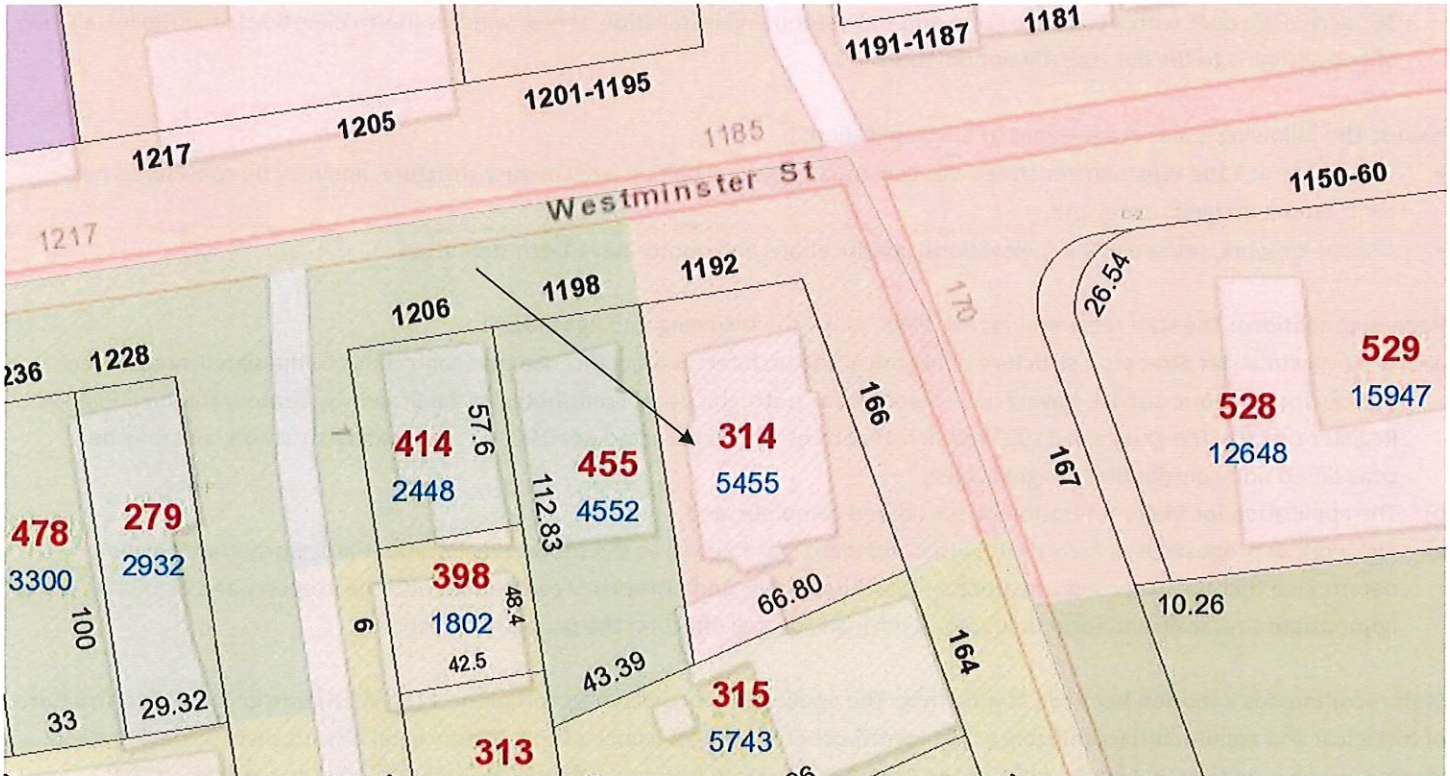


**PROJECT REVIEW**

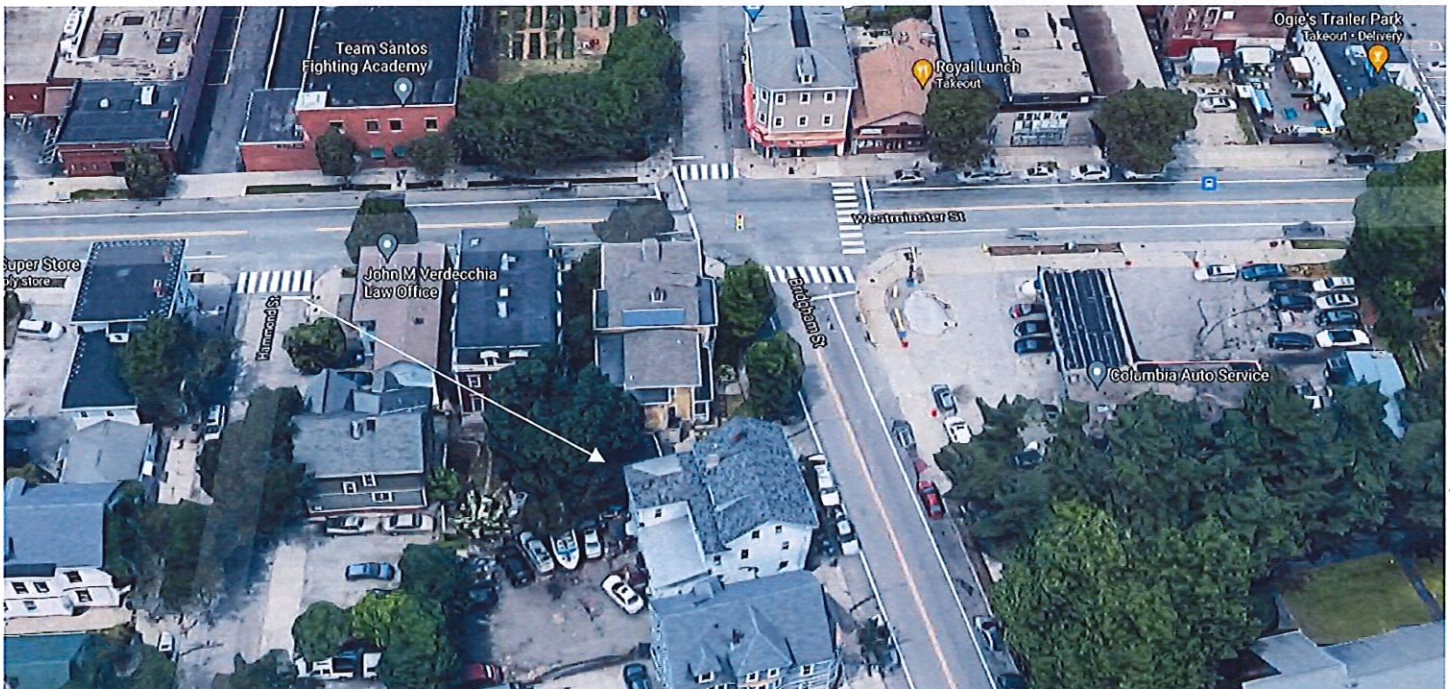
**1. CASE 21.043, 1192 WESTMINSTER STEET, Charles Dudley House, c1856 (ARMORY)**

