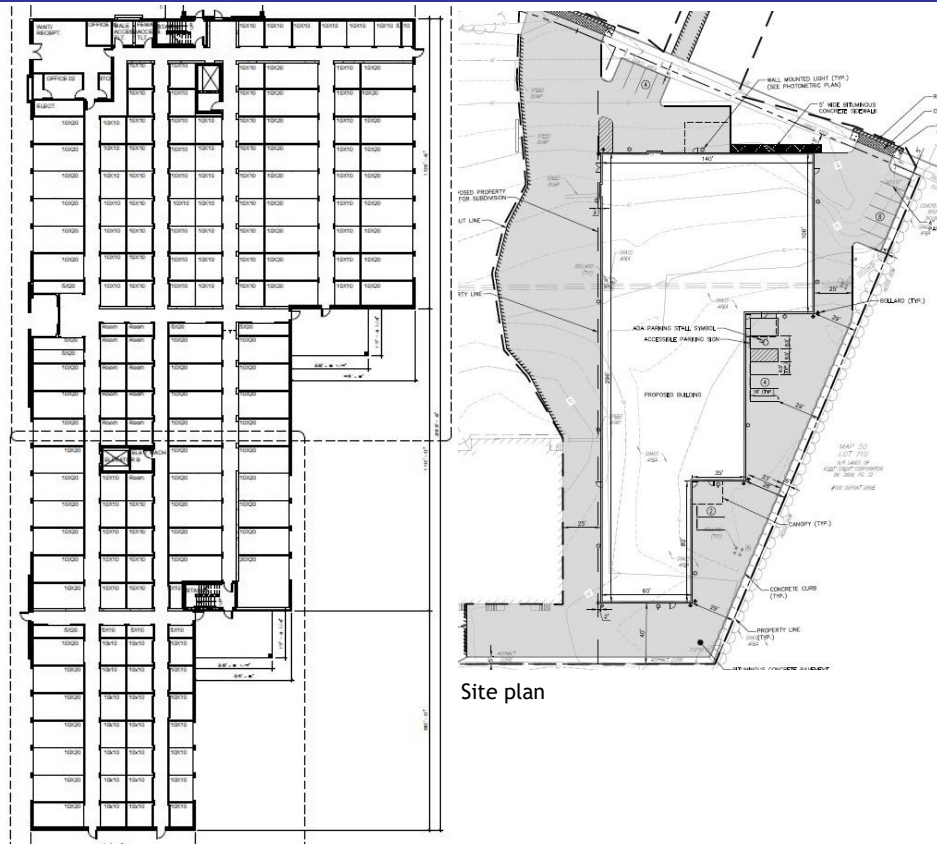


Providence City Plan Commission

December 15, 2020



AGENDA ITEM 6 ■ 100 NIANTIC AVE



Site plan



Aerial view of the site

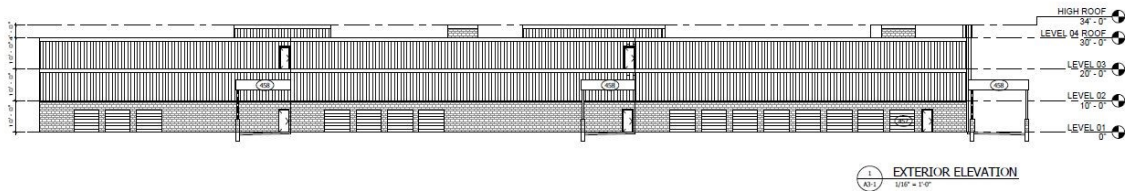
Floor plans

OVERVIEW

OWNER/ APPLICANT:	True Storage LLC, Applicant JLJ Realty, Owner	PROJECT DESCRIPTION:	The applicant is requesting to combine master and preliminary plan approval to construct a three-story 605 unit self-storage facility with associated site improvements, utilities and parking. The applicant is also requesting a waiver from submission of all state approvals at the preliminary plan stage.
CASE NO./ PROJECT TYPE:	20-044 MA Preliminary Plan	RECOMMENDATION:	Approval of the Master and Preliminary Plan subject to the noted findings and conditions
PROJECT LOCATION:	100 Niantic Ave M-1 zoning district	PROJECT PLANNER:	Choyon Manjrekar
NEIGHBORHOOD:	Reservoir		



Rendering of the building



Building elevations

PROJECT OVERVIEW

The applicant is proposing to construct a three story, 30' tall self-storage building with 605 units and associated site improvements, utilities, and stormwater management. The site is zoned M-1 and the applicant is requesting a waiver from submission of all state approvals at the preliminary plan stage. The applicant is requesting to combine master and preliminary plan approval.

ANALYSIS AND IDENTIFICATION OF POTENTIAL ISSUES

Use

The subject lot is zoned M-1, where self-storage facilities are permitted by right.

Dimensions and site design

The subject lot has frontage on Niantic Ave and Dupont Drive and measures approximately 284,265 SF (6.52

acres), which the applicant is proposing to subdivide into two lots of 228,839 SF and 55,426 SF. An existing building will be situated on the larger lot and the proposed storage space facility will be located on the smaller lot which will front on, and have access from Dupont Drive. The building is set back from Dupont Drive, but it will conform to the dimensional requirements of the M-1 zone which does not have any setback requirements.

Elevations provided show views of the building from all frontages. The building's exterior will be composed of ribbed metal panels, cementitious fiber panels and EIFS, with some fenestration provided on all levels.

With a proposed height of approximately 30 feet, the building's height will be within the 75 foot height limit of the zone. Based on floor plans, an office and restrooms will be located on the first floor with units of varying sizes in the rest of the buildings. Fifteen of the units on the first floor will be drive-in units providing

direct access to vehicles.

Twelve parking spaces are required to meet the parking requirement of one space per 50 units. The applicant will meet the requirement by providing 14 spaces around the development.

Landscaping

With an area of approximately 55,000 SF, approximately 8,500 SF of canopy coverage is required. Based on the landscaping plan, the applicant intends to meet the requirement by making plantings along the eastern perimeter and adjacent to parking areas. A total of 16 medium and large trees providing close to 14,000 SF of canopy coverage are proposed, which will meet the canopy coverage requirement.

Lighting

Thirteen wall packs on the building's façade will be used to illuminate the site. A photometric plan has been submitted, which shows that light transmittance will not exceed one footcandle at the lot lines. The light fixtures are cut off and downward facing, which will limit glare. Based on the plans provided, the applicant will conform to the ordinance's requirements for site lighting.

Environmental management

The applicant has submitted a stormwater management plan, an erosion control plan during construction and a site maintenance plan. The drainage system will employ a deep-sump, hooded catch basins, pre-treatment, and two subsurface infiltration systems, which per the plan will reduce runoff for 1-100 year events.

Straw wattle and siltsack sediment traps will be used for erosion and sediment control, with the condition of the site monitored daily during construction. A schedule for inspection and maintenance of the stormwater system is also included.

Waiver from submission of state approvals

The applicant has requested a waiver from submission of all state approvals at the preliminary plan stage. The applicant is specifically seeking a waiver from the Rhode Island Department of Environmental Management (RIDEM) Office of Water Resources for a Stormwater Construction Permit and a Groundwater Discharge Permit for the infiltration of stormwater. The applications have been submitted and the applicant is awaiting approval. The CPC should grant the waiver finding that it would be in the interest of good planning practice as the approval times from state bodies may vary, more so, given current conditions. The waiver would allow the development process to proceed as the approval is being processed. The waiver should be granted subject to the condition that the applicant submit all approvals at the final plan stage. The applicant shall return to the CPC if the approval results in a change to the plan. These conditions would ensure that granting of the waiver is consistent with the comprehensive plan and zoning ordinance.

Combination of stages

The applicant is requesting to combine master and preliminary plan stages of approval. The DPD recommends that the CPC combine approval of both stages as the applicant meets the submission requirements for both stages. A waiver from submission of state approvals has been requested but as discussed, granting that waiver would be in the interest of good planning practice.

FINDINGS

Section 806 of the Commission's *Development Review Regulations* requires that the City Plan Commission make the following findings as part of their approval of all land development project applications. Based on the analysis contained herein and subject to the conditions contained in this report, staff has prepared the following findings

regarding the request for approval of the Master/Preliminary Plan stage:

1. *Consistency—The proposed development is consistent with the Comprehensive Plan and/or has satisfactorily addressed the issues where there may be inconsistencies.*

The subject property is located in an area that the future land use map of Providence Tomorrow: The Comprehensive Plan intends for Business/Mixed Use development. The plan describes this area as one intended to foster the development of business and commercial uses into former manufacturing, and industrial areas. The development would conform to this description and be in conformance with objective BJ-1 of the comprehensive plan which encourages efforts towards attracting and retaining new businesses within the City.

2. *Compliance with Zoning Ordinance—The proposed development is in compliance with the standards and provisions of the Zoning Ordinance.*

Use: The proposed self storage use is permitted by right in the M-1 zone.

Dimension: The building dimensions and site design will conform to the requirements of the M-1 zone.

Parking: The applicant will meet the parking requirement.

Landscaping: The applicant will conform to the landscaping requirement based on the submitted plan.

Lighting: The applicant has submitted a lighting plan that conforms to the ordinance.

3. *Environmental Impact—There will be no significant environmental impacts from the proposed development as shown on the final plan, with all required conditions for approval.*

The applicant has requested a waiver from submission of all state approvals at this stage. The CPC should grant the waiver, finding that it would be in the interest of good planning practice.

No negative environmental impacts are expected as the applicant is expected to come into conformance with applicable environmental regulations.

4. *Buildable Lot—The subdivision or development project, as proposed, will not result in the creation of individual lots with such physical constraints to development that building on those lots according to pertinent regulations and building standards would be impracticable.*

The applicant has applied for a minor subdivision to create a lot for the development, which will conform to the dimensional requirements of the zone. There are no physical constraints that impact development of this property, as the development will comply with the dimensional requirements of the M-1 zone.

5. *Street Access—All proposed development projects and all subdivision lots shall have adequate and permanent physical access to a public street. Lot frontage on a public street without physical access shall not be considered compliance with this requirement.*

Adequate vehicular and pedestrian access is provided from Niantic Ave and Dupont Drive.

RECOMMENDATION

Waivers

- The CPC should grant the waiver from submission of all state approvals at the preliminary plan stage, finding that it is in the interest of good planning practice. The waiver should be granted subject to the condition that the applicant submit all required approvals with the final plan. The applicant shall return to the CPC for final plan approval if the approvals result in a change to the submitted plan.

Approval

- The CPC should vote to approve the master and preliminary plans. The approval should be granted subject to the following condition:

Final plan approval should be delegated to DPD staff.

SELF STORAGE FACILITY

100 NIANTIC AVENUE · PROVIDENCE · RHODE ISLAND

NOVEMBER 17, 2020

PREPARED FOR

**TRUE STORAGE
DUPONT, LLC.**

670 N. COMMERCIAL STREET
MANCHESTER, N.H. 03101

PREPARED BY

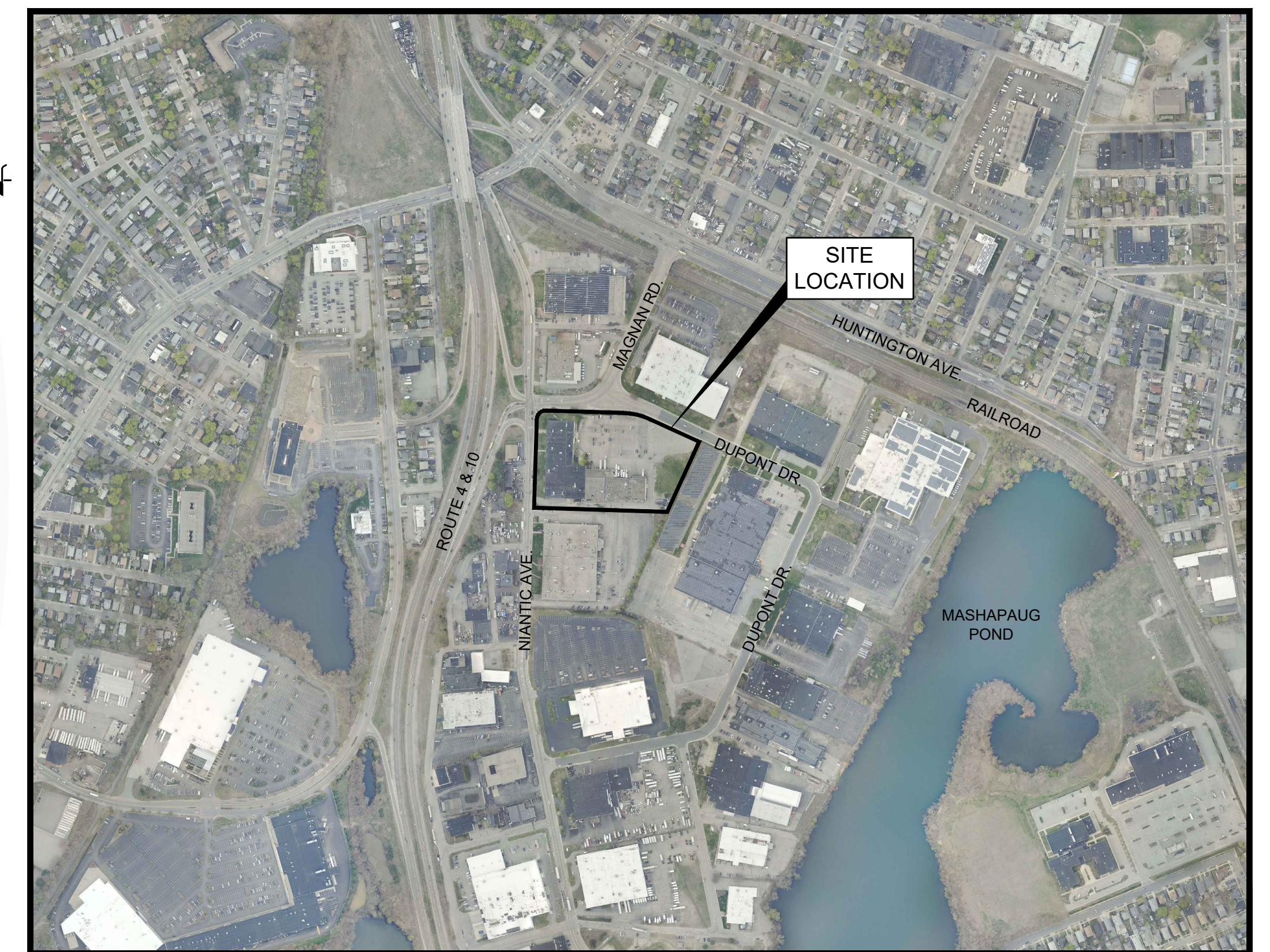


FUSS & O'NEILL

317 IRON HORSE WAY, SUITE 204
PROVIDENCE, RI 02908
401.861.3070
www.fando.com

SHEET INDEX

<u>SHEET No.</u>	<u>SHEET TITLE</u>
GI-001	COVER SHEET
CN-001	GENERAL NOTES AND LEGEND
CN-002	SUBDIVISION PLAN
	EXISTING CONDITIONS PLAN
CI-100	CONTEXT MAP
CP-101	DEMOLITION PLAN
CE-101	EROSION AND SEDIMENTATION CONTROL PLAN
CS-101	SITE PLAN
CG-101	GRADING AND DRAINAGE PLAN
CU-101	UTILITY PLAN
LP-101	PLANTING PLAN
CD-501-505	DETAILS
A1-1	LEVELS 01 & 02 OVERALL FLOOR PLANS
A1-2	LEVELS 03 OVERALL FLOOR PLAN & 04 OVERALL ROOF PLAN
A3-1	OVERALL EXTERIOR ELEVATIONS
SHEET 1 OF 1	PERSPECTIVE PLAN
SHEET 1 OF 1	PHOTOMETRIC PLAN



LOCATION MAP

SCALE: 1" = 500'

File Path: \\private\DFS\CadProj\DWG\20130712B10_COV01.dwg, Layout: GI-001, Plotted: Tuesday, November 17, 2020, User: khimodee, Plotter: DWG TO PDF.PC3, CTB File: FO.STB

PROJ. No.: 20130712B10
DATE: 11/17/2020

GI-001

LEGEND table with columns EXIST and PROP. Lists symbols for PROPERTY LINE, EASEMENT, EDGES OF PAVEMENT, COMPOST FILTER SOCK, TREE LINE, SHRUB LINE, MINOR CONTOUR, MAJOR CONTOUR, BUILDING, BOLLARD, SIGN, DOUBLE SIGN, PARKING METER, PARKING COUNT, ASPHALT WALK, NORMAL PAVEMENT, HEAVY DUTY PAVEMENT, ADA PARKING STALL SYMBOL, and CONTROL POINT.

LEGEND table with columns EXIST and PROP. Lists symbols for TOP & BOTTOM ELEVATION, SPOT ELEVATION, SOIL BORING, MONITORING WELL, TEST PIT LOCATION, IRON PIPE, DRILL HOLE, MONUMENT, MAIL BOX, and TELEPHONE MANHOLE.

LEGEND NOTE table with columns EXIST and PROP. Lists symbols for DRAINAGE LINE, SEWER LINE, OVERHEAD ELECTRIC, WATER LINE, GAS LINE, UNDERGROUND ELECTRIC, and TELEPHONE LINE.

ABBREVIATIONS table with columns GENERAL APPROX, EXIST, PROP, and TYP. Lists abbreviations for APPROXIMATE BITUMINOUS PAVEMENT, BOTTOM OF WALL, CONCRETE CURB, CAPE CODE BERM, ELEVATION, EXISTING GRANITE CURB, FRAME AND COVER, HYDRANT, INVERT ELEVATION, PRECAST CONCRETE CURB, PROPOSED, REMOVE AND DISPOSE, REMOVE AND RESET, REMOVE AND STACK, TOP OF SLOPE, TOP OF WALL, and TYPICAL.

GENERAL NOTES section 1. REFERENCES. Lists references to the STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2018 EDITION, REVISIONS AND ALL CURRENT ADDENDA, and the STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2015 EDITION, AND ALL CURRENT REVISIONS.

GENERAL NOTES section 2. EXISTING CONDITIONS. Lists information about SURVEY, FLOOD ZONE, UTILITIES, MATERIAL, CURBING, BITUMINOUS CONCRETE PAVEMENT, CEMENT CONCRETE SIDEWALKS, LANDSCAPE AREAS, and SIGNAGE.

GENERAL NOTES section 3. UTILITIES. Lists details for STORM DRAINAGES, SEWER, GAS AND ELECTRIC, and WATER.

GENERAL CONSTRUCTION REQUIREMENTS section. Lists requirements for site regulation, contractor preparation, discharges, and verification of layout.

GENERAL NOTES section 4. UTILITIES. Lists details for STORM DRAINAGES, SEWER, GAS AND ELECTRIC, and WATER.

GENERAL NOTES section 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INSPECTIONS, BONDS, ETC. AND OTHER APPROVAL RELATED ITEMS WITH THE LOCAL AND STATE MUNICIPALITIES.

GENERAL NOTES section 6. METHODS AND MATERIALS USED IN THE CONSTRUCTION OF IMPROVEMENTS FOR THIS PROJECT SHALL CONFORM TO THE CURRENT CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE LOCAL MUNICIPALITY AND THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION.

GENERAL NOTES section 7. DEVIATIONS OR CHANGES FROM THESE PLANS WILL NOT BE ALLOWED UNLESS APPROVED BY THE ENGINEER/OWNER.

GENERAL NOTES section 8. THE CONTRACTOR SHALL CONTACT 'DIG SAFE' AT 1-888-344-7233, 72 HOURS PRIOR, EXCLUDING WEEKENDS AND HOLIDAYS, TO ANY EXCAVATION PERFORMED ON SITE.

GENERAL NOTES section 9. THE EXISTENCE AND/OR LOCATION OF UTILITIES SHOWN ON THESE PLANS MAY BE ONLY APPROXIMATELY CORRECT. THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE ANY EXISTING UTILITIES AND NOTIFY OWNER/ENGINEER OF ANY DISCREPANCIES FROM CONTRACT DOCUMENTS.

GENERAL NOTES section 10. AN APPROVED SET OF PLANS, SIGNED SOIL EROSION AND SEDIMENT CONTROL PLAN (AKA STORMWATER POLLUTION PREVENTION PLAN), AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.

GENERAL NOTES section 11. CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

GENERAL NOTES section 12. CONTRACTOR SHALL IDENTIFY TREES TO BE REMOVED PRIOR TO CONSTRUCTION AND MARK THEM WITH CONSTRUCTION TAPE FOR REVIEW BY THE OWNER/ENGINEER. TREES AND OTHER VEGETATION SHALL BE RETAINED WHEREVER FEASIBLE.

GENERAL NOTES section 13. PROVIDE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED SITE IMPROVEMENTS.

GENERAL NOTES section 14. THE CONTRACTOR SHALL RESTORE HARDSCAPE IMPROVEMENTS WITH MATCHING MATERIALS (I.E. ANY PAVEMENT, WALKS, CURBS, ETC.) THAT MUST BE CUT OR THAT ARE DAMAGED DURING CONSTRUCTION.

SPILL PREVENTION AND RESPONSE PROCEDURE

- 1. ANY INADVERTENT OR DELIBERATE DISCHARGE OF WASTE OIL OR ANY OTHER POLLUTANT TO THE STORMWATER DISPOSAL SYSTEM (I.E. INFILTRATION BEST MANAGEMENT PRACTICES, OR CLOSED-CONDUIT DRAINAGE SYSTEM THAT DISCHARGES TO MUNICIPAL SEPARATE STORM SEWER SYSTEM OR WATER BODY) REQUIRES IMMEDIATE NOTIFICATION TO THE RIDEM OIL POLLUTION CONTROL PROGRAM AT (401) 277-2284, AS PER THE OIL POLLUTION CONTROL REGULATIONS. DURING NON-WORKING HOURS, NOTIFICATION OF SPILLS CAN BE MADE TO THE RIDEM DIVISION OF ENFORCEMENT AT (401) 222-3070 (THE 24-HOUR EMERGENCY RESPONSE PHONE NUMBER).

STORMWATER MAINTENANCE PROGRAM

- 1. OPERATION AND MAINTENANCE OF STORMWATER MANAGEMENT SYSTEM SHALL BE CONDUCTED IN ACCORDANCE WITH SITE-SPECIFIC LONG-TERM OPERATION & MAINTENANCE PLAN.

Table with columns NO., DATE, DESCRIPTION, DESIGNER, REVIEWER. Includes a stamp for Shawn M. Martin, Registered Professional Engineer (Civil).

SCALE table with columns SCALE, GRAPHIC SCALE. Includes horizontal and vertical scale information.

