

Providence City Plan Commission

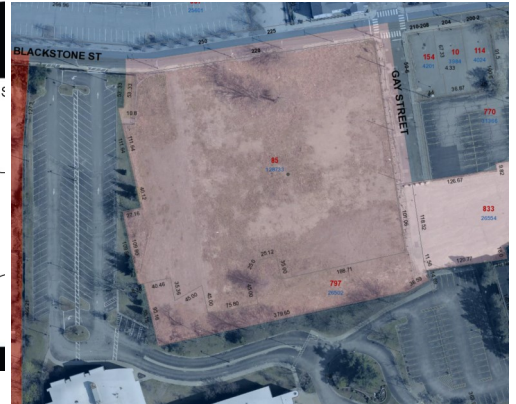
January 18, 2022



AGENDA ITEM 7 ■ 220 BLACKSTONE STREET



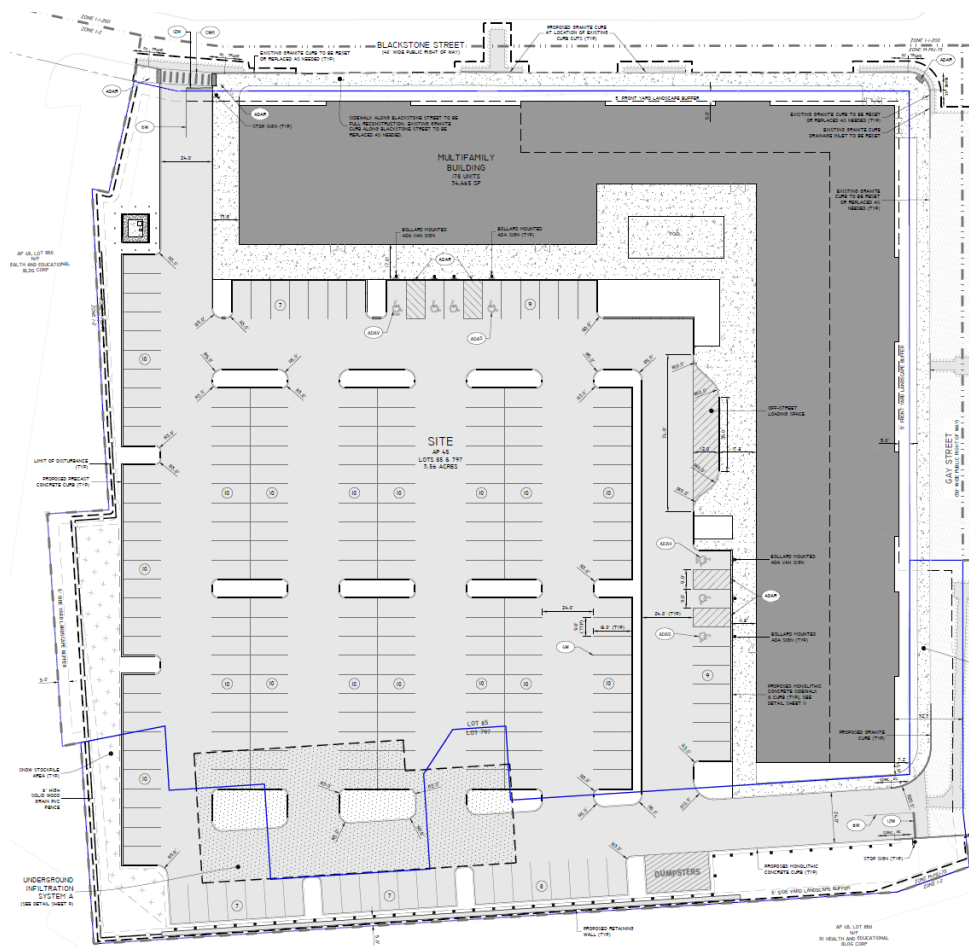
Proposed building elevations



Aerial view of the site

OVERVIEW

OWNER/ APPLICANT:	AR Building Company	PROJECT DESCRIPTION:	The applicant is proposing to construct a six story residential development providing 178 dwelling units, in addition to 217 parking spaces with site and landscaping improvements
CASE NO./ PROJECT TYPE:	21-047MI Preliminary Plan Approval		
PROJECT LOCATION:	220 Blackstone Street AP 45 Lots 85 and 797	RECOMMENDATION:	Approval of the Preliminary Plan subject to the noted findings and conditions
NEIGHBORHOOD:	Upper South Providence	PROJECT PLANNER:	Choyon Manjrekar



Proposed site plan

PROJECT OVERVIEW

The applicant is proposing to construct a six story, residential development providing 178 dwelling units with 217 parking spaces in addition to site landscaping and other related site improvements.

ANALYSIS AND IDENTIFICATION OF POTENTIAL ISSUES

Use

The subject lot is zoned M-MU 75, where multifamily development is permitted by right.

Dimensions and site design

The site is composed of two vacant lots with Blackstone Street at the north and Gay Street to the east, measuring approximately 155,074 SF (3.56 acres). It is zoned M-MU 75 and abuts lots that are zoned for institutional use. The applicant is proposing to site the building along the north and east lot lines shielding parking from the

street, which will be located to the rear. Building entrances will be oriented toward the parking area and Blackstone Street, with vehicular access provided from driveways on Blackstone and Gay streets. Based on the varying average grade plane, the height of approximately 62' will be within the 75' height limit of the zone. A total of 178 units are proposed which are broken down as 57 studios, 67 one-bedroom and 54 two-bedroom units.

Based on plans provided, the building's design will conform to the design guidelines for multifamily development outlined in Section 1202 K of the ordinance. The design meets this requirement by employing a consistent treatment for the exterior, and introducing projections and recesses to provide visual variety to the façade. Ample fenestration, including porches will be incorporated into the design. Proposed materials will include brick, stone veneer and fiber cement panels, which are all permitted materials in this

zone.

Parking

A total of 178 standards spaces are required and 217 will be provided, which will meet and exceed the parking requirement. As the total new floor area exceeds 20,000 SF, a required loading space will be located in the eastern portion of the parking lot.

Landscaping

With an area of 155,074 SF, the development requires about 23,260 SF of tree canopy to meet the 15% canopy coverage requirement. The applicant will meet and exceed the requirement, providing 29,900 SF employing 29 large and three small trees. Plantings will primarily be made along the perimeter and within parking islands, which are required for parking areas that exceed 20,000 SF. Five foot landscaping strips at the north and east of the building are also proposed. The plan shall be subject to the City Forester, who will determine if the plantings will have appropriate soil volume per tree and if the plantings will affect trees on neighboring property.

Drainage and Erosion Control

Best Management Practices (BMP) for stormwater management will be provided with onsite Stormceptors used for pretreatment and an infiltration system used for peak flow mitigation and detention of stormwater for one to 100 year events. Provided calculations show that runoff will be reduced from existing conditions and for future storm events. A management plan outlining a maintenance schedule for the stormwater system is also included.

An erosion control plan outlining measures including preservation of topsoil, minimizing the disturbance of slopes, and protection of storm drain outlets is also included.

Lighting

The applicant will employ shielded cutoff light fixtures, mainly in the parking area, to illuminate the site. The lighting plan conforms to the zoning ordinance as there will be no spillover onto neighboring properties and light intensity at the lot lines will not exceed one footcandle.

FINDINGS

Section 806 of the Commission's *Development Review Regulations* requires that the City Plan Commission make the following findings as part of their approval of all land development project applications. Based on the analysis contained herein and subject to the conditions contained in this report, staff has prepared the following findings regarding the request for approval of the Master Plan stage:

1. *Consistency—The proposed development is consistent with the Comprehensive Plan and/or has satisfactorily addressed the issues where there may be inconsistencies.*

The subject property is located in an area that is designated for business/mixed use development, where according to the future land use map of *Providence Tomorrow: The Comprehensive Plan*, multifamily development is encouraged.

Provision of housing would conform to objective H-2 of the comprehensive plan which encourages creation of new housing in the City.

2. *Compliance with Zoning Ordinance—The proposed development is in compliance with the standards and provisions of the Zoning Ordinance.*

Use: The site is zoned M-MU 75 where multifamily development is permitted by right.

Dimension and Design: The development will conform to the dimensional and design requirements for multifamily development.

Parking: The parking requirement will be met and exceeded, including provision of a loading space.

Landscaping: It appears that the applicant will meet the landscaping requirement. The plan shall be subject to the City Forester's approval prior to the final plan stage.

3. *Environmental Impact—There will be no significant environmental impacts from the proposed development as shown on the final plan, with all required conditions for approval.*

Stormwater management and erosion control plans have been provided. No negative environmental impacts are expected as the applicant is expected to come into conformance with all applicable environmental regulations.

4. *Buildable Lot—The subdivision or development project, as proposed, will not result in the creation of individual lots with such physical constraints to development that building on those lots according to pertinent regulations and building standards would be impracticable.*

The applicant shall apply for an administrative subdivision to merge both lots prior to final plan approval. There are no physical constraints that impact development of this property as it will conform to the dimensional requirements of the zoning ordinance upon approval of the administrative subdivision.

5. *Street Access—All proposed development projects and all subdivision lots shall have adequate and permanent physical access to a public street. Lot frontage on a public street without physical access shall not be considered compliance with this requirement.*

Adequate vehicular and pedestrian access is provided from Blackstone and Gay Streets.

RECOMMENDATION

The CPC should vote to approve the preliminary plan subject to the following conditions:

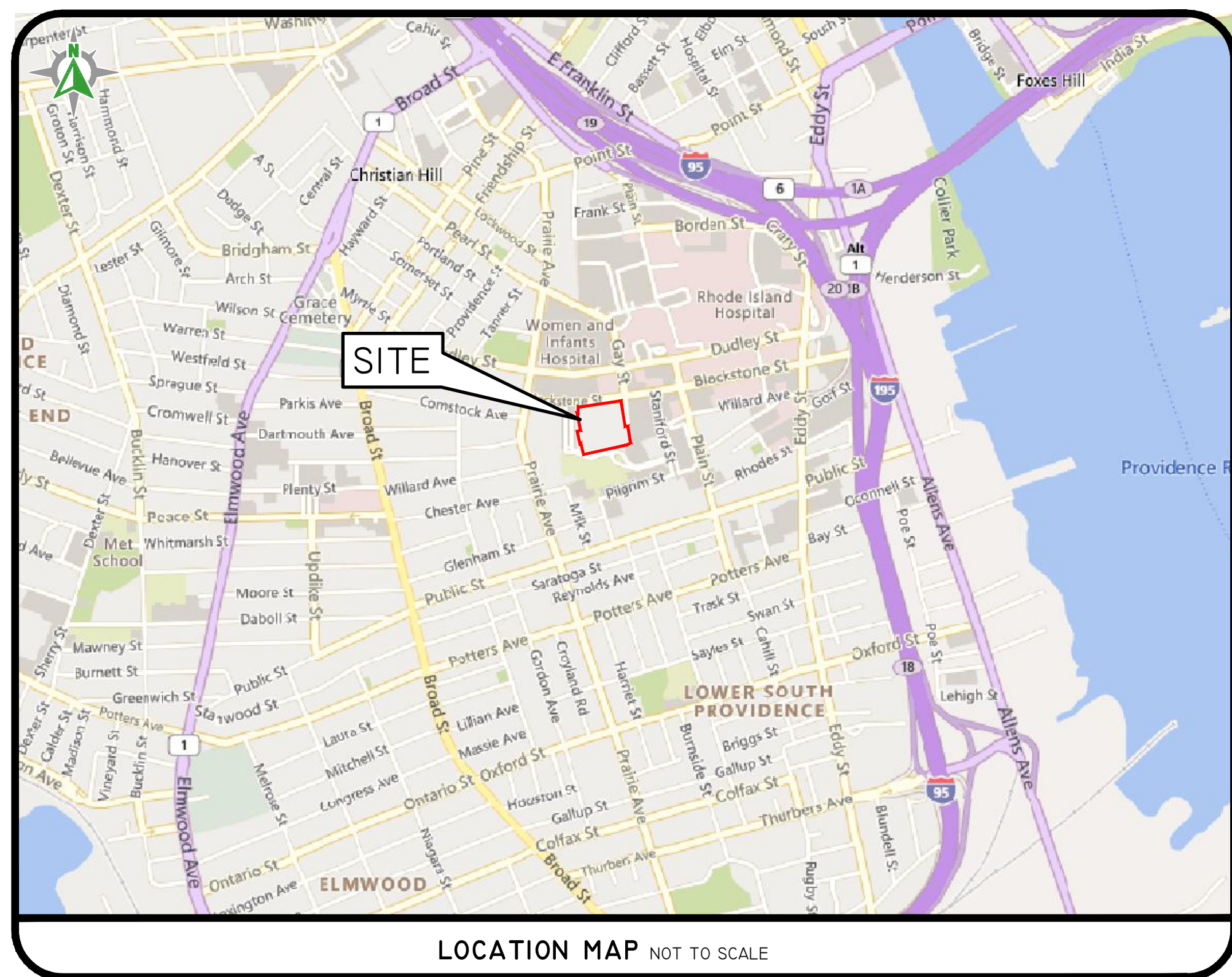
1. The applicant shall apply for an administrative subdivision to merge the subject lots.
2. The landscaping plan shall be subject to the City Forester's approval.
3. The validity of the preliminary plan should be extended to one year from the date of recording of the approval letter.
4. Final plan approval should be delegated to DPD staff.

PERMITTING PLANS

BLACKSTONE STREET APARTMENTS

220 BLACKSTONE STREET
PROVIDENCE, RI

ASSESSOR'S PLAT 45 LOTS 85 & 797



LOCATION MAP NOT TO SCALE

SHEET INDEX

- 1 COVER SHEET
- 2 AERIAL HALF MILE RADIUS
- 3 NOTES AND LEGEND
- 4 EXISTING ANALYSIS PLAN
- 5 SOIL EROSION AND SEDIMENT CONTROL PLAN
- 6 SITE LAYOUT PLAN
- 7 GRADING AND SURFACE DRAINAGE PLAN
- 8 UTILITIES PLAN
- 9 STORMTECH DETAILS
- 10 DETAIL SHEET 1
- 11 DETAIL SHEET 2
- 12 DETAIL SHEET 3
- 13 LANDSCAPE PLAN
- 14 LANDSCAPE NOTES & DETAILS

SESC / O&M
THE SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC) AND STORMWATER OPERATION AND MAINTENANCE PLAN (O&M) ARE REQUIRED DOCUMENTS WITH THIS PLAN SET AND MUST BE MAINTAINED BY THE CONTRACTOR AND OWNER ON SITE.

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

Boston • Providence • Newport

DANA R. NISBET
No. 11876
REGISTERED PROFESSIONAL ENGINEER
CIVIL

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED AND SIGNED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.
DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING PROJECT. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY.
THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE NEARBY ADJACENT UTILITIES SHOWN ON THIS PLAN. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE UTILITIES SHOWN ON THIS PLAN. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE UTILITIES SHOWN ON THIS PLAN. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE UTILITIES SHOWN ON THIS PLAN.

COVER SHEET

BLACKSTONE STREET APARTMENTS
ASSESSOR'S PLAT 45 LOTS 85 & 797
220 BLACKSTONE ST. PROVIDENCE, RHODE ISLAND

PREPARED FOR:
AR BUILDING COMPANY
30 SEVEN FIELDS RD. SUITE 150
SEVEN FIELDS, PA 16046

DATE: 01-06-2022
NO. 11876

DESCRIPTION: SESS AND PROVIDENCE DRP RETC

DESIGN BY: D.R.N.

DRAWN BY: B.A.W.

SHEET 1 OF 14

Z:\CEHMAN\PROJECTS\2425-05 BLACKSTONE STREET - 220 AUTOCAD DRAWINGS\2425-05-CVAR.DWG PLOTTER: 1/6/2022

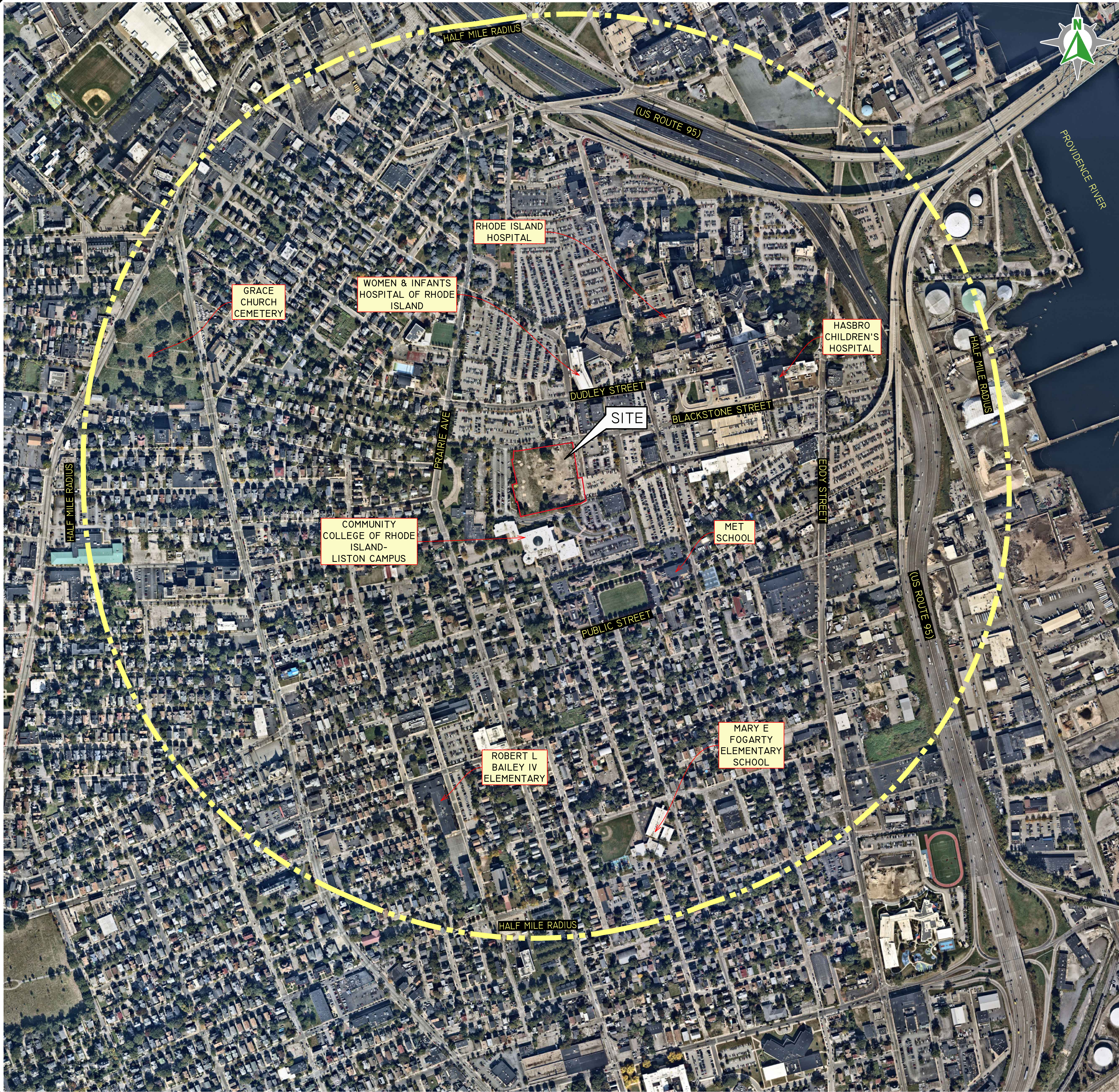
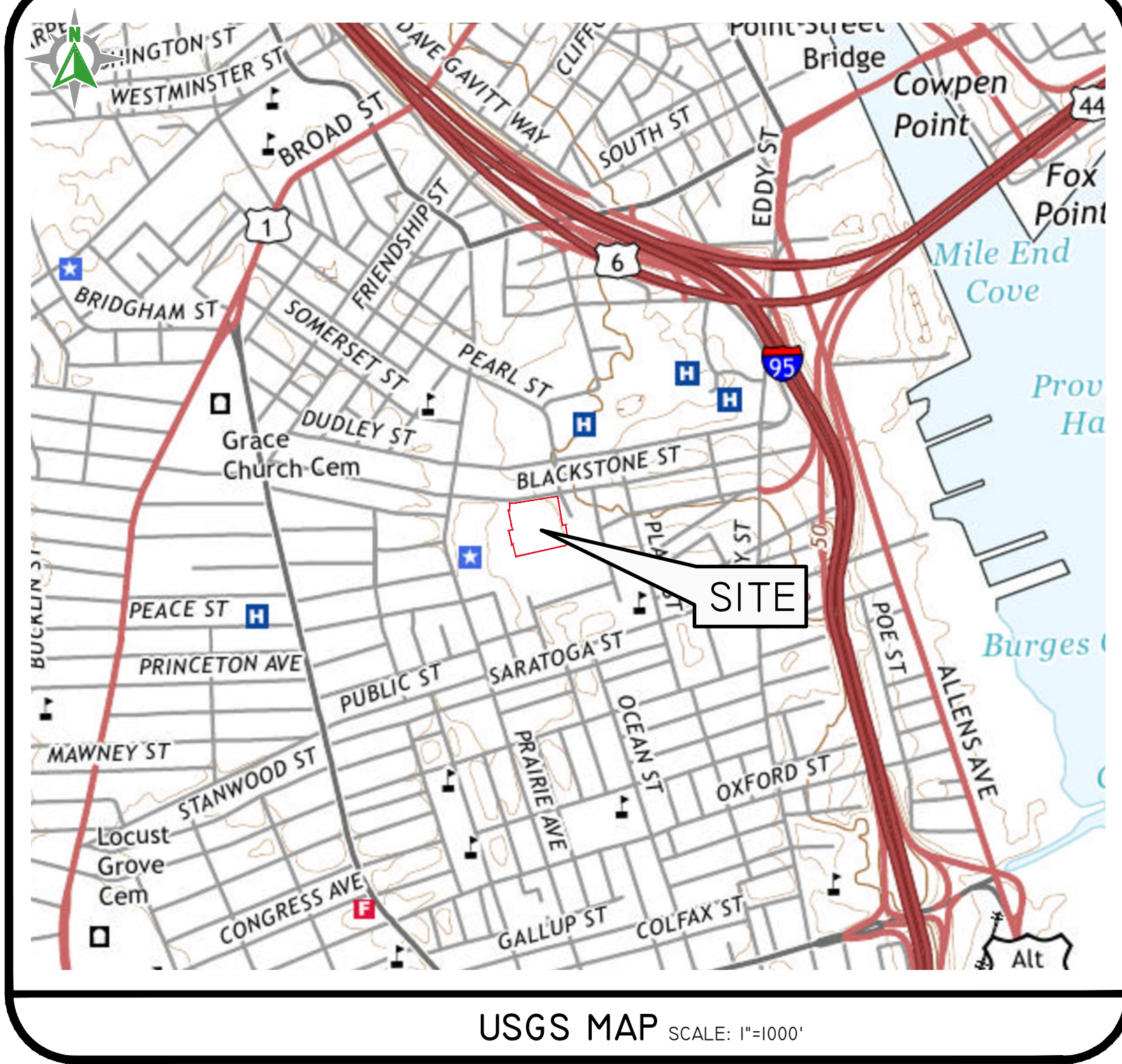


PHOTO OBTAINED FROM NEARMAP.
DATE OF PHOTOGRAPHY 10/12/2021.
SCALE: 1"=300'
0 150' 300' 600'



DiPrete Engineering
Two Stafford Court Cranston, RI 02920
Tel 401-943-1000 Fax 401-464-6006 www.diprete-eng.com

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NO.	DATE	DESCRIPTION	DESIGN BY: D.R.N.
01-06-2022	01-06-2022	ISSUED AND PROVIDENCE DEPT. REC'D.	B.A.W.
11-02-2021	11-02-2021	ISSUED FOR PLANS	B.A.W.
			BY:

DRAWN BY: B.A.W.

AERIAL HALF MILE RADIUS
BLACKSTONE STREET APARTMENTS
ASSESSOR'S PLAT 45 LOTS 85 & 797
220 BLACKSTONE ST. PROVIDENCE, RHODE ISLAND
PREPARED FOR:
AR BUILDING COMPANY
40 SEVEN FIELDS RD., SUITE 150
SEVEN FIELDS, PA 60406

DE 2425-05-2425-05 COPYRIGHT 2021 BY DIPRETE ENGINEERING ASSOCIATES, INC.

SHEET **2** OF 14

GENERAL NOTES:

- THE SITE IS LOCATED ON THE CITY OF PROVIDENCE ASSESSOR'S PLAT 45 LOTS 85 & 797.
- THE SITE IS APPROXIMATELY 3.56 ACRES AND IS ZONED M-MU-75.
- THE OWNER OF AP 45 LOTS 85 & 797:
220 BLACKSTONE STREET, LLC
2 STAFFORD COURT
CRANSTON, RI 02920
- THIS SITE IS LOCATED IN FEMA FLOOD ZONES X AND X SHADED. REFERENCE FEMA FLOOD INSURANCE RATE MAP 44007C02166, MAP REVISED MARCH 2, 2009. (FLOOD PLAIN DESCRIPTIONS SHOWN BELOW).
 - ZONE X (UNSHADED) - THIS SITE IS LOCATED IN FEMA FLOOD ZONE X, WHICH ARE AREAS WHERE THERE IS MINIMAL FLOODING.
- THE BOUNDARY LINES AS SHOWN ON THE ENGINEERING PLAN SET DEPICTS THE RESULTS OF A CLASS I BOUNDARY RETRACEMENT SURVEY AS PERFORMED BY DIPRETE ENGINEERING ASSOCIATES, INC. THIS PLAN IS NOT TO BE CONSTRUED AS A CLASS I BOUNDARY RETRACEMENT SURVEY PLAN AND IS NOT SUITABLE FOR RECORDING AS A CLASS I STANDARD SURVEY PLAN.
- CONTOUR DATA SHOWN ON THIS PLAN CONFORMS TO A T-4 TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS. SAID DATA IS BASED ON ELEVATION INFORMATION THAT WAS COLLECTED WITH AIRBORNE LIDAR TECHNOLOGY FOR THE ENTIRE AREA OF RHODE ISLAND BETWEEN APRIL 22 AND MAY 6, 2011 AS PART OF THE NORTHEAST LIDAR PROJECT. THIS DATA'S POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED BY DIPRETE ENGINEERING AND IS SUBJECT TO CHANGES AN AUTHORITY FIELD SURVEY MAY DISCLOSE.
- ALL WORK PERFORMED HEREIN IS TO BE GOVERNED BY CURRENT EDITIONS OF THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, CITY OF PROVIDENCE STANDARD SPECIFICATIONS AND DETAILS AND SPECIFICATIONS INCLUDING AS PART OF THE DRAWINGS. ALL WORK IN THE PUBLIC ROW TO BE BUILT IN ACCORDANCE WITH PROVIDENCE DPW STANDARD DETAILS. IN AREAS OF CONFLICT BETWEEN THE DIFFERENT SPECIFICATIONS, THE DESIGN PLANS AND PROJECT SPECIFICATIONS WILL TAKE PRECEDENCE OVER THE GENERAL SPECIFICATIONS AND THE DESIGN ENGINEER WILL INTERPRET THE CONSTRUCTION REQUIREMENT. THE CONTRACTOR IS ADVISED TO SUBMIT A REQUEST FOR INFORMATION (RFI) FOR ANY AREAS OF CONFLICT BEFORE COMMITTING TO CONSTRUCTION.
- THE SITE IS NOT WITHIN A:
 - GROUNDWATER PROTECTION AREA (RIDEM)
 - NATURAL HERITAGE AREA (RIDEM)
- THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET:
 - SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC). THE SESC CONTAINS THE FOLLOWING:
 - EROSION CONTROL MEASURES
 - SHORT TERM MAINTENANCE
 - ESTABLISHMENT OF VEGETATIVE COVER
 - CONSTRUCTION POLLUTION PREVENTION
 - SEQUENCE OF CONSTRUCTION
 - STORMWATER OPERATION AND MAINTENANCE PLAN (O&M). THE O&M CONTAINS:
 - LONG TERM MAINTENANCE
 - LONG TERM POLLUTION PREVENTION
- THIS PLAN SET REFERENCES RIDOT STANDARD DETAILS (DESIGNATED AS RIDOT STD X.X.X). RIDOT STANDARD DETAILS ARE AVAILABLE FROM RIDOT AND ONLINE AT: [HTTP://WWW.DOT.RI.GOV/BUSINESS/CONTRACTORSANDCONSULTANTS.PHP](http://www.dot.ri.gov/business/contractorsandconsultants.php).
- THE SITE IS TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER.
- THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE CITY OF PROVIDENCE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF CATCH BASINS, CULVERTS, AND UNDERGROUND DRAINAGE BASINS. THE STORMWATER MANAGEMENT SYSTEM MEETS THE RICHEN BEST MANAGEMENT PRACTICES (BMP) AND IN ACCORDANCE WITH THE CITY'S POST-CONSTRUCTION STORMWATER ORDINANCE.
- THE SITE IS PROPOSED TO BE BUILT IN ONE PHASE.
- SOIL EVALUATIONS WERE COMPLETED BY DIPRETE ENGINEERING ON 09/10/2021. TEST PITS WERE COMPLETED BY GZA GEO ENVIRONMENTAL OTHER AS OUTLINED IN GEOTECHNICAL REPORT BY GZA DATED SEPTEMBER 2021.
- ANY PROPRIETARY PRODUCTS REFERENCED IN THIS PLAN SET ARE REPRESENTATIVE OF THE MINIMUM DESIGN REQUIREMENTS FOR THE PURPOSE THEY PROPOSE TO SERVE. ALTERNATIVES TO ANY PROPRIETARY PRODUCT MAY BE SUBMITTED TO THE ENGINEER OF RECORD FOR CONSIDERATION, WHICH MUST BE ACCOMPANIED BY APPROPRIATE SPECIFICATION SHEETS/DESIGN CALCULATIONS THAT DEMONSTRATE THE ALTERNATIVE(S) MEET THE MINIMUM DESIGN PARAMETERS OF THE PRODUCT SHOWN ON THE PLANS. NO ALTERNATIVES MAY BE USED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
- THIS PLAN SET MAY REFERENCE AND/OR INCLUDE REPRODUCTIONS OF PROPRIETARY PRODUCTS/DETAILS BY OTHERS, AND/OR THEIR ASSOCIATED SPECIFICATIONS. ANY REFERENCE OR REPRODUCED PROPRIETARY PRODUCT OR DETAIL BY OTHERS THAT IS SHOWN ON DIPRETE PLANS IS STRICTLY FOR INFORMATION/SPECIFICATION PURPOSES ONLY. DIPRETE ENGINEERING DOES NOT WARRANT ANY PROPRIETARY PRODUCTS, DETAILS BY OTHERS OR THEIR RESPECTIVE DESIGNS. IF A DIPRETE ENGINEERING PLAN INCLUDES A PROPRIETARY PRODUCT/DETAIL BY OTHERS (EITHER EXPLICITLY OR IMPLIED) AND IS STAMPED BY A REGISTERED PROFESSIONAL ENGINEER AND/OR REGISTERED LANDSCAPE ARCHITECT OF DIPRETE ENGINEERING, SAID STAMP DOES NOT EXTEND TO ANY PORTION OF THE PROPRIETARY PRODUCT/DETAIL BY OTHERS OR ITS DESIGN.

