAINAGE MANHOLE          |
|  | CATCH BASIN               |
|  | GRANITE/CONCRETE BOUND    |
|  | IRON PIPEROD              |
|  | DRILL HOLE                |
|  | BOLLARD                   |
|  | MAPLE TREE                |
|  | SYCAMORE TREE             |
|  | PROPOSED CURBING          |
|  | PROPOSED BUILDING SETBACK |

- NOTES:**
1. PROPERTY LINE AND EXISTING CONDITION INFORMATION TAKEN FROM PLANS ENTITLED "A.P. 48 LOT 1099 475 PRAIRIE AVENUE AND A.P. 48 LOTS 1097 & 1100 200 & 197 GORDON AVENUE, PROVIDENCE, RHODE ISLAND, ALTA/ACS LAND TITLE SURVEY PLAN", A CLASS I PLAN OF LAND PREPARED BY NORTHEAST ENGINEERS & CONSULTANTS INC. (NE&C), DATED 12/17/17.
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  3. BASE OF ELEVATIONS IS NAVD88.
  4. PROPERTIES ARE ZONED R-4 (HIGH DENSITY RESIDENTIAL).

**LOT COVERAGE CALCULATIONS:**

|                      |                    |
|----------------------|--------------------|
| TOTAL AREA:          | 224,807 SF         |
| EXISTING IMPERVIOUS: | 101,869 SF (45.3%) |
| PROPOSED IMPERVIOUS: | 125,222 SF (55.7%) |

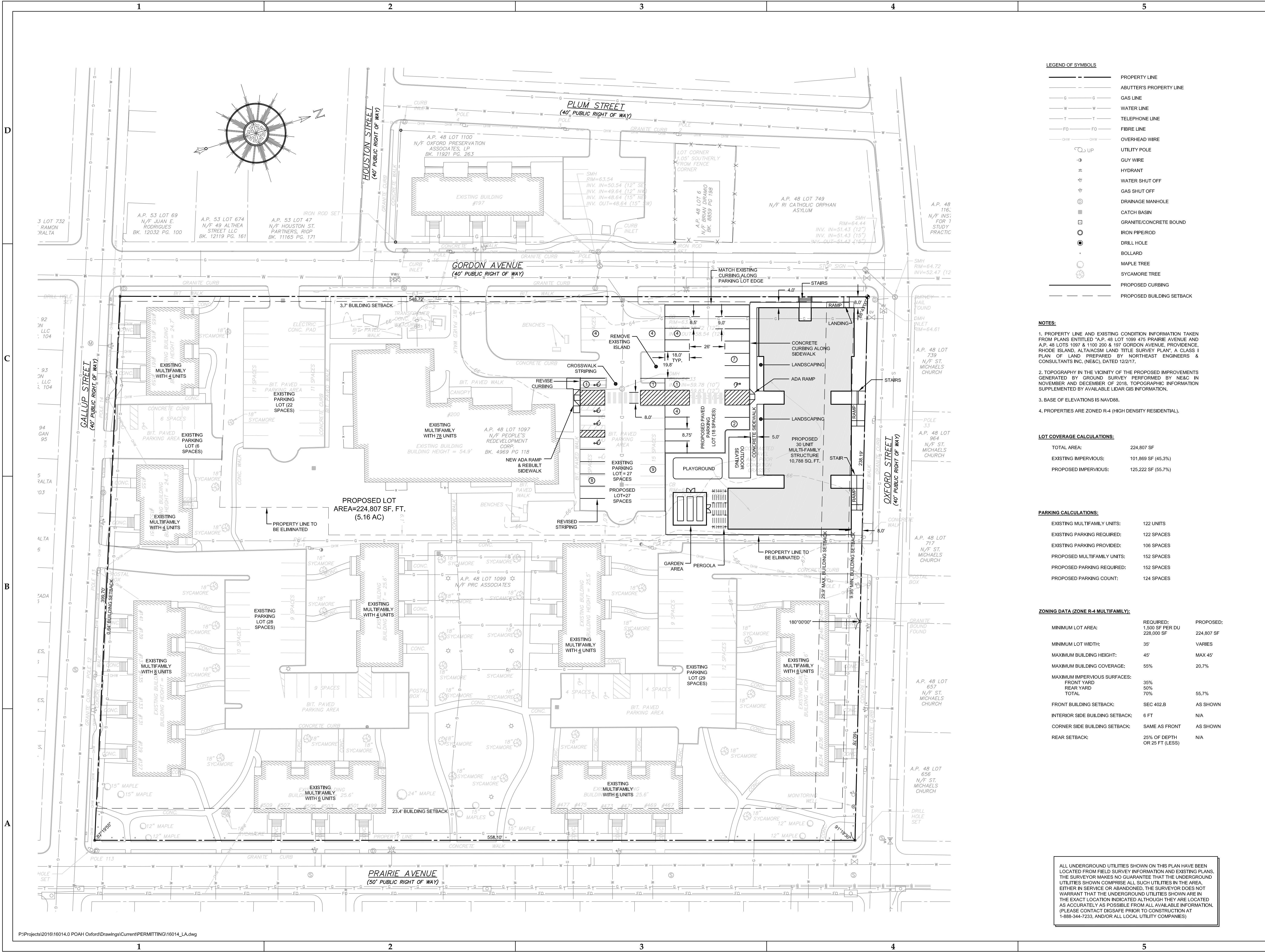
**PARKING CALCULATIONS:**

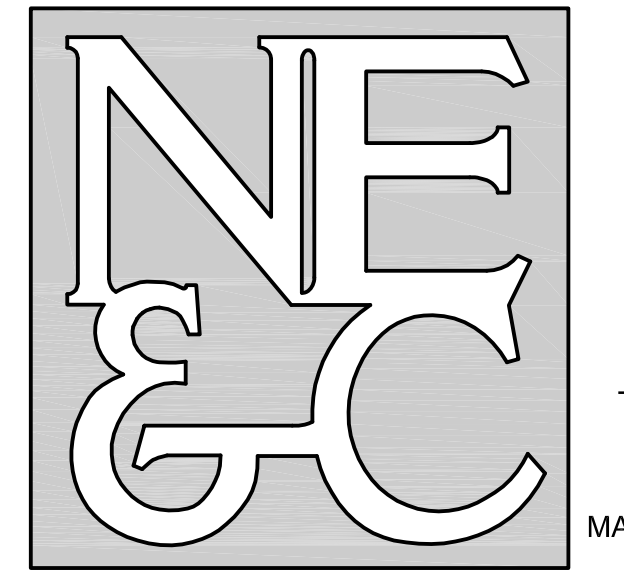
|                             |            |
|-----------------------------|------------|
| EXISTING MULTIFAMILY UNITS: | 122 UNITS  |
| EXISTING PARKING REQUIRED:  | 122 SPACES |
| EXISTING PARKING PROVIDED:  | 106 SPACES |
| PROPOSED MULTIFAMILY UNITS: | 152 SPACES |
| PROPOSED PARKING REQUIRED:  | 152 SPACES |
| PROPOSED PARKING COUNT:     | 124 SPACES |