2½-story; flat; clapboard sidehall-plan Italianate house; with bracketed trim on cornice, windows, and fine entry portico. Dudley was a partner in the firm of Hartwell and Dudley, a wholesale dry-goods company with two store in the Arcade. 20th c. garage, rear.

CONTRIBUTING



Arrow indicates 1192 Westminister Street.



Arrow indicates project location, looking north.

**Applicants/Owners:** West Broadway Neighborhood Association, 1560 Westminster Street, Providence, RI 02909  
**Architect:** Monika Kraemer, 15 Almy Street, Providence, RI 02909

**Proposal:** The scope of work proposed consists of Major Alterations and includes:

- The applicant is requesting the modification of the brick garage into a fully accessible residential unit, modifications to include modifications/addition of fenestration at garage-door opening (east elevation); enlargement of existing door to accommodate 36" accessible door with a concrete ramp and walk/stoop and installation of new window (north elevation); and the installation of two skylights to the flat (slightly sloped) roof.

**Issues:** The following issues are relevant to this application:

- The garage at 1192 Westminster street was constructed before 1920, is a secondary structure, and may be considered non-contributing in significance; and,
- A scope-of-work, revised plans & elevations, specifications and photos have been submitted.

**Recommendations:** The staff recommends the PHDC make the following findings of fact:

- a) 1192 Westminster Street is a structure of historical and architectural significance that contributes to the significance of the Armory local historic district, having been identified as a structure that contributes to the Broadway/Armory National Historic Register District. The garage at 1192 Westminster Street was constructed pre-1920, is a secondary structure, and may be considered non-contributing in significance;
- b) The application for Major Alterations is considered complete; and,
- c) The work as proposed is in accord with PHDC Standard 8 as follows: as the proposed alterations are appropriate having determined that the proposed construction is architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district.

**Staff recommends a motion be made stating that: The application is considered complete. 1192 Westminster Street is a structure of historical and architectural significance that contributes to the significance of the Armory local historic district, having been identified as a structure that contributes to the Broadway/Armory National Historic Register District. The garage at 1192 Westminster Street was constructed before 1920, is a secondary structure, and may be considered non-contributing in significance. The Commission grants Final Approval of the proposal as submitted having determined that the proposed alterations are appropriate as the proposed alterations are architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district, citing and agreeing to the recommendations in the staff report, with staff to review any additional required details.**

Providence Historic District Commission  
Review Application  
1192 Westminster Street, Providence RI 02909  
Plat 032, Lot 314

Exhibit 1  
Part II- Description of Work

Purpose- Convert brick garage into fully accessible residential unit.

General Scope of Work-

Repoint brick garage. Replace roof. Pour new concrete floor. Pull utilities and sewer from adjacent residential building. New 2x4 wall inside existing brick walls. Outfit interior of garage with full kitchen and bathroom, (1) sleeping area and living room. (1) new window at brick wall; additional windows at front facade. New concrete walkway and ramp to existing side door at garage.

Roof-

Remove brick chimney. New rubber roof at existing framing. (1) new Velux 30"x54" operable skylight and (1) new Velux 30"x30" operable skylight.

East Elevation (facing Bridgham Street)-

Raise head height opening of original garage door opening. New 2x4 wall at opening. (3) Marvin 26"x16" clad awning with upper divisions and (1) Marvin 24"x38" clad awning with upper divisions. Wood trim and beadboard panels (to mimic 1920's garage doors) facing 2X4 behind. Paint wood trims.

North Elevation-

Expand existing door opening to accommodate new 36" solid, 2-panel door. (1) Marvin 30"x53" clad awning with upper fixed panel with divisions at new opening. Concrete ramp and walk/stoop at length of facade.

South Elevation- (on lot line)

Remove vines for repointing. No modifications.

West Elevation (rear-facing lot line)-

Remove vines for repointing. No modifications. Replace/repair gutter and downspout as necessary.

Interior-

Remove chimney.

Repour concrete floor.

Fully accessible bathroom and kitchen.

Sleeping area and living room.