FUSS & O'NEILL logo and contact information: 317 IRON HORSE WAY, SUITE 204, 401.861.3070, www.fussandoneill.com

TRUE STORAGE DUPONT, LLC. GENERAL NOTES AND LEGEND. 100 NIANITIC AVENUE PROVIDENCE RHODE ISLAND

PROJ. No.: 20130712.B10 DATE: 11/17/2020

CN-001

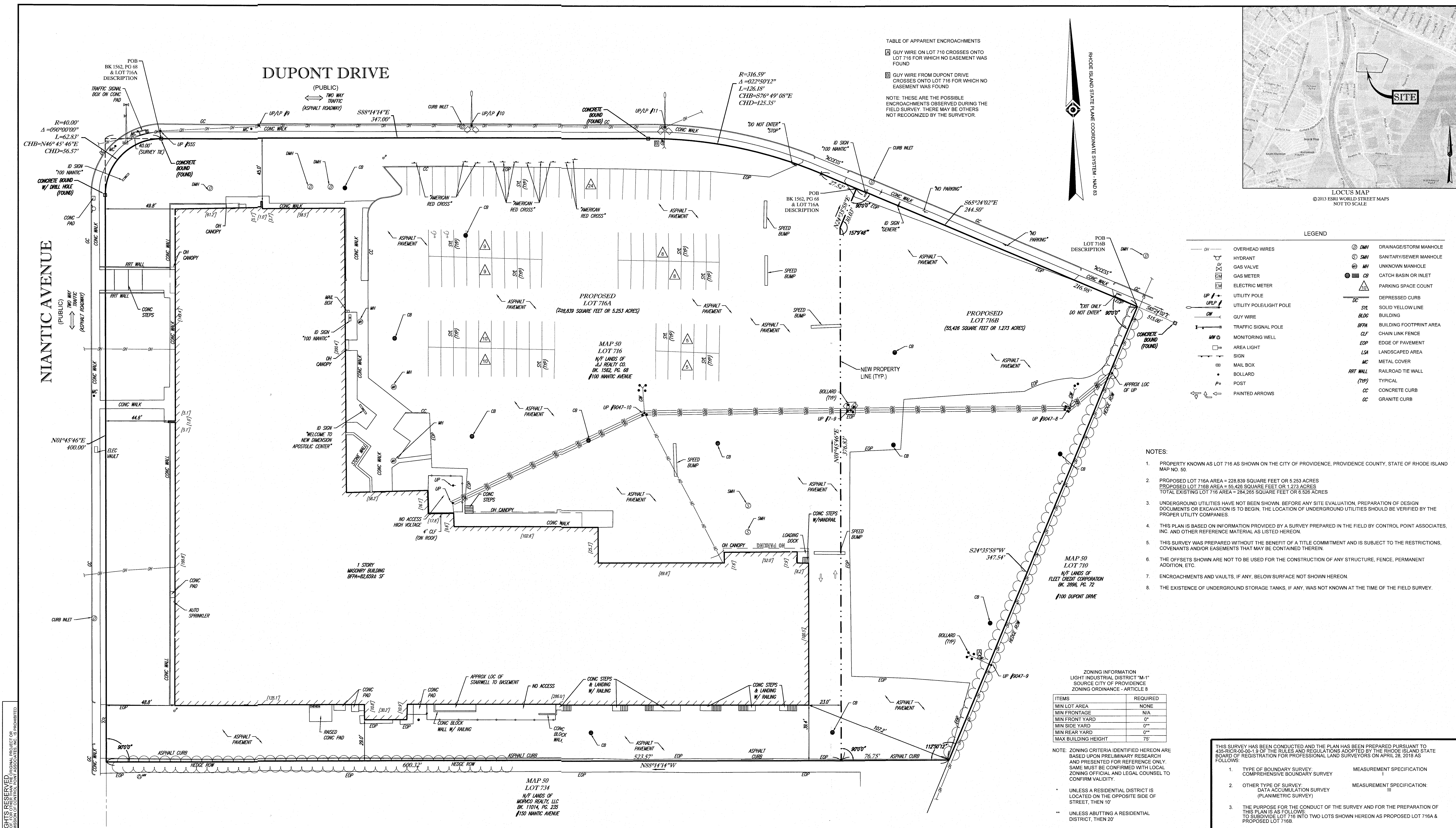
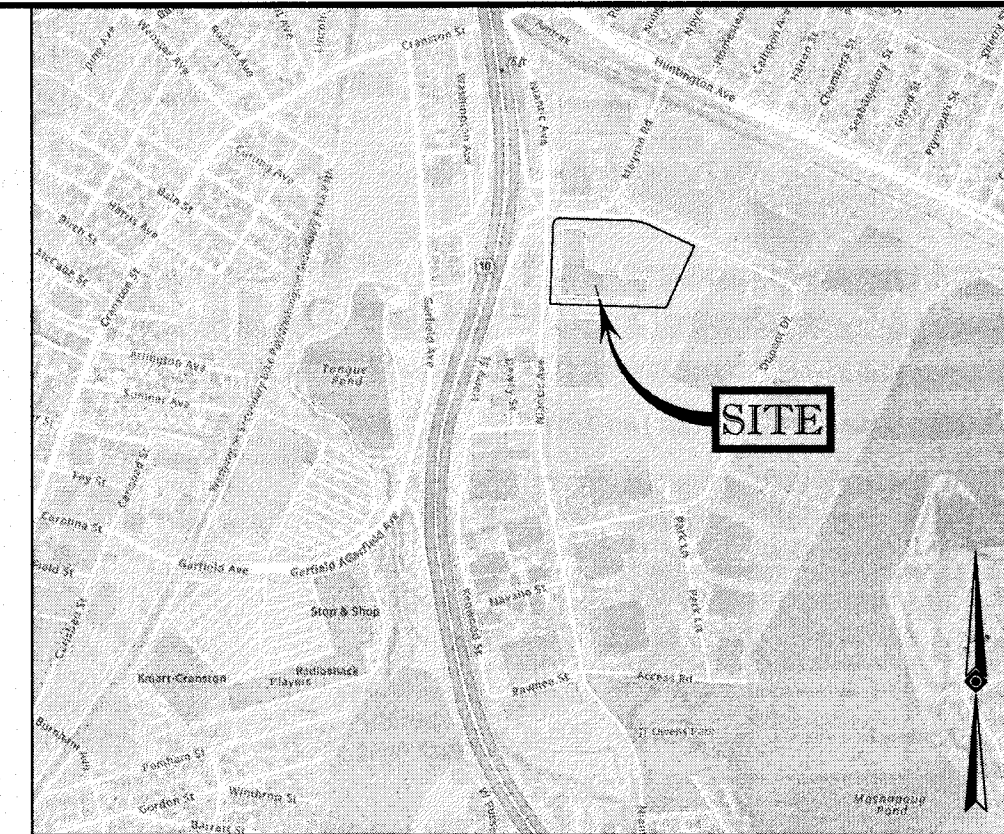


TABLE OF APPARENT ENCROACHMENTS

- GUY WIRE ON LOT 710 CROSSES ONTO LOT 716 FOR WHICH NO EASEMENT WAS FOUND
- GUY WIRE FROM DUPONT DRIVE CROSSES ONTO LOT 716 FOR WHICH NO EASEMENT WAS FOUND

NOTE: THESE ARE THE POSSIBLE ENCROACHMENTS OBSERVED DURING THE FIELD SURVEY. THERE MAY BE OTHERS NOT RECOGNIZED BY THE SURVEYOR.



LOCUS MAP
© 2013 ESKI WORLD STREET MAPS
NOT TO SCALE

LEGEND

OH	OVERHEAD WIRES	DMH	DRAINAGE/STORM MANHOLE
SMH	SANITARY/SEWER MANHOLE	SMH	SANITARY/SEWER MANHOLE
GM	GAS VALVE	UMH	UNKNOWN MANHOLE
EM	ELECTRIC METER	CB	CATCH BASIN OR INLET
UP	UTILITY POLE	PC	PARKING SPACE COUNT
ULPL	UTILITY POLE/LIGHT POLE	DC	DEPRESSED CURB
GW	GUY WIRE	SYL	SOLID YELLOW LINE
TS	TRAFFIC SIGNAL POLE	BLDG	BUILDING
MW	MONITORING WELL	BLFA	BUILDING FOOTPRINT AREA
AL	AREA LIGHT	CLF	CHAIN LINK FENCE
POST	POST	EDP	EDGE OF PAVEMENT
PAINTED ARROWS	PAINTED ARROWS	LSA	LANDSCAPED AREA
		MC	METAL COVER
		RRT WALL	RAILROAD TIE WALL
		(TYP)	TYPICAL
		CC	CONCRETE CURB
		GC	GRANITE CURB

- NOTES:**
- PROPERTY KNOWN AS LOT 716 AS SHOWN ON THE CITY OF PROVIDENCE, PROVIDENCE COUNTY, STATE OF RHODE ISLAND MAP NO. 50.
 - PROPOSED LOT 716A AREA = 228,839 SQUARE FEET OR 5.253 ACRES
PROPOSED LOT 716B AREA = 55,426 SQUARE FEET OR 1.273 ACRES
TOTAL EXISTING LOT 716 AREA = 284,265 SQUARE FEET OR 6.526 ACRES
 - UNDERGROUND UTILITIES HAVE NOT BEEN SHOWN. BEFORE ANY SITE EVALUATION, PREPARATION OF DESIGN DOCUMENTS OR EXCAVATION IS TO BEGIN, THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE PROPER UTILITY COMPANIES.
 - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
 - THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
 - ENCROACHMENTS AND VAULTS, IF ANY, BELOW SURFACE NOT SHOWN HEREON.
 - THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.

ZONING INFORMATION
LIGHT INDUSTRIAL DISTRICT "M-1"
SOURCE CITY OF PROVIDENCE
ZONING ORDINANCE - ARTICLE 8

ITEMS	REQUIRED
MIN LOT AREA	NONE
MIN FRONTAGE	N/A
MIN FRONT YARD	0'
MIN SIDE YARD	0'
MIN REAR YARD	0'
MAX BUILDING HEIGHT	75'

NOTE: ZONING CRITERIA IDENTIFIED HEREON ARE BASED UPON PRELIMINARY RESEARCH AND PRESENTED FOR REFERENCE ONLY. SAME MUST BE CONFIRMED WITH LOCAL ZONING OFFICIAL AND LEGAL COUNSEL TO CONFIRM VALIDITY.

- UNLESS A RESIDENTIAL DISTRICT IS LOCATED ON THE OPPOSITE SIDE OF STREET, THEN 10'
- UNLESS ABUTTING A RESIDENTIAL DISTRICT, THEN 20'

CITY OF PROVIDENCE
CITY PLAN COMMISSION
ADMINISTRATIVE SUBDIVISION

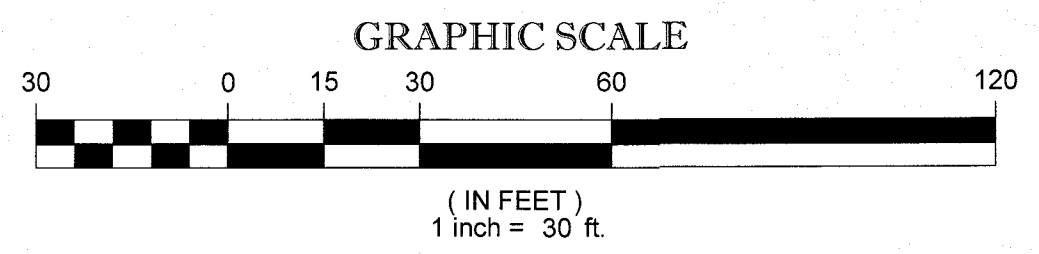
NAME: _____

CPC PROJECT # _____

APPROVED PURSUANT TO ARTICLE 3 OF THE CITY OF PROVIDENCE DEVELOPMENT REVIEW REGULATIONS, AS AMENDED, AND RIGL 45-23-37 ON _____ AND SHALL BE RECORDED AND FILED WITH THE RECORDER OF DEEDS NO LATER THAN NINETY (90) DAYS FOLLOWING THIS APPROVAL.

ADMINISTRATIVE OFFICER _____ DATE _____

- REFERENCES:**
- THE TAX ASSESSOR'S MAP OF PROVIDENCE, PROVIDENCE COUNTY, MAP 50.
 - MAP ENTITLED "BASE ZONING, CHAPTER 2014-39 NO. 513, APPROVED NOVEMBER 24, 2014, AMENDED THROUGH CHAPTER 2020-14 NO. 119, APPROVED APRIL 6, 2020," PRODUCED BY THE PROVIDENCE PLANNING AND DEVELOPMENT GIS LAB, AVAILABLE ONLINE AT THE CITY OF PROVIDENCE WEB SITE.
 - MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY FUSSELL & O'NEILL, INC. 100 NIANATIC AVENUE CITY OF PROVIDENCE, PROVIDENCE COUNTY STATE OF RHODE ISLAND", PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED, AUGUST 12, 2020, LAST REVISED, AUGUST 19, 2020.



ADMINISTRATIVE SUBDIVISION PLAN
JLJ REALTY COMPANY
100 NIANATIC AVENUE
LOT 716, MAP 50
CITY OF PROVIDENCE, PROVIDENCE COUNTY
STATE OF RHODE ISLAND

CONTROL POINT ASSOCIATES, INC.
ALBANY, NY 518-217-5010
CHALFONT, PA 215-712-9800
HARTFORD, CT 860-234-5678
MANHATTAN, NY 646-780-0411
MT LAUREL, NJ 609-857-2999
WARREN, NJ 908-666-0999

FIELD DATE: 7-28-2020
FIELD BOOK NO: 20-11 MA
FIELD BOOK PG: 17-20
FIELD CREW: B.S.B.
DRAWN: B.A.V.
REVIEWED: S.P.P.
APPROVED: J.P.L.
DATE: 11-17-2020
SCALE: 1" = 30'
FILE NO: 03-200176-00
DWG NO: 1 OF 1

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 45R-10-20-13 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON APRIL 28, 2018 AS FOLLOWS:

- TYPE OF BOUNDARY SURVEY: COMPREHENSIVE BOUNDARY SURVEY. MEASUREMENT SPECIFICATION: _____
- OTHER TYPE OF SURVEY: DATA ACCUMULATION SURVEY (PLANIMETRIC SURVEY). MEASUREMENT SPECIFICATION: III
- THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS: TO SUBDIVIDE LOT 716 INTO TWO LOTS SHOWN HEREON AS PROPOSED LOT 716A & PROPOSED LOT 716B.

A PERMETER SURVEY HAS BEEN PERFORMED AND CONFORMS TO THE CITY OF PROVIDENCE SUBDIVISION REGULATIONS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.

JOHN P. LYNCH
Nc 1325
PROFESSIONAL LAND SURVEYOR

DATE: 11-16-2020

CONTROL POINT ASSOCIATES, INC. - ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC.

DUPONT DRIVE

NIANTIC AVENUE

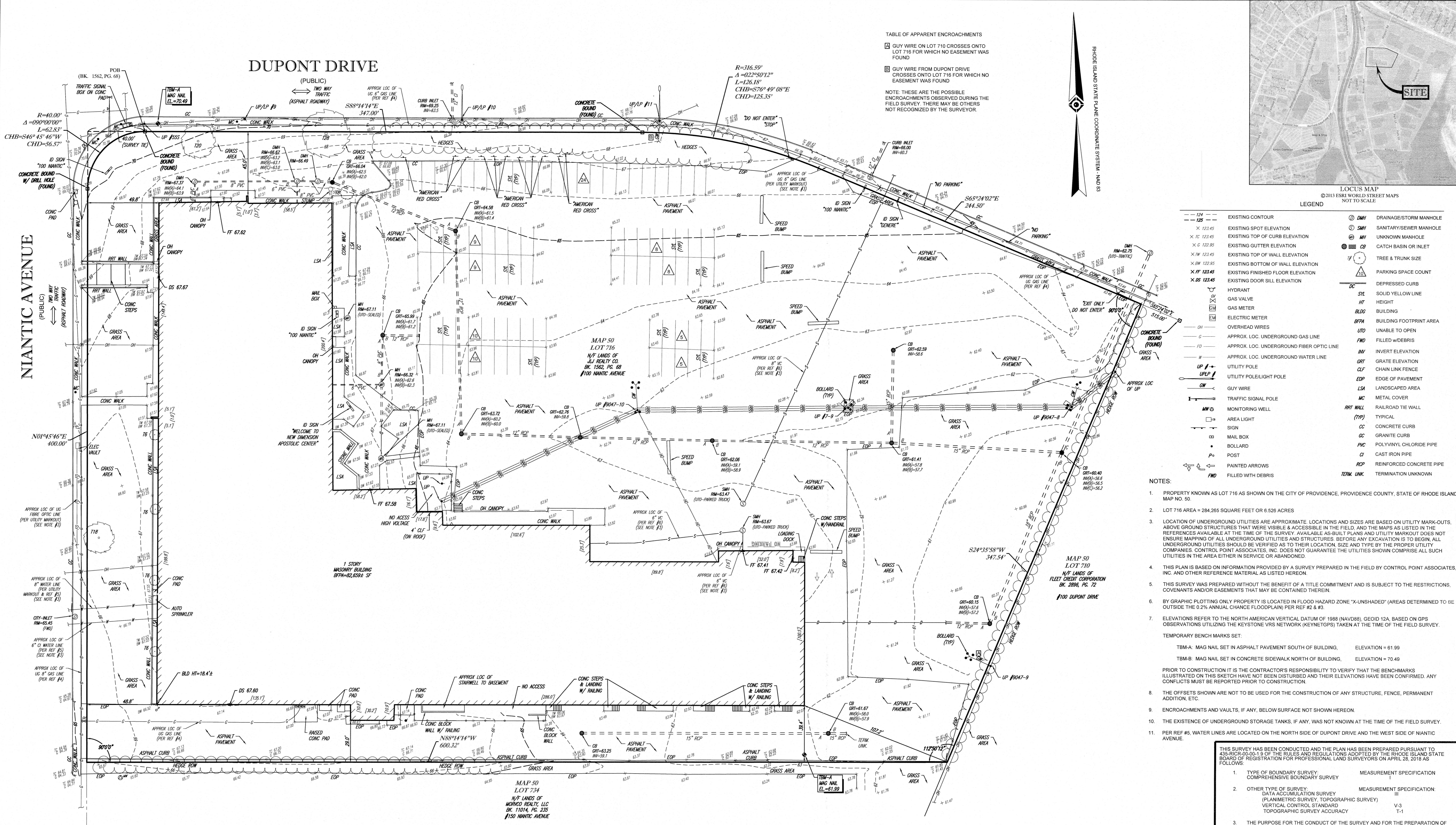
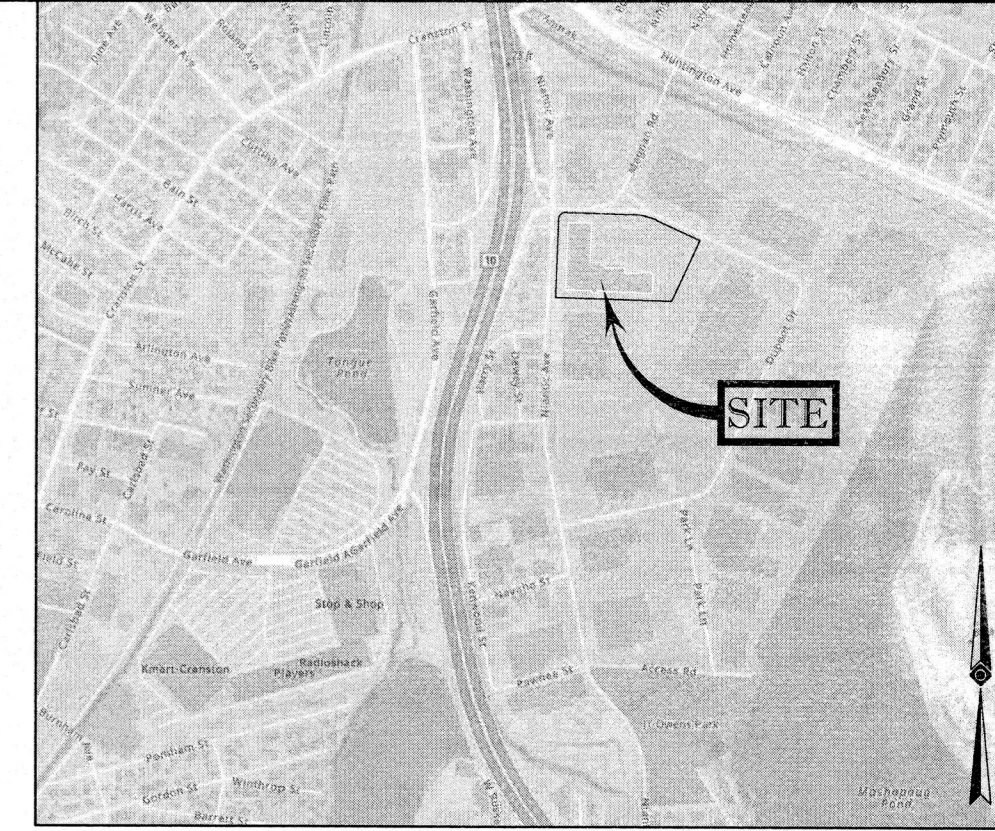


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LEGEND

---	EXISTING CONTOUR	⊙	DMH	DRAINAGE/STORM MANHOLE
+	EXISTING SPOT ELEVATION	⊙	SMH	SANITARY/SEWER MANHOLE
×	EXISTING TOP OF CURB ELEVATION	⊙	UMH	UNKNOWN MANHOLE
×	EXISTING GUTTER ELEVATION	⊙	CB	CATCH BASIN OR INLET
×	EXISTING TOP OF WALL ELEVATION	⊙	T	TREE & TRUNK SIZE
×	EXISTING BOTTOM OF WALL ELEVATION	⊙	PS	PARKING SPACE COUNT
×	EXISTING FINISHED FLOOR ELEVATION	⊙	DC	DEPRESSED CURB
×	EXISTING DOOR SILL ELEVATION	⊙	SYL	SOLID YELLOW LINE
⊙	HYDRANT	⊙	HT	HEIGHT
⊙	GAS VALVE	⊙	BLDG	BUILDING
⊙	GAS METER	⊙	BFP	BUILDING FOOTPRINT AREA
⊙	ELECTRIC METER	⊙	UTO	UNABLE TO OPEN
⊙	OVERHEAD WIRES	⊙	FWD	FILLED W/DEBRIS
⊙	APPROX. LOC. UNDERGROUND GAS LINE	⊙	INV	INVERT ELEVATION
⊙	APPROX. LOC. UNDERGROUND FIBER OPTIC LINE	⊙	CLF	CHAIN LINK FENCE
⊙	APPROX. LOC. UNDERGROUND WATER LINE	⊙	EDP	EDGE OF PAVEMENT
⊙	UTILITY POLE	⊙	LSA	LANDSCAPED AREA
⊙	UTILITY POLE/LIGHT POLE	⊙	MC	METAL COVER
⊙	GUY WIRE	⊙	RFT WALL	RAILROAD WALL
⊙	TRAFFIC SIGNAL POLE	⊙	(TP)	TYPICAL
⊙	MONITORING WELL	⊙	CC	CONCRETE CURB
⊙	AREA LIGHT	⊙	PVC	POLYVINYL CHLORIDE PIPE
⊙	SIGN	⊙	CI	CAST IRON PIPE
⊙	MAIL BOX	⊙	RCP	REINFORCED CONCRETE PIPE
⊙	BOLLARD	⊙	TERM. UNK.	TERMINATION UNKNOWN
⊙	POST			
⊙	PAINTED ARROWS			
⊙	FILLED WITH DEBRIS			

- NOTES:
- PROPERTY KNOWN AS LOT 716 AS SHOWN ON THE CITY OF PROVIDENCE, PROVIDENCE COUNTY, STATE OF RHODE ISLAND MAP NO. 50
 - LOT 716 AREA = 284,265 SQUARE FEET OR 6.526 ACRES
 - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK-OUTS DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
 - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
 - BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE "X-UNSHADED" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF #2 & #3.
 - ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88), GEOID 12A, BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS) TAKEN AT THE TIME OF THE FIELD SURVEY.
- TEMPORARY BENCH MARKS SET:
- TBM-A: MAG NAIL SET IN ASPHALT PAVEMENT SOUTH OF BUILDING. ELEVATION = 61.99
- TBM-B: MAG NAIL SET IN CONCRETE SIDEWALK NORTH OF BUILDING. ELEVATION = 70.49
- PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
 - ENCROACHMENTS AND VAULTS, IF ANY, BELOW SURFACE NOT SHOWN HEREON.
 - THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
 - PER REF #5, WATER LINES ARE LOCATED ON THE NORTH SIDE OF DUPONT DRIVE AND THE WEST SIDE OF NIANTIC AVENUE.

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON APRIL 28, 2018 AS FOLLOWS:

1. TYPE OF BOUNDARY SURVEY:	MEASUREMENT SPECIFICATION
COMPREHENSIVE BOUNDARY SURVEY	I
2. OTHER TYPE OF SURVEY:	MEASUREMENT SPECIFICATION
DATA ACCUMULATION SURVEY	III
(PLANIMETRIC SURVEY, TOPOGRAPHIC SURVEY)	V-3
VERTICAL CONTROL STANDARD	T-1
TOPOGRAPHIC SURVEY ACCURACY	

3. THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS:

PREPARE BOUNDARY SURVEY AND OBTAIN TOPOGRAPHIC AND PLANIMETRIC INFORMATION FOR USE AS A BACKGROUND DOCUMENT FOR SITE PLAN PREPARATION.

