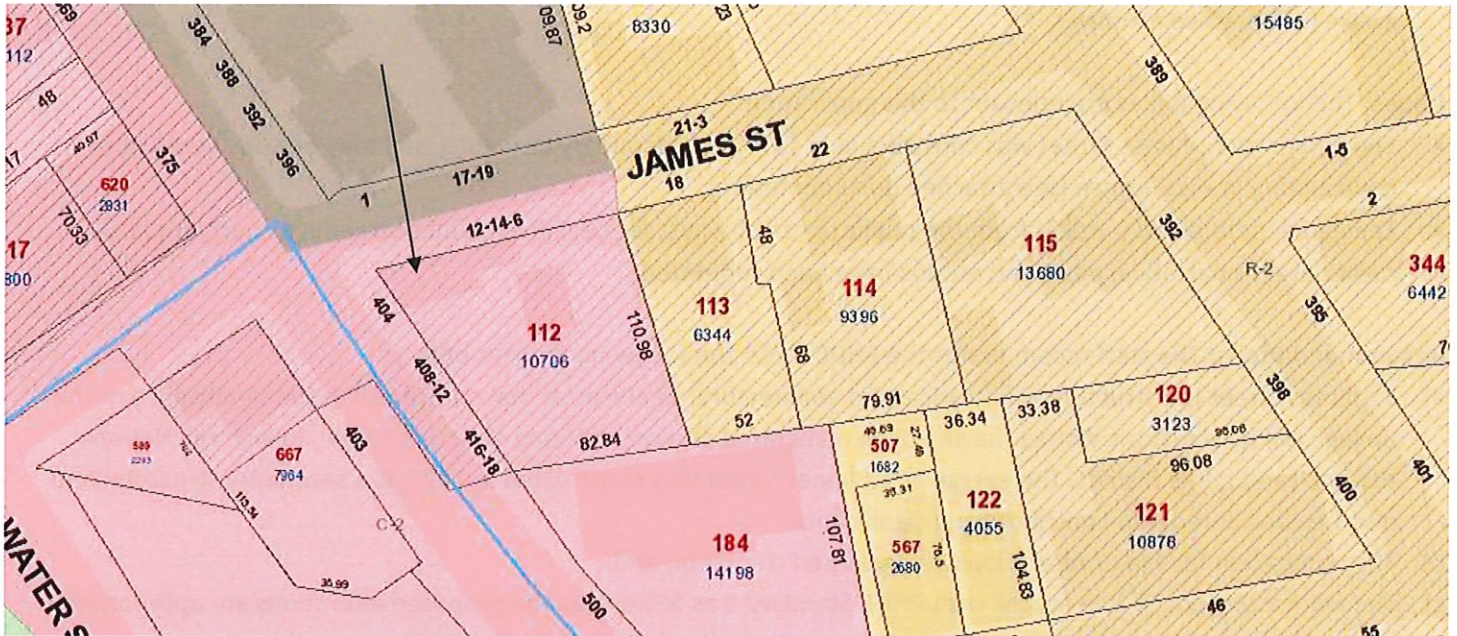
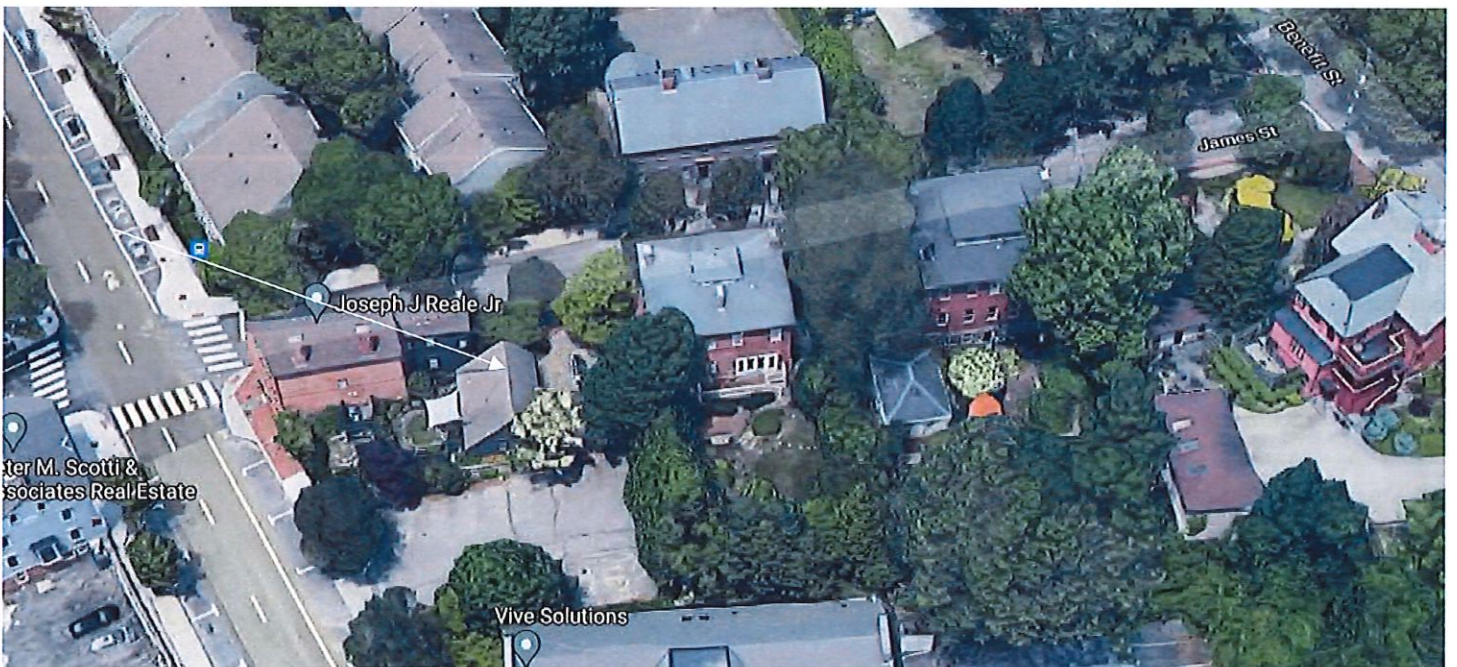


