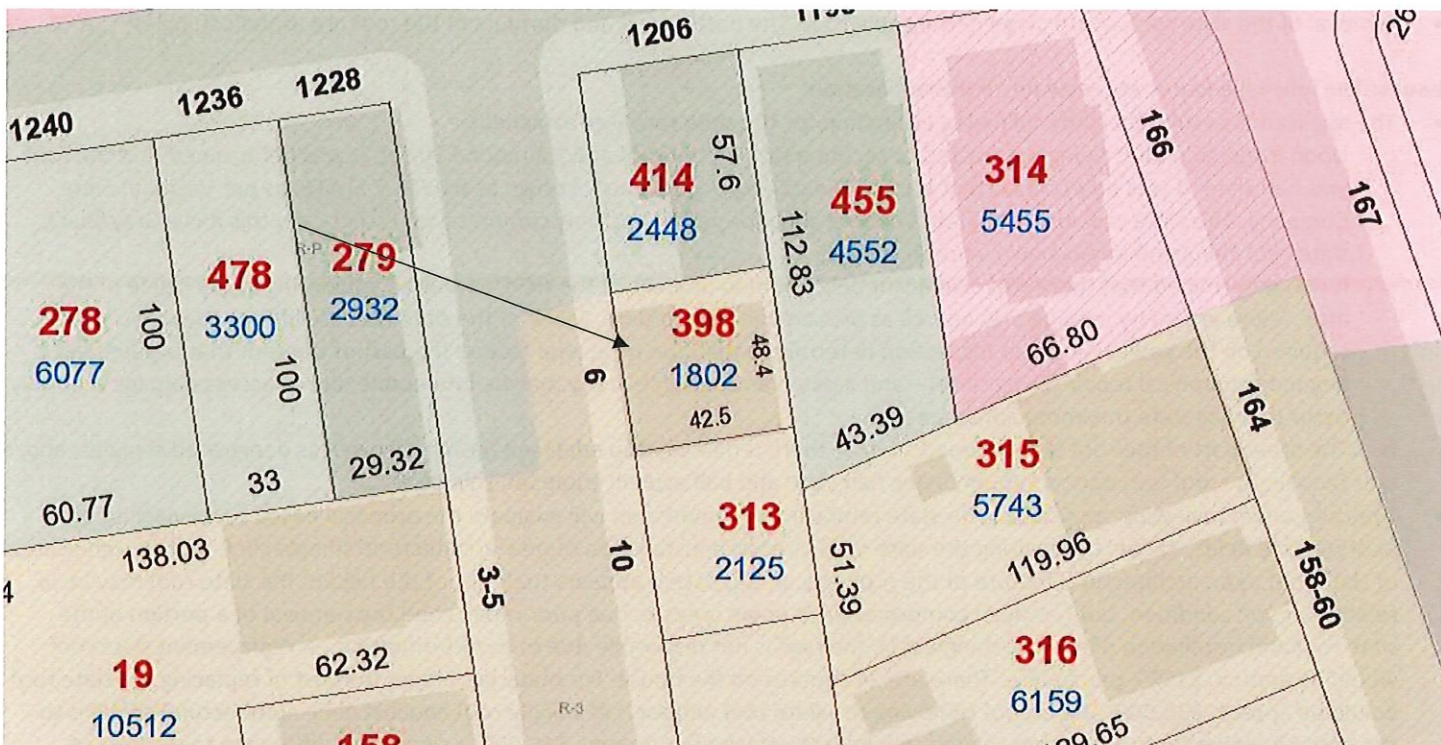


5. CASE 21.102, 6 HAMMOND STREET, House, c1890 (ARMORY)

2½-story; slate flank-gable; clapboard-and-patterned-shingle boxy Queen Anne house; with large off-center, pedimented gable dormer, central recessed entry, surmounted by similar arcaded porch, and sunburst motif carved detail.

CONTRIBUTING



Arrow indicates 6 Hammond Street.



Arrow indicates project location, looking north.

Applicant: Steve Stasiuk, Blackstone Group Leasing & Management, 15 Circle Street, Rumford, RI 02916

Owner: Anthony Assad, 261 Stuyvesant Av Brooklyn, NY 11221

Contractor: William Gorry, Cornerstone Contractors, 150 Douglas Pike, Harrisville, RI 02830

Proposal: The scope of work proposed consists of Major Alterations and includes:

- removal of the slate roof, south slope of the gable roof. The north slope and dormers of the roof are asphalt shingles

Issues: The following issues are relevant to this application:

- The applicant has submitted the following evaluation for the slate roof (see attached):
 - Upon inspection after being contracted to secure a leak on the roof at 6 Hammond Street, it was determined that the roof was half slate. It was determined that is most likely CUPA 7 (previously known as DOVER 7 SLATE) as per Vermont Slate Company. This slate is a non-carbonated natural slate formed by tectonic compression. Esthetically this it is a Gray/Black slate with thin laminations and a smooth surface;
 - It was determined that there was significant delamination of areas of the field, as well as powdering in the inside of the attic. There are many missing tiles as well as broken and shifted slate. Many of the slate tiles are lifting. New flashing is required on the gables. A closer inspection determined that due to several factors the part of the roof that is slate field is beyond economical repair (using slate) – and a patch and struggle policy may be intolerable due to access damage that may occur to ameliorate the immediate damage.
 - The other part of the roof is problematic in that there is missing drip edge and flashing, as well as denigrated shingles; and,
 - Overall, the roof is in poor condition being half slate and half asphalt triple tab shingle.
- Typically, when reviewing applications for slate removal the Commission will evaluate the proposal based on 1) viability of existing slate fields, 2) cost of repairing the slate rood vs cost of installation of new architectural shingle roof, and, 3) significance of slate roof as an architectural feature of the property. In this case it appears that part of the field of the slate roof may be in relatively good condition, but has been compromised in some areas to due poor repairs and the removal of a portion of the slate roof and installation of asphalt shingles (1), the roof is not repairable due to its deterioration., A replacement slate roof would be approx. \$1500, per square. There are 24 squares on the house. For materials alone, the cost of replacing the slate roof would be approx. \$36,000. The cost of removing the slate roof and asphalt shingle roof and installing architectural shingles to the entire building along with other related repairs (see attached) is approx. \$15,000, a significant difference to the cost of replacement, as labor and other repair costs have not been included (2). The property is reasonably intact with many of its architectural features still extant. Although the removal of the slate roof will diminish the architectural integrity of the property, in Staff's opinion, it will not have an adverse effect on the property or district (3);
- The proposed modifications to are in keeping with the character of the property; and,
- Evaluation, cost estimates and photos have been provided.