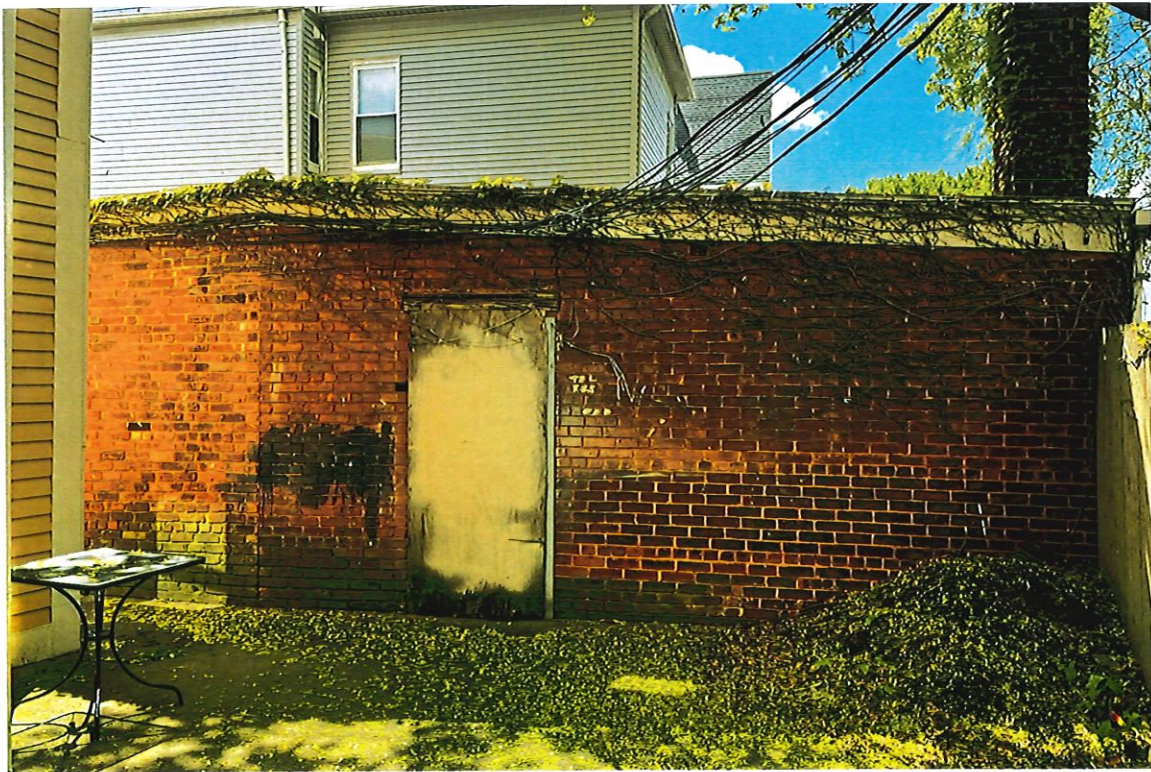
All electric appliances. Mini-split heat and A/C.



