

Providence City Plan Commission

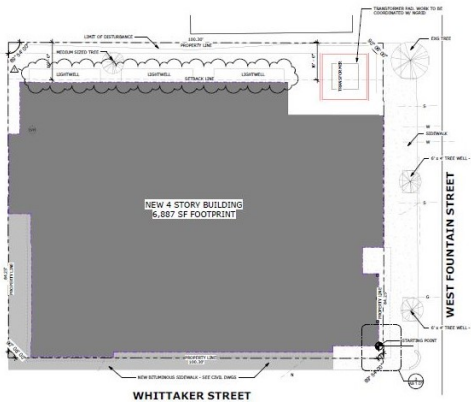
October 20, 2020



AGENDA ITEM 2 ■ 466-468 WEST FOUNTAIN STREET

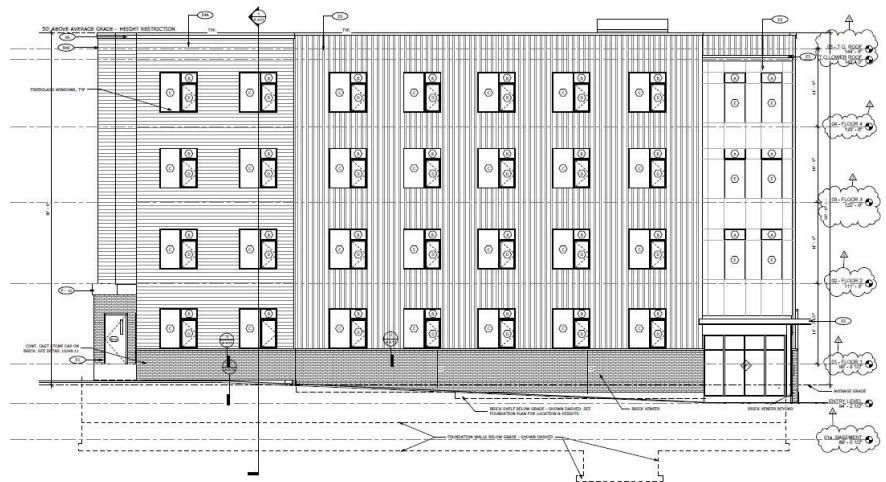


Aerial view of site



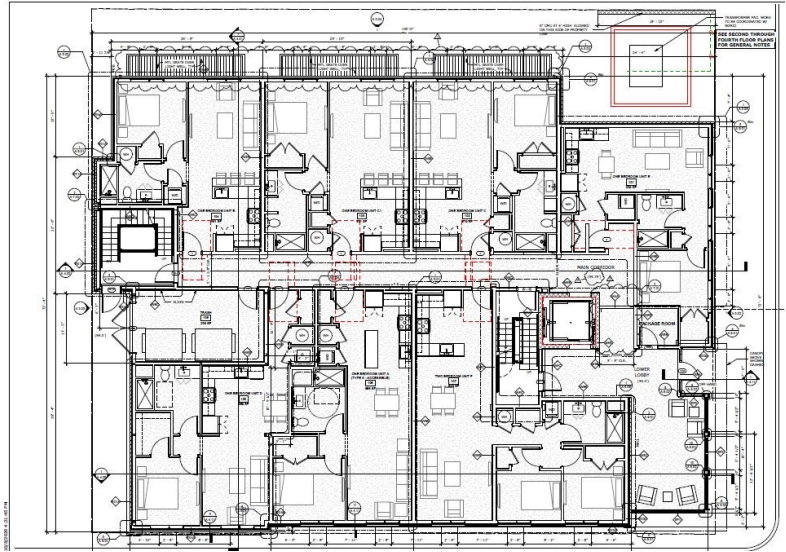
Site plan

OVERVIEW



East building elevations

OWNER/APPLICANT: 468 West Fountain Street LLC	PROJECT DESCRIPTION: The applicant is requesting a major change to an approved project to construct a 31 unit, four-story residential building, increasing the number of dwelling units to 34.
CASE NO./ 19-043 MI PROJECT TYPE: Preliminary Plan—Major Change	
PROJECT LOCATION/ 466-468 West Fountain Street ZONING DISTRICT: AP 29 Lot 554 C-2 zoning district	RECOMMENDATION: Approval of the major change subject to the noted findings of fact.
NEIGHBORHOOD: Federal Hill	PROJECT PLANNER: Choyon Manjrekar



First floor plan and building rendering

PROJECT OVERVIEW

The subject property is zoned C-2 and currently vacant. The applicant is requesting a major change to an approved plan for a four-story, 31 unit residential building to provide 34 units. The lot fronts on West Fountain Street with Whitaker Street to the east and the R-3 zone to the west.