SOIL INFORMATION:

(REFERENCE: SOIL MAPPING OBTAINED FROM RIGIS. SOIL GEOGRAPHIC DATA DEVELOPED BY THE RHODE ISLAND SOIL SURVEY PROGRAM IN PARTNERSHIP WITH THE NATIONAL COOPERATIVE SOIL SURVEY)

SOIL NAME DESCRIPTION

MU	MERRIMAC-URBAN LAND COMPLEX
UD	UDORHTHS-URBAN LAND COMPLEX

AMERICANS WITH DISABILITIES ACT (ADA) NOTES:

- ALL IMPROVEMENTS MUST COMPLY WITH THE "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG) BY THE US DEPARTMENT OF JUSTICE (CURRENT EDITION).
- MAXIMUM RUNNING SLOPE ALONG ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 4.5% (0.045 FT/FT), AND MAXIMUM CROSS SLOPE ACROSS ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 1.5% (0.015 FT/FT) INCLUDING ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT OF WAY.
- ADA PARKING SPACES AND LOADING AREAS: THE STEEPEST SLOPE OF THE SPACE, MEASURED IN ANY DIRECTION (INCLUDING DIAGONALLY), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). DIPRETE ENGINEERING GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
- A MINIMUM 5'x5' LANDINGS MUST BE PROVIDED IN FRONT OF ALL PUBLICLY ACCESSIBLE BUILDING ENTRANCES. THE STEEPEST SLOPE OF THE LANDING, MEASURED IN ANY DIRECTION (INCLUDING DIAGONALLY), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). DIPRETE ENGINEERING GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
- FOR EVERY 6 (OR FRACTION OF 6) ADA PARKING SPACES, AT LEAST ONE MUST BE A VAN PARKING SPACE. FOR EXAMPLE, IF 7 ADA PARKING SPACES ARE REQUIRED, A MINIMUM OF 2 MUST BE VAN SPACES.
- NOTWITHSTANDING THE NOTES LISTED ABOVE, TOWN OR STATE-SPECIFIC STANDARDS MAY BE MORE STRINGENT AND OVERRULE. IT IS THE RESPONSIBILITY OF THE USER OF THIS PLAN SET TO MAINTAIN COMPLIANCE WITH THE CONTROLLING STANDARD.
- NOTE THAT THE GRADING/PLAN VIEWS AND DETAILS CONTAINED WITHIN THIS PLAN SET MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALKWAYS, RAMPS AND SPACES TO COMPLY WITH THE ABOVE REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE LEVEL OF CARE NECESSARY TO BE CERTAIN THAT THE CONSTRUCTED PRODUCT MEETS ADA/CONTROLLING STANDARDS. IN THE EVENT OF ANY NONCOMPLIANCE, THE CONTRACTOR MUST NOTIFY THE DESIGNER BEFORE CONSTRUCTION FOR ADVICE IN FINDING A RESOLUTION.

SOIL EROSION AND SEDIMENT CONTROL NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON SITE WHICH MUST BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS AND AUTHORITY HAVING JURISDICTION. THE CONTRACTOR MUST NOTIFY THE DESIGN ENGINEER, THE DIRECTOR OF PUBLIC WORKS, THE CITY ENGINEER, AND RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- ALL EROSION CONTROL INCLUDING (BUT NOT LIMITED TO) TEMPORARY SWALES, TEMPORARY SEDIMENT TRAPS, ETC. MUST BE INSTALLED PER THE LATEST EDITION OF THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL (RISESC) HANDBOOK AND THE SOIL EROSION AND SEDIMENT CONTROL PLANS. NOTE THE SOIL EROSION AND SEDIMENT CONTROL SHOWN ON THESE PLANS ARE THE MINIMUM QUANTITY/TYPE OF EROSION CONTROL DEVICES AND MATERIALS DEEMED REQUIRED BY DIPRETE ENGINEERING TO MEET THE OBJECTIVES OF THE RISESC HANDBOOK, BUT IS CONSIDERED A GUIDE ONLY. ADDITIONAL MEASURES/ALTERNATE CONFIGURATIONS MAY BE REQUIRED IN ORDER TO MEET THE RISESC HANDBOOK BASED ON FACTORS INCLUDING (BUT NOT LIMITED TO) SITE PARAMETERS, WEATHER, INSPECTIONS AND UNIQUE FEATURES. THE SESC WILL CONTINUE TO EVOLVE THROUGHOUT CONSTRUCTION/PHASES. PURSUANT TO NOTE I ABOVE, SESC REMAINS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE SITE IS FULLY STABILIZED AND/OR SESC RESPONSIBILITIES ARE ASSUMED BY THE OWNER IN WRITING.
- TEMPORARY SWALES MUST BE USED TO CONTROL RUNOFF DURING CONSTRUCTION OF THE PROPOSED SITE WORK, AND MUST BE VEGETATED AFTER CONSTRUCTION. EROSION CONTROL MATS MUST BE INSTALLED, IF NECESSARY, TO PREVENT EROSION AND SUPPORT VEGETATION. AFTER CONSTRUCTION IS COMPLETE AND TRIBUTARY AREAS TO THE SWALES HAVE BEEN STABILIZED, THE TEMPORARY SWAILS MUST BE CLEARED AND FINAL DRAINAGE, INCLUDING INSTALLATION OF THE GRASS SWALE MUST BE PER THE DESIGN PLANS.
- ONCE THE SEDIMENT TRAPS ARE NO LONGER REQUIRED AND ALL TRIBUTARY AREAS HAVE BEEN STABILIZED, THE TEMPORARY SEDIMENT TRAPS MUST BE CLEANED AND BROUGHT TO FINAL DESIGN GRADES.
- INLET PROTECTION MUST BE INSTALLED ON ALL CATCH BASINS ONCE CONSTRUCTED AND MAINTAINED. INLET PROTECTION AND SILT SACKS MUST BE REMOVED AFTER THE SITE HAS BEEN STABILIZED. CONTRACTOR WILL BE RESPONSIBLE TO CLEAR ANY FLOODING AND DEBRIS CAUSED BY FAILURE TO MAINTAIN.
- FOR SEQUENCE OF CONSTRUCTION, PROJECT PHASING AND CONSTRUCTION PHASING SEE SESC PLAN.
- CONSTRUCTION SEQUENCING TO BE COORDINATED WITH ABUTTERS AND CITY
- CONTRACTOR MAY MODIFY SEQUENCE OF CONSTRUCTION WITH APPROVAL FROM DESIGN ENGINEER AND OWNER.
- IF CONCRETE TRUCKS ARE WASHED OUT ON SITE, ALL WASHOUT MUST BE PERFORMED IN THE DESIGNATED CONCRETE WASHOUT AREA.

DEMOLITION NOTES:

- CONTRACTOR MUST OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR MUST PERFORM DAILY SWEEPING AT CONSTRUCTION ENTRANCES DURING DEMOLITION AND CONSTRUCTION TO MINIMIZE SEDIMENTS ON EXTERNAL STREETS.
- ANY EXISTING BUILDING(S) AND PROPERTY PROPOSED TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) ALL MATERIALS INDICATED ON THE PLANS UNLESS SPECIFIED OTHERWISE HEREIN. R&D MATERIALS INCLUDE BUT ARE NOT LIMITED TO PAVEMENT, GRAVEL, CATCH BASINS, MANHOLES, GRATES/FRAMES/COVERS, AND ANY EXCESS SOIL THAT IS NOT INCORPORATED INTO THE WORK.
- IN ADDITION TO THOSE AREAS SPECIFICALLY DESIGNATED ON THE PLANS, ALL DISTURBED AREAS INCLUDING THE SEASONAL HIGH GROUNDWATER TABLE, UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS, ALL STORMWATER FIELD WITHIN THE LIMIT OF WORK MUST BE RESTORED TO MATCH THE DESIGN PLANS.
- CONTRACTOR MUST DOCUMENT LOCATION OF ALL SUBSURFACE UTILITIES REMAINING IN PLACE AFTER DEMOLITION (ACTIVE AND INACTIVE/ABANDONED). LOCATION MUST BE DOCUMENTED BY FIELD SURVEY OR SWING TIES. COPIES OF LOCATION DOCUMENTATION MUST BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF DEMOLITION AND PRIOR TO START OF NEW CONSTRUCTION. A MARKER MUST BE INSTALLED TO FINISH GROUND AT ALL INSTALLED CAPS/PLUGS. THE MARKER CAN BE A POST IN CONSTRUCTION AREAS OR PAINTED ON A PERMANENT SURFACE.
- ACTIVE UTILITY LINES AND STRUCTURES NOT SPECIFICALLY NOTED ON PLANS, BUT WHICH ARE ENCOUNTERED TO BE IN CONFLICT WITH THE PROPOSED WORK, MUST BE EXTENDED, PROTECTED, OR REWORKED BY THE CONTRACTOR AS DIRECTED OR REQUIRED BY THE UTILITY ENTITY OR OWNER UNLESS OTHERWISE NOTED.
- CONTRACTOR MUST COORDINATE THE CUTTING AND CAPPING OF ALL UTILITIES WITH THE OWNER, THE MUNICIPALITY, AND ALL APPLICABLE UTILITY ENTITIES HAVING JURISDICTION.
- INACTIVE SUBSURFACE UTILITIES NOT IN CONFLICT WITH THE PROPOSED WORK AREA MAY BE ABANDONED IN PLACE WITH WRITTEN PERMISSION FROM THE OWNER.
- CITY OF PROVIDENCE DOES NOT PROVIDE DIGSAFE FOR SEWER, STREET LIGHTS OR FIRE ALARM. CONTRACTOR TO CONTACT THE CITY OF PROVIDENCE FOR THESE ITEMS AS NEEDED.

TRAFFIC NOTES:

- ALL TRAFFIC CONTROL MUST CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) CURRENT EDITION.
- DURING CONSTRUCTION, TRAFFIC CONES MUST BE USED FOR SEPARATION OF ACTIVE TRAFFIC FROM WORK ZONE PER MUTCD REQUIREMENTS.
- DURING CONSTRUCTION FLAGGERS MUST BE EMPLOYED TO ENSURE SAFETY FOR INTERACTION OF CONSTRUCTION VEHICLES AND ACTIVE TRAFFIC.
- ALL SIGNS, FLAGGERS, TRAFFIC CONTROL DEVICES, AND TEMPORARY TRAFFIC ZONE ACTIVITIES MUST MEET THE REQUIREMENTS OF THE MUTCD LATEST EDITION AND SUBSEQUENT ADDENDA.
- TEMPORARY CONSTRUCTION SIGNS MUST BE MOUNTED ON RIDOT APPROVED SUPPORTS AND MUST BE REMOVED OR COVERED WHEN NOT APPLICABLE.

AS-BUILT NOTES:

ALL COMPONENTS OF THE DRAINAGE, SEWER, AND WATER SYSTEMS MUST BE FIELD LOCATED PRIOR TO COVERING. NOTIFY SURVEYOR A MINIMUM OF SEVENTY-TWO (72) HOURS IN ADVANCE OF NEED FOR FIELD LOCATION OF IMPROVEMENTS. SURVEYOR MUST PROVIDE OWNER AND CONTRACTOR WITH WRITTEN NOTICE OF COMPLETION OF FIELD WORK PRIOR TO CONTRACTOR COVERING IMPROVEMENTS. OWNER/DIPRETE WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.

CONTACT SOPHIA COSTA (401-680-7516) AT PROVIDENCE DPW ENGINEERING FOR SEWER INSPECTION.

LAYOUT AND MATERIALS:

- DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
- CURBING MUST BE PRECAST CONCRETE, MONOLITHIC CONCRETE, CAST-IN-PLACE CONCRETE, BITUMINOUS CURB, BITUMINOUS BERM OR GRANITE, OR AS LABELED ON THE PLANS.
- SIDEWALK MUST BE CONCRETE OR AS LABELED ON THE PLANS.
- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR MUST REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS PERTAINING TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
- PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION MUST BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
- CONTRACTOR MUST NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS. CONTRACTOR MUST VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE STAMPED PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- ALL GUARDRAIL ONSITE MUST BE STEEL BACKED TIMBER GUARDRAIL WITH STEEL POSTS, IN CONFORMANCE WITH SECTION 5.4.1.7 OF THE AASHTO ROADSIDE DESIGN GUIDE. ALTERNATIVE GUARDRAILS WILL BE CONSIDERED BY THE DESIGN ENGINEER IF THEY ARE RIDOT APPROVED EQUAL AND ACCEPTABLE TO THE OWNER. ALTERNATIVES MUST BE APPROVED IN WRITING BY THE OWNER AND DESIGN ENGINEER PRIOR TO CONSTRUCTION.
- INFRARED TREATMENT OF PAVEMENT IS REQUIRED AT ALL CURB CUTS, AT ANY DISTURBED PAVEMENT ON ROADWAYS, AND WHERE ANY NEW PAVEMENT MEETS EXISTING PAVEMENT.
- ALL EXISTING PAVEMENT MARKING REMOVED AS INCIDENTAL DURING CONSTRUCTION MUST BE REPLACED IN-KIND FOLLOWING COMPLETION OF CONSTRUCTION UNLESS OTHERWISE NOTED.
- NEW PAVEMENT MARKING MUST BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248 TYPE F. PAINT MUST BE APPLIED AS SPECIFIED BY THE MANUFACTURER.

GRADING AND UTILITY NOTES:

- CONSTRUCTION TO COMMENCE SPRING 2022 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
 - THE CONTRACTOR MUST COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS MUST BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
 - THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUNDWATER IS DIRECTED AWAY FROM THE BUILDING STRUCTURE, AS WELL AS TO ENSURE THAT ADA COMPLIANT SIDEWALKS ARE CONSTRUCTED.
 - PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY EXISTING PAVEMENT ELEVATIONS TO MATCH WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES. CONTRACTOR MUST NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 - ALL PROPOSED UNDERGROUND UTILITIES SERVING THE SITE AND BUILDINGS MUST BE COORDINATED WITH OWNER, ARCHITECT, AND ENGINEER PRIOR TO INSTALLATION.
 - ALL RETAINING WALLS AND STEEP SLOPES ARE SUBJECT TO FINAL STRUCTURAL DESIGN. DIPRETE ENGINEERING IS NOT PROVIDING THE STRUCTURAL DESIGN OF THESE ITEMS. ALL WALLS AND STEEP SLOPES MUST BE DESIGNED AND BUILT UNDER THE DIRECTION OF A RHODE ISLAND LICENSED PROFESSIONAL ENGINEER SUITABLY QUALIFIED IN GEOTECHNICAL ENGINEERING AND CERTIFIED TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT. SHOP DRAWINGS MUST BE SUBMITTED PRIOR TO CONSTRUCTION. FINAL STRUCTURAL DESIGN MUST INCORPORATE THE INTENT OF THE GRADING SHOWN ON THESE PLANS AND ALL WORK MUST BE WITHIN THE LIMIT OF DISTURBANCE SHOWN ON THE PLANS.
 - CUT AND FILL WORK MUST BE DONE UNDER THE DIRECTION OF A PROFESSIONAL LICENSED CIVIL ENGINEER, WITH TESTING AND CERTIFICATION PROVIDED TO THE OWNER AT THE COMPLETION OF THE PROJECT. DIPRETE ENGINEERING IS NOT PROVIDING THE FILL SPECIFICATION, GEOTECHNICAL ENGINEERING, STRUCTURAL ENGINEERING SERVICES, OR SUPERVISION AS PART OF THESE DRAWINGS.
 - MATERIAL STOCKPILES MUST NOT BE LOCATED IN THE RIGHT-OF-WAY, AND TRENCHES MUST NOT BE LEFT OPEN OVERNIGHT.
 - ALL LOAM IN DISTURBED AREAS MUST BE STOCKPILED FOR FUTURE USE. ALL STOCKPILED LOAM MUST BE REUSED ONSITE.
 - ALL EXCESS SOIL, TREES, ROCKS, BouldERS, AND OTHER REFUSE, MUST BE DISCARDED OFF SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS. STUMPS MUST BE GROUND ON SITE OR REMOVED.
 - THE SITE WILL HAVE 3" BITUMINOUS BERM AND/OR 6" CONCRETE/GRAVITE CURBING. SITE GRADING/CONTOURS SHOWN ON THE PLANS DO NOT NECESSARILY REFLECT THE APPROPRIATE BERM/CURBING REVEAL. CONTRACTOR MUST INSTALL CURBING WITH APPROPRIATE REVEAL UNLESS OTHERWISE NOTED.
 - NO STUMP DUMPS ARE PROPOSED ON SITE.
 - ALL DRAINAGE OUTFALLS ARE DESIGNED TO BE INSTALLED AT EXISTING GROUND ELEVATION. CONTRACTOR MUST IMMEDIATELY NOTIFY DIPRETE ENGINEERING OF ANY DISCREPANCIES WHERE EXISTING GROUND IS HIGHER THAN OUTFALL DESIGN ELEVATION. ANY RESOLUTION OF DISCREPANCIES BY THE CONTRACTOR UNLESS AUTHORIZED IN WRITING IN ADVANCE BY THE OWNER AND DIPRETE ENGINEERING, IS DONE AT THE CONTRACTOR'S RISK.
 - CONTRACTOR MUST PROVIDE SAW CUTTING AND FULL DEPTH PAVEMENT RESTORATION IN AREAS WHERE PAVEMENT AND/OR SIDEWALK IS REMOVED FOR UTILITY INSTALLATION.
 - IF ROADWAY SURFACE PAVEMENT COURSE IS NOT TO BE INSTALLED FOR 12 MONTHS OR MORE AFTER INSTALLATION OF DRAINAGE STRUCTURES, ALL CATCH BASIN RIMS MUST BE SET AT BINDER GRADE AND RAISED TO FINAL PAVEMENT GRADE PRIOR TO PLACEMENT OF SURFACE COURSE.
- DRAINAGE**
- ALL DRAINAGE PIPING MUST BE HIGH-DENSITY POLYETHYLENE (HDPE) WITH WATERTIGHT JOINTS WHICH ARE INSTALLED WITHIN THE SEASONAL HIGH GROUNDWATER TABLE, UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS. ALL STORMWATER FIELD WITHIN THE STATE'S RIGHT-OF-WAY MUST BE REINFORCED CONCRETE PIPE (RCP).
 - DRAINAGE STRUCTURES MUST BE AS FOLLOWS (UNLESS OTHERWISE NOTED ON PLANS):
 - CATCH BASINS ALONG CURBING: RIDOT STD 4.4.0, TYPE F, 4' DIAMETER WITH APRON STONE
 - CATCH BASINS NOT ALONG CURBING: RIDOT STD 4.4.0, 4' DIAMETER
 - CATCH BASINS MUST HAVE 3 FT SUMPS WITHOUT SEEP HOLES
 - SINGLE FRAME CATCH BASIN GRATES: RIDOT STD 6.3.2
 - DOUBLE FRAME CATCH BASIN GRATES: RIDOT STD 6.3.2
 - HIGH CAPACITY CATCH BASIN GRATES: RIDOT STD 6.3.4 AND INSTALLED ANYWHERE GRADES ARE 6% AND STEEPER
 - MANHOLES: RIDOT STD 4.2.0, 4.2.1 OR 4.2.2 AS REQUIRED
 - DRAINAGE MANHOLE COVERS: RIDOT STD 6.2.1
 - DROP INLETS: RIDOT STD 4.5.0, 4.5.1 OR 4.5.2
 - APRON STONE, WHERE REQUIRED: RIDOT STD 7.1.7 OR 7.1.8
 - HEADWALLS: RIDOT STD 2.1.0

ALL DRAINAGE STRUCTURES MUST BE WATERTIGHT.

DRAINAGE CONNECTIONS FROM ALL YARD DRAINS (YD), AREA DRAINS (AD), TRENCH DRAINS (TD), FRENCH DRAINS (FD), WALL DRAINS (WD), AND DOWNSPOUTS (DS) ARE SHOWN FOR SCHEMATIC PURPOSES ONLY. THE LEVEL OF DETAIL SHOWN DOES NOT INCLUDE ALL JOINTS THAT MAY BE REQUIRED FOR CONSTRUCTION. ALL FITTINGS AND PIPE SLOPES THAT TIE INTO MAIN TRUNK LINE MUST BE FIELD FIT BY CONTRACTOR.

SANITARY SEWER

ALL SANITARY SEWER PIPING MUST BE SDR 35 UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS. ALL SEWER IMPROVEMENTS MUST COMPLY WITH THE NARRAGANSETT BAY COMMISSION RULES AND REGULATIONS AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR TO PROVIDE SHOP DRAWINGS AND SUBMITTALS TO THE ENGINEER OF RECORD FOR APPROVAL FOR ALL WATER IMPROVEMENTS AND APPURTENANCES INCLUDING BUT NOT LIMITED TO PIPES, VALVES, FITTINGS, HEAT ENCLOSURES, AND BACKFLOW PREVENTERS. ALL COMPONENTS OF THE WATER SYSTEM MUST BE ASBUILT PER PROVIDENCE WATER REQUIREMENTS. ALL COMPONENTS OF THE WATER SYSTEM MUST BE INSPECTED BY PROVIDENCE WATER. CONTRACTOR MUST COORDINATE ALL IMPROVEMENTS WITH PROVIDENCE WATER TO ENSURE INSPECTOR IS ON SITE.

WATER

ALL WATER MAINS MUST BE CEMENT LINED DUCTILE IRON PIPE (CLDIP). ALL WATER MAIN IMPROVEMENTS MUST COMPLY WITH PROVIDENCE WATER REGULATIONS AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR TO PROVIDE SHOP DRAWINGS AND SUBMITTALS TO THE ENGINEER OF RECORD FOR APPROVAL FOR ALL WATER IMPROVEMENTS AND APPURTENANCES INCLUDING BUT NOT LIMITED TO PIPES, VALVES, FITTINGS, HEAT ENCLOSURES, AND BACKFLOW PREVENTERS. ALL COMPONENTS OF THE WATER SYSTEM MUST BE ASBUILT PER PROVIDENCE WATER REQUIREMENTS. ALL COMPONENTS OF THE WATER SYSTEM MUST BE INSPECTED BY PROVIDENCE WATER. CONTRACTOR MUST COORDINATE ALL IMPROVEMENTS WITH PROVIDENCE WATER TO ENSURE INSPECTOR IS ON SITE.

IN THE CASE OF ANY NEW HYDRANT INSTALLED IN OR NEXT TO AN EXISTING SIDEWALK, THE CONTRACTOR MUST INCREASE THE WIDTH OF THE SIDEWALK, AS NECESSARY, TO MAINTAIN A MINIMUM OF 3'-0" CLEAR WIDTH FROM THE OUTERMOST COMPONENTS OF THE HYDRANT TO THE EDGE OF THE SIDEWALK. THE 3'-0" SIDEWALK WIDTH IS REQUIRED ONLY ON ONE SIDE OF THE HYDRANT TO PROVIDE A CLEAR PATH ON THE SIDEWALK.

ELECTRIC/TELECOM/GAS

PROPOSED GAS, ELECTRIC, CABLE AND DATA UTILITIES ARE SHOWN SCHEMATICALLY AND ARE PROPOSED TO BE UNDERGROUND. OWNER AND CONTRACTOR MUST COORDINATE FINAL DESIGN WITH APPROPRIATE UTILITY COMPANIES. ALL WORK MUST BE IN ACCORDANCE WITH EACH UTILITY COMPANY'S STANDARDS AND DETAILS AS WELL AS LOCAL AND FEDERAL REGULATIONS. THIS INCLUDES BUT IS NOT LIMITED TO PIPES, TRANSFORMERS, PULL BOXES, CONCRETE PADS, CONCRETE ENCASMENTS AND CONDUITS. CONNECTION POINTS FOR ELECTRIC AND TELECOM UTILITIES, AT THE EXISTING INFRASTRUCTURE, ARE CURRENTLY SHOWN AS UNDERGROUND UTILITIES. THESE UTILITIES MAY BE UNDERGROUND OR OVERHEAD AND MUST BE COORDINATED WITH NATIONAL GRID PRIOR TO CONSTRUCTION.

SITE LIGHTING

SITE LIGHTING (TEMPORARY AND PERMANENT) MUST BE DIRECTED AWAY FROM AND SHIELDED FROM ABUTTING LANDS. EXACT LOCATIONS OF LIGHT POLES MUST BE COORDINATED WITH THE APPROPRIATE UTILITIES. FINAL LIGHTING AND CONDUIT LOCATIONS BY OTHERS.

REDEVELOPMENT NOTES:

- ALL EXISTING MANHOLE COVERS, GRATES, VALVE BOXES, SHUT-OFFS, AND HAND HOLES WITHIN THE LIMIT OF WORK MUST BE RESET TO FINISHED GRADE.
- THE CONTRACTOR MUST PROTECT AND MAINTAIN ALL BUILDINGS TO REMAIN AND ALL ACTIVE UTILITIES THAT SERVICE THE BUILDINGS TO REMAIN. REFER TO ARCHITECTURAL PLANS FOR BUILDING DEMOLITION INFORMATION.
- ALL UTILITY STRUCTURES INDICATED TO BE ABANDONED MUST BE CUT TO FOUR FEET BELOW FINISH GRADE ELEVATION, INLETS AND OUTLETS PLUGGED WITH MORTAR, AND SEALED WITH CONCRETE, UNLESS OTHERWISE NOTED.
- WHEN ABANDONING INACTIVE UTILITY PIPES NEAR THE PROPERTY LINE, THE CONTRACTOR MUST CAP OR PLUG IN PLACE AT THE PROPERTY LINE, WHEN REMOVING AND DISPOSING OF A PORTION OF EXISTING PIPE, THE CONTRACTOR MUST BE NOTIFIED BY DIG SAFE BOTH BEFORE AND AFTER THE INFRASTRUCTURE, ARE CURRENTLY SHOWN AS UNDERGROUND UTILITIES. THESE UTILITIES MAY BE UNDERGROUND OR OVERHEAD AND MUST BE COORDINATED WITH NATIONAL GRID PRIOR TO CONSTRUCTION.
- CONTRACTOR MUST DOCUMENT LOCATION OF ALL SUBSURFACE UTILITIES REMAINING IN PLACE AFTER DEMOLITION (ACTIVE AND INACTIVE/ABANDONED). LOCATION CAN BE DOCUMENTED BY FIELD SURVEY OR SWING TIES. COPIES OF LOCATION DOCUMENTATION MUST BE PROVIDED TO THE OWNER, WHERE POSSIBLE.
- NO GUARANTEE IS MADE THAT THE EXISTING UTILITY SERVICE CONNECTION(S) ARE SUITABLE FOR REUSE. EXISTING UTILITY SERVICE CONNECTIONS WERE NOT FIELD VERIFIED FOR SIZE, MATERIAL, EXACT LOCATION, OR INSPECTED FOR SUITABILITY FOR REUSE. CONTRACTOR MUST EVALUATE THE SIZE, MATERIAL, LOCATION, AND SUITABILITY FOR REUSE, AND IMMEDIATELY PROVIDE WRITTEN DOCUMENTATION OF CONDITIONS TO THE OWNER/DIPRETE.

