

## Jorge O. Elorza, Mayor

## Ardoene Park Improvements- Rebid

## Addenda # 1

## October 5, 2020

## (20 Pages)

#### Acknowledge Addenda on Bid Form

## \*\* BID DATE REMAINS On October 13, 2020\*\*

### Attachments:

- 1. Pre-bid sign in sheet (1 page)
- 2. Pre-bid Meeting agenda (1 page)
- 3. Revised Supplemental Bid form (6 pages)
- 4. Revised Sheet L-3
- 5. Revised Sheet L-4
- 6. Revised Sheet L-5
- 7. Revised Sheet L-6

## Spec Section 11680 - Playfield Equipment and Structures

- 1. Remove 4 pages True Bounce referencing Model XL7042 and replace with True Bounce complete basketball post, backboard XL 7048 and rim system (3 pages)
- 2. Add soft touch bases (2 pages)
- 3. Add White Line Fence guard (1 page)

## Spec Section 329200 Turf and Grasses

Change par 2 Products2.1 Seed B Seed Species to read:

## **PROVIDENCE PARKS DEPARTMENT**

1000 Elmwood Avenue, Providence, Rhode Island 02907 Phone: 401-785-9450 | Fax: 401-941-5920

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#### CITY OF PROVIDENCE

#### Jorge O. Elorza, Mayor

- 1. Athletic field areas including infield and outfield shall conform to the following grass types and percentages:
  - a. 30 % Chewing Fescue
  - b. 40% Improved Kentucky Blue grass
  - c. 30% 3way perennial ryegrass
- 2. Open space Shade: Proportioned by weight as follows:
  - a. 20% 3way Perennial Ryegrass.
  - b. 25% Turf type tall fescue.
  - c. 20 % Hard fescue
  - d. 15 % Chewing Fescue
  - e. 15% Creeping Red Fescue
  - f. 5% Dutch white clover
- 3. OpenSpace Full Sun: Proportioned by weight as follows:
  - a. 30% 3way Perennial Ryegrass.
  - b. 25% Turf type tall fescue.
  - c. 15 % chewing fescue
  - d. 15% Creeping Red Fescue
  - e. 10% Improved Kentucky Bluegrass
  - f. 5% Dutch white clover

#### **Questions/Clarifications:**

1. Clarify base bid vs Add Alternate #5

See revised Sheet L4 for clarification.

2. Clarify depth of infield mix?

Infield mix to be 6"

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			MATT Jesus	MIKE HERLEY	BRIM BYRNES	Name	Project: Ardoene F	
			CARDE CORD	BEINC	ProvINENCE PARKS	<u>Company</u>	Ardoene Park Improvements - rebid	<u>Si</u> <u>Pre</u> Monday – Septemb
			Molesos @ CARDT. OM	JHEDLEY 12 YOGMAILCOM	Blymise providencerigov	<u>E-Mail</u>	bid	<u>Sign-In Sheet</u> <u>Pre-Bid Meeting</u> Monday – September 28, 2020 at 10:00 AM – Site
			401-739-8300	401-781-7756	401-640-9308	<u>Phone</u>		



#### **CITY OF PROVIDENCE**

Jorge O. Elorza, Mayor

## **Pre-Bid Meeting – Non-Mandatory**

Date:Monday, September 28, 2020 @ 10:00 AM<br/>(143 Narragansett Ave, Providence RI- Site)

- Project: Ardoene Park Improvements Re-bid
- Bid Due: October13, 2020: by 2:15 PM Board of Contract Meeting

#### Agenda:

- 1. Bid Documents, Plans & Specifications
- 2. Funding CIP/CDBG
- MBE/WBE Utilization 10% MBE / 10% WBE If Sub-Contracts are to be utilized - Forms Must be Completed and Signed by MBE/WBE Coordinator for Providence. If no sub-contractors are being used – no forms are required.
- 4. Retainage of 5% will be held from Pay Requests until project completion
- Insurance Certificates Shall Include the Project Name and shall list the City of Providence as 'Additionally Insured on a primary but non-contributing basis for General Liability Insurance per Written Contract or Agreement' (Not Needed with Bid – After Award – GC and Sub-Contractors)
- 6. Performance / Payment Bond -Required
- 7. Permits Contractor's Responsibility to Seek Out if Permit is Needed
- 8. Prevailing Wage Requirements Certified Payroll Submitted with Pay Requests – Wage Decision included in RFP
- 9. Sub-Contractor Utilization Form needs to be submitted with Pay Requests (If Applicable)
- 10. Submittals Need Written Approval prior to purchase of Materials
- 11. Schedule of Values / Sequence of Work Submitted prior to mobilization
- 12. Questions Need to be Submitted in Writing (5) Working Days Prior to the Opening – Sent Via E-mail to Brian Byrnes at <u>bbyrnes@providenceri.gov</u> and Patti Jordan at <u>pjordan@providenceri.gov</u>

#### **Parks Department Contact Information**

Brian Byrnes401-660-9308Deputy Superintendent (Primary Contact)E-Mail:bbyrnes@providenceri.gov

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BOARD OF CONTRACT AND SUPPLY CITY OF PROVIDENCE, RHODE ISLAND

#### SUPPLEMENTAL BID FORM

#### **ARDOENE PARK IMPROVEMENTS - REBID**

**BASE BID**: Ardoene Park is located in the Reservoir neighborhood of Providence, at Narragansett Avenue and Woodmont Street. The City of Providence is seeking qualified bidders to perform the following scope of work that shall include but is not limited to the following: Remove and replace basketball court, Remove and replace perimeter fencing, provide field improvements including Furnish and Install irrigation, infield repair and outfield fine grading, Remove and replace bit conc. walkway, Furnish and install player's benches at basketball courts.

