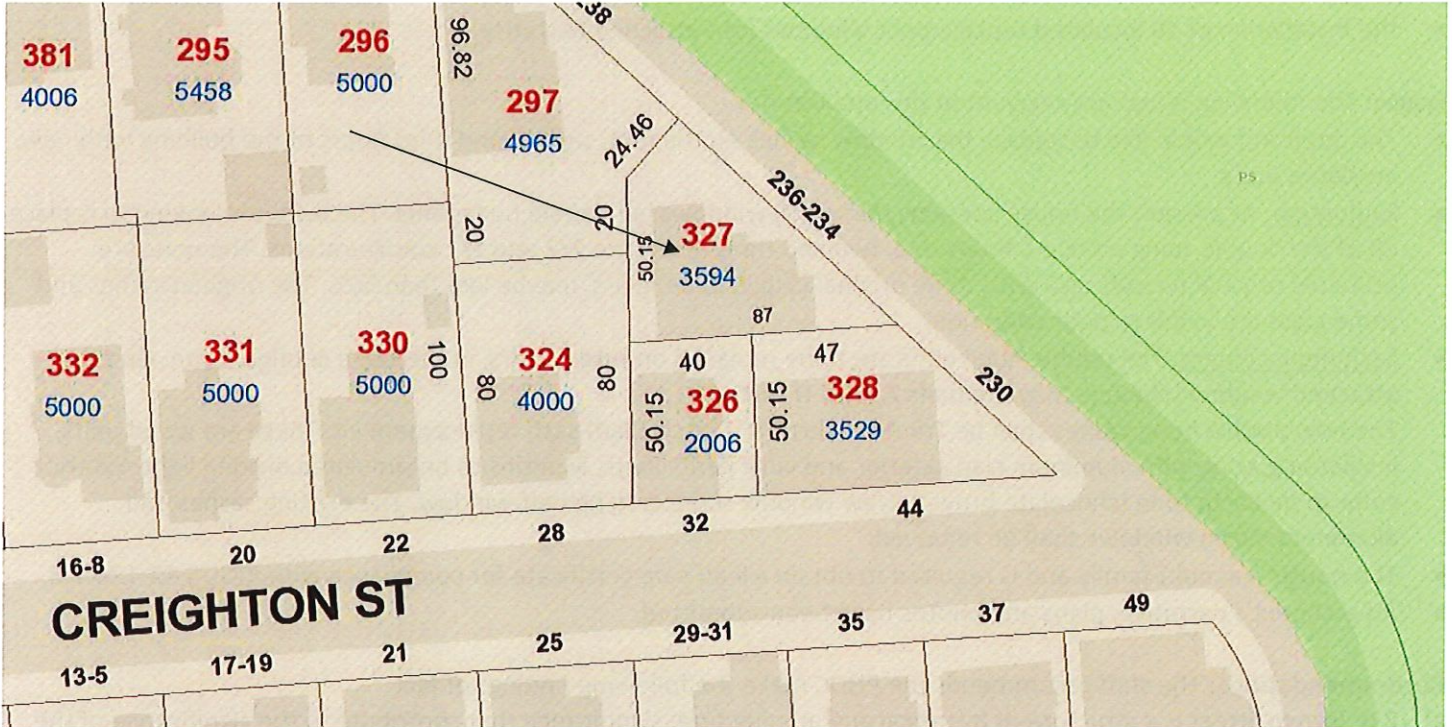


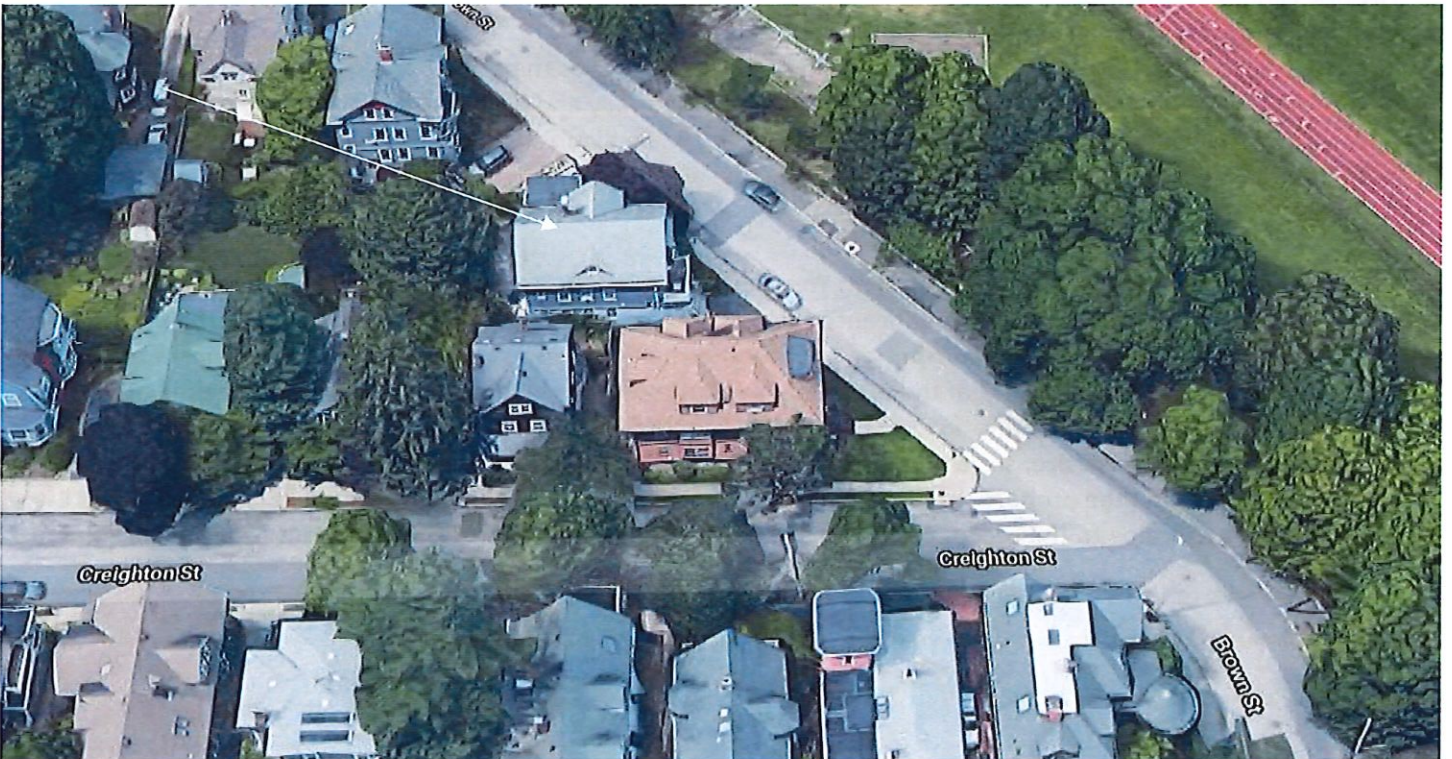
6. CASE 21.109, 236 BROWN STREET, House, c1875-95 (COLLEGE HILL)