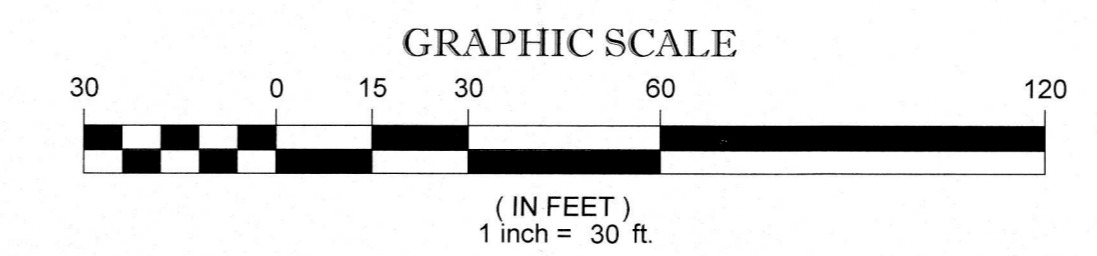
UTILITIES:

THE FOLLOWING COMPANIES WERE NOTIFIED BY RHODE ISLAND ONE-CALL SYSTEM (1-888-344-7233) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. REQUEST NUMBER: 2022013009

UTILITY COMPANY	PHONE NUMBER
MCI	888-624-5622
NATIONAL GRID ELECTRIC-NARR ELEC	800-233-3223
PROVIDENCE WATER SUPPLY BOARD	401-521-5070
VERIZON	800-822-0204
NATIONAL GRID GAS-PROVIDENCE	800-233-5325
COX COMMUNICATIONS INC	800-234-3993
SPRINT-NEXTEL	888-211-4727
VERIZON	800-922-0204



- REFERENCES:
- THE TAX ASSESSOR'S MAP OF PROVIDENCE, PROVIDENCE COUNTY, MAP 50.
 - MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, PROVIDENCE COUNTY, RHODE ISLAND (ALL JURISDICTIONS), PANEL 312 OF 451," MAP NUMBER 44007C0312H, MAP REVISED OCTOBER 2, 2015.
 - MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, PROVIDENCE COUNTY, RHODE ISLAND (ALL JURISDICTIONS), PANEL 316 OF 451," MAP NUMBER 44007C0316G, EFFECTIVE DATE MARCH 2, 2009.
 - GAS MAPPING PROVIDED BY NATIONAL GRID, PRINTED JULY 24, 2020.
 - MAP ENTITLED "100 NIANTIC AVENUE, PROVIDENCE," PREPARED BY: PROVIDENCE WATER, DATED JULY 27, 2020.
 - UNDERGROUND SEWER FACILITY MAPPING PROVIDED BY THE CITY OF PROVIDENCE ENGINEERING OFFICE



FIELD DATE: 7-28-2020

FIELD BOOK NO: 20-11 MA

FIELD BOOK PG: 17-20

FIELD CREW: B.S.B.

DRAWN: B.A.V.

REVIEWED: S.P.P.

APPROVED: J.P.L.

DATE: 8-12-2020

SCALE: 1" = 30'

FILE NO: 03-200176-00

DWG NO: 1 OF 1

BOUNDARY & TOPOGRAPHIC SURVEY

FUSS & O'NEILL, INC.

100 NIANTIC AVENUE

LOT 716, MAP 50

CITY OF PROVIDENCE, PROVIDENCE COUNTY

STATE OF RHODE ISLAND

CONTROL POINT ASSOCIATES, INC.

ALBANY, NY 518-217-5010

CHAPEL HILL, NC 704-291-9800

HAUPPAUGE, NY 631-580-2645

MANHATTAN, NY 646-780-9411

MT LAUREL, NJ 609-857-0999

WARREN, NJ 908-668-0099

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.

JOHN P. LYNCH

No. 1925

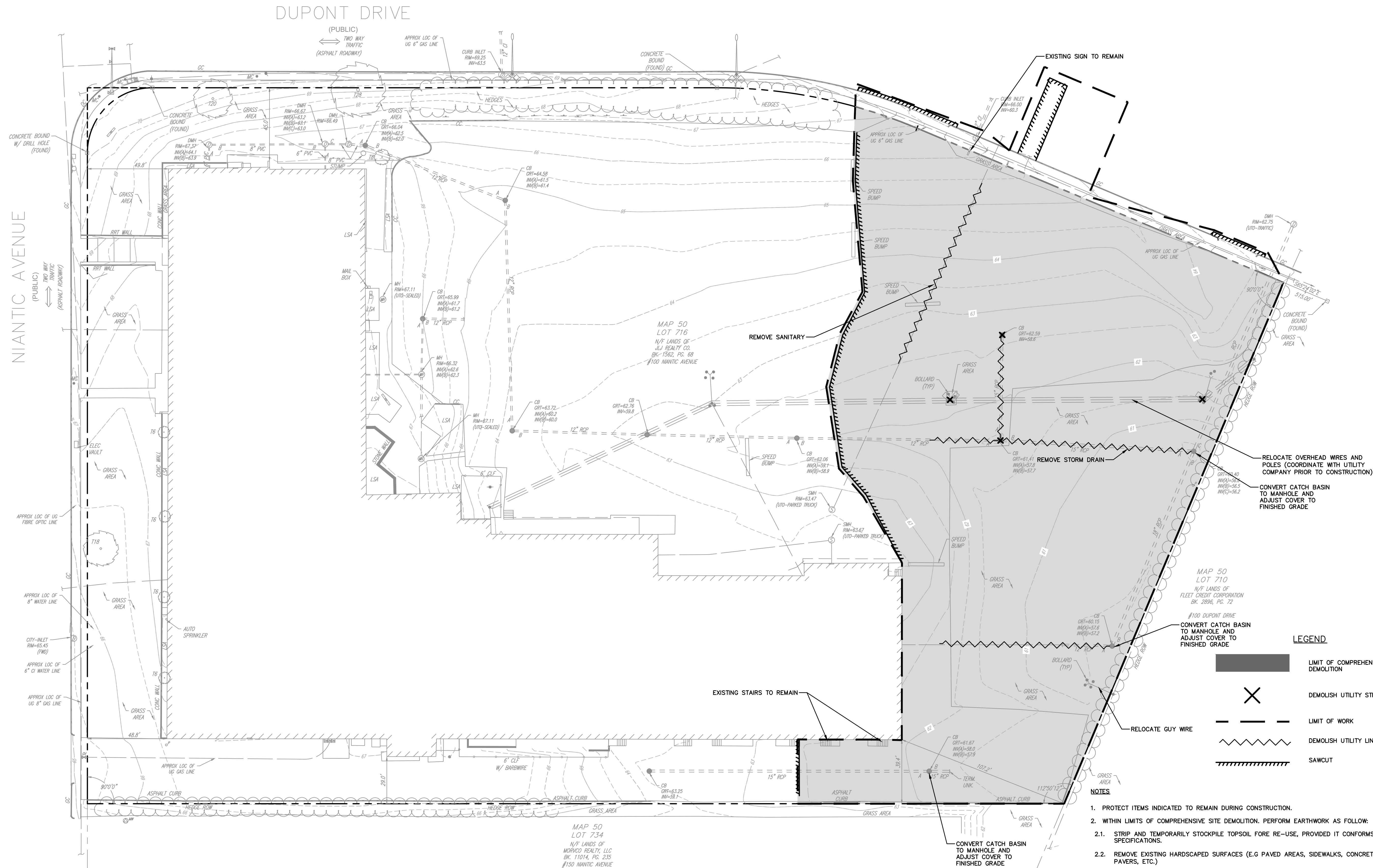
PROFESSIONAL LAND SURVEYOR

8-19-2020

DATE

RHODE ISLAND PROFESSIONAL LAND SURVEYOR #1925

CERTIFICATE OF AUTHORIZATION #A350



DESIGNER/REVIEWER	
DATE	
DESCRIPTION	
No.	

SHAWN M. MARTIN
 No. 487
 REGISTERED PROFESSIONAL ENGINEER
 (CIVIL)

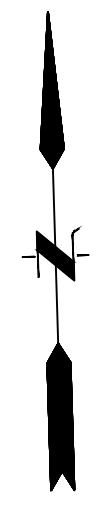
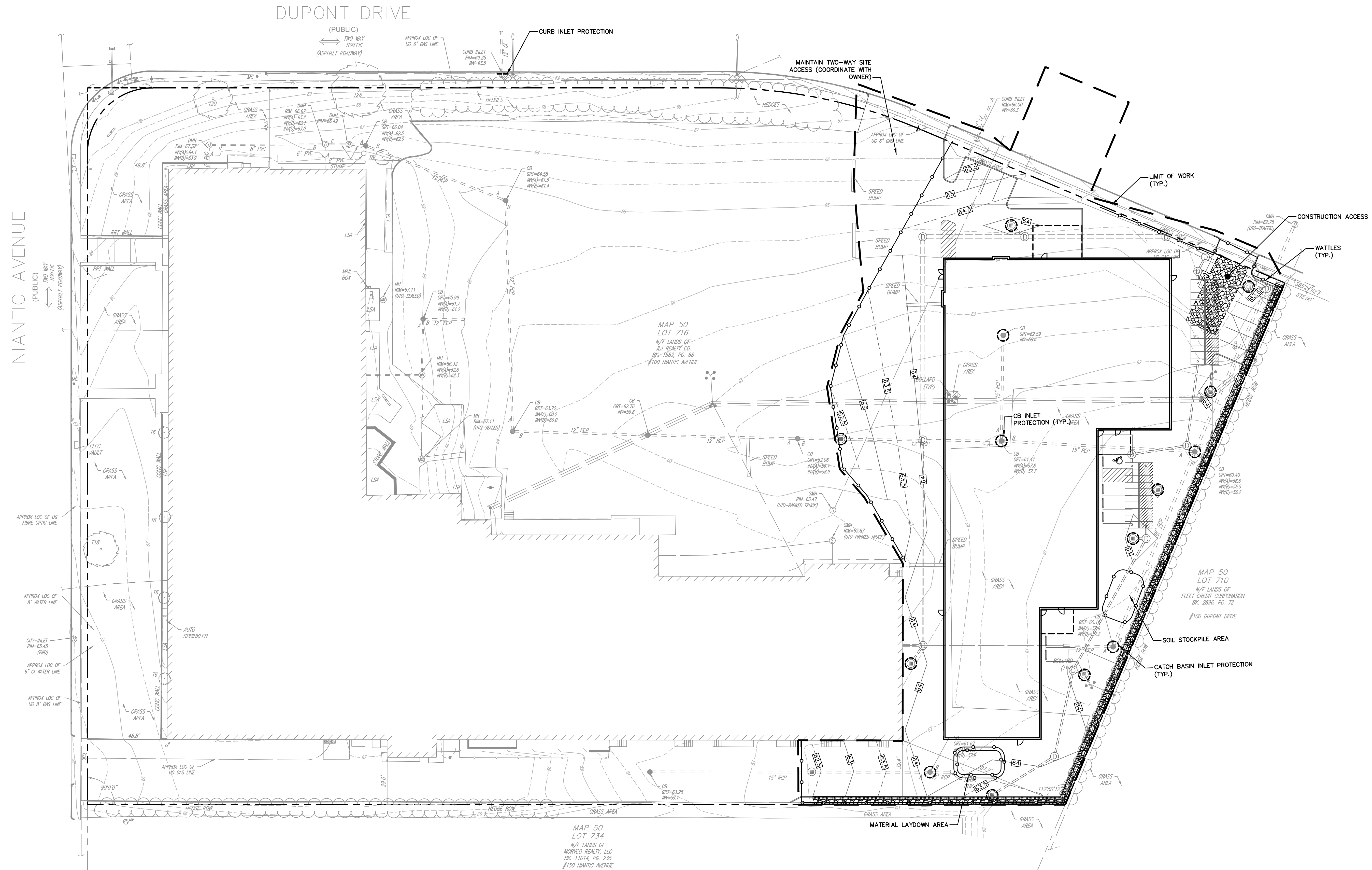
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 VERT.: 1" = 10'
 DATUM: NAD 83
 HORIZ.: NAVD 83
 VERT.: NAVD 88

FUSS & O'NEILL
 517 IRON HORSE WAY, SUITE 204
 401 861 3070
 www.fussandoneill.com

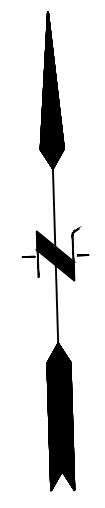
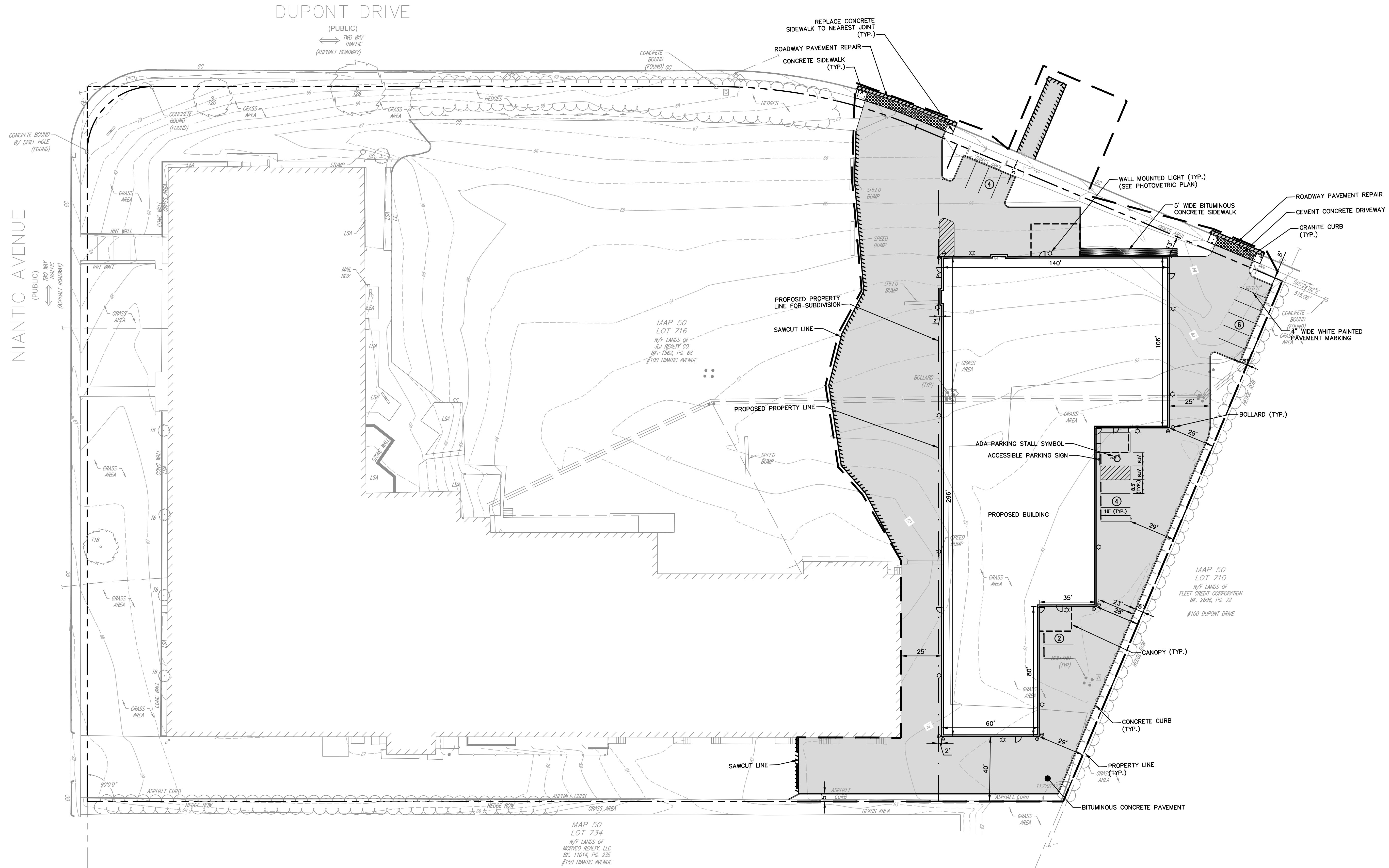
TRUE STORAGE DUPONT, LLC.
DEMOLITION PLAN
100 NIANTIC AVENUE
 PROVIDENCE

PROJ. No.: 20130712.B10
 DATE: 11/17/2020

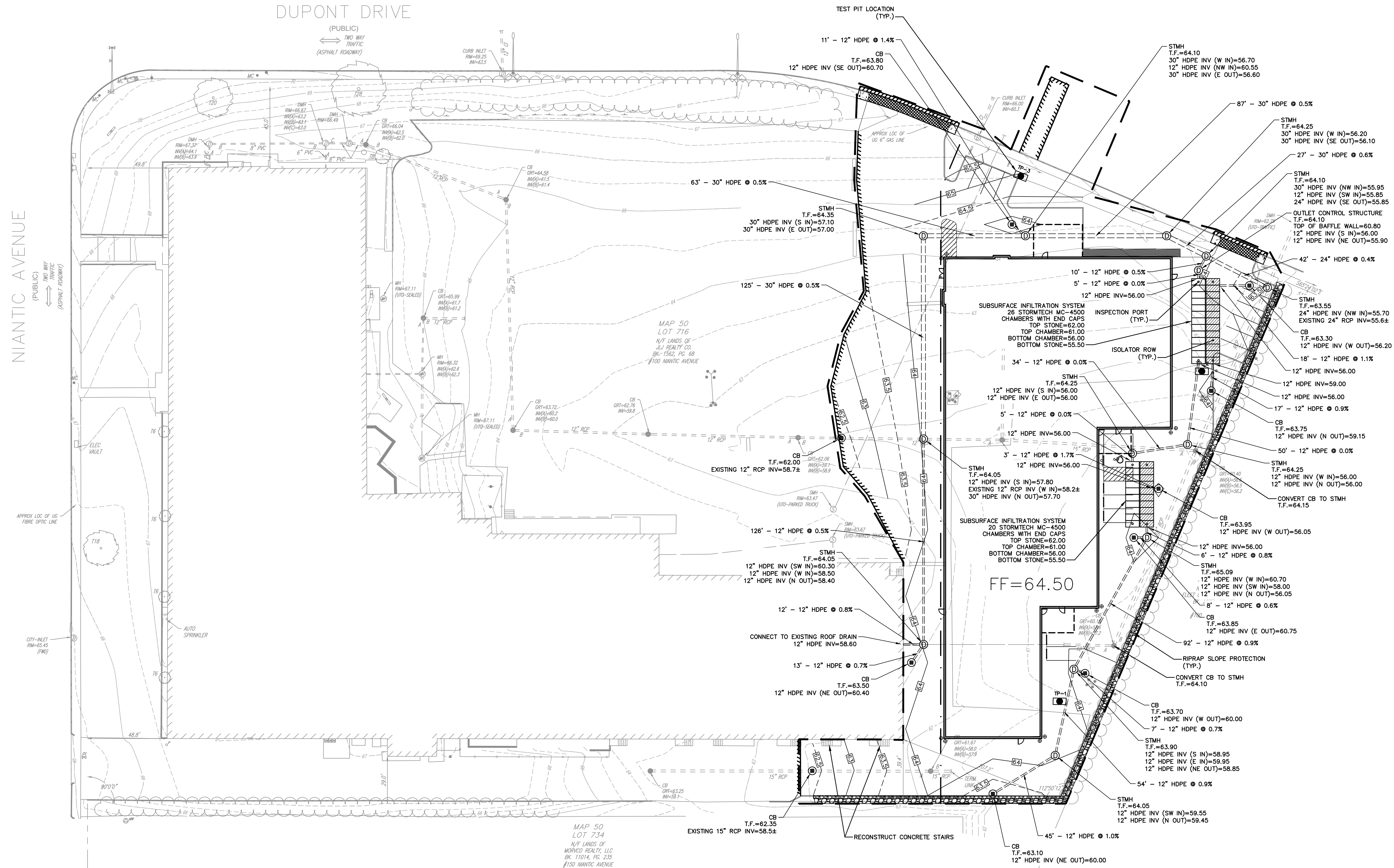
CP-101



<p>TRUE STORAGE DUPONT, LLC. EROSION AND SEDIMENTATION CONTROL PLAN 100 NIAN TIC AVENUE PROVIDENCE</p>	<p>PROJ. No.: 20130712.B10 DATE: 11/17/2020</p> <p style="text-align: right;">DESIGNER REVIEWER</p>
<p>FUSS & O'NEILL 517 IRON HORSE WAY, SUITE 204 401 861 3070 www.fussandoneill.com</p>	
<p>SCALE: HORIZ.: 1" = 30' VERT.: 1" = 10' DATUM: NAD 83 HORIZ.: NAVD 88 VERT.: NAVD 88</p> <p style="text-align: right;">GRAPHIC SCALE</p>	
<p>SHAWN M. MARTIN No. 487 REGISTERED ENGINEER (CIVIL)</p>	

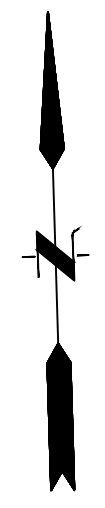
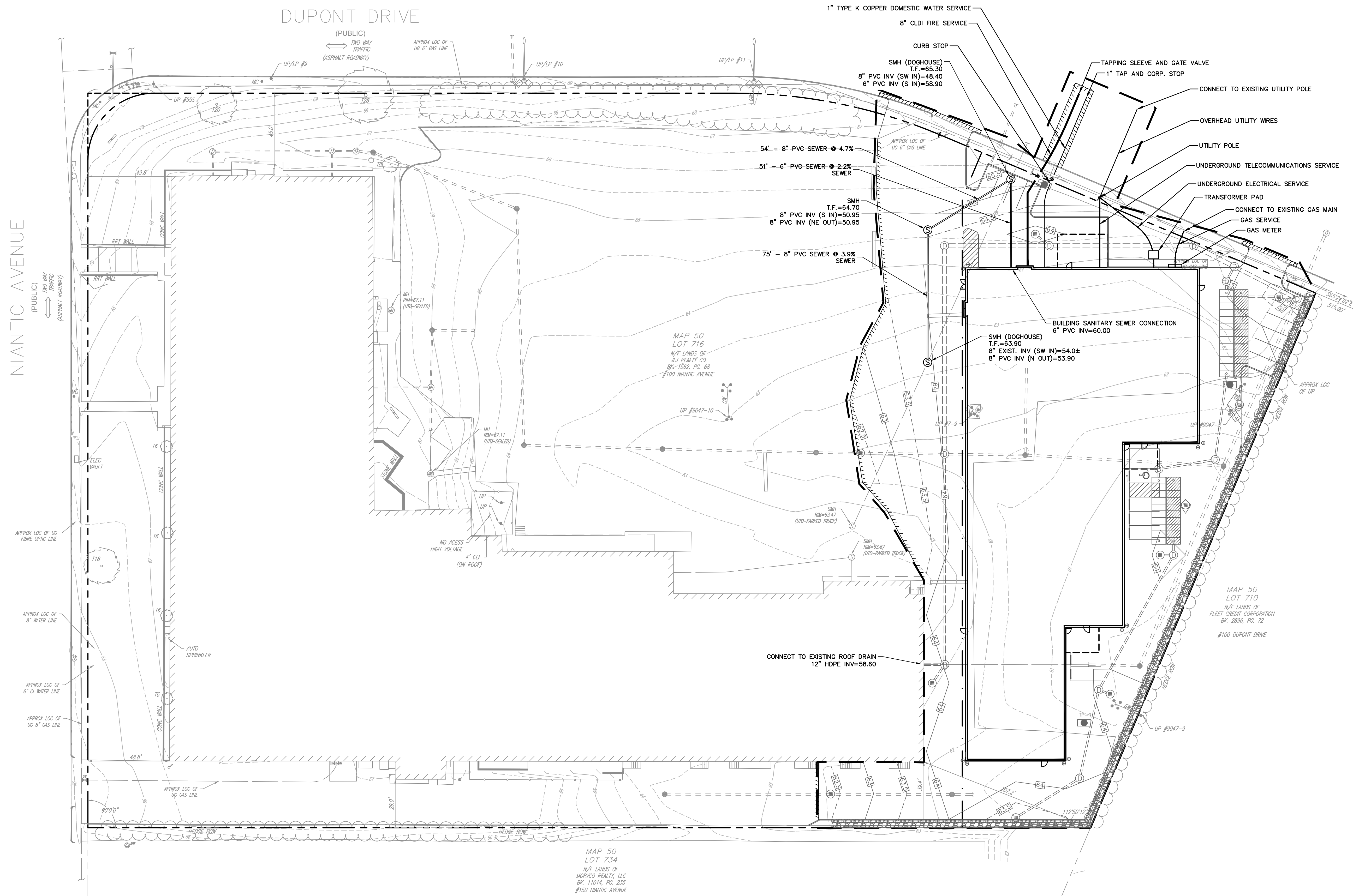


<p>TRUE STORAGE DUPONT, LLC.</p> <p>SITE PLAN</p> <p>100 NIANTIC AVENUE</p> <p>PROVIDENCE</p>	<p>RHODE ISLAND</p>										
<p>FUSS & O'NEILL</p> <p>517 IRON HORSE WAY, SUITE 204 401 861 3070 www.fussandoneill.com</p>	<p>SHAWN M. MARTIN No. 0487 REGISTERED ENGINEER (CIVIL)</p>										
<p>SCALE: HORIZ.: 1" = 30'</p> <p>VERT.: 1" = 10'</p> <p>DATUM: NAD 83</p> <p>HORIZ.: NAVD 88</p> <p>VERT.: NAVD 88</p> <p>GRAPHIC SCALE</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>No.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>DESIGNER</th> <th>REVIEWER</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	No.	DATE	DESCRIPTION	DESIGNER	REVIEWER					
No.	DATE	DESCRIPTION	DESIGNER	REVIEWER							
<p>PROJ. No.: 20130712.B10 DATE: 11/17/2020</p> <p style="font-size: 24pt; font-weight: bold; text-align: center;">CS-101</p>											



<p>TRUE STORAGE DUPONT, LLC.</p> <p>GRADING AND DRAINAGE PLAN</p> <p>100 NIANTIC AVENUE</p> <p>PROVIDENCE RHODE ISLAND</p>	<p>PROJ. No.: 20130712.B10 DATE: 11/17/2020</p> <p>CG-101</p>
<p>FUSS & O'NEILL</p> <p>517 IRON HORSE WAY, SUITE 204 401 861 3070 www.fussandoneill.com</p>	<p>SCALE: HORIZ.: 1" = 30' VERT.: 1" = 4' DATUM: NAD 83 HORIZ.: NAVD 88 VERT.: NAVD 88</p> <p>GRAPHIC SCALE</p>
<p>SHAWN M. MARTIN No. 0487 REGISTERED ENGINEER (CIVIL)</p>	<p>DESIGNER/REVIEWER</p>

- NOTE:
1. COORDINATE WITH UTILITY COMPANIES PRIOR TO CONSTRUCTION.
 2. LOCATIONS OF UTILITIES SUBJECT TO CHANGE BASED ON INPUT FROM UTILITY COMPANIES.