Add Alternates include Furnish and install wood guard rail, remove and replace galvanized chain link fabric and rail protection at outfield fence, remove and replace backstop fence fabric, furnish and install protective netting, playground equipment, native boulder seating and engineered wood fiber mulch and remove and replace player's benches at dugouts.

In addition to stating the Total Base Bid, The bidder shall state Unit Prices for related work listed under each bid item which represents the work items included in the Total Base Bid. The Unit Prices are quoted for computing adjustments to the Base Bid prior to Contract award, as well as during the course of construction, based upon extra work ordered by the City or for work countermanded, reduced or omitted by the City in order to stay within the Project budget.

Base Bid Items and Unit prices are to be Completed prices to be added or deducted on the basis of quantities of work involved, for each item in place in the unit indicated.

BASE BID: SPECIFIC SCOPE OF WORK FOR THE BASE BID (NO ALTERNATES)

#### All Work Included in this Project Shall be Completed for the lump sum of:

			Dollars
(\$	), TOTAL BASE BID		
CONTINGENCY: (+\$10,000)		_) Dollars	
BASE BID WITH CONTINGENCY:			
(\$	) Dollars		
		BIDDER:	



CITY OF PROVIDENCE, RHODE ISLAND

#### **ADD ALTERNATES:**

1. Remove and Replace outfield galvanized chain link fence fabric and fence top protection. Replace top rail and all missing caps and fasteners – per lump sum

	LS	\$ 
price in writing		

2. Remove and Replace galvanized chain link fence fabric and overhang at backstop. Scrape and paint (2 coats) existing poles to remain- per lump sum

	LS	\$
price in writing		

3. Remove existing and replace (4) 8' players's benches in dugouts; Surface mount complete on existing concrete pad

\_\_\_\_\_ LS \$\_\_\_\_\_

4. Furnish and Install (1) Timber Stacks Eugene, modified for 2-5 age group usage – Model #ZZXX1320 from Playworld or approved equal, Complete in use zone – per lump sum

\_\_\_\_\_ LS \$\_\_\_\_\_

5. Improve outfield to include fill depressions with ½"screened loam, deep type aerate and disperse plugs, top dress with 50/50 sand and loam mix – per lump sum

LS

LS

\_\_\_\_\_LS \$\_\_\_\_\_

6. Furnish and Install wood guard rail – per lump sum

price in writing

7. Furnish and Install boulders in playground – quantities as per detail – per lump sum

price in writing

BIDDER:



CITY OF PROVIDENCE, RHODE ISLAND

8. Furnish and Install 40' height protective barrier netting as provided by Beacon Athletics or approved equal - complete with engineered footings (approx. 150 LF) – per lump sum

		LS		
price in	writing			
9.	Lower manhole frames and covers to 12" belo lump sum	ow grade – Inst	tall loam to finish grade and fine	grade and seed – per
		LS		
price in	n writing	_		
<u>UNIT</u>	PRICES:			
1.	Furnish and Install (3) Native Boulders sized	at 30-36"		
		EA	\$	
price in	n writing			
2.	Furnish and Install (3) Native Boulders sized	at 36-42"		
		EA	\$	
price in	n writing			
3.	Furnish and Install (3) Native Boulder sized a	t 42-48"		
		EA	\$	
price in	writing			
4.	Remove existing and Replace 5' wide 3" bitum	ninous concret	e walkway	
		SF	\$	
price in	n writing			
5.	Furnish and Install athletic field seed mix and	l loam with rou	igh grading (Complete)	
		_ LS	\$	
price in	n writing			
6.	Loam (6") Fine Grade and Seed			
		SF	\$	
price in	n writing		BIDDER:	



#### CITY OF PROVIDENCE, RHODE ISLAND

7. Sod infield and infield/outfield line with 4' sod (standard) roll

	LF	\$
rice in writing		
8. Furnish and Install 1/2" screened loam	ı (Complete)	
	СҮ	\$
rice in writing		
9. Furnish and Install baseball field irrig	ation system	
	LS	\$
rice in writing		
10. Rebuild pitcher's mound and regrade	with proprietary infie	ld mix
	LS	\$
rice in writing		
11. Remove and Dispose chain link fence		
	LF	\$
rice in writing		
12. Furnish and Install 4' height 4 gauge b	olack welded wire stee	l fence
	LF	\$
rice in writing		
13. Furnish and Install 6' height 4 gauge b	olack welded wire stee	l fence
	LF	\$
rice in writing		
14. Remove and Replace 6' height galvaniz	zed chain link fence a	nd 10' wide service gate
	LF	\$