2½ stories; cross gable; asphalt shingle; simple 2-family with 2 story square-bay next to porch, new vestibule extended into porch for #234. Sawtooth shingles in gable end.

CONTRIBUTING



Arrow indicates 236 Brown Street.



Arrow indicates project location, looking north.

Applicant/Owner: JCV Investments LLC, 6 State Street, Warren, RI 02885

Architect: Mark Rapp, ACME Architects LLC, 9 Simmons Road, Little Compton, RI 02837

Contractor: Venture Window, 33 Freeway Drive, Cranston, RI 02920

Proposal: The scope of work proposed consists of Major Alterations and includes:

- the installation of 29 insulated replacement windows (see attached narrative).

Issues: The following issues are relevant to this application:

- The applicant would like to replace the window sashes on the first, second and third floors of the building with new, insulated units.
- Evaluation: At present the house contains thirty (30) windows, all double hung units. The owner is looking to replace 29 of the double-hung units, on floors one, two and three. They are 2/2 and 1/1 configurations. The units are primarily original (wood) sash with some original (single pane) glass, maybe less than 50%. The original sashes and some glass are in fair to poor condition.
- Sash Replacement: The double hung units are to be replaced on three floors, in the same configuration. On the attached window schedule they are units A, B, & D through L.
The new double hung sashes shall be Trimline Ultra Fit (Classic Clad) sash replacement kit. These are wood units, insulated glazing with aluminum clad exterior and vinyl jamb liners. Muntins to be simulated divided light. Exterior color to be earth tone (chocolate brown). New window screens to be half-window. The existing sashes and aluminum storm windows shall be removed.
- The house is a multi-family and is required to obtain a lead-safe certificate for compliance with RIGL § 42-128.1-8.
- An architect's narrative, plans and photos have been submitted.

Recommendations: The staff recommends the PHDC make the following findings of fact:

- a) 236 Brown Street is a structure of historical and architectural significance that contribute to the significance of the College Hill local historic district, having been recognized as a contributing structure to the College Hill National Historic Landmarks District;
- b) The application for Major Alterations is considered complete; and,
- c) The work as proposed is in accord with PHDC Standard 8 as follows: as the proposed alterations are appropriate having determined that the proposed construction is architecturally and historically compatible with the property and district having an appropriate size, scale and form that while diminishing the historic quality of the property will not have an adverse effect on the property or district and allows the property to come into compliance with RIGL § 42-128.1-8.

Staff recommends a motion be made stating that: The application is considered complete. 236 Brown Street is a structure of historical and architectural significance that contribute to the significance of the College Hill local historic district, having been recognized as a contributing structure to the College Hill National Historic Landmarks District. The Commission grants Final Approval of the proposal as submitted having determined that the proposed alterations are appropriate as the proposed alterations are architecturally and historically compatible with the property and district having an appropriate size, scale and form that while diminishing the historic quality of the property will not have an adverse effect on the property or district and allows the property to come into compliance with RIGL § 42-128.1-8, citing and agreeing to the recommendations in the staff report, with staff to review any additional required details.

Project: Two Family Residence
Address: 236 Brown Street, Providence, RI 02906
Date: 7 October 2021
Re: Application Information

NARRATIVE – Scope of Work

Window Replacement

The client would like to replace window sashes on the first, second and third floors of the building with new, insulated units.

Evaluation

At present the house contains thirty (30) windows, all double hung units. The owner is looking to replace all but one of the double hung units, on floors one, two and three.

They are 2/2 and 1/1 configurations. The units are primarily original (wood) sash with some original (single pane) glass, maybe less than 50%. The original sashes and some glass is in fair to poor condition.

Sash Replacement

The double hung units are to be replaced on three floors, in the same configuration. On the attached window schedule they are units A,B, & D through L.

The new double hung sashes shall be Trimline Ultra Fit (Classic Clad) sash replacement kit. These are wood units, insulated glazing with aluminum clad exterior and vinyl jamb liners. Muntins to be simulated divided light. Exterior color to be white. New window screens to be half-window.

The existing sashes and aluminum storm windows shall be removed

The Owner would like to replace the existing sashes with new sashes for several reasons:

- Energy Efficiency – The new sashes, with insulated glass, and more efficient jamb liners and function are an improvement in air infiltration and U-value over the existing single pane windows with storm windows. The existing storm windows have weep holes at the sill which allow air to enter the building. Also, the weight pockets are to be filled with spray foam insulation to complete the envelope insulation
- Aesthetics – The Owner is willing to install replacement window sashes which are nearly identical to the existing. The muntin size and spacing will be matched. The difference in glass area reduction is about 6.5% for unit "B". From the exterior, the new sashes, along with removal of the storm windows, will result in windows which are close to the original in size,

function, appearance and profile depth with windows within the wall plane, which is diminished by the storm windows.