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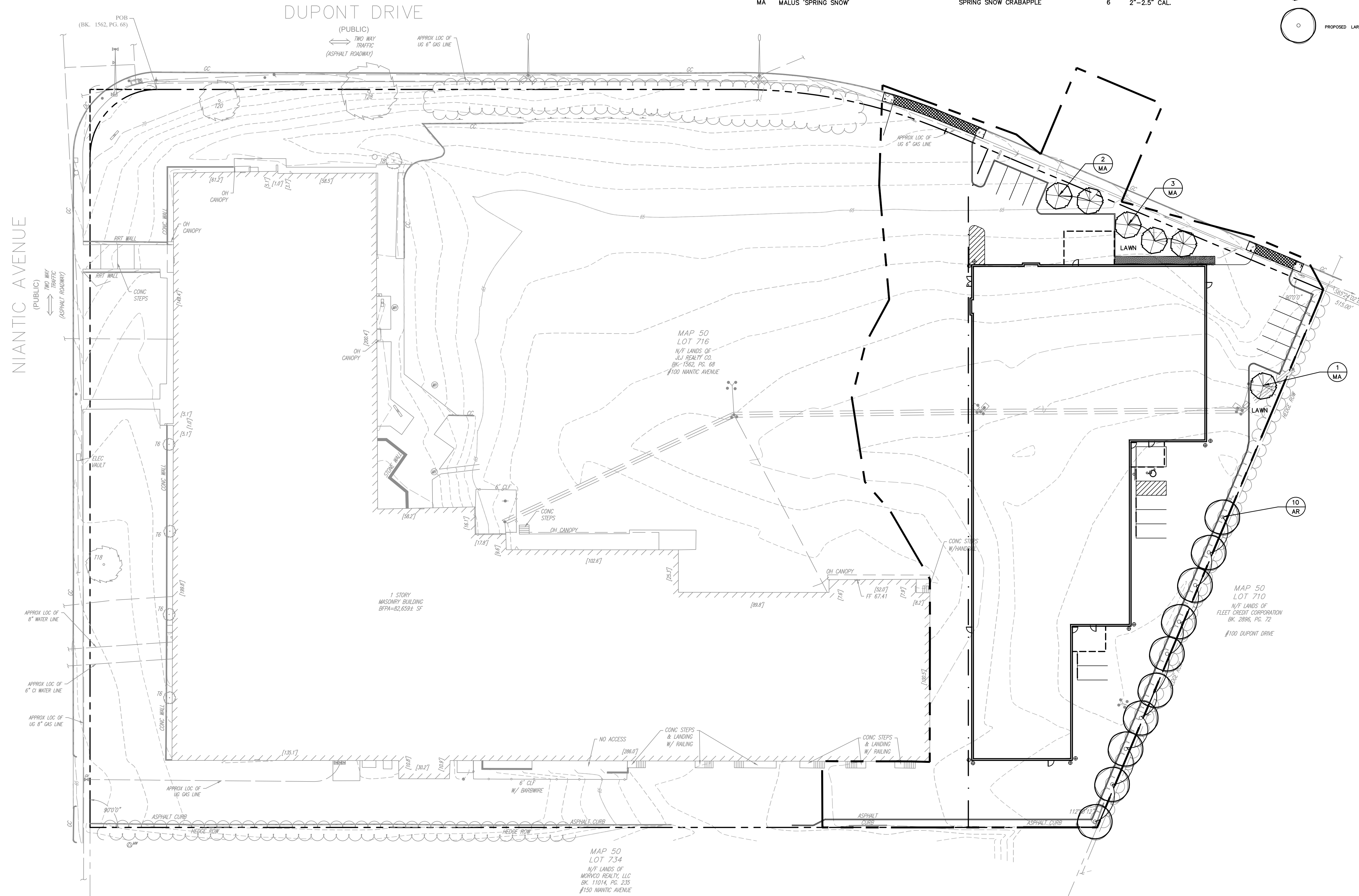
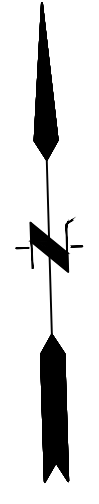
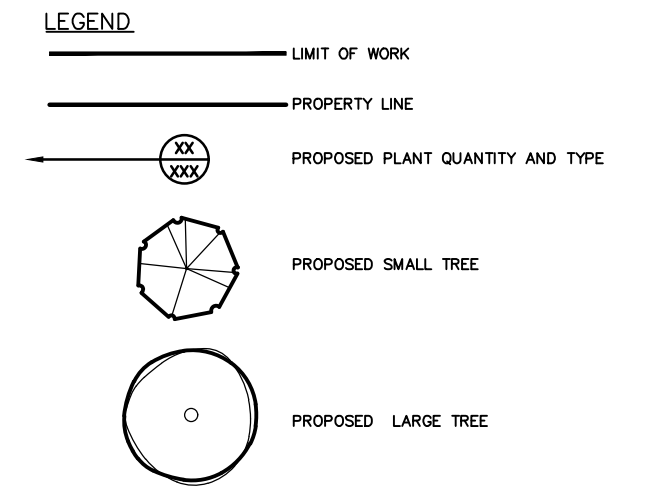
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<p>FUSS & O'NEILL</p> <p>517 IRON HORSE WAY, SUITE 204 PROVIDENCE, R.I. 02906 401.861.3070 www.fussandoneill.com</p>	
<p>PROJ. No.: 20130712.B10 DATE: 11/17/2020</p>	
<p>CU-101</p>	
<p>SCALE: HORIZ.: 1" = 30' VERT.: 1" = 10' DATUM: NAD 83 HORIZ.: NAVD 88 VERT.: NAVD 88</p>	<p>DESIGNER/REVIEWER</p> <p>DATE</p> <p>No.</p> <p>DESCRIPTION</p>
<p>SHAWN M. MARTIN No. 487 REGISTERED ENGINEER (CIVIL)</p>	

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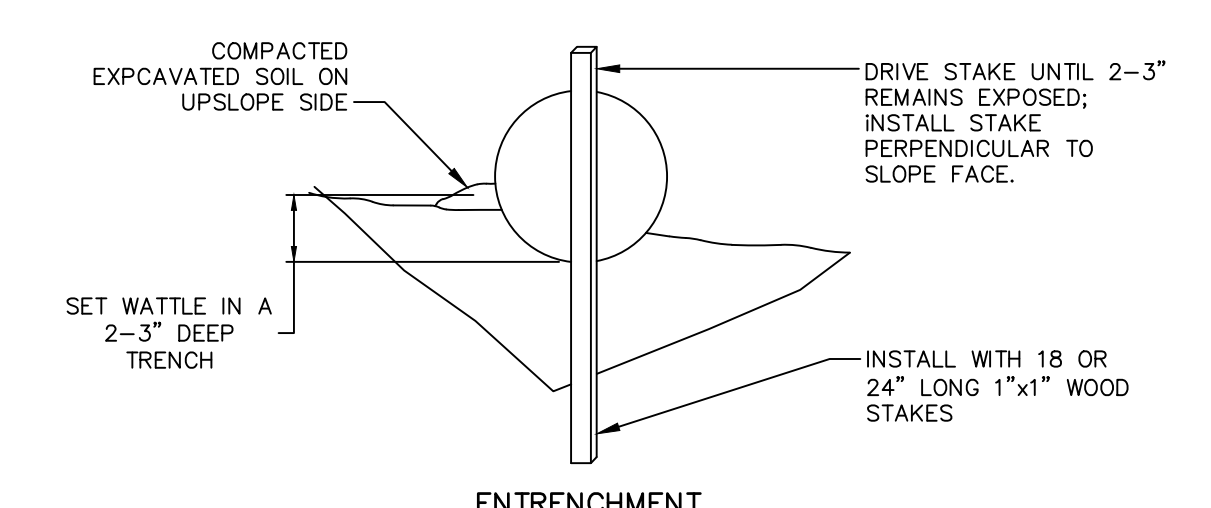
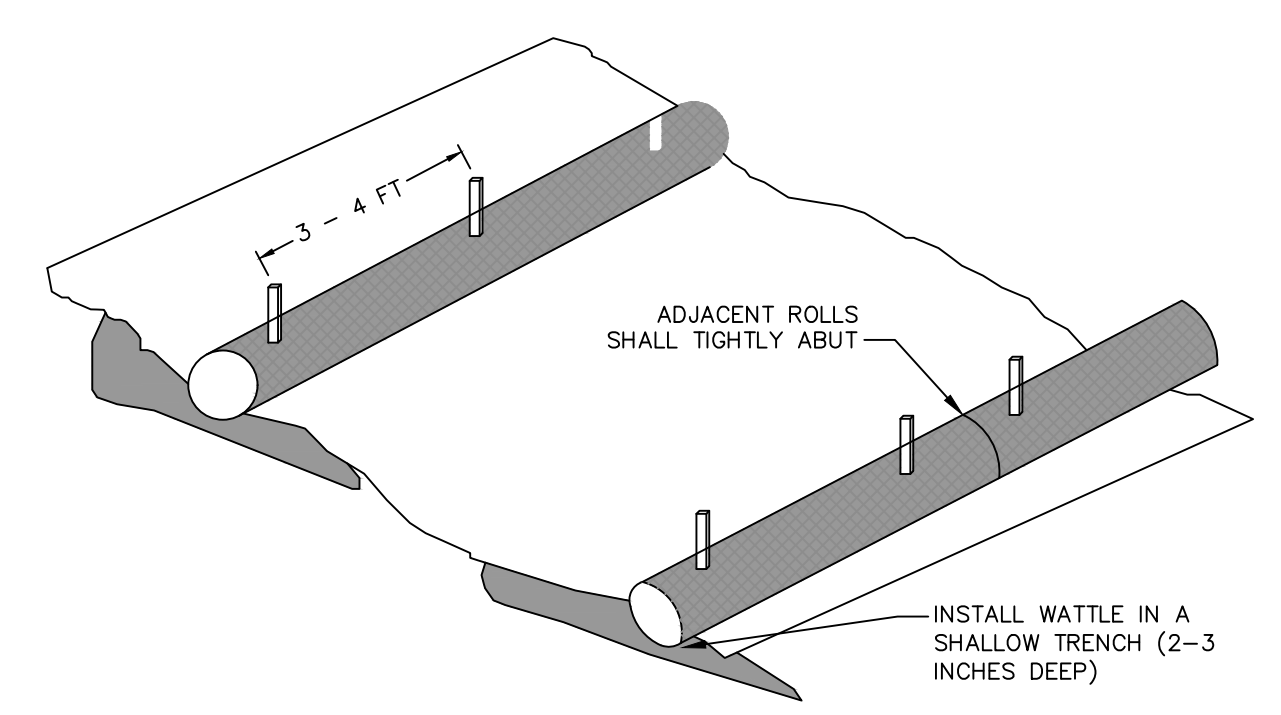
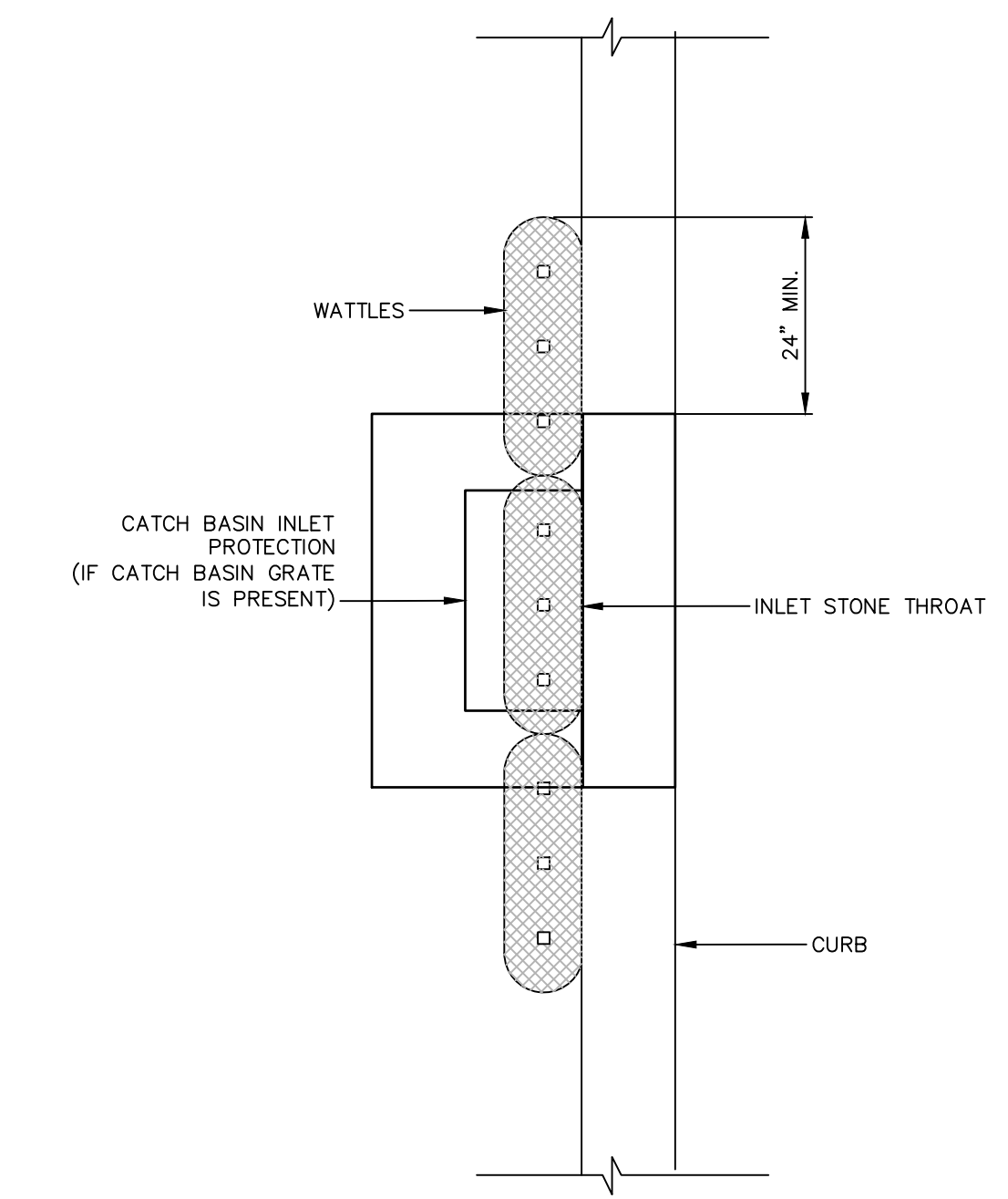
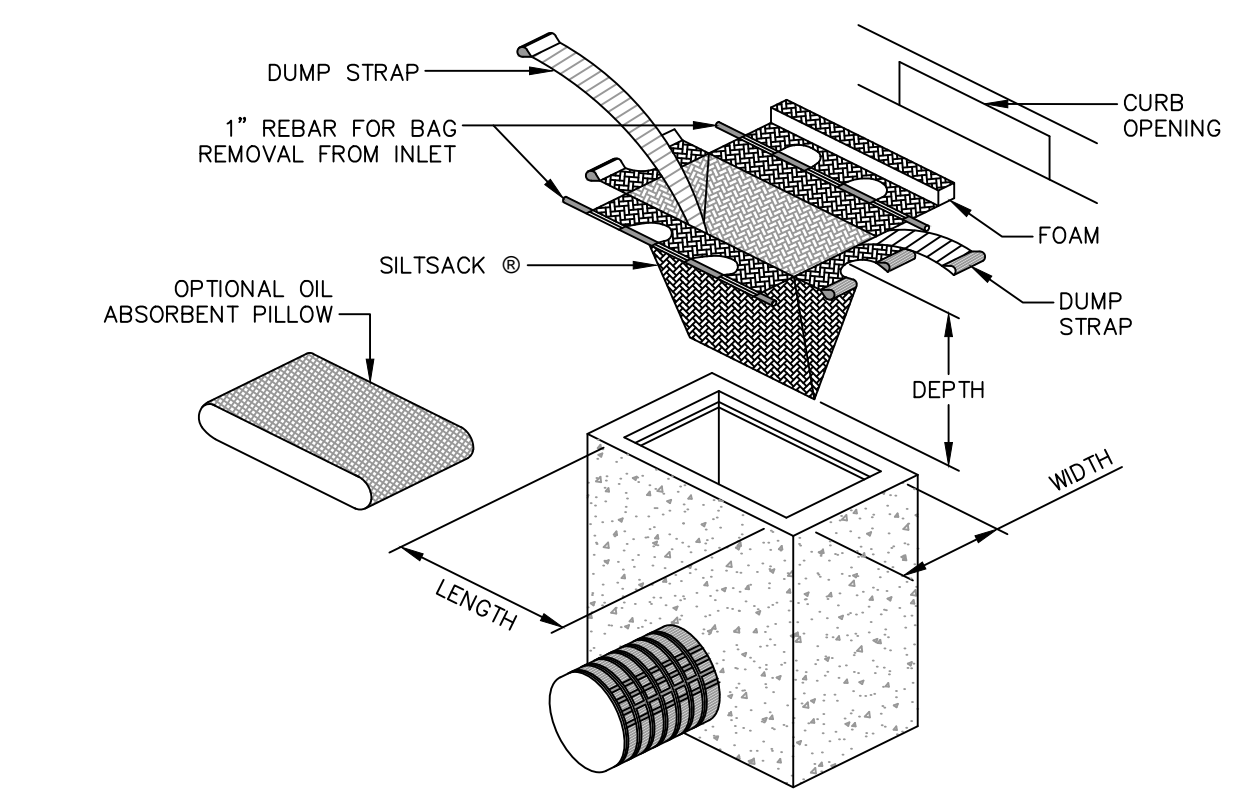
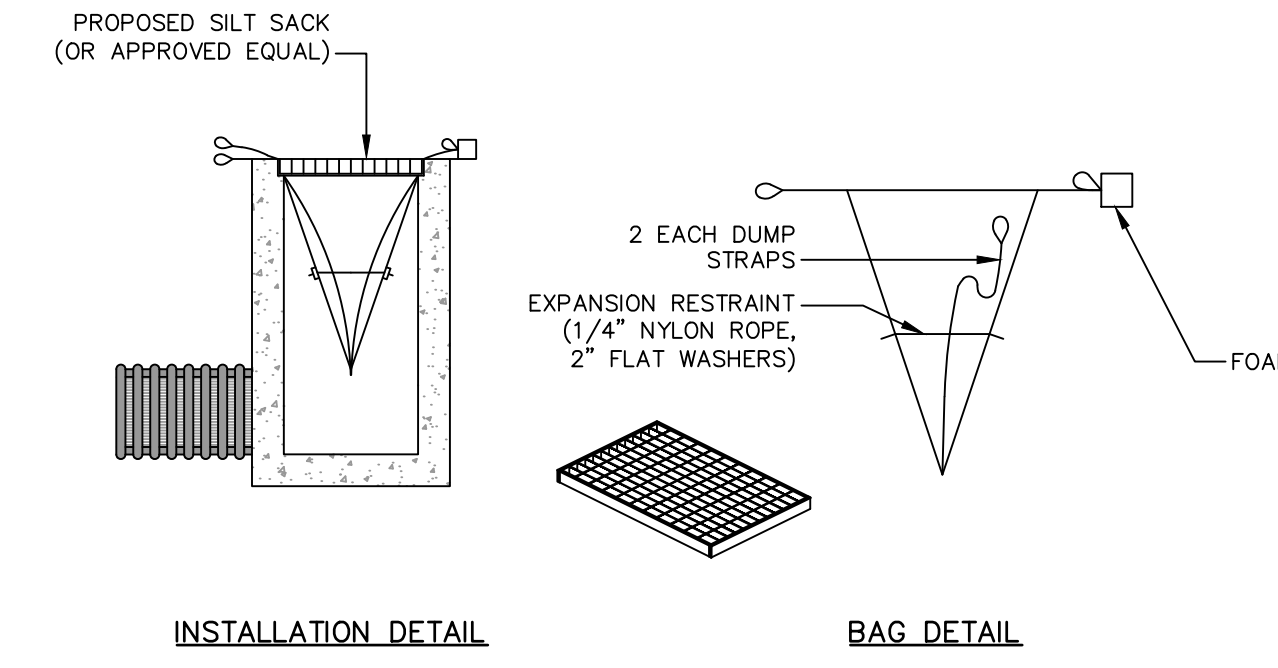
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PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE
TREES				
AR	ACER X FREEMANII 'ARMSTORNG'	FREEMAN MAPLE	10	2"-2.5" CAL.
MA	MALUS 'SPRING SNOW'	SPRING SNOW CRABAPPLE	6	2"-2.5" CAL.