4

BIDDER: \_\_\_\_\_



CITY OF PROVIDENCE, RHODE ISLAND

### 15. Furnish and Install 12' height black vinyl chain link fence

	LF	\$
price in writing		
16. Furnish and Install 40' height protective ba	rrier netting, ho	t dip galvanized, approx. 150 LF
price in writing	LF	\$
<b>17.</b> Remove and replace <b>3</b> " bituminous concrete	e basketball cou	rt – per lump sum
price in writing	LS	\$
18. Seal, top coat, and paint basketball courts –	per lump sum	
price in writing	LS	\$
19. Furnish and Install (4) polycarbonate backboa RB1000 or approved equal – per each	ards TrueBounc	e model XL7048 with adjustable breakaway goals model
	EA	\$
price in writing		
20. Furnish and Install (4) TrueBounce model PA	.666 - 6" square j	post with 6' extension - or approved equal - per each
	EA	\$
price in writing		
21. Furnish and Install (4) 92" players benches	on 10'x2' concre	ete pad
	EA	\$
price in writing		
	1	BIDDER:



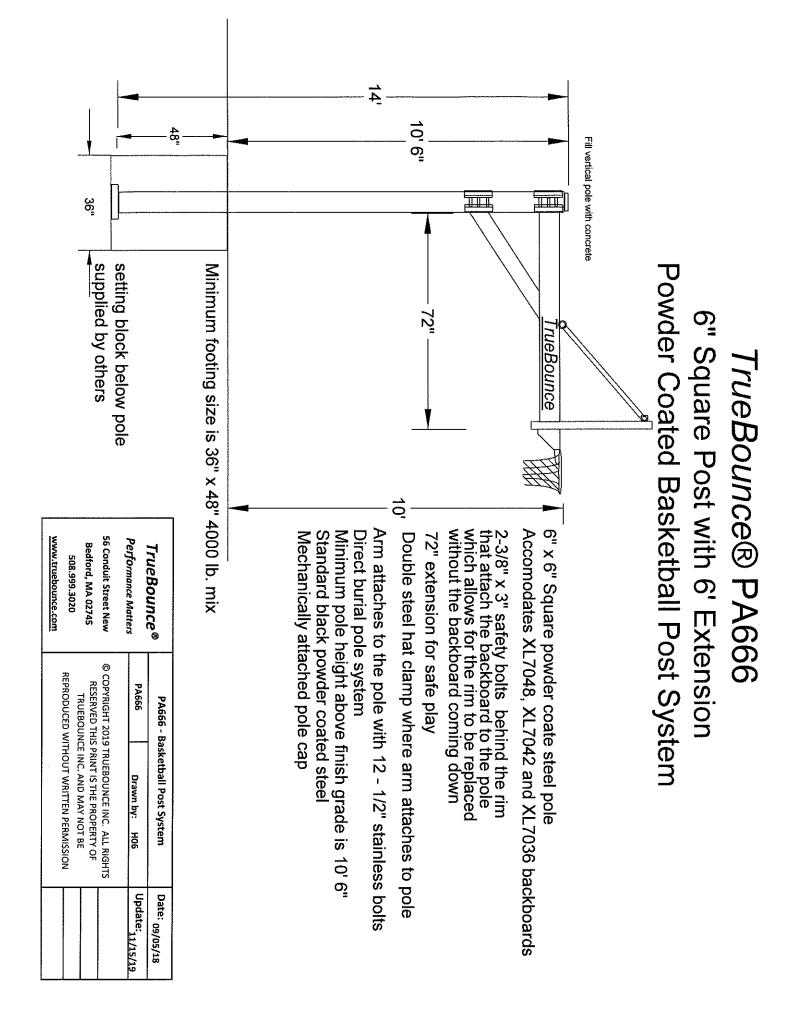
CITY OF PROVIDENCE, RHODE ISLAND

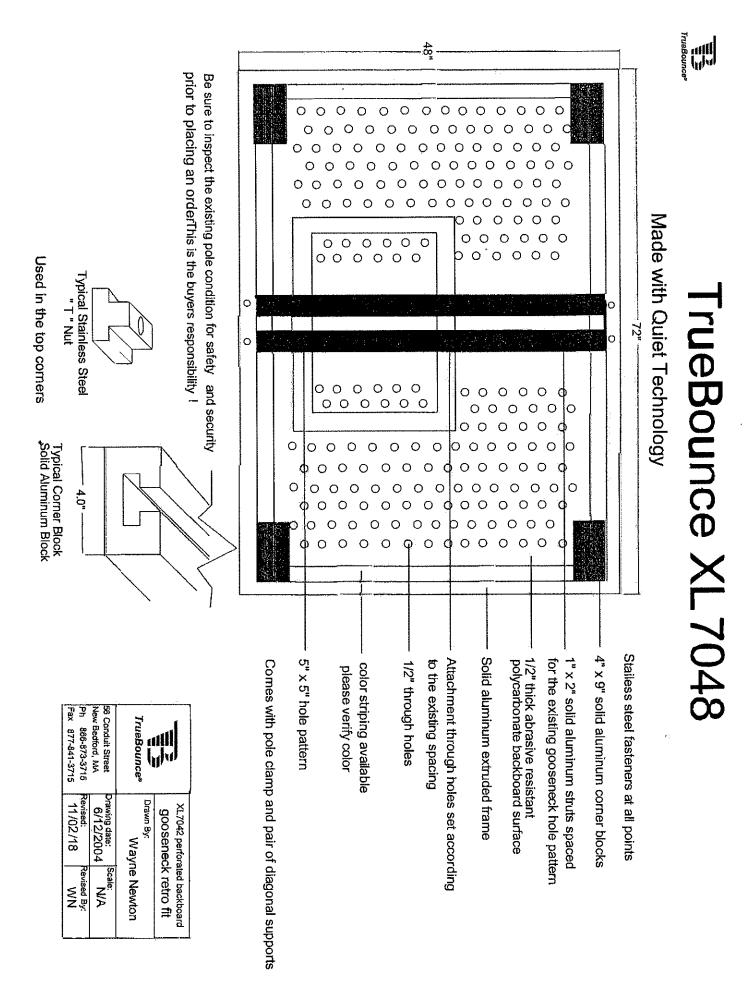
#### 22. Loam and seed disturbed areas – per square foot

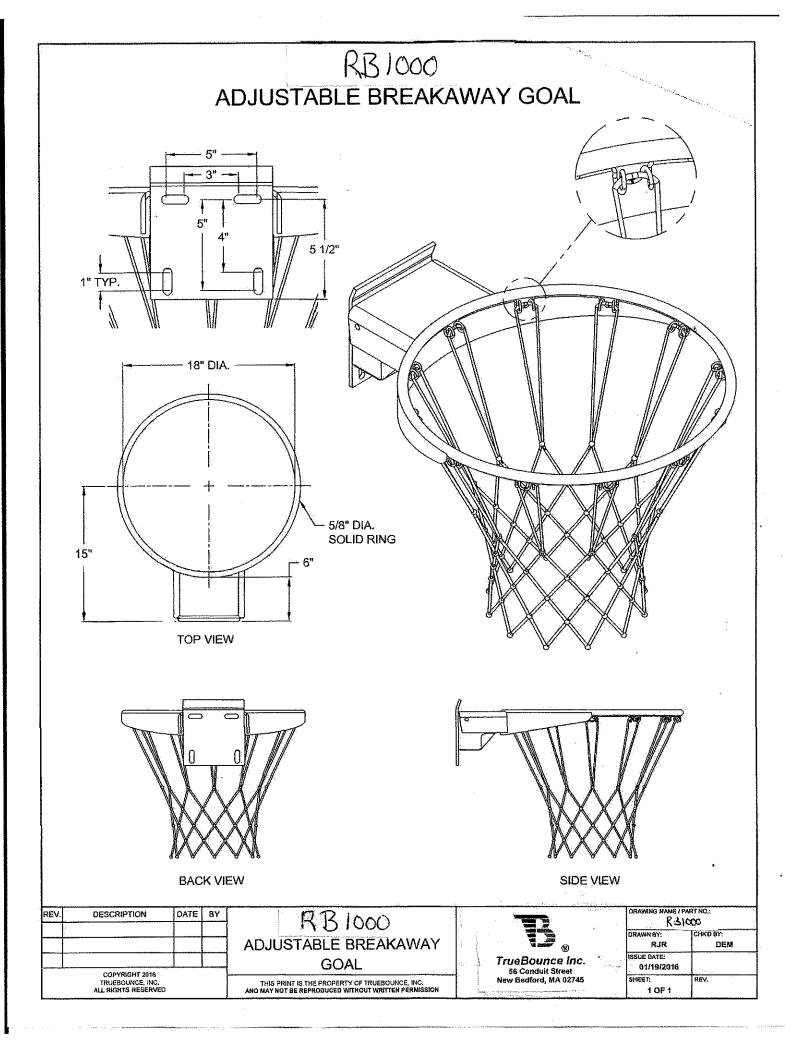
	SF	\$
price in writing		
23. Top Dress with 50/50 sand and loam mix - per c	ubic yard (w	ork off contingency)
	СҮ	\$
price in writing		
24. Furnish and Install infield mix at 6" – per ton		
	TN	\$
price in writing		
25. Furnish and Install Soft Touch bases – per lum	) sum	
	LS	\$
price in writing		

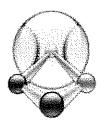
Please note that the list above is not intended to include all items required to complete the base bid scope of work but can and shall be used to adjust the contract prior to or after award – in the best interest of the City of Providence.

BIDDER: \_\_\_\_\_









## SOFT TOUCH® BASES

PO Box 233 Waukesha, WI 53187 866-544-2077 • 262-544-2080(F) <u>info@softtouchbases.com</u> <u>www.softtouchbases.com</u>

## A Series - Premium Bases Installation Instructions

#### Thank you for choosing Soft Touch® Bases!

These instructions should be read thoroughly before installation. If there are questions concerning the installation or use of these bases, consult Soft Touch<sup>®</sup> Bases before using them.