**ZONING DATA (ZONE R-4 MULTIFAMILY):**

|                                 |   |                      |
|---------------------------------|---|----------------------|
| MINIMUM LOT AREA:               | REQUIRED: 1,500 SF PER DU<br>228,000 SF         | PROPOSED: 224,807 SF |
| MINIMUM LOT WIDTH:              | 35'   | VARIES               |
| MAXIMUM BUILDING HEIGHT:        | 45'   | MAX 45'              |
| MAXIMUM BUILDING COVERAGE:      | 55%   | 20.7%                |
| MAXIMUM IMPERVIOUS SURFACES:    | FRONT YARD: 35%<br>REAR YARD: 50%<br>TOTAL: 70% | 55.7%                |
| FRONT BUILDING SETBACK:         | SEC 402.B                                       | AS SHOWN             |
| INTERIOR SIDE BUILDING SETBACK: | 6 FT  | N/A                  |
| CORNER SIDE BUILDING SETBACK:   | SAME AS FRONT                                   | AS SHOWN             |
| REAR SETBACK:                   | 25% OF DEPTH<br>OR 25 FT (LESS)                 | N/A                  |

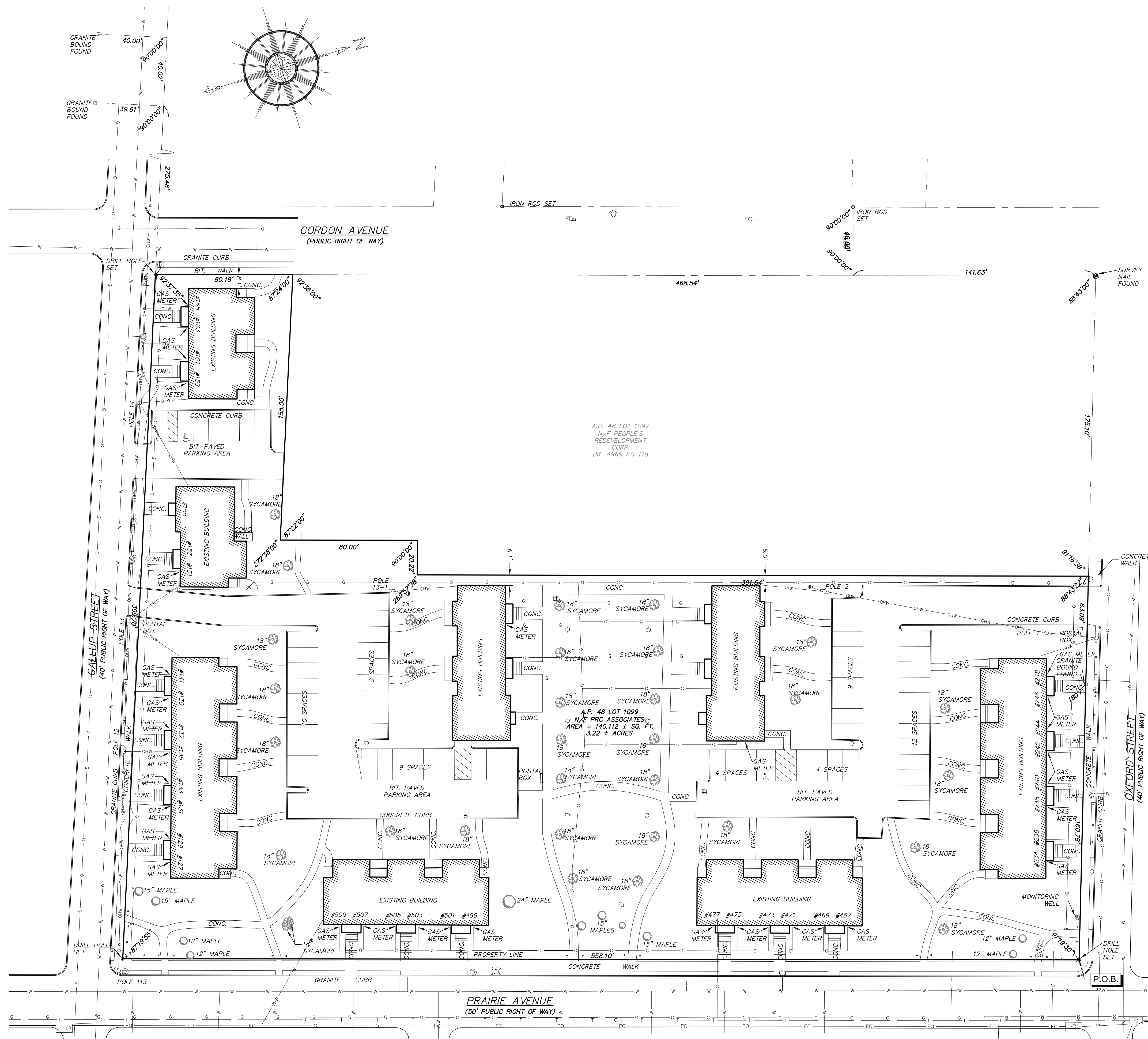
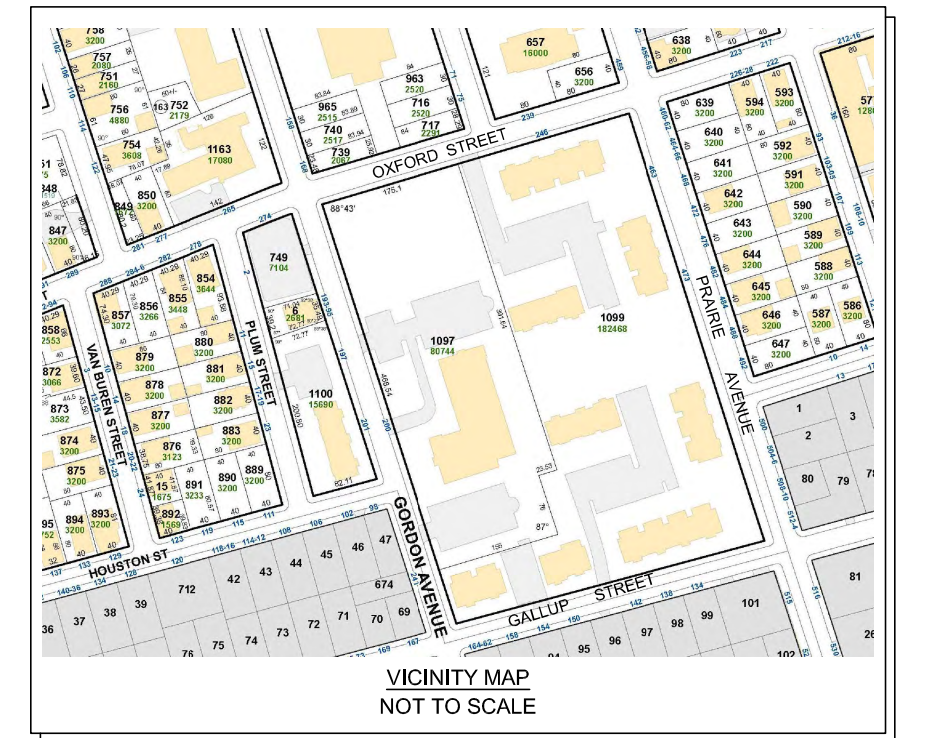
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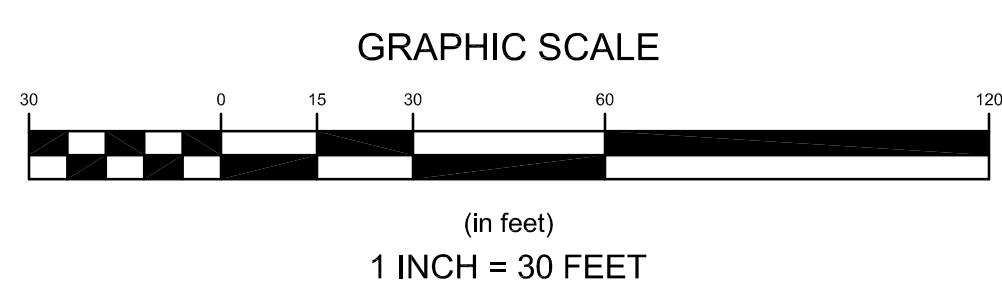
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PHONE (401) 849-0810 FAX (401) 846-4169  
WWW.NORTHEASTENGINEERS.COM