ABBREVIATIONS LEGEND

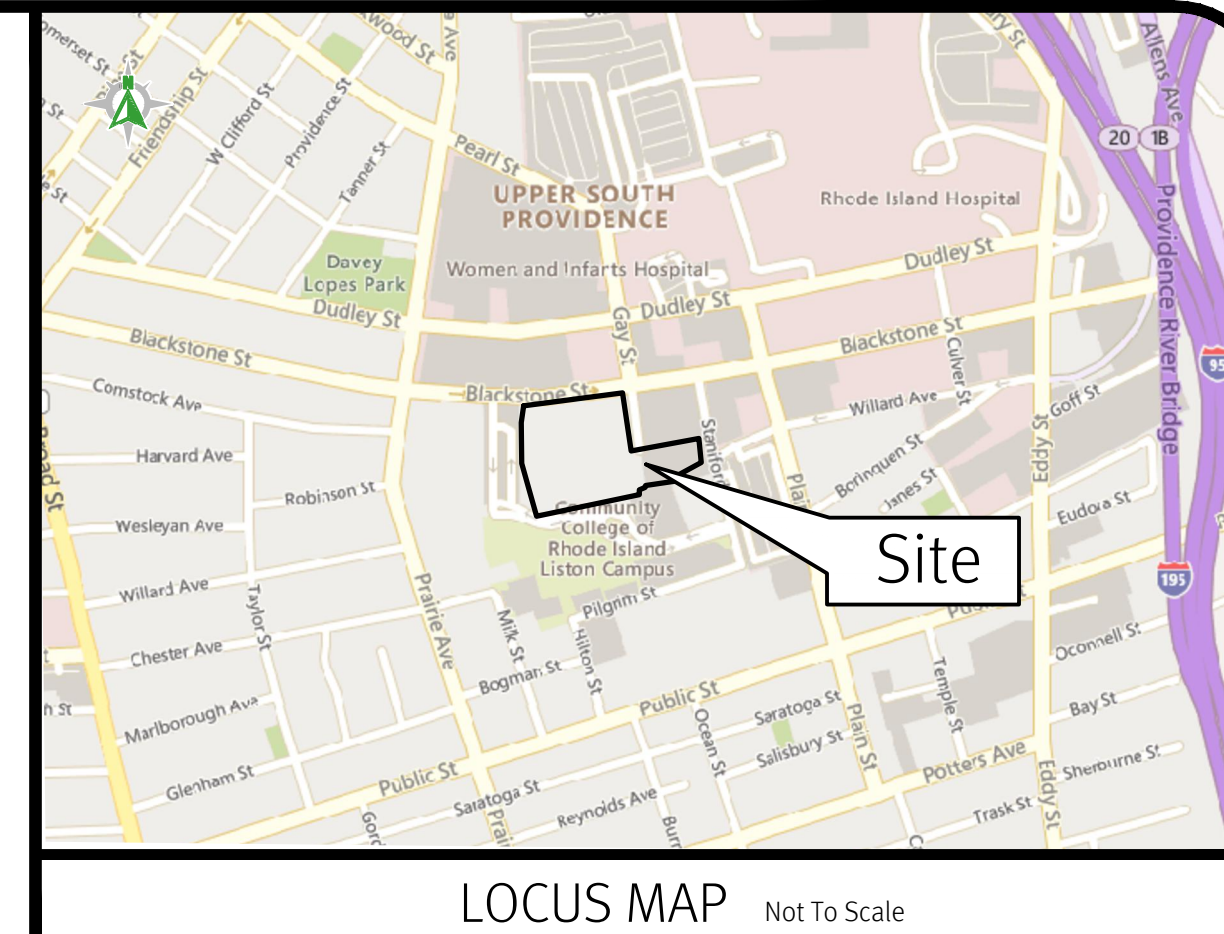
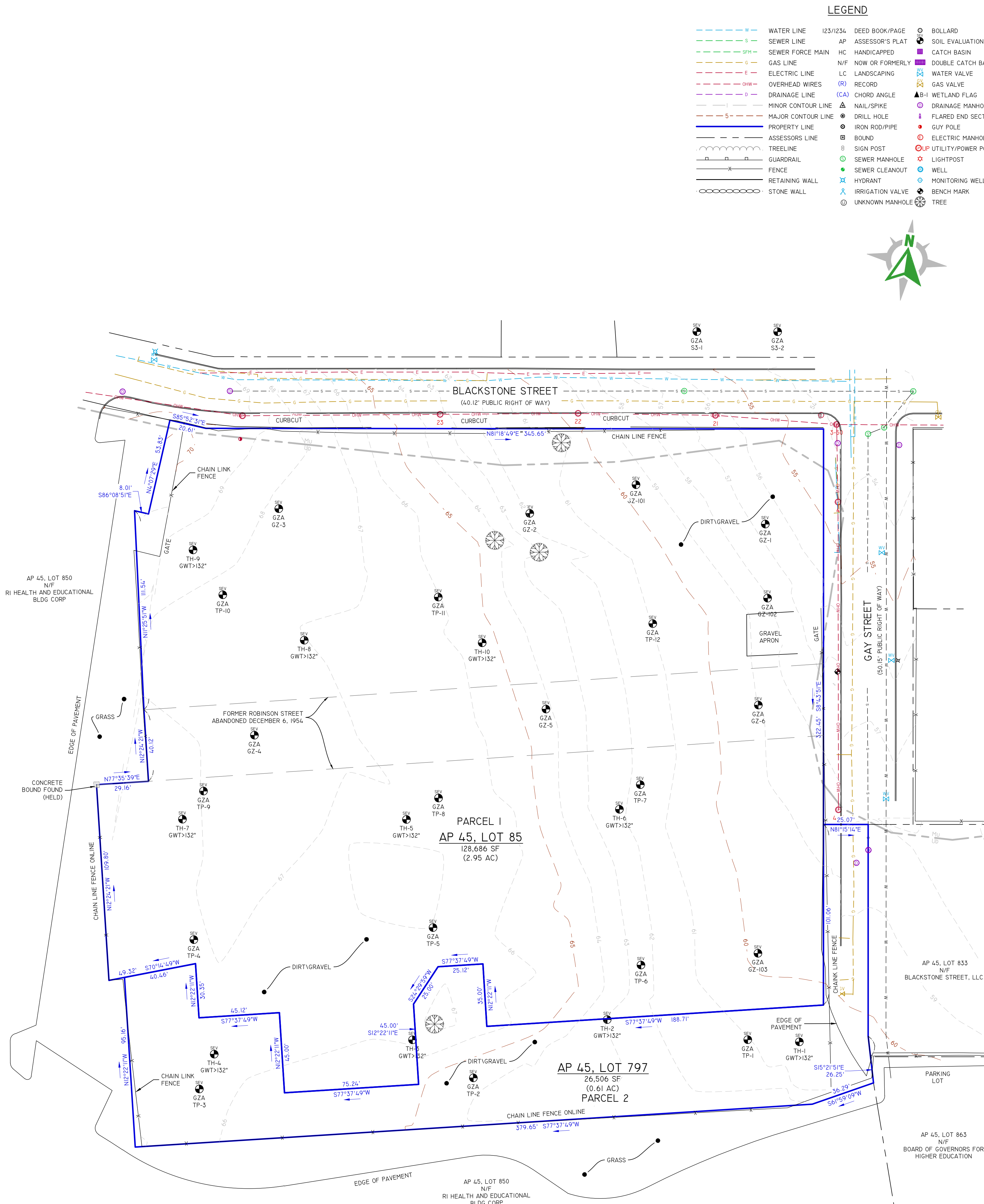
ADA	AMERICANS WITH DISABILITY ACT	N/F	NOW OR FORMERLY
AHJ	AUTHORITY HAVING JURISDICTION	OHW	OVERHEAD WIRE
AP	ASSESSOR'S PLAT	PE	POLYETHYLENE
ARCH	ARCHITECT	PL	PROPERTY LINE
BC	BOTTOM OF CURB	PR	PROPOSED
BT	BOTTOM OF TESTHOLE	PVC	POLYVINYL CHLORIDE
BIT	BITUMINOUS (BERM)	R	RADIUS
BIO	BIORETENTION	R&D	REMOVE AND DISPOSE
BS	BASEMENT SLAB ELEVATION	RCP	REINFORCED CONCRETE PIPE
BW	FINISHED GRADE AT BOTTOM OF WALL	RHIB	RHODE ISLAND
CB	CATCH BASIN		HIGHWAY BOUND
CL	CALCULATED	RL	ROOF LEADER
CL	CENTERLINE	ROW	RIGHT-OF-WAY
CA	CHORD ANGLE	S	SLOPE
CLDIP	CONCRETE LINED DUCTILE IRON PIPE	SD	SUBDRAIN
CL	CLEAN OUT	SED	SEDIMENT FOREBAY
CONC	CONCRETE	SF	SEWER FOOT
(D)	DEED	SFL	STATE FREEWAY LINE
DCB	DOUBLE CATCH BASIN	SFM	SEWER FORCE MAIN
DI	DROP INLET	SG	SLAB ON GRADE ELEVATION
DMH	DRAINAGE MANHOLE	SHL	STATE HIGHWAY LINE
DP	DEVENTION POND	SMH	SEWER MANHOLE
ELEV	ELEVATION	SNDF	SAND FILTER
EOP	EDGE OF PAVEMENT	SS	SIDE SLOPE
ESC	EROSION AND SEDIMENT CONTROL	STA	STATION
EX	EXISTING	TC	TOP OF CURB
FES	FLARED END SECTION	TD	TRENCH DRAIN
FFE	FINISH FLOOR ELEVATION	TF	TOP OF FOUNDATION
GS	GARAGE SLAB ELEVATION	TRANS	TRANSITION
GW	GROUND WATER TABLE	TW	TOP OF WALL (FINISHED)
HW	HEADWALL		GRADE AT TOP OF WALL)
HC	HIGH CAPACITY CATCH BASIN GRATE	TYP	TYPICAL
HOPE	HIGH DENSITY POLYETHYLENE	UDS	UNDERGROUND
ID	INLINE DRAIN	UIS	DETENTION SYSTEM
INV	INVERT		UNDERGROUND
IP	INFILTRATION POND		INFILTRATION SYSTEM
LARCH	LANDSCAPE ARCHITECT	UP	UTILITY POLE
LF	LINEAR FEET		GROUNDWATER RECHARGE AREA
LOD	LIMIT OF DISTURBANCE	WO	WALKOUT ELEVATION
LP	LIGHT POLE	WQ	WATER QUALITY
(M)	MEASURED		
MEP	MECHANICAL/ELECTRICAL/ PLUMBING ENGINEER		

EXISTING LEGEND

(AS SHOWN ON PROPOSED PLANS)		NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS	
	PROPERTY LINE		NAIL FOUND/SET
	ASSESSORS LINE		DRILL HOLE FOUND/SET
	BUILDING		BOUND FOUND/SET
	BRUSHLINE		SIGN
	TREELINE		BOLLARD
	GUARDRAIL		SOIL EVALUATION
	FENCE		CATCH BASIN
	RETAINING WALL		DOUBLE CATCH BASIN
	STONE WALL		DCH DRAINAGE MANHOLE
	MINOR CONTOUR LINE		FLARED END SECTION
	MAJOR CONTOUR LINE		GUY POLE
	WATER LINE		ELECTRIC MANHOLE
	SEWER LINE		UTILITY/POWER POLE
	SEWER FORCE MAIN		LIGHTPOST
	GAS LINE		SEWER/SEPTIC MANHOLE
	ELECTRIC LINE		SEWER VALVE
	OVERHEAD WIRES		CLEANOUT
	DRAINAGE LINE		HYDRANT
	SOILS LINES		IRRIGATION VALVE
	50' PERIMETER WETLAND		WATER VALVE
	100' RIVERBANK WETLAND		WELL
	200' RIVERBANK WETLAND		MONITORING WELL
	FEMA BOUNDARY		UNKNOWN MANHOLE
	STREAM		GAS VALVE
	WETLAND LINE & FLAG		BENCH MARK
	STATE HIGHWAY LINE		STREAM FLOW DIRECTION
	STATE FREEWAY LINE		
	GROUNDWATER OVERLAY		
	GROUNDWATER RECHARGE AREA		
	GROUNDWATER RESERVOIR		
	NATURAL HERITAGE		
	COMMUNITY WELLHEAD PROTECTION		
	NON-COMMUNITY WELLHEAD PROTECTION		

PROPOSED LEGEND

NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS			
	PROPERTY LINE		DRAINAGE LINE
	BUILDING SETBACKS		PERFORATED SUBDRAIN
	CHAINLINK FENCE		SWALE
	GUARDRAIL SEE LAYOUT AND MATERIALS NOTE 8.		SEWER FORCE MAIN
	RETAINING WALL		GAS LINE
	MINOR CONTOUR LINE		WATER LINE
	MAJOR CONTOUR LINE		HYDRANT ASSEMBLY
	SPOT ELEVATION		WATER SHUT OFF
	EDGE OF PAVEMENT		WATER VALVE
	BITUMINOUS BERM		THRUST BLOCK
	CONCRETE CURB (RIDOT STD 7.1.0)		SEWER LINE
	BUILDING FOOTPRINT		OVERHEAD WIRE
	BUILDING OVERHANG		ELECTRIC, TELEPHONE, CABLE LINE
	ASPHALT PAVEMENT		LIMIT OF DISTURBANCE/ LIMIT OF CLEARING
	HEAVY DUTY ASPHALT PAVEMENT		SEDIMENTATION BARRIER
	HEAVY DUTY CONCRETE		FENCE (RIDOT STD 9.2.1)
	CONCRETE		COMPOST SOCK OR APRON
	ASPHALT SIDEWALK		SLOPES STEEPER THAN 1:1 (SLOPES)
	SAWCUT LINE		UNDERGROUND INFILTRATION OUTLINE
	SIGN (RIDOT STD 24.6.2 AS APPLICABLE)		POND ACCESS
	SINGLE LIGHT		RIPRAP
	DOUBLE LIGHT		SAND FILTER
	OVERHANGING LIGHT		BIO RETENTION
	ACCESSIBLE PARKING SPACE SYMBOLS		CATCH BASIN
	BUILDING INGRESS/EGRESS		DOUBLE CATCH BASIN
			MANHOLE
			ROOF LEADER
			ELECTRIC LINE
			TRANSFORMER PAD WITH BOLLARDS (PER NATIONAL GRID STANDARD)



- GENERAL NOTES**
- THE PARCEL IS FOUND ON ASSESSOR'S PLAT 45, LOT 83 & 797 IN THE CITY OF PROVIDENCE, PROVIDENCE COUNTY, RHODE ISLAND.
 - THE OWNER PER DEED BOOK 12235, PAGE 324 IS BLACKSTONE STREET, LLC.
 - THE PARCEL IS LOCATED IN ZONE X AND X SHADED PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 44007C0613G, DATED MARCH 2, 2009.
 - THE PARCEL IS ZONED M-MU-75 PER THE ASSESSOR'S ONLINE DATABASE. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
 - THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
 - ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.
 - FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON SEPTEMBER 13 AND 15, 2021. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THOSE DATES.
- PLAN REFERENCES:**
- REPLAT NO 2 OF LAND BELONGING TO PROVIDENCE REDEVELOPMENT AGENCY WITHIN THE WILLARD CENTER UNIT 2 PROJECT AREA UR RI 1-3 PLAT BOOK 42, PAGE 24.
 - REPLAT OF LAND BELONGING TO PROVIDENCE REDEVELOPMENT AGENCY WITH THE WILLARD CENTER UNIT ONE PROJECT AREA D2-AI PLAT BOOK 43, PAGE 22.
- UTILITY NOTES**
- ALL EXISTING UTILITIES DEPICTED ARE SHOWN ACCORDANCE WITH UTILITY QUALITY LEVEL C AS DEFINED IN CI/ASCE STANDARD 38-02 (STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA), LATEST REVISION.
 - ALL EXISTING UNDERGROUND UTILITIES SHOWN WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.
 - PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.
 - DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES, DEPICTED OR NOT, EITHER IN SERVICE OR ABANDONED, ANY SIZES, LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.
- SURVEYOR'S CERTIFICATE**
- THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:
- COMPREHENSIVE BOUNDARY SURVEY CLASS 1
 - TOPOGRAPHIC SURVEY CLASS T-2
- THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: PERIMETER RETRACEMENT WITH TOPOGRAPHY FOR SITE ENGINEERING AND PERMITTING.
- ROBERT G. BABCOCK**
No. 2504
PROFESSIONAL LAND SURVEYOR

Diprete Engineering

Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

Boston • Providence • Newport

DANA R. NISBET

No. 11876
REGISTERED PROFESSIONAL ENGINEER CIVIL

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED AND SIGNED FOR CONSTRUCTION AND STAMPED BY A PROFESSIONAL ENGINEER OR ARCHITECT.

DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER'S SEAL AND SIGNATURE. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE NEANS AND CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

NO.	DATE	DESCRIPTION	BY:	DESIGN BY:
1	11/19/2021	EXISTING PLANS	B.A.W.	D.R.N.

DRAWN BY: B.A.W.

EXISTING ANALYSIS PLAN

BLACKSTONE STREET APARTMENTS

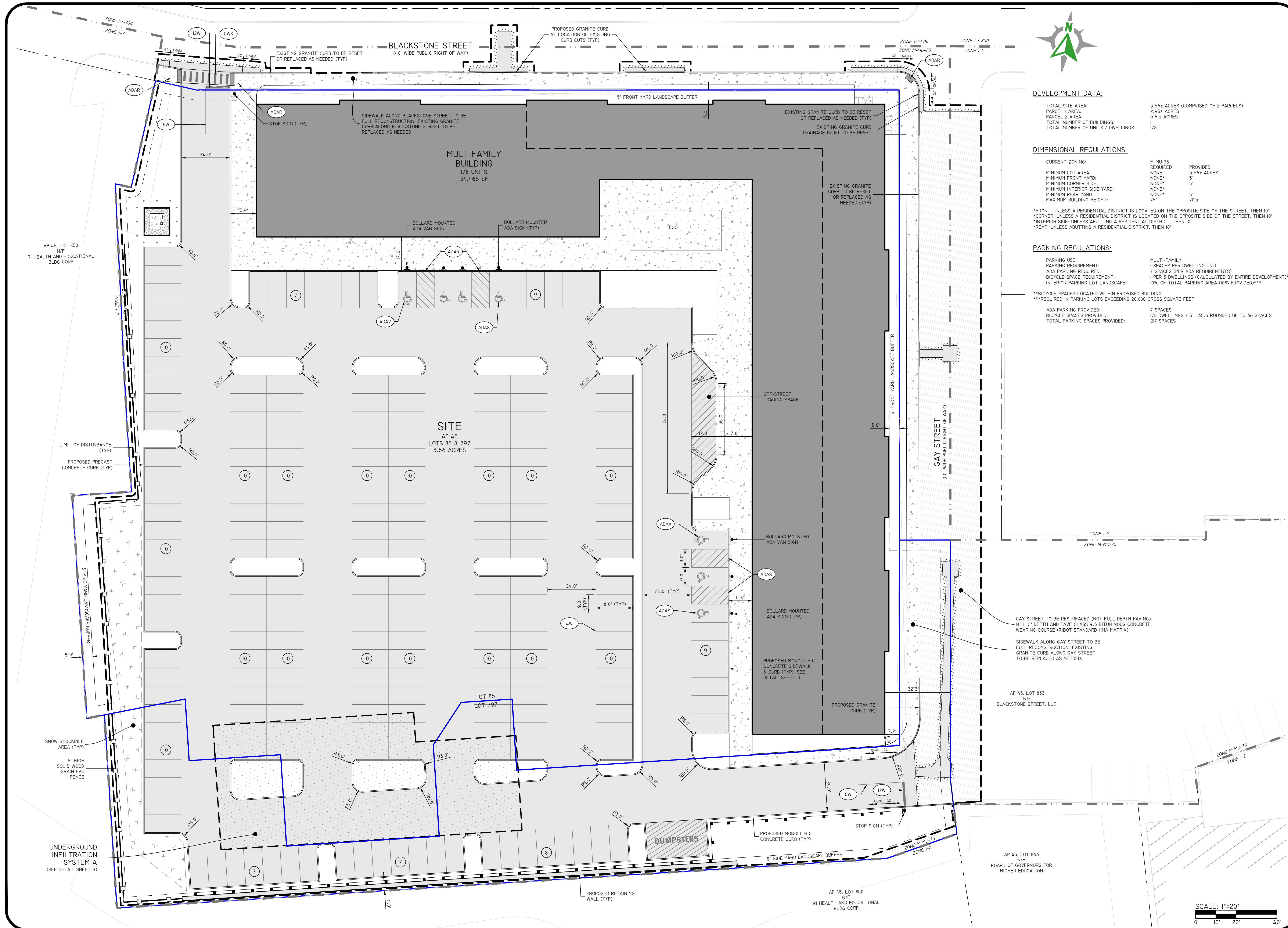
ASSESSOR'S PLAT 45 LOTS 85 & 797
220 BLACKSTONE ST. PROVIDENCE, RHODE ISLAND

PREPARED FOR:
AR BUILDING COMPANY
40 SEVEN FIELDS BLVD, SUITE 150
SEVEN FIELDS, PA 16046

DE 248 NO. 242-015 COPYRIGHT 2021 BY DIPRETE ENGINEERING ASSOCIATES, INC.

SHEET **4** OF 13

Z:\DEVELOPMENT\PROJECTS\2025-05 BLACKSTONE STREET 220\AUTOCAD DRAWINGS\2025-05-PLANNING PLOTTER: 1/6/2022



DEVELOPMENT DATA:

TOTAL SITE AREA:	3.56± ACRES (COMPRSED OF 2 PARCELS)
PARCEL 1 AREA:	2.95± ACRES
PARCEL 2 AREA:	0.61± ACRES
TOTAL NUMBER OF BUILDINGS:	178
TOTAL NUMBER OF UNITS / DWELLINGS:	178

DIMENSIONAL REGULATIONS:

CURRENT ZONING:	M-MU-75	REQUIRED	PROVIDED
MINIMUM LOT AREA:	NONE*	3,56± ACRES	
MINIMUM FRONT YARD:	NONE*	5'	
MINIMUM CORNER SIDE:	NONE*	5'	
MINIMUM INTERIOR SIDE YARD:	NONE*	5'	
MINIMUM REAR YARD:	NONE*	5'	
MAXIMUM BUILDING HEIGHT:	75'	70'±	

*FRONT: UNLESS A RESIDENTIAL DISTRICT IS LOCATED ON THE OPPOSITE SIDE OF THE STREET, THEN 10'
*CORNER: UNLESS A RESIDENTIAL DISTRICT IS LOCATED ON THE OPPOSITE SIDE OF THE STREET, THEN 10'
*INTERIOR SIDE: UNLESS ABUTTING A RESIDENTIAL DISTRICT, THEN 10'
*REAR: UNLESS ABUTTING A RESIDENTIAL DISTRICT, THEN 10'

PARKING REGULATIONS:

PARKING USE:	MULTI-FAMILY
PARKING REQUIREMENT:	1 SPACES PER DWELLING UNIT
ADA PARKING REQUIRED:	7 SPACES (PER ADA REQUIREMENTS)
BICYCLE SPACE REQUIREMENT:	1 PER 5 DWELLINGS (CALCULATED BY ENTIRE DEVELOPMENT)**
INTERIOR PARKING LOT LANDSCAPE:	10% OF TOTAL PARKING AREA (10% PROVIDED)**

**BICYCLE SPACES LOCATED WITHIN PROPOSED BUILDING
**REQUIRED IN PARKING LOTS EXCEEDING 20,000 GROSS SQUARE FEET

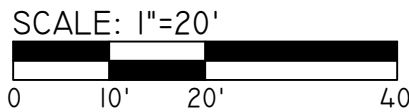
ADA PARKING PROVIDED:	7 SPACES
BICYCLE SPACES PROVIDED:	178 DWELLINGS / 5 = 35.6 ROUNDED UP TO 36 SPACES
TOTAL PARKING SPACES PROVIDED:	217 SPACES

GAY STREET TO BE RESURFACED (NOT FULL DEPTH PAVING).
MILL 2" DEPTH AND PAVE CLASS 9.5 BITUMINOUS CONCRETE
WEARING COURSE (RIDOT STANDARD HMA MATRIX)

SIDEWALK ALONG GAY STREET TO BE
FULL RECONSTRUCTION. EXISTING
GRANITE CURB ALONG GAY STREET
TO BE REPLACED AS NEEDED.

AP 45, LOT 833
N/F
BLACKSTONE STREET, LLC.

AP 45, LOT 863
N/F
BOARD OF GOVERNORS FOR
HIGHER EDUCATION

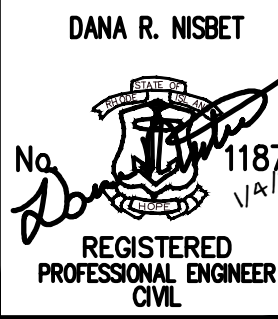


DiPrete Engineering



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ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY.
THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE REASON
CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND
FOR ANY UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE
ONLY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR
DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

NO.	DATE	DESCRIPTION	B.A.W.	BT	DESIGN BY: D.R.N.
1	01-06-2022	REVISION AND PROVIDENCE DFW RETC	B.A.W.		
2	11-02-2021	REVISION AND PROVIDENCE PLANS	B.A.W.		

SITE LAYOUT PLAN

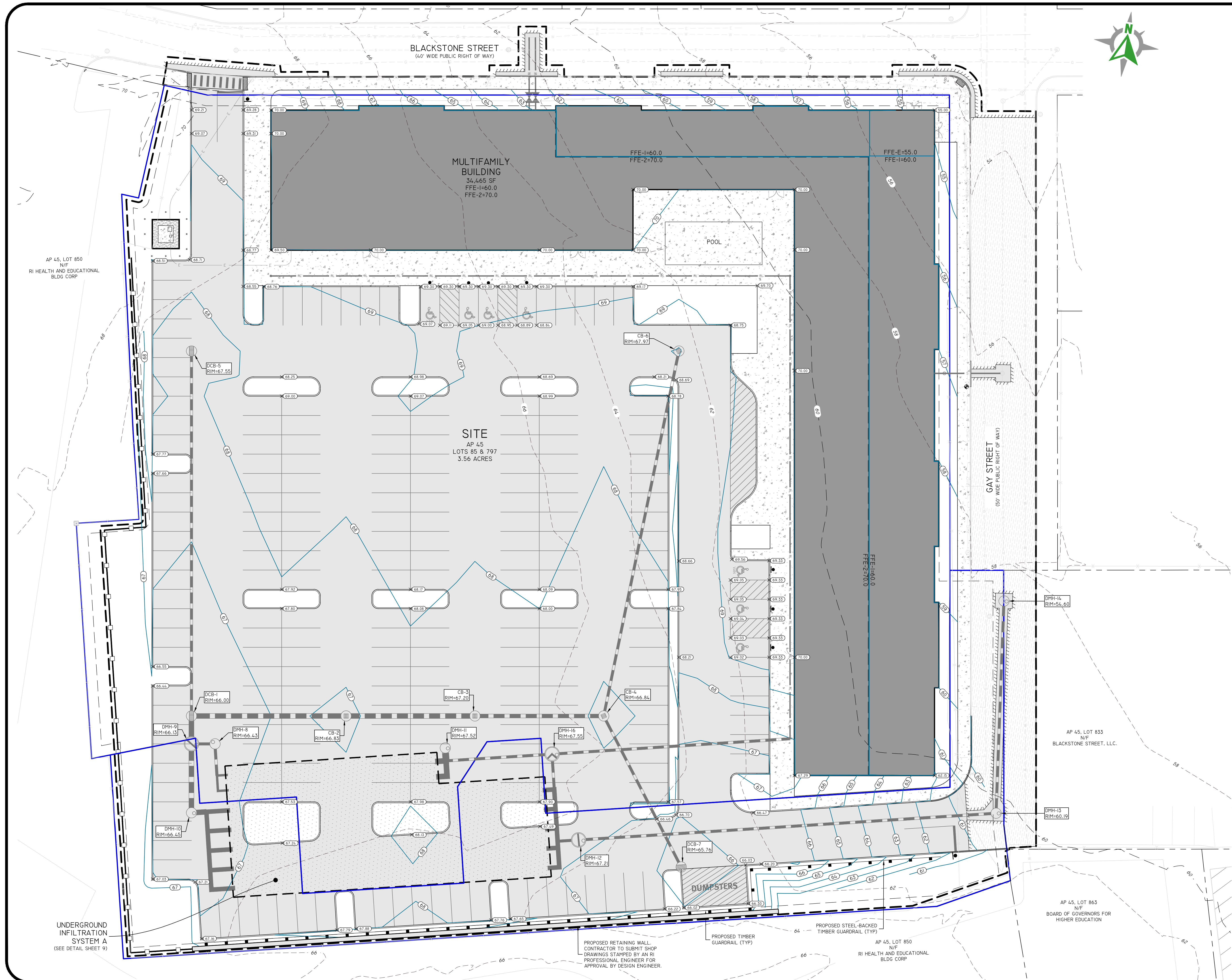
BLACKSTONE STREET APARTMENTS

ASSESSOR'S PLAT 45 LOTS 85 & 797

220 BLACKSTONE ST. PROVIDENCE, RHODE ISLAND

PREPARED FOR:
AP BUILDING COMPANY
70 SEVEN FIELDS BLVD, SUITE 150
SEVEN FIELDS, PA 16046

Z:\CHINA\PROJECTS\2025-05 BLACKSTONE STREET 220\AUTOCAD DRAWINGS\2025-05-PLANNING PLOTTER 1/6/2022



UNDERGROUND
INFILTRATION
SYSTEM A
(SEE DETAIL SHEET 9)

PROPOSED RETAINING WALL.
CONTRACTOR TO SUBMIT SHOP
DRAWINGS STAMPED BY AN RI
PROFESSIONAL ENGINEER FOR
APPROVAL BY DESIGN ENGINEER.

PROPOSED TIMBER
GUARDRAIL (TYP)

PROPOSED STEEL-BACKED
TIMBER GUARDRAIL (TYP)

SCALE: 1"=20'
0 10' 20' 40'

GRADING AND SURFACE DRAINAGE PLAN
BLACKSTONE STREET APARTMENTS

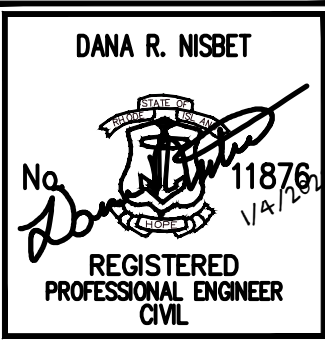
ASSESSOR'S PLAT 45 LOTS 85 & 797
220 BLACKSTONE ST. PROVIDENCE, RHODE ISLAND

PREPARED FOR:
AP BUILDING COMPANY
70 SEVEN FIELDS RD, SUITE 350
SEVEN FIELDS, PA 06046

DE: 008-ND-2525-05 COPYRIGHT 2022 BY DIPRETE ENGINEERING ASSOCIATES, INC.

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ENGINEERING PROJECT. DIPRETE ENGINEERING ASSOCIATES, INC.
PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE
ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY.
THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE NEARBY
EXISTING UTILITIES SHOWN ON THIS PLAN. DIPRETE ENGINEERING
ONLY, DIPRETE ENGINEERING ASSURES NO RESPONSIBILITY FOR
DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

NO.	DATE	DESCRIPTION	BY	DESIGN BY
1	01-06-2022	GRADING AND SURFACE DRAINAGE PLAN	B.A.W.	
2	11-02-2021	GRADING AND SURFACE DRAINAGE PLAN	B.A.W.	

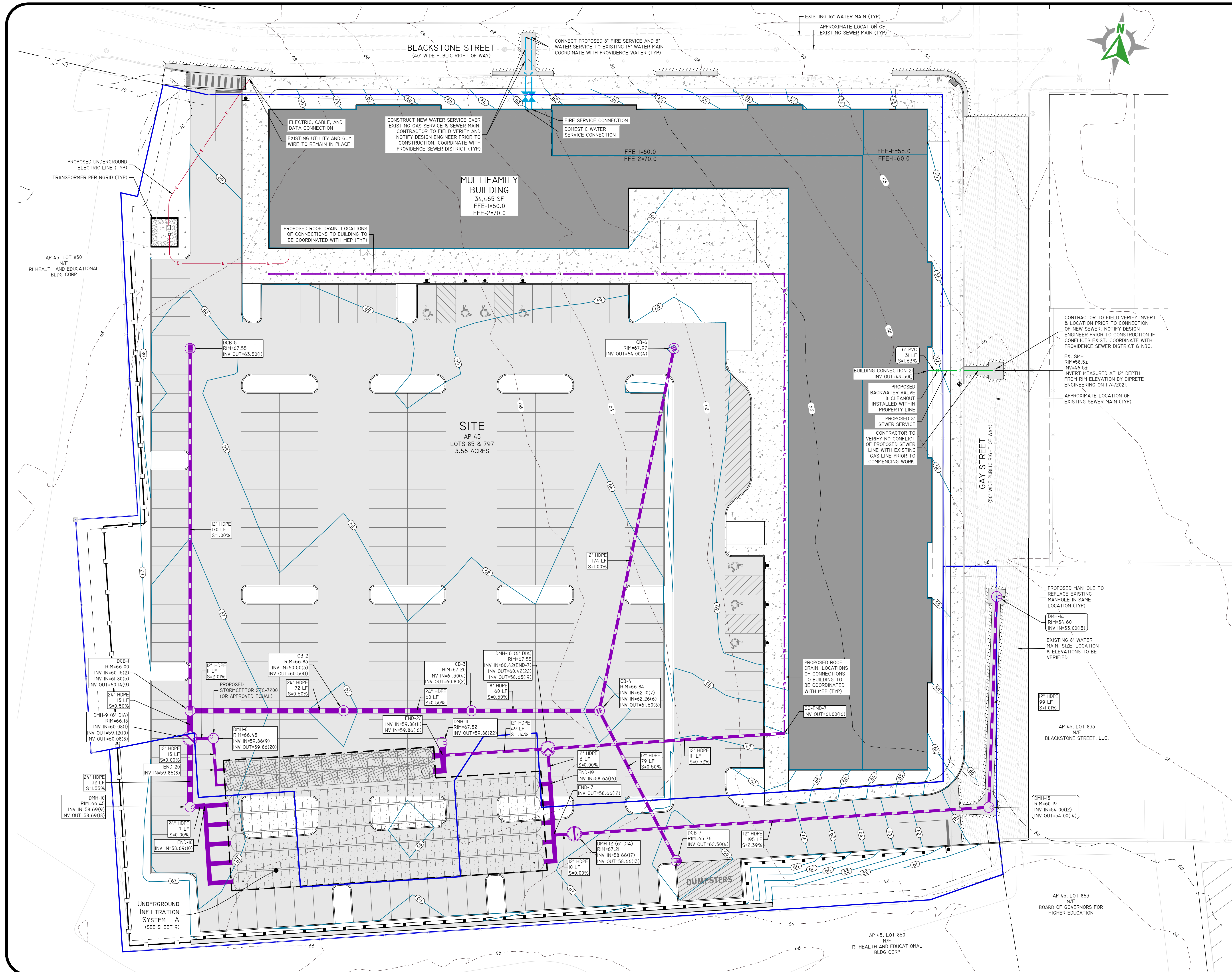


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Z:\CHINA\PROJECTS\0425-05 BLACKSTONE STREET - 220\AUTOCAD DRAWINGS\0425-05-PLANNING PLOTTER: 1/6/2022



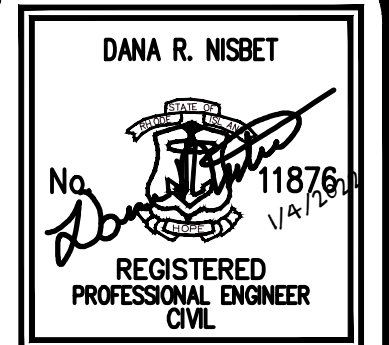
UTILITIES PLAN

BLACKSTONE STREET APARTMENTS
ASSESSOR'S PLAT 45 LOTS 85 & 797
220 BLACKSTONE ST. PROVIDENCE, RHODE ISLAND

PREPARED FOR:
AP BUILDING COMPANY
40 SEVEN FIELDS ROAD, SUITE 350
SEVEN FIELDS, PA 06046

NO.	DATE	DESCRIPTION	B.A.W.	BY:	DESIGN BY: D.R.N.
1	01-06-2022	ISSUED AND PROVIDENCE DPW RET.C.	B.A.W.		
2	11-02-2021	REVISIONS TO PLANS	B.A.W.		