ANALYSIS AND IDENTIFICATION OF POTENTIAL ISSUES

Use

The lot is zoned C-2, where multifamily development is permitted by right.

Dimensions and site design

The lot measures 8,438 SF and the four-story building will have a height of 45', which is within the 50' height limit of the C-2 zone. The approved plan included seven apartments on the first floor, with eight on each of the three upper stories. The plan has been modified to add three one-bedroom units in the basement. This is considered a major change as it involves a change in the number of dwelling units. The change

will not affect zoning compliance as there is no density limit in the C-2 zone.

There are some differences between the submitted plan and the plan approved at the preliminary plan stage. These include re-orienting the building entrance to West Fountain Street instead of Whitaker Street and pulling back a portion of the façade to accommodate a transformer. The change in the building envelope is approximately 3%. Some minor cosmetic changes like different articulation of materials and inclusion of more lap siding instead of paneling on the façade can also be observed. Lightwells have been installed on the side setback for the benefit of the basement units. They do not exceed the permitted 4' encroachment into the side yard.

Most of the units are one bedroom units with some two bedroom units included. The main building entrance to the lobby is located at the corner of West Fountain and Whitaker Street. Bike storage is provided in the basement and trash collection is provided on the first floor.

The building is set to the north, east and south lot lines with a

ten foot side setback maintained to separate the building from the R-3 zone to the west. Residential buildings in the C-2 zone are exempt from providing transparency on the first floor, but the amount of transparency provided on the lobby and first floor windows exceeds 20 percent on the first floor. Based on elevations provided, the building will conform to the design regulations of the C-2 zone. The façade is composed of permitted building materials like fiber cement paneling, metal paneling and brick. The main entrance is oriented toward West Fountain Street with a first floor height of 11 feet.

Encroachment permits for the first floor roof canopy and the building footings which will extend under the sidewalk were submitted with the final plan.

Parking is not required as the lot measures less than 10,000 SF in the C-2 zone.

A stormwater management plan is not required as the site is completely paved. The engineer required that a sediment and erosion control plan be submitted. The erosion control plan, which was submitted with the final plan, will employ a silt sock during construction.

Landscaping

The development measures approximately 8,500 SF requiring approximately 1,275 SF of canopy coverage. The applicant will meet this requirement by planting two medium size trees on West Fountain Street. Per the City Forester's requirement, the plantings shall be made in tree pits with an area of at least 4' x 6'.

FINDINGS

Section 806 of the Commission's *Development Review Regulations* requires that the City Plan Commission make the following findings as part of their approval of all land development project applications. Based on the analysis contained herein and subject to the conditions contained in this report, staff has prepared the following findings regarding the request for approval of the major change:

1. *Consistency—The proposed development is consistent with the Comprehensive Plan and/or has satisfactorily addressed the issues where there may be inconsistencies.*

The subject property is located in an area that the future land use map of Providence Tomorrow: The Comprehensive Plan designates for Neighborhood Commercial/Mixed Use development, where housing is an encouraged use.

Provision of housing would conform to objective H-2 of the plan which encourages creation of new housing in the City.

2. *Compliance with Zoning Ordinance—The proposed development is in compliance with the standards and provisions of the Zoning Ordinance.*

Use: The property is zoned C-2 which permits multifamily development by right.

Dimension: The development conforms to the dimensional and design requirements of the C-2 zone.

Parking: No parking is required as the site is less than 10,000 SF.

Landscaping: The applicant will meet the landscaping requirement based on provided plans.

3. *Environmental Impact—There will be no significant environmental impacts from the proposed development as shown on the final plan, with all required conditions for approval.*

A stormwater management plan is not required and an erosion control plan was submitted with the final plan. No negative environmental impacts are expected as the applicant is expected to come into conformance with all applicable environmental regulations.

4. *Buildable Lot—The subdivision or development project, as proposed, will not result in the creation of individual lots with such physical constraints to development that building on those lots according to pertinent regulations and building standards would be impracticable.*

The applicant has received an encroachment permit for the building footings and roof canopy. There are no physical constraints that impact development of this property as it will conform to the dimensional requirements of the zoning ordinance upon subdivision.

