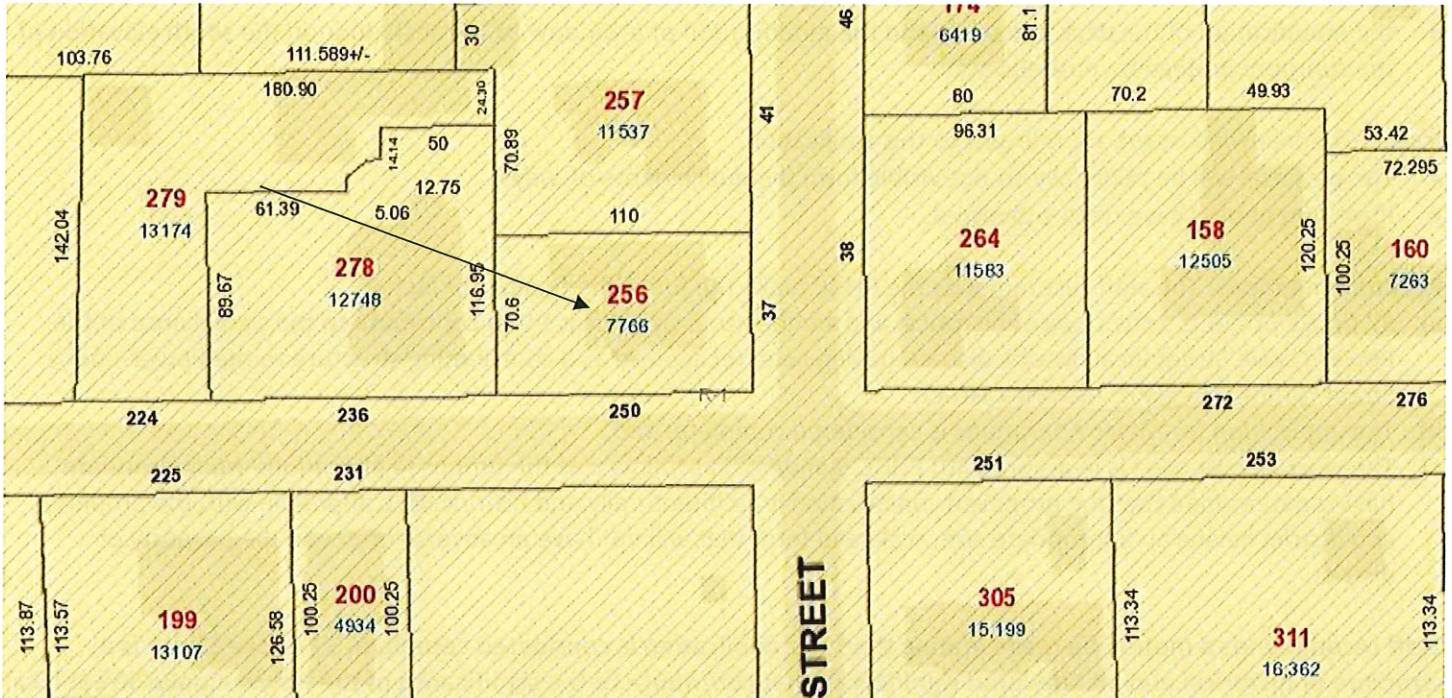


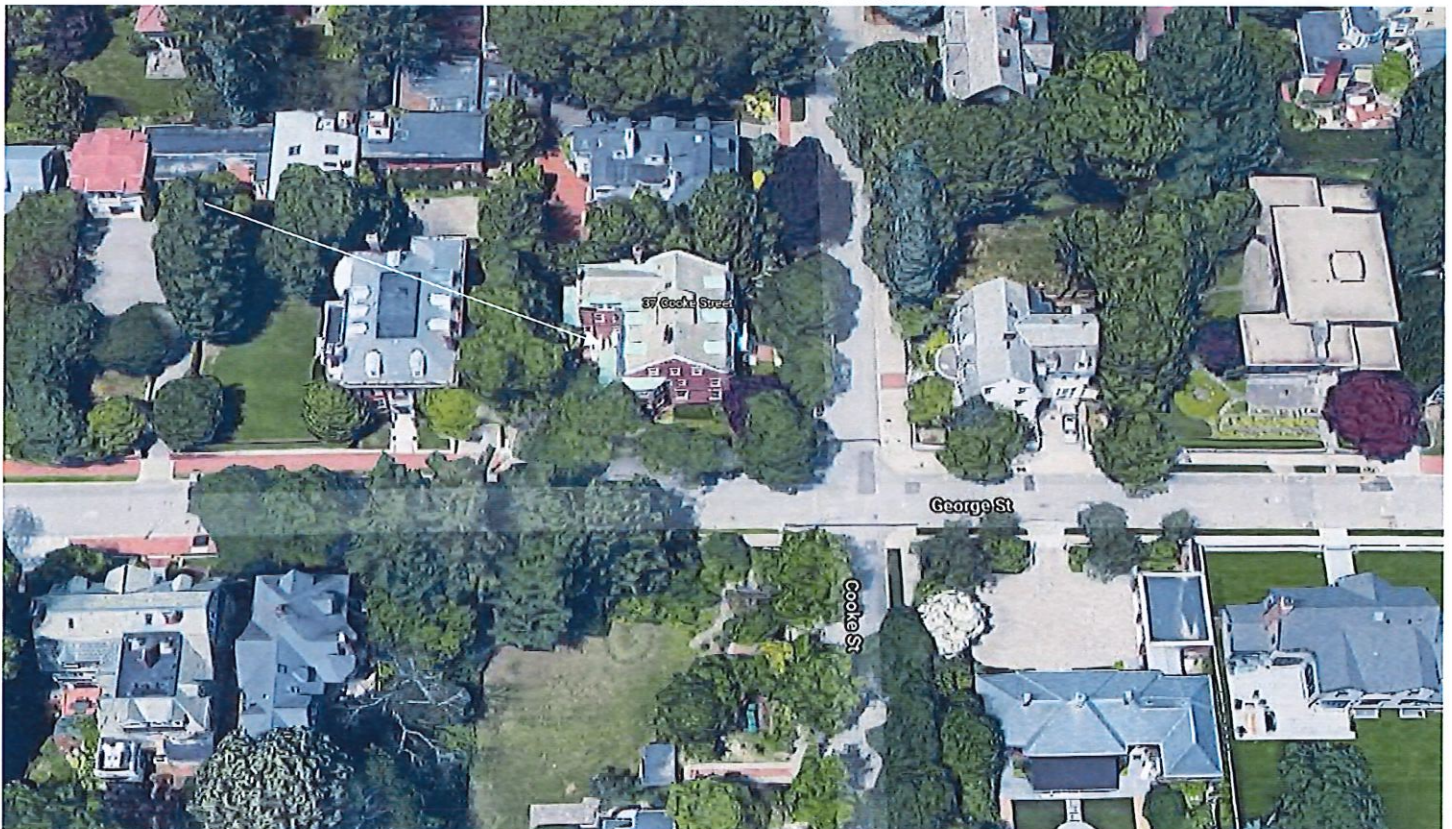
3. CASE 21.100, 37 COOKE STREET, C.H. Merriman, House, 1909 (POWER-COOKE)

Stone, Carpenter & Sheldon. Colonial Revival; two-and-one-half stories, brick walls, gabled roof, prominent, segmentally-arched entrance porch carried on paired columns.

CONTRIBUTING



Arrow indicates 37 Cooke Street.



Arrow indicates project location, looking north.

Applicant/Owner: Bill Stone & Carolyn Mark 37 Cooke Street, Providence, RI 02906

Architect: Brewster Thorton Group Architects, 317 Iron Horse Way, Providence, RI 02908

Contractor: Site Specific, 141 Gano Street, Providence, RI 02906

Proposal: The scope of work proposed consists of Major Alterations and includes:

- the modification of the deck and stairs and the modification of a window to a French door on the south elevation of the sunroom projection, east elevation.