6. **CASE 21.057, 12 JAMES (aka 404 S MAIN) STREET, Joseph Tillinghast House, 1801 (COLLEGE HILL)**
2 ½ story, brick, flank-gable-roof Federal house, three bays wide with a center entry with a round-arched fanlight and pilasters. Brownstone trim, including flaring window lintels; and water table; brick belt course and dentil cornice. Basement-level storefront on west end, facing South Main Street. Remodeled in 1978, garage dates from 1977.

CONTRIBUTING



Arrow indicates 12 James Street.



Arrow indicates project location, looking north.

Applicant/ Owner: Valerie Sonnenthal, 479 State Rd, #1210, West Tisbury, MA 02575

Architect: Mark Rapp, ACME Architects LLC, 9 Simmons Road, Little Compton, RI 02903

Proposal: The scope of work proposed consists of Major Alterations and includes:

- The applicant is requesting the modification of the addition of a five-window shed dormer to the front slope of the 1977 garage (see attached narrative).

Issues: The following issues are relevant to this application:

- The garage at 12 James Street was constructed in 1977, is a secondary structure, and may be considered non-contributing in significance (see attached documentation);
- The garage is minimally visible from the public rights-of-ways, set-back from James Street in a courtyard; and,
- An architect's narrative, plans and photos have been submitted.

Recommendations: The staff recommends the PHDC make the following findings of fact:

- a) 12 James Street is a structure of historical and architectural significance that contribute to the significance of the College Hill local historic district, having been recognized as a contributing structure to the College Hill National Historic Landmarks District. The garage at 12 James Street was constructed in 1977, is a secondary structure, and may be considered non-contributing in significance;
- b) The application for Major Alterations is considered complete; and,
- c) The work as proposed is in accord with PHDC Standard 8 as follows: as the proposed alterations are appropriate having determined that the proposed construction is architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district as the proposed location is a secondary structure, constructed in 1977, and may be considered non-contributing in significance, while also being minimally visible from the public rights-of-ways.

Staff recommends a motion be made stating that: The application is considered complete. 12 James Street is a structure of historical and architectural significance that contribute to the significance of the College Hill local historic district, having been recognized as a contributing structure to the College Hill National Historic Landmarks District. The garage at 12 James Street was constructed in 1977, is a secondary structure, and may be considered non-contributing in significance. The Commission grants Final Approval of the proposal as submitted having determined that the proposed alterations are appropriate as the proposed alterations are architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district as the proposed location is a secondary structure, constructed in 1977, and may be considered non-contributing in significance, while also being minimally visible from the public rights-of-ways, citing and agreeing to the recommendations in the staff report, with staff to review any additional required details.

Project: Garage Renovation
Address: 12 James Street, Providence, RI 02903
Date: 9 June 2021
Re: Application Information

NARRATIVE – Scope of Work

The Owners would like to renovate the existing detached two bay garage and apartment to create more usable interior space.