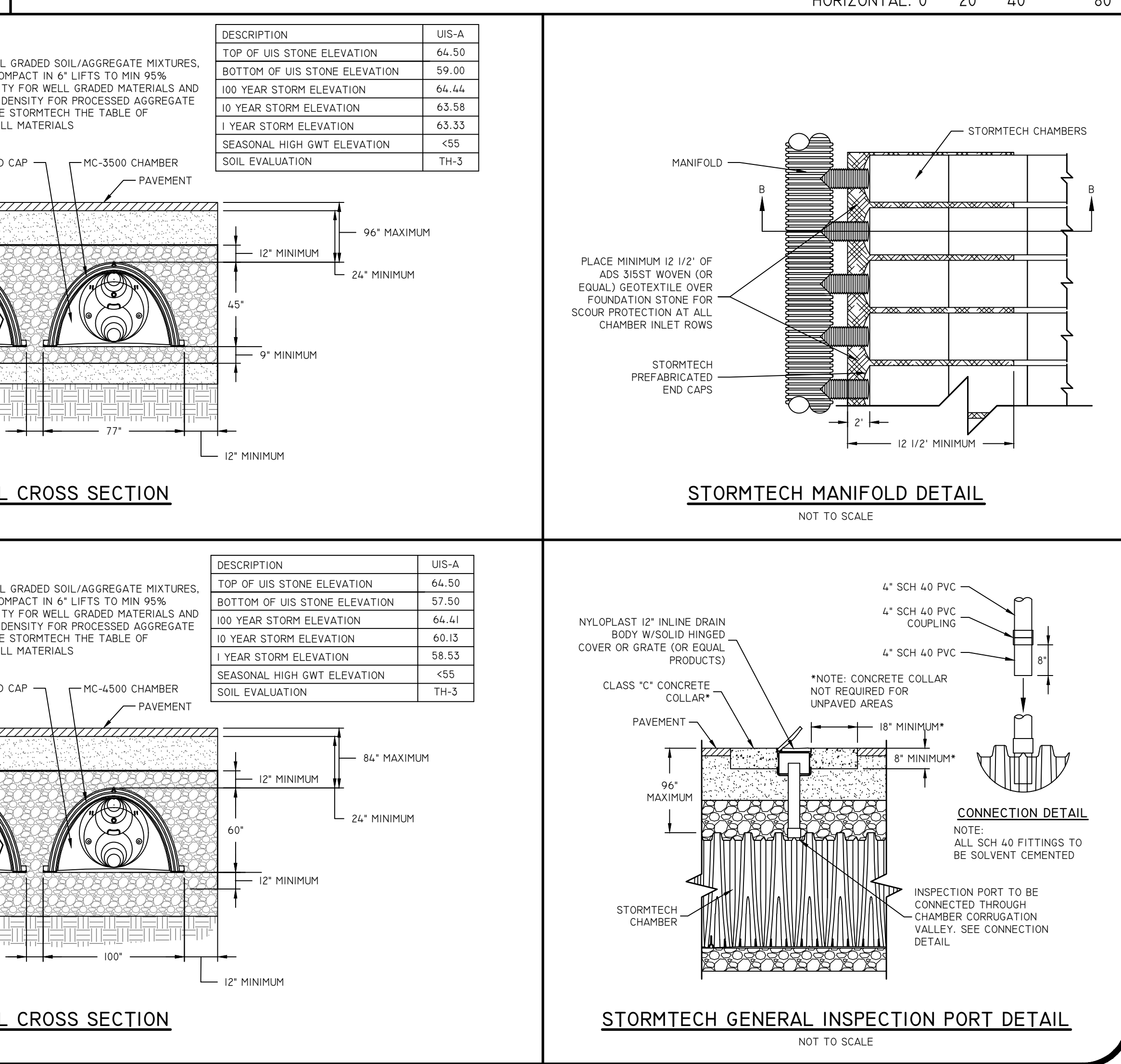
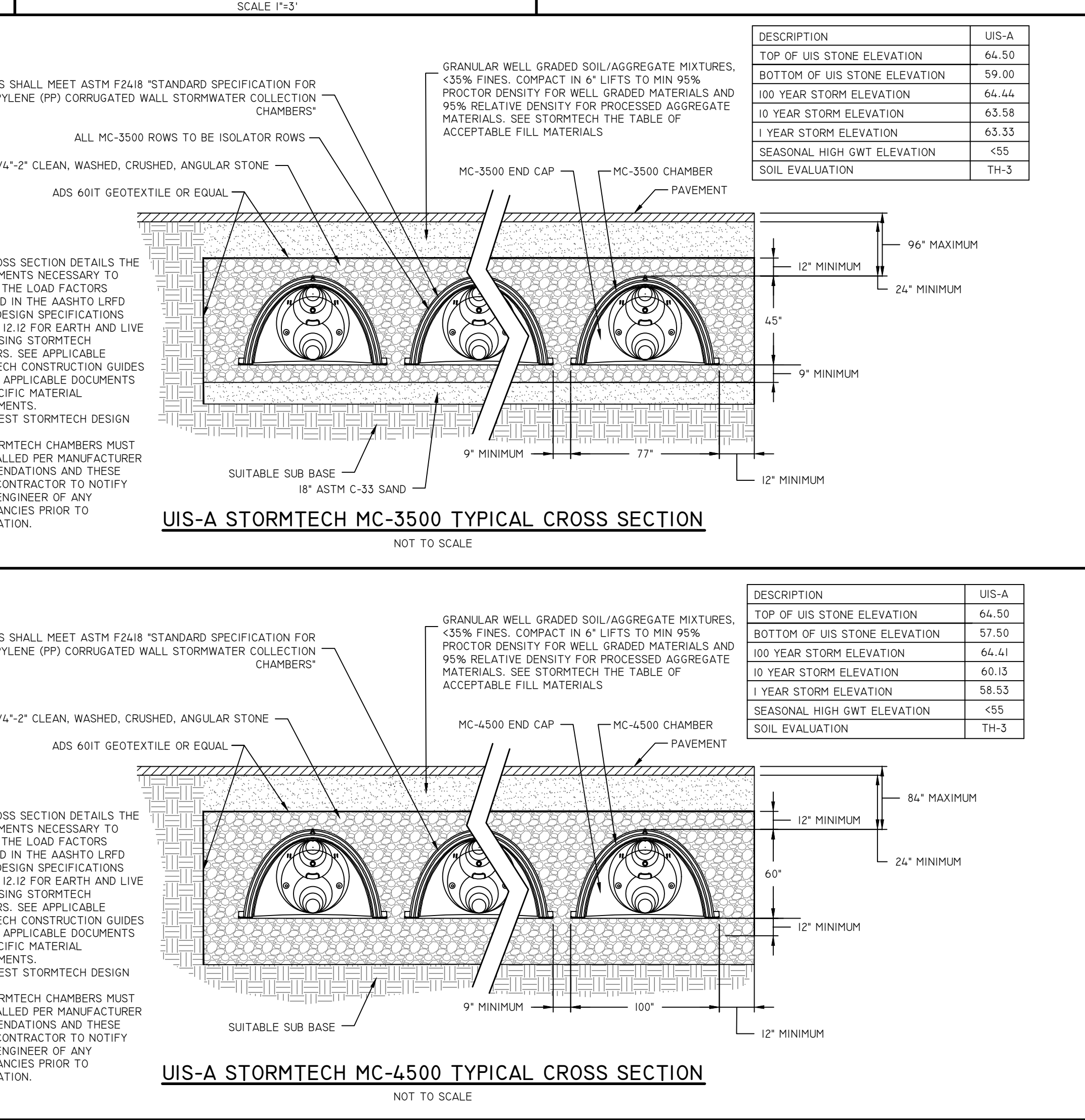
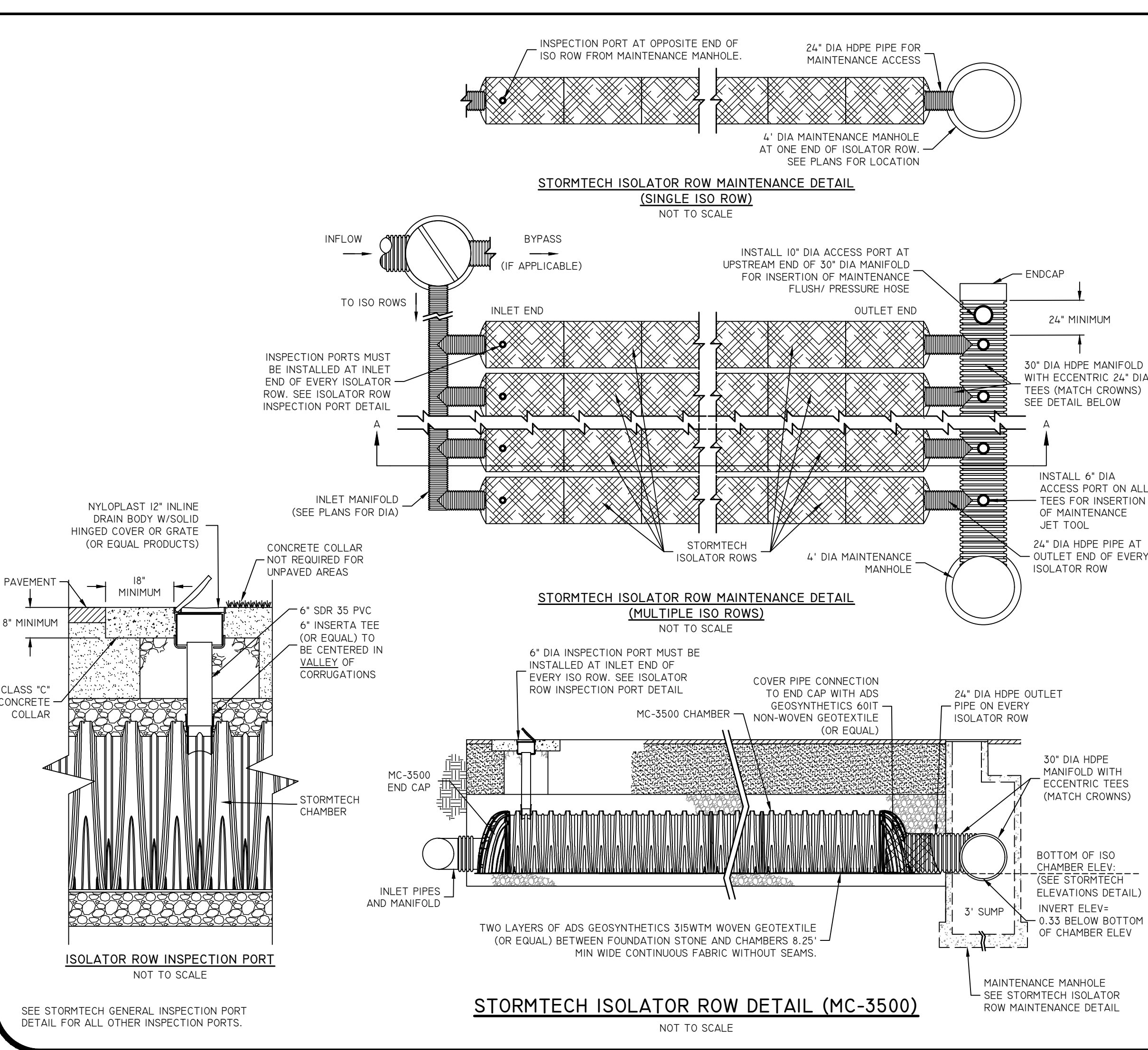
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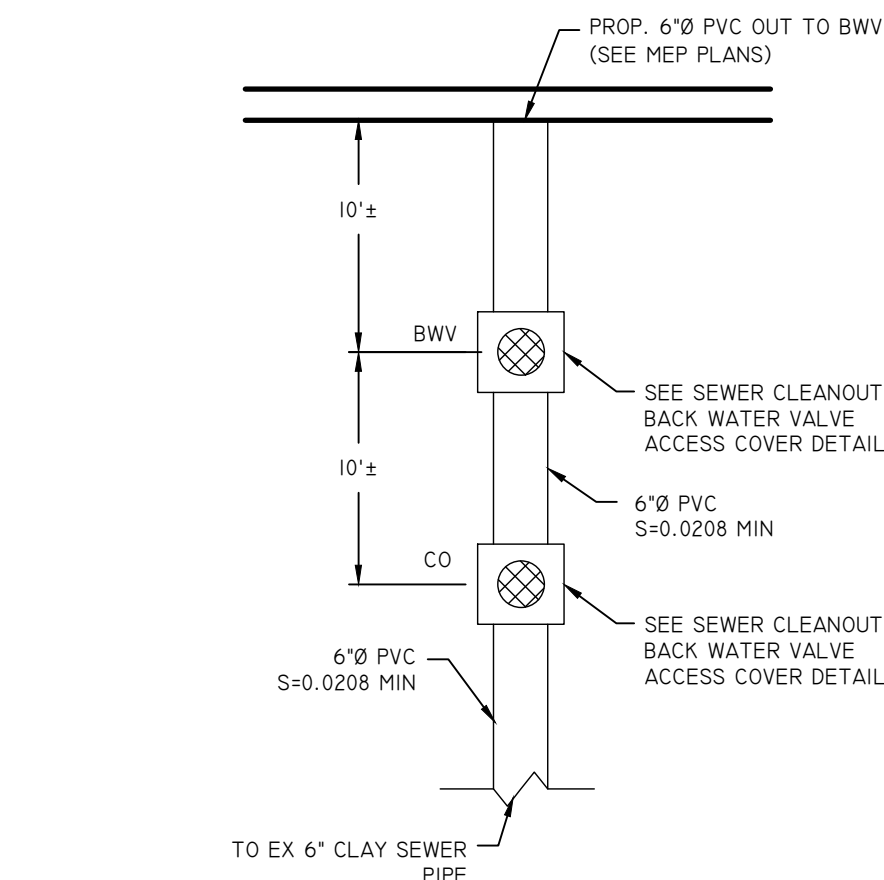


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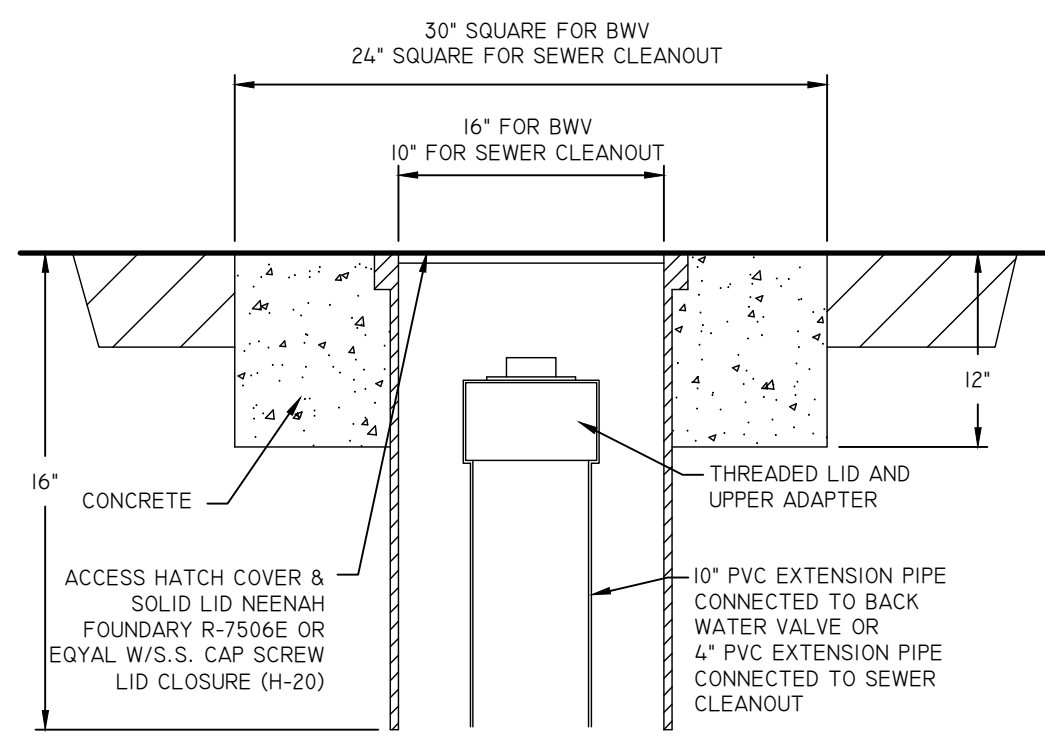
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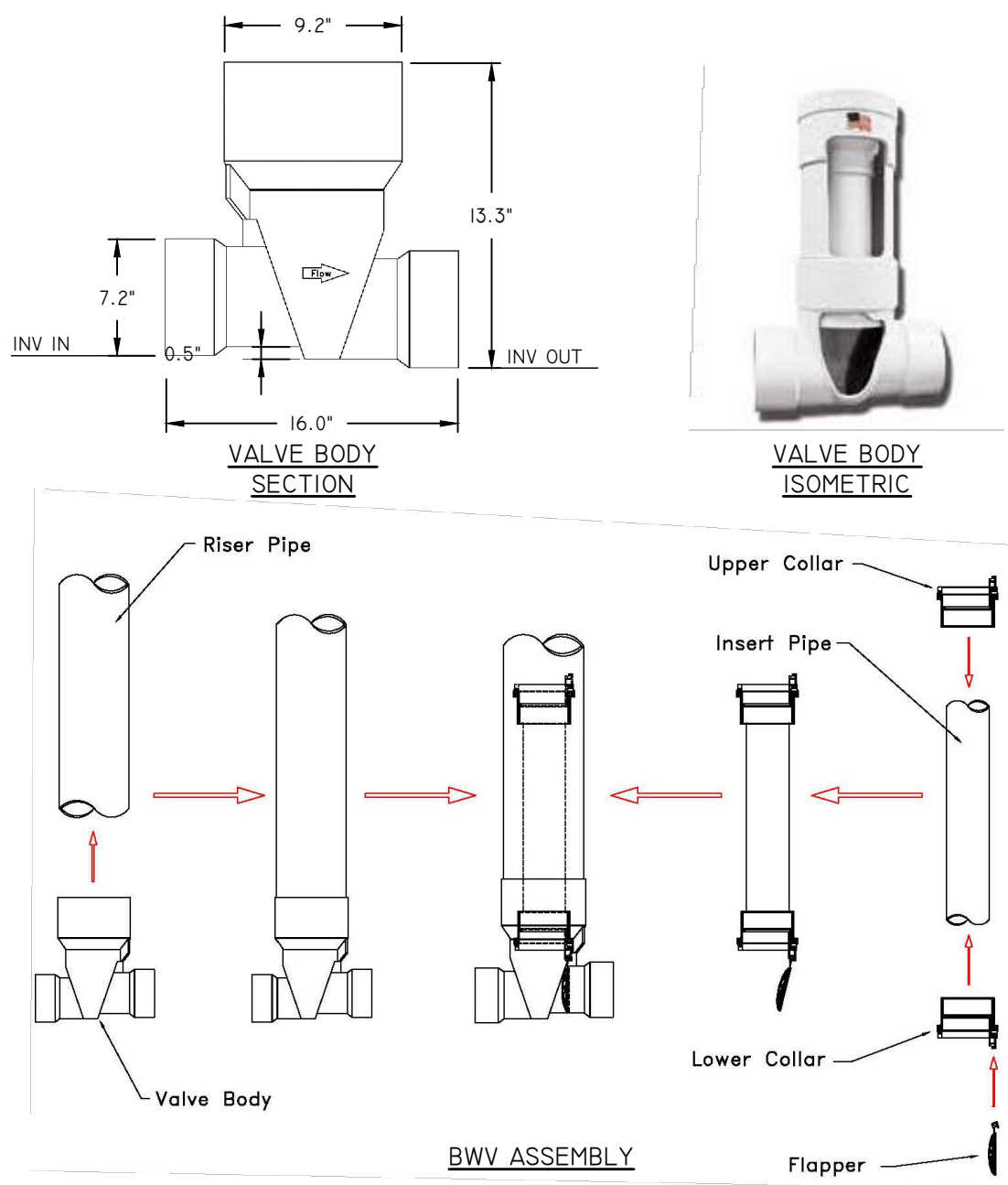




BACKWATER VALVE (BWV) AND SEWER CLEANOUT CLUSTER DETAIL
NOT TO SCALE



SEWER CLEANOUT & BACK WATER VALVE (BWV) ACCESS COVER DETAIL
NOT TO SCALE



- GENERAL NOTES:
1. BWV SHALL BE INSTALLED IN PROPOSED 6\"/>
 2. BWV TO BE INSTALLED IN A LEVEL POSITION AND ON NOMINALLY HORIZONTAL LINES ONLY.
 3. BWV SHALL HAVE A 0.5\"/>
 4. CRUSHED STONE BEDDING SHALL BE PLACED FROM 6\"/>
 5. SEE WWW.RECTORSEAL.COM/INDEX.PHP/6-PVC-BACKWATER-VALVE/ FOR ADDITIONAL INFORMATION.
 6. ALL MATERIALS AND DIMENSIONS TO BE VERIFIED WITH MANUFACTURE PRIOR TO CONSTRUCTION.
 7. CONTRACTOR TO SUBMIT SHOP DRAWINGS TO ENGINEER PRIOR TO CONSTRUCTION.

RECTORSEAL 6\"/>

SEWER LINE/WATER MAIN SEPARATION POLICY FOR DESIGN OF SANITARY SEWERS

A. LATERAL PLACEMENT OF SEWERS AND WATER MAINS

SEWERS SHALL BE LAID AT LEAST 10' HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. THE DISTANCE SHALL BE MEASURED OUTSIDE EDGE-TO-OUTSIDE EDGE. THERE IS NO MINIMUM VERTICAL SEPARATION REQUIRED PROVIDED THE 10' HORIZONTAL SEPARATION IS MAINTAINED. STRUCTURES, OTHER THAN PIPELINES OR CONDUITS, THROUGH WHICH SANITARY WASTEWATER FLOWS SUCH AS, BUT NOT LIMITED TO, MANHOLES, VALVE VAULTS, METER PITS AND PUMP STATION WET WELLS SHALL ALSO BE CONSTRUCTED AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER LINE, MEASURED EDGE-TO-EDGE.

IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10' HORIZONTAL SEPARATION, THE AUTHORITY HAVING JURISDICTION, MAY ALLOW DEVIATION ON A CASE BY CASE BASIS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER. SUCH DEVIATION MAY ALLOW INSTALLATION OF THE SEWER CLOSER TO A WATER MAIN, PROVIDED THAT:

1. THE SEWER AND WATER MAIN ARE LAID IN SEPARATE TRENCHES, OR
2. THE SEWER AND WATER MAIN MAY BE INSTALLED IN THE SAME TRENCH WITH THE WATER MAIN PLACED ON A BENCH OF UNDISTURBED EARTH, AND
3. IN EITHER CASE, THE CROWN OF THE SEWER SHALL BE AT LEAST 18\"/>

IN SITUATIONS WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS STIPULATED ABOVE, THE FOLLOWING PROTECTION SHALL BE PROVIDED:

1. ENCASEMENT OF THE SEWER PIPE IN CONCRETE (MINIMUM 6\"/>
2. DESIGN AND CONSTRUCTION OF THE SEWER EQUAL TO WATER MAIN PIPE (CEMENT-LINED DUCTILE IRON OR OTHER AWWA-APPROVED MATERIAL FOR POTABLE WATER CONVEYANCE), AND PRESSURE TESTED IN ACCORDANCE WITH AWWA SPECIFICATIONS.
3. IN INSTANCES OF CONFLICT WITH SANITARY WASTEWATER STRUCTURES MENTIONED ABOVE, RELOCATE THE WATER LINE TO ACHIEVE EITHER A 10 FOOT HORIZONTAL OR 18 INCH VERTICAL SEPARATION.

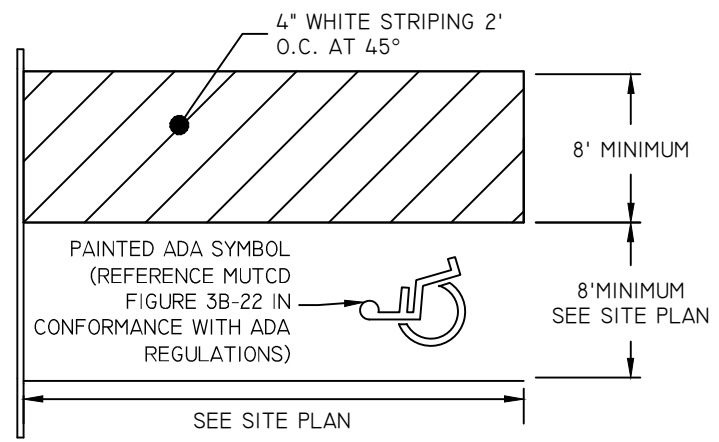
B. SEWERS CROSSING WATER MAINS

SEWERS CROSSING UNDER WATER MAINS SHOULD BE AVOIDED, BUT IF CONDITIONS WARRANT THIS SITUATION, THEN ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO MAINTAIN LINE AND GRADE. SEWERS CROSSING UNDER WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL SEPARATION OF 18\"/>

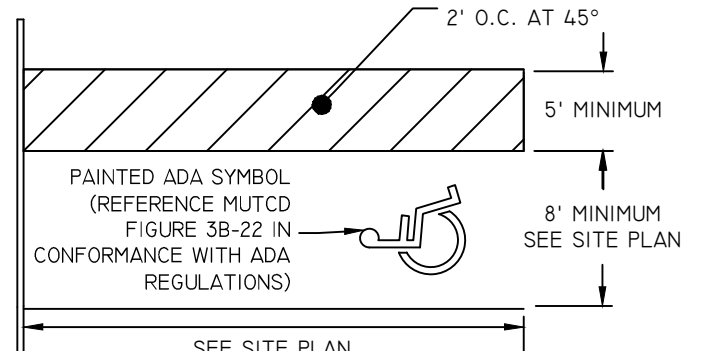
WHERE CONDITIONS PREVENT AN 18\"/>

- A. THE SEWER SHALL BE DESIGNED AND CONSTRUCTED EQUAL TO WATER MAIN PIPE (CEMENT-LINED DUCTILE IRON PIPE, PVC OR OTHER AWWA APPROVED MATERIAL FOR POTABLE WATER CONVEYANCE) FOR A DISTANCE OF 12\"/>
- B. EITHER THE WATER MAIN OR THE SEWER MAY BE ENCASED IN CONCRETE (MINIMUM 6\"/>
- C. ANY OTHER METHODS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER, WHICH ENSURE ADEQUATE WATER TIGHTNESS AND ARE SATISFACTORY TO THE AUTHORITY HAVING JURISDICTION.

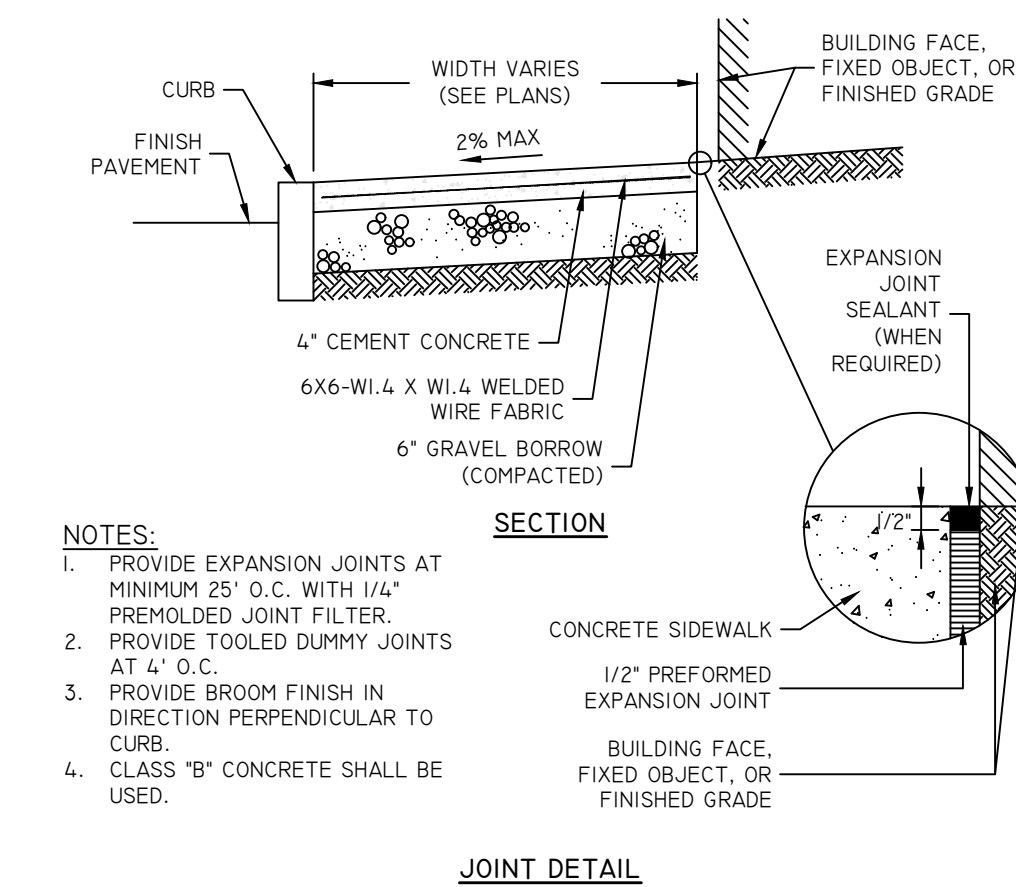
WATER LINES ARE DEFINED AS ANY CONDUITS OR PIPELINES THAT CONVEY POTABLE WATER.