Recommendations: The staff recommends the PHDC make the following findings of fact:

- a) 6 Hammond Street is a structure of structure of historical and architectural significance that contributes to the significance of the Armory local historic district having been recognized as a contributing structure to the Broadway/Armory National Register Historic District;
- b) The application for Major Alterations is considered complete; and,
- c) The work as proposed is in accord with PHDC Standard 8 as follows: the proposal as submitted is architecturally and historically compatible with the property and district as the proposed alterations will diminish the architectural integrity of the property it will not have an adverse effect on the property or district.

Staff recommends a motion be made stating that: The application is considered complete. 6 Hammond Street is a structure of historical and architectural significance that contribute to the significance of the Armory local historic district, having been recognized as a contributing structure to the Broadway/Armory National Historic Register District. The Commission grants Final Approval of the proposal as submitted, as the proposed alterations are architecturally and historically compatible with the property and district, and although the removal of the slate roof will diminish the architectural integrity of the property it will not have an adverse effect on the property or district (Standard 8), citing and agreeing to the recommendations in the staff report, with staff to review any additional details.



1750 Douglas Pike

Harrisville, Rhode Island 02830

Ronald L'Heureux / PH: 401/487-6935 FAX: 401/710-7791 E-mail: cornerstonecontractors@hotmail.com

William Gorry / Residential Roofing PH: 401/651-9220 E-mail: williamgorry@gmail.com

Company Website: <http://www.ricornerstonecontractors.com/>

Roof Condition Inspection Report

Estimator: Ronald L'Heureux for Cornerstone Contractors / Phone: (401) 487-6935	
Homeowner: Managed by Blackstone Management Group	Daytime Phone: (401) 263-6004
Property Address: 6 Hammond Street Avenue	Date/Time Request Received: 09/03/21 @ 2:00 pm
City/Town: Providence, Rhode Island	Permit Agency: City of Providence, Rhode Island
File Number: 04-3019-RIR-057	Status of Property: Rental Property
Status of Property: Occupied	Type of Property: Single Family Home
Square Footage: 2,775 sq ft	Age of Home: 1890
Historic District: Yes	Property Subtype: Freestanding Roof: Gable
Subject Property Date of Inspection: 09/04/2021	Date/Time of Inspection: 3:00 PM Finish: 4:30 PM
Weather conditions: 64°/82° F, Cloudy w/Sunshine, wind gusts to 15 MPH, No precipitation for 72 hours	

General Roof Conditions

Item	Remarks	Item	Remarks
Debris on Roof	Yes	Condition of Slate Field	Inadequate
Drainage	Adequate	Granular Loss	Minimal
Physical Damage	To roofing shingles /repaired on asphalt side, missing/delaminating field on slate side	Punctures	None
Attic Condition	Dry	Cracks/Alligatoring	Minor
Structural Deformation	Triple tab roof failing, slate field compromised.	Blisters/Fishmouths	Minor
		Mold / Mildew on Roof	Minor
		Lichen / Spores	Minor
Other		Ponding	None
Roof Features: Gabled		Interior Ceiling Conditions (If Applicable):	
Item	Remarks	Item	Remarks
Fascia	Adequate	Cracks	None
Soffit	Adequate	Water Staining	None Reported
Flashing	Compromised	Water leaks	Reported Second Floor
Gutters/Drains, etc.	Adequate	Seasonal problems	None Reported
Skylights	N/A	Other: Leaking reported on Slate side, temporarily remediated.	
Chimneys	Need Re-flashing		
Vents	Adequate		

Scope of Inspection: Property manager Richard Zayas of Blackstone Management requested this repair and inspection to determine the following:

1. Repair immediate leaks and determine present roof condition.

Summary Findings:

Inspection:

1. Upon inspection after being contracted to secure a leak on the roof at 6 Hammond Street, it was determined that the roof was half slate. It was determined that is most likely CUPA 7 (previously known as DOVER 7 SLATE) as per Vermont Slate Company. This slate is a non-carbonated natural slate formed by tectonic compression. Esthetically this it is a Gray/Black slate with thin laminations and a smooth surface.
2. A substantial leak was discovered on the slate side of the roof, and temporarily remediated.

Findings:

1. It was determined that there was significant delamination of areas of the field, as well as powdering in the inside of the attic. There are many missing tiles as well as broken and shifted slate. Many of the slate tiles are lifting. New flashing is required on the gables. A closer inspection determined that due to several factors the part of the roof that is slate field is beyond economical repair (using slate) – and a patch and struggle policy may be intolerable due to access damage that may occur to ameliorate the immediate damage.
2. The other part of the roof is problematic in that there is missing drip edge and flashing, as well as denigrated shingles.
3. Overall, the roof is in poor condition being half slate and half asphalt triple tab shingle. This situation occurred substantially prior to 2004 when this property was included in the City of Providence historic register.
4. Good news however is that there is no need to re-roof the entire deck as per many older and particularly slate roofs. An inspection of the attic area indicates that the deck is compliant with International Code Council Regulations, the State of RI 1&2 Family Dwelling Code for Roof Assemblies, and Manufacturer's Warranties and Instruction for Installation, as all roofs are required to meet R905.2.1 Sheathing requirements (page 440).