- Lead Safety – The removal of the existing painted wood sashes, combined with the new sash operation with greatly reduce lead exposure within the building.

In conclusion, we believe that the replacement sashes for this building, closely follow the design intent and function of the existing units. The window frames along with interior and exterior casings and trim are to remain. Improving building performance and safety, while maintaining design integrity is the goal of this work.

End of Narrative

ACME Architect LLC

9 Simmons Road Little Compton Rhode Island 02837
MarkRappArchitect.com Tel 401.465.5247 Fax 401.635.8662



1 - View from Brown Street



2 - Portion of south elevation



3- detail of north wall projection - windows "H"



4 - portion of west elevation - units "A"



5 - rear (west) elevation



6 - Exterior window detail



7 - interior view of window



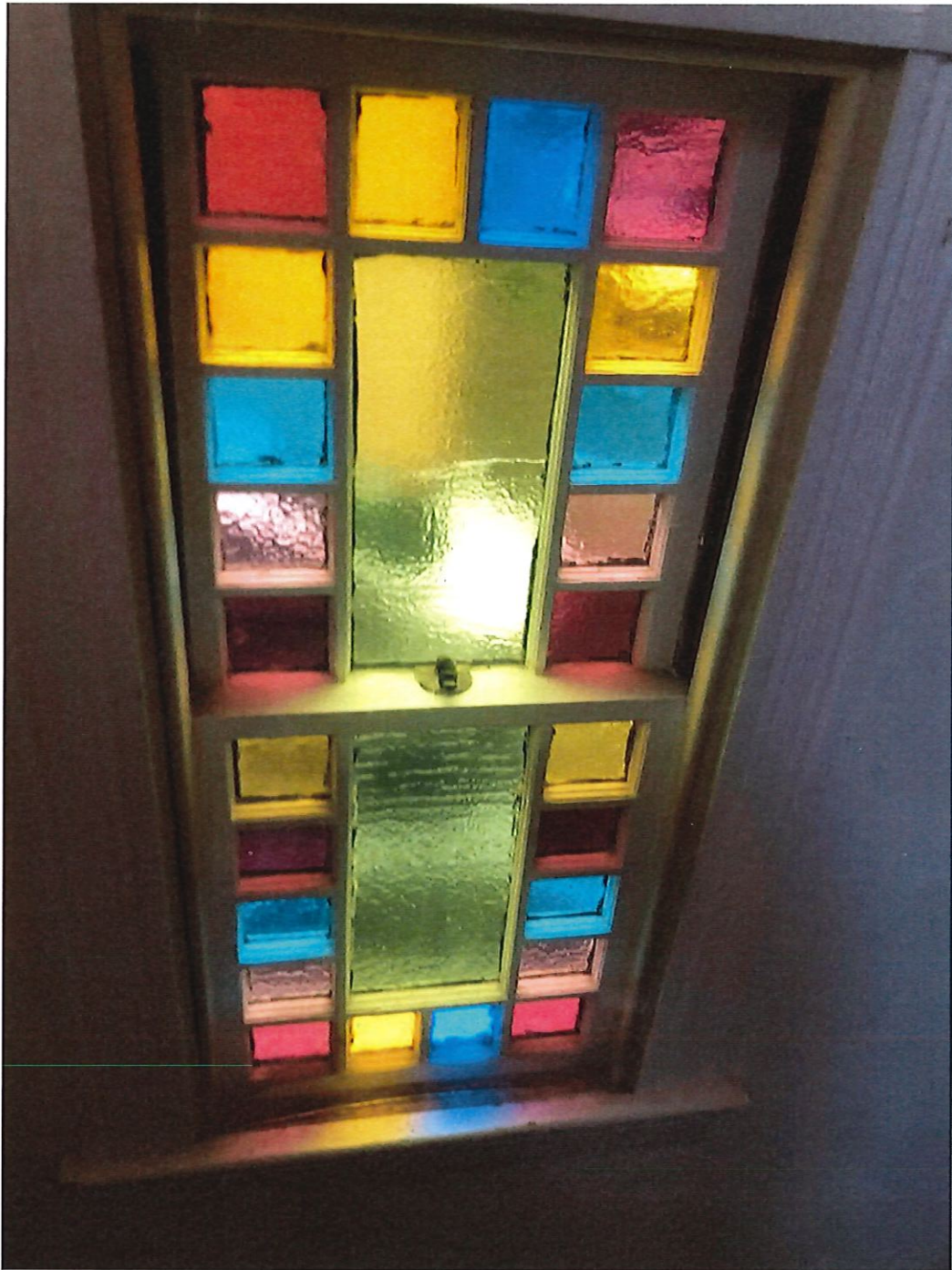
8 - window "A"