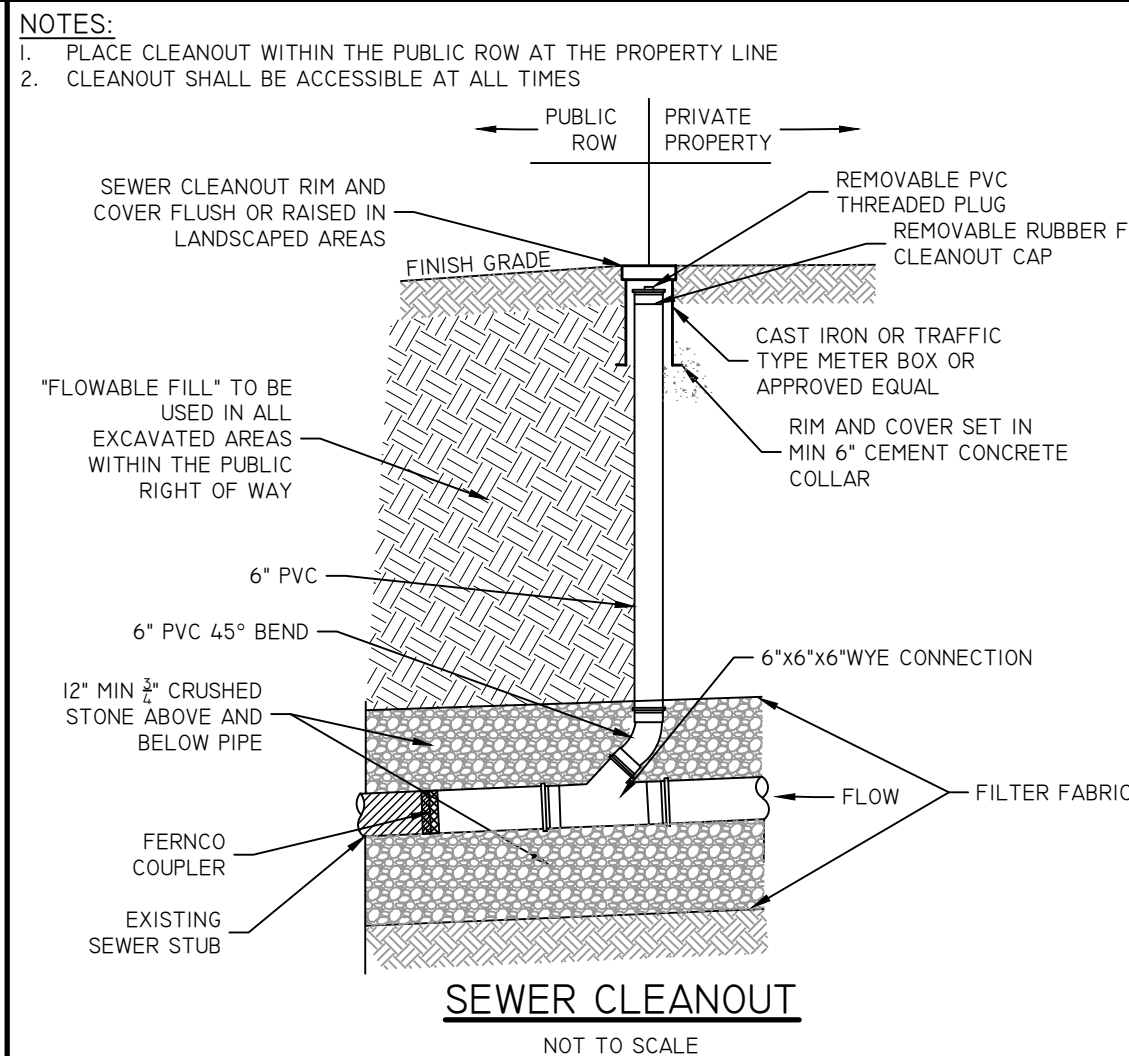
TYPICAL VAN ACCESSIBLE PARKING SPACE



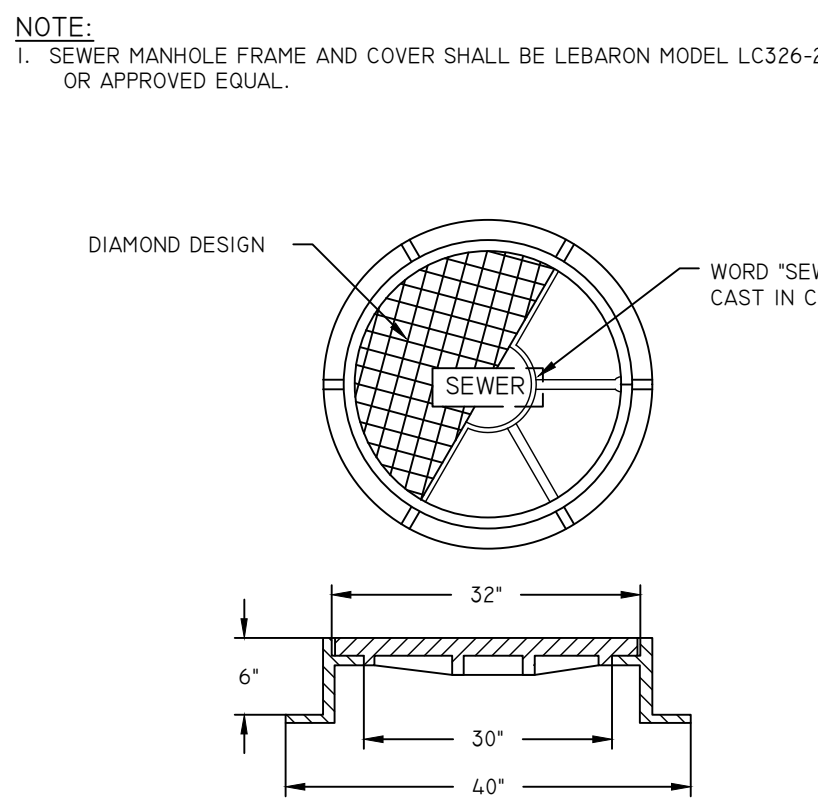
TYPICAL ACCESSIBLE PARKING SPACES



CONCRETE SIDEWALK

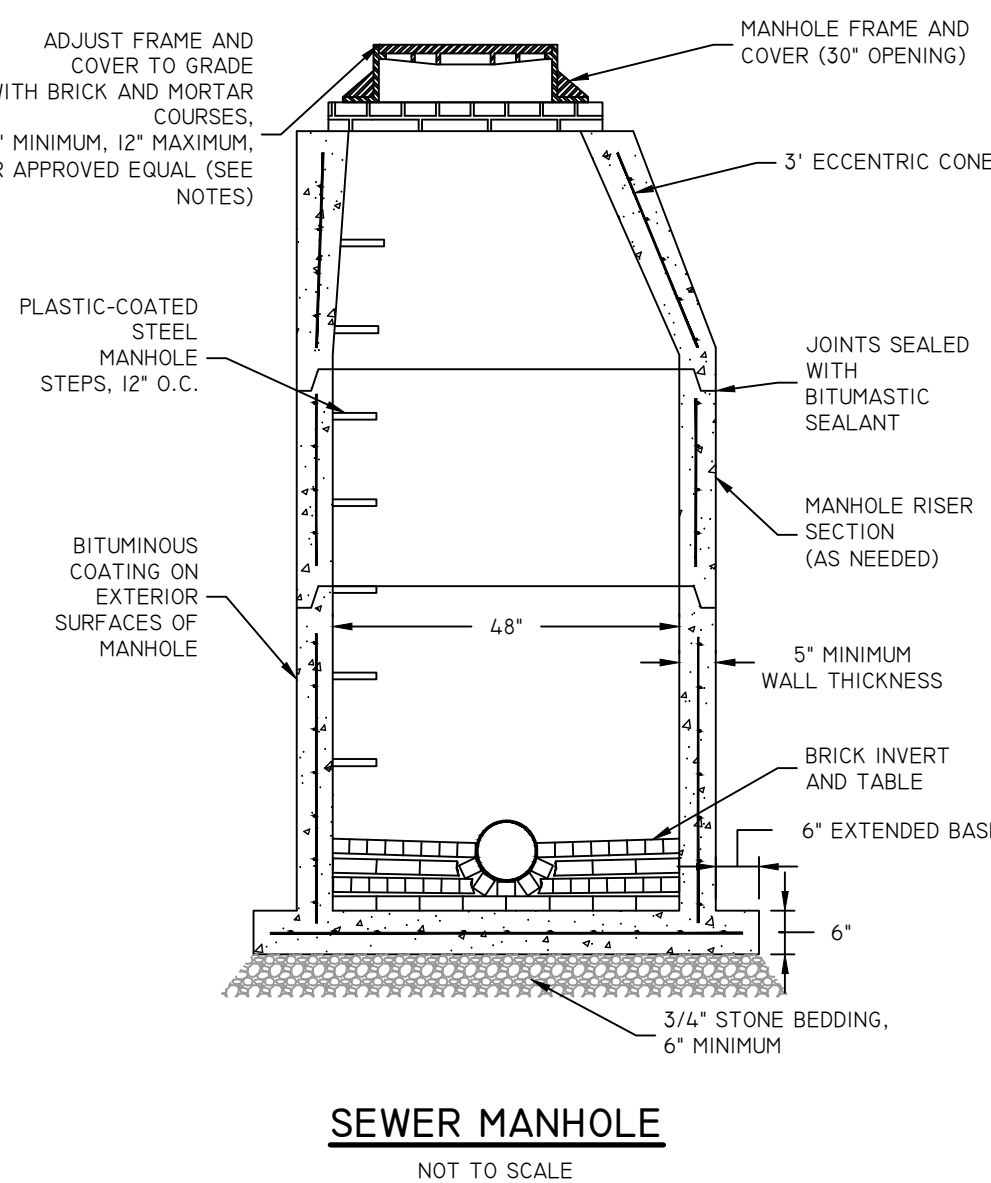


SEWER CLEANOUT



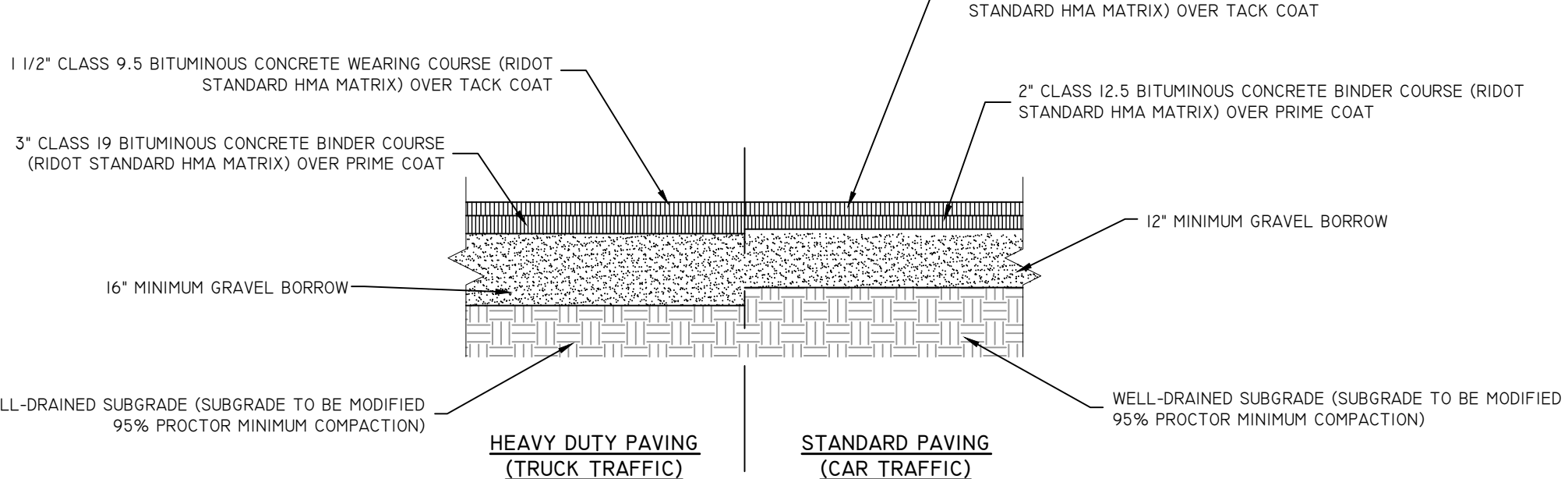
WATER-TIGHT SEWER MANHOLE FRAME & COVER DETAIL
NOT TO SCALE

- NOTES:
1. MANHOLE SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM-C478.
 2. INVERT AND TABLE SHALL CONSIST ENTIRELY OF BRICK AND MORTAR. NO SAND FILLER SHALL BE ALLOWED.
 3. MANHOLES SHALL BE VACUUM TESTED PRIOR TO ACCEPTANCE, IN ACCORDANCE WITH THE SEWER AUTHORITY SANITARY RULES AND REGULATIONS. UNDER NO CIRCUMSTANCES WILL EXFILTRATION TESTING BE ACCEPTED.
 4. BOLTED AND GASKETED COVERS SHALL BE USED ON MANHOLES IN OFF-ROAD AREAS.
 5. TAPPING OF MANHOLES MUST BE AUTHORIZED AND INSPECTED BY THE SEWER AUTHORITY. THE ONLY APPROVED METHOD FOR TAPPING MANHOLES SHALL BE BY CORE-DRILLING THE MANHOLE AND INSTALLING A \"KOR-N-SEAL\" BOOT.
 6. PRECAST CONCRETE GRADE RINGS, HOPE GRADE RINGS, OR OTHER RIM ADJUSTMENT PRODUCTS MAY BE USED IN LIEU OF BRICK AND MORTAR WITH THE PERMISSION OF THE SEWER AUTHORITY.

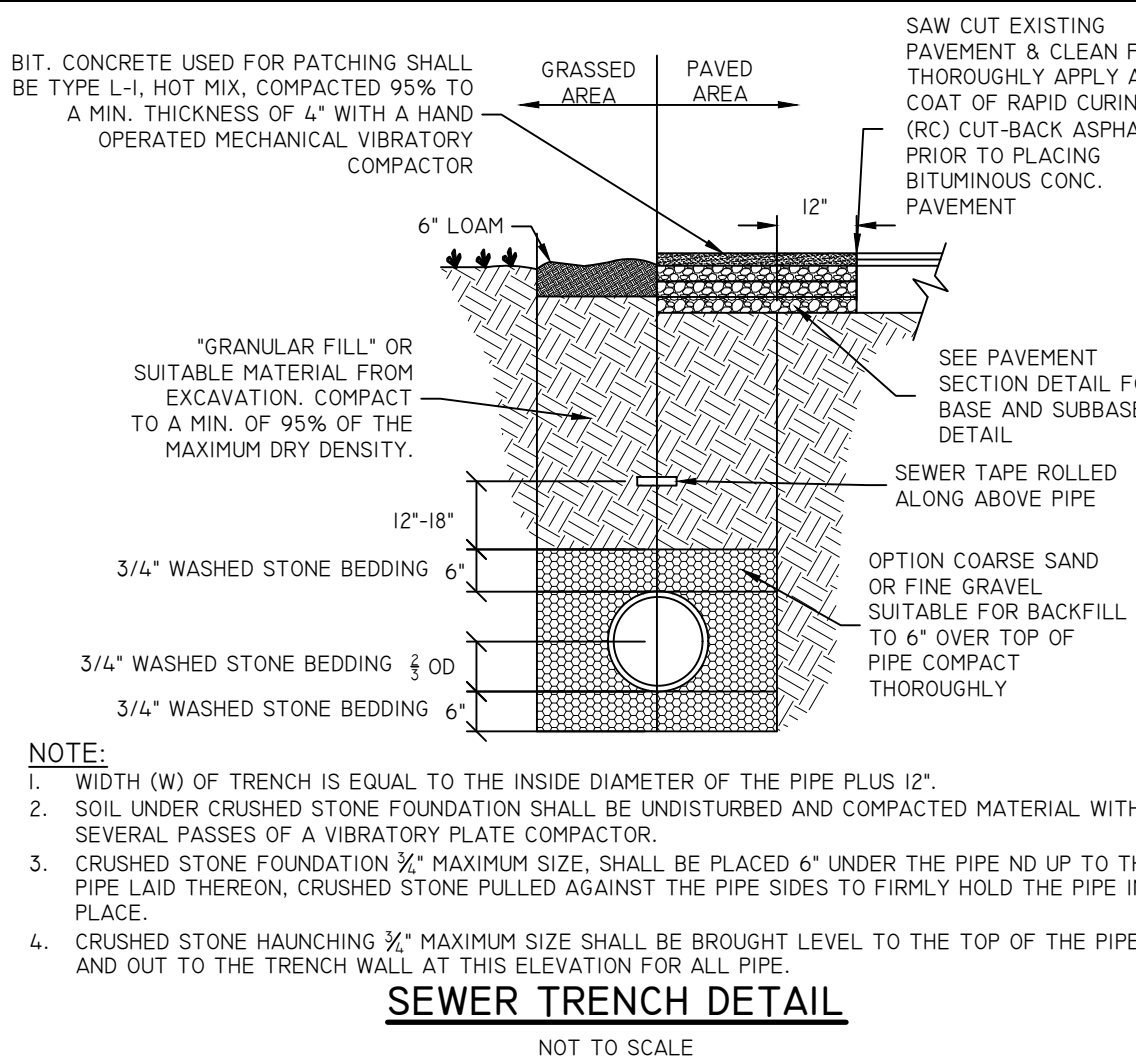


SEWER MANHOLE

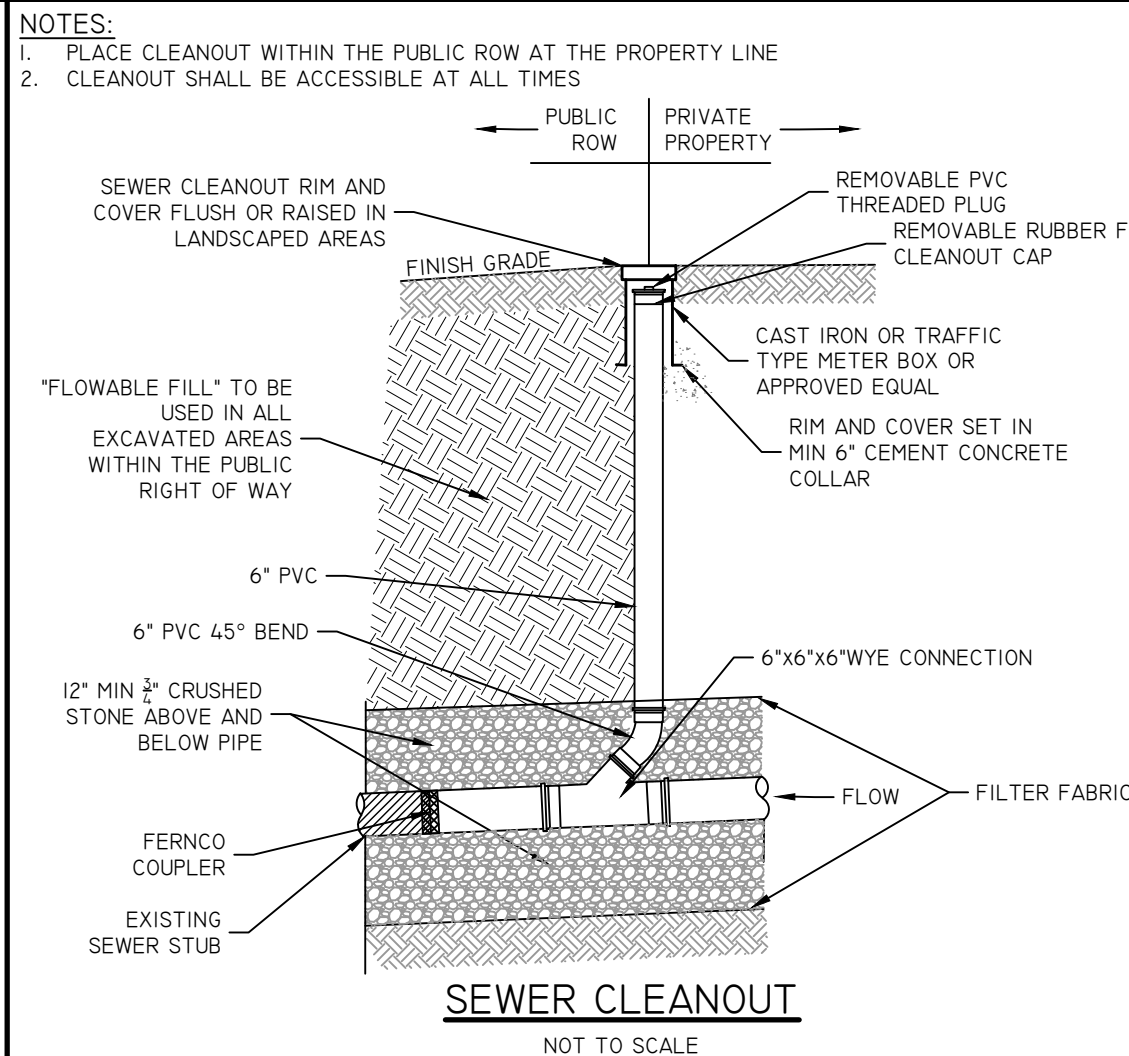
NOTE:
THIS PAVEMENT SECTION DETAIL REFLECTS ASSUMED MINIMUM REQUIREMENTS WITHOUT GEOTECHNICAL EVALUATION. FINAL DESIGN TO BE BASED ON GEOTECHNICAL DATA OF SPECIFIC PROJECT AND DAILY TRAFFIC DESIGN REQUIREMENTS.



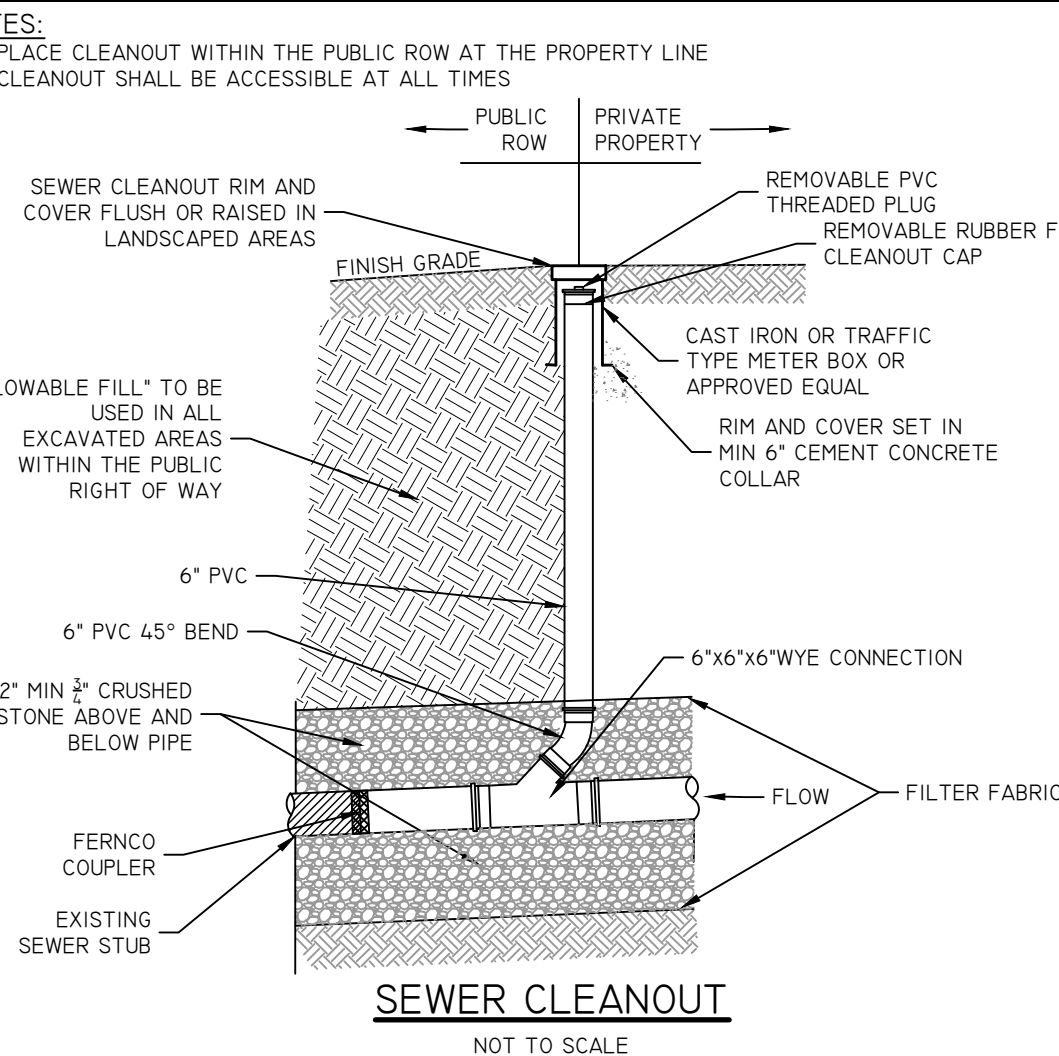
TYPICAL PAVEMENT SECTION



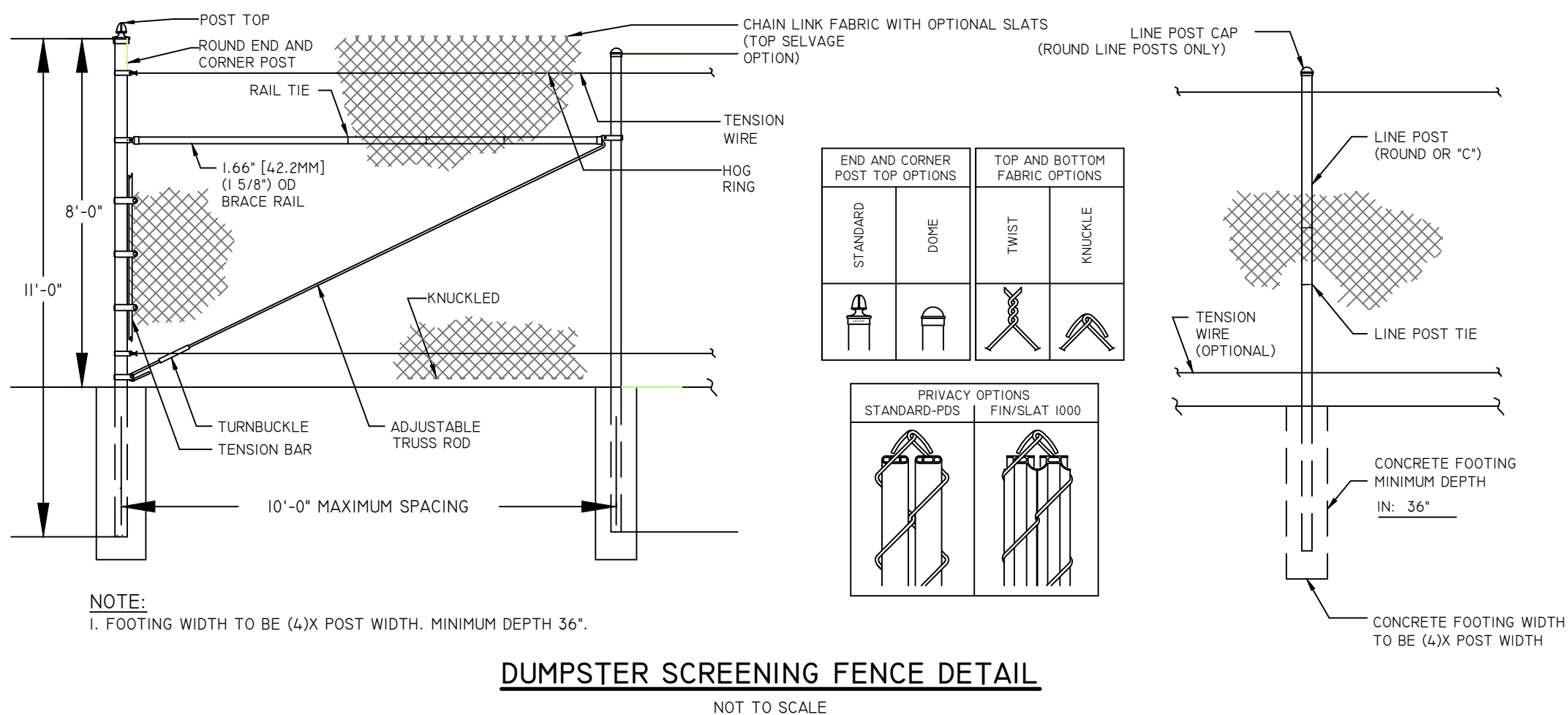
SEWER TRENCH DETAIL



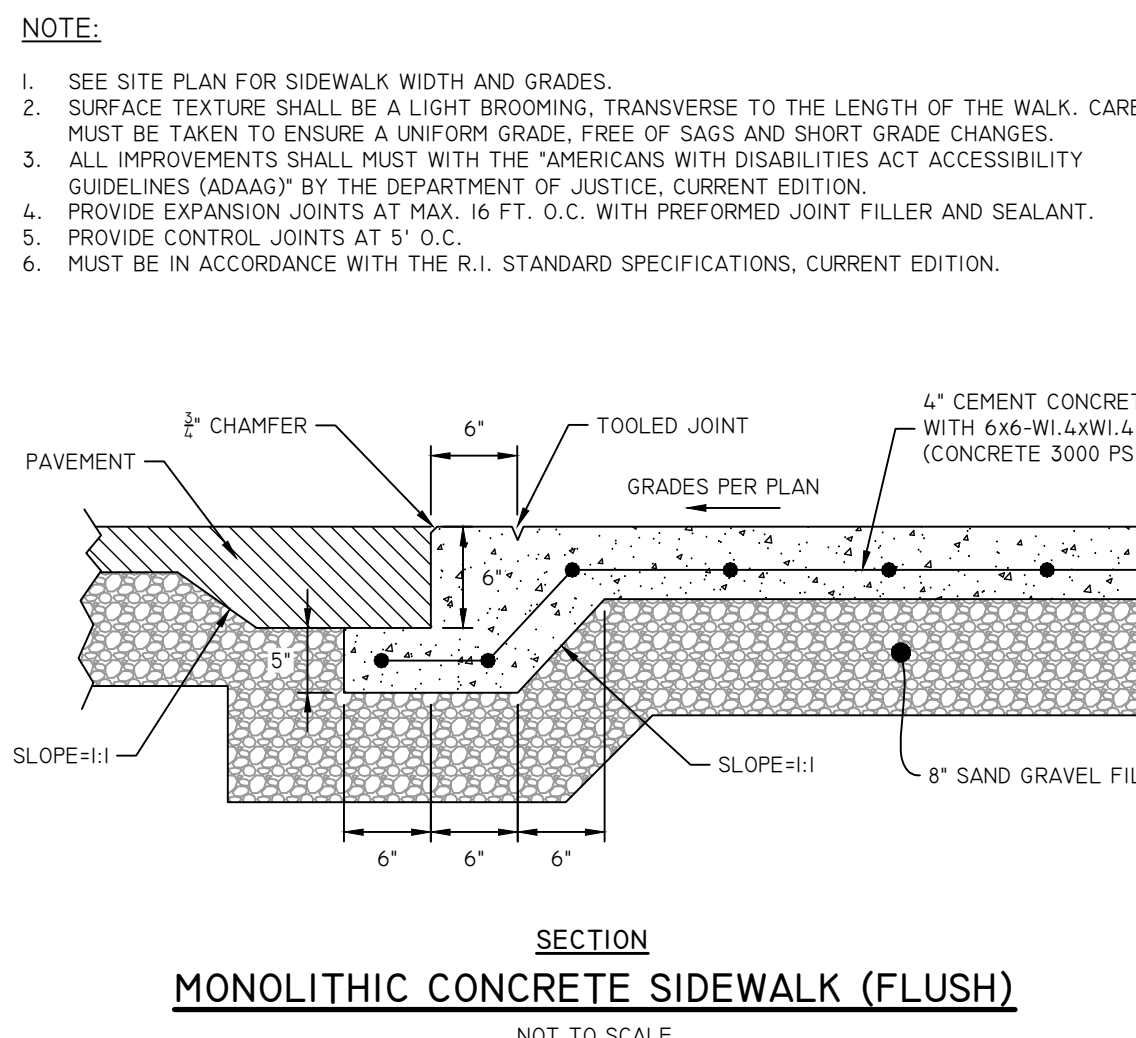
MONOLITHIC CONCRETE SIDEWALK (FLUSH)