**LEGEND OF SYMBOLS & ABBREVIATIONS**

|           |                         |
|-----------|-------------------------|
| —         | PROPERTY LINE           |
| - - -     | ADJUTER'S PROPERTY LINE |
| G — G     | GAS LINE                |
| W — W     | WATER LINE              |
| T — T     | TELEPHONE LINE          |
| FO — FO   | FIBRE LINE              |
| OHW — OHW | OVERHEAD WIRE           |
| ⊙ UP      | UTILITY POLE            |
| ⊙         | GUY WIRE                |
| ⊕         | HYDRANT                 |
| ⊕         | WATER SHUT OFF          |
| ⊕         | GAS SHUT OFF            |
| ⊕         | DRAINAGE MANHOLE        |
| ⊕         | CATCH BASIN             |
| ⊕         | GRANITE/CONCRETE BOUND  |
| ⊕         | IRON PIPE/ROD           |
| ⊕         | DRILL HOLE              |
| ⊕         | BOLLARD                 |
| ⊕         | MAPLE TREE              |
| ⊕         | SYCAMORE TREE           |
| BIT.      | BITUMINOUS              |
| CONC.     | CONCRETE                |
| P.O.B.    | POINT OF BEGINNING      |

ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING PLANS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM ALL AVAILABLE INFORMATION. (PLEASE CONTACT DIGSAFE PRIOR TO CONSTRUCTION AT 1-888-344-7233, AND/OR ALL LOCAL UTILITY COMPANIES)



|   |                   |                 |            |
|---|-------------------|-----------------|------------|
| No.   | Revision          | Date            | App.       |
| Designed By:  | Drawn by: JDC/VAL | Checked by: RFL |            |
| Scale:  | 1"=30'            | Date:           | 08NOVSEP17 |
| Project Title:  |                   |                 |            |
| <b>A.P. 48 LOT 1099</b>   |                   |                 |            |
| <b>475 PRAIRIE AVENUE</b>   |                   |                 |            |
| PROVIDENCE, RHODE ISLAND  |                   |                 |            |
| Client/Owner:   |                   |                 |            |
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| BOSTON, MA 02108  |                   |                 |            |
| Issued for:   |                   |                 |            |
| Drawing Title:  |                   |                 |            |
| <b>ALTA / ACSM</b>  |                   |                 |            |
| <b>LAND TITLE SURVEY PLAN</b>   |                   |                 |            |
| Drawing Number:   |                   |                 |            |
| <b>L 1</b>  |                   |                 |            |
| Sheet 2 of 3  |                   |                 |            |
| Project Number:   |                   |                 |            |
| <b>16014.0</b>  |                   |                 |            |
| Survey Index:   |                   |                 |            |
| <b>29 - 48 - 1099</b>   |                   |                 |            |
| OWNERSHIP AND USE OF DOCUMENTS: DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ENGINEER. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE PROPERLY AUTHORIZED BY CONTRACT, WITHOUT THE EXPRESS AUTHORIZATION OF THE ENGINEER. |                   |                 |            |

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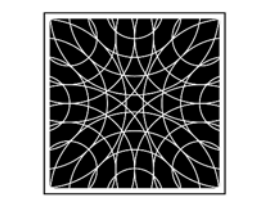
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**GENERAL**