The patented Soft Touch<sup>®</sup> base is designed for easy installation and maintenance. It is designed to flex and absorb energy as a player slides into the base. A forceful slide applied to the base will disengage it from the mount, to be replaced easily after disengagement.

#### Ground Mount Cement Installation: (NOTE: This is the recommended installation method.)

- Step 1: Make sure site is level.
- Step 2: Place the base upside down in the proper location (square to the base line for 1st base). Mark the outline of the base on the ground. (See Fig. 1)
- Step 3: Excavate a 10"x 10" square in the center of the base outline for the ground receptacle and cement.
- Step 4: Place cement around the sides and bottom of the hole so that the flange fits one inch below the playing surface. Cement should be lapped slightly over the corner braces only in the bottom. The center of the receptacle should have no cement installed and should be left open for drainage. Taper the cement 3" from the top of the flange at a 45° angle. (See Fig. 2)
- Step 5: After the cement has dried, level and tamp the ground around the top of the receptacle to insure that the base will lay flat and level and that the flange is at the correct depth of one inch from the playing surface.

(To speed the installation process the mounts can be encased in cement off site and allowed to dry before installation)

#### FOR MAXIMUM STABILITY, THE UNDERSIDE OF THE BASE SHOULD MAKE FULL CONTACT WITH THE GROUND AT ALL TIMES WITH NO VOIDS OR HOLLOWS.

## Ground Mount Dirt Installation: (NOTE: It is recommended that the ground receptacle be cemented in place.)

- Step 1: Follow steps 1 and 2 above for cement installation.
- Step 2: Excavate an 8" x 8" square in the center of the base outline for the ground receptacle.
- Step 3: Place the ground receptacle in the hole with the flange of the mount one inch below the playing surface. Pack and tamp the dirt around the sides and bottom of receptacle. The final installation depth should be one inch below ground level.

#### FOR MAXIMUM STABILITY, THE UNDERSIDE OF THE BASE SHOULD MAKE FULL CONTACT WITH THE GROUND AT ALL TIMES WITH NO VOIDS OR HOLLOWS.

CAUTION The flange of the ground receptacle should not be less than one inch below the playing surface at any time to insure that players will not make contact with it.

#### **Tapered Yellow Plug**

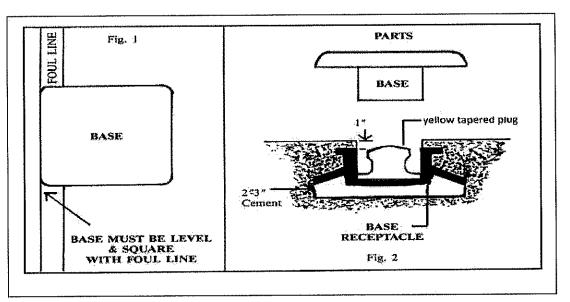
The yellow plug is to be used inside each ground receptacle <u>during</u> play. Placing widest part in first, firmly push yellow plug into ground receptacle until properly seated. Bases will then fit over the top of the yellow plugs. When a base releases from the ground receptacle, this plug will prevent a player from stepping into an open hole.

When the base has been dislodged it can be replaced quickly and easily. Before replacement, the ground should be leveled out to eliminate any buildup of dirt under the base and any dirt in the receptacle should be removed to insure that the base will sit fully supported by the ground and level.

**Optional:** Heavy duty drag plugs can be purchased for dragging the field and filling the receptacle when the bases <u>are</u> <u>not</u> in use.

#### PLEASE NOTE

If the base releases easily or releases too frequently, check the distance from the flange top to the playing surface. The distance should be one inch. The deeper the receptacle is buried, the easier the base will pop out of the ground mount. Remember, the base should always lay flat with full ground support on the underside. Dirt will sometimes build up during play, increasing the depth at which the ground mount is buried. It is important that a proper and regular maintenance program be followed to insure that the bases will lay flat and level on the field and perform as intended.



#### <u>Warranty</u>

Soft Touch® bases are warranted against defects in materials and workmanship when used in a usual and customary manner for one year (defined as a regular season of normal length for softball or baseball). Warranty is void if any changes are made to the original mounting system or not installed as per installation instructions. **Proof of purchase is required in the form of dealer PO number**, **Invoice number**, **or any other documentation that will verify when products were purchased.** Normal wear and tear is excluded from coverage. **Pictures of defective merchandise are required** and the Manufacturer may request that merchandise be returned before any warranty adjustment will be made. The liability of the Manufacturer for a warranty is limited to either a refund of the purchase or replacement of the defective product.