5. *Street Access—All proposed development projects and all subdivision lots shall have adequate and permanent physical access to a public street. Lot frontage on a public street without physical access shall not be considered compliance with this requirement.*

Adequate vehicular and pedestrian access is provided from West Fountain Street.

RECOMMENDATION

Based on the foregoing discussion, the CPC should vote to approve the major change to the plan subject to the following conditions:

Final approval of the change should be delegated to DPD staff.


THESE DRAWINGS ARE FOR THE CONSTRUCTION OF THE PROJECT LISTED ABOVE AND ARE NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF ZDS, INC.
THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS BUT SHALL VERIFY ALL THE SITE ALL LEVELS AND MEASUREMENTS NECESSARY FOR COMPLETE FABRICATION, ASSEMBLY AND INSTALLATION OF THE WORK.
MINOR DETAILS OF THE WORK NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE ASCERTAINED BY THE CONTRACTOR AT THE SITE OF THE WORK, AND SHALL BE ACCOMPLISHED WITH THE INTENT OF THIS PROJECT.




WEST FOUNTAIN ST APARTMENTS

468 WEST FOUNTAIN ST

CLIENT:
FEDERAL HILL PARTNERS
536 ATWELLS AVE,
PROVIDENCE RI 02909

ARCHITECTURE AND INTERIORS:
ZDS inc.

86 WEYBOSSET ST, SUITE 302
PROVIDENCE, RI 02903
+1.401.680.6699
www.z-ds.com

STRUCTURAL ENGINEER:
STRUCTURES ENGINEERING AND
DESIGN, LLC

23 BURRILL ROAD
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www.structures-llc.com

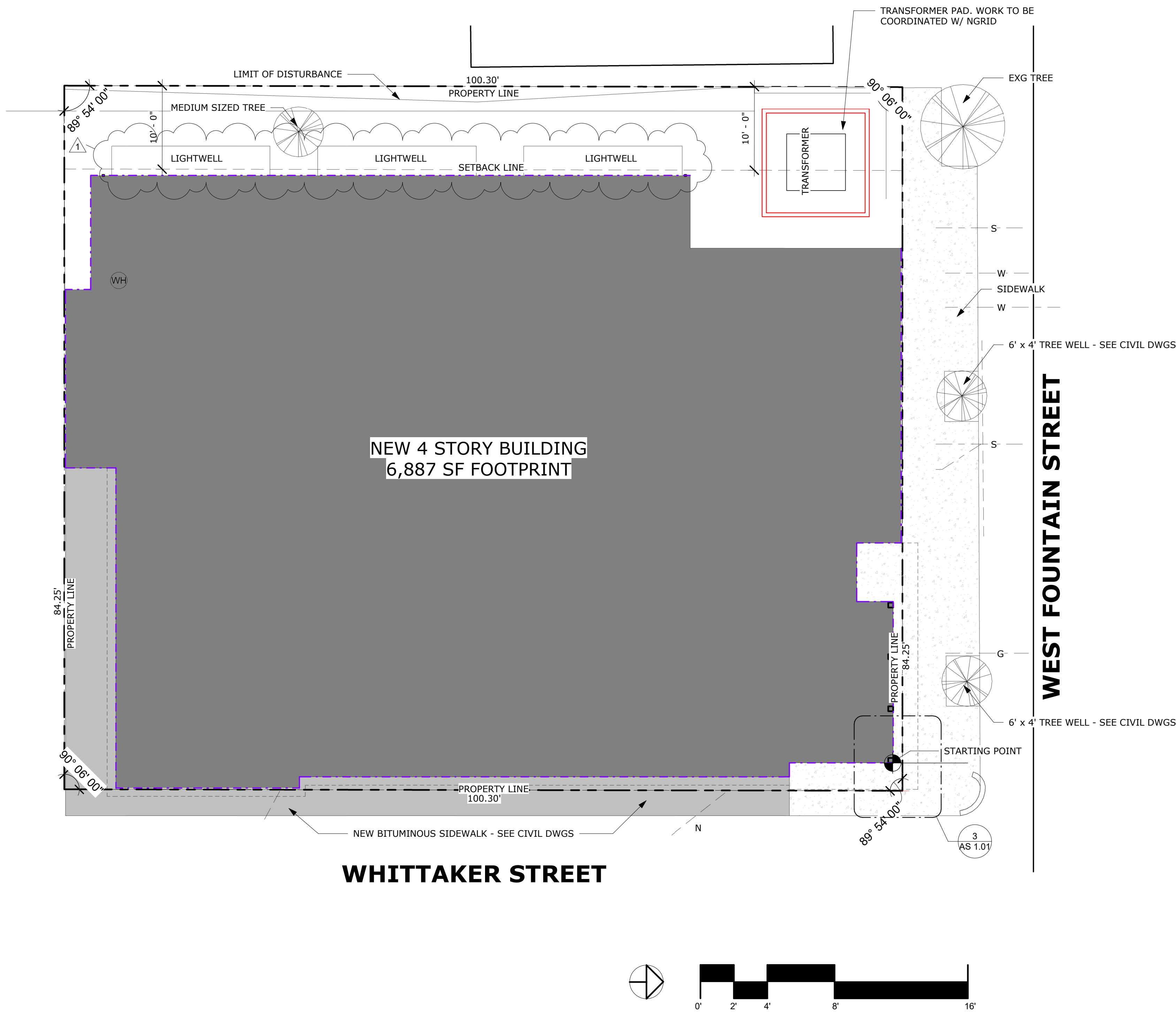
CIVIL ENGINEER & LANDSCAPE ARCHITECT:

ELECTRICAL ENGINEERS:
CREATIVE ENVIRONMENT
CORP

195 FRANCES AVE BLDG #2
CRANSTON, RI 02910
+401.438.7733
www.cec-engineering.com

ISSUED FOR CONSTRUCTION

2/11/2020

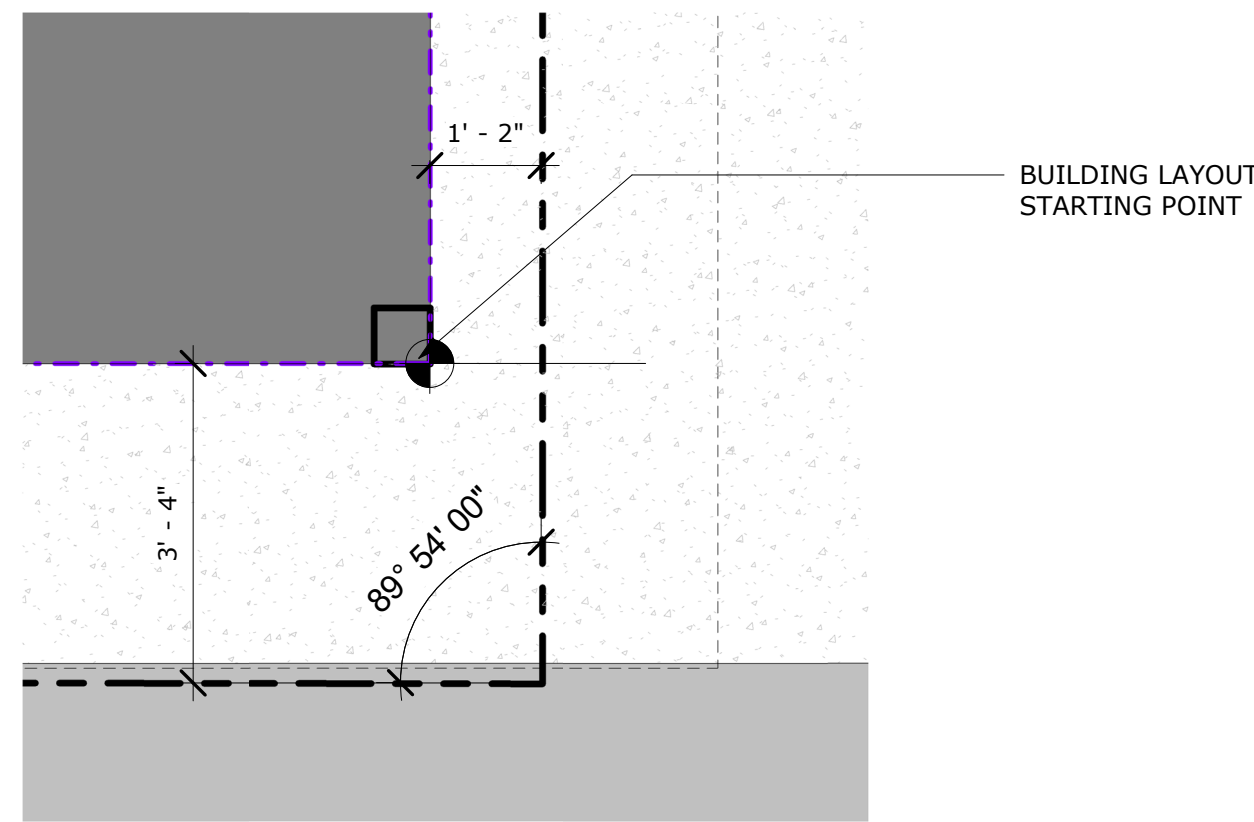


2 ARCHITECTURAL SITE PLAN
1/8" = 1'-0"

ZONING INFORMATION

- ZONING DISTRICT C-2
 - MULTI-FAMILY DWELLING IS PERMITTED
 - MINIMUM LOT AREA - NONE
 - MINIMUM LOT FRONTAGE - NONE
 - MINIMUM SETBACK:
 - FRONT - BUILD TO ZONE OF 0' -5' - 60% OF THE LOT LINE
 - CORNER - BUILD TO ZONE OF 0' -5' - 40% OF THE LOT LINE
 - SIDE NONE, UNLESS ABUTTING A RESIDENTIAL DISTRICT, THEN 10'
 - REAR NONE, UNLESS ABUTTING A RESIDENTIAL DISTRICT, THEN 20'
 - MAXIMUM BUILDING & IMPERVIOUS SURFACE COVERAGE - NONE
 - MAXIMUM BUILDING HEIGHT- 50' NOT TO EXCEED 4 STORIES
 - MINIMUM FIRST STORY HEIGHT - 9' RES, 11' NON-RES USE
 - MINIMUM BUILDING HEIGHT - 16'