EXHIBIT II  
A



East



North



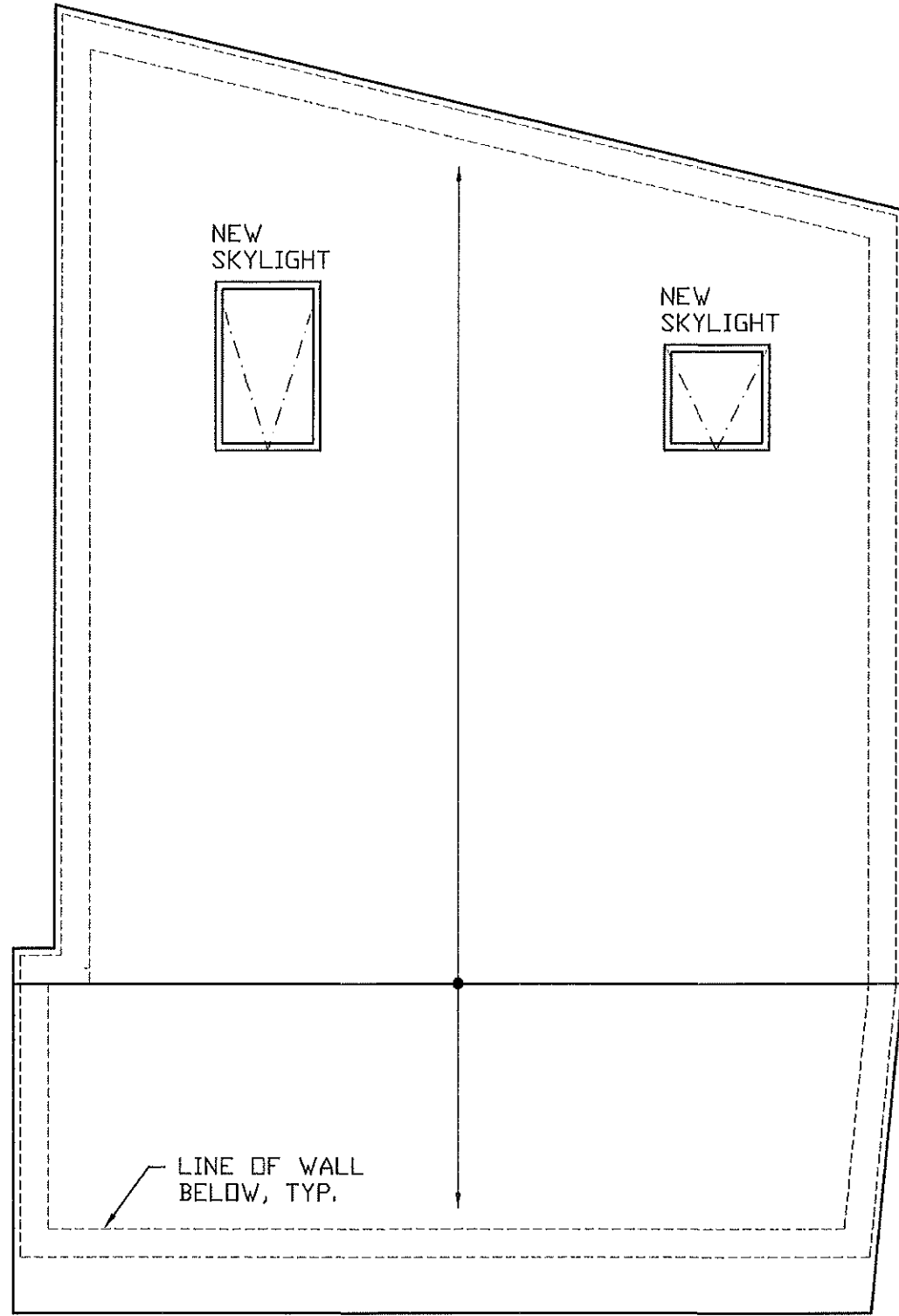
البيت الثاني  
B



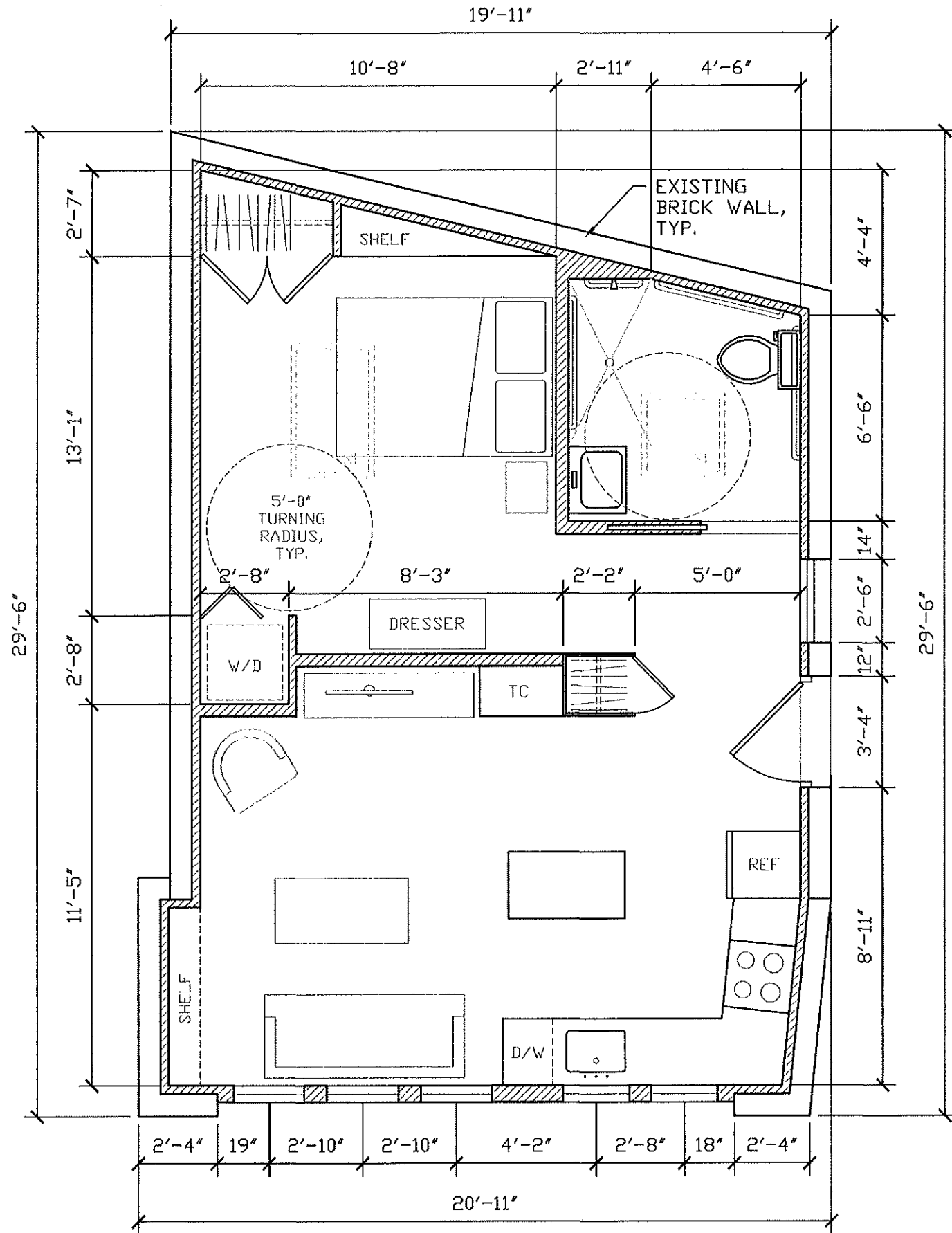
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ROOF PLAN



CONST PLAN

FOR: RENOVATION

PROJECT:

1192 HC GARAGE UNIT  
1192 WESTMINSTER  
PROVIDENCE, RI 02909

DRAWING TITLE:  
CONSTRUCTION PLAN  
ROOF PLAN

REV:

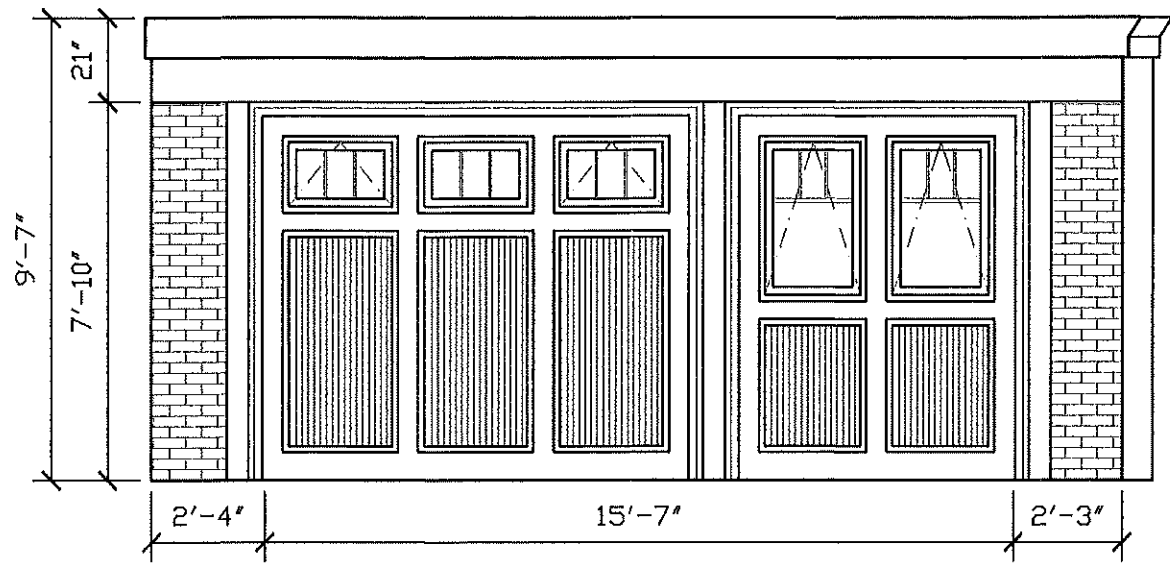
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7/12/2021