Existing

At present the garage is a multi-level two story structure, built circa 1978. The garage is accessed from the east. The second floor is accessed via an interior stair at the first floor. There is an additional access to the west, off an existing garden area, which is 1/3 level below the garage floor. The building contains two parking spaces, mechanical room, full bath, interior stair, kitchenette, and a sleeping room.

Proposed

At the garage level, one overhead garage door shall be removed the wall infilled and two double hung windows shall be installed

At the upper level, a new shed dormer shall be added to the east elevation. The dormer is 20' long and contains five (5) double hung windows. The dormer wall is offset 1' from the east wall terminates 9" below the ridge

The exterior materials, wood siding and trim, shall match the existing in form and material. The new window shall match existing windows in function, profiles, size, configuration, and trim.

Conclusion

In conclusion, we believe the proposed addition of double hung windows as the first floor, and a dormer with five windows improves the functionality of the space while assure minimal impact to the exterior form and character.

End of Narrative

DEPARTMENT OF BUILDING INSPECTION.

DATE April 27, 1977 PERMIT NO. 1078
LOCATION 12-16 James St.
WARD 2 PLAT 16 LOT 112-002
OWNER Irwin Chernick
ARCHITECT Bianco/Boomer
BUILDER T.F. Construction
MATERIAL wood
NATURE OF WORK New bldg.
NO. OF BLDGS.
NO. OF STORIES 1
TO BE USED FOR garage
NO. OF FAMILIES
FIRE DISTRICT 2 \$8,500.00