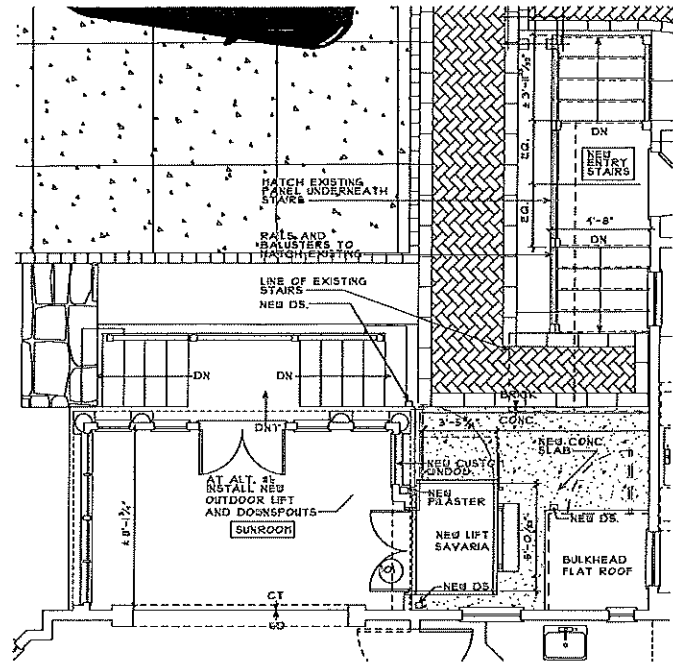
Issues: The following issues are relevant to this application:

- The proposal will be minimally-to-not visible from the public rights-of-ways;
- Plans and photos have been submitted.

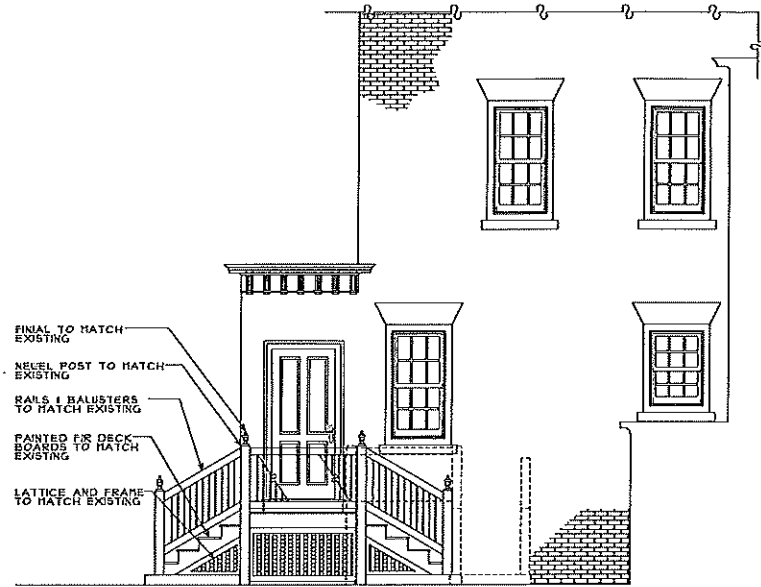
Recommendations: The staff recommends the PHDC make the following findings of fact:

- a) 37 Cooke Street is a structure of historical and architectural significance that contribute to the significance of the Power-Cooke Street local historic district, having been recognized as a contributing structure to the Power-Cooke Street National Register Historic District;
- b) The application for Major Alterations is considered complete; and,
- c) The work as proposed is in accord with PHDC Standard 8 as follows: as the proposed alterations are appropriate having determined that the proposed construction is architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district.

Staff recommends a motion be made stating that: The application is considered complete. 37 Cooke Street is a structure of historical and architectural significance that contribute to the significance of the Power-Cooke Street local historic district, having been recognized as a contributing structure to the Power-Cooke Street National Register Historic District. The Commission grants Final Approval of the proposal as submitted having determined that the proposed alterations are appropriate as the proposed alterations are architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district, citing and agreeing to the recommendations in the staff report, with staff to review any additional required details.