SCALE:  
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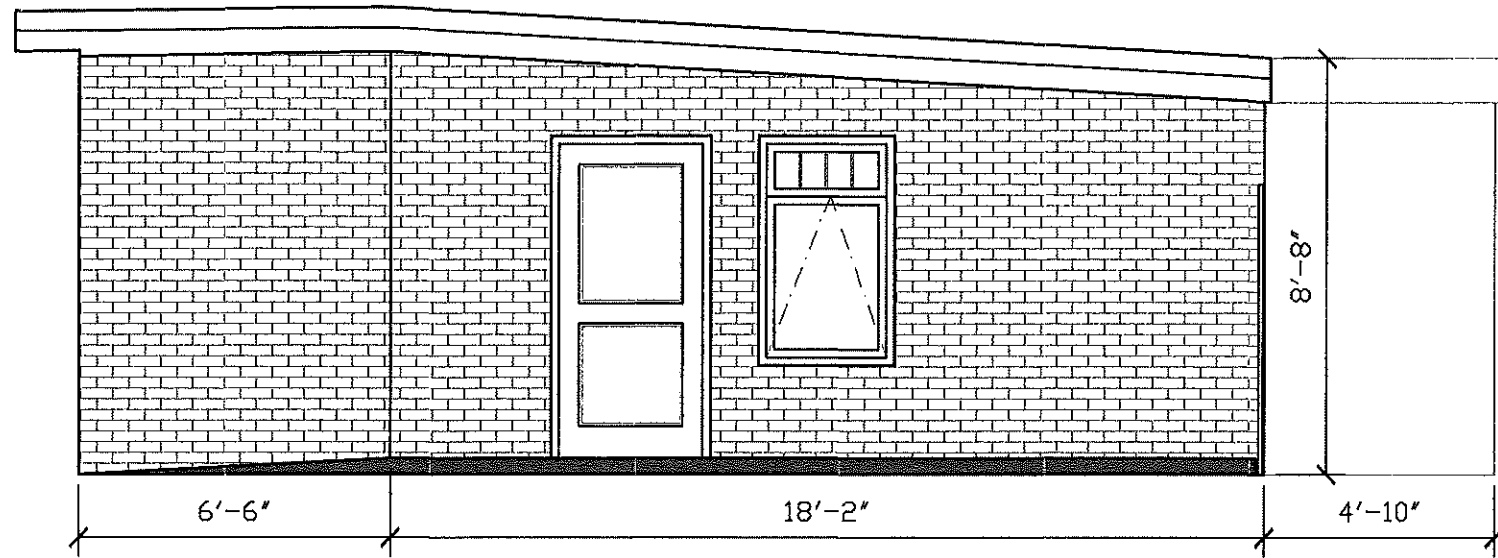
Exhibit  
3A

Monika P. Kraemer  
Architect  
401.241.5576  
12 Almy Street  
Providence, RI 02909