1. THE GENERAL CONTRACTOR SHALL PROVIDE ANY NEW FIELD INFORMATION AS THE CONTRUCTION WORK PROGRESSES AND SHALL FOLLOW ANY MODIFICATIONS TO THE DESIGN AS A RESULT OF UNANTICIPATED FIELD CONDITIONS.
2. THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AS THEY RELATE TO NEW CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT AND/OR ENGINEER PRIOR TO THE PREPARATION OF SHOP DRAWINGS AND CONSTRUCTION.
3. ALL WORK SHALL BE COORDINATED WITH THE ARCHITECTURAL, ELECTRICAL AND MECHANICAL DRAWINGS. ANY INTERFERENCES OR CONFLICTS IN DIMESIONS SHALL BE REPORTED TO THE ARCHITECT AND/OR ENGINEER PRIOR TO THE START OF CONSTRUCTION.
4. THE GENERAL CONTRACTOR SHALL REVIEW SHOP DRAWINGS FOR ALL APPLICABLE TRADES AND COORDINATE THEM BETWEEN DISCIPLINES PRIOR TO SUBMITTING THEM FOR ENGINEER REVIEW AND COMMENT. MATERIAL SHALL NOT BE FABRICATED NOR DELIVERED TO THE CONSTRUCTION SITE UNTIL THE ENGINEER HAS REVIEWED THE SHOP DRAWINGS.
5. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE ALL NECESSARY SHORING OR TEMPORARY SUPPORT OF THE STRUCTURE FOR EACH CONSTRUCTION PHASE.
6. DETAILS, SECTIONS AND NOTES CONTAINED IN THESE STRUCTURAL DRAWINGS SHALL BE TYPICAL FOR ALL SIMILAR CONDITIONS (U.O.N.)
7. SPECIAL INSPECTION REQUIRED FOR SUBGRADE, CONCRETE AND STEEL PER IBC CHAPTER 17 AND CMR. OWNER SHALL HIRE SPECIAL INSPECTION COORDINATOR, TESTING LAB AND INSPECTION FIRM TO COMPLETE REPORTS REQUIRED BY CODE AND COORDINATE TIMES TO REVIEW INSPECTION WITH CONTRACTOR. SPECIAL INSPECTION COORDINATOR SHALL CREATE DOCUMENT LISTING ALL REQUIREMENTS OF GEOTECH, TESTING LAB, AND INSPECTION AGENCY AND SHALL FILE SAID REPORTS WITH BUILDING OFFICIAL AND CONTRACTOR AS REQUIRED BY CODE.

**BUILDING CODES & DESIGN LOADS**

1. THIS STRUCTURAL DRAWING SET HAS BEEN PREPARED IN ACCORDANCE WITH THE RHODE ISLAND STATE BUILDING CODE (SBC-1 2015) AND ITS APPLICABLE REFERENCED STANDARDS INCLUDING THE INTERNATIONAL BUILDING CODE 2015 (IBC 2015). ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THIS CODE AND ANY ADDITIONAL FEDERAL, STATE AND LOCAL REQUIREMENTS.
2. DESIGN LOADS
  - A. FLOOR LIVE LOADS
    - SLAB ON GRADE: 100 PSF
    - CORRIDORS: 100 PSF
    - STAIRS: 100 PSF
    - RESIDENTIAL ROOMS: 40 PSF
  - B. ROOF SNOW LOAD: 30 PSF (SEE DWG FOR SNOW DRIFT LOAD)
  - C. WIND LOAD (PER 780 CMR, SECTION 1609.0)
    - BASIC WIND SPEED (TABLE 1604.1), V: 133 MPH
    - OCCUPANCY CATERORY: II
    - WIND EXPOSURE: B

**WOOD**

1. ALL WORK SHALL BE IN CONFORMANCE WITH THE AFPA STANDARDS AND SPECIFICATIONS.
2. DIMENSIONAL LUMBER USED IN A STRUCTURAL CAPACITY SHALL BE SPRUCE PINE FIR #2 OR BETTER WITH THE FOLLOWING MINIMUM PROPERTIES: Fb = 775 PSI, Fv = 135 PSI, E = 1,100,000 PSI
3. DIMENSIONAL LUMBER USED IN AN EXTERIOR STRUCTURAL CAPACITY SHALL BE SOUTHERN YELLOW PINE #2 OR BETTER WITH THE FOLLOWING MINIMUM PROPERTIES: Fb = 1,300 PSI, Fv = 175 PSI, E = 1,400,000 PSI
3. PARALLAM PSL HEADERS AND BEAMS OR ANTHONY POWER BEAMS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb = 3,100 PSI, Fv = 290 PSI, E = 2,000,000 PSI
4. PARALLAM PSL COLUMNS OR ANOTHY POWER COLUMNS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb = 2,400 PSI, Fc = 2,500 PSI, E = 1,800,000 PSI
5. LAMINATED VENEER LUMBER (LVL) MEMBERS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb = 3,100 PSI, Fv = 300 PSI, E = 2,000,000 PSI
6. OAK MEMBERS SHALL BE SELECT NO. 1 GRADE AND HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb = 825 PSI, Fv = 170 PSI, E = 1,300,000 PSI, Emin = 470,000 PSI
6. DOUGLAS FIR (SOUTH) MEMBERS SHALL BE SELECT NO. 1 GRADE AND HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb = 600 PSI, Fv = 180 PSI, E = 1,300,000 PSI, Emin = 470,000 PSI
6. ANY WOOD IN DIRECT CONTACT WITH CONCRETE, EXPOSED TO UNHEATED BASEMENT AND CRAWL SPACES, OR EXPOSED TO THE EXTERIOR SHALL BE PRESSURE TREATED.
7. ALL FASTENERS SHALL BE IN CONFORMANCE WITH THE FASTENING SCHEDULE IN IBC LATEST EDITION. SEE TABLE 2304.9.1 FOR MIN FASTENING SCHEDULE.
8. ALL NAILS ARE TO BE COMMON NAILS.
9. FASTENERS EXPOSED TO THE WEATHER SHALL BE GALVANIZED OR STAINLESS STEEL. ALL WOOD POST CAPS AND BASE CONNECTIONS SHALL BE APPROVED GALV. "SIMPSON'S" POST CAP AND BASE PREFABRICATED ASSEMBLIES, UNLESS OTHERWISE NOTED. SUBMIT SHOP DRAWINGS FOR REVIEW.
10. BORED OR CUT HOLES SHALL NOT BE CUT OR BORED MORE THAN 1/3 OF THE DEPTH OF ANY LOAD BEARING STUD WITHOUT REINFORCEMENT. EDGES OF ANY HOLES SHALL BE LOCATED AT A MINIMUM OF 5/8" FROM THE STUD EDGE. BORED HOLES SHALL NOT BE LOCATED AT A CUT OR NOTCH IN THE STUD. ALL SLEEVES SHALL BE IN ONE PIECE, WITH A MINIMUM EXTENSION OF FOUR INCHES ABOVE AND BELOW THE HOLE ON THE WIDE FACE OF THE STUD.
11. ALL WALLS SHALL BE CAPPED WITH DOUBLE TOP PLATES INSTALLED TO PROVIDE OVERLAPPING CORNERS AND INTERSECTIONS. TOP PLATE JOINTS SHALL BE OFFSET NOT LESS THAN 48 INCHES.