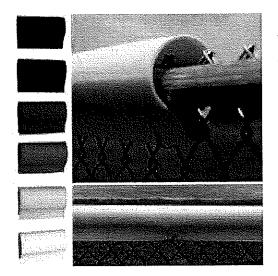
10/19/17

#### **Disclaimer**

Be advised that sliding into a baseball/softball base may cause serious and permanent injury. No base, however constructed or designed, can prevent all injuries and the Soft Touch® base is no exception. The Manufacturer advises that deviation from installation instructions, failure to properly install and maintain bases, and failure to properly groom playing surfaces around bases and home plate area, could increase the risk of injury to players. Under no circumstances should these bases or base anchors be modified, altered, tampered with, or used when they are damaged, as serious injury may occur. Buyer is responsible for furnishing proper installation instructions to the purchaser.



"Original" Fence Guard 01166



Request more information about this product

Return to Fence Cap

For programs that demand the best, we recommend our Premium Fence Guard. Our thickest walled construction is designed for maximum player protection and durability. Protects against chain link injuries, increases visibility and adds beauty to any field. Don't be fooled by low cost, thin walled looka-likes, demand the best.

#### Features:

- · professional teardrop shaped profile
- · easy to install with just one person
- 8' long sections
- · exterior grade UV-resistant polyethylene construction
- · maintenance free and is designed to be the longest lasting fence cap available
- · pre-drilled every 24" and includes ties for securing to the fence
- measures 3"W x 41/2"T x 8'L x .10" wall thickness
- · available in yellow, forest green, red, and blue
- · sold in cartons of 80'
- priced per 80 ft. carton
- 5-year limited warranty

#### Additional Models Available:

#### Standard - #01923

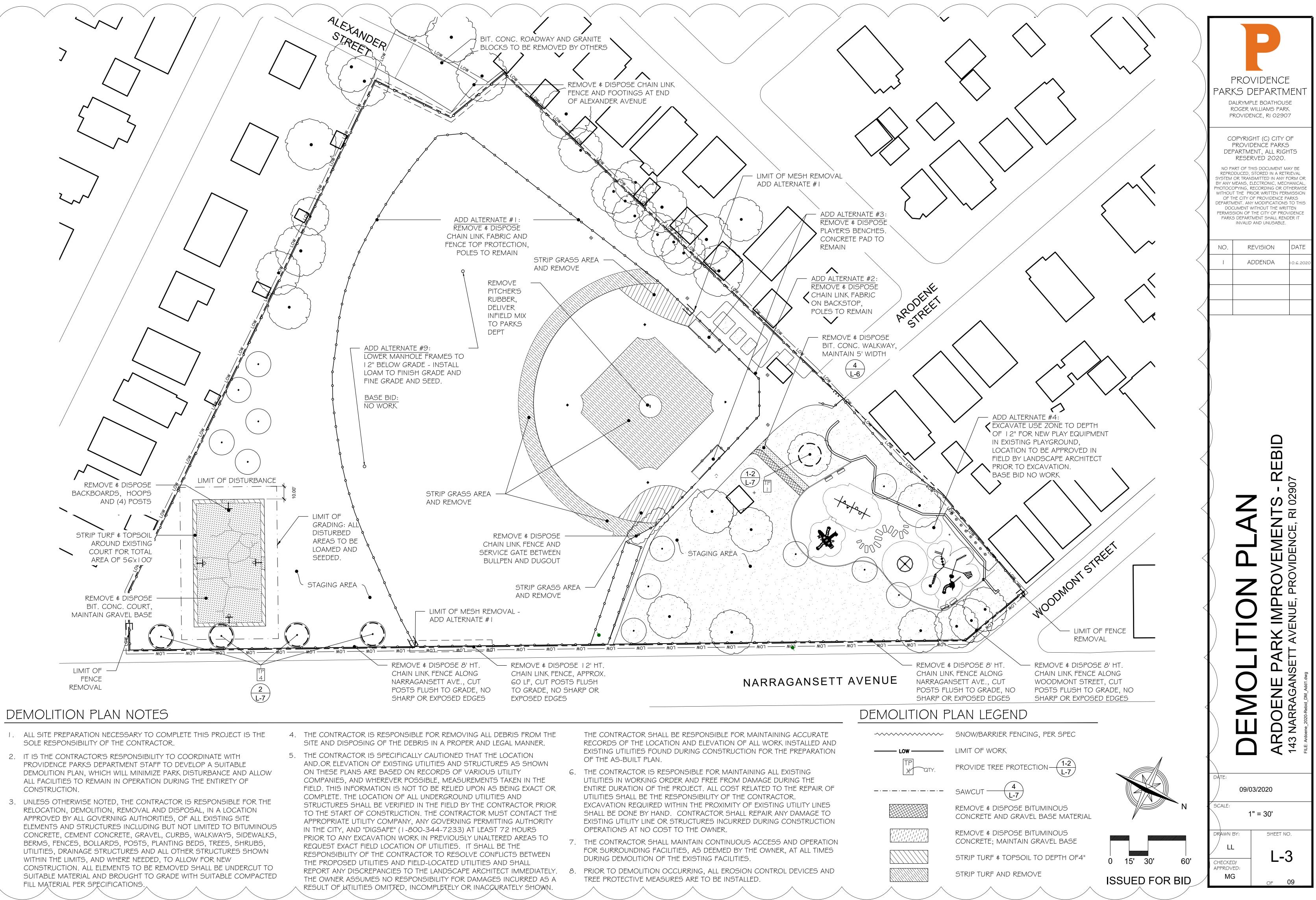
 $(2-5/8"W \times 4"T \times 8L \times .07"$  wall thickness) Our standard construction is designed for excellent player protection and durability at an economical price. Features a 3-year limited warranty. Available in yellow, forest green, red, blue, orange, and white. Sold as an 80' carton.

