

RESTORATION OF

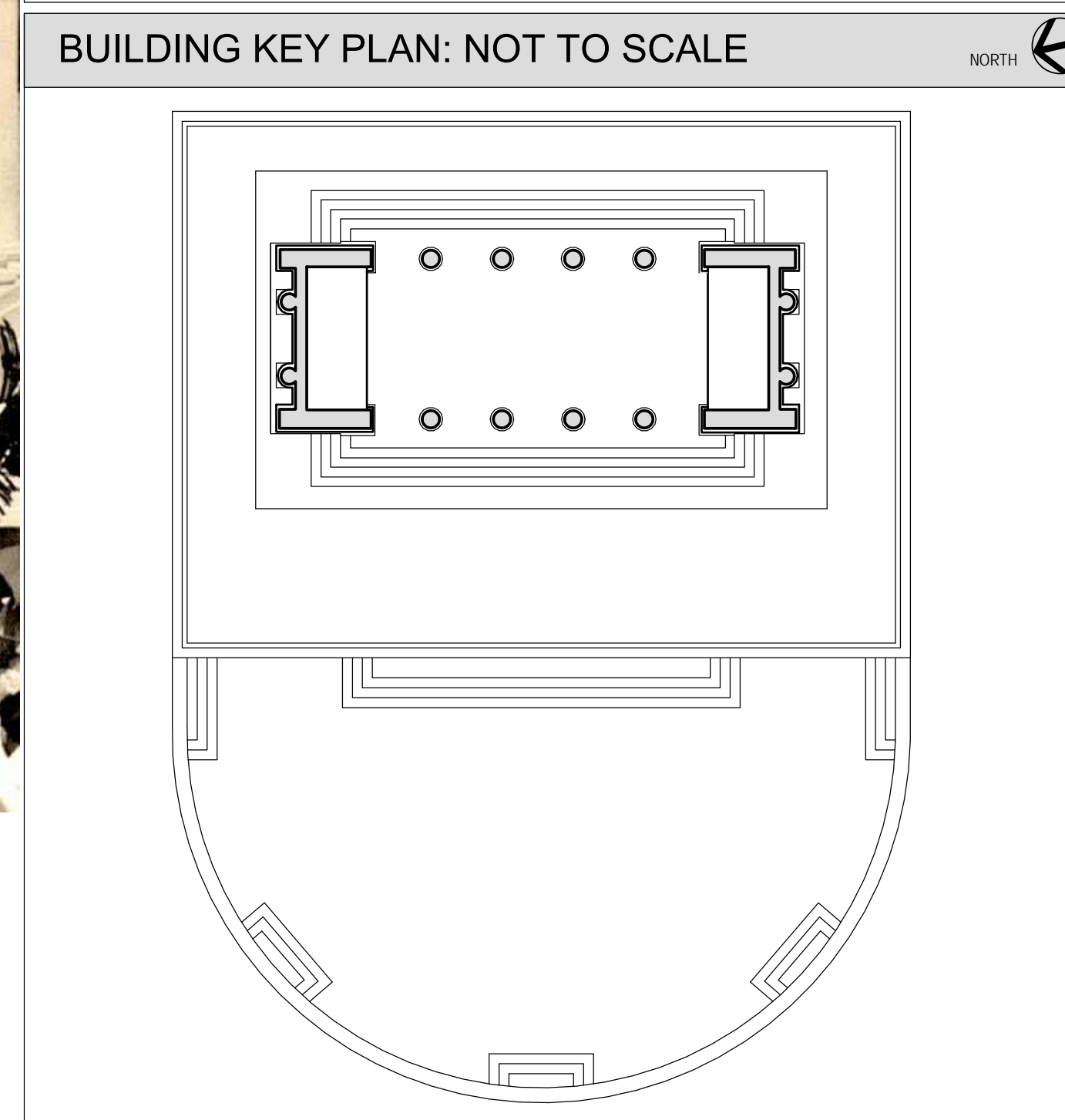