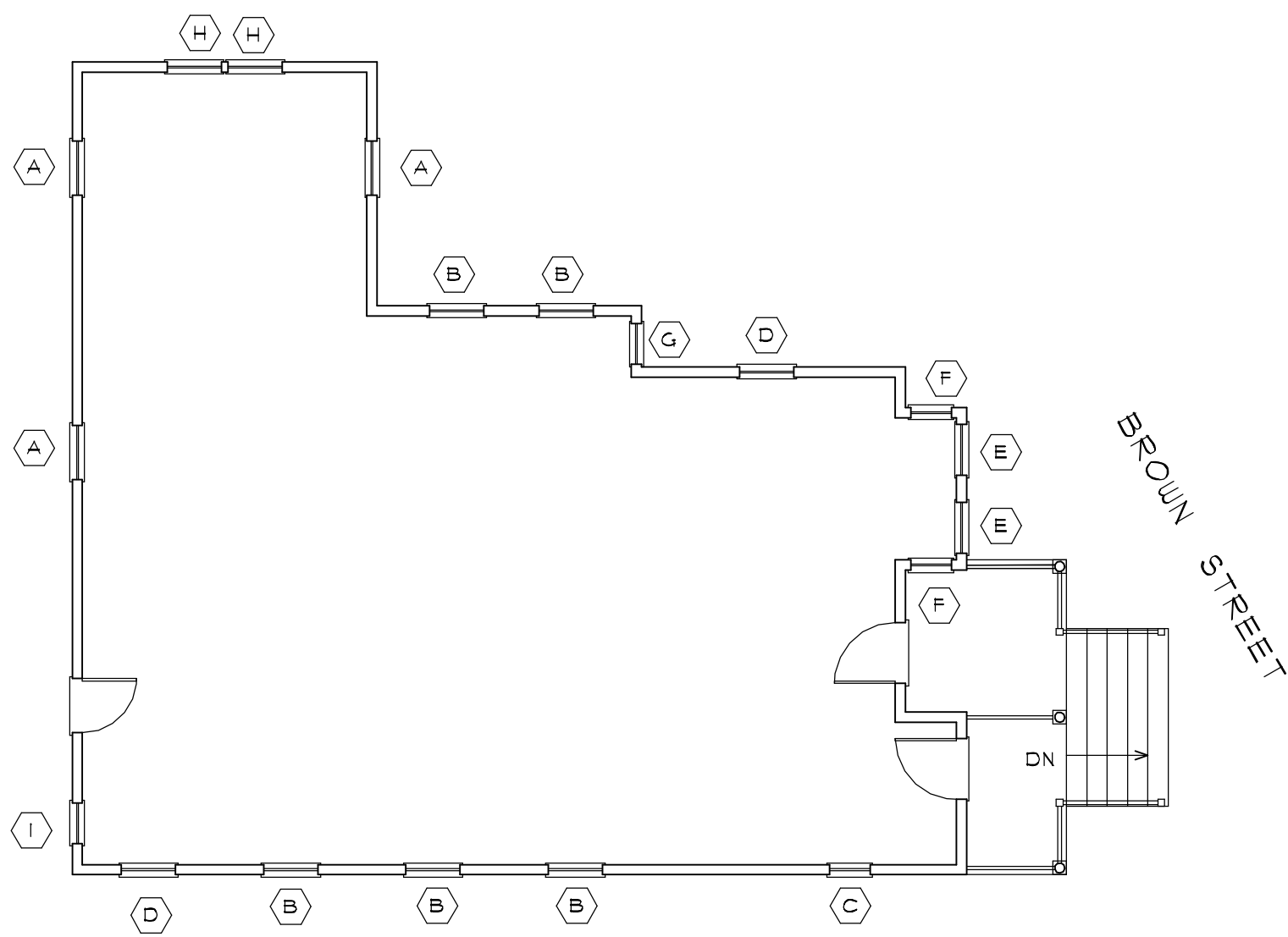
9 - window detail



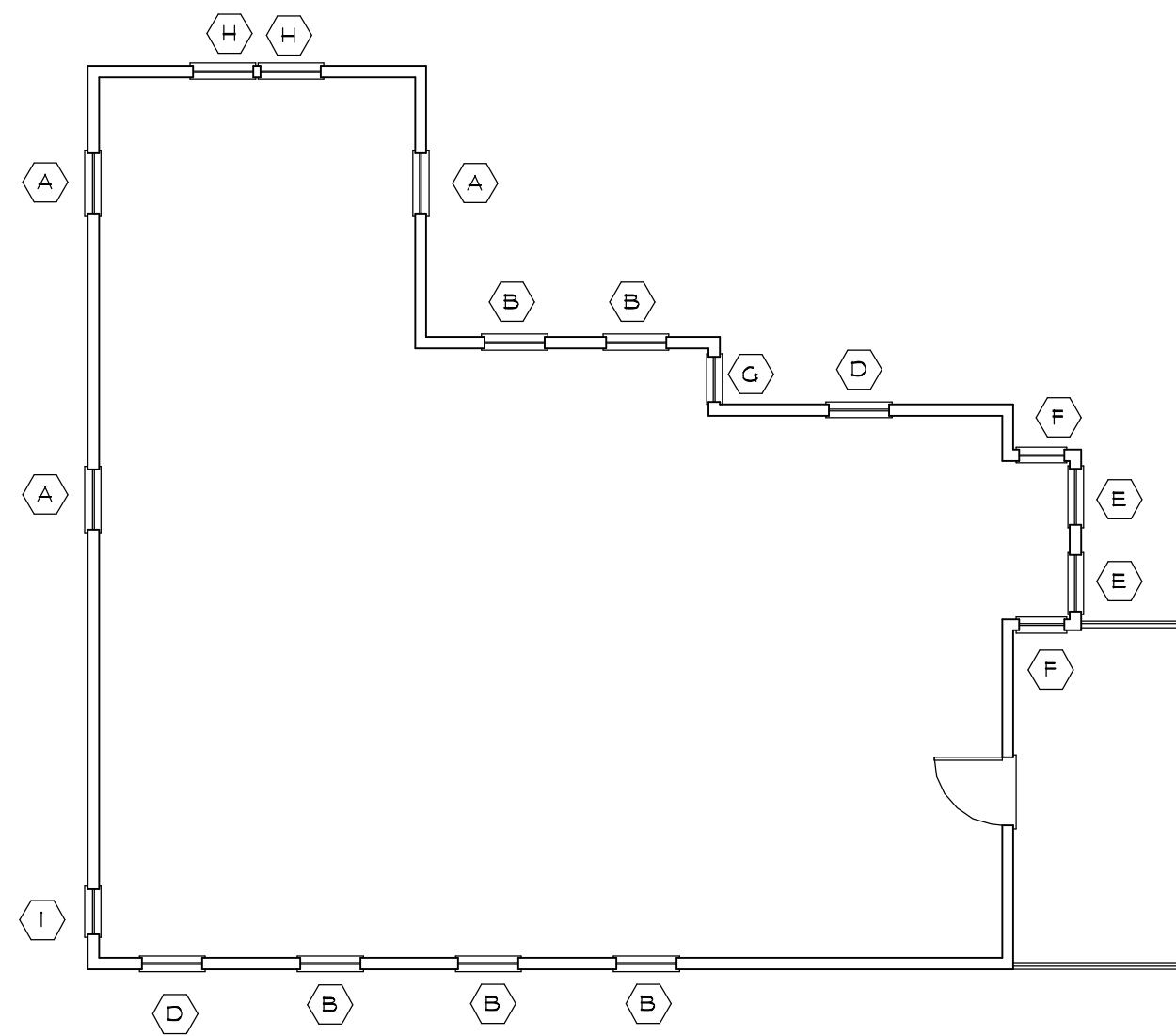
10 - window detail



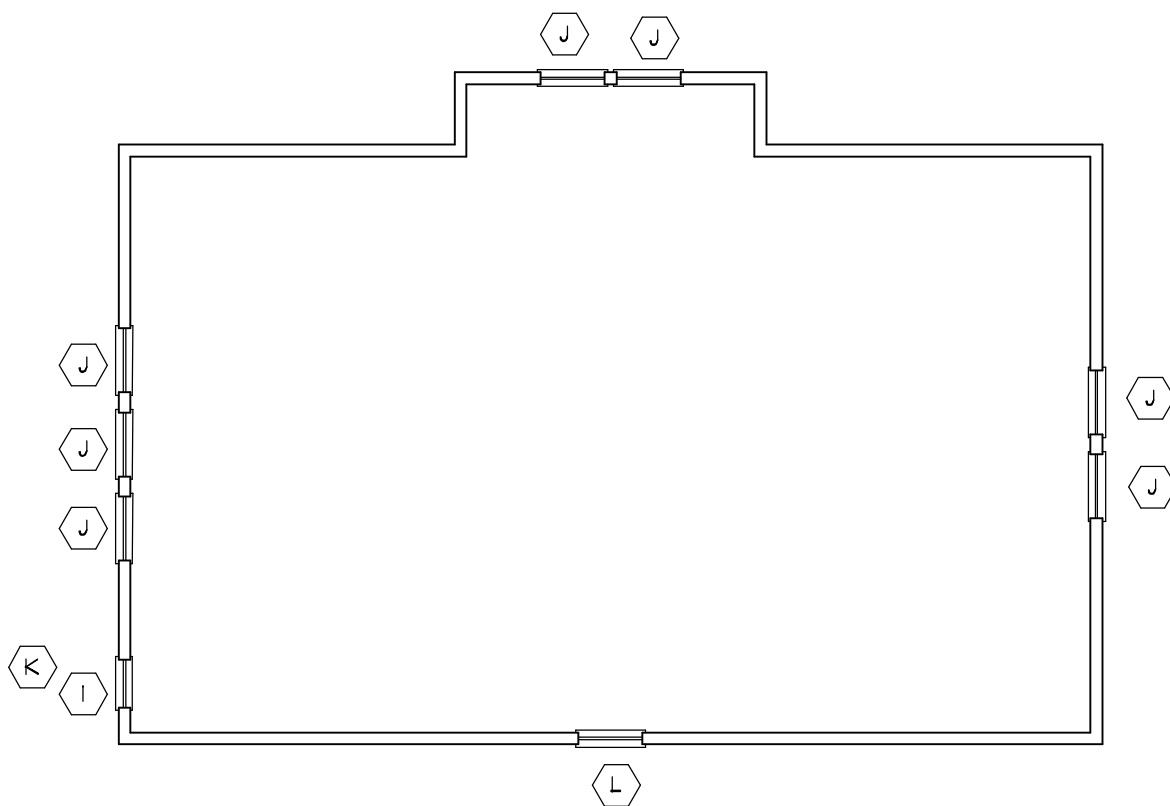
11 - Window "C" to remain



1 FIRST FLOOR PLAN
A.I.1 1/8" = 1'-0"



2 SECOND FLOOR PLAN
A.I.1 1/8" = 1'-0"



3 THIRD FLOOR PLAN
A.I.1 1/8" = 1'-0"

		 DECORATIVE GLASS									
QTY: 6	QTY: 10	QTY: 1	QTY: 4	QTY: 4	QTY: 4	QTY: 2	QTY: 4	QTY: 2	QTY: 1	QTY: 1	QTY: 1

4 WINDOW SCHEDULE - EXISTING
A.I.1 1/4" = 1'-0"

UNLESS NOTED OTHERWISE ALL WINDOW TYPES ARE DOUBLE HUNG, SINGLE GLAZED

QTY: 6	QTY: 10	QTY: 4	QTY: 4	QTY: 4	QTY: 2	QTY: 4	QTY: 2	QTY: 1	QTY: 1	QTY: 1

5 WINDOW SCHEDULE - PROPOSED
A.I.1 1/4" = 1'-0"

THESE NEW SASHES ARE TO BE WOOD CLAD., INSULATED GLASS WITH SIMULATED DIVIDED LIGHTS

PROPOSED WINDOW SASH REPLACEMENT
TWO-FAMILY BUILDING
23 1/4 BROWN STREET
PROVIDENCE, RHODE ISLAND 02906

ACME
ARCHITECT
L.L.C.