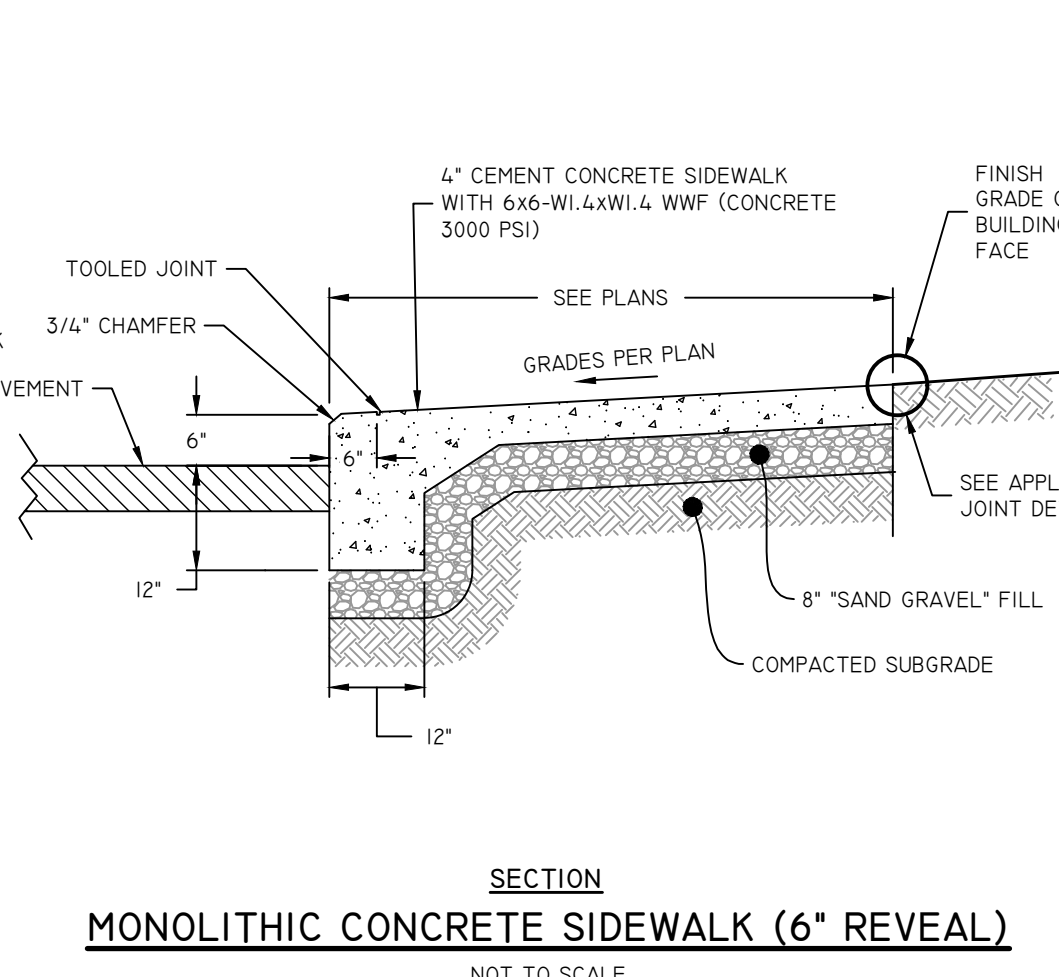
MONOLITHIC CONCRETE SIDEWALK (6\"/>



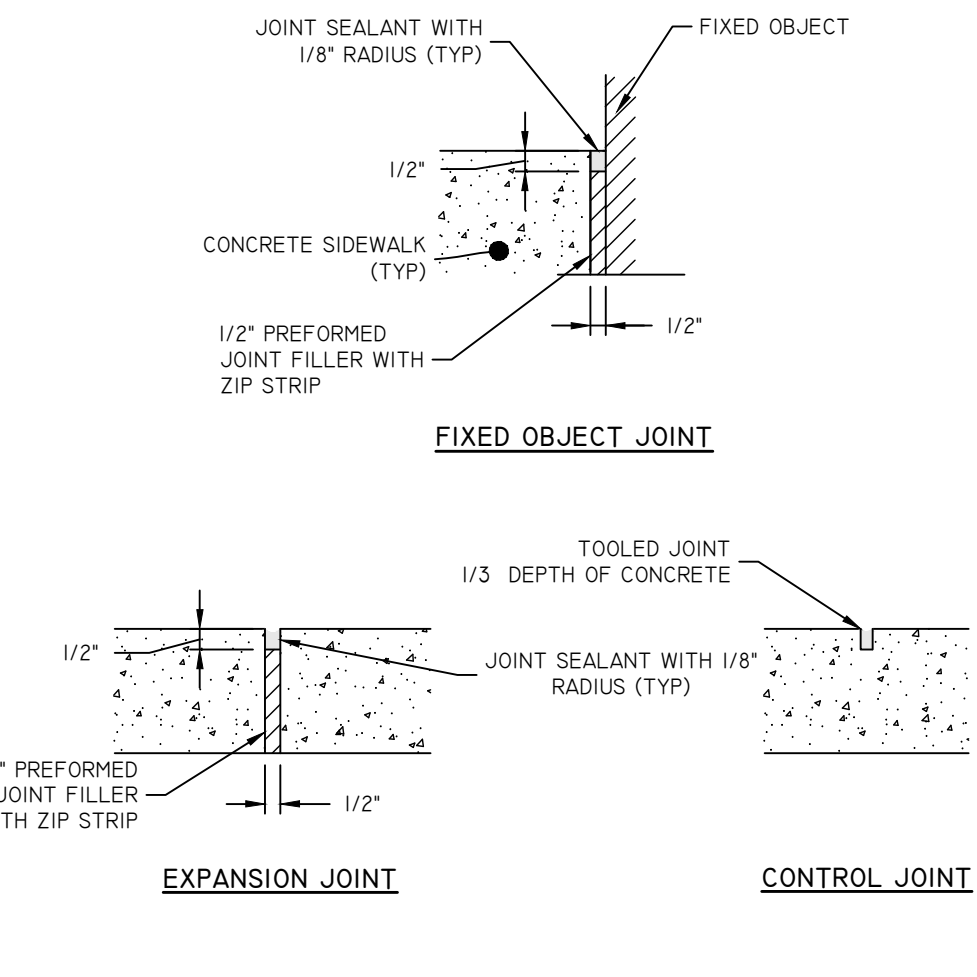
DUMPSTER SCREENING FENCE DETAIL



MONOLITHIC CONCRETE SIDEWALK (FLUSH)

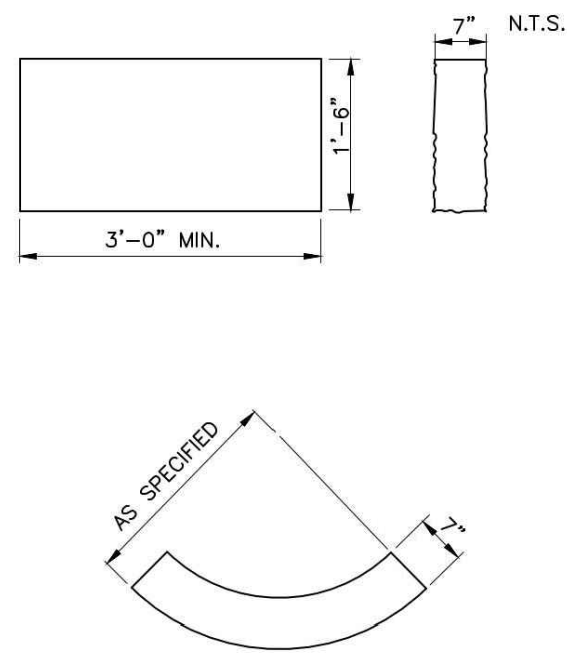


MONOLITHIC CONCRETE SIDEWALK (6\"/>



EXPANSION JOINT

CONTROL JOINT

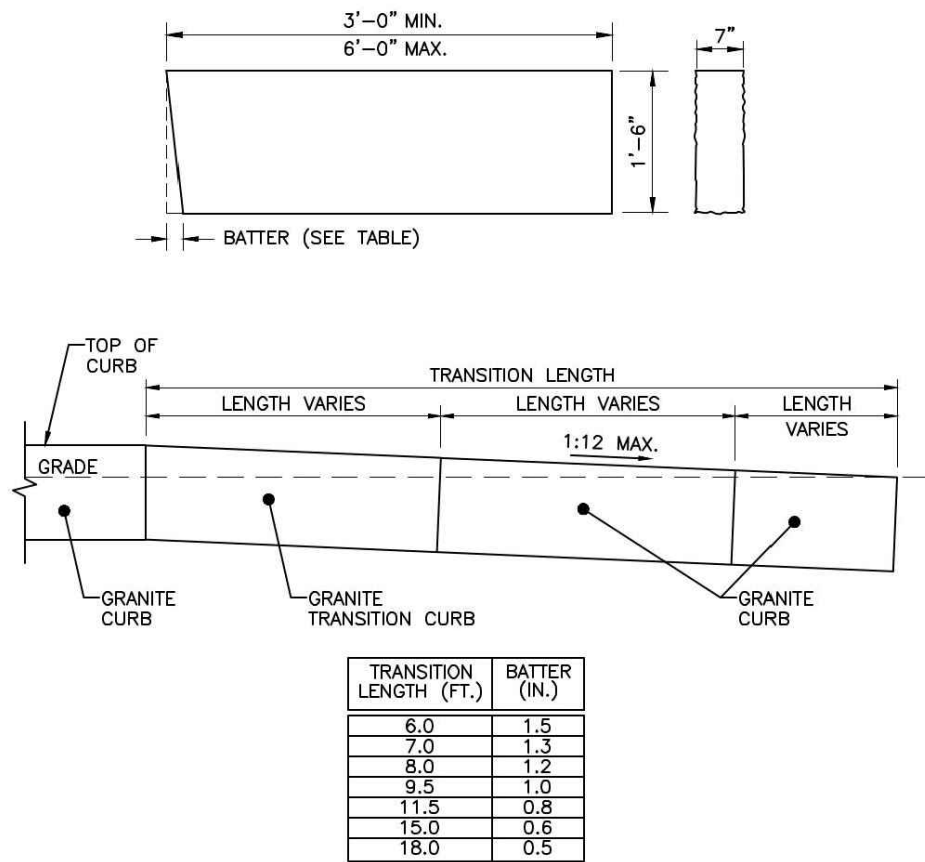


- NOTE:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE RI STANDARD SPECIFICATIONS.
 2. TOP SURFACE TO BE DRESSED BY SAW. REMAINDER TO BE SAWCUT OR QUARRY SPLIT.
 3. MINIMUM LENGTH OR CIRCULAR PIECES TO BE 3'-0".
 4. CIRCULAR CURB IS REQUIRED ON CURVES AS INDICATED. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0" RADIUS.
 5. CURB TO BE SET PER PROVIDENCE CURB SETTING DETAIL.

GRANITE CURB - STRAIGHT AND CIRCULAR
N.T.S.

7.3.0 P
PROVIDENCE
STANDARD

ISSUE DATE: 1/6/17

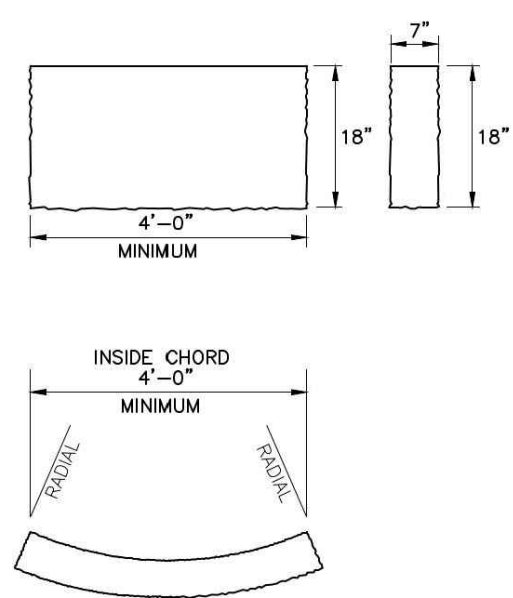


- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. THE CONTRACTOR MAY CUT EXISTING CURB SECTIONS AS REQUIRED TO MEET THIS DETAIL AND THE R.I. STANDARD SPECIFICATIONS, WHERE OLD CURBING IS BEING REUSED.
 3. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR CURB FILLER PIECES TO BE 3'-0" (GREATER LENGTHS PREFERRED).
 4. TOP SURFACE TO BE DRESSED BY SAW. REMAINDER TO BE SAWCUT OR QUARRY SPLIT.
 5. CURB TO BE SET PER PROVIDENCE CURB SETTING DETAIL.

GRANITE WHEELCHAIR RAMP
TRANSITION CURB
N.T.S.

7.3.3 P
PROVIDENCE
STANDARD

ISSUE DATE: 1/6/17

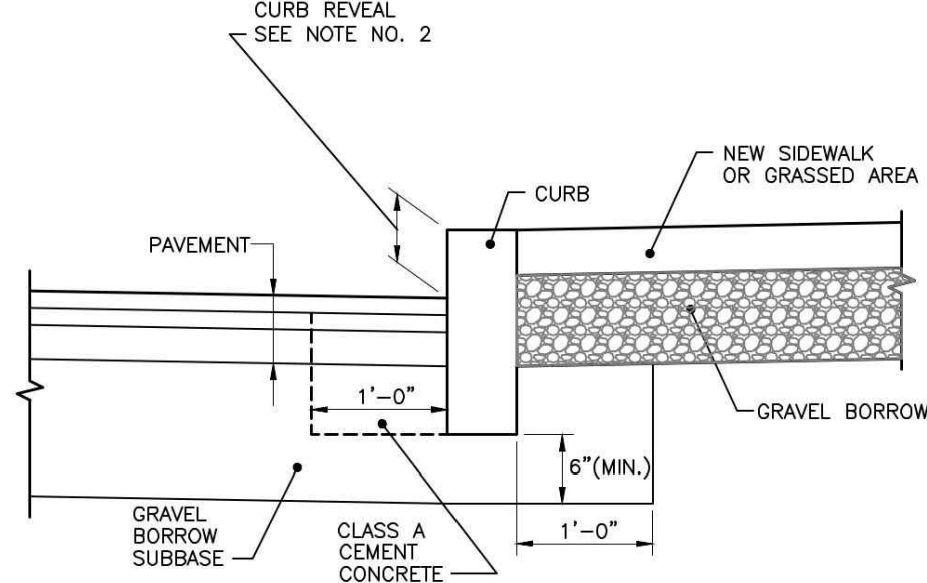


- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. TOP SURFACE TO BE DRESSED BY SAW TO PROVIDE NO-SLIP SURFACE; REMAINDER MAY BE QUARRY SPLIT.
 3. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR CURB FILLER PIECES TO BE 4'-0".
 4. CIRCULAR RAMP STONE IS REQUIRED ON CURVES AS INDICATED. STRAIGHT RAMP STONE TO BE USED ON CURVES OF MORE THAN 160'-0" RADIUS.
 5. RAMP STONE SHALL BE SET IN ACCORDANCE WITH PROVIDENCE CURB SETTING STANDARD.

GRANITE RAMP STONE
N.T.S.

7.3.9 P
PROVIDENCE
STANDARD

ISSUE DATE: 1/6/17

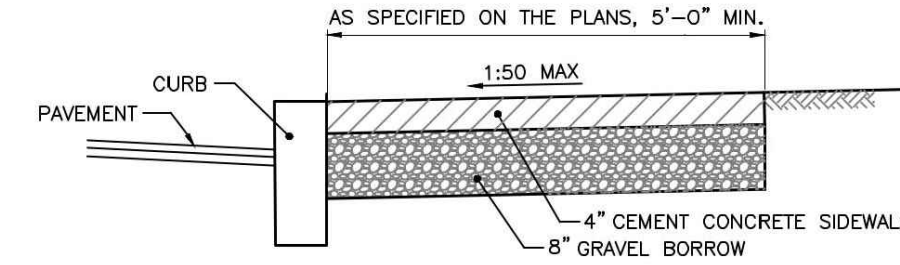


- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. NEW CURBING CONSTRUCTION SHALL BE SET AT A 6 INCH REVEAL OR AS INDICATED ON PLANS OR DIRECTED BY PROVIDENCE DPW. NEW CURBING INSTALLED ADJACENT TO EXISTING CURBING SHALL MATCH THE EXISTING REVEAL, OR A MINIMUM OF 4 INCHES, WHICHEVER IS GREATER. IF ADJACENT EXISTING REVEAL IS LESS THAN 4 INCHES, THE FIRST SECTION OF NEW CURB SHALL TRANSITION TO 4" REVEAL.

CURB SETTING DETAIL
N.T.S.

7.6.0 P
PROVIDENCE
STANDARD

ISSUE DATE: 1/6/17

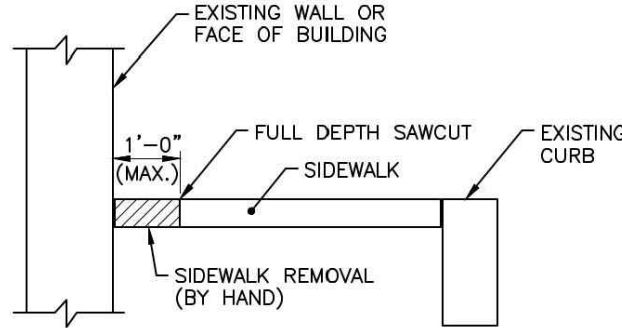


- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. SEE CURB SETTING DETAIL WHERE APPLICABLE.
 3. RUNNING SLOPE OF SIDEWALK SHALL NOT EXCEED 8.3% (1:12). TYPICALLY, RUNNING SLOPE SHALL MATCH ROAD SLOPE.
 4. CROSS SLOPE OF SIDEWALK SHALL NOT EXCEED 2% (1:50).
 5. SIDEWALK MAY BE SUBJECT TO GRASS STRIP INSTALLATION. CONSULT WITH DPW ENGINEERING.
 6. GRAVEL BORROW BASE SHALL COMPACT TO ACHIEVE SOIL DENSITY VALUES OF 95% MODIFIED PROCTOR DENSITY (AASHTO T180).
 7. SIDEWALK REPAIRS TWENTY FEET OR LONGER ARE SUBJECT TO REQUIREMENTS HEREIN. SIDEWALK REPAIRS SHORTER THAN TWENTY FEET SHALL MAKE EVERY EFFORT TO MEET REQUIRED SLOPES.
 8. CONTROLL JOINTS SHALL BE INSTALLED EVERY 5 FEET IN EACH DIRECTION.
 9. EXPANSION JOINTS SHALL BE INSTALLED EVERY 20 FEET IN EACH DIRECTION AT FOUNDATIONS AND WALLS AND IN A SQUARE PATTERN AROUND MANHOLE COVERS, HYDRANTS, SIGN POSTS AND UTILITY POLES. THE EXPANSION JOINT SHALL BE THE FULL DEPTH OF THE SIDEWALK AND FILLED WITH AN APPROVED TYPE OF PREMOLDED EXPANSION JOINT FILLER.

CEMENT CONCRETE SIDEWALK
N.T.S.

45.1.0 P
PROVIDENCE
STANDARD

ISSUE DATE: 1/6/17

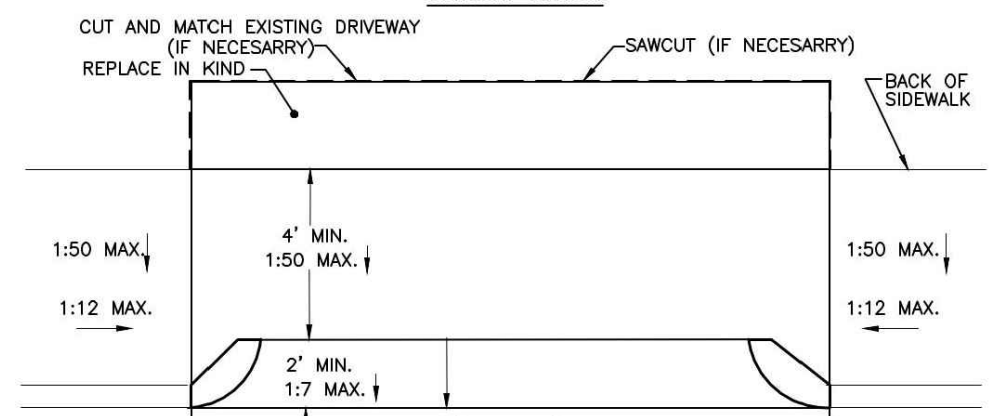
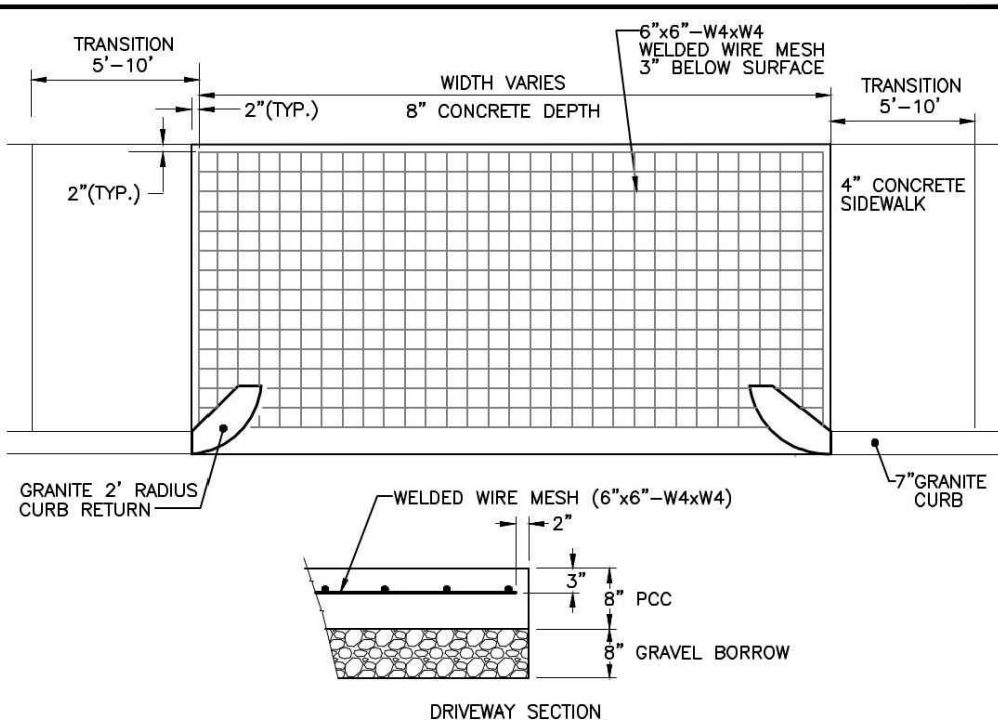


- NOTES:
1. IN AREAS WHERE SIDEWALKS ARE TO BE REMOVED IN FRONT OF EXISTING WALLS OR BUILDINGS, THE CONTRACTOR SHALL SAWCUT ONE(1) FOOT (MAXIMUM) IN FRONT OF THE WALL/BUILDING AND REMOVE THE SIDEWALK STRUCTURE BY HAND.
 2. IN THE EVENT THAT THE EXISTING SIDEWALK IS A STRUCTURAL ELEMENT OF THE WALL/BUILDING, THE EXISTING SIDEWALK IN FRONT OF THESE STRUCTURES WILL REMAIN IN-PLACE AND A NEW SIDEWALK CONSTRUCTED TO MATCH THE EXISTING SECTION.
 3. ANY DAMAGE TO THE WALL OR BUILDING BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE CITY.

SIDEWALK REMOVAL DETAIL
N.T.S.

43.1.1 P
PROVIDENCE
STANDARD

ISSUE DATE: 1/6/17

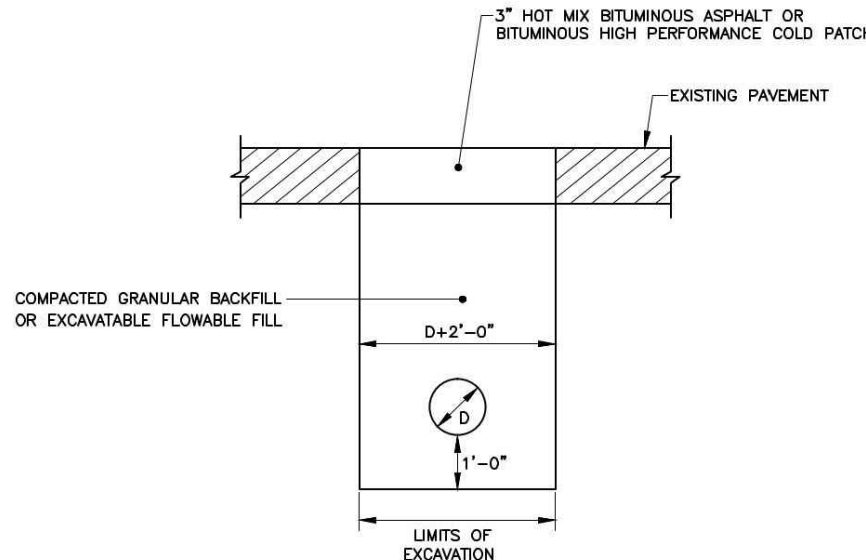


- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE RIOT STANDARD SPECIFICATIONS.
 2. RUNNING SLOPE OF SIDEWALK/DRIVEWAY SHALL NOT EXCEED 8.3% (1:12).
 3. 4" MINIMUM ACCESSIBLE PATH SHALL BE INSTALLED WITH CROSS SLOPE NOT EXCEEDING 2% (1:50).
 4. RESIDENTIAL CURB CUTS SHALL BE NO WIDER THAN 12" FROM INSIDE OF CURB RETURNS.

CEMENT CONCRETE DRIVEWAYS
N.T.S.

43.5.0 P
PROVIDENCE
STANDARD

ISSUE DATE: 1/6/17, REVISED 10/6/17

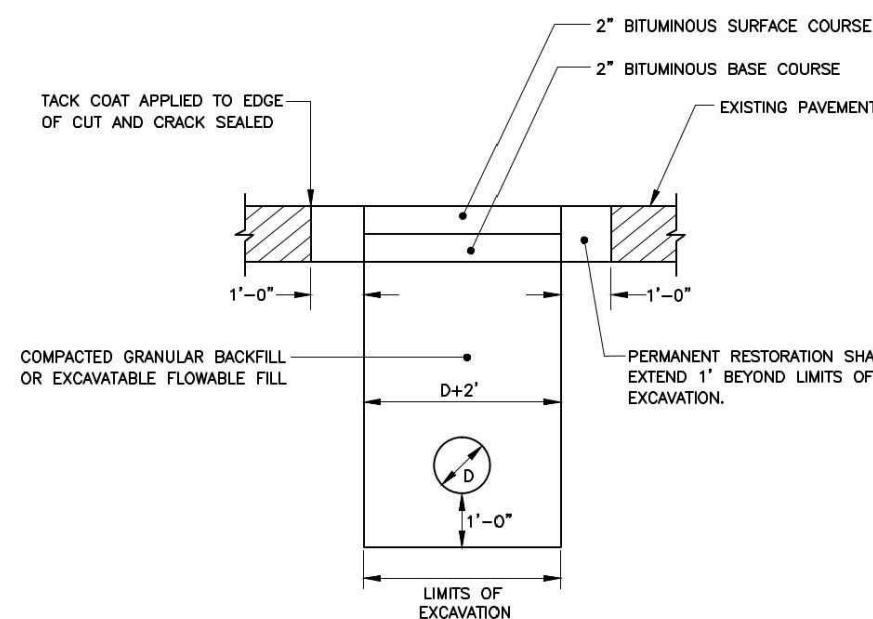


- NOTES:
1. BITUMINOUS CONCRETE SHALL ADHERE TO RIOT STANDARD SPECIFICATIONS, SECTION 401.
 2. GRANULAR BASE MATERIAL SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR DENSITY (AASHTO T180), AND SHALL ADHERE TO RIOT STANDARD SPECIFICATIONS, SECTION 301.
 3. EXCAVABLE FLOWABLE FILL (CONTROLLED DENSITY FILL, CDF) SHALL ADHERE TO RIOT STANDARD SPECIFICATIONS, SECTION 603.
 4. ANY TEMPORARY PATCH INSTALLED PRIOR TO SEPTEMBER 1 IN ANY YEAR SHALL BE MAINTAINED BY THE PERMITTEE UNTIL A PERMANENT PATCH CAN BE INSTALLED, NO LATER THAN JUNE 15.
 5. IF TEMPORARY PATCH IS INSTALLED, PERMITTEE MAY ALLOW NO MORE THAN 45 DAYS FOR SETTLING BEFORE PERMANENT RESTORATION. THE PERMITTEE SHALL BE RESPONSIBLE TO MAINTAIN TEMPORARY ROADWAY RESTORATIONS IN A SAFE CONDITION FOR ALL TYPES OF TRAVEL UNTIL A PERMANENT PAVEMENT REPAIR HAS BEEN MADE. TO ENSURE PROPER MAINTENANCE, THE PERMITTEE SHALL PERFORM PERIODIC INSPECTION OF EACH TEMPORARY PATCH UNTIL IT IS REPLACED WITH A PERMANENT PATCH.

TEMPORARY ROADWAY RESTORATION
N.T.S.