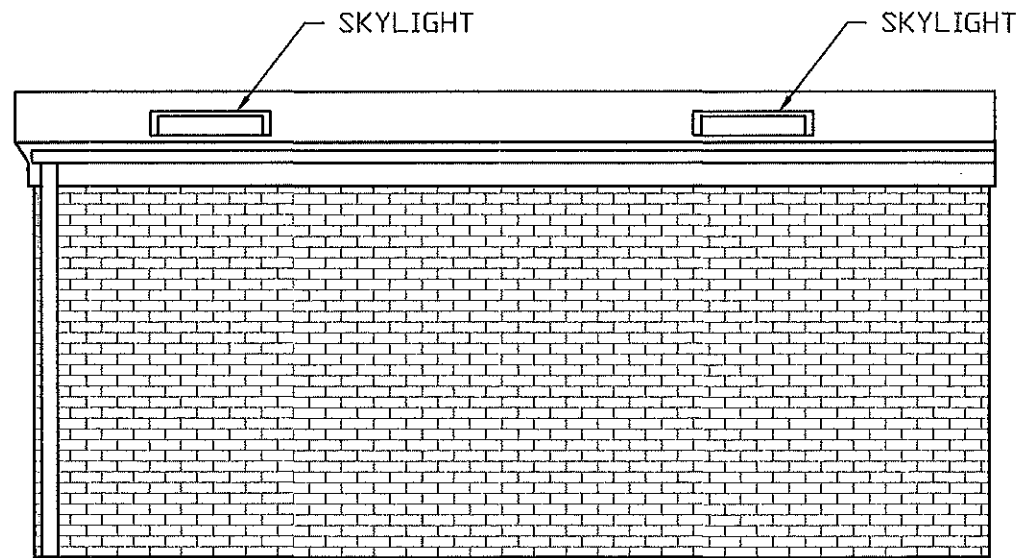




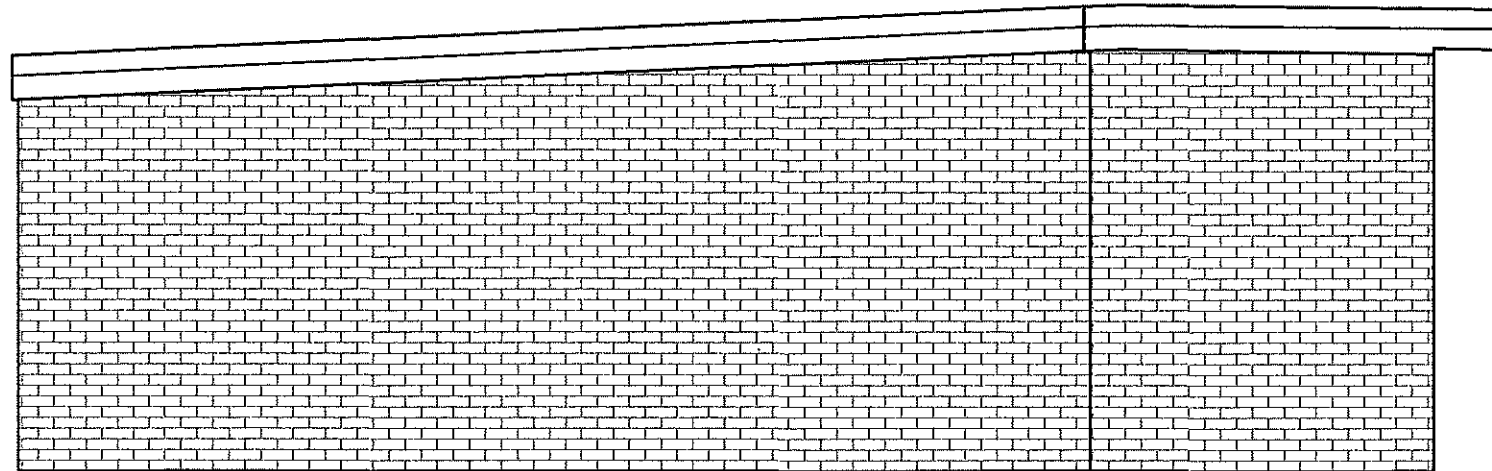
**(A) EAST ELEVATION**  
FACING DRIVEWAY



**(B) NORTH ELEVATION**  
FACING REAR YARD



**(C) WEST ELEVATION**



**(D) SOUTH ELEVATION**

FOR: RENOVATION

PROJECT:

1192 HC GARAGE UNIT  
1192 WESTMINSTER  
PROVIDENCE, RI 02909

DRAWING TITLE:

EXTERIOR ELEVATIONS

REV:

DATE:

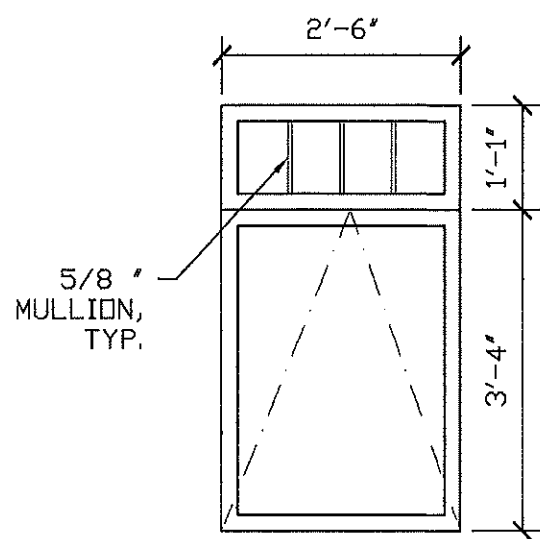
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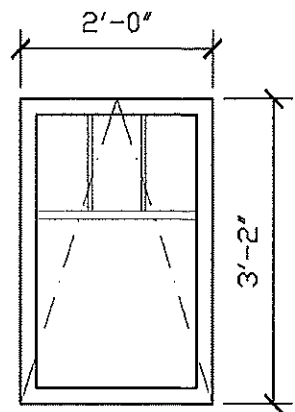
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Exhibit  
3B

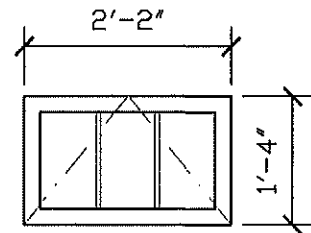
Monika P. Kraemer  
Architect  
401.241.5576  
12 Almy Street  
Providence, RI 02909



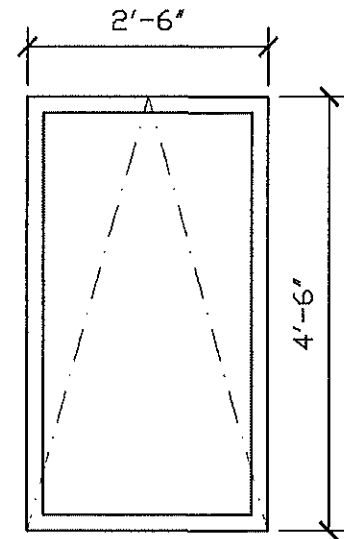
**A** FIXED/AWNING  
CLAD, 4 LITE AT FIXED



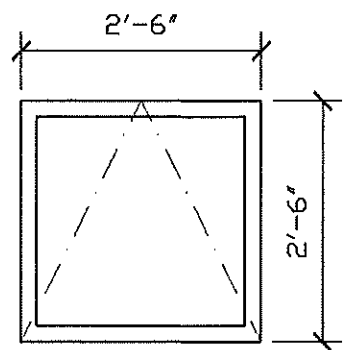
**B** AWNING  
CLAD, 3 LITE



**C** AWNING  
CLAD, 3 LITE



**D** SKYLIGHT  
METAL, OPERABLE



**E** SKYLIGHT  
METAL, OPERABLE

FOR: RENOVATION

PROJECT:

1192 HC GARAGE UNIT  
1192 WESTMINSTER  
PROVIDENCE, RI 02909

DRAWING TITLE:

ENLARGED WINDOW  
TYPES

REV:

DATE:

7/12/2021

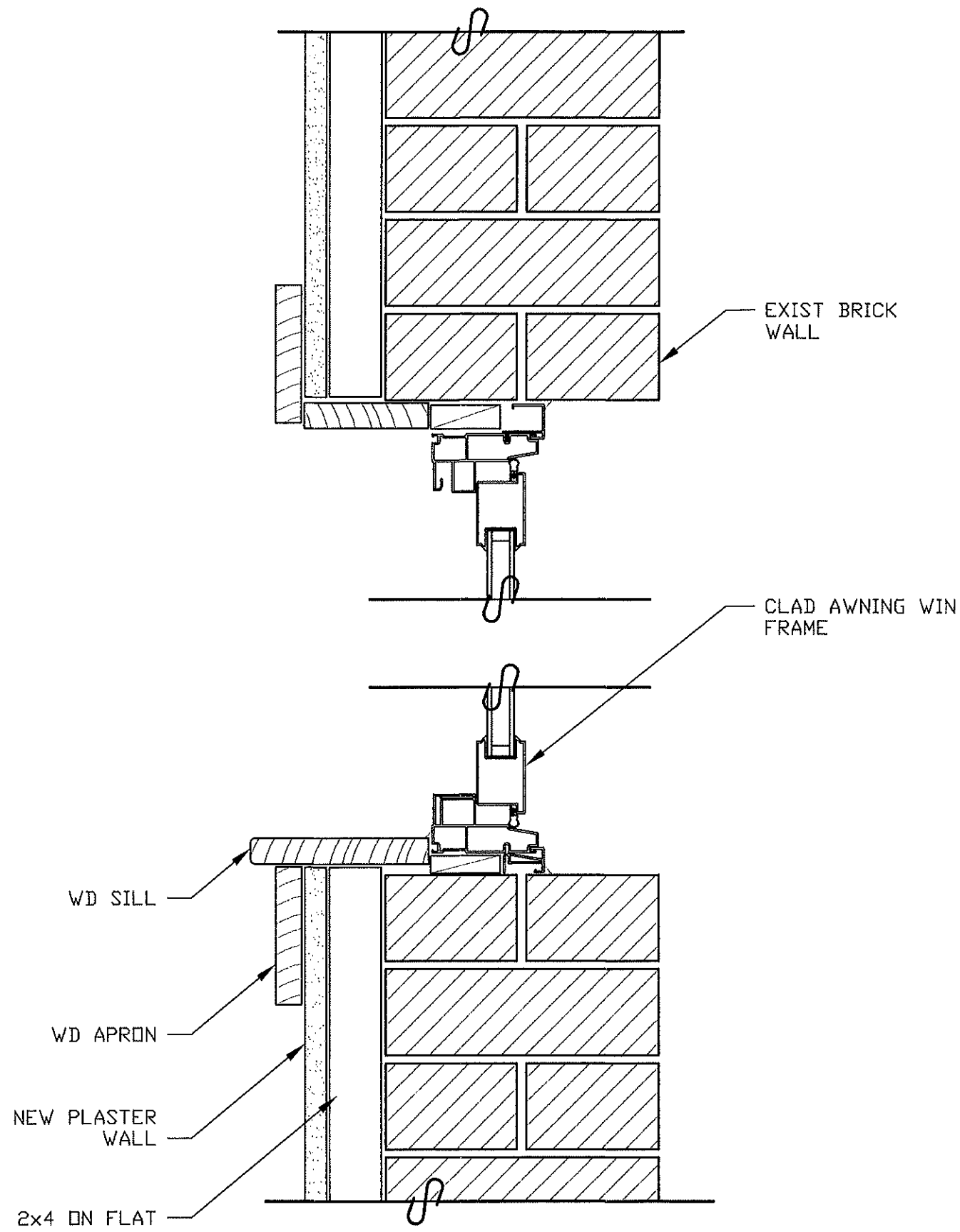
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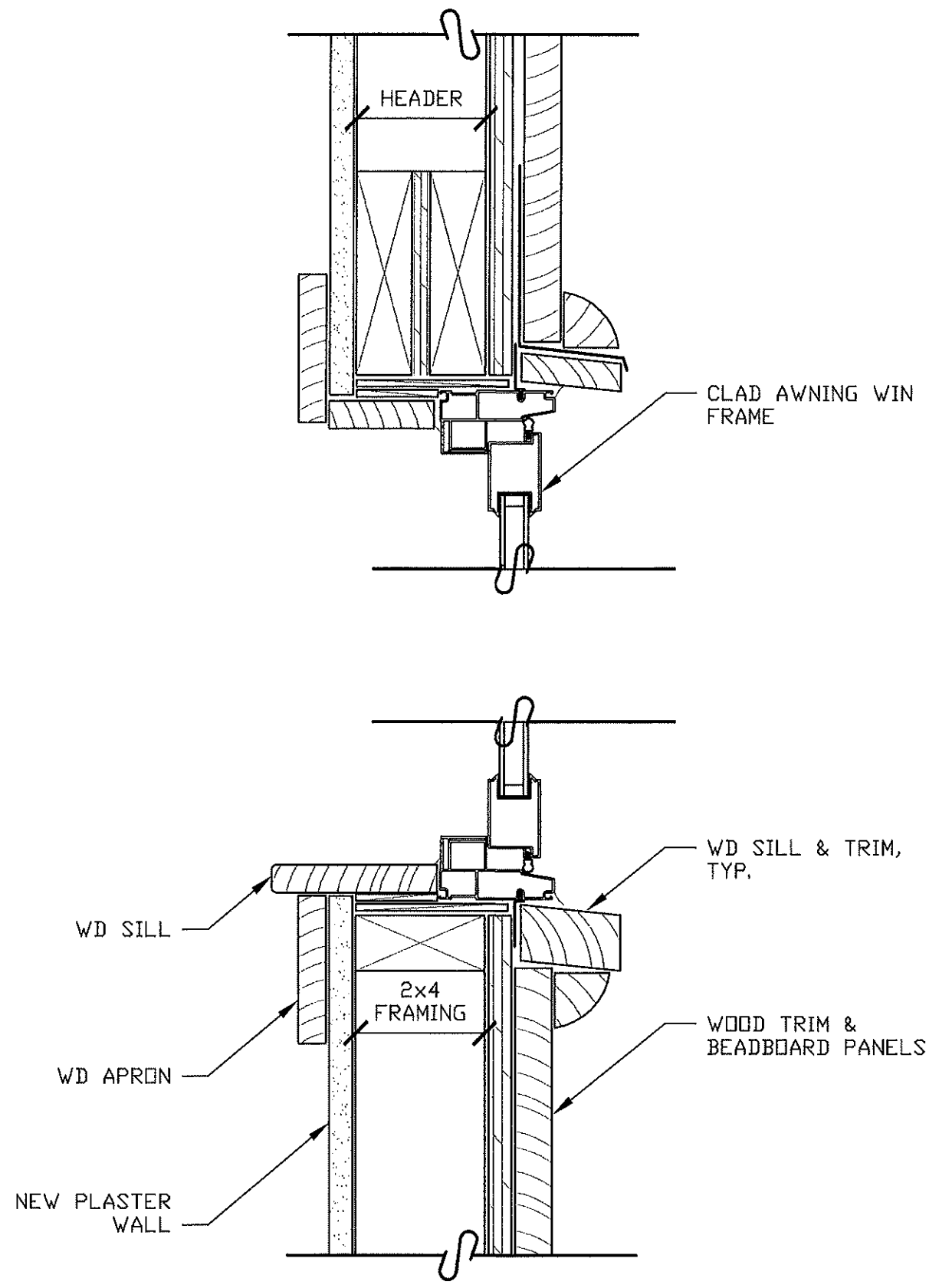
Exhibit  
3C