9 SIMMONS ROAD
LITTLE COMPTON
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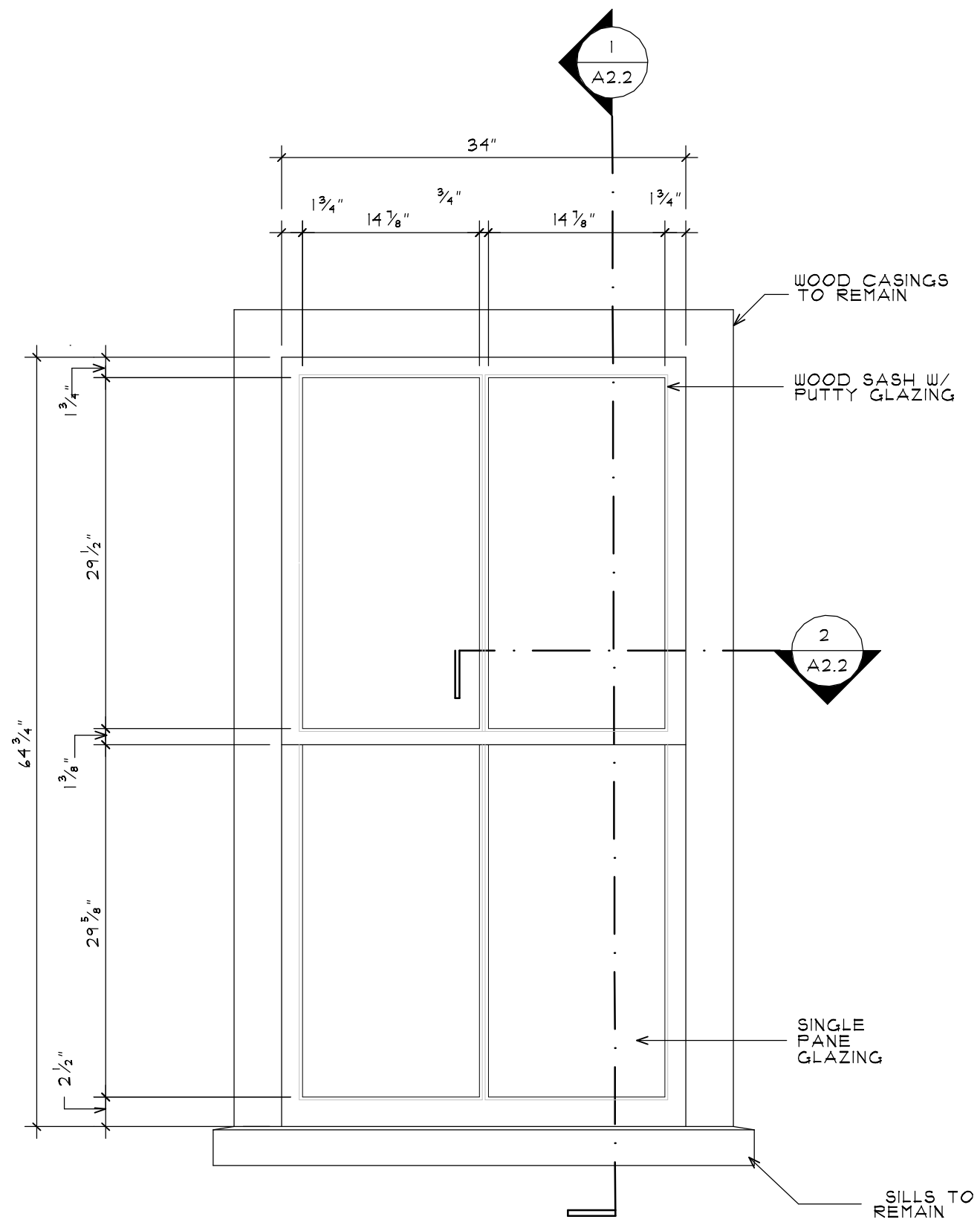
HDC SUBMISSION