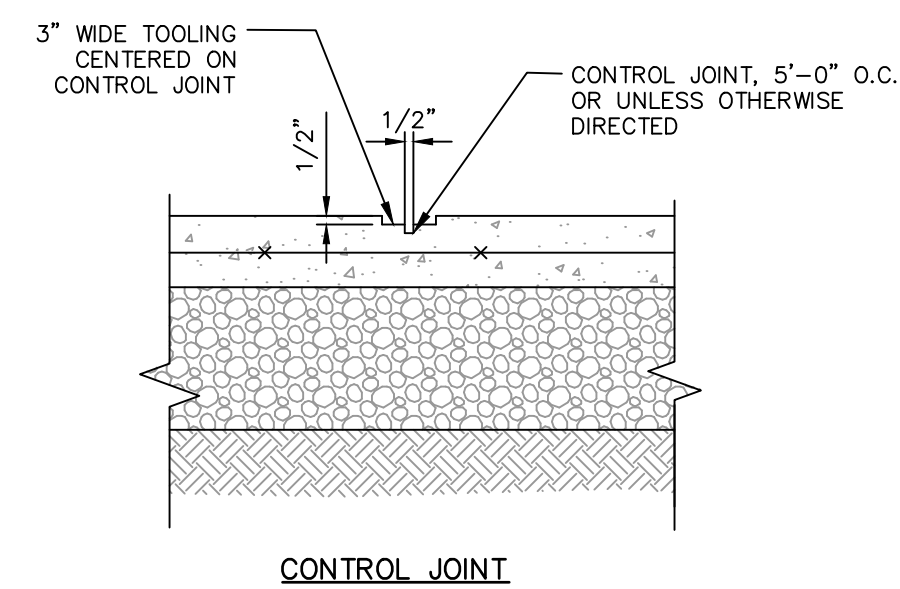
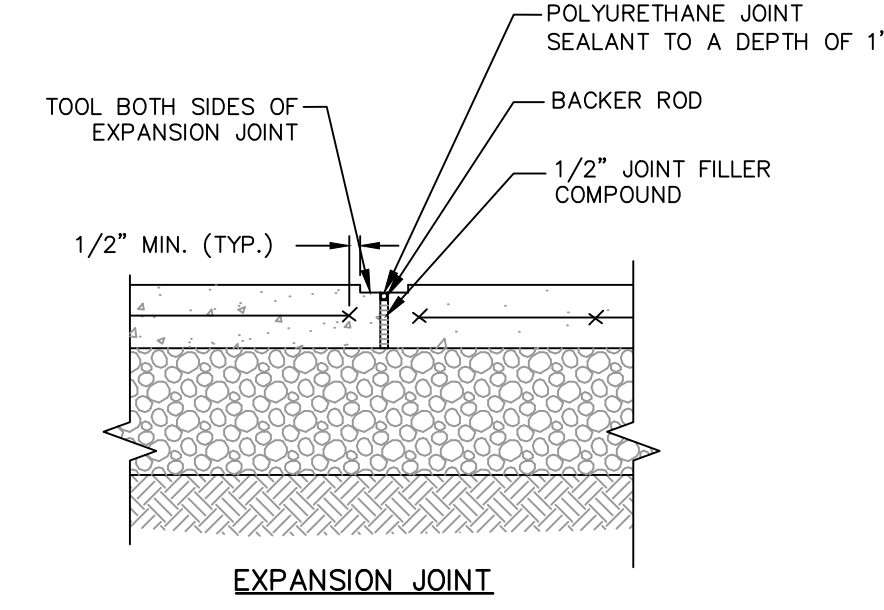
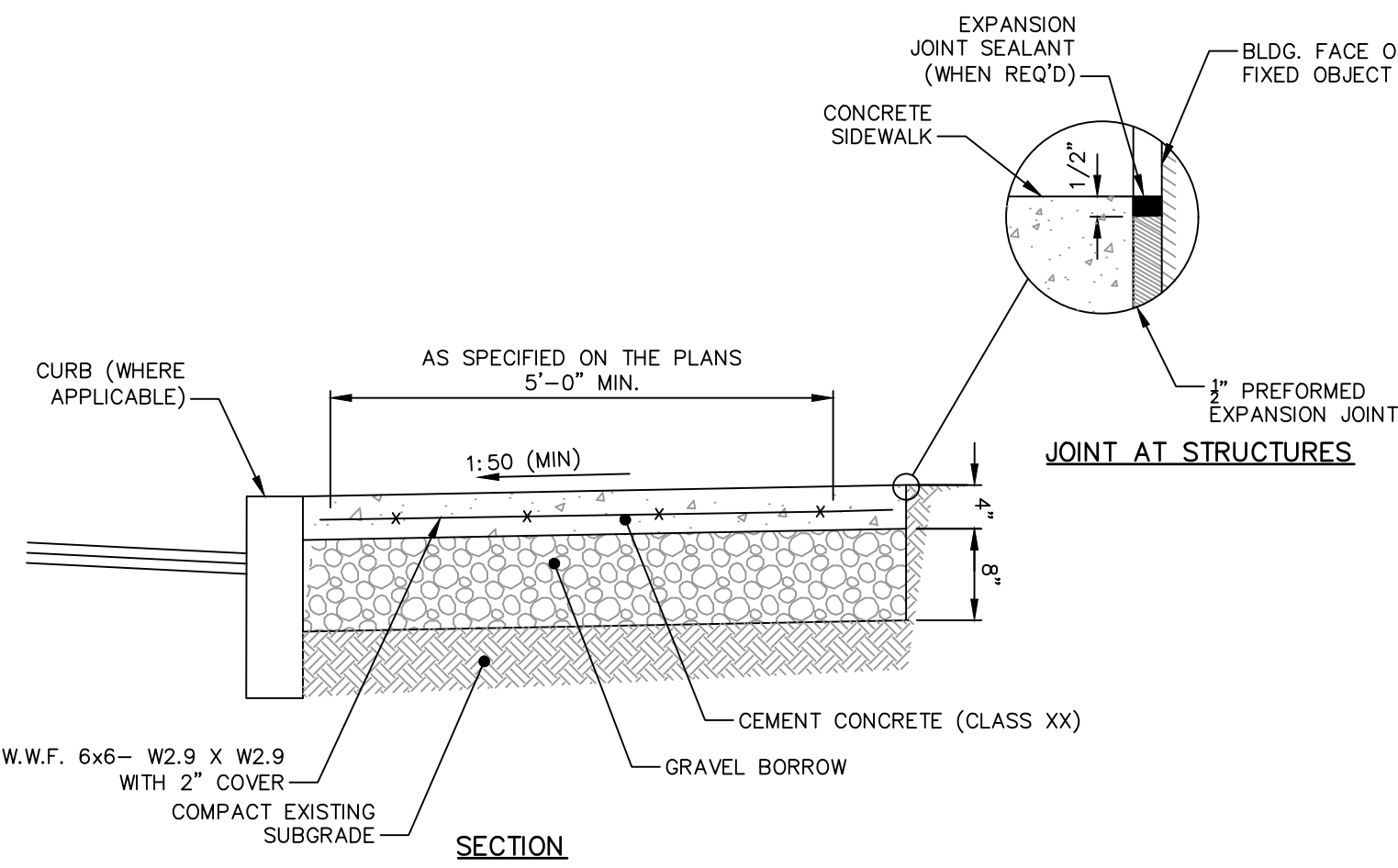
<p>TRUE STORAGE DUPONT, LLC.</p> <p>PLANTING PLAN</p> <p>100 NIAN TIC AVENUE</p> <p>PROVIDENCE</p>	<p>RHODE ISLAND</p>
<p>FUSS & O'NEILL</p> <p>517 IRON HORSE WAY, SUITE 204 401 861 3070 www.fandn.com</p>	<p>SHAWN M. MARTIN No. 7487 REGISTERED ENGINEER (CIVIL)</p>
<p>SCALE: HORIZ.: 1" = 30' VERT.: 1" = 30'</p> <p>DATUM: HORIZ.: NAD 83 VERT.: NAVD 88</p> <p>GRAPHIC SCALE</p>	<p>No. DATE</p> <p>DESIGNER REVIEWER</p>
<p>PROJ. No.: 20130712.B10 DATE: 11/17/2020</p>	
<p>LP-101</p>	



- NOTES:**
1. WATTLES SHALL BE INSTALLED AT LOCATIONS AS INDICATED ON THE DRAWINGS.
 2. WATTLES SHALL BE TRENCHED APPROXIMATE 2-3 INCHES AND STAKED SUCH THAT WATTLES DIRECTLY CONTACT SOIL AND PRECLUDE UNDERMINING OR SLOWOUTS. THE TRENCH SHALL BE APPROXIMATELY 9 INCHES WIDE. STAKES SHALL BE DRIVEN THROUGH THE CENTER OF THE WATTLE AT A SPACING OF 3-4 FEET ON CENTER AND NO GREATER THAN 6" FROM THE EACH END OF THE WATTLE. STAKES SHALL BE 1-INCH BY 1-INCH WOODEN STAKES WITH A LENGTH OF 18-24 INCHES. COMPACT SOIL EXCAVATED TO CREATE TRENCH ON UPHILL SIDE.
 3. ENDS OF ADJACENT WATTLES SHALL BE TIGHTLY BUTTED OR OVERLAPPED SO THAT NO OPENING EXISTS FOR WATER TO PASS THROUGH. WATTLES SHALL BE FREE OF DAMAGE OR DEFECTS WHEN DELIVERED TO THE SHIPPER. NO VEHICLES SHALL BE DRIVEN OVER WATTLES.
 4. WATTLES SHALL BE 12-INCH SEDIMAX-WS12 MANUFACTURED BY NORTH AMERICAN GREEN, OR APPROVED EQUAL.

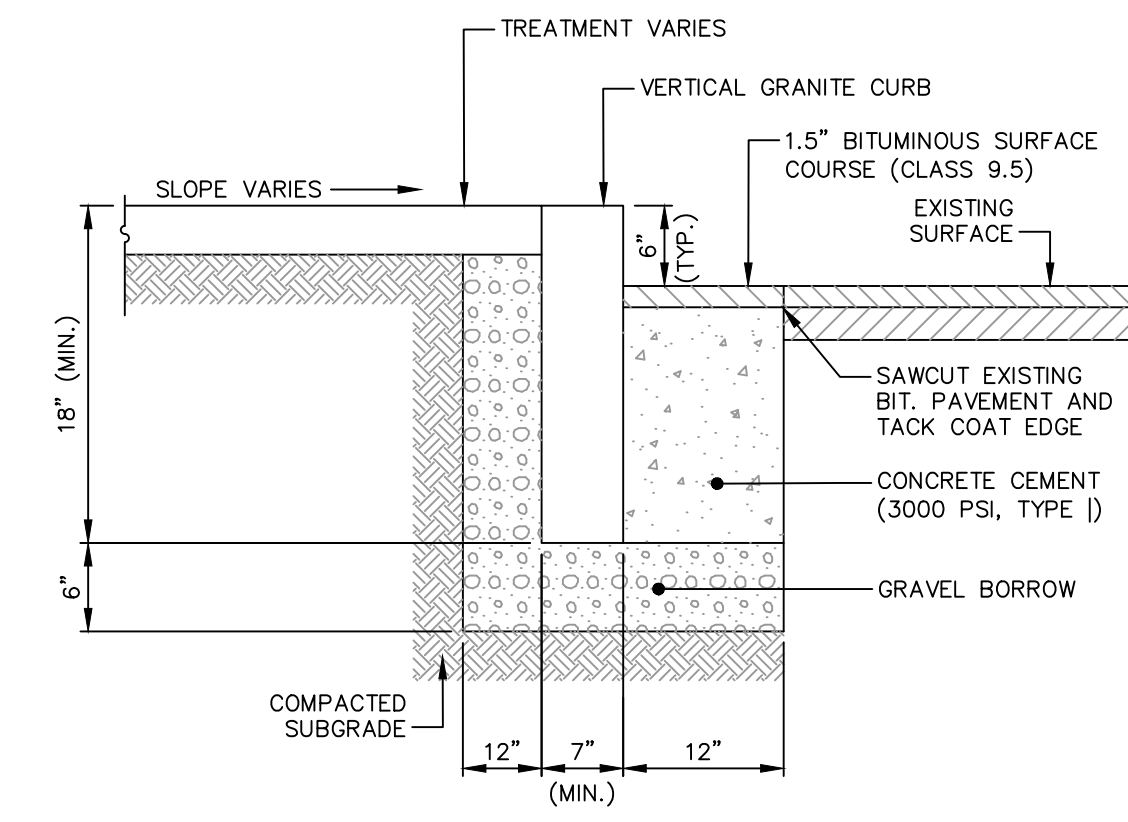
WATTLES
 NOT TO SCALE

SCALE: HORZ.: AS NOTED VERT.: DATUM: HORZ.: NAD 83 VERT.: NAVD 88	GRAPHIC SCALE 0 1	SHAWN M. MARTIN No. 0487 REGISTERED PROFESSIONAL ENGINEER (CIVIL)	DESIGNER REVIEWER
TRUE STORAGE DUPONT, LLC. DETAILS 100 NIANITIC AVENUE PROVIDENCE		FUSS & O'NEILL 517 IRON HORSE WAY, SUITE 204 CIVIL ENGINEERS 401.861.3070 www.fuss.com	DESCRIPTION No. DATE
PROJ. No.: 20130712.B10 DATE: 11/17/2020		RHODE ISLAND	
CD-501			



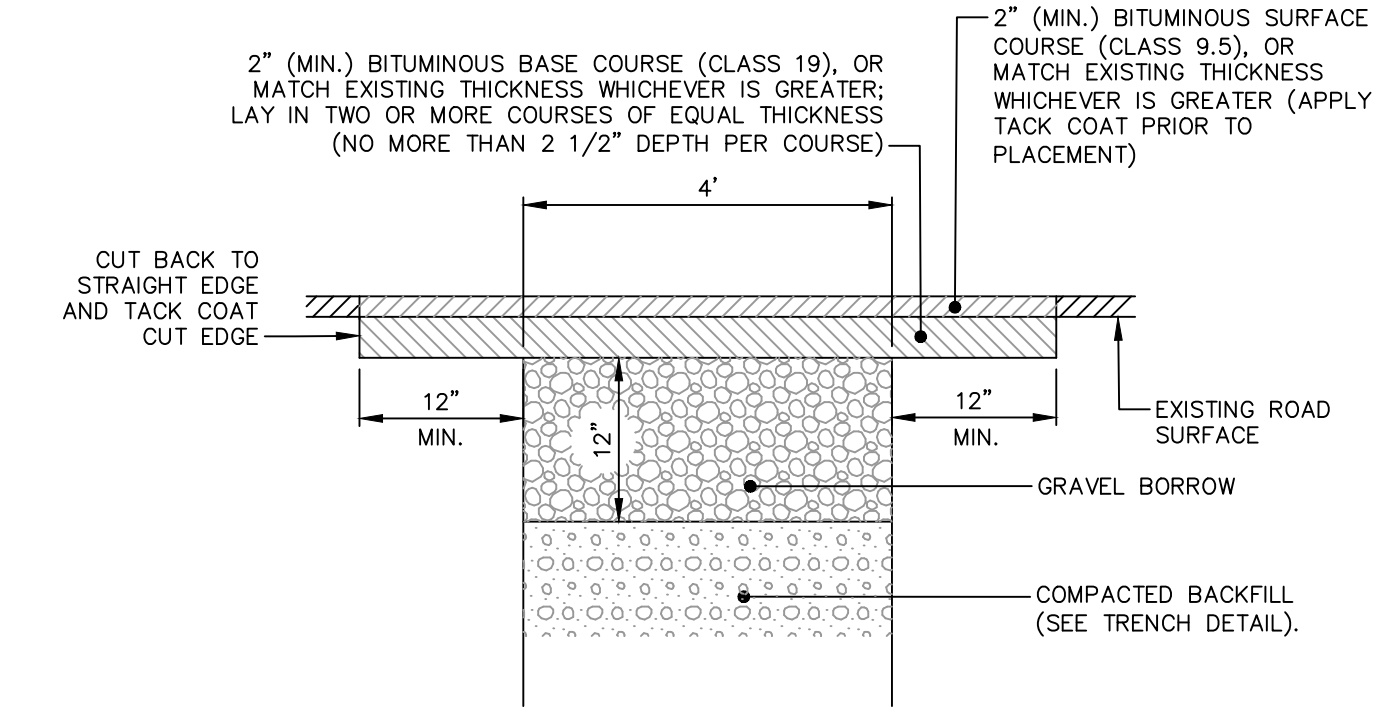
- NOTES:**
1. PROVIDE EXPANSION JOINTS WITH 1/2" PREMOLDED JOINT FILLER AT MIN. 20 FT. O.C. AND AT FACE OF BUILDINGS OR FIXED OBJECTS.
 2. PROVIDE TOOLED CONTROL JOINTS AT 5' O.C.
 3. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.
 4. UNSUITABLE MATERIAL WITHIN SUBGRADE SHALL BE REMOVED AND REPLACED WITH GRAVEL BORROW.
 5. CROSS-SLOPE VARIES. SEE GRADING PLAN.

CONCRETE SIDEWALK
NOT TO SCALE



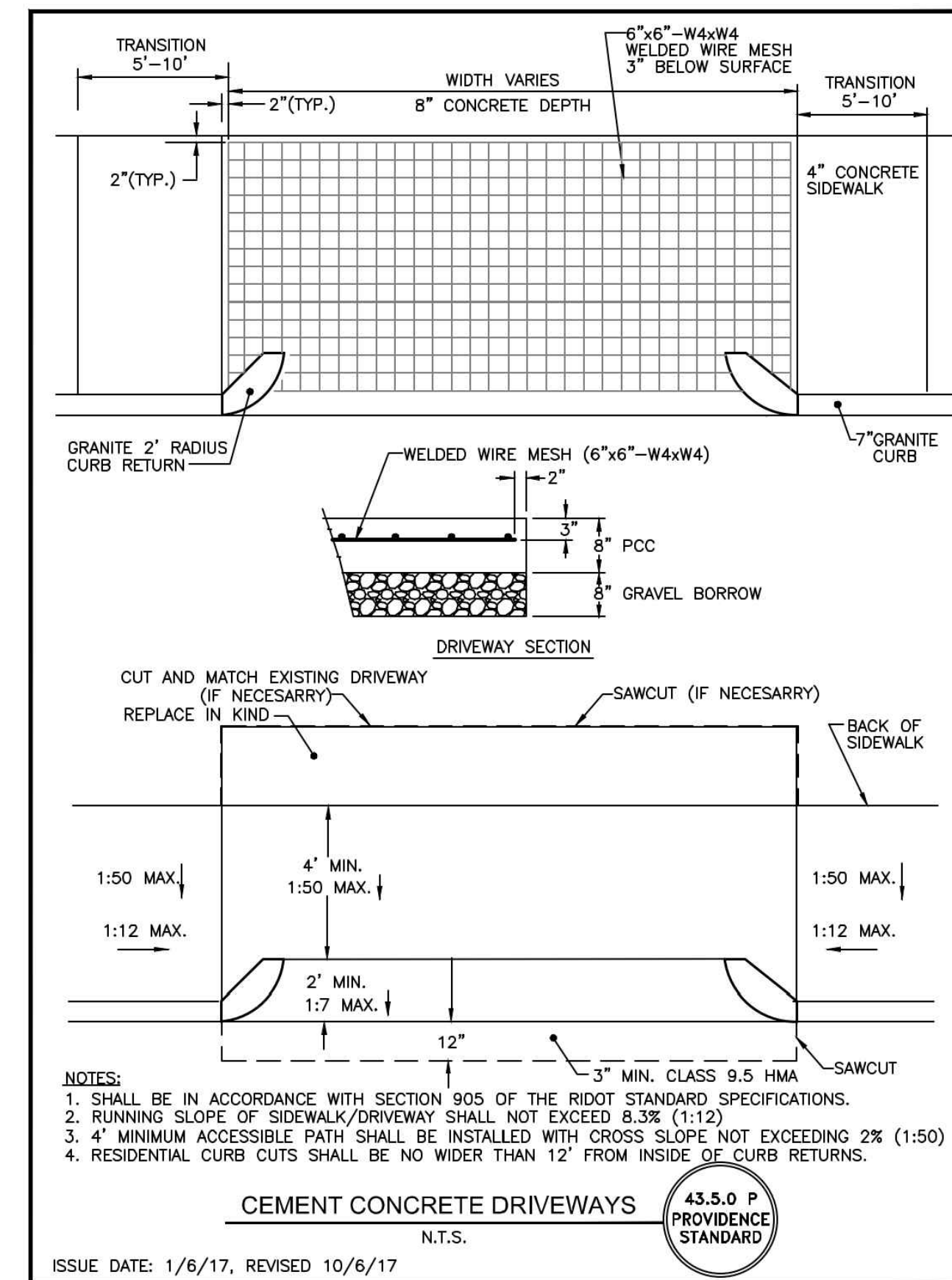
- NOTES:**
1. NEW CURBING INSTALLED ADJACENT TO EXISTING CURBING SHALL MATCH THE EXISTING REVEAL OR A MINIMUM OF 4 INCHES, WHICHEVER IS GREATER. IF ADJACENT EXISTING REVEAL IS LESS THAN 4 INCHES, THE FIRST SECTION OF NEW CURB SHALL TRANSITION TO 4-INCH REVEAL.
 2. ALL PAVEMENT MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH SECTIONS 401 AND M.03 OF RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (AUGUST 2013).
 3. GRAVEL BORROW SHALL BE WELL GRADED AND MEET THE GRADATION REQUIREMENTS SPECIFIED IN COLUMN 1, TABLE 1 IN SUBSECTION M.01.09 OF RIDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
 4. GRAVEL BORROW SHALL BE INSTALLED IN 6-INCH LIFTS AND COMPACTED TO 95-PERCENT MODIFIED PROCTOR.
 5. UNSUITABLE MATERIAL WITHIN SUBGRADE SHALL BE REMOVED AND REPLACED WITH GRAVEL BORROW.

GRANITE CURB
NOT TO SCALE



- NOTE:**
- UNSUITABLE MATERIAL WITHIN SUBGRADE SHALL BE REMOVED AND REPLACED WITH GRAVEL BORROW.

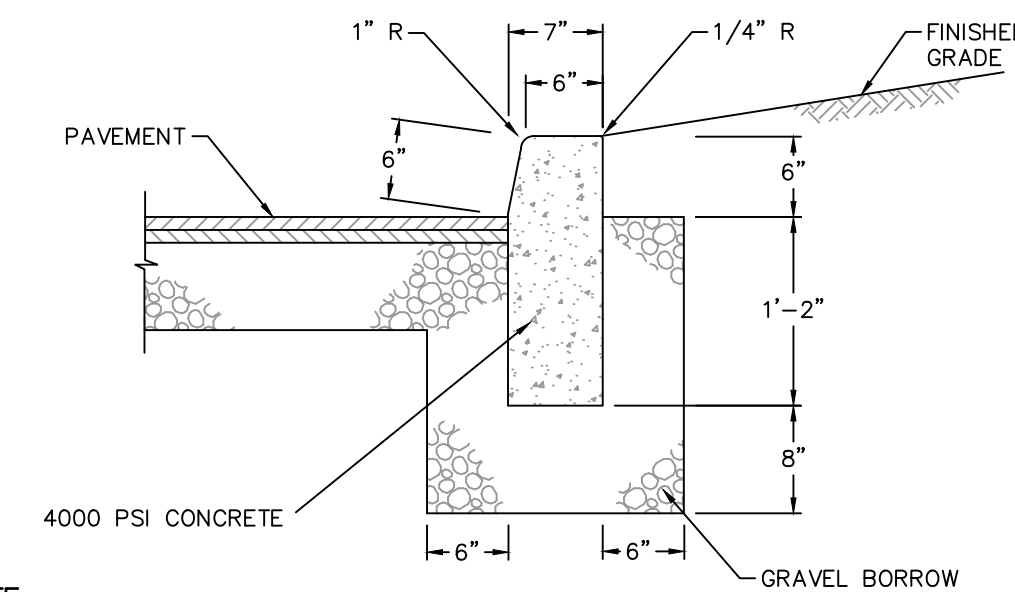
ROADWAY PAVEMENT REPAIR
NOT TO SCALE



- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE RIDOT STANDARD SPECIFICATIONS.
 2. RUNNING SLOPE OF SIDEWALK/DRIVEWAY SHALL NOT EXCEED 8.3% (1:12)
 3. 4' MINIMUM ACCESSIBLE PATH SHALL BE INSTALLED WITH CROSS SLOPE NOT EXCEEDING 2% (1:50)
 4. RESIDENTIAL CURB CUTS SHALL BE NO WIDER THAN 12" FROM INSIDE OF CURB RETURNS.