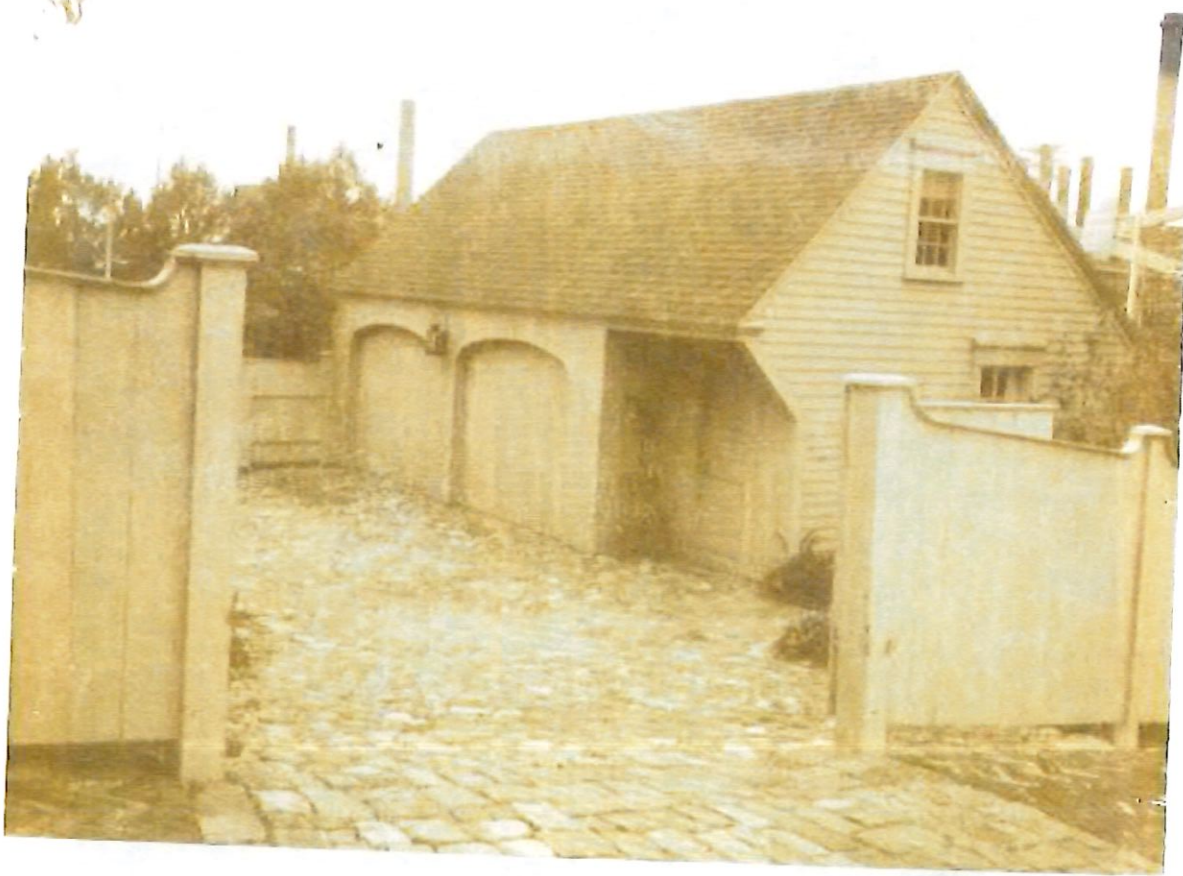
3 - South side from South Main Street



4 - Two windows to be matched



5 - Window and trim detail



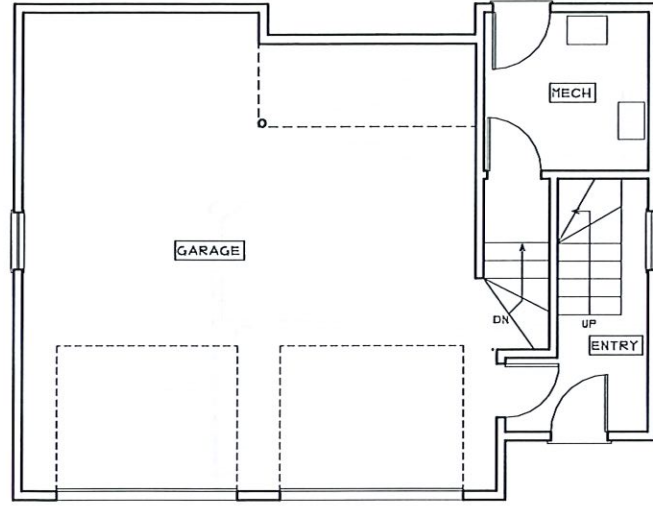
6 - Photo circa 1978



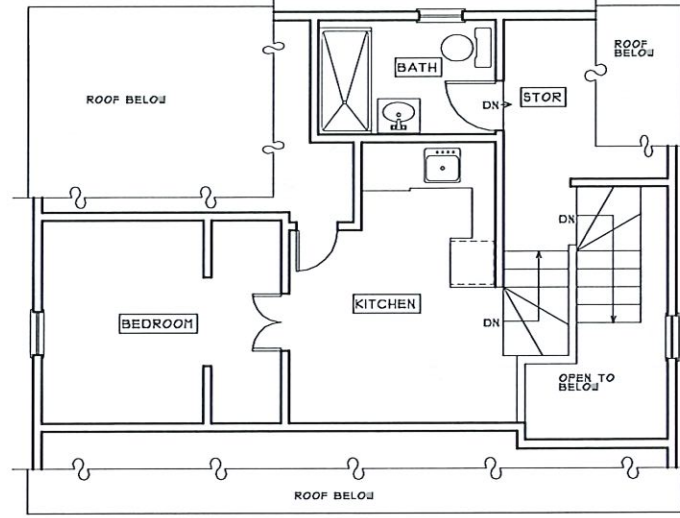
1 - East Side



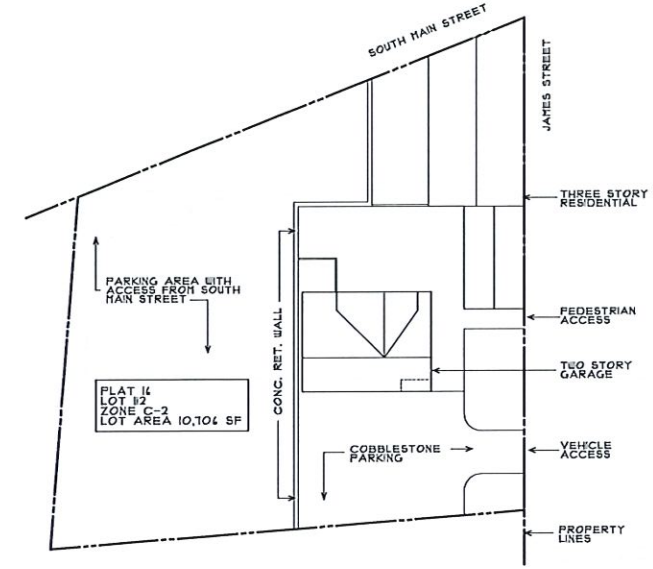
2 - West Side



1 GROUND FLOOR PLAN
A1.1 1/4" = 1'-0"



2 UPPER FLOOR PLAN
A1.1 1/4" = 1'-0"



3 SITE PLAN
A1.1 1" = 20'-0"



RENOVATIONS AND ADDITIONS TO
GARAGE APARTMENT
12 JAMES STREET
PROVIDENCE, RHODE ISLAND 02903

ACME
ARCHITECT
L.L.C.