#### Lite - #03022

(2-5/8"W x 4"T x 8'L x .05" wall thickness) Priced for the tightest budget! Our lighter weight construction is designed for park beautification, player spatial awareness, and injury prevention. Features a 1-year limited warranty. Available in yellow, forest green, red, and blue. Sold as an 80' carton.

#### Fence Guard Ties - #03023

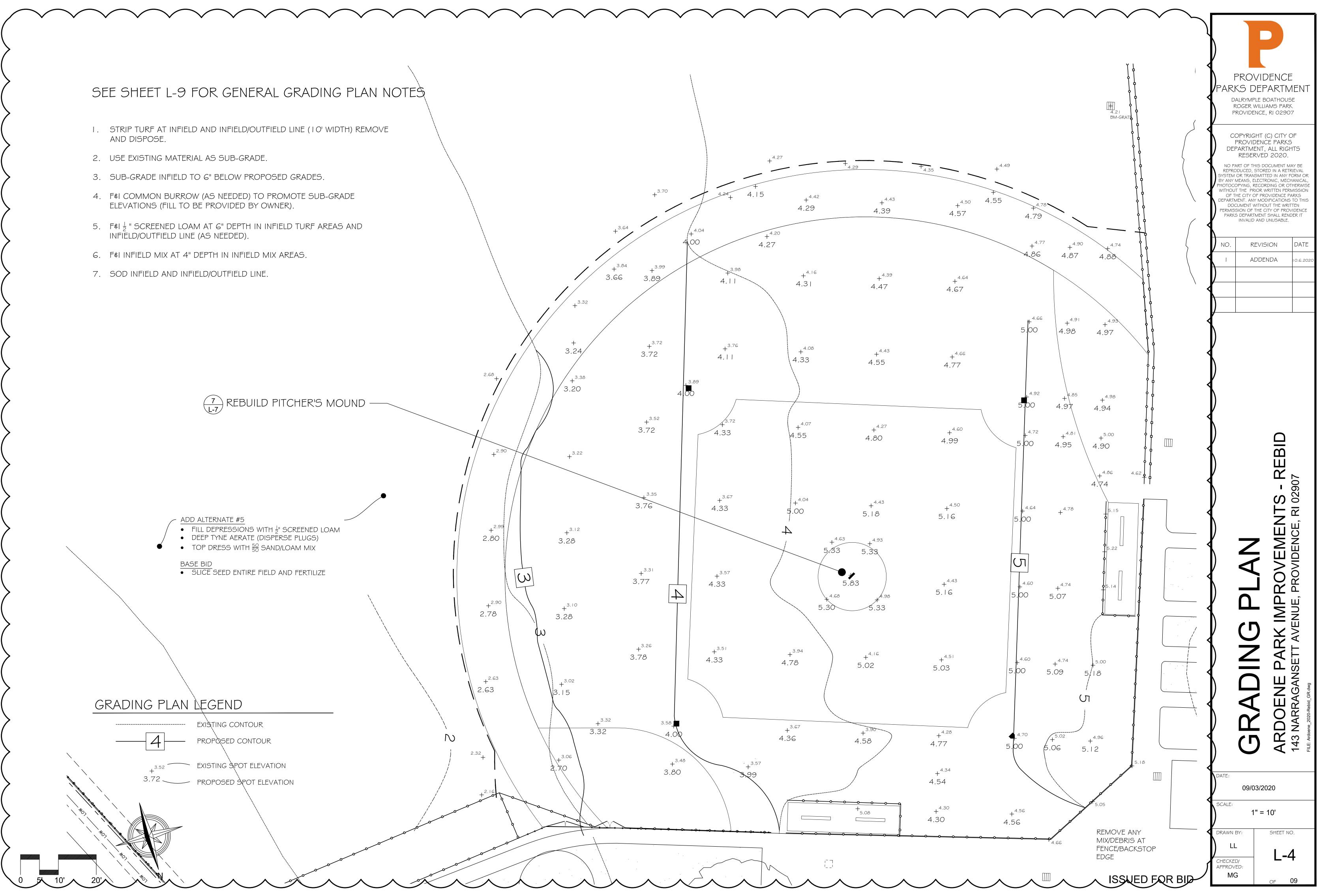
These Fence Guard Ties are weather-treated and UV-resistant. Sold in packs of 100.