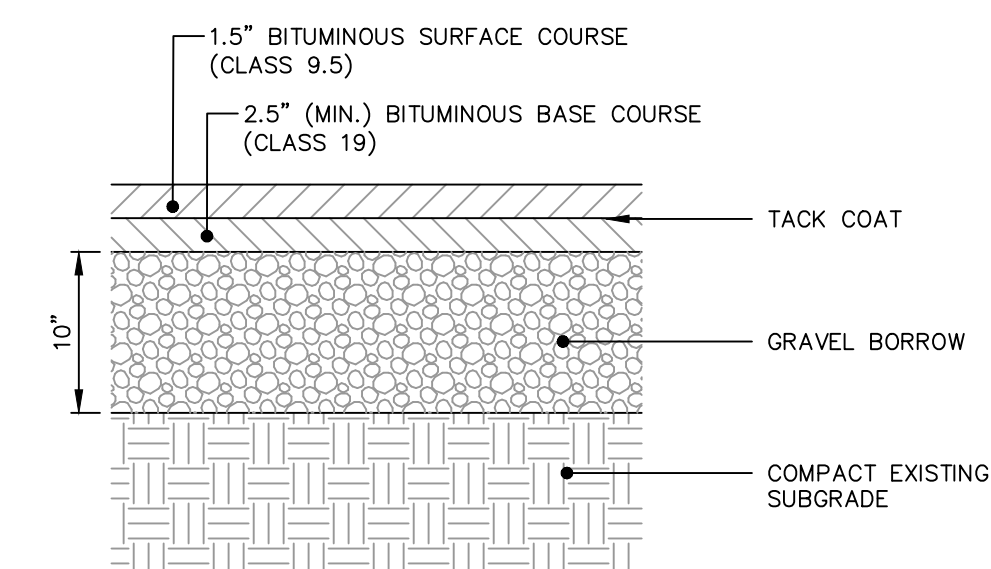
CEMENT CONCRETE DRIVEWAYS
N.T.S.
ISSUE DATE: 1/6/17, REVISED 10/6/17

CEMENT CONCRETE DRIVEWAYS
NOT TO SCALE



- NOTE:**
1. 1 INCH DEEP BEVELED JOINT AT TOP AND FACE OF CURB EVERY 10 FEET.
 2. 1/2 INCH EXPANSION JOINT AND FILLER EVERY 30 FEET.
 3. 1/2 INCH EXPANSION JOINT AND FILLER WHEN CURB IS ADJACENT TO CONCRETE SIDEWALK.

CONCRETE CURB
NOT TO SCALE



- NOTE:**
- UNSUITABLE MATERIAL WITHIN SUBGRADE SHALL BE REMOVED AND REPLACED WITH GRAVEL BORROW.

BITUMINOUS CONCRETE PAVEMENT
NOT TO SCALE

- NOTE:**
- UNSUITABLE MATERIAL WITHIN SUBGRADE SHALL BE REMOVED AND REPLACED WITH GRAVEL BORROW.

BITUMINOUS CONCRETE SIDEWALK
NOT TO SCALE

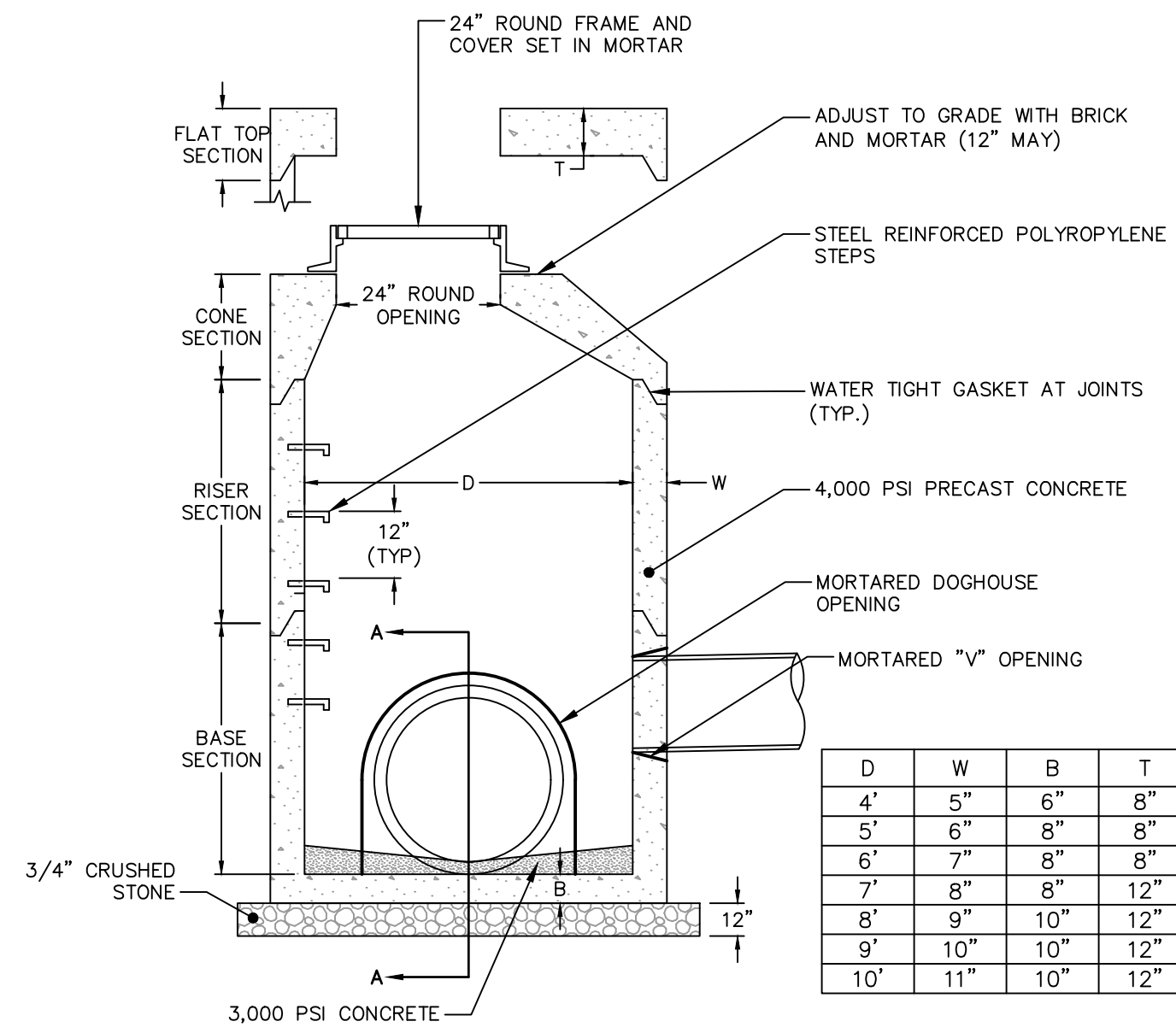
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DATE	
No.	
SCALE:	HORZ.: AS NOTED
	VERT.: 1" = 12'
DATUM:	HORZ.: NAD 83
	VERT.: NAVD 88
	GRAPHIC SCALE

FUSS & O'NEILL
317 IRON HORSE WAY, SUITE 204
401-861-3070
www.fuss.com

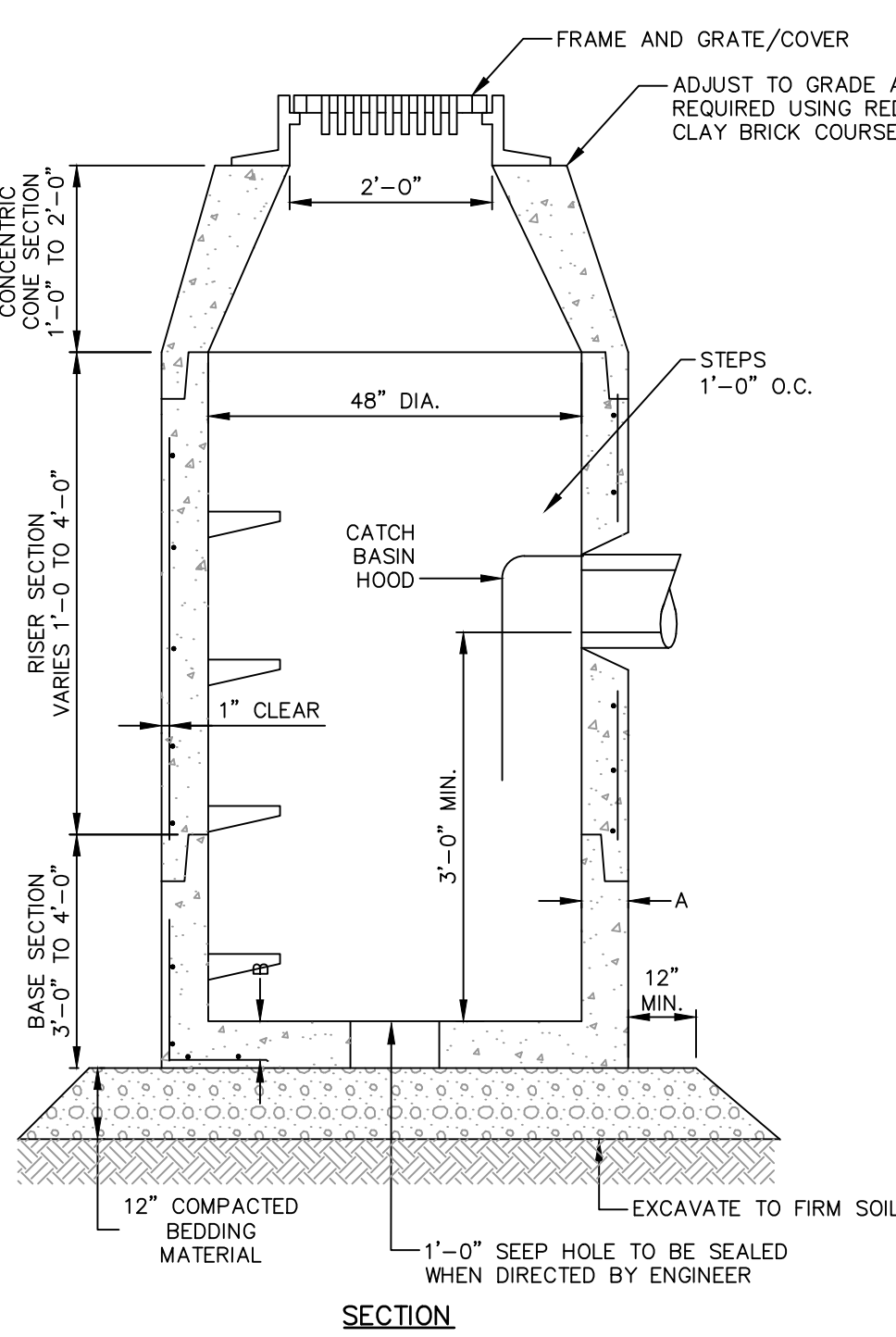
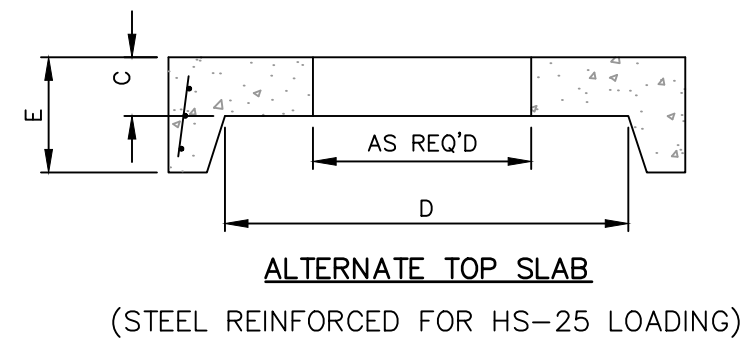
TRUE STORAGE DUPONT, LLC.
DETAILS
100 NIANATIC AVENUE
PROVIDENCE
RHODE ISLAND

PROJ. No.: 20130712.B10
DATE: 11/17/2020

CD-502

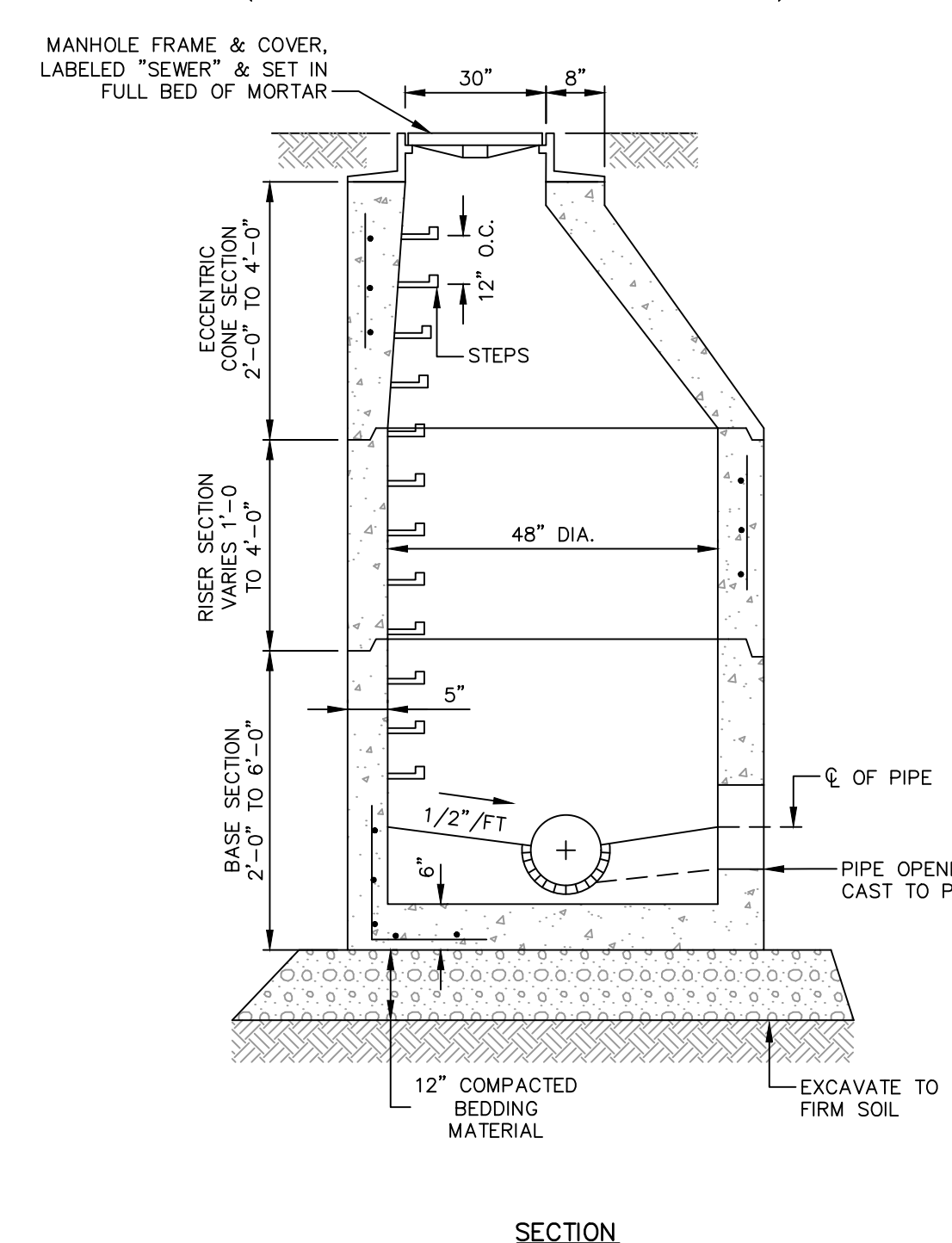
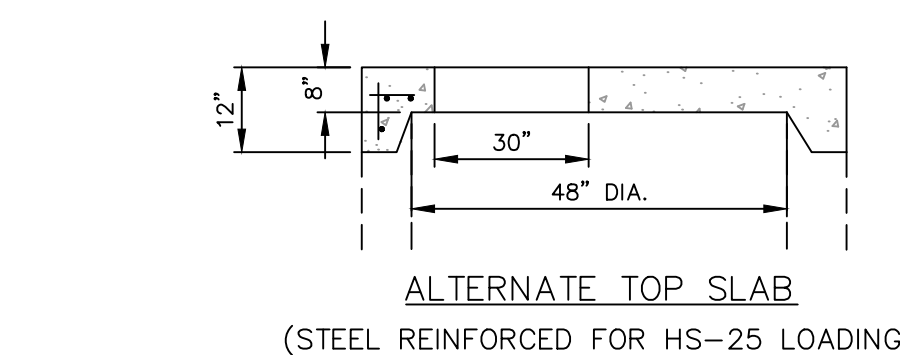


DOGHOUSE STORM MANHOLE (STMH)
NOT TO SCALE



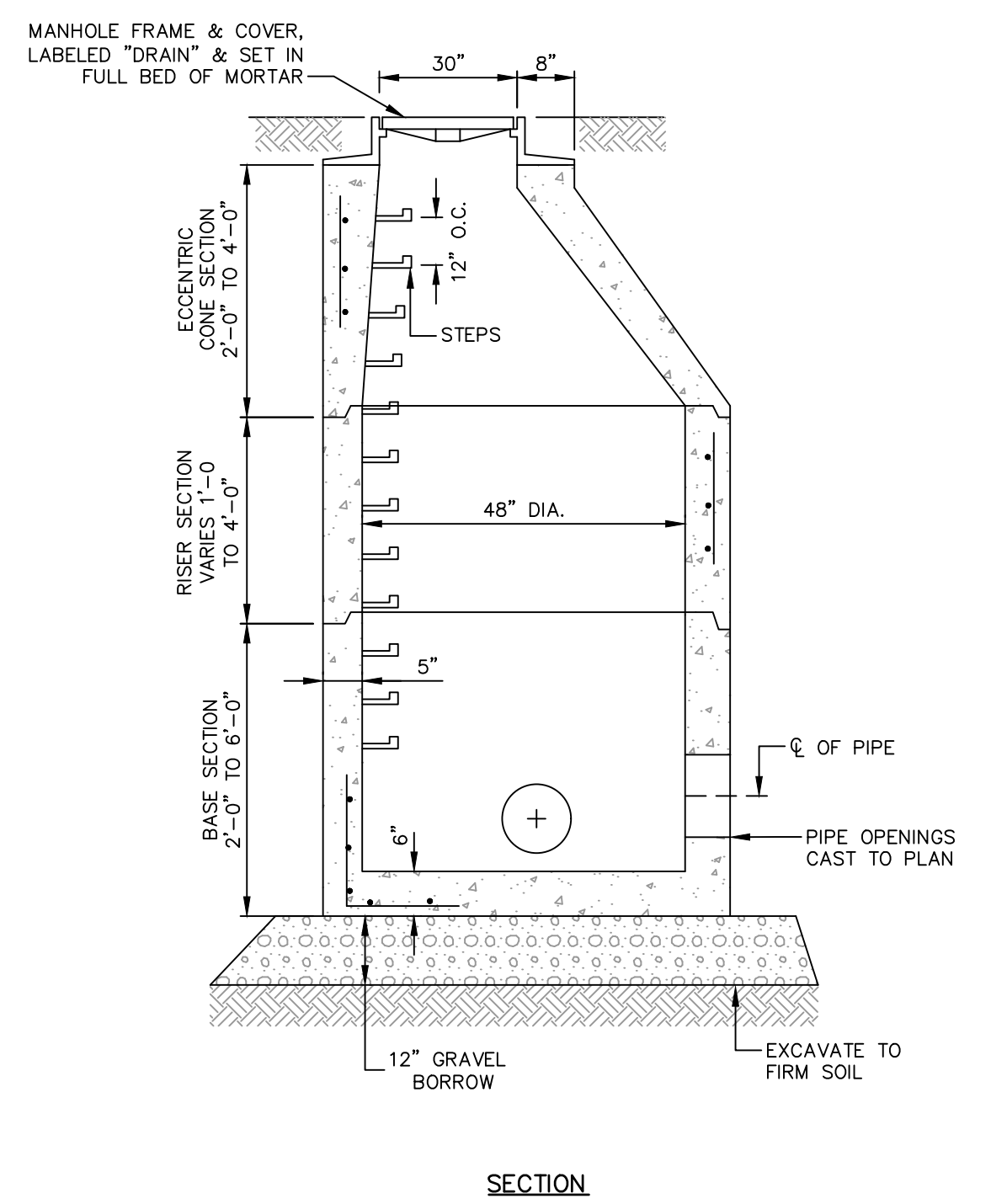
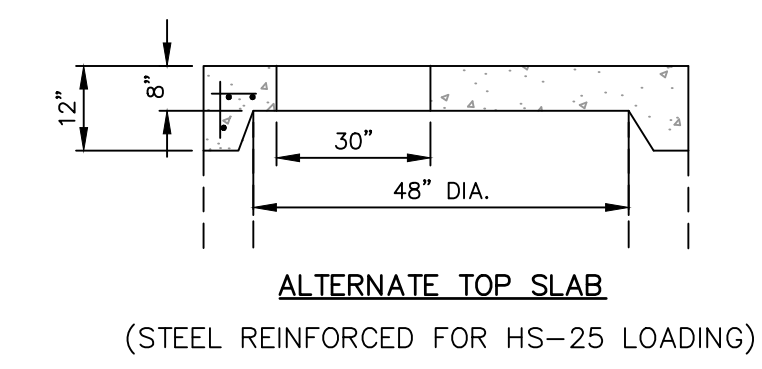
CATCH BASIN (CB)
NOT TO SCALE

- NOTES:**
1. FRAME AND GRATE SHALL BE R.I. STD. 6.3.0 OR APPROVED EQUAL.
 2. INLET CATCH BASIN SHALL INCLUDE GRANITE APRON STONE PER PROVIDENCE STANDARD 7.3.7P, AND BE INSTALLED IN ACCORDANCE WITH INLET/APRON STONE REVEAL PER PROVIDENCE STANDARD 60.4.0P.
 3. INLET CATCH BASIN SHALL HAVE 4' SUMP.
 4. FRAMES SHALL BE SET IN FULL BED OF MORTAR. ADJUST TO GRADE WITH RED CLAY BRICKS AND MORTAR.
 5. REINFORCING STEEL SHALL CONFORM TO ASTM A-185:
 - 0.12 SQ. IN./LIN. FT. CIRCUMFERENTIAL
 - 0.18 SQ. IN./FT. (BOTH WAYS) BASE BOTTOM
 6. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4,000 PSI TYPE II CEMENT.
 7. ONE POUR MONOLITHIC BASE SECTION.
 8. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 9. JOINT SEALANT SHALL BE PREFORMED BUTYL RUBBER MASTIC TYPE SEAL THAT COMPLIES WITH AASHTO M198 OR SYNTHETIC RUBBER GASKET THAT COMPLIES WITH ASTM C-443 OR C-361.
 10. CATCH BASIN DESIGN SHALL CONFORM TO ASTM C-478 FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTION."
 11. CATCH BASIN STEPS SHALL BE ASTM A 615/A615M, DEFORMED, 1/2-INCH STEEL REINFORCED RODS ENCASED IN ASTM D 4101, POLYPROPYLENE PLASTIC. THE CENTERLINE OF OPENING MUST BE WITHIN 2'-0" FROM STEPS.
 12. ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.