**CONCRETE**

1. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS SHOWING ALL REBAR LOCATIONS, CONTROL JOINTS, CONSTRUCTION JOINTS, AND ISOLATION JOINTS FOR SLABS ON GRADE PRIOR TO CONCRETE PLACEMENT. CONCRETE PLACEMENT SHALL NOT BEGIN UNTIL THESE DRAWINGS HAVE BEEN REVIEWED BY THE ENGINEER.
2. ALL CONCRETE SHALL BE NORMAL WEIGHT (U.O.N.)
3. 28 DAY COMPRESSIVE STRENGTH FOR CONCRETE SHALL BE:
  - A. FOOTINGS: 3000 PSI
  - B. SLAB ON GRADE: 3500 PSI & 0.45 MAX. W/C RATIO (SINCE VAPOR BARRIER DIRECTLY BELOW)
  - C. WALLS: 4000 PSI
  - D. ELEVATED SLABS: LW CONC: 3500 PSI
4. ALL REINFORCING BARS SHALL BE OF NEW BILLET STEEL CONFORMING TO ASTM A615, GRADE 60.
5. ALL CONTINUOUS REINFORCING BARS SHALL BE LAPPED IN ACCORDANCE WITH THE "DEVELOPMENT LENGTH AND SPLICE TABLE" OR 48 BAR DIAMETERS (MINIMUM).
6. ALL WELDED WIRE FABRIC (W.W.F.) SHALL CONFORM TO ASTM A185. LAP 2 SQUARES AT ALL JOINTS AND TIE @ 3'-0" O.C.
7. ALL REINFORCING STEEL SHALL BE PLACED TO PROVIDE THE FOLLOWING MINIMUM CONCRETE COVER:
  - A. BEAMS TO STIRRUPS: 1 1/2" - INTERIOR | 2 1/2" - EXTERIOR
  - B. COLUMNS: 1 1/2" TO TIES
  - C. FOOTINGS: 3"
  - D. FOUNDATION WALLS/GRADE BEAMS: 2"
  - E. FRAMED SLABS: 1" - TOP | 1 1/2" - BOTTOM | 1 1/2" - EXTERIOR
  - F. PIERS AND PILASTERS: 2" TO TIES
  - G. SLABS-ON-GRADE: 1 1/2" - TOP (U.O.N.)
  - H. SLABS ON STEEL DECK: 1" - TOP
8. NO BARS SHALL BE CUT OR OMITTED IN THE FIELD BECAUSE OF SLEEVES, DUCT OPENINGS, OR RECESSES. BARS MAY BE MOVED ASIDE WITHOUT CHANGE IN LEVEL WITH THE ENGINEER'S APPROVAL.
9. ENGINEER'S APPROVAL IS REQUIRED FOR ALL PIPE PENETRATIONS THROUGH CONCRETE THAT DO NOT CONFORM TO THE TYPICAL DETAILS SHOWN ON THE TYPICAL DETAIL SHEETS. SLEEVES SHALL NOT BE PLACED IN CONCRETE BEAMS WITHOUT WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER.
10. ALL KEYS SHALL BE 2" x 4" WITH BEVELED SIDES (U.O.N.)
11. ALL REBAR LAP SPLICES SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF THE ACI 318-11.
12. DETAILS NOT SHOWN ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE ACI DETAILING MANUAL 315.
13. FOR AREAS OF EXPOSED CONC WALL, PROVIDE PROPER FORMWORK/LINER SUCH THAT FINISH IS CLEAN AND OF ARCHITECTURAL QUALITY. COORDINATE WITH ARCH DETAILS WHERE WALL IS EXPOSED AND WHERE FINISH IS DESIRED.

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|-------------------|-------|------|
| NO.               | ISSUE | DATE |
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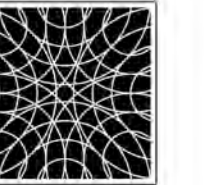
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C2 EXTERIOR ELEVATION - SOUTH  
A201 SCALE: 1/8" = 1'-0"



A2 EXTERIOR ELEVATION - NORTH  
A201 SCALE: 1/8" = 1'-0"



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|     | DATE:  | 8/18/20      |
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EXTERIOR  
ELEVATIONS

A201

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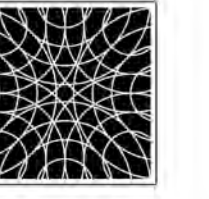


C3 EXTERIOR ELEVATION - EAST  
A202 SCALE: 1/8" = 1'-0"



A3 EXTERIOR ELEVATION - WEST  
A202 SCALE: 1/8" = 1'-0"