- ALL SITE PREPARATION NECESSARY TO COMPLETE THIS PROJECT IS THE Ι. SOLE RESPONSIBILITY OF THE CONTRACTOR.
- 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH PROVIDENCE PARKS DEPARTMENT STAFF TO DEVELOP A SUITABLE DEMOLITION PLAN, WHICH WILL MINIMIZE PARK DISTURBANCE AND ALLOW ALL FACILITIES TO REMAIN IN OPERATION DURING THE ENTIRETY OF CONSTRUCTION.
- UNLESS OTHERWISE NOTED, THE CONTRACTOR IS RESPONSIBLE FOR THE RELOCATION, DEMOLITION, REMOVAL AND DISPOSAL, IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL EXISTING SITE ELEMENTS AND STRUCTURES INCLUDING BUT NOT LIMITED TO BITUMINOUS CONCRETE, CEMENT CONCRETE, GRAVEL, CURBS, WALKWAYS, SIDEWALKS, BERMS, FENCES, BOLLARDS, POSTS, PLANTING BEDS, TREES, SHRUBS, UTILITIES, DRAINAGE STRUCTURES AND ALL OTHER STRUCTURES SHOWN WITHIN THE LIMITS, AND WHERE NEEDED, TO ALLOW FOR NEW CONSTRUCTION. ALL ELEMENTS TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED

- AND DISPOSE.

- ELEVATIONS (FILL TO BE PROVIDED BY OWNER).
- INFIELD/OUTFIELD LINE (AS NEEDED).





# IRRIGATION LEGEND

R \_ \_ \_ \_ \_

RAINBIRD (EXTERIOR) CONTROLLER

- RAIN SENSOR
- HUNTER I-25 ROTOR

RAINBIRD PEB 150: 1-1/2" ZONE VALVE

RAINBIRD QUICK COUPLING VALVE

IRRIGATION MAIN LINE, SIZED AS SHOWN

IRRIGATION LATERAL LINE, SIZED AS SHOWN

## IRRIGATION NOTES

- I. PIPE AND VALVE LOCATIONS ARE DIAGRAMMATIC, CONTRACTOR SHALL FIELD 6. CONTRACTOR SHALL TEST DYNAMIC PRESSURE BEFORE STARTING WORK. VERIFY. REPORT ANY DEVIATION FROM PRESSURE REQUIRED TO OWNER'S REPRESENTATIVE BEFORE CONTINUING.
- 2. CONTROL WIRE SHALL BE #14 GAUGE SINGLE STRAND RED, COMMON WIRE SHALL BE #12 GAUGE SINGLE STRAND WHITE, AND SPARE WIRES, INSTALLED 7. INSTALL CONTROLLER IN CONCESSIONS MECHANICAL ROOM AS DIRECTED BY 12. ONCE APPROVED CONTRACTOR WORK WHERE SHOWN, SHALL BE #14 GAUGE SINGLE STRAND BLUE. OWNER'S REPRESENTATIVE, HARD WIRE TO 120 VOLT BUILDING POWER NOTIFIED A MINIMUN SUPPLY. ROUTE ZONE AND SPARE WIRES TO CONTROLLER VIA 2" CONDUIT. 3. QUICK COUPLING VALVES SHALL BE INSTALLED ON I " PVC SWING JOINTS COORDINATE ON-SIT
- WITH BRASS INSERTS AND STABILIZERS (SEE DETAIL).
- 4. ROTARY SPRINKLERS SHALL BE INSTALLED ON 1" PVC PREFABRICATED UNITIZED SWING JOINT ASSEMBLIES WITH INTEGRAL O-RINGS.
- 5. IRRIGATION SYSTEM IS DESIGNED TO SUPPLY 50 GPM MAX FROM NEW 2" 9. COORDINATE LOCATION OF EXISTING AND FUTURE UTILITIES ON SITE AND CONTACT PROPER AUTHORITIES AND UTILITY COMPANIES BEFORE THE START SERVICE. SYSTEM TO PRODUCE 70-PSI DYNAMIC PRESSURE AT IRRIGATION OF WORK. CONTRACTOR'S POINT OF CONNECTION DOWN STREAM OF NEW BOOSTER PUMP. CONTRACTOR TO VERIFY WATER PRESSURE AND VOLUME.

## NARRAGANSETT AVENUE

- 8. INSTALL RAIN SENSOR ON EXTERIOR BUILDING WALL WHERE DIRECTED BY OWNER'S REPRESENTATIVE. EXTERIOR RAIN SENSOR WIRING SHALL BE CONTAINED IN 1/2" SCHEDULE PVC ELECTRICAL CONDUIT, SECURED TO OUTSIDE OF BUILDING WALL.
- 10. FLUSH LATERAL LINES BEFORE INSTALLING SPRINKLERS.

- II. CONTRACTOR MU SPECIFICATIONS TO ORDERING MATERIAL
- 13. SEE IRRIGATION D NECESSARY INFORM
- 14. CONTRACTOR TO
- 15. ALL AREAS DISTU AND SEEDED.

	NO         REVISION           NO.         REVISION           NO.         REVISION           NADENTAL         ANDENDE
	TION PLAN RK IMPROVEMENTS - REBID IT AVENUE, PROVIDENCE, RI 02907
IRRIGATION NOTES	ENE P/ RAGANSE
<ul> <li>Processing and the status of th</li></ul>	DATE: 09/03/2020 SCALE: 1" = 30' DRAWN BY: LL CHECKED/ APPROVED: MG