Recommendations:

1. Strip and reroof using water and ice, tech paper, and GAF Slateline shingles (see Proposal) that mimic the appearance slate at a reduced price, while providing the historic structure protection from the elements.

Addenda follows with roof condition photos

Addenda:









Proposal for 6 Hammond Street, Providence, RI

bnm



1750 Douglas Pike

Harrisville, Rhode Island 02830

Ronald L'Heureux / PH: 401/487-6935 FAX: 401/710-7791 E-mail: cornerstonecontractors@hotmail.com

William Gorry / Residential Roofing PH: 401/651-9220 E-mail: williamgorry@gmail.com

Company Website: <http://www.ricornerstonecontractors.com/>



Submitted to: Blackstone Property/Mgmt. Grp.		Daytime Phone: (939) 242-9357		Contact Phone: Same	
Street: 6 Hammond Street		Email Address: rzayas@blackstoneri.com			
City/State: Providence, RI		Date: September 12, 2021		Source: Existing Customer	
Location of Site of Proposed Work: 6 Hammond Street, Providence, RI					Estimator: Ronald L'Heureux/ RoofR
Private Residence:	NO	Investment Property:	NO	Municipal Property:	NO
Rental Property:	YES	Public/School Property:	NO	Restoration:	NO
Commercial Property:	NO	New Construction:	NO	Industrial Property:	NO
Private Institution:	NO	State Property Bid:	NO	DEM Restoration:	NO
Partnership/Sub: NA		Name/Company Liaison: Richard Zayas			
Cornerstone Contractors Proposal Prepared by: William Gorry			Liability Insurance Agent/Carrier #: Pascal Burke / #22829 / #37982		

Office Use Only

Customer #: 99	Estimate #: 21-64	Proposal #: 65-21	Referral: Existing Customer
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WE HEREBY SUBMIT SPECIFICATIONS AND ESTIMATES FOR: Installation of an Asphalt for the Structure @ 6 Hammond Street, Providence, RI:



PRE-INSTALLATION

- Contractor will secure proper and official permit from the town or city officials as per code (If not already secured).

Proposal for 6 Hammond Street, Providence, RI

- Execute an inspection and safety plan to prepare the property for the existing roof shingle system removal efficiently and safely.
- Deliver proper sized dumpster/dump trailer and materials.

SITE/DECK PREPARATION

- Relocate or protect any loose hanging structures and outdoor deck/patio furniture.
- Tarps will drape over the entire house, decks, stairs and ground next to structure. *Special attention will be given to protect plants and shrubbery.
- Removal of all existing slate roofing and flashing membranes to the deck surface and reinstall decking surface @ \$45.00 per sheet of plywood / [OSB] labor, plus **market price** for board. To be compliant with International Code Council Regulations, the State of RI 1&2 Family Dwelling Code for Roof Assemblies, and Manufacturer's Warranties and Instruction for Installation, all roofs will be required to meet R905.2.1 Sheathing requirements (page 440).
- Re-nail and secure existing decking where necessary.
- Homeowner will supply electrical power.
- Remove existing chimney and wall flashings (as needed) and replace with new lead flashings.

SYSTEM INSTALLATION

- Replacement of following flashing materials: step flashings as necessary, collars, pipe jacks/boots, perimeter drip edge material and all flashing necessary to warrantee work. All materials to meet or exceed manufacturer's requirements and to be installed "hidden nail" fashion so that no "shiners" are present.
- For shingle installation, we will use storm nail (Hurricane Nailing System) with 6 nails per shingle in common bond storm nail area. Galvanized roofing nails (corrosion resistant) with $\frac{3}{8}$ " heads and 1 $\frac{1}{4}$ " long will be used 1 $\frac{1}{2}$ " for ridge vent if applicable. If face nailing is necessary on end of caps all nails will be sealed with roof sealant.
- Two rows (6') of ice and water protection membrane shall be installed in all valleys and around the chimney (if applicable). Double water and ice on low pitch rear roof.
- Ice and water protection membrane (in conjunction with synthetic underlayment) shall be installed along all eaves, eave edges, valleys, roof transitions, flashings and penetrations for waterproof seal and shall extend past the interior wall line a minimum of 72 inches to provide protection against damage from ice dams and promote proper shingle system breathability.
- Installation of soldier rake edge starter strips to the entire roof perimeter including the rake edges and eave edges for double stack strength at the most vulnerable areas.
- Replace chimney lead (if applicable or as needed).
- Installation of one layer of synthetic underlayment on deck surface not covered with ice and water protection material. Synthetic underlayment to be fastened with small staples. Fasteners shall be at 12-inch centers along the side and end laps and at 24-inch centers in two staggered rows in the center of the roll.
- Appropriately colored caps to be installed on ridges secured, with 2.5" nails to prevent high wind blow off and damage.
- Installation of new GAF lifetime, laminated, architectural-style algae-resistant shingles. (Surcharge of \$10.00 a square for Owens Corning, Tamko, BP, or CertainTeed shingles). Three-tab available at a higher per bundle price. Shingles will be installed in strict accordance with the manufacturer's specifications and shall be fastened using a maximum of **six nails per shingle** as determined by state or local code specifications.
- Install drip edge on all linear roof edge, drip edge shall match fascia color if possible.
- Materials used are as follows: GAF WeatherWatch Granular Surfaced leak barrier, GAF StormGuard Filmed Surface Leak Barrier, Owens-Corning Duration with "Sur-Nail Strip", Certain-Teed Winter Guard Sand, Warrior #15 Felt Roof Protection, GAF Mineral Guard Rolled Roofing, Mulehide EDPM (both were applicable), Moan Vents, Oatey Boots and Extrusion Guards, Gripriite Lead Step Flashing, Amerimax Home Products F4 Drip Edge, Bostitch 1 $\frac{1}{4}$ x 0.120 Gauge Galvanized Coil Nails, Lomanco Roof Venting Products, GEOSEAL and Henry's Caulking used where applicable.