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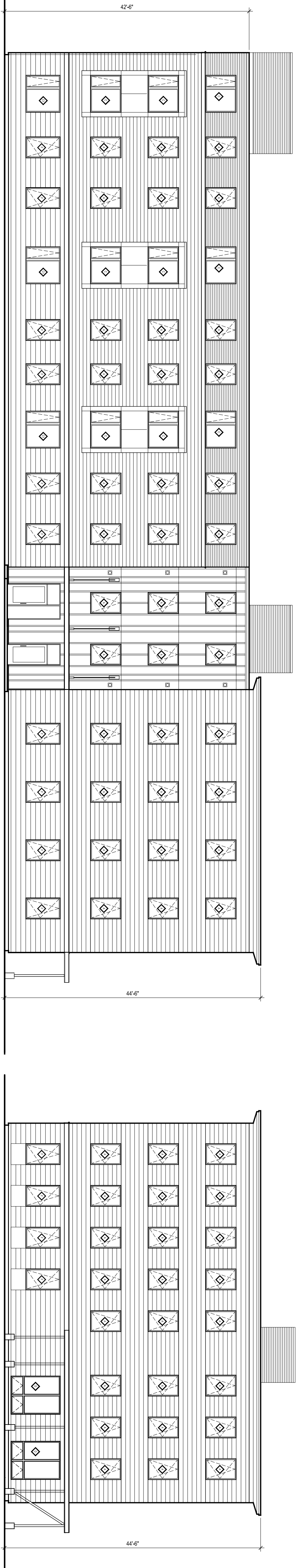
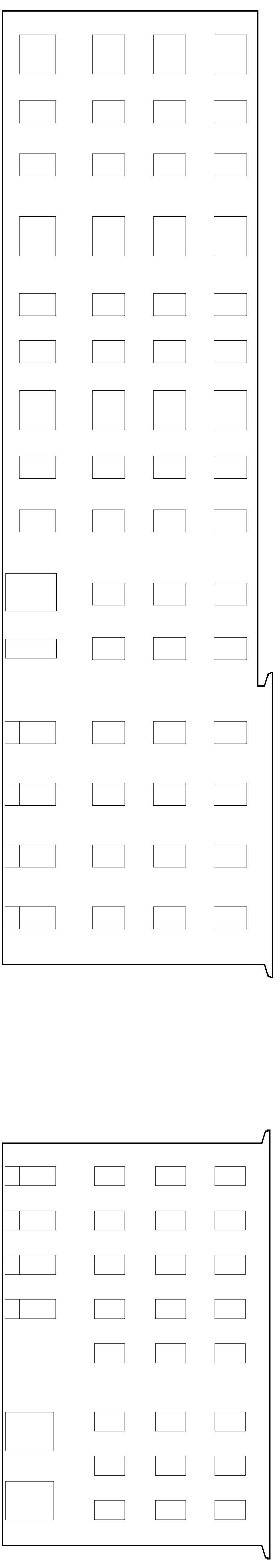
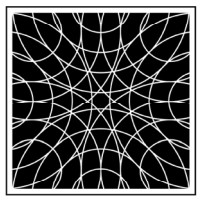
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EXTERIOR  
ELEVATIONS

A202

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DESIGN  
DEVELOPMENT

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EXTERIOR  
ELEVATIONS

**A201**

A2  
ELEVATIONS - TRANSPARENCY  
SCALE: 3/32" = 1'-0"