9 SIMMONS ROAD
LITTLE COMPTON
RHODE ISLAND 02337
T. 401 465 5247
F. 401 635 8862

MarkRapoArchitect.com



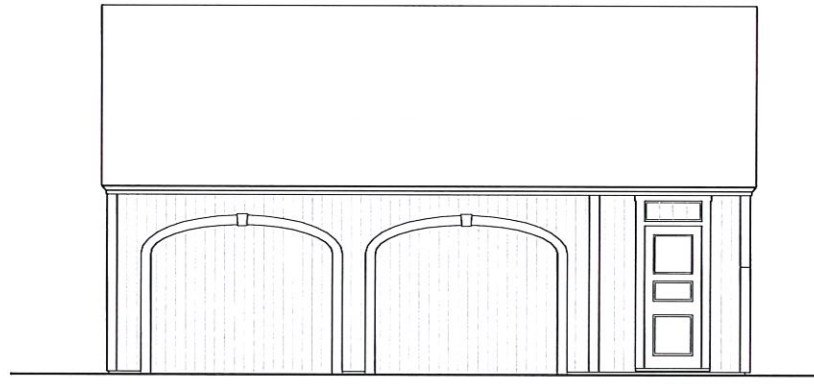
EXISTING CONDITIONS

FLOOR PLANS

DATE: 5/10/21
SCALE: 1/4" = 1'-0"
REVISIONS:

SHEET

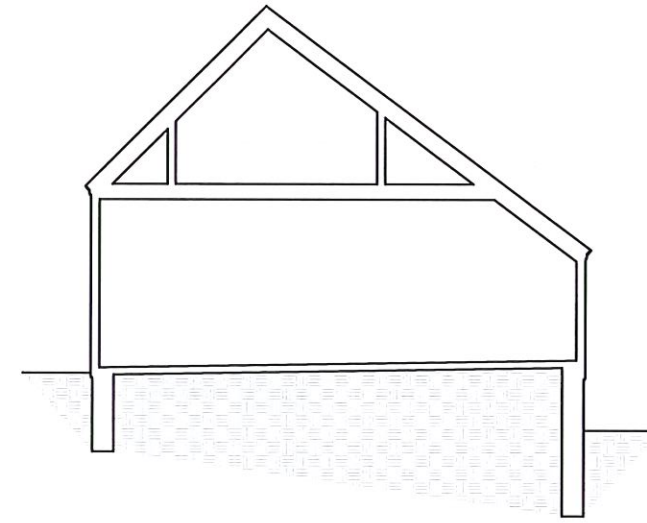
A1.1



1 EAST ELEVATION
A2.1 1/4" = 1'-0"



2 NORTH (JAMES STREET) ELEVATION
A2.1 1/4" = 1'-0"



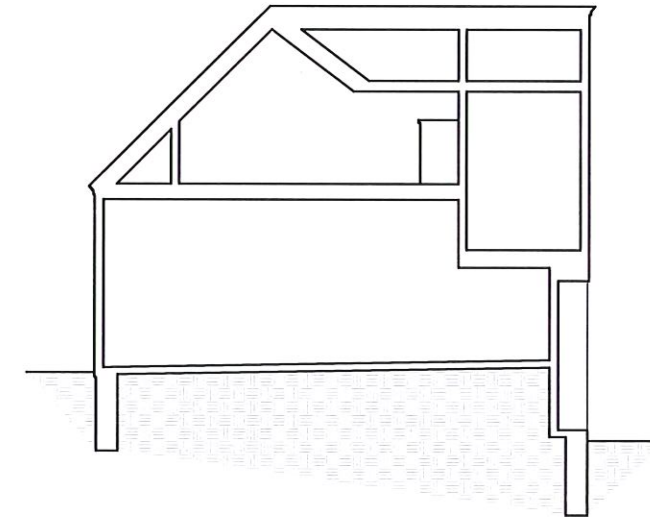
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A3.1 1/4" = 1'-0"



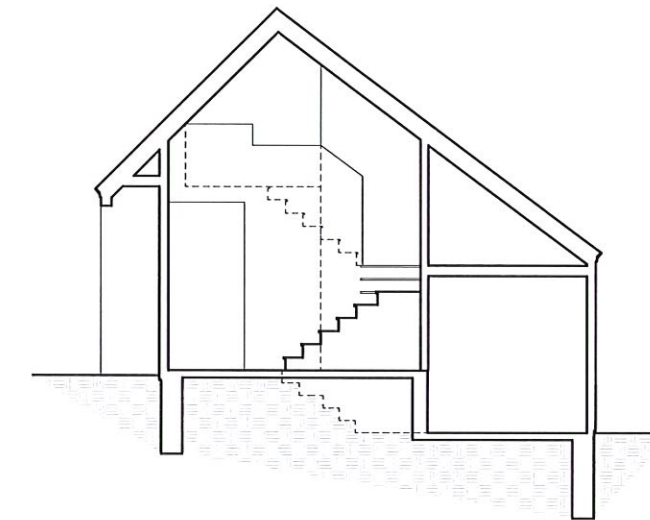
3 WEST ELEVATION
A2.1 1/4" = 1'-0"



4 SOUTH ELEVATION
A2.1 1/4" = 1'-0"



2 CROSS SECTION
A3.1 1/4" = 1'-0"



3 CROSS SECTION
A3.1 1/4" = 1'-0"

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ACME
ARCHITECT
L.L.C.