KEY PLANS, WINDOW
SCHEDULE

REVISIONS:
DATE: 10/17/21
SCALE: AS NOTED

SHEET

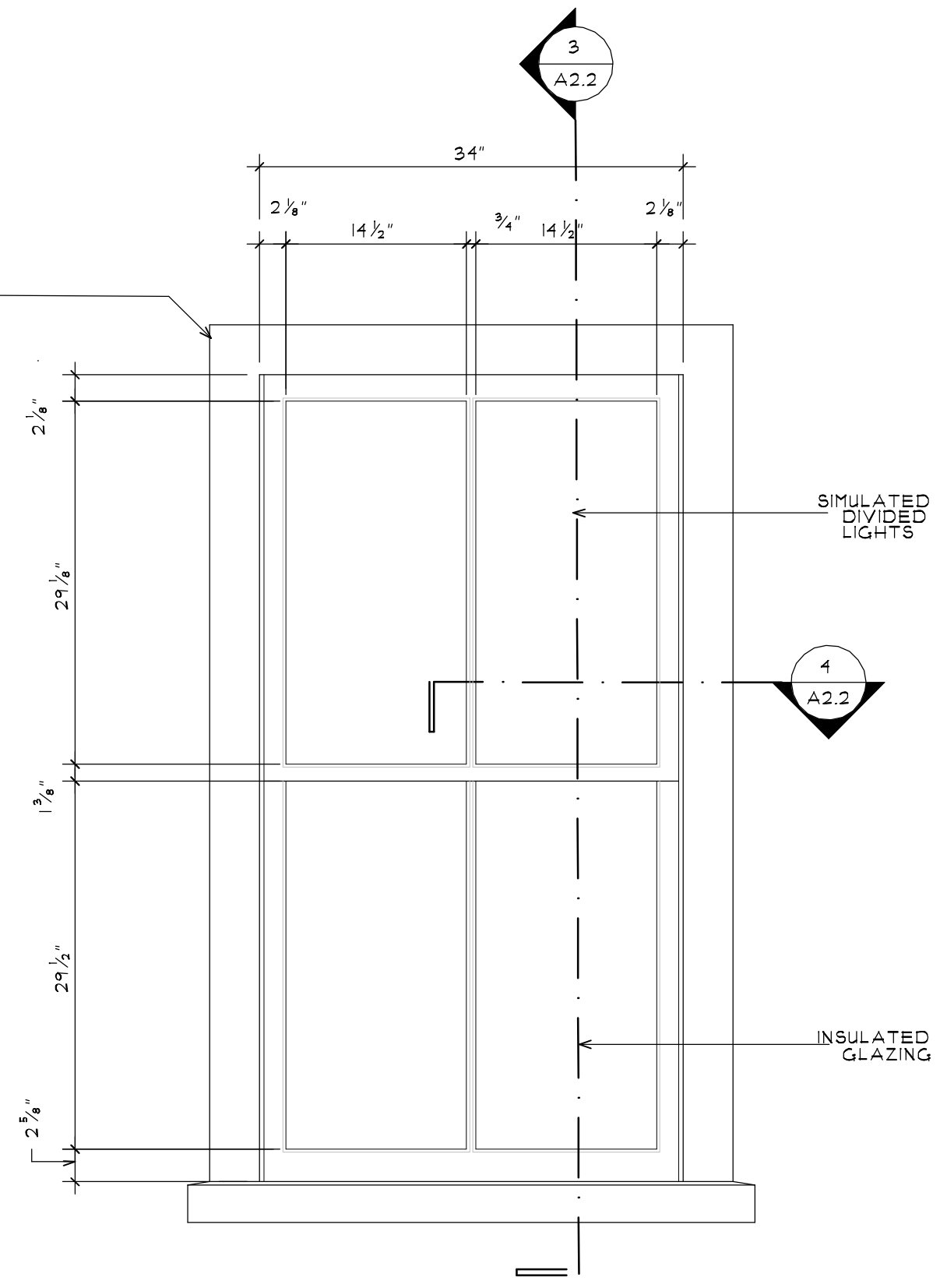
A1.1



GLASS AREA
1,181 in²

1
A2.1
EXISTING WINDOW
1" = 1'-0"

UNIT "B"



GLASS AREA
1,665 in²

2
A2.1
PROPOSED SASH REPLACEMENT
1" = 1'-0"

UNIT "B"

HDC SUBMISSION

WINDOW ELEVATIONS

SHEET

A2.1

DATE: 10/1/21

SCALE: 1" = 1'-0"

REVISIONS:



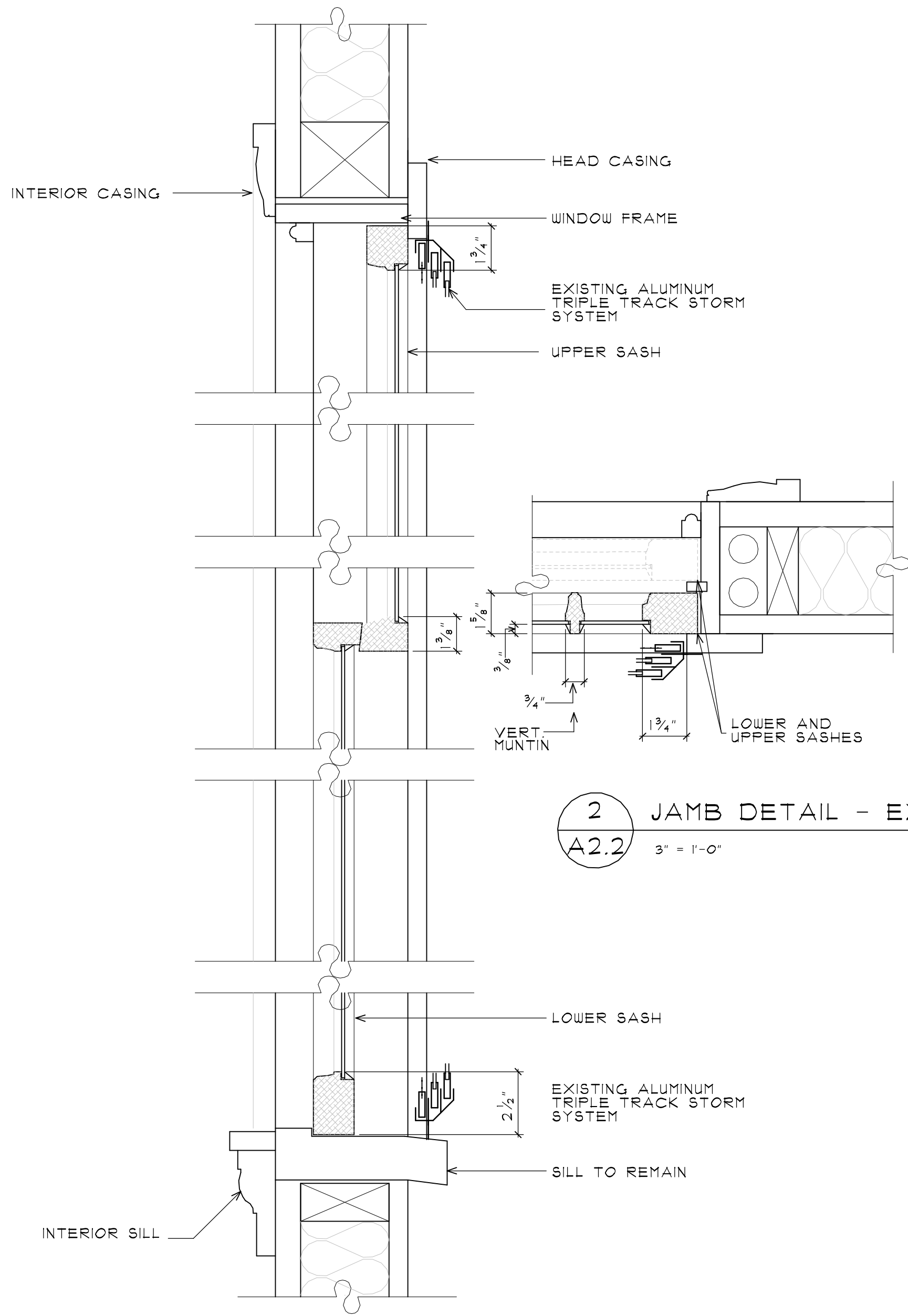
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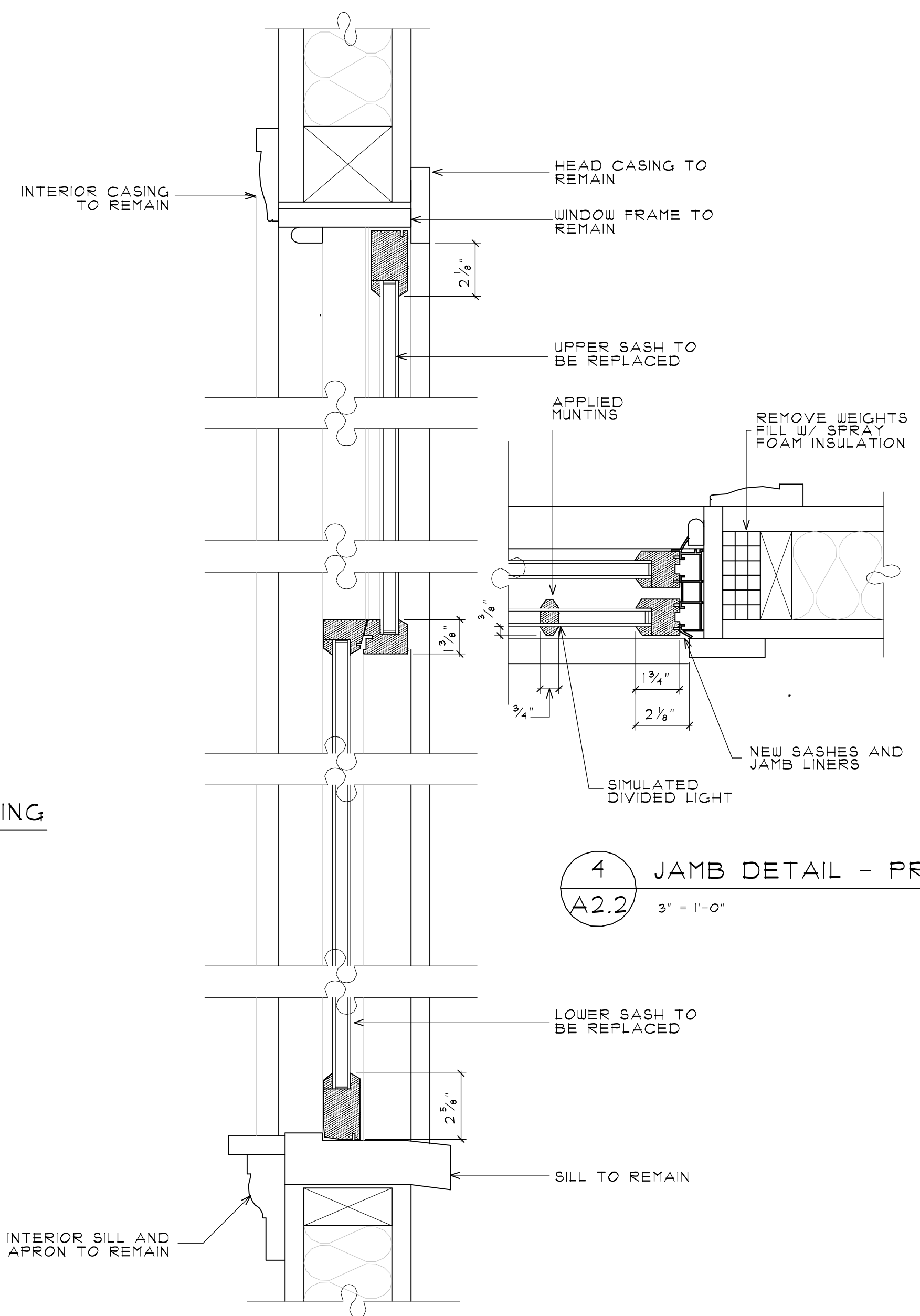
ACME
ARCHITECT
L.L.C.

9 SIMMONS ROAD
LITTLE COMPTON
RHODE ISLAND 02837

PROPOSED WINDOW SASH REPLACEMENT
TWO-FAMILY BUILDING
23 1/4 BROWN STREET
PROVIDENCE, RHODE ISLAND 02906



2 JAMB DETAIL - EXISTING
A2.2 3" = 1'-0"



4 JAMB DETAIL - PROPOSED
A2.2 3" = 1'-0"

1 SECTION DETAIL - EXISTING
A2.2 3" = 1'-0"

3 SECTION DETAIL - PROPOSED
A2.2 3" = 1'-0"

PROPOSED WINDOW SASH REPLACEMENT
TWO-FAMILY BUILDING
234 BROWN STREET
PROVIDENCE, RHODE ISLAND 02906

ACME ARCHITECT L.L.C.
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HDC SUBMISSION

WINDOW SECTIONS	REVISIONS:
	DATE: 10/17/21 SCALE: 3" = 1'-0"
SHEET	
A2.2	
21-00	