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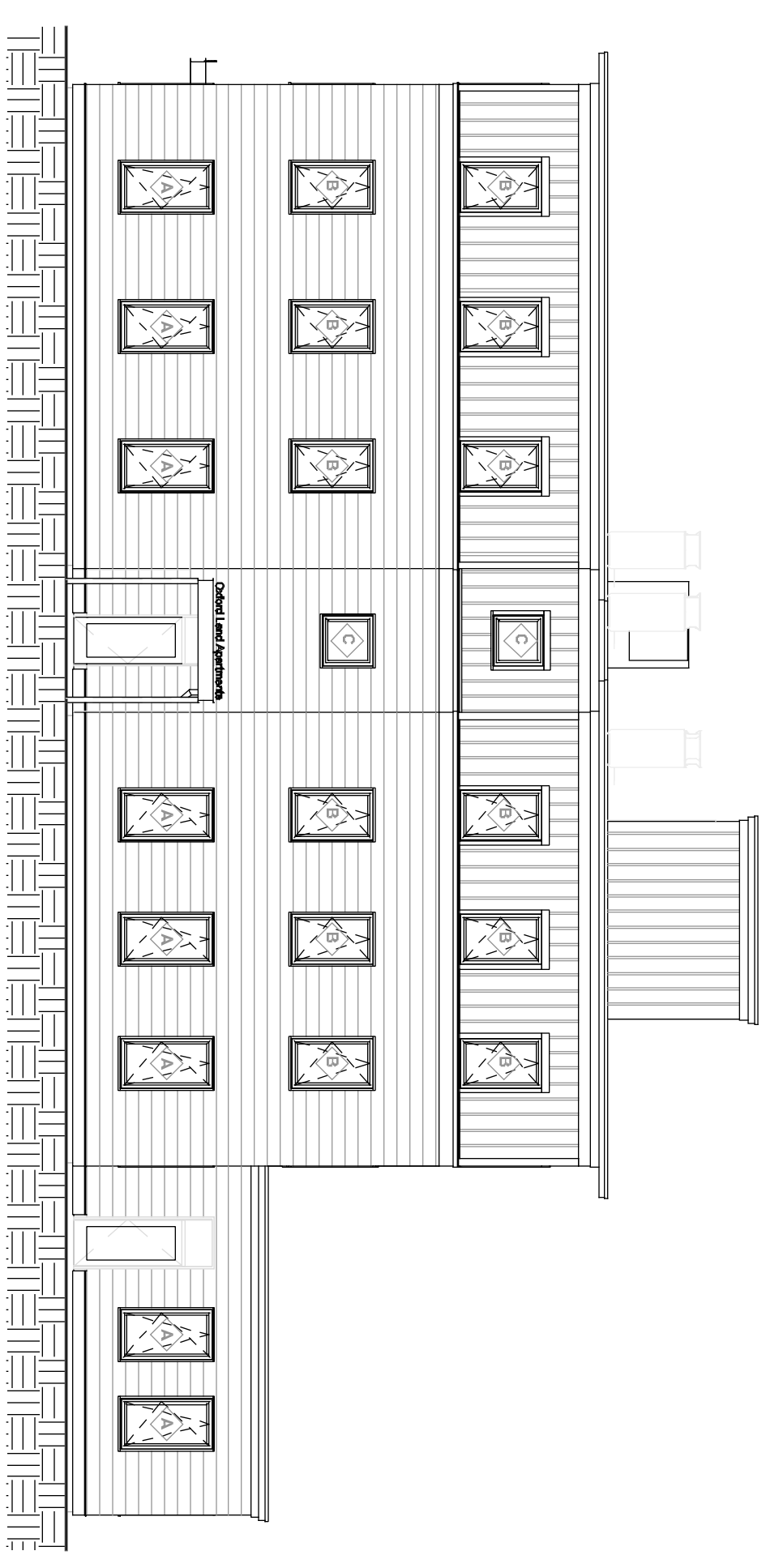
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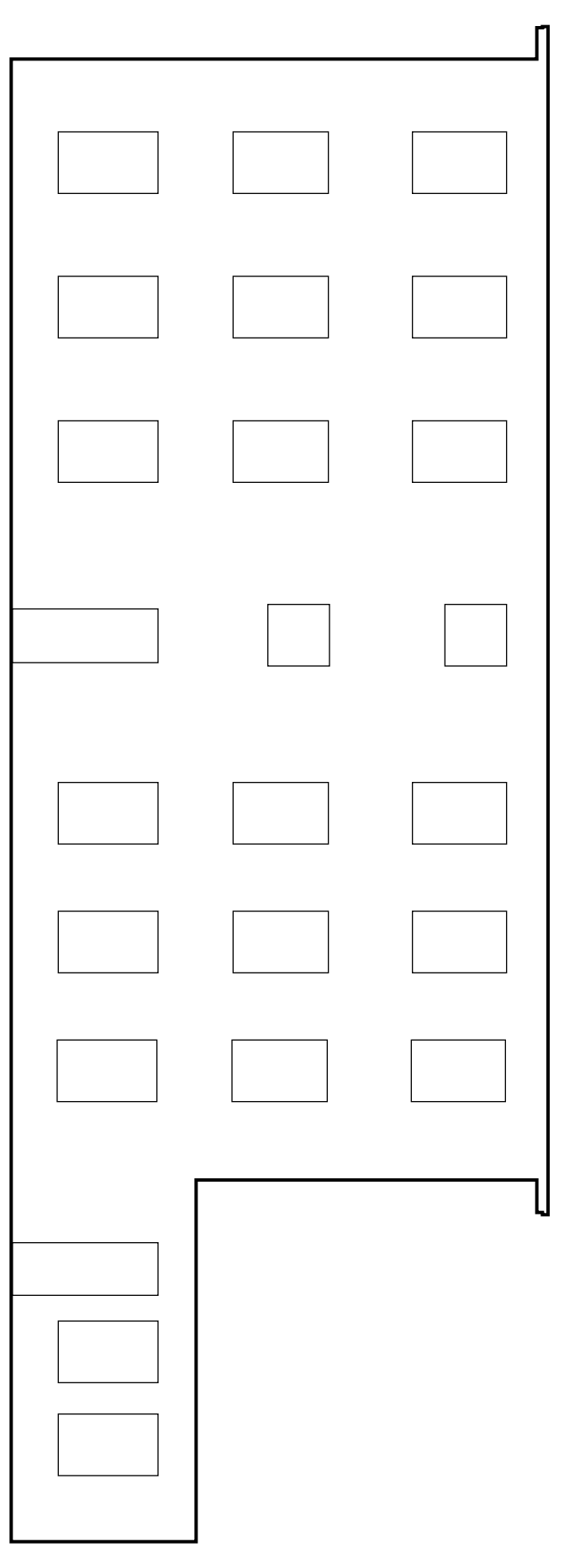
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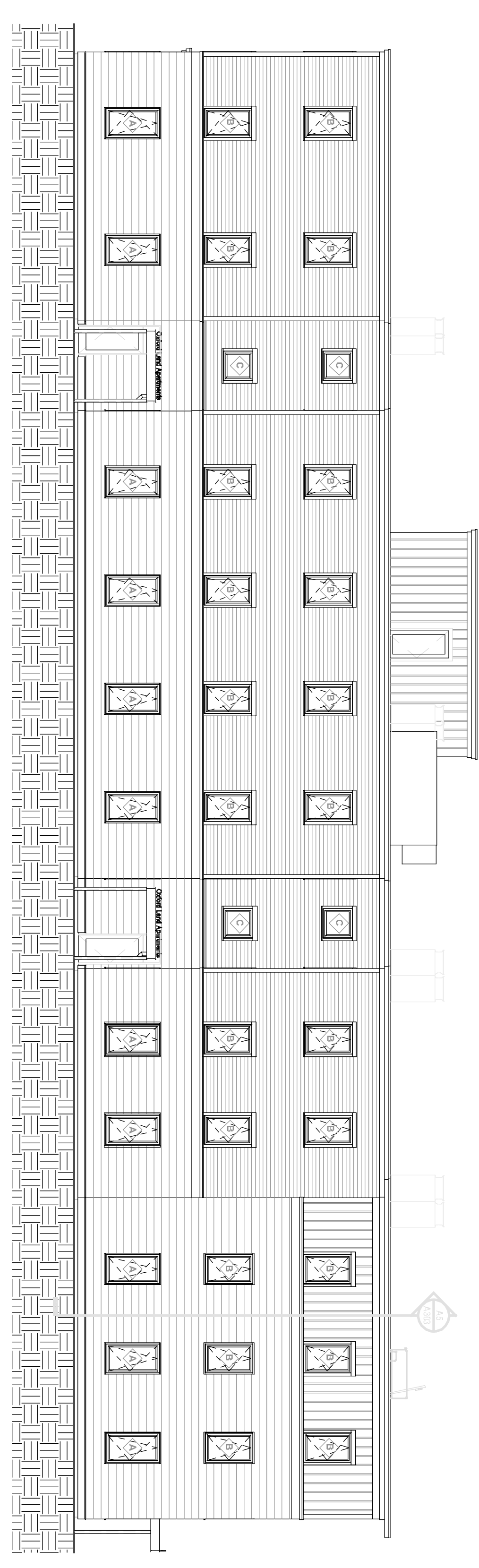
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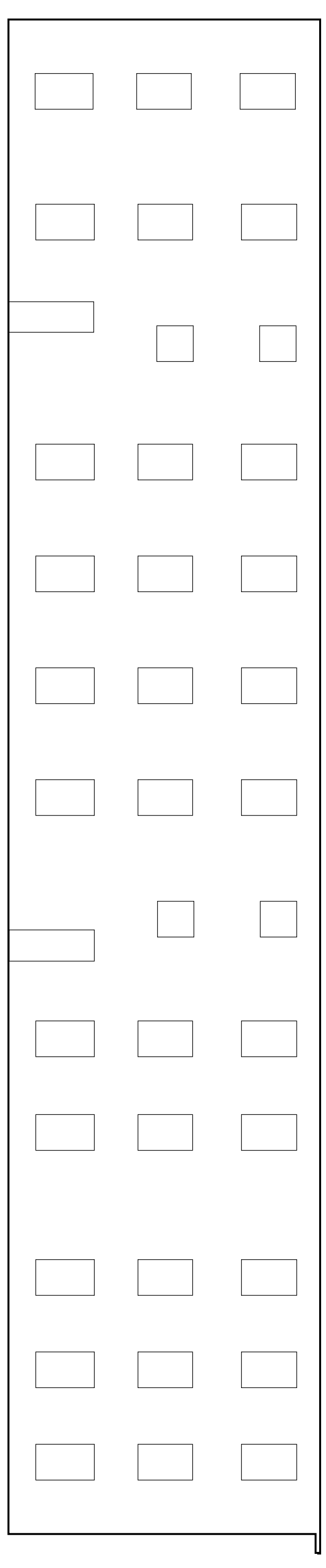
ELEVATION TRANSPARENCY:  
 TOTAL FACADE SF: 2,587 tsf  
 TOTAL TRANSPARENCY: 550 tsf  
 PERCENTAGE TRANSPARENCY: 21.2%