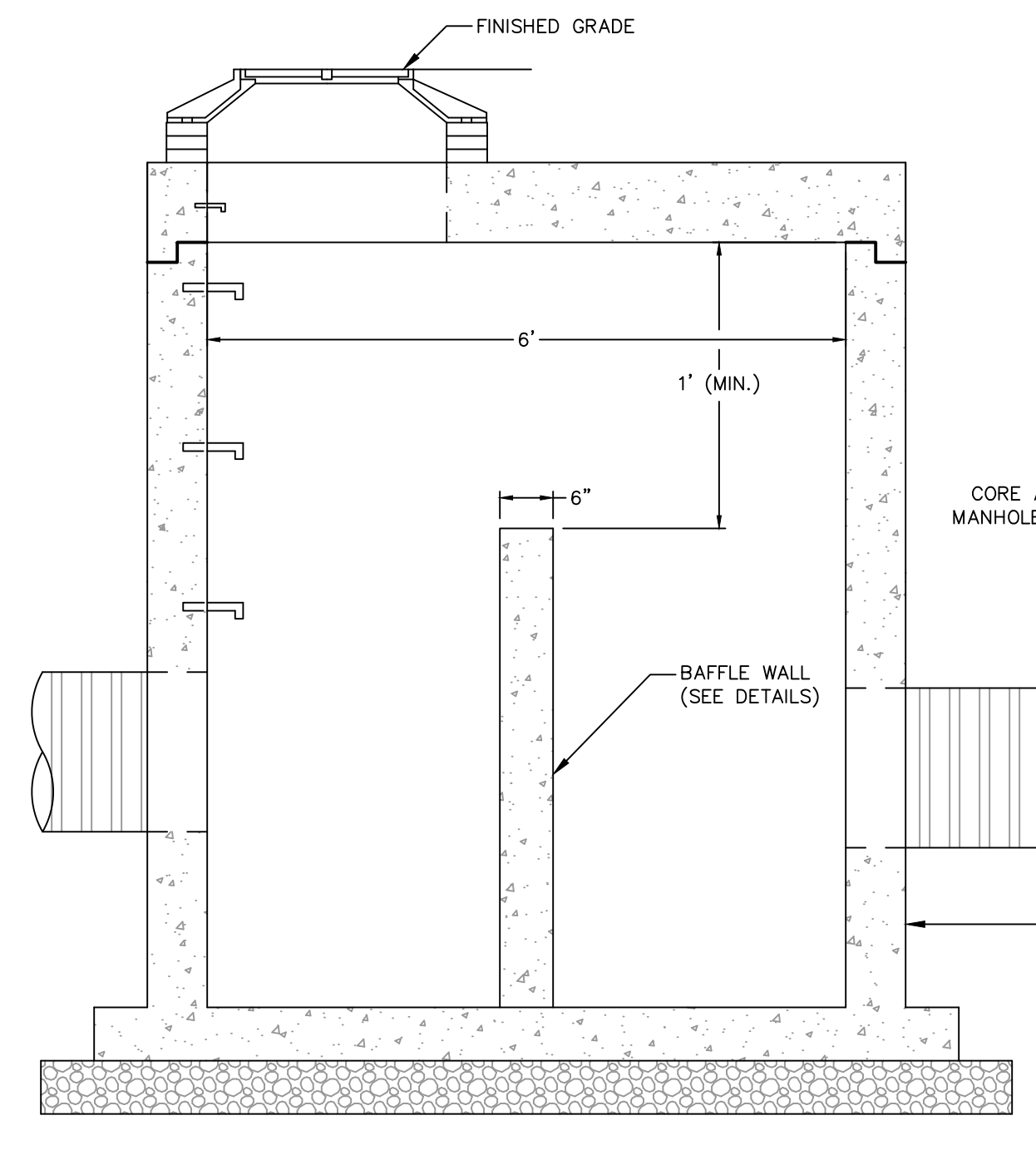
SEWER MANHOLE (SMH)
NOT TO SCALE

- NOTES:**
1. FRAME AND COVER TO BE R.I. STD. 6.2.1 OR APPROVED EQUAL. LETTERING: "SEWER"
 2. FRAMES SHALL BE SET IN FULL BED OF MORTAR. ADJUST TO GRADE WITH RED CLAY BRICKS AND MORTAR.
 3. REINFORCING STEEL SHALL CONFORM TO ASTM A-185:
 - 0.12 SQ. IN./LIN. FT. CIRCUMFERENTIAL
 - 0.18 SQ. IN./FT. (BOTH WAYS) BASE BOTTOM
 4. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4,000 PSI TYPE II CEMENT.
 5. ONE POUR MONOLITHIC BASE SECTION.
 6. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 7. JOINT SEALANT SHALL BE PREFORMED BUTYL RUBBER MASTIC TYPE SEAL THAT COMPLIES WITH AASHTO M198 OR SYNTHETIC RUBBER GASKET THAT COMPLIES WITH ASTM C-443 OR C-361.
 8. MANHOLE DESIGN SHALL CONFORM TO ASTM C-478 FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."
 9. MANHOLE STEPS SHALL BE ASTM A 615/A615M, DEFORMED, 1/2-INCH STEEL REINFORCED RODS ENCASED IN ASTM D 4101, POLYPROPYLENE PLASTIC. THE CENTERLINE OF OPENING MUST BE WITHIN 2'-0" FROM STEPS.
 10. ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
 11. INVERT CONSTRUCTED OF BRICK OR CEMENT CONCRETE, CLASS D.



STORM MANHOLE (STMH)
NOT TO SCALE

- NOTES:**
1. FRAME AND COVER TO BE R.I. STD. 6.2.1 OR APPROVED EQUAL. LETTERING: "DRAIN"
 2. FRAMES SHALL BE SET IN FULL BED OF MORTAR. ADJUST TO GRADE WITH RED CLAY BRICKS AND MORTAR.
 3. REINFORCING STEEL SHALL CONFORM TO ASTM A-185:
 - 0.12 SQ. IN./LIN. FT. CIRCUMFERENTIAL
 - 0.18 SQ. IN./FT. (BOTH WAYS) BASE BOTTOM
 4. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4,000 PSI TYPE II CEMENT.
 5. ONE POUR MONOLITHIC BASE SECTION.
 6. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 7. JOINT SEALANT SHALL BE PREFORMED BUTYL RUBBER MASTIC TYPE SEAL THAT COMPLIES WITH AASHTO M198 OR SYNTHETIC RUBBER GASKET THAT COMPLIES WITH ASTM C-443 OR C-361.
 8. MANHOLE DESIGN SHALL CONFORM TO ASTM C-478 FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."
 9. MANHOLE STEPS SHALL BE ASTM A 615/A615M, DEFORMED, 1/2-INCH STEEL REINFORCED RODS ENCASED IN ASTM D 4101, POLYPROPYLENE PLASTIC. THE CENTERLINE OF OPENING MUST BE WITHIN 2'-0" FROM STEPS.
 10. ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
 11. INVERT CONSTRUCTED OF BRICK OR CEMENT CONCRETE, CLASS D.

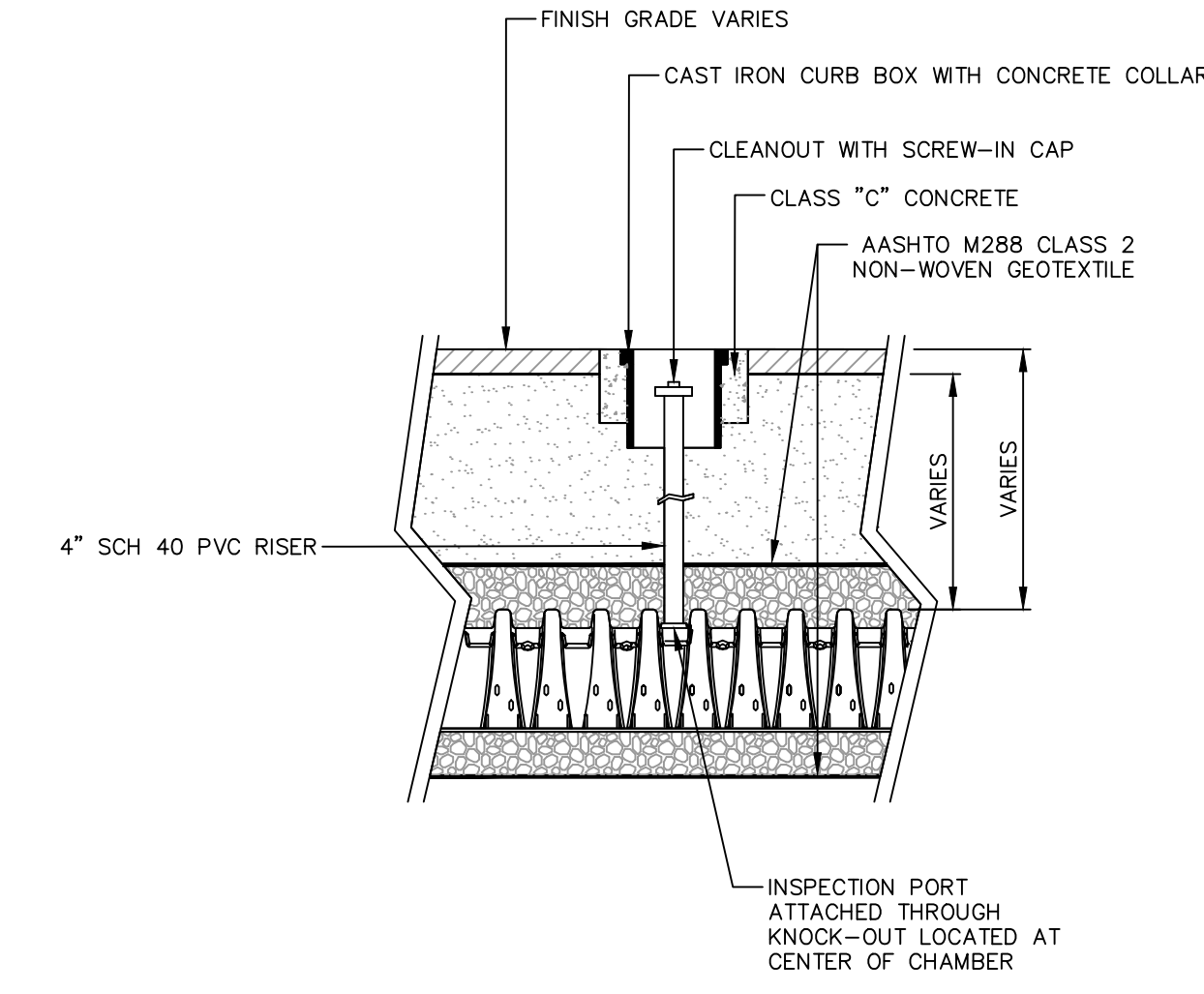
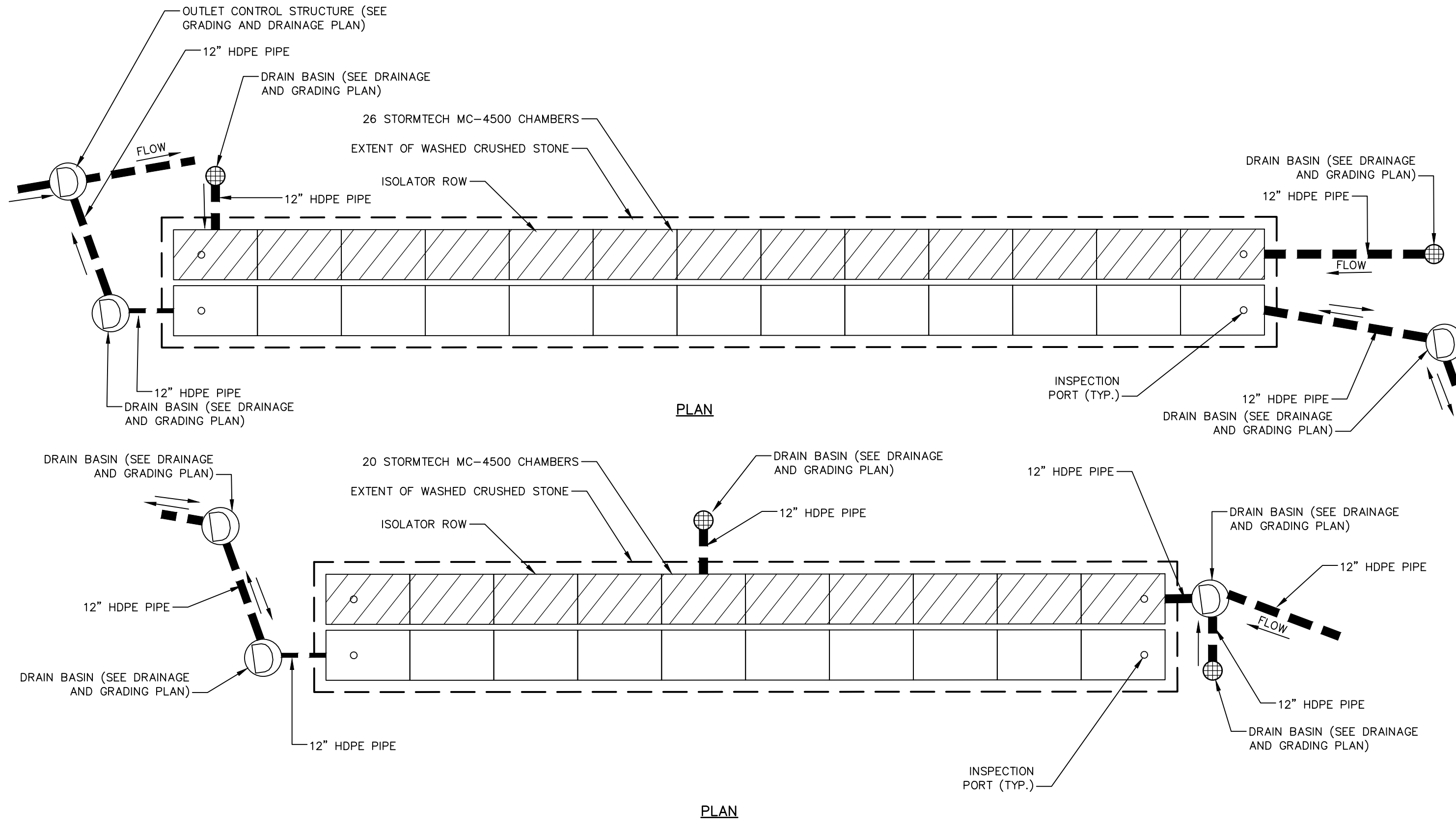


OUTLET CONTROL STRUCTURE
SCALE: NOT TO SCALE

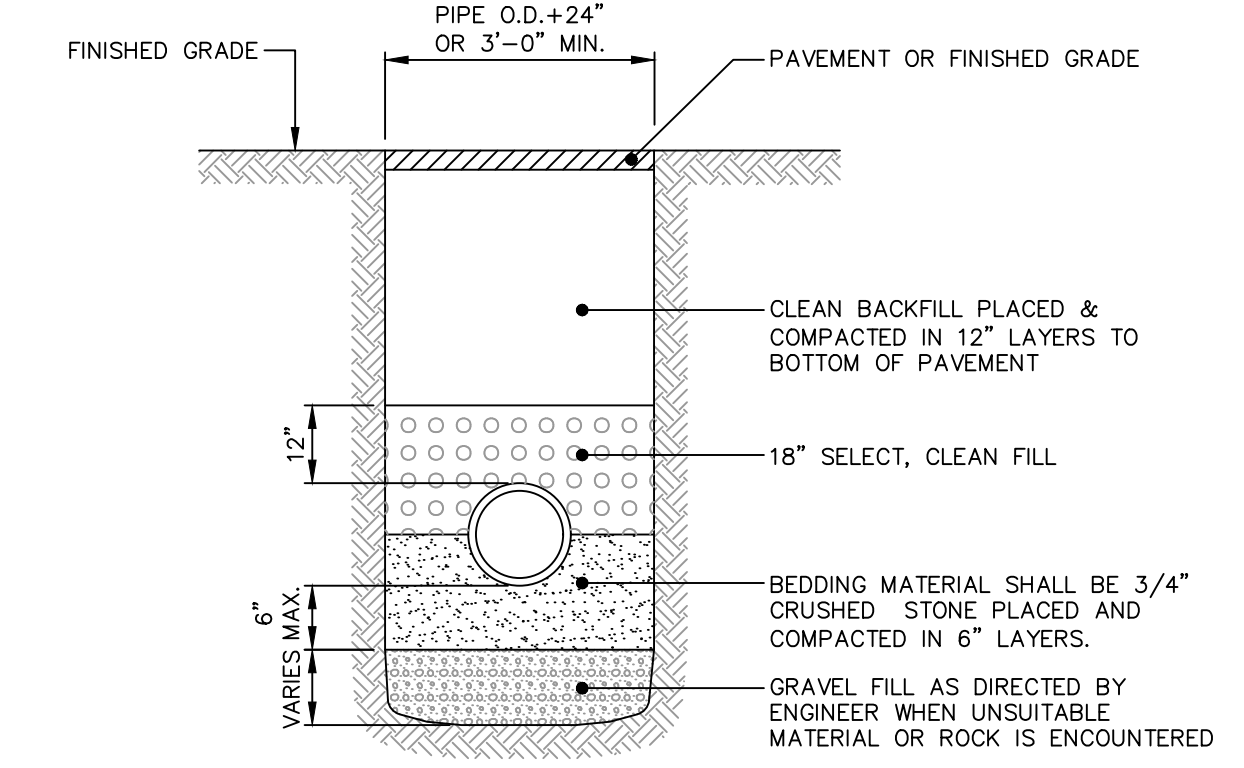
- NOTES:**
1. REFER TO STORM MANHOLE DETAIL FOR STRUCTURE REQUIREMENTS.
 2. REFER TO PLANS FOR GRIFICE SIZES AND ELEVATIONS.

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 MS VIEW: LAYER STATE: CTB File: FO.STB

		FUSS & O'NEILL 517 IRON HORSE WAY, SUITE 304 PROVIDENCE, R.I. 02906 401.861.3070 www.fandoi.com	TRUE STORAGE DUPONT, LLC. DETAILS 100 NIANTIC AVENUE PROVIDENCE RHODE ISLAND	PROJECT No.: 20130712.B10 DATE: 11/17/2020	CD-504	DESIGNER REVIEWER DATE No.	DESCRIPTION



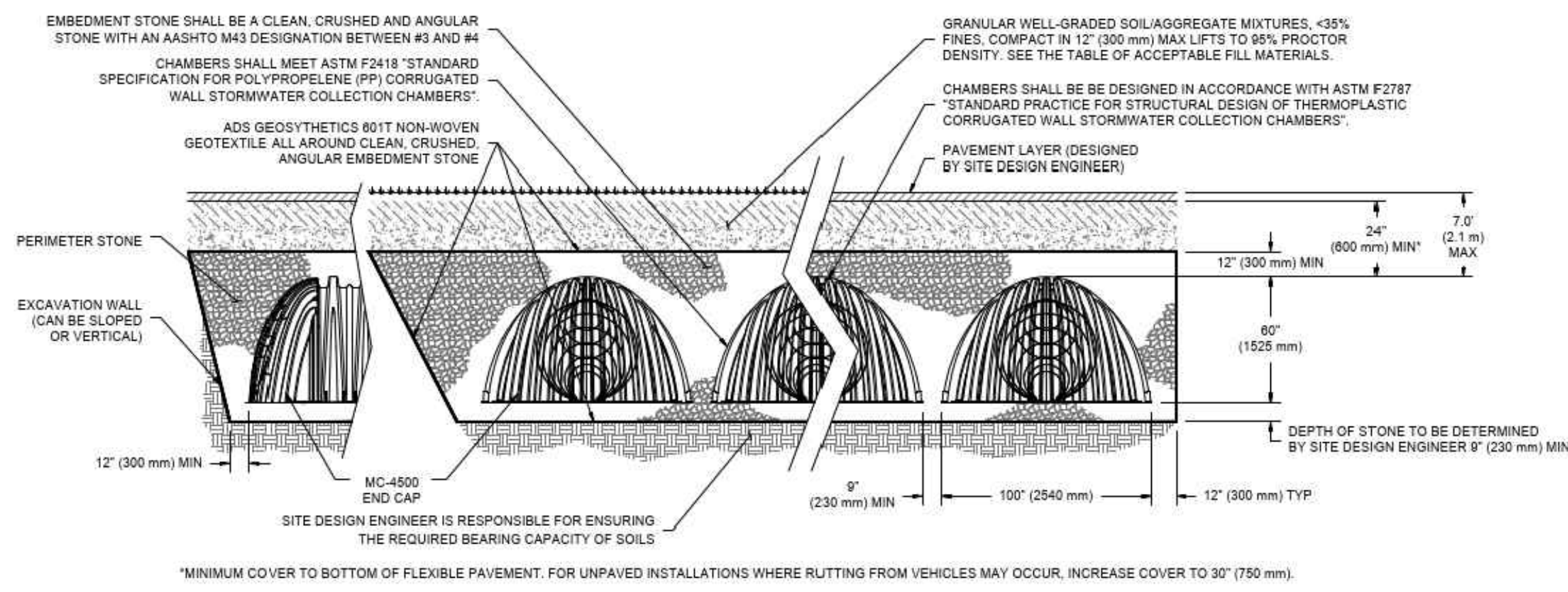
INSPECTION PORT
NOT TO SCALE



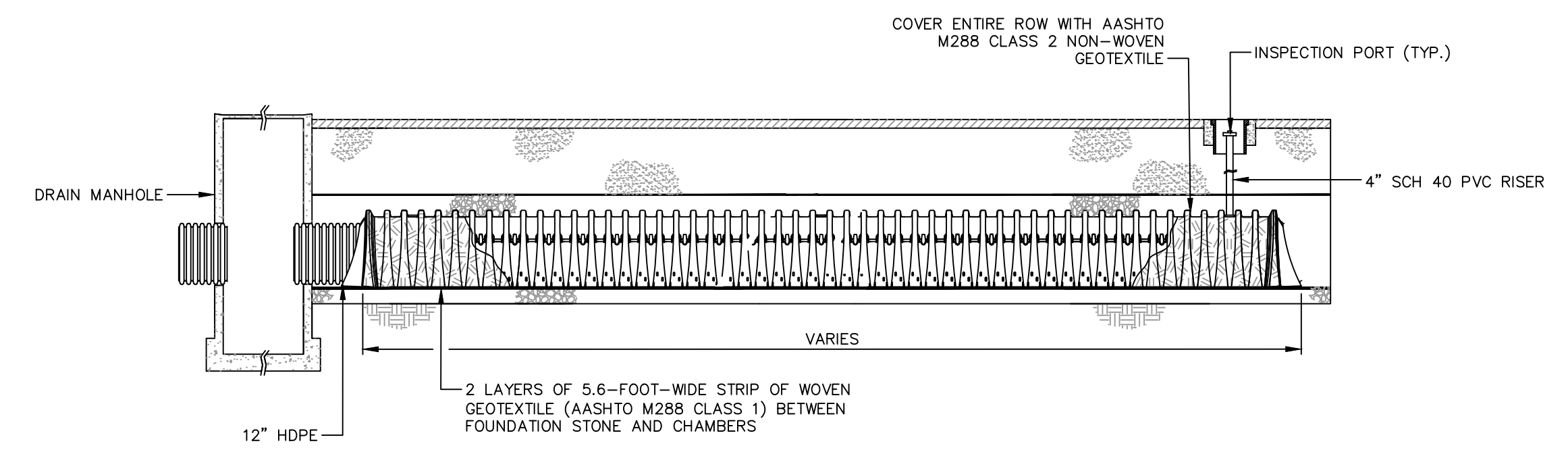
STORM DRAIN TRENCH
NOT TO SCALE

NOTES:

1. GEOTEXTILE SHALL COMPLETELY ENVELOP SYSTEM. OVERLAP ADJACENT GEOTEXTILE ROLLS PER AASHTO M288 SEPARATION GUIDELINES.
2. WASHED CRUSHED STONE PLACED BELOW CHAMBERS.
3. NO COMPACTION IS REQUIRED FOR EMBEDMENT STONE SURROUNDING CHAMBERS.
4. BEGIN COMPACTION AFTER 12" OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL MATERIAL IN 6" LIFTS TO 95% MODIFIED PROCTOR DENSITY.
5. USE ADDITIONAL GRAVEL BORROW AS NECESSARY WHERE ELEVATIONS DICTATE ADDITIONAL MATERIAL ABOVE EMBEDMENT STONE.