COMPLETE SITE CLOSEOUT

- Clean gutters of all construction debris.
- Magnetically sweep and rake entire job site.
- Haul away any job-related debris and removal of dumpster/dump trailer.

Proposal for 6 Hammond Street, Providence, RI

- Conduct final inspection with homeowner.



We propose hereby to furnish material and labor – complete in accordance with above specifications for the sum of:

Fourteen Thousand Eight Hundred and Nineteen Dollars (\$14,819.00)*

**All material prices contingent upon market conditions*

Payment to be made as follows (unless other arrangements are made):

\$1,000.00	At signing
\$5,000.00	Delivery of Materials
\$6,000.00	Site Closeout

Job Cost Breakdown		
Roofing	Strip and reroof house with Life-time architectural shingles, tar paper, Water & Ice all ridges valley gables and around dormers and all new drip edge.	\$ 5,590.00
Roofing	Strip Slate and reroof house with Life-time architectural shingles, tar paper, Water & Ice all ridges valley gables	\$6,240.00
Roofing	TPO roof 12x12	\$500.00
Materials	Caps	\$801.00
Roofing	Re-lead Chimney	\$450.00
Roofing	Replace rotted board	\$38.00
Dump Trailer	Remove debris and clean up.	\$700.00
Administration	City of Providence Permit	\$500.00
	Grand Total	\$14,819.00

Additional Line Items:

- Estimated time of project one to two days, contingent on underlying roof structure, and weather.
- Any additional roofing deck replacement necessary will be invoiced at the cost of \$45 per 4 ft. by 8 ft. sheet of decking or 16' planks plus materials **at current market prices.**
- If not already noted in specifications, the chimney will be re-flashed if deemed necessary by the master craftsman. Owner will be apprised of the cost for agreement. Should the owner refuse the re-flashing this will make the workmanship guarantee null and void.
- Any fascia wood replacement necessary will be invoiced at the cost of \$50 for the first 10 linear feet and an additional cost of \$6.00 per lineal foot thereafter plus material.
- Owner/agent will be available in person or by phone always during construction.

Customer to initial here as accepted _____

Cornerstone Contractors is fully covered by liability insurance, Workman's Compensation, and is a registered contractor with the State of Rhode Island and Providence Plantations License #22845, Commercial Roofing License # 200R, State of Massachusetts License # 168125.

GENERAL TERMS AND CONDITIONS

Owner/Customer: The owner and/or General Contractor ("Customer") hereby represents that he/she is the owner of said premises whereon the improvements herein specified are to be made, having a deed for same, or the authorized agent of said owner.

Nature of Work: Cornerstone Contractors Corp, LLC. ("Cornerstone"), shall furnish labor and material necessary to perform the work described herein or in the referenced contract documents Cornerstone is not a licensed architect or engineer to determine proper design and code compliance. Cornerstone is not responsible for structural integrity and proper design, including that the design is in compliance with applicable ordinances codes and regulations. If plans, specifications or other documents have been furnished to Cornerstone, Customer warrants that they are sufficient and conform to applicable laws and building codes. The specifications in this proposal are intended to match or be the equivalent of the general overall job specifications given wherever possible; however, Customer hereby agrees that wherever the two differ,

Proposal for 6 Hammond Street, Providence, RI

the specifications in this proposal shall be accepted by the Customer. Cornerstone is not responsible for loss, damage or expense due to defects in plans or specifications or building code violations unless such damage results from a deviation by Cornerstone from the contract documents. Customer warrants all structures and drainage systems to be in sound condition capable of withstanding normal activities of construction equipment and operations and the work that is to be performed. Cornerstone is not responsible for location of roof drains, existing drain blockage, installation of secondary drains, if necessary, and adequacy of drainage or ponding on the roof.

Fumes and Emissions: Customer acknowledges that odor and emissions from roofing products will be released and noise will be generated as part of the roofing operations to be performed by Cornerstone. Customer shall be responsible for interior air quality, including controlling mechanical equipment, HVAC units, intake vents, wall vents, windows, doors and other openings to prevent fumes and odors from entering the building. Customer is aware that roofing products emit fumes, vapors and odors during the application process and Customer shall hold Cornerstone harmless from claims from third parties relating to fumes and odors that are emitted during the normal roofing process. Customer acknowledges that should work hours need to be adjusted (nights, weekends, holidays, etc.) to accommodate occupants, there will be an adjustment to contract price in order to account for premium time rates.

Interior Protection: Customer acknowledges that tear-off of existing roofing materials and re-roofing of an existing building may cause disturbance, dust or debris to fall into the interior. Customer agrees to remove or protect property directly below the roof in order to minimize potential interior damage. Cornerstone shall not be responsible for disturbance, damage, clean-up or loss to interior property that Customer did not remove or protect prior to commencement of roofing operations. Customer shall notify tenants and occupants of re-roofing and the need to provide protection underneath areas being re-roofed. Customer agrees to hold Cornerstone harmless from the claims of tenants who were not so notified and/or did not provide protection.

Roof Deck and/or Adjacent Work: Cornerstone's commencement of the roof installation indicates that Cornerstone has accepted the surface of the roof deck as suitable to attach the roofing materials only. Cornerstone is not responsible for the construction, structural sufficiency, durability, fastening, and moisture content of physical properties of the roof deck or other trades' work or design.