- 8 X 23.75 sf = 190 sf
- 12 X 22.5 sf = 270 sf
- 2 X 15 sf = 30 sf
- 2 X 30 sf = 60 sf



ELEVATION TRANSPARENCY:  
 TOTAL FACADE SF: 5,417 tsf  
 TOTAL TRANSPARENCY: 876 tsf  
 PERCENTAGE TRANSPARENCY: 16.1%



- 11 X 23.75 sf = 261 sf
- 22 X 22.5 sf = 495 sf
- 4 X 15 sf = 60 sf
- 2 X 30 sf = 60 sf

A2 ELEVATIONS - TRANSPARENCY  
 A201 SCALE: 3/8" = 1'-0"

1

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4

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**EXTERIOR ELEVATIONS**

**A201**



1 2 3 4 5

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**CONCEPTUAL  
PLANNING**

| NO. | ISSUE | DATE |
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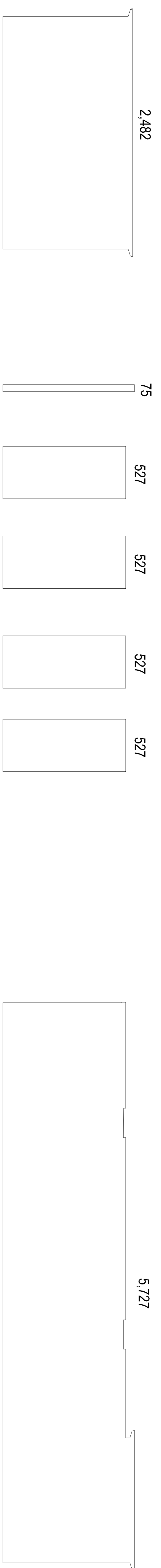
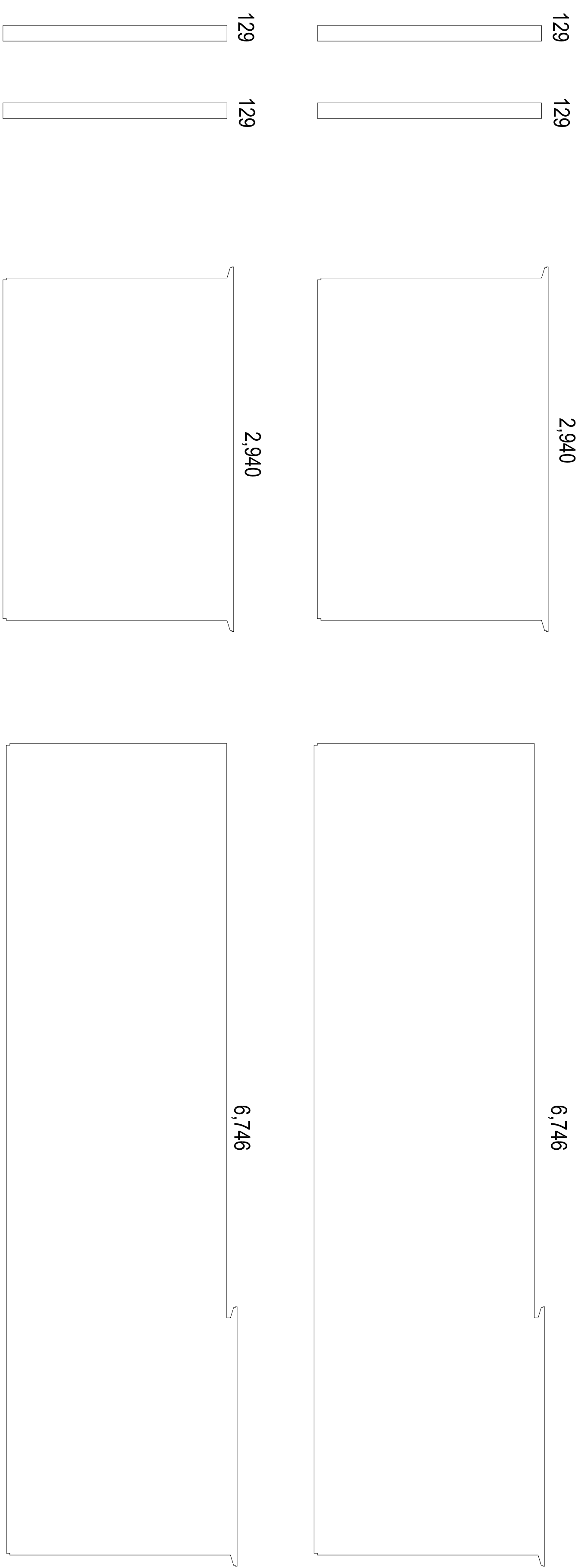
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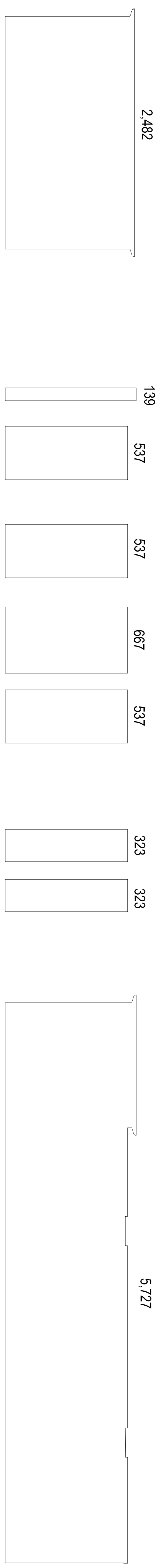
**BUILDING  
ENVELOPE  
COMPARISON**

**A001**

**A ORIGINAL BUILDING ENVELOPE**  
SCALE: 1/16" = 1'-0"



**B PROPOSED BUILDING ENVELOPE**  
SCALE: 1/16" = 1'-0"



**9 % INCREASE IN ENVELOPE**

1 2 3 4 5