60.1.0 P
PROVIDENCE
STANDARD

ISSUE DATE: 1/6/17

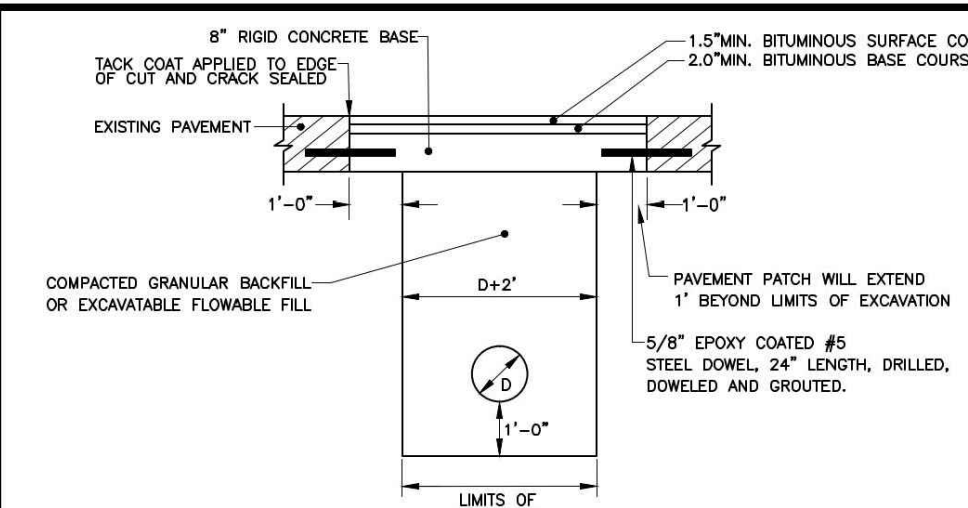


- NOTES:
1. BITUMINOUS CONCRETE SHALL ADHERE TO RIOT SPECIFICATIONS, SECTION 401.
 2. GRANULAR BASE MATERIAL SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR DENSITY (AASHTO T180). GRAVEL BASE COURSE SHALL ADHERE TO RIOT SPECIFICATIONS, SECTION 301.
 3. EXCAVABLE FLOWABLE FILL (CONTROLLED DENSITY FILL, CDF) SHALL ADHERE TO 95% OF THE MODIFIED PROCTOR DENSITY (AASHTO T180), ADHERING TO RIOT SPECIFICATIONS, SECTION 603.
 4. PRIOR TO PERMANENT RESTORATION, ALL EDGES OF THE EXCAVATED AREA AND ONE FOOT BEYOND SHALL BE SAWCUT TO A CLEAN, SQUARE EDGE.
 5. IF EXCAVATION IS ON A PROTECTED STREET, THE REMAINING ROADWAY OUTSIDE THE TRENCH TO THE NEAREST CURB SHALL BE MAINTAINED 1.5 INCHES WITH 1.5 INCH BITUMINOUS CONCRETE SURFACE OVERLAY. THE JOINTS SHALL BE SEALED USING INPAVED TECHNOLOGY. THE LENGTH OF THE NEW PAVED AREA MUST BE A MINIMUM OF 10 FEET TO ALLOW FOR PROPER ROLLING.
 6. IF EXCAVATION IS ON A NON-PROTECTED STREET, AND THE DISTANCE FROM EDGE OF EXCAVATION TO EDGE OF ROADWAY IS TWO FEET OR LESS, THE REMAINING AREA TO EDGE OF ROADWAY SHALL BE REMOVED AND REPLACED IN CONJUNCTION WITH THE PERMANENT PAVEMENT RESTORATION.

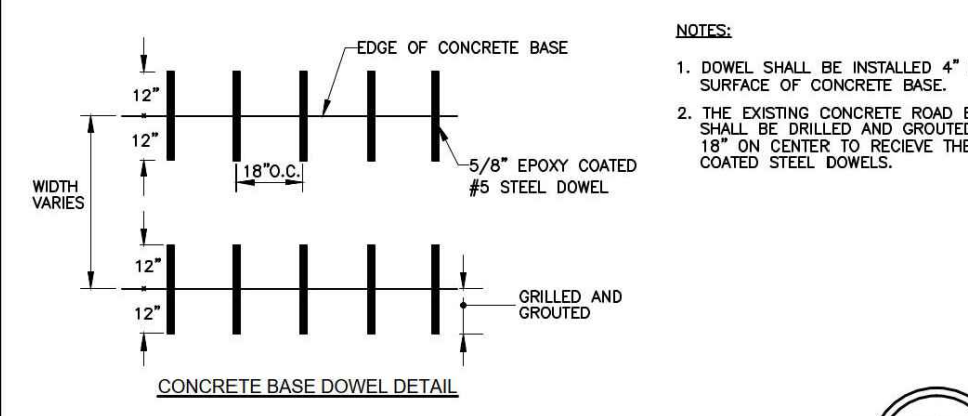
PERMANENT ROADWAY RESTORATION - GRANULAR BASE
N.T.S.

60.3.0 P
PROVIDENCE
STANDARD

ISSUE DATE: 1/6/17



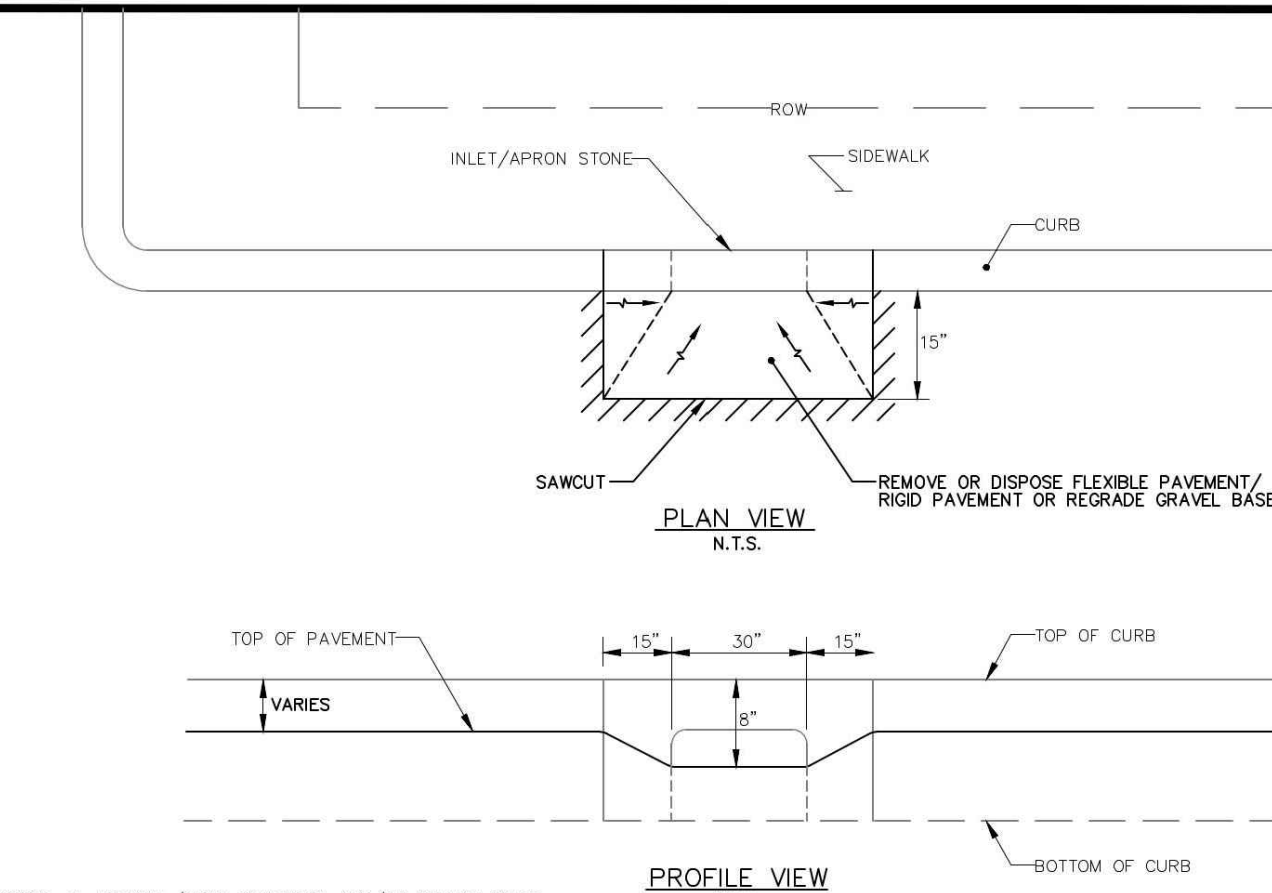
- NOTES:
1. CONCRETE ROAD BASE MUST BE RESTORED TO THE EXISTING DEPTH OR A MINIMUM OF 8 INCHES. A MINIMUM OF 24 INCHES OF BITUMINOUS CONCRETE SURFACE COURSE MEETING RIOT SPECIFICATIONS, SECTION 401 SHALL BE PLACED OVER BASE.
 2. 8 INCH RIGID CONCRETE BASE SHALL BE TYPE XX (26 DRY - 4000 PSI) PER RIOT SPECIFICATIONS, SECTION 601.
 3. PRIOR TO PERMANENT RESTORATION, ALL EDGES OF THE EXCAVATED AREA AND ONE FOOT BEYOND SHALL BE SAWCUT TO A CLEAN, SQUARE EDGE.
 4. GRANULAR SUBGRADE MATERIAL SHALL BE COMPACTED TO 95% OF THE MODIFIED PROCTOR DENSITY (AASHTO T180), MEETING RIOT SPECIFICATIONS, SECTION 301.
 5. EXCAVABLE FLOWABLE FILL (CONTROLLED DENSITY FILL, CDF) SHALL ADHERE TO RIOT SPECIFICATIONS, SECTION 603.
 6. IF EXCAVATION IS ON A PROTECTED STREET, THE REMAINING ROADWAY OUTSIDE THE TRENCH TO THE NEAREST CURB SHALL BE MAINTAINED 1.5 INCHES WITH 1.5 INCH BITUMINOUS CONCRETE SURFACE OVERLAY. THE JOINTS SHALL BE SEALED USING INPAVED TECHNOLOGY. THE LENGTH OF THE NEW PAVED AREA MUST BE A MINIMUM OF 10 FEET TO ALLOW FOR PROPER ROLLING.
 7. IF EXCAVATION IS ON A NON-PROTECTED STREET, AND THE DISTANCE FROM EDGE OF EXCAVATION TO EDGE OF ROADWAY IS TWO FEET OR LESS, THE REMAINING AREA TO EDGE OF ROADWAY SHALL BE REMOVED AND REPLACED IN CONJUNCTION WITH THE PERMANENT PAVEMENT RESTORATION.



PERMANENT ROADWAY RESTORATION - CONCRETE BASE
N.T.S.

60.3.0 P
PROVIDENCE
STANDARD

ISSUE DATE: 1/6/17



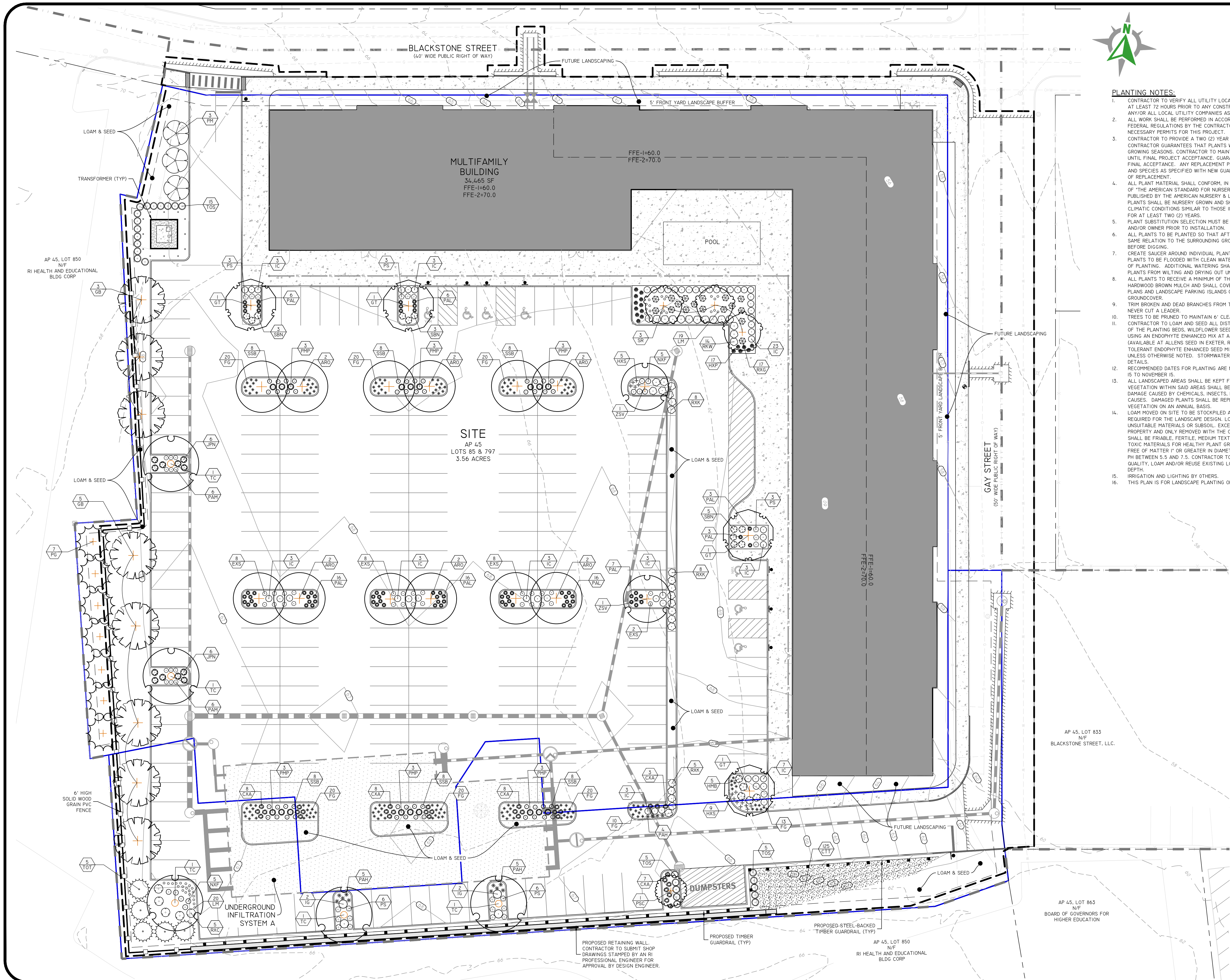
- NOTES:
1. FLEXIBLE/RIGID PAVEMENT AND/OR GRAVEL BASE SHALL BE GRADED TO DRAIN TO 8" BELOW THE TOP OF CURB.
 2. ITEMS SHALL BE PAID AT RESPECTIVE BID PRICES

INLET / APRON STONE REVEAL
N.T.S.

60.4.0 P
PROVIDENCE
STANDARD

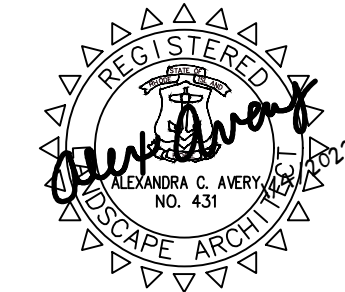
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Z:\CLIENT\PROJECTS\0425-05 BLACKSTONE STREET 220\AUTOCAD DRAWINGS\0425-05-LANDSCAPE.dwg PLOTTER: 16/2022



PLANTING NOTES:

- CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS BY NOTIFYING DIG-SAFE (811) AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION OR SITE PREPARATION AND ANY/OR ALL LOCAL UTILITY COMPANIES AS REQUIRED.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS BY THE CONTRACTOR. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THIS PROJECT.
- CONTRACTOR TO PROVIDE A TWO (2) YEAR GUARANTEE FOR ALL MATERIALS. CONTRACTOR GUARANTEES THAT PLANTS WILL REMAIN HEALTHY FOR TWO (2) GROWING SEASONS. CONTRACTOR TO MAINTAIN ALL PLANTING AND LAWNS UNTIL FINAL PROJECT ACCEPTANCE. GUARANTEE PERIOD TO COMMENCE AT FINAL ACCEPTANCE. ANY REPLACEMENT PLANTS SHALL BE OF THE SAME SIZE AND SPECIES AS SPECIFIED WITH NEW GUARANTEE COMMENCING ON THE DATE OF REPLACEMENT.
- ALL PLANT MATERIAL SHALL CONFORM, IN ALL RESPECTS, TO THE GUIDELINES OF "THE AMERICAN STANDARD FOR NURSERY STOCK," LATEST EDITION, PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, INC. ALL PLANTS SHALL BE NURSERY GROWN AND SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST TWO (2) YEARS.
- PLANT SUBSTITUTION SELECTION MUST BE APPROVED BY LANDSCAPE ARCHITECT AND/OR OWNER PRIOR TO INSTALLATION.
- ALL PLANTS TO BE PLANTED SO THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATION TO THE SURROUNDING GROUND AS TO THEIR ORIGINAL GRADE BEFORE DIGGING.
- CREATE SAUCER AROUND INDIVIDUAL PLANTS CAPABLE OF HOLDING WATER. ALL PLANTS TO BE FLOODED WITH CLEAN WATER TWICE WITHIN THE FIRST 24 HOURS OF PLANTING. ADDITIONAL WATERING SHALL BE MADE AS REQUIRED TO KEEP PLANTS FROM WILTING AND DRYING OUT UNTIL FINAL ACCEPTANCE.
- ALL PLANTS TO RECEIVE A MINIMUM OF THREE (3) INCHES OF AGED SHREDDED HARDWOOD BROWN MULCH AND SHALL COVER PLANTING BEDS AS SHOWN ON PLANS AND LANDSCAPE PARKING ISLANDS CONTAINING SHRUBS, GRASSES AND GROUNDCOVER.
- TRIM BROKEN AND DEAD BRANCHES FROM TREES AND SHRUBS AFTER PLANTING. NEVER CUT A LEADER.
- TREES TO BE PRUNED TO MAINTAIN 6' CLEARANCE BELOW LOWEST BRANCHES. CONTRACTOR TO LOAM AND SEED ALL DISTURBED LANDSCAPE AREAS OUTSIDE OF THE PLANTING BEDS. WILDFLOWER SEED AREA AND ROADSIDE SEED MIX USING AN ENDOPHYTE ENHANCED MIX AT A RATE OF 5-7 LBS. PER 1,000 SF (AVAILABLE AT ALLENS SEED IN EXETER, RI OR OTHER APPROVED DOUGHT TOLERANT ENDOPHYTE ENHANCED SEED MIX) OR AS DIRECTED BY TOWN/OWNER UNLESS OTHERWISE NOTED. STORMWATER SYSTEMS TO BE SEED PER POND DETAILS.
- RECOMMENDED DATES FOR PLANTING ARE MARCH 15 TO JUNE 15 AND SEPTEMBER 15 TO NOVEMBER 15.
- ALL LANDSCAPED AREAS SHALL BE KEPT FREE OF WEEDS AND DEBRIS. ALL VEGETATION WITHIN SAID AREAS SHALL BE MAINTAINED FREE OF PHYSICAL DAMAGE CAUSED BY CHEMICALS, INSECTS, DISEASES, LACK OF WATER OR OTHER CAUSES. DAMAGED PLANTS SHALL BE REPLACED WITH THE SAME OR SIMILAR VEGETATION ON AN ANNUAL BASIS.
- LOAM MOVED ON SITE TO BE STOCKPILED AND RETAINED AND TO BE USED AS REQUIRED FOR THE LANDSCAPE DESIGN. LOAM SHALL NOT BE MIXED WITH ANY UNSUITABLE MATERIALS OR SUBSOIL. EXCESS LOAM TO REMAIN ON THE OWNER'S PROPERTY AND ONLY REMOVED WITH THE OWNER'S PERMISSION. NEW LOAM SHALL BE FRIABLE, FERTILE, MEDIUM TEXTURED SANDY LOAM THAT IS FREE OF TOXIC MATERIALS FOR HEALTHY PLANT GROWTH AND SURVIVAL. LOAM SHALL BE FREE OF MATTER 1" OR GREATER IN DIAMETER AND WHEN TESTED SHALL HAVE A PH BETWEEN 5.5 AND 7.5. CONTRACTOR TO PROVIDE 8 INCHES OF GOOD QUALITY, LOAM AND/OR REUSE EXISTING LOAM TO PROVIDE A MINIMUM 6 INCH DEPTH.
- IRRIGATION AND LIGHTING BY OTHERS.
- THIS PLAN IS FOR LANDSCAPE PLANTING ONLY.



THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED AND SIGNED BY A PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.

DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIRECT BASIS TO THE CLIENT. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE NECESSARY CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ONLY DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

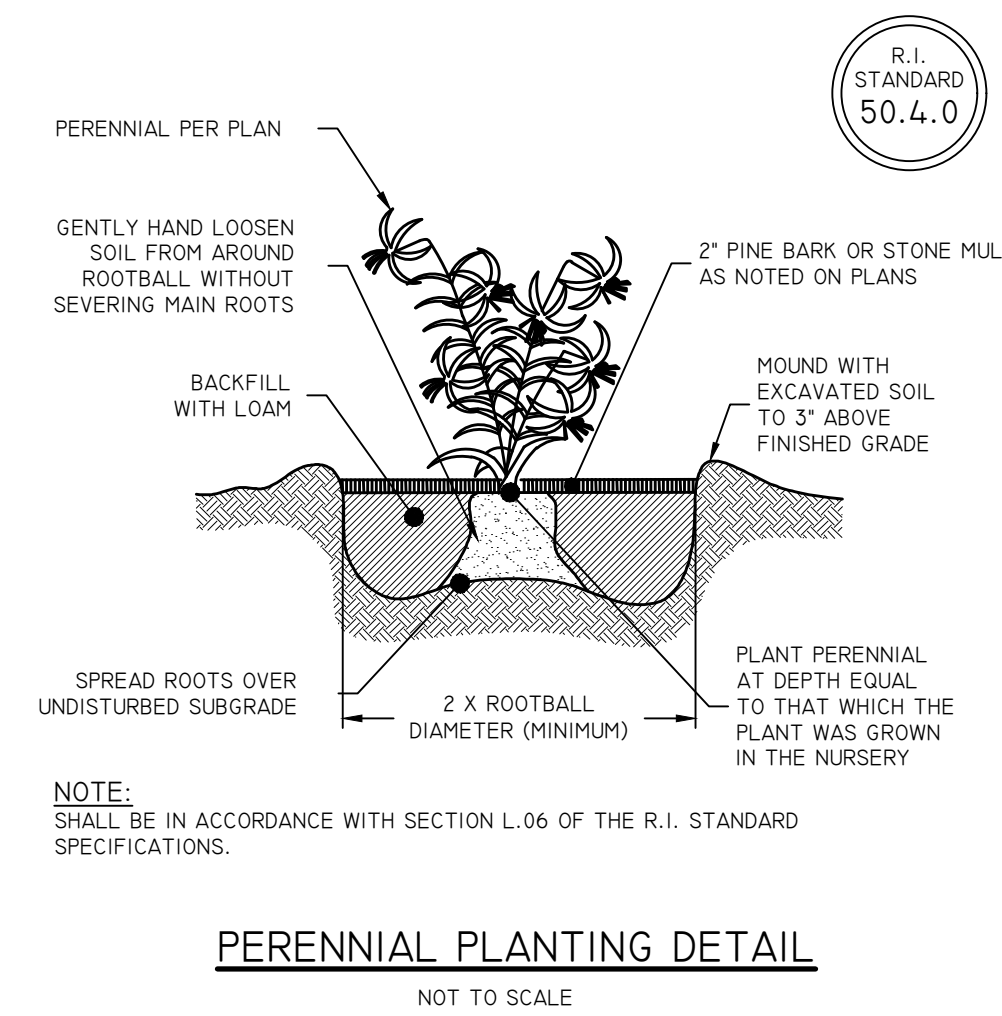
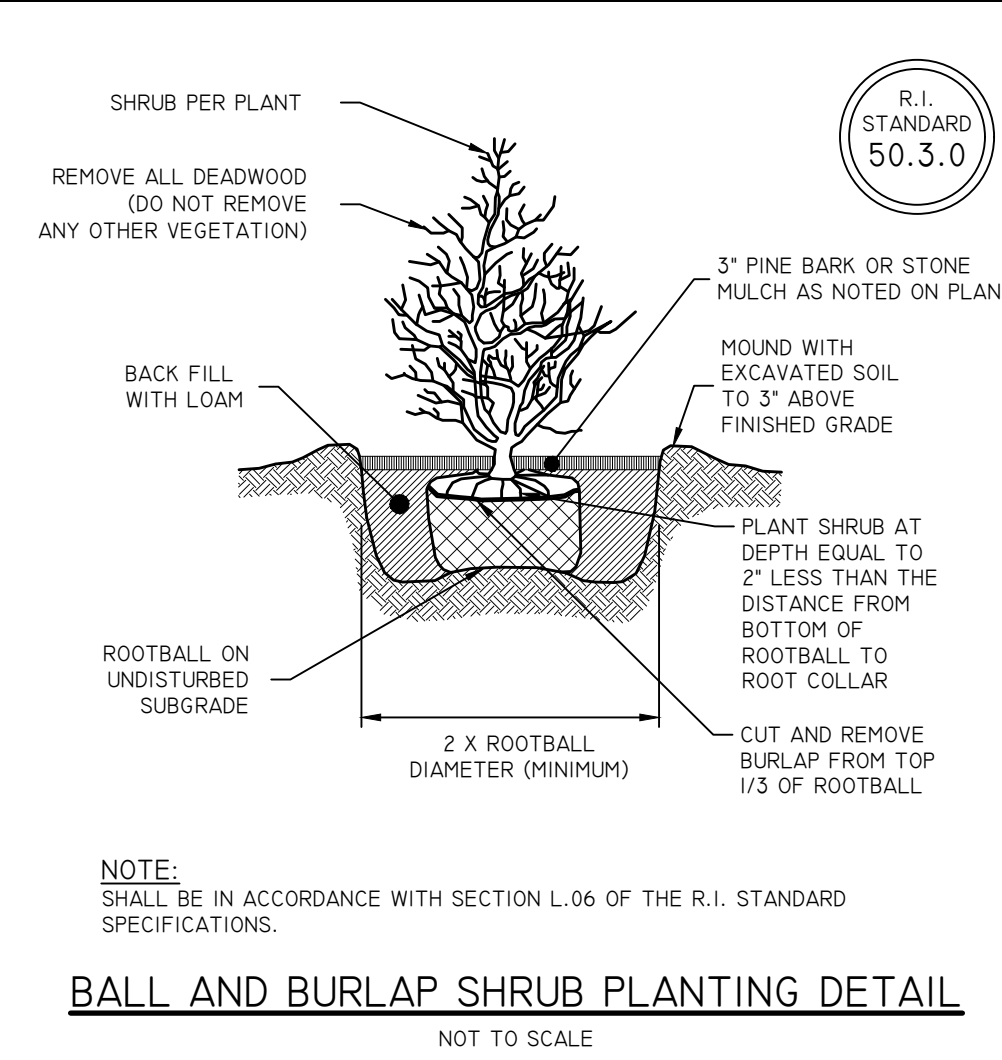
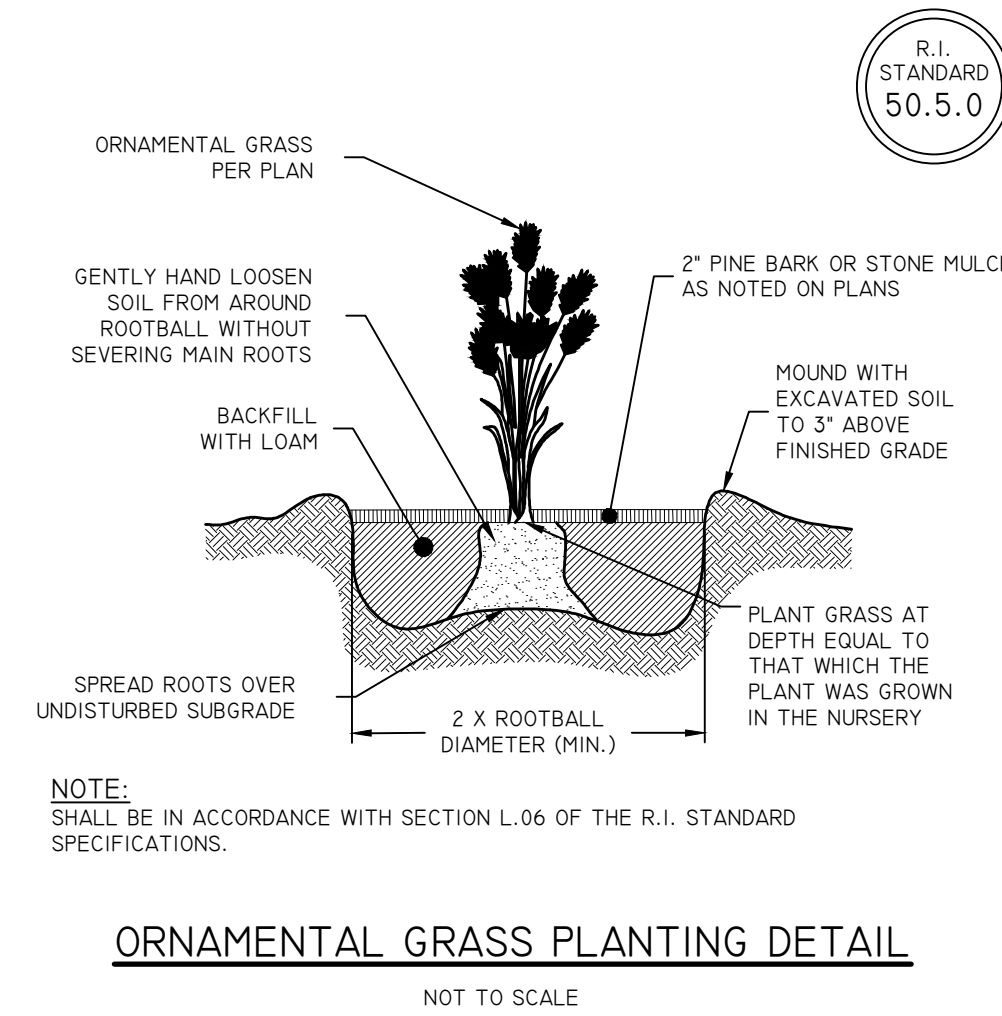
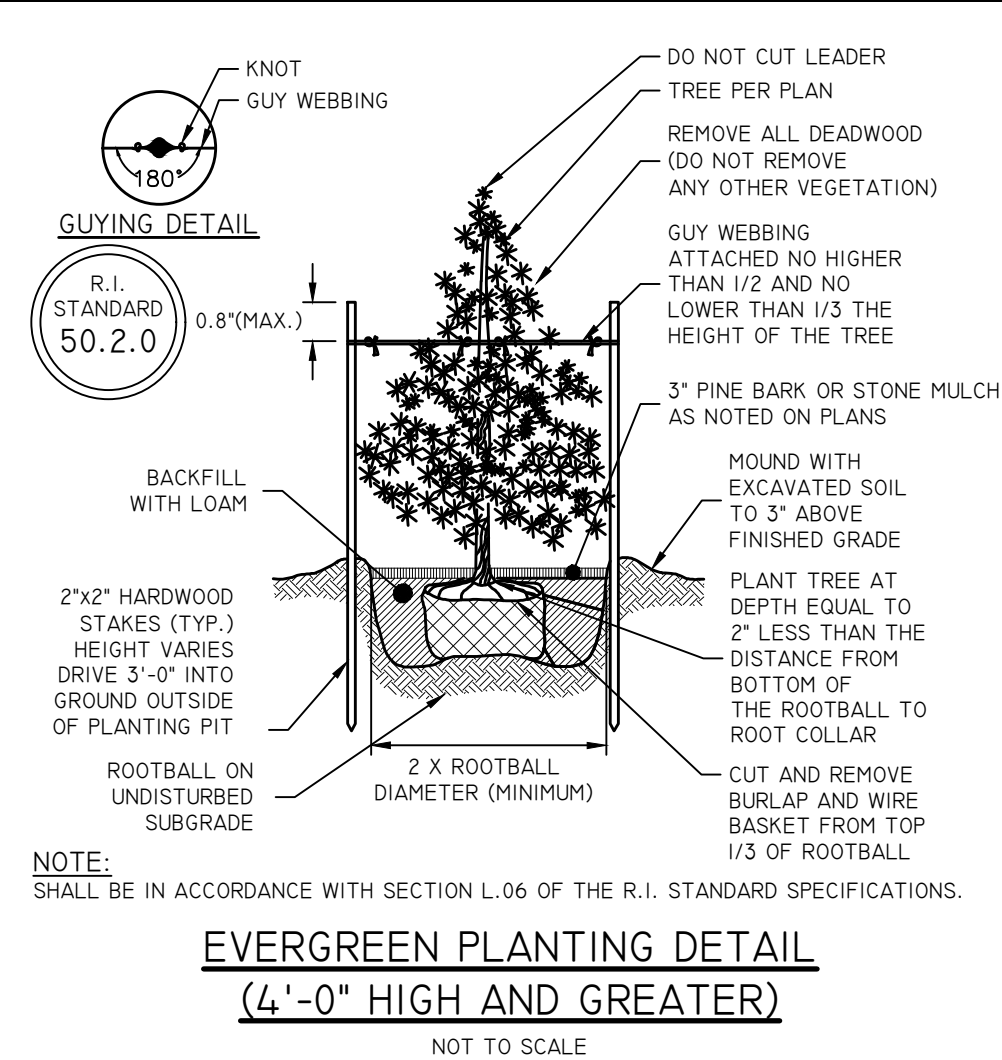
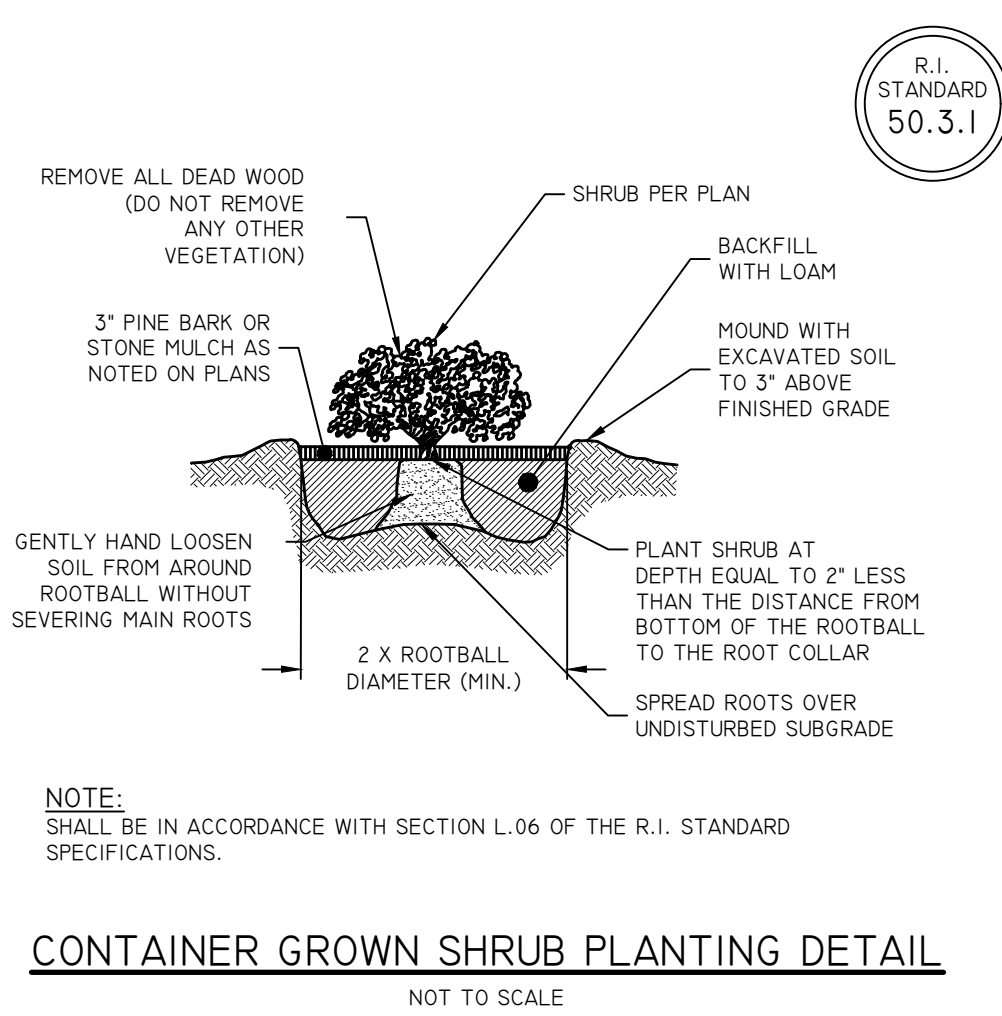
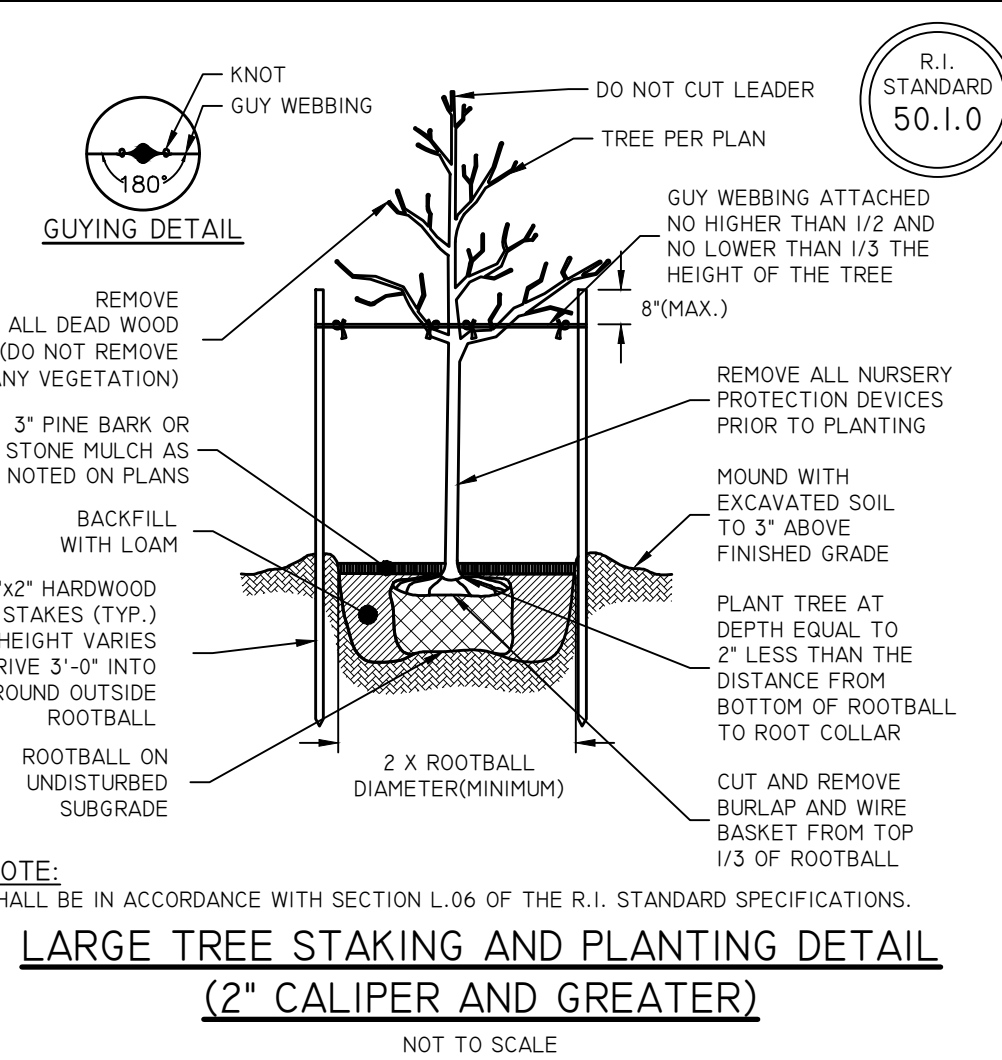
LANDSCAPE PLAN
BLACKSTONE STREET APARTMENTS
ASSESSOR'S PLAT 45 LOTS 85 & 797
220 BLACKSTONE STREET, PROVIDENCE, RHODE ISLAND
PREPARED FOR:
AP BUILDING COMPANY
40 SEVEN FIELDS ROAD, SUITE 150
SEVEN FIELDS, PA 06046