9 SIMMONS ROAD
LITTLE COMPTON
RHODE ISLAND 02837
T. 401.465.5247
F. 401.635.8662
MarkRappArchitect.com



EXISTING CONDITIONS

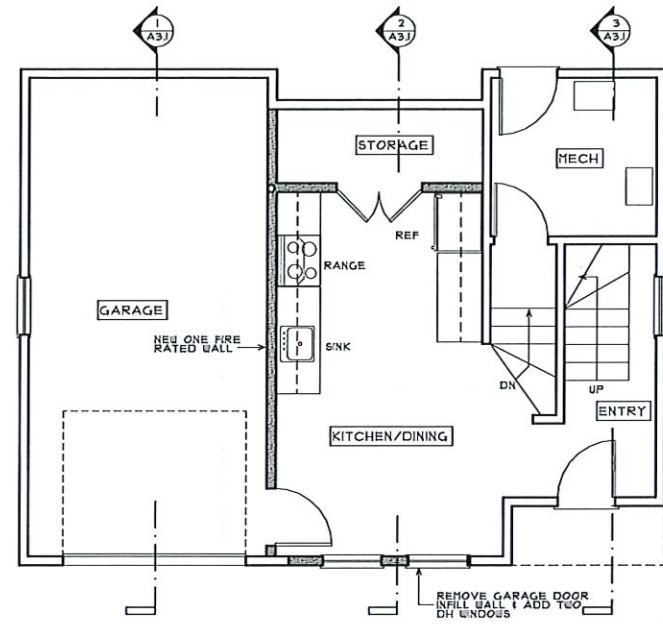
ELEVATIONS, SECTION

DATE: 5/10/21
SCALE: 1/4" = 1'-0"

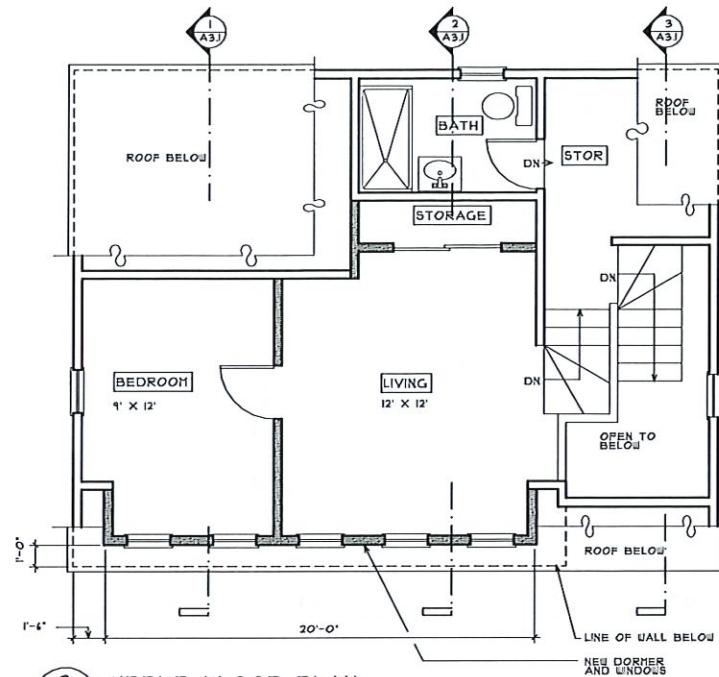
REVISIONS:

SHEET

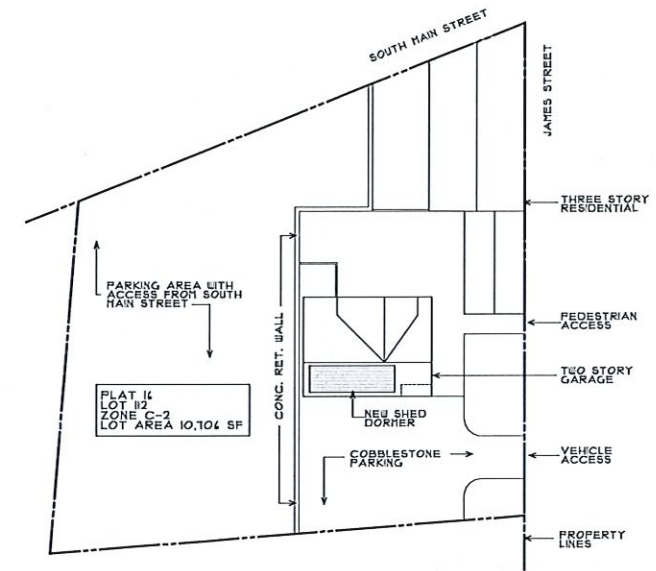
A2.1



1 GROUND FLOOR PLAN
A1.1 1/4" = 1'-0"



2 UPPER FLOOR PLAN
A1.1 1/4" = 1'-0"



3 SITE PLAN
A1.1 1" = 20'-0"



GENERAL NOTES

1. ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS IN EFFECT AT THE PROJECT SITE.
2. DO NOT SCALE DRAWINGS.
3. THE CONTRACTOR SHALL REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING.
4. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE AND MASONRY; CENTER OF FRAME PARTITIONS AND CENTER OF FRAME OPENINGS UNLESS NOTED OTHERWISE.
5. DIMENSIONS NOTED TO EXISTING PLANES SHALL REFER TO THE FINISHED SURFACE OF THE WALL, FLOOR OR CEILING PLANE.
6. ALL ITEMS OF WORK ARE TO BE NEW, UNLESS NOTED AS EXISTING.
7. CONTRACTOR SHALL VERIFY ALL DOOR & WINDOW DIMENSIONS IN FIELD BEFORE PURCHASE.

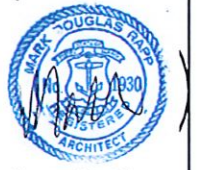
LEGEND

	CONCRETE	ADJ.	ADJACENT
	CONCRETE MASONRY UNIT	A.F.F.	ABOVE FINISHED FLOOR
	FACE BRICK	ALOC.	ALUMINUM
	STONE VENEER	ARCH.	ARCHITECT
	EXISTING PARTITION	I	AND
	PARTITION REMOVED	AT	AT
	NEW FRAME PARTITION	B.O.F.	BOTTOM OF FOOTING
	PROPERTY LINE	BLKG.	BLOCKING
	SETBACK LINE	CL.	CENTERLINE
	CENTERLINE	CLG.	CEILING
	ABOVE	C.L.L.	CONTRACT LIMIT LINE
	HIDDEN	COL.	COLUMN
	CONTOUR - EXISTING	CONC.	CONCRETE
	CONTOUR - NEW	CONT.	CONTINUOUS
	WATER LINE	COORD.	COORDINATE
	ELECTRIC LINE	D.A.	DIAMETER
	GAS LINE	DN.	DOWN
	SEWER LINE	DS.	DOWNSPOUT
	WINDOW SYMBOL	DTL.	DETAIL
	DOOR SYMBOL	ELEV.	ELEVATION
	WALL TYPE	EXST.	EXISTING
	REVISION #1	EQ.	EQUAL
	ELEVATION DATUM	FN. FLR.	FINISH FLOOR
	ELEVATION KEY	FLR.	FLOOR
	SECTION KEY	FOUN.	FOUNDATION
	DETAIL KEY	G.S.B.	GYPSONUM BOARD
	ROOM NAME	HT.	HOLLOW METAL
	SMOKE DETECTOR	HT.	HEIGHT
	CO DETECTOR	INT.	INTERIOR
		INSUL.	INSULATION
		L.C.C.	LEAD COATED COPPER
		ML	MILUMETER
		NTL.	NETAL
		N.O.	MASONRY OPENING
		N.C.	NOT IN CONTRACT
		N.T.S.	NOT TO SCALE
		O.C.	ON CENTER
		OPF.	OPPOSITE HAND
		PL.	PLATE
		P.T.	PRESSURE TREATED
		PTD.	PARTIED
		PUD.	PLYWOOD
		REQ'D	REQUIRED
		R.	RISK
		R.O.	ROUGH OPENING
		SH.	SHLAR
		STL.	STEEL
		T.	TREAD
		T.O.	TOP OF
		T.O.F.	TOP OF FOOTING
		T.O.S.	TOP OF SHELF
		T.O.W.	TOP OF WALL
		T.S.	TUBE STEEL
		TYP.	TYPICAL
		UNQ.	UNLESS NOTED OTHERWISE
		VCT.	VINYL COMPOSITION TILE
		V.F.	VERIFY IN FIELD
		W.	WALL
		W.D.	WOOD
		W.U.	WATERPROOF SHINGLE UNDERLAYMENT