Electrical Conduit: Owner warrants that there will be no live power lines on or near the roof servicing the building where Cornerstone will be working and that Owner will turn off any such power supplies to avoid an electrocution risk to Cornerstone's employees. Cornerstone's price is based upon there not being electrical or other conduit or other materials embedded within the roof assembly or directly affixed to the underside of the roof deck unless expressly identified on the face of this proposal. Customer will indemnify Cornerstone from any personal injury, damage, claim, loss or expense resulting from the presence of conduit, shall render the conduit harmless so as to avoid injury to Cornerstone's personnel, and shall compensate Cornerstone for additional time, labor and expense resulting from the presence of such materials.

Danger Posed by Energized Power Lines: Customer warrants there will be no live power lines on or near the roof where Cornerstone will be working and that Customer will make appropriate arrangements or itself turn off any such power supplies to Customer's building to avoid any electrocution risk to roofing personnel.

Asbestos and Toxic Materials: This proposal and contract is based upon the work to be performed by Cornerstone not involving contact with asbestos-containing or toxic materials and that such materials will not be encountered or disturbed during the course of performing roofing work. Cornerstone is not responsible for expenses, claims, or damages arising out of the presence, disturbance or removal of asbestos-containing or toxic material. In the event that such materials are encountered, Cornerstone shall be entitled to reasonable compensation for all additional expenses incurred as a result of the presence of asbestos-containing or toxic materials.

Insurance: Cornerstone and its sub-contractors shall carry worker's compensation, automobile liability, and commercial general liability as required by law. Cornerstone its sub-contractors shall furnish Certificates of insurance, evidencing the types and amounts of its coverage, upon request. Customer shall purchase and maintain builder's risk and property insurance upon the full value of the entire Project, including the labor, material and equipment furnished by its Cornerstone covering fire, extended coverage, malicious mischief, vandalism and theft. If customer requires and Cornerstone agrees to name Customer as additional insured on Cornerstone's liability insurance policy, and Customer agrees that the naming of Customer or other parties as an additional insured is intended to apply to claims made against the additional insured to the extent the claim is due to negligence of Cornerstone only and is not intended to make Cornerstone's insurer liable for claims that are due to the fault of the additional insured or others.

Reroofing: Cornerstone is not responsible for leakage through the existing roof or other portions of the building that have not yet been reroofed by Cornerstone. Cornerstone is not responsible for damages or leaks due to existing conditions or existing sources of leakage simply because Cornerstone started work on the building.

Existing Conditions: Customer represents that, to the best of their knowledge, all components under the roof deck, including, but not limited to, mechanical, electrical, plumbing and structural components are secure and installed as per local building code. Customer shall indemnify and hold harmless Cornerstone from all claims or damages due to any existing conditions that Cornerstone was not made aware of by Customer, in writing, before job commenced. Customer acknowledges that any removal of such equipment, if necessary, is not part of the contract and will be removed at Customer's expense or removed by Cornerstone and charged as an extra.

Weather: Cornerstone nor its sub-contractors will open a roof or proceed with a roofing job if there is a weather forecast of 40% chance of precipitation, or if the temperature causes unsafe conditions (temperature extremes, ice, lightning, etc.).

Private Property: Because of the volatility of the roofing construction zone, all private property and vehicles are to be removed or secured in the work zone. Cornerstone Contractors and its sub-contractors make every effort to secure the area from damage, however, Cornerstone Contractors and its sub-contractors are not responsible for damage to private property or vehicles not secured by the Customer. Customer will inform neighbors that roof is being done. In the case that the space between building is close, please request that all private property and vehicles are to be removed or secured in the work zone. Cornerstone Contractors and its sub-contractors make every effort to secure the area from damage, however, Cornerstone Contractors and its sub-contractors are not responsible for damage to private property or vehicles not secured by the property owner.

Indemnity: Cornerstone agrees to indemnify and hold harmless the Owner and/or General Contractor ("Customer") from all claims, damages, losses and expenses for personal injury, including death and property damage, to the extent caused by negligent acts or omissions by Cornerstone or someone for whose acts Cornerstone is responsible. Cornerstone is not obligated to provide indemnity for damages, losses, claims or expenses to the extent due to the negligence or fault of indemnities or others for whose conduct Cornerstone is not responsible. Similarly, Customer shall indemnify and hold harmless Cornerstone from all claims, damages, losses and expenses arising from claims from bodily injury, including death or other damages, to the extent due to the negligence of Customer or the fault of its agents, representatives or employees.

Roofing Antenna / Satellite Dishes: All extra-structural appliances must such as decorations and antenna/satellite dishes will be removed. Any decorations will be re-applied as per customers request, however, antenna and satellite dishes MUST be reattached and recalibrated by the service provider. Customer holds Cornerstone harmless from physical or fiduciary liability for interruption of cable service, nor the reactivation of said service, this is the Customer's responsibility.

Roof deck stability: Customer warrants that the structure(s) on which Cornerstone is to work are in sound condition and capable of withstanding normal activities of roofing construction equipment and operations.

Liquidated damages: Liquidated damages for delays or actual damages for delays shall be assessed against Cornerstone only to the extent caused by Cornerstone and only if stipulated and mutually agreed to before commencement of the work. In no event shall Cornerstone be responsible for delays which arise outside the scope of this contract.

Proposal for 6 Hammond Street, Providence, RI

Damage to Cornerstone's Work by Others: Contractor/Customer shall coordinate the project in an orderly and customary manner so as to avoid newly installed roofing being used as a surface for ongoing construction work. If Cornerstone's work is damaged by other trades Contractor/Customer agrees to back charge the trades causing the damage. Contractor/Customer will purchase or arrange with Customer to maintain Builder's Risk insurance, as required. Any repairing of the same by Liberty will be charged at regular scheduled rates over and above the amount of this proposal.