 - NO PARKING REQUIREMENT WITH A LOT LESS THEN 10,000 SQ FT
 - REQUIRED TREE CANOPY
 - 15% OF THE LOT SQUARE FOOTAGE
 - $8,456 \text{ SF} \times 15\% = 1,268.4 \text{ SF}$
 - 2 SMALL, AND 1 MEDIUM SIZED TREES
- TOTAL LOT AREA - 8,456 SQ FT
- BUILDING FOOTPRINT - 6,946 SQ FT
- DESIGN STANDARDS
 - 503.3.a - MULTI-FAMILY DWELLINGS ARE NOT SUBJECT TO GROUND FLOOR TRANSPARENCY MINIMUM.
 - 503.3.c - WINDOWS ON THE GROUND FLOOR ARE NOT SUBJECT TO THE 2' MAX SILL HEIGHT OFF OF GRADE.

ACCESSIBILITY - ALL UNITS TO MEET TYPE "B". (1) UNIT TO MEET TYPE "A"



3 SITE LOCATION PLAN
1/2" = 1'-0"

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www.z-ds.com



CONSULTANTS

PROJECT NAME
**WEST
FOUNTAIN ST
APARTMENTS**

PROJECT NO. 1973
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REVISIONS		
NO	DATE	DESCRIPTION
1	07/29/20	EGRESS WINDOW/BASEMENT UNITS