Monika P. Kraemer  
Architect  
401.241.5576  
12 Almy Street  
Providence, RI 02909





**A** AWNING WIN HEAD & SILL DETAILS  
AT EXIST BRICK WALL



**B** AWNING WIN HEAD & SILL DETAILS  
AT NEW 2x4 WALL

FOR: RENOVATION

PROJECT:  
1192 HC GARAGE UNIT  
1192 WESTMINSTER  
PROVIDENCE, RI 02909

DRAWING TITLE:  
DOUBLE HUNG WIND  
HEAD, SILL DETAILS

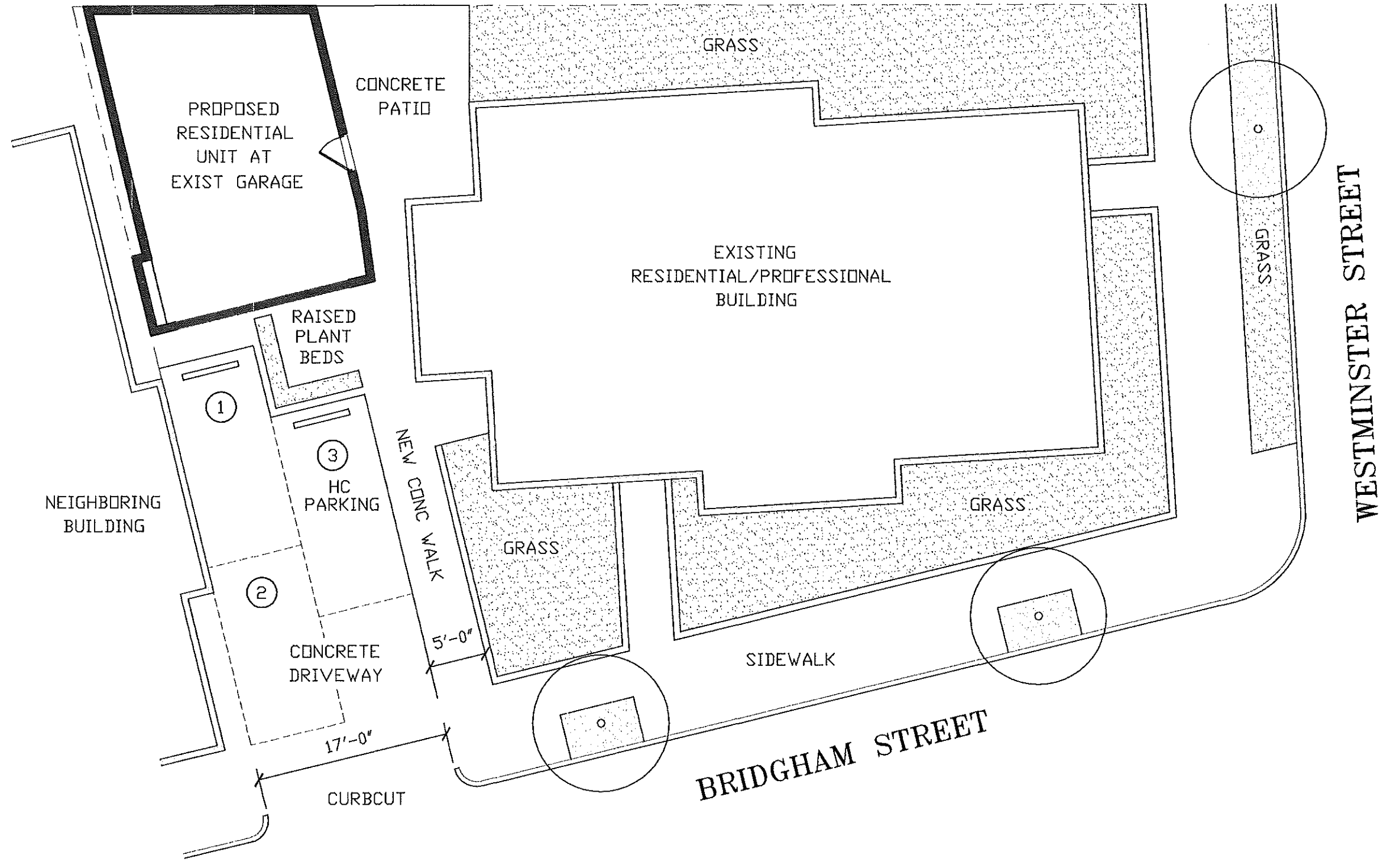
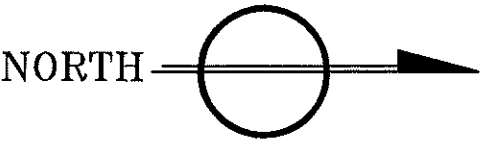
REV:

DATE:  
7/12/2021

SCALE:  
3"=1'-0"

Exhibit  
3D

Monika P. Kraemer  
Architect  
401.241.5576  
12 Almy Street  
Providence, RI 02909



FOR: RENOVATION

PROJECT:

**1192 HC GARAGE UNIT**  
**1192 WESTMINSTER**  
**PROVIDENCE, RI 02909**

DRAWING TITLE:

**SITE PLAN**

REV:

DATE:

**7/12/2021**

SCALE:

**3"=1'-0"**

**Exhibit**  
**3E**

**Monika P. Kraemer**  
*Architect*  
 401.241.5576  
 12 Almy Street  
 Providence, RI 02909