Damages and Delays: Cornerstone shall not be liable for damages based upon delay, or liquidated damages or penalties resulting from any delay caused by circumstances beyond its control, including but not limited to acts of weather, accidents, fire, vandalism, strikes, jurisdictional disputes, failure or delay of transportation, shortage of or inability to obtain materials, equipment or labor, changes in the work and delays caused by others. In the event of these occurrences, Cornerstone's time for performance under this proposal shall be extended for a time sufficient to permit completion of the Work.

Payment: Unless otherwise stated in this proposal, Customer shall secure this work in the form of a 33% deposit due upon the signing of this contract. Customer shall pay the remaining contract balance plus any additional charges for change order or extra work upon the completion of all work outlined in this contract. Should Customer fail to make payment, Cornerstone shall be entitled to recover all costs of collection incurred, including attorney's fees and litigation expenses. In addition, Customer agrees to pay a 15% late charge on the unpaid balance. Collection matters may be processed through litigation or arbitration at Cornerstone's discretion.

Changes in the Work and Extra Work: Customer shall be entitled to order changes in the work and the contract price adjusted accordingly. Cornerstone shall not be required to perform any changed or additional work without a written request. Any penetrations through the roof to be installed by Cornerstone not shown on the plans provided to Cornerstone prior to submittal of this proposal shall be considered an order for extra work. Cornerstone shall be compensated at its customary time and materials rate for performing such additional work. Any alterations or deviation from the specifications involving extra costs due to unforeseen conditions will also become an extra charge over and above the contract price.

Back Charges: No back charge or claim for payment of services rendered or equipment furnished by Customer to Cornerstone shall be sought to be imposed by Customer unless previously authorized in writing or unless written notice is given to Cornerstone within five (5) days of the event, act or omission that is the basis of the back charge.

Right to Stop Work: The failure of Customer to make proper payment to Cornerstone when due shall, in addition to all other rights, constitute a material breach of contract and shall entitle Cornerstone, at its discretion, to suspend all work and shipment, including furnishing of warranties, until full payment is made or terminate this contract. The contract sum shall be increased by the amount of Cornerstone's reasonable costs of shut-down, delay and start-up.

Availability of Site and Utilities: Cornerstone shall be provided with direct access to the work site for the passage of trucks and materials and direct access to the roof, electricity, water and sanitary facilities at no cost to Cornerstone. Cornerstone shall not be required to begin work until the underlying areas are ready and acceptable to receive Cornerstone's work and sufficient areas of roof deck are available and free from dirt, water, snow or debris to allow continuous full operations until job completion. The expense of any extra trips by Cornerstone to and from the job as result of the job not being ready for roof application after Cornerstone has been notified to proceed will be charged as an extra.

Tolerances: All materials and work shall be furnished in accordance with normal industry tolerances for color, variation, thickness, size, weight, amount, finish, texture and performance standards. Specified quantities are intended to represent an average only. Cornerstone is not responsible for the actual verification of technical specifications of product manufacturers; i.e. R value or ASTM or UL compliance but rather the material used are represented as such by the material manufacturer.

Mold: The Customer is aware that mold, especially in structures where there have been instances of water leaks or condensation, can grow in unseen places, including walls, underneath beams and floors, and in insulation areas. Certain types of mold may pose a danger to health. Customer acknowledges and agrees that (i) Cornerstone's scope of work shall not include the identification, detection, abatement, remediation or removal of any type of mold or mildew, (ii) Cornerstone does not assume in the performance of its work, any obligation or liability to the Customer or any party claiming by, through or under the Customer, arising out of any failure to identify, detect, abate, remedy or remove mold or mildew, and (iii) Cornerstone shall not be liable in any respect for any personal injury or property damage, including, without limitation, damage to any structure or its components, or of any contents thereof, which may result from or arise out of the presence or growth of mold or mildew of any type of nature, and regardless of whether such mold was present before or after the work was performed.

Site Conditions: Cornerstone shall not be responsible for additional cost required due to the existence of snow or water on the roof, deteriorated deck or other subsurface, substandard framing, hidden, or latent conditions that are not disclosed in writing to Cornerstone. The raising, disconnection, re-connection or relocation of any mechanical equipment that may be necessary for Cornerstone to perform the roofing work shall be performed by others at Customer's expense or treated as an extra.

Warranty: Cornerstone's work will be warranted in accordance with its standard warranty, which is incorporated by reference. A copy of Cornerstone's standard warranty is available upon request. Cornerstone SHALL NOT BE LIABLE FOR SPECIAL OR PUNITIVE, INCIDENTAL OR CONSEQUENTIAL DAMAGES OR LOST PROFITS. The acceptance of this proposal by the Customer signifies their agreement that this warranty shall be and is the exclusive remedy against Cornerstone pertaining to the roof installation. The liability of Cornerstone shall not exceed the Contract Price. The extent of the warranty shall be for workmanship provided by Cornerstone only and shall not exceed one (1) year from the date of substantial completion unless stated otherwise on page 1. No warranties/liability whatsoever will apply until all work performed has been paid in full.

Workmanship Guarantee: A ten (10) year roof leak repair under normal weather conditions from completion date. All work will be completed in a workmanlike, professional manner according to industry best standards. The warranty shall protect the owner from damage to the building and contents resulting from roof leakage for a period of ten (10) years, beginning from the date of completion of the project. The warranty shall cover and include repair or replacement of any damaged exterior structure, interior structure, interior components and contents of the building, resulting from roof leakage directly attributed to the contractor's workmanship however notification of any possible problem must be made forthwith. Not responsible for damage due to Customer's negligence in reporting problem forthwith. All repairs must be done by Cornerstone Contractors or its authorized agents. This warranty is in force at the completion of work and final payment for same.

Manufacturer's Guarantees: All manufacturer's guarantees shall be in place upon completion of work. These materials are available online from the specific manufacturer utilized.