SUBSURFACE INFILTRATION SYSTEM
NOT TO SCALE



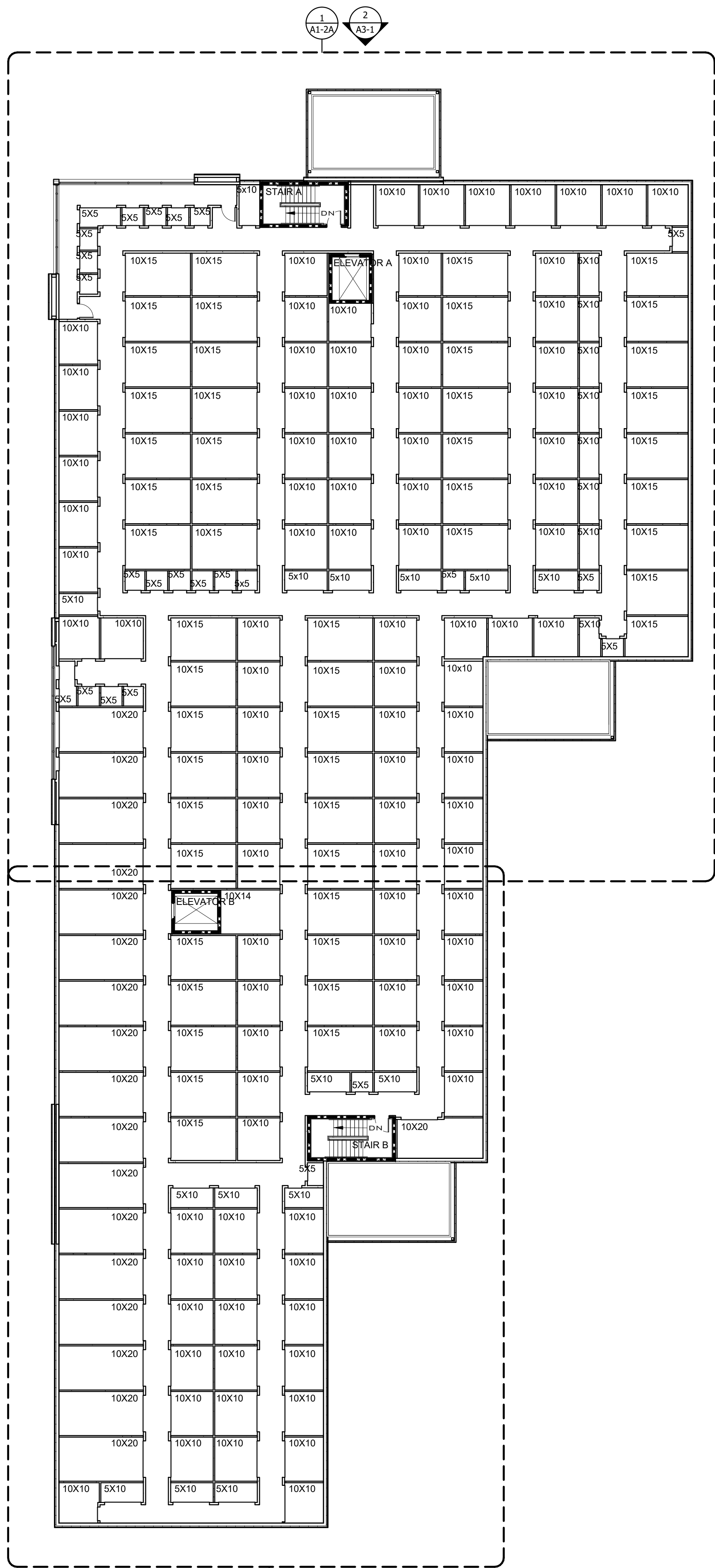
ISOLATOR ROW
NOT TO SCALE

DESIGNER	REVIEWER
DATE	DESCRIPTION
No.	
SCALE:	HORIZ.: AS NOTED
	VERT.: 1" = 10'
	DATUM: NAVD 83
	HORIZ.: NAVD 88
	VERT.: NAVD 88
	GRAPHIC SCALE

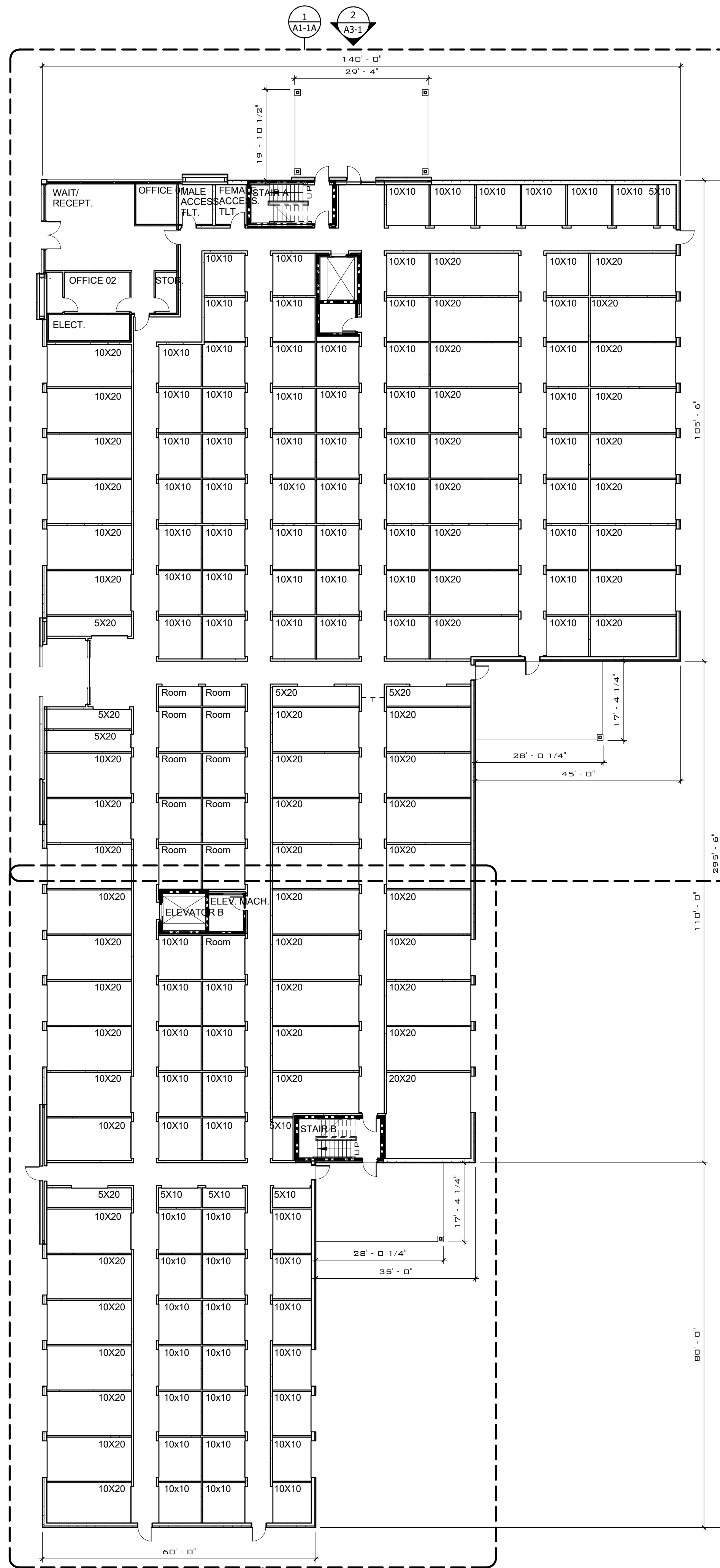
FUSS & O'NEILL
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TRUE STORAGE DUPONT, LLC.
 DETAILS
 100 NIAN TIC AVENUE
 PROVIDENCE
 RHODE ISLAND

PROJ. No.: 20130712.B10
 DATE: 11/17/2020
CD-505



1
A1-1
2
A1-1
LEVEL 02 OVERALL FLOOR PLAN
1/16" = 1'-0"



1
A1-1B
3
A3-1
1
A1-1
LEVEL 01 OVERALL FLOOR PLAN
1/16" = 1'-0"


CONSTRUCTION PLAN LEGEND:

- [Symbol] NOT IN CONTRACT (NID)
- [Symbol] EXISTING WALL TO REMAIN
- [Symbol] NEW WALL
- [Symbol] Room Name 101 ROOM TAG
- [Symbol] SECTION TAG
- [Symbol] DETAIL TAG
- [Symbol] INTERIOR ELEVATION TAG
- [Symbol] EXTERIOR ELEVATION TAG
- 1 / A101 VIEW REFERENCE
- [Symbol] CENTERLINE
- [Symbol] WALL TAG
- [Symbol] KEYNOTE TAG
- [Symbol] EXISTING-TO-REMAIN DOOR
- [Symbol] NEW DOOR & DOOR TAG
- [Symbol] REVISION MARKER
- [Symbol] ELEVATION MARKER
- [Symbol] WINDOW TAG

CONSTRUCTION PLAN KEYNOTES:

z_ROOM SCHEDULE LEVEL 02 STORAGE COUNT		
Level	Name	Count
LEVEL 02	5X5	22
LEVEL 02	5x5	2
LEVEL 02	5X10	18
LEVEL 02	5x10	5
LEVEL 02	10X10	95
LEVEL 02	10x10	1
LEVEL 02	10X14	1
LEVEL 02	10X15	51
LEVEL 02	10X20	18

z_ROOM SCHEDULE LEVEL 01 STORAGE COUNT		
Level	Name	Count
LEVEL 01	5X10	5
LEVEL 01	5X20	6
LEVEL 01	10X10	72
LEVEL 01	10x10	14
LEVEL 01	10X20	57



670 N. COMMERCIAL ST.
MANCHESTER, NH 03101
P: 603.622.6223
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WWW.TRUESTORAGE.COM

LICENSED ARCHITECT
CHRISTOPHER J. LEWIS
No. 3620

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PROVIDENCE
100 NIANIANT AVENUE
PROVIDENCE, RI 02907

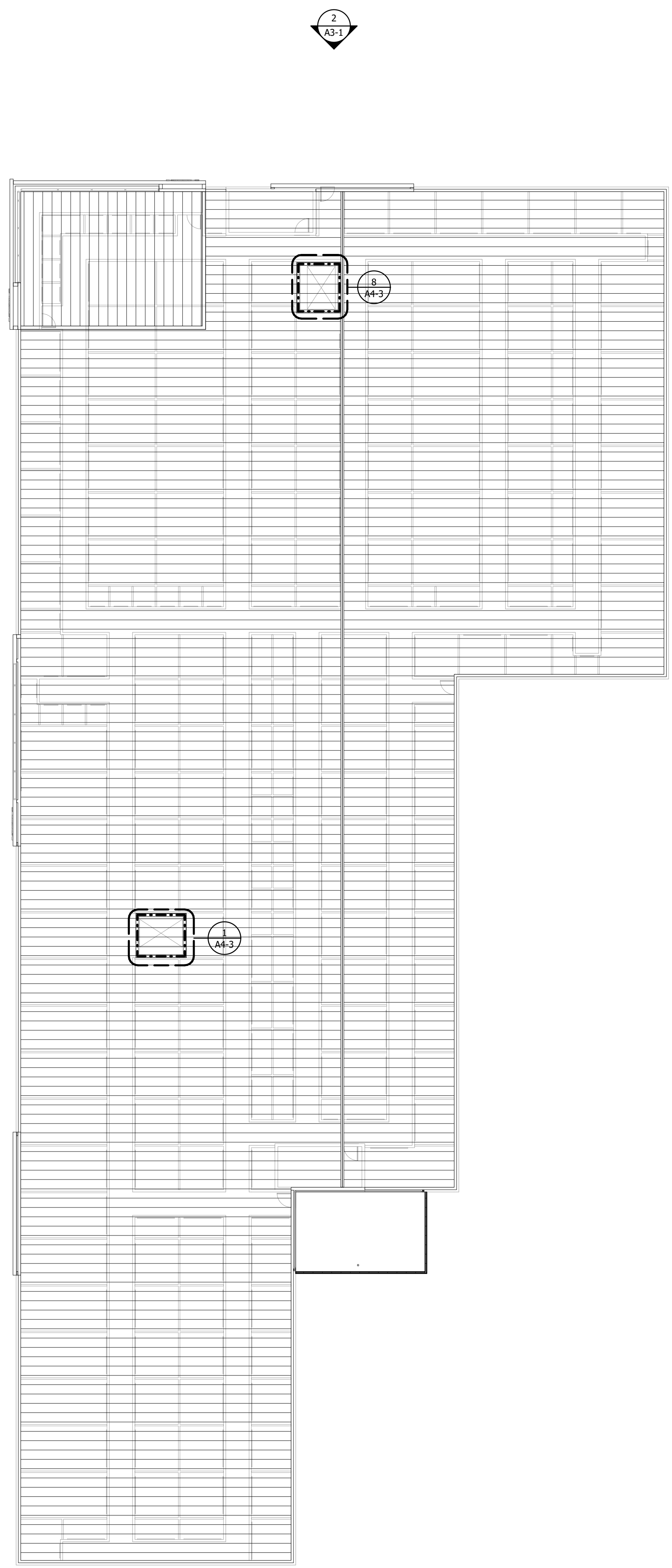
NO.	DESCRIPTION	DATE
	SITE PERMITTING	11/17/20

LEVELS 01 & 02 OVERALL FLOOR PLANS

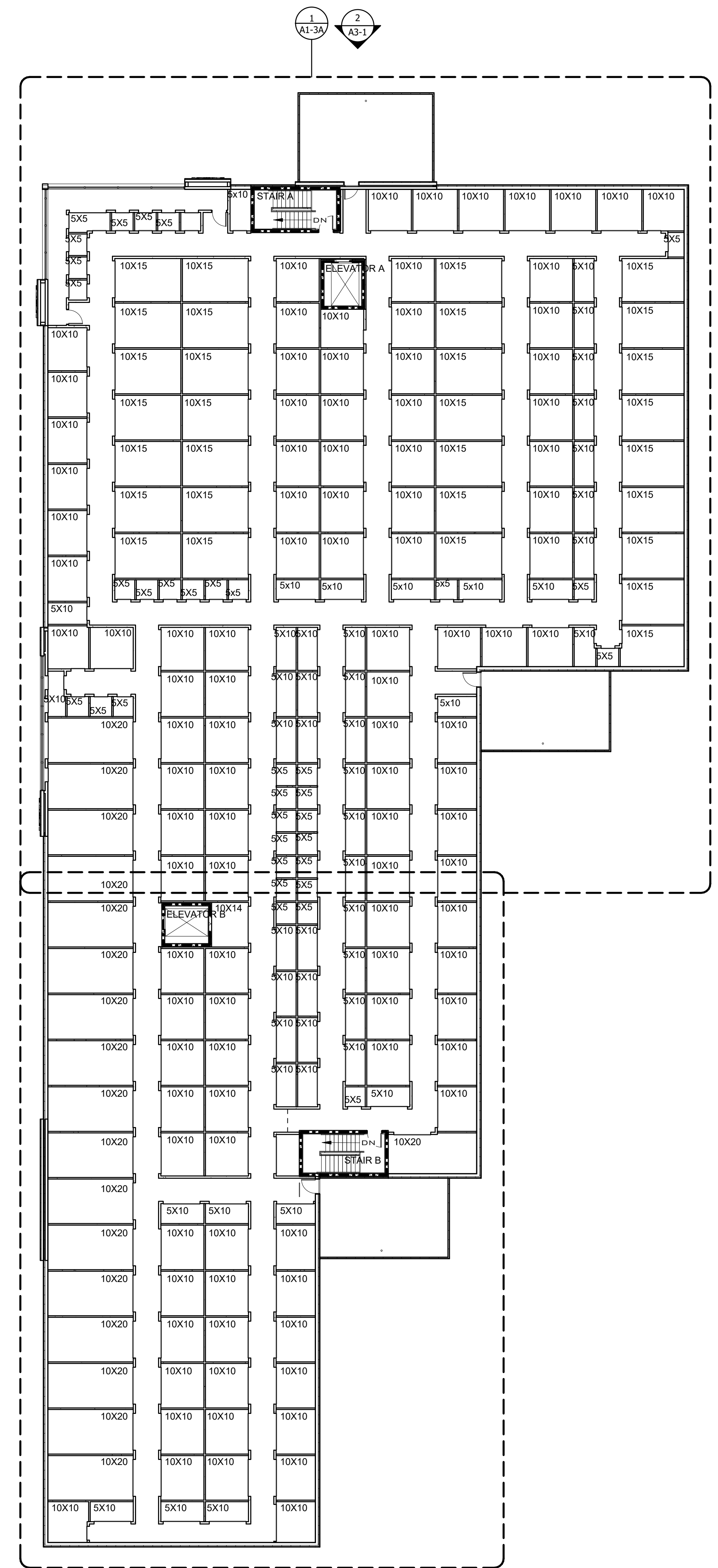
DATE: 09/28/20
PROJECT NO.: XX.XXXXXX.XX
APPROVED BY: CL
DRAWN BY: DC

A1-1

SCALE: AS INDICATED



3/A3-1 2/A1-2 LEVEL 04 OVERALL ROOF PLAN
1/16" = 1'-0"



1/A1-3A 3/A3-1 1/A1-2 LEVEL 03 FLOOR PLAN
1/16" = 1'-0"

2_ROOM SCHEDULE LEVEL 03 STORAGE COUNT

Level	Name	Count
LEVEL 03	5X5	33
LEVEL 03	5X10	2
LEVEL 03	5X10	42
LEVEL 03	5X10	6
LEVEL 03	10X10	106
LEVEL 03	10X14	1
LEVEL 03	10X15	30
LEVEL 03	10X20	18

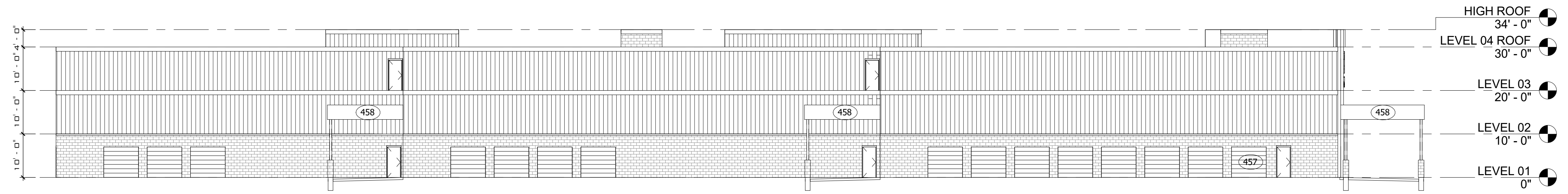
NO.	DESCRIPTION	DATE
	SITE PERMITTING	11/17/20

LEVELS 03
OVERALL FLOOR
PLAN & 04
OVERALL ROOF
PLAN

SHEET ISSUE DATE: 11/17/20
PROJECT NO.: XX.XXXXXX.XX
APPROVED BY: [Signature] CL
DRAWN BY: DC



2 EXTERIOR ELEVATION
A3-1 1/16" = 1'-0"



1 EXTERIOR ELEVATION
A3-1 1/16" = 1'-0"



3 EXTERIOR ELEVATION
A3-1 1/16" = 1'-0"



4 EXTERIOR ELEVATION
A3-1 1/16" = 1'-0"

EXTERIOR ELEVATION KEYNOTES:

- 451 VERTICAL RIBBED METAL SIDING; COLOR SHALL BE SIM. TO 'STO' PACIFIC SAND 10511
- 452 METAL ACCENT TRIM; COLOR SHALL MATCH EXTERIOR METAL PANEL SYSTEM @ STOREFRONT AREA
- 453 CEMENTITIOUS PANEL SIDING; COLOR TBD
- 454 EIFS 01: 'STO' LONDON FOG 11505
- 455 EIFS 02: 'STO' CUSTOM COLOR TBD
- 456 EIFS CORNICE: 'STO' WHITE 9433
- 457 STEEL OVERHEAD DOOR; PTD.; COLOR TBD
- 458 STEEL CANOPY & SUPPORTS; PTD.; COLOR SHALL MATCH EXTERIOR METAL PANEL SYSTEM @ STOREFRONT AREA
- 462 EXTERIOR ILLUMINATED BUILDING SIGN
- 464 CLEAR ANODIZED ALUMINUM CURTAINWALL SYSTEM

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PROVIDENCE, RI 02907

THESE DRAWINGS ARE IN DESIGN DEVELOPMENT. THEY ARE PROGRESS DRAWINGS. THEY ARE NOT INTENDED TO BE CONSTRUCTION DOCUMENTS AND SHOULD NOT BE USED FOR CONSTRUCTION.

NO.	DESCRIPTION	DATE

OVERALL EXTERIOR
ELEVATIONS

SHEET ISSUE DATE: 10/29/2020
PROJECT NO.: XX.XXXXXX.XX
APPROVED BY: CL
DRAWN BY: DC

A3-1

SCALE: AS INDICATED
11/16/2020 4:47:22 PM






- NOTES:
- REFLECTANCES ASSUMED: SURFACE: 50
 - MOUNTING HEIGHTS: 20'-0" AFG
 - TASK HEIGHT: AT SURFACE
 - CALCULATION POINT SPACING: 7'X7' OC

DISCLAIMER:

- THESE DRAWINGS ARE FOR CONCEPTUAL PURPOSES ONLY AND ARE NOT INTENDED FOR CONSTRUCTION. VALUES REPRESENTED ARE AN APPROXIMATION GENERATED FROM MANUFACTURERS PHOTOMETRIC IN-HOUSE OR INDEPENDANT LAB TEST WITH DATA SUPPLIED BY LAMP MANUFACTURERS.

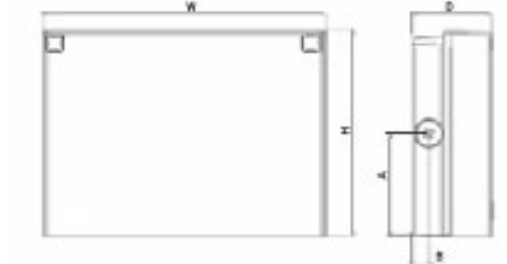
STATISTICS

DESCRIPTION	SYMBOL	AVG.	MAX	MIN.	MAX/MIN	AVG/MIN
Outer Perimeter	+	0.1 fc	3.0 fc	0.0 fc	N/A	N/A
Parking Lot	+	2.2 fc	5.8 fc	0.1 fc	58.0:1	22.0:1



WPX LED Wall Packs

Specifications



Location	Height (H)	Width (W)	Depth (D)	Side Cord Location	Weight
WPX1	8.1" (206 mm)	11.1" (283 mm)	3.7" (95 mm)	4.0" (103 mm)	6.1 lbs (2.8 kg)
WPX2	9.5" (241 mm)	12.1" (311 mm)	4.7" (119 mm)	5.7" (145 mm)	8.2 lbs (3.7 kg)
WPX3	9.5" (241 mm)	13.8" (350 mm)	5.5" (140 mm)	4.7" (120 mm)	11.0 lbs (5.0 kg)

Ordering Information

EXAMPLE: WPX2 LED 40K MVOLT DDBXD

Series	Color Temperature	Voltage	Options	Finish
WPX1 LED P1	1,520 Lumens, 10W	30K 300K	MVOLT 120V-277V	DDBXD Dark Bronze
WPX1 LED P2	2,900 Lumens, 20W	40K 4000K	347 347V-1	DDBXD White
WPX2 LED	6,000 Lumens, 47W	50K 5000K		DDBXD Black
WPX3 LED	9,200 Lumens, 69W			PE Photocell

NOTE: The lumen output and input power shown in the ordering tree are average representations of all configuration options. Specific values are available on request.

NOTES:

- All WPX wall packs come with 6kV surge protection standard, except WPX1 LED P1 package which comes with 2.5kV surge protection standard. Add SPOKED option to get WPX1 LED P1 with 6kV surge protection.
- Battery pack options only available on WPX1 and WPX2.
- Battery pack options not available with 347V and PE options.

FEATURES & SPECIFICATIONS

INTENDED USE
The WPX LED wall packs are designed to provide a cost-effective, energy-efficient solution for the one-for-one replacement of existing HID wall packs. The WPX1, WPX2 and WPX3 are ideal for replacing up to 150W, 250W, and 400W HID luminaires respectively. WPX luminaires deliver a uniform, wide distribution.

CONSTRUCTION
WPX features a die-cast aluminum main body with optional thermal management that both enhances LED efficiency and extends component life. The luminaires are IP66 rated, and sealed against moisture or environmental contaminants.

ELECTRICAL
Light engine(s) configurations consist of high-efficiency LEDs and LED lumen maintenance of L80/L90/50,000 hours. Color temperature (CCT) options of 3000K, 4000K and 5000K with minimum CRI of 90. Electronic drivers ensure system power factor >90% and THD <50%. All luminaires have 6kV surge protection. WPX LED P1 package comes with a standard 6kV surge protection rating of 2.5kV. It can be ordered with an optional 6kV surge protection.

INSTALLATION
WPX can be mounted directly over a standard electrical junction box. Three 1/2 inch conduit ports on three sides allow for surface conduit wiring. A port on the back surface allows pre-drilled conduit wiring on surfaces that don't have an electrical junction box. Wiring can be made in the original wiring compartment for all cases. WPX is only recommended for installations with LEDs facing downwards.

LISTINGS
CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations. IP66 Rated. Designlights Consortium (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.dlc.com to confirm which versions are qualified. International Dark Sky Association (IDA) Fixture Seal of Approval (PSA) is available for all products on this page utilizing 3000K color temperature only.

WARRANTY
3-year limited warranty. Complete warranty terms located at: www.lithonia.com/customer-service/3-year-warranty

NOTE: Actual performance may differ as a result of end-use environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.

LITHONIA LIGHTING
One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (9378) • www.lithonia.com
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WPX LED Rev: 06/20/20

SCHEDULE

SYMBOL	LABEL	QUANTITY	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LAMP	# OF LAMPS	LUMENS PER LAMP	LLF	WATTAGE
□	WL-1	13	Lithonia Lighting	WPX3 LED 40K Mvolt	WPX3 LED wallpack 9000lm 4000K color temperature 120-277V		1	9270	0.9	72.33