Z:\CHMAN\PROJECTS\2025-05 BLACKSTONE STREET - 220\AUTOCAD DRAWINGS\2025-05-LARC.DWG PLOTTER: 1/6/2022

PLANT SCHEDULE						
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	
	ARO	12	Acer rubrum `October Glory` TM	October Glory Maple	2/2.5" CAL B&B	
	GB	8	Ginkgo biloba	Maidenhair Tree	2/2.5" CAL B&B	
	GT	4	Gleditsia triacanthos inermis `Shademaster` TM	Shademaster Locust	2/2.5" CAL B&B	
	PG	7	Picea glauca	White Spruce	7/8` HT	
	PSC	1	Prunus sargentii `Columnaris`	Columnar Sargent Cherry	2/2.5" CAL B&B	
	SR	3	Syringa reticulata	Japanese Tree Lilac	2/2.5" CAL B&B	
	TC	5	Tilia cordata	Littleleaf Linden	2/2.5" CAL B&B	
	ZSV	2	Zelkova serrata `Village Green`	Sawleaf Zelkova	2/2.5" CAL B&B	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
	HMB	5	Hydrangea macrophylla `Bailmer` TM	Endless Summer Hydrangea	3` HT MIN	
	IC	54	Ilex crenata `Helerii`	Helel Japanese Holly	18-24" HT	
	IG	4	Ilex glabra `Shamrock`	Inkberry	3-4` HT	
	JPN	12	Juniperus procumbens `Nana`	Shore Juniper	2 gal	
	PMP	18	Pinus mugo `Pumilio`	Dwarf Mugo Pine	18-24" HT	
	PM	3	Prunus maritima	Beach Plum	5/6` HT	
	RXG	17	Rhododendron x `Gumpo White`	Gumpo White Azalea	3 gal	
	RXC	5	Rhododendron x chionoides	Chionoides Rhododendron	42-48" HT	
	RXK	21	Rosa x `Knockout` TM	Knockout Rose	3 gal	
	RKW	14	Rosa x `Radwhite` TM	White Knock Out Rose	18-24" HT	
	SBN	11	Spiraea x bumalda `Neon Flash`	Neon Flash Spirea	18-24" HT	
	TOS	25	Thuja occidentalis `Smaragd`	Emerald Green Arborvitae	5/6` HT	
	TOT	5	Thuja occidentalis `Techny`	Techny Arborvitae	5/6` HT	
GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
	CXA	34	Calamagrostis x acutiflora `Karl Foerster`	Feather Reed Grass	2 gal	
	FG	143	Festuca glauca `Elijah Blue`	Blue Fescue	1 gal	
	LM	39	Liriope muscari `Alba`	White Lily Turf	1 gal	
	PS	21	Panicum virgatum `Shenendoah`	Burgundy Switch Grass	2 gal	
	PAH	14	Pennisetum alopecuroides `Hameln`	Hameln Dwarf Fountain Grass	2 gal	
	PAL	70	Pennisetum alopecuroides `Little Bunny`	Little Bunny Fountain Grass	1 gal	
	PAM	12	Pennisetum alopecuroides `Moudry`	Oriental Fountain Grass	1 gal	
PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
	HXP	17	Hosta x `Patriot`	Patriot Hosta	1 gal	
ANNUALS/PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
	EXS	26	Echinacea x `Sunset`	Sunset Coneflower	1 gal	
	HXS	14	Hemerocallis x `Stella de Oro`	Stella de Oro Daylily	2 gal	
	NXF	10	Nepeta x faassenii `Walkers Low`	Walkers Low Catmint	2 gal	
	SSB	48	Sedum spectabile `Brilliant`	Brilliant Stonecrop	1 gal	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
	CTT	1,075 sf	Cotoneaster adpressus `Tom Thumb`	Early Cotoneaster	2 gal	36" o.c.

PROVIDENCE ZONING REGULATIONS
ARTICLE 15. TREES AND LANDSCAPING:

1503. ON-SITE LANDSCAPING AND REQUIRED TREES
A. GENERAL REQUIREMENTS
2. ALL EXISTING PLANTINGS THAT ARE MAINTAINED ON A SITE MAY BE COUNTED TOWARD ANY REQUIRED ON-SITE LANDSCAPING.
C. REQUIRED TREE CANOPY PERCENTAGE
2. CALCULATIONS FOR TREE CANOPY
THE TOTAL CANOPY COVERAGE FOR A LOT IS THE SUM OF THE CANOPY, AT MATURITY, OF THE INDIVIDUAL TREES LOCATED ON THE LOT. THE SQUARE FOOTAGE OF CANOPY COVER VARIES ACCORDING TO TREE SPECIES. THE CITY FORESTER MAINTAINS A LIST OF TREES SPECIES AND THE EXPECTED SIZE OF THE CANOPY FOR EACH SPECIES, AT MATURITY, WHEN PLANTED.
THE LOT IS ZONED M-MU-75 (MIXED-USE INDUSTRIAL) AND REQUIRES A 15% TREE CANOPY COVERAGE.
CANOPY COVERAGE REQUIREMENT: 155,074 SF (3.56 AC) LOT AREA x 0.15 = 23,261.1 SF
PROPOSED TREE CANOPY COVERAGE:
TREE SIZE CANOPY SIZE NO. PROPOSED COVERAGE
LARGE 1,000 SF 31 31,000 SF
SMALL 300 SF 4 1,200 SF
TOTAL PROPOSED CANOPY COVERAGE: 32,200 SF
PERCENT PROPOSED CANOPY COVERAGE: 32,200 SF / 155,074 SF = 20.76% (0.2076) >15%
1504. PARKING LOT PERIMETER LANDSCAPE STRIP
A PERIMETER LANDSCAPE STRIP IS REQUIRED FOR ALL PARKING LOTS THAT ABUT A PUBLIC RIGHT-OF-WAY, EXCLUDING CURB CUTS, AND SHALL BE ESTABLISHED ALONG THE EDGE OF THE PARKING LOT THAT ABUTS SUCH PUBLIC RIGHT-OF-WAY TO SCREEN THE PARKING LOT. THE LANDSCAPE TREATMENT SHALL RUN THE FULL LENGTH OF THE PARKING LOT PERIMETER ALONG THE RIGHT-OF-WAY. THE LANDSCAPE STRIP SHALL BE IMPROVED AS FOLLOWS:
A. THE PERIMETER PARKING LOT LANDSCAPE STRIP SHALL BE A MINIMUM OF FIVE FEET IN DEPTH. THERE SHALL BE A MINIMUM LINEAR DISTANCE OF SIX INCHES BETWEEN WHEELS STOPS OR CURBS AND THE LANDSCAPE STRIP TO ACCOMMODATE VEHICLE BUMPER OVERHANG, WHICH IS NOT INCLUDED IN THE MINIMUM FIVE FOOT CALCULATION.
THE PROPOSED PARKING LOT DOES NOT ABUT A PUBLIC RIGHT-OF-WAY.
B. ONE SHADE TREE SHALL BE PLANTED FOR EVERY 25 FEET OF LANDSCAPE STRIP LENGTH, SPACED LINEARLY.
THE PROPOSED PARKING LOT DOES NOT ABUT A PUBLIC RIGHT-OF-WAY.
C. THE LANDSCAPE STRIP SHALL ALSO BE PLANTED OVER A MINIMUM OF 60% OF ITS LENGTH WITH SHRUBS, PERENNIALS, NATIVE GRASSES, AND OTHER PLANTING TYPES THAT PROVIDE SCREENING OF A MINIMUM OF THREE FEET IN HEIGHT.
THE PROPOSED PARKING LOT DOES NOT ABUT A PUBLIC RIGHT-OF-WAY.
D. ALTERNATIVELY, A LOW FENCE OR PEDESTRIAN WALL A MINIMUM OF THREE FEET TO A MAXIMUM OF FOUR FEET IN HEIGHT MAY BE USED INSTEAD OF SUCH PLANTINGS. WHERE FEASIBLE, PLANT MATERIALS SHALL BE INSTALLED BETWEEN THE SIDEWALK AND THE WALL TO PROVIDE A SOFTENING EFFECT ON THE FENCE OR WALL.
NOT APPLICABLE.
E. WHERE EXISTING CONDITIONS OR OTHER PROVISIONS OF THIS ORDINANCE MAKE IT IMPRACTICABLE TO MEET THE PERIMETER LANDSCAPE STRIP REQUIREMENTS, THE CITY FORESTER MAY APPROVE A MODIFICATION TO THE WIDTH OR LOCATION OF THE PERIMETER LANDSCAPE STRIP, OR THE SPACING OR NUMBER OF TREES IN THE PERIMETER LANDSCAPE STRIP, SO LONG AS THERE IS NO NET LOSS OF PLANTED AREA OR NUMBER OF TREES REQUIRED.
F. THE USE OF STORMWATER MANAGEMENT TECHNIQUES SUCH AS RAIN GARDENS AND BIOSWALES IS ENCOURAGED IN LANDSCAPE STRIPS. LANDSCAPED AREAS SHOULD BE DESIGNED FOR THE ABSORPTION OF STORMWATER.
NOT APPLICABLE.



1505. INTERIOR PARKING LOT LANDSCAPING
ALL PARKING LOTS CONSISTING OF 20,000 GROSS SQUARE FEET OR MORE REQUIRE INTERIOR PARKING LOT LANDSCAPING AS DESCRIBED IN THIS SECTION. WHEN THE CALCULATION OF INTERIOR PARKING LOT LANDSCAPING REQUIREMENTS RESULTS IN A FRACTION, SAID FRACTION IS ROUNDED UP.
THE PARKING AREA IS GREATER THAN 20,000 SQUARE FEET AND INTERIOR PARKING LOT LANDSCAPING IS PROPOSED.
A. ONE PARKING LOT ISLAND SHALL BE PROVIDED BETWEEN EVERY TEN PARKING SPACES. AS PART OF THE LANDSCAPE PLAN APPROVAL, PARKING LOT ISLAND LOCATIONS MAY BE VARIED BASED ON SPECIFIC SITE REQUIREMENTS OR DESIGN SCHEME, BUT THE TOTAL NUMBER OF ISLANDS SHALL BE NO LESS THAN THE AMOUNT REQUIRED OF ONE ISLAND FOR EVERY TEN SPACES.
TOTAL PROPOSED PARKING = 217 SPACES
ISLAND REQUIREMENT = 1 / 10 PARKING SPACES
ISLANDS REQUIRED = 217/10 = 22 (21.7)
ISLANDS PROVIDED = 1 ISLANDS HAVE BEEN PROVIDED WHERE FEASIBLE
B. IN ADDITION TO PARKING LOT ISLANDS, ADDITIONAL LANDSCAPE AREAS SHALL BE PROVIDED WITHIN THE INTERIOR OF PARKING LOTS, THE MINIMUM TOTAL LANDSCAPE AREA OF A PARKING LOT, INCLUDING PARKING LOT ISLANDS, SHALL BE 10% OF THE TOTAL PARKING LOT AREA. PARKING LOT PERIMETER LANDSCAPING IS EXCLUDED FROM THE CALCULATION OF TOTAL PARKING LOT AREA.
TOTAL INTERIOR PARKING AREA = 73,437 SF
INTERIOR AREA LANDSCAPE REQUIREMENT = 10%
INTERIOR AREA LANDSCAPE REQUIRED = 7,343.7 SF
INTERIOR AREA LANDSCAPE PROVIDED = 7,684 SF (10.4%)
C. ALL ROWS OF PARKING SPACES SHALL TERMINATE IN A PARKING LOT ISLAND OR LANDSCAPED AREA.
ALL PARKING ROWS TERMINATE IN A PARKING LOT ISLAND OR LANDSCAPED AREA.
D. PARKING LOT ISLANDS SHALL BE THE SAME DIMENSION AS THE PARKING STALL AT A MINIMUM. DOUBLE ROWS OF PARKING SHALL PROVIDE PARKING LOT ISLANDS THAT ARE THE SAME DIMENSION AS THE DOUBLE ROW.
PARKING LOT ISLANDS ARE 8.5' WIDE OR GREATER ARE PROPOSED WHERE FEASIBLE.
E. A MINIMUM OF ONE SHADE TREE SHALL BE PROVIDED FOR EVERY PARKING LOT ISLAND OR LANDSCAPE AREA. IF A PARKING LOT ISLAND EXTENDS THE WIDTH OF A DOUBLE ROW, THEN TWO SHADE TREES ARE REQUIRED.
SHADE TREES HAVE BEEN PROVIDED FOR EVERY PARKING LOT ISLAND OR LANDSCAPE AREA WITHIN THE PARKING LOT WHERE FEASIBLE.
F. THE USE OF STORMWATER MANAGEMENT TECHNIQUES SUCH AS RAIN GARDENS AND BIOSWALES IS ENCOURAGED IN LANDSCAPED AREAS. PARKING LOT ISLANDS AND LANDSCAPED AREAS SHOULD BE DESIGNED FOR THE ABSORPTION OF STORMWATER.
NOT APPLICABLE
G. WHERE EXISTING CONDITIONS OR OTHER PROVISIONS OF THIS ORDINANCE MAKE IT IMPRACTICABLE TO MEET THE INTERIOR PARKING LOT LANDSCAPING REQUIREMENTS, THE CITY FORESTER MAY APPROVE A MODIFICATION TO THE REQUIREMENTS SO LONG AS THERE IS NO NET LOSS OF PLANTED AREA OR NUMBER OF TREES REQUIRED.
NOT APPLICABLE
1507 WATERBODY VEGETATIVE BUFFERS
A. UNLESS OTHERWISE SPECIFIED BY THE RHODE ISLAND COASTAL RESOURCES MANAGEMENT PROGRAM SPECIAL AREA MANAGEMENT PLAN, A VEGETATED BUFFER A MINIMUM OF 25 FEET IN WIDTH IS REQUIRED ADJACENT TO THE ENTIRE LENGTH OF ANY WATER BODY. THIS BUFFER AREA IS MEASURED FROM THE WATER'S EDGE OR THE INLAND EDGE OF A COASTAL SHORELINE FEATURE FOR TIDAL WATERBODIES, AS DEFINED BY THE RHODE ISLAND COASTAL RESOURCES
B. MANAGEMENT PROGRAM.
C. THIS BUFFER SHALL INCLUDE TREES AND PLANT MATERIAL THAT FILTER STORMWATER RUNOFF AND HELP TO IMPROVE THE QUALITY OF THE WATER BODY.
D. NO PARKING OR STRUCTURES ARE PERMITTED WITHIN THIS BUFFER. HOWEVER, PAVING FOR A WALKING PATH, BICYCLE PATH, OR ACCESS TO DOCKS, PIERS, OR BEACHES MAY BE INCLUDED WITHIN THIS BUFFER.
NOT APPLICABLE

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED ISSUED FOR CONSTRUCTION AND SIGNED BY THE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.

DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING PROJECT. THE CITY FORESTER MAY APPROVE A MODIFICATION TO THE REQUIREMENTS SO LONG AS THERE IS NO NET LOSS OF PLANTED AREA OR NUMBER OF TREES REQUIRED.

THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE NECESSARY CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

NO.	DATE	DESCRIPTION	B.A.W.	B.Y.
1	01-06-2022	ISSUED AND PROVIDED FOR RETIC.	B.A.W.	
2	11-03-2021	ISSUED FOR PLANS	B.A.W.	
3			B.A.W.	

DRAWN BY: B.A.W. DESIGN BY: D.R.N.

LANDSCAPE NOTES & DETAILS

BLACKSTONE STREET APARTMENTS

ASSESSOR'S PLAT 45 LOTS 85 & 797

220 BLACKSTONE ST. PROVIDENCE, RHODE ISLAND

PREPARED FOR: AR BUILDING COMPANY

401 SEVEN FIELDS RD. SUITE 450

SEVEN FIELDS, PA 60406

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DiPrete Engineering

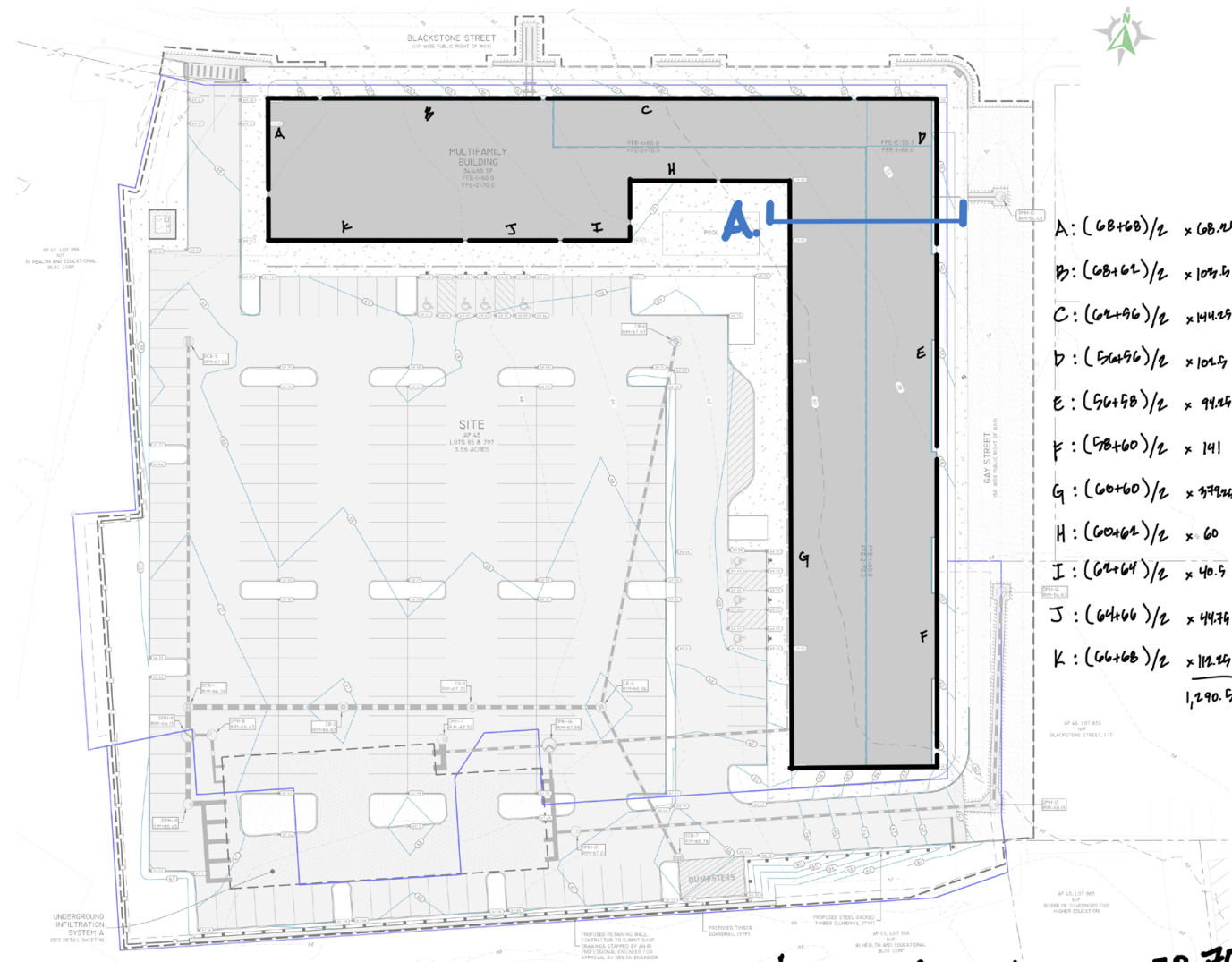
990 Blackstone Street, Suite 450, Providence, RI 02906

tel 401-949-1600 fax 401-464-6006 www.diprete-eng.com

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BUILDING HEIGHT

Establishing the building height from the average grade plane

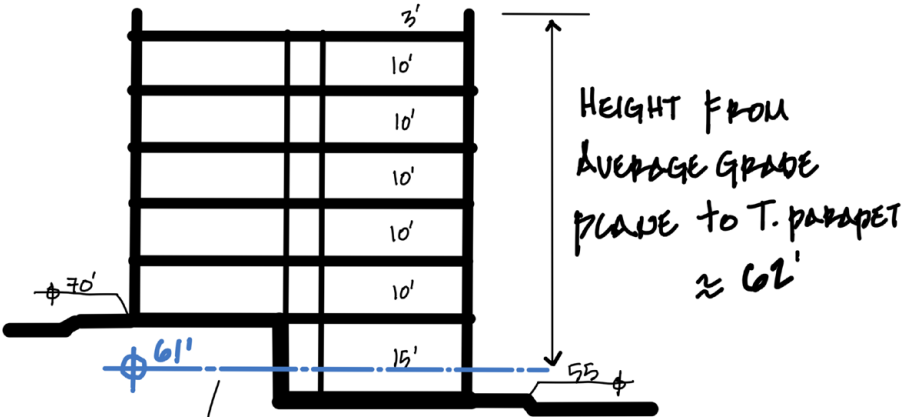


A: $(68+68)/2 \times 68.25' = 4,641$
B: $(68+62)/2 \times 104.5' = 6,727.5$
C: $(62+96)/2 \times 144.25' = 8,510.75$
D: $(54+56)/2 \times 102.5' = 5,740$
E: $(56+58)/2 \times 94.25' = 5,272.25$
F: $(58+60)/2 \times 141' = 8,219$
G: $(60+60)/2 \times 379.25' = 22,755$
H: $(60+62)/2 \times 60' = 3,660$
I: $(62+64)/2 \times 40.5' = 2,551.5$
J: $(64+66)/2 \times 44.75' = 2,908.75$
K: $(66+68)/2 \times 112.25' = 7,520.75$
 $\frac{1,290.5}{78,706.5}$

AVERAGE GRADE PLANE: $\frac{78,706.5}{1,290.5} = 60.9 = 61'$

BUILDING SECTION 'A'

Assuming 1-story Type IA + 5-stories Type III-B



BUILDING HEIGHT = $68' - 6' = 62'$