Notice of Complaint: Customer shall notify Cornerstone or any complaints concerning the performance of this contract within ten (10) days after conclusion of work by Cornerstone; absent such notification, the work shall be deemed to have been completed in a satisfactory manner. Furthermore, Customer must notify Cornerstone within ten (10) days of learning of any problems before any progress or final payment is withheld or reduced in value. Any legal claim against Cornerstone, including a claim alleging any breach of this contract or negligence by Cornerstone must be initiated no later than two (2) years after substantial completion of work by Cornerstone.

Dispute: If a dispute shall arise between Cornerstone and Customer with respect to any matters or questions arising out of or relating to this Agreement or the breach thereof, such dispute shall be decided by arbitration or Small Claims Court at Cornerstone's option, within 90 days of notice by Cornerstone. Arbitration shall be administered by and in accordance with the Construction Industry Rules of the American

Proposal for 6 Hammond Street, Providence, RI

Arbitration Association. Arbitration or litigation shall be in Rhode Island. Any arbitration award shall be specifically enforceable under the prevailing arbitration law. The award rendered by the arbitrator shall be final, and judgment may be entered upon it in any Court thereof.

Price Increases: Some roofing and building products can be subject to unusual and severe price volatility and availability due to conditions that are beyond the control of Cornerstone. Prices quoted are contingent upon such conditions remaining stable between the date of this proposal and the date of acceptance. Substantial price increases may result in the amounts stated on this proposal to increase accordingly to reflect the additional costs to Cornerstone.

Right of Rescission: Customers have a three (3) day right of rescission to terminate this agreement. Customers will be responsible for expenses incurred, in addition to a termination fee not to exceed twenty percent of the quoted contract amount if cancellation if after the three (3) day period.

Payment: If credit card used, additional administration fee (determined alone by Credit Card Company) of 3% of total will be assessed.

Mechanic's Lien Notice: Lien releases from Cornerstone's material suppliers and subcontractors shall be provided to customer upon request.

Failure to Enforce: The failure by Cornerstone to enforce any provision of this contract shall not affect the liability of the Owner and/or General Contractor ("Customer") or guarantor thereof nor deprive Cornerstone of the right to insist upon the strict compliance thereafter.

Notice of Possible Mechanic's Lien: Cornerstone Contractor's Corp. LLC., is about to perform work and/or furnish materials for the construction, erection, alterations or repair upon that land referenced above under contract with you. This notice that the undersigned and any other persons who provide labor and materials for the improvement under contract with the undersigned may file a mechanic's lien upon the land in the event of nonpayment to them. It is your responsibility to assure yourself that those other persons under contract with the undersigned receive payment for their work performed and materials furnished for the construction, erection, alteration or repair upon the land. Failure to adhere to the provisions of this subsection may result in a one thousand dollar (\$1,000.00) fine against the contractor. Pursuant to RIGL 5-65-18 all written contracts entered into between a contractor and a property owner must contain a statement that the contractor, subcontractors, or material persons may file a lien in accordance with the RI Mechanic's Lien Act, chapter 28 of title 34. Unless agreed above any payments over 30 days subject to 18% and legal costs fees and processing of lien notice conforming to R.I.G.L. and reported to the BBB and major credit reporting agencies. In addition, failure to pay, or to make arrangements to pay after ninety-days (90) will be referred to legal counsel for imposition of a mechanic's lien as provided in the R.I.G.L. All promises, understanding, or agreement between the parties, shall not be modified in any manner, except in writing and signed by both parties. This contract shall be accepted by Customer by execution hereof, or, at Cornerstone's option, by verbal acceptance of Customer and commencement of work by Cornerstone. It is agreed that if the Customer is a commercial owner, general contractor, or subcontractor and if the use of a general contract or subcontract is required, then this Proposal is based upon the use of AIA 101/210 or AIA 401 contract forms without modifications only. The Customer's requirement that any other contract forms be used shall, at Cornerstone's option, void this proposal. This proposal is valid for a maximum of thirty (30) days and may be withdrawn at any time by Cornerstone.

ACCEPTANCE OF PROPOSAL – The above prices, specifications, and conditions for roofing the residence at **6 Hammond Street, Providence, RI** for the sum of **Fourteen Thousand Eight Hundred and Nineteen Dollars (\$14,819.00)*** as delineated above is satisfactory and are hereby accepted (excluded are Code International Code Council Regulation, State of RI 1&2 Family Dwelling Code for Roof Assemblies, and Manufacturer's Warranties and Instruction for Installation required changes or customer-generated additions that will require a signed **Change Order**. Cornerstone Contractor's Corp, LLC is authorized to do the work as specified. Cornerstone is authorized to proceed in accordance with the preceding pricing, terms, and conditions. Payment will be made as outlined above. This proposal may be withdrawn by Cornerstone if not accepted within 30 days.

Customer Signature: _____

Company Representative Signature: _____

Date of Acceptance: ____/____/____

Manufacturer: GAF	Color: Slateline Gray	Style: Architectural
Addenda: <ul style="list-style-type: none">• <i>Contingent on condition of deck and compliance with International Code Council Regulations, the State of RI 1&2 Family Dwelling Code for Roof Assemblies, and Manufacturer's Warranties and Instruction for Installation, all roofs will be required to meet R905.2.1 Sheathing requirements (page 440)</i>• <i>Insurance Certificates can be issued at owner's request</i>• All material prices are contingent upon market conditions		

Proposal for 6 Hammond Street, Providence, RI

Do Not Write Below This Line

Office Only

Deposit Check Information	Check Number:	Bank:	Amount:
	Copy to Office:	Deposited:	Date:

End of Proposal

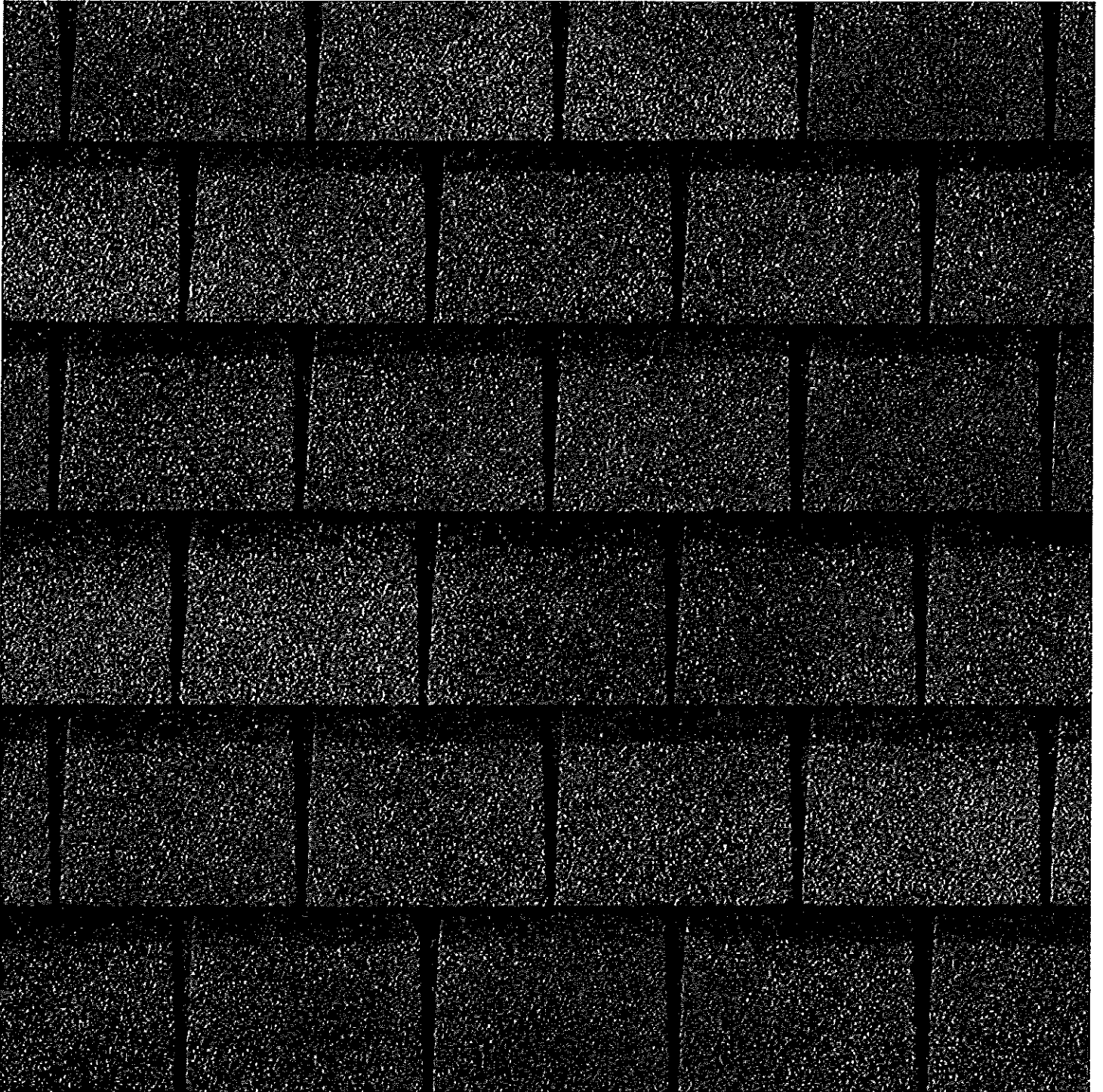
Proposal for 6 Hammond Street, Providence, RI



Slateline™ Shingles

Bold shadow lines and tapered cut-outs create the look of slate at a fraction of the cost.

Proposal for 6 Hammond Street, Providence, RI



- **Trusted:** Slateline® Shingles have earned the Good Housekeeping Seal.
- **Highest Roofing Fire Rating:** UL Class A, Listed to ANSI/UL 790.
- **Stays in Place:** Dura Grip™ Adhesive seals each shingle tightly and reduces the risk of shingle blow-off. Shingles warranted to withstand winds up to 130 mph (209 km/h).¹

Proposal for 6 Hammond Street, Providence, RI

- **Peace of Mind:** Lifetime limited transferable warranty with Smart Choice® Protection (non-prorated material and installation labor coverage) for the first ten years.¹
- **Perfect Finishing Touch:** Use Timbertex® Premium Ridge Cap Shingles with StainGuard® protection.²
- **Premium Color Blends:** Combine our latest granule colors with GAF's advanced blending technology, resulting in exceptionally vibrant, premium color options.
- **High Performance:** Designed with Advanced Protection® Shingle Technology, which reduces the use of natural resources while providing excellent protection for your home.
- **StainGuard® Protection:** Helps ensure the beauty of your roof against unsightly blue-green algae.³

¹This wind speed coverage requires special installation; see *GAF Shingle & Accessory Limited Warranty* for details.

²See *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions. The word "Lifetime" refers to the length of coverage provided by the *GAF Shingle & Accessory Limited Warranty* and means as long as the original individual owner(s) of a single-family detached residence [or the second owner(s) in certain circumstances] owns the property where the shingles are installed. For owners/structures not meeting the above criteria, Lifetime coverage is not applicable.

³These products are not available in all areas. Visit Ridge Cap Shingle Product Availability for details.

⁴StainGuard® algae protection and 10-year limited warranty against blue-green algae discoloration available only on shingles sold in packages bearing the StainGuard® logo. See *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions.

(Note: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.)