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9 SIMMONS ROAD
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RHODE ISLAND 02837
T. 401 465 5247
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DESIGN #1

FLOOR PLANS

REVISIONS:
DATE: 5/12/21
SCALE: 1/4" = 1'-0"

SHEET

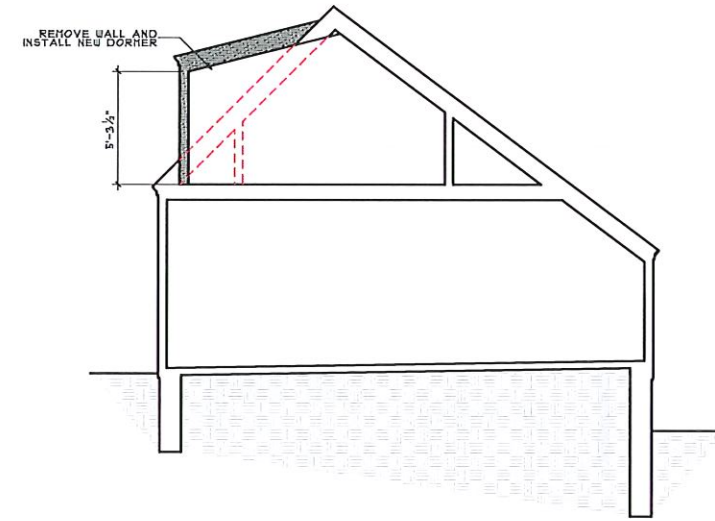
A1.1



1 EAST ELEVATION
A2.1 1/4" = 1'-0"



2 NORTH (JAMES STREET) ELEVATION
A2.1 1/4" = 1'-0"



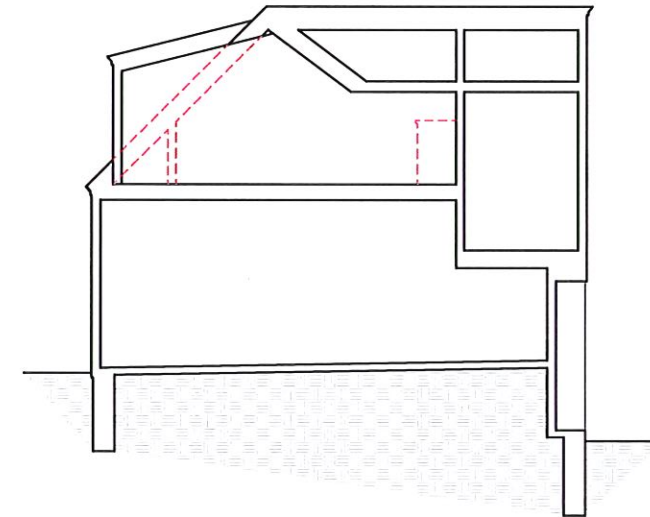
1 CROSS SECTION
A3.1 1/4" = 1'-0"



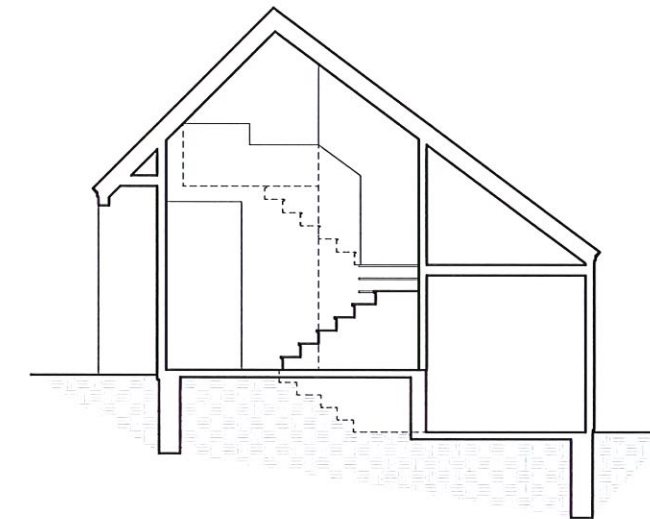
3 WEST ELEVATION
A2.1 1/4" = 1'-0"



4 SOUTH ELEVATION
A2.1 1/4" = 1'-0"



2 CROSS SECTION
A3.1 1/4" = 1'-0"



3 CROSS SECTION
A3.1 1/4" = 1'-0"

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RHODE ISLAND 02837
T. 401 465 5247
F. 401 635 8652
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DESIGN #1

ELEVATIONS, SECTION

REVISIONS:

DATE: 5/12/21

SCALE: 1/4" = 1'-0"

SHEET

A2.1