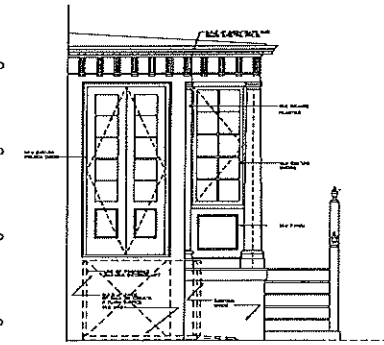
5 PROPOSED PARTIAL PARKING COURT PLAN
SK-2 VV-1-0'



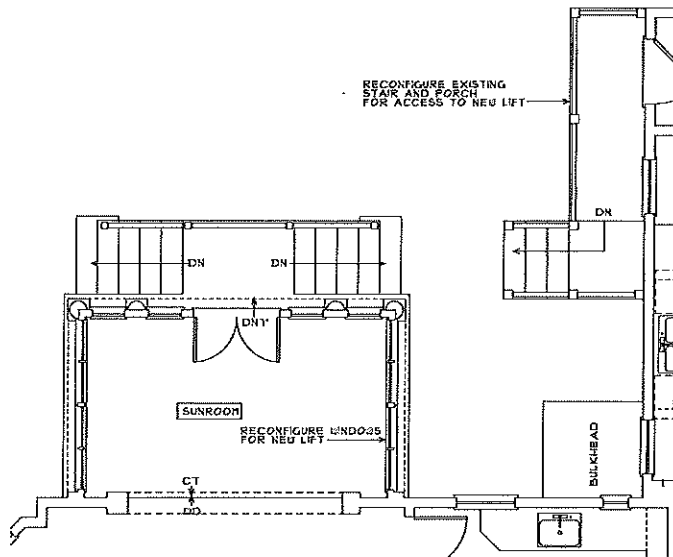
6 NORTH PROPOSED STAIR ELEVATION
SK-2 VV-1-0'



7 EAST PROPOSED STAIR ELEVATION
SK-2 VV-1-0'



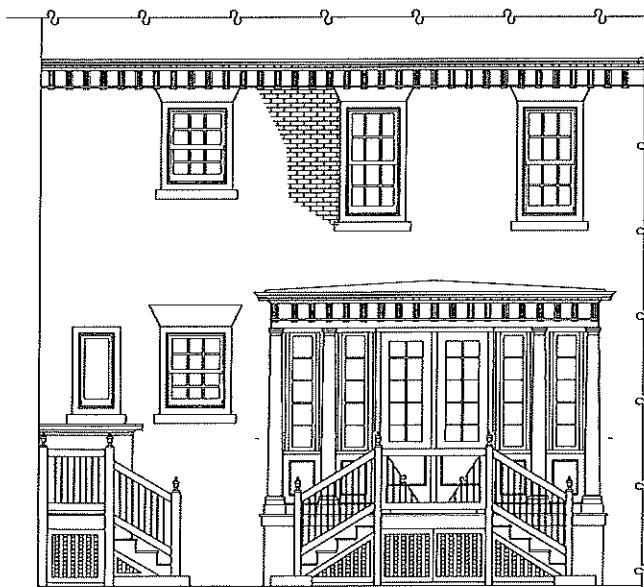
8 SOUTH PROPOSED SUNROOM ELEVATION
SK-2 VV-1-0'



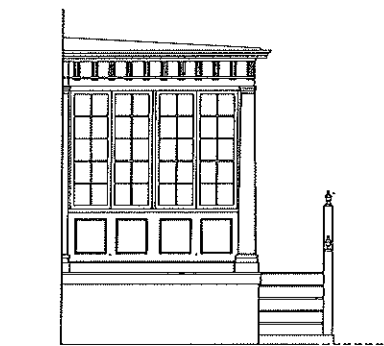
1 EXISTING PARTIAL PARKING COURT PLAN
SK-2 VV-1-0'



2 NORTH EXISTING STAIR ELEVATION
SK-2 VV-1-0'



3 EAST EXISTING STAIR ELEVATION
SK-2 VV-1-0'



4 SOUTH EXISTING SUNROOM ELEVATION
SK-2 VV-1-0'

RENOVATIONS TO THE
MARK STONE RESIDENCE
31 COOKE STREET,
PROVIDENCE, RI 02904

**BREWSTER
THORNTON
GROUP
ARCHITECTS**
LLP

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PROVIDENCE, RI 02108
TEL: 401.881.4400
brewsterthornton.com

HISTORIC REVIEW: PORCH
& LIFT PLANS & ELEVATIONS

DATE: 08/13/21 REVISIONS:
ISSUE: -
SCALE: AS NOTED

SHEET

SKA-2



Existing deck / stair area