**ISSUED FOR
CONSTRUCTION**

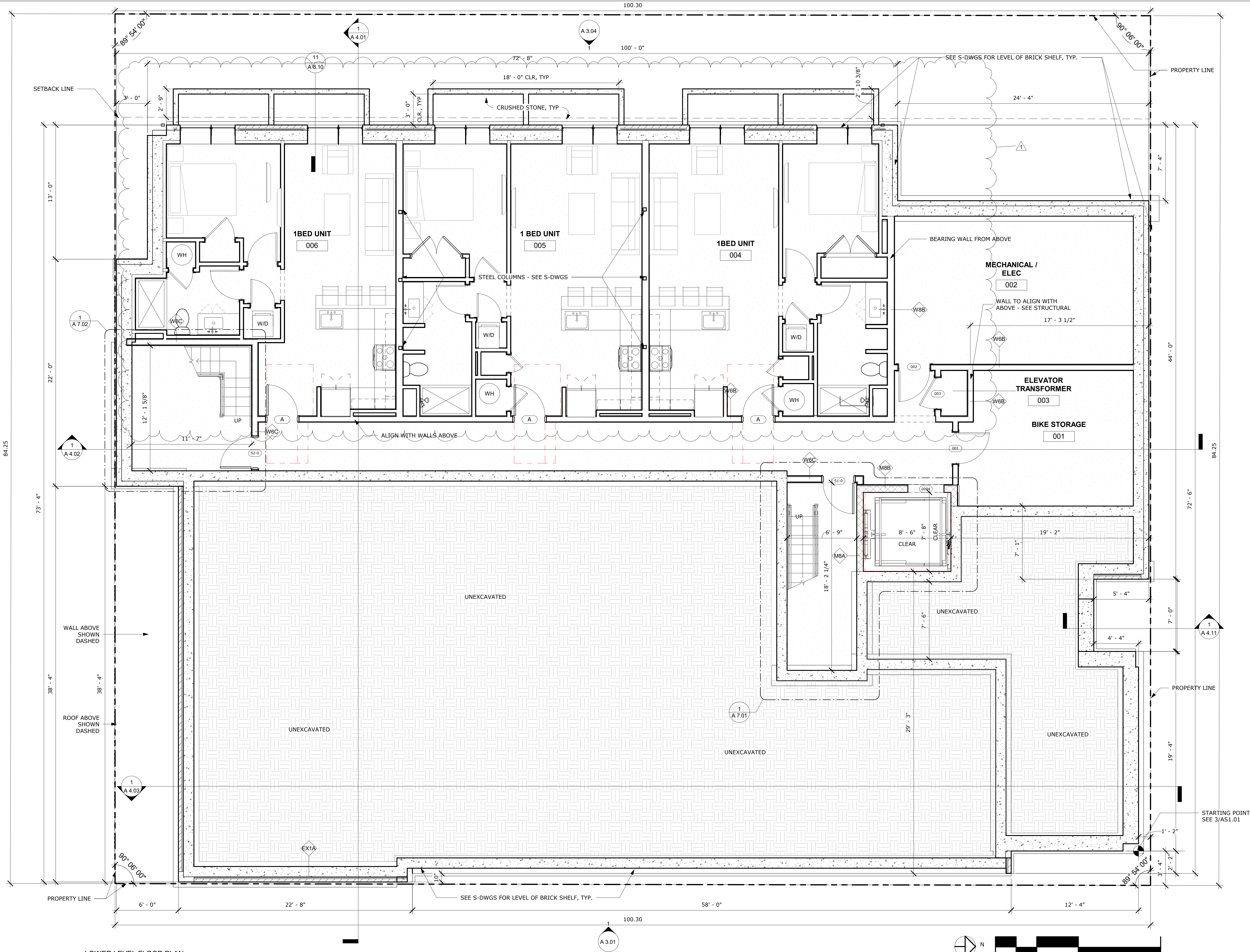
ISSUED DATE: 2/11/2020

SHEET TITLE
**ARCHITECTURAL
SITE PLAN**

DRAWING NO.

AS 1.01

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CLIENT

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STAMP

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CONSTRUCTION

ISSUED DATE:

2/11/2020

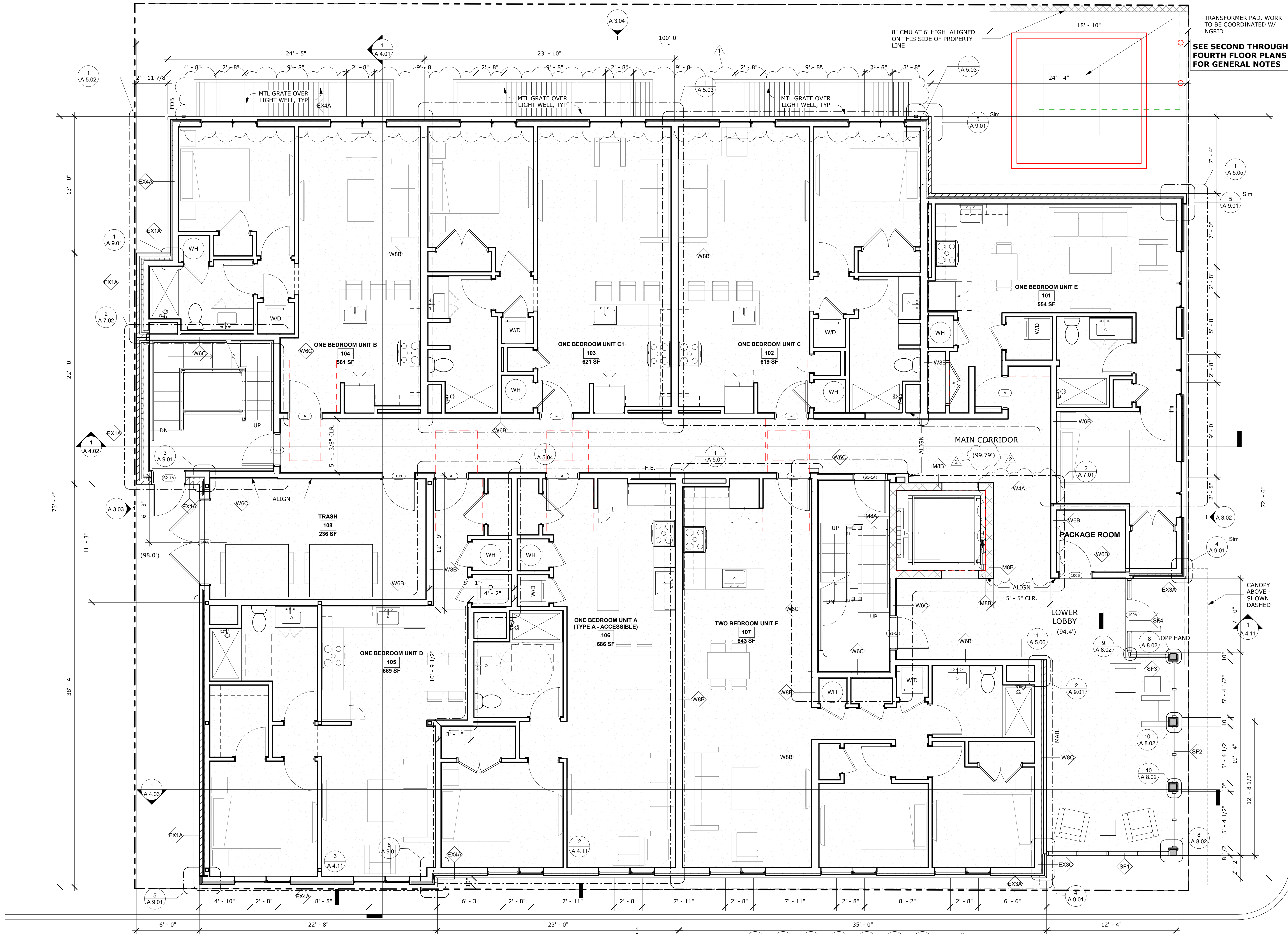
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LOWER LEVEL
FLOOR PLAN

DRAWING NO.

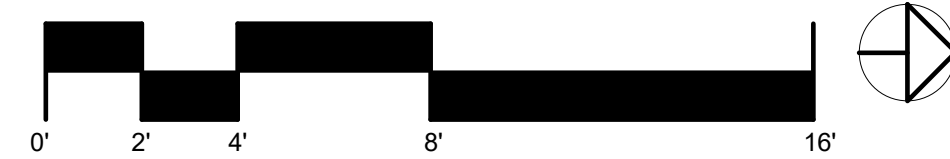
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1 FIRST FLOOR PLAN
1/4" = 1'-0"

WINDOW SIZE & LOCATIONS ADJUSTED TO COMPLY WITH
EGRESS REQUIREMENTS, TYP @ ALL FLOORS.



CLIENT

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REVISIONS

NO	DATE	DESCRIPTION
1	07/29/20	EGRESS WINDOW/BASEMENT UNITS
2	09/08/20	LEVELS

**ISSUED FOR
CONSTRUCTION**

ISSUED DATE: 2/11/2020

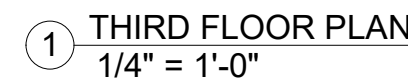
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**FIRST FLOOR
PLAN**

DRAWING NO.

A 1.01

1 SECOND FLOOR PLAN
1/4" = 1'-0"

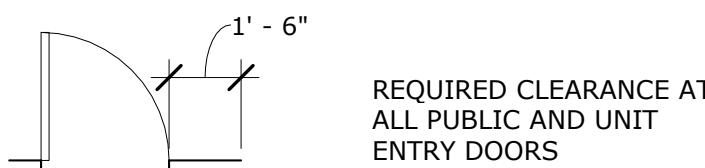


NOTE: SEE FIRST FLOOR PLAN FOR ALL WINDOW LOCATIONS U.N.O

PLAN NOTES:

1. ANY CONFLICT BETWEEN SITE CONDITIONS & DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
2. SEE WALL TYPE PAGE FOR WALL CONSTRUCTION
3. ALL D.D. FRAMES SHALL BE AT FLOOR NEXT TO PERPENDICULAR PARTITION OR CENTERED ON SPACE U.O.N.
4. REVIEW LAYOUTS FOR PARTITIONS IN-FIELD w/ ARCHITECT PRIOR TO THE START OF CONSTRUCTION
5. ALL EXPOSED STEEL TO BE AESS - GRADE 1
6. REFER TO ENLARGED PLANS FOR ADDITIONAL INFORMATION, DIMENSIONS, ETC.
7. ALL PENETRATIONS INTO OR TO BE SEALED TO MAINTAIN FIRE & ACOUSTICAL RATING.
8. CONTRACTOR IS RESPONSIBLE FOR PROVIDING IN WALL BLOCKING AT ALL AREAS OF NEW WALL-MOUNTED FIXTURES/FURNISHINGS/EQUIPMENT, INCLUDING BUT NOT LIMITED TO CABINetry, MILLIKYRK & PLUMBING FIXTURES.
9. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ACCESS PANELS IN HARD CEILINGS FOR MECHANICAL EQUIPMENT WHEREVER VALVES, CONTROLS, OR ACCESS IS REQUIRED. PAINT PANELS TO MATCH WALL/CEILING (TYP).
10. DIMENSIONS
- A. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DIMENSIONS IN FIELD
- B. DRAWINGS ARE NOT TO BE SCALED; VERIFY ANY MISSING OR CONFLICTING DRAWN DIMENSIONS w/ ARCHITECT PRIOR TO CONSTRUCTION.
- C. NOTIFY ARCHITECT OF CONDITIONS WHERE "CLEAR" OR CRITICAL DIMENSIONS ARE DESIGNATED BUT CANNOT BE MET OR WHERE CORRIDOR/AISLE WIDTH CANNOT MEET MINIMUM REQUIREMENTS.
- D. MAINTAIN FINISH FLOOR BASE ELEVATION THROUGHOUT THE CONTRACT AREA SUCH THAT ALL DIMENSIONS INDICATED AS "ABOVE FINISH FLOOR" ARE AT THE SAME ELEVATION.
- E. ALL DIMENSIONS OF FIXTURES, DEVICES, ETC. SHALL BE TO C/L OF ITEM UNLESS OTHERWISE IN LINE, CENTERLINE OF ITEMS OR GROUPS OF ITEMS ARE TO ALIGN U.O.N.
11. MEP+FP WORK TO BE DESIGN/BUILD:
- A. MECHANICAL - SEE OWNER FOR DIRECTION, CONTRACTOR TO INSTALL.
- B. ELECTRICAL - REFER TO PLANS/RCPs FOR LIGHTING LOCATION, ELECTRICAL CONNECTIONS AS WELL AS OUTLETS AND SWITCHES TO BE COORDINATED & APPROVED BY OWNER/ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR TO PROVIDE SUBMITTALS FOR ALL PRODUCTS/LAYOUTS FOR REVIEW & APPROVAL.
- C. FIRE ALARM - PER CODE, THE BUILDING SHALL BE PROTECTED w/ AUTOMATIC FIRE DETECTION & NOTIFICATION SYSTEM. CONTRACTOR SHALL PROVIDE SUBMITTALS FOR ALL PRODUCTS/LAYOUTS FOR REVIEW & APPROVAL.
- D. PLUMBING - REFER TO PLANS & SCOPE OF WORK FOR FIXTURES, LOCATIONS, ETC. CONTRACTOR SHALL PROVIDE INTRINSICALLY SAFE WATER & SANITARY PIPING DRAWINGS FOR REVIEW & APPROVAL. CONTRACTOR TO PROVIDE SUBMITTALS FOR ALL PRODUCTS FOR REVIEW & APPROVAL.
- E. FIRE PROTECTION - BUILDING SHALL BE PROTECTED BY AUTOMATIC SPRINKLER SYSTEM(S). CONTRACTOR SHALL BE RESPONSIBLE FOR ANY LAYOUT MODIFICATIONS DUE TO RENOVATION AS WELL AS SEEKING APPROVAL FROM LOCAL AHJ FOR COMPLETION OF WORK.

PLAN LEGEND:



CLIENT

FEDERAL HILL PARTNERS
536 ATWELLS AVE,
PROVIDENCE RI 02909

ARCHITECT



STAMP



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REVISIONS

[illegible]

ISSUED FOR
CONSTRUCTION

ISSUED DATE: 2/11/2020

SHEET TITLE

THIRD FLOOR PLAN

DRAWING NO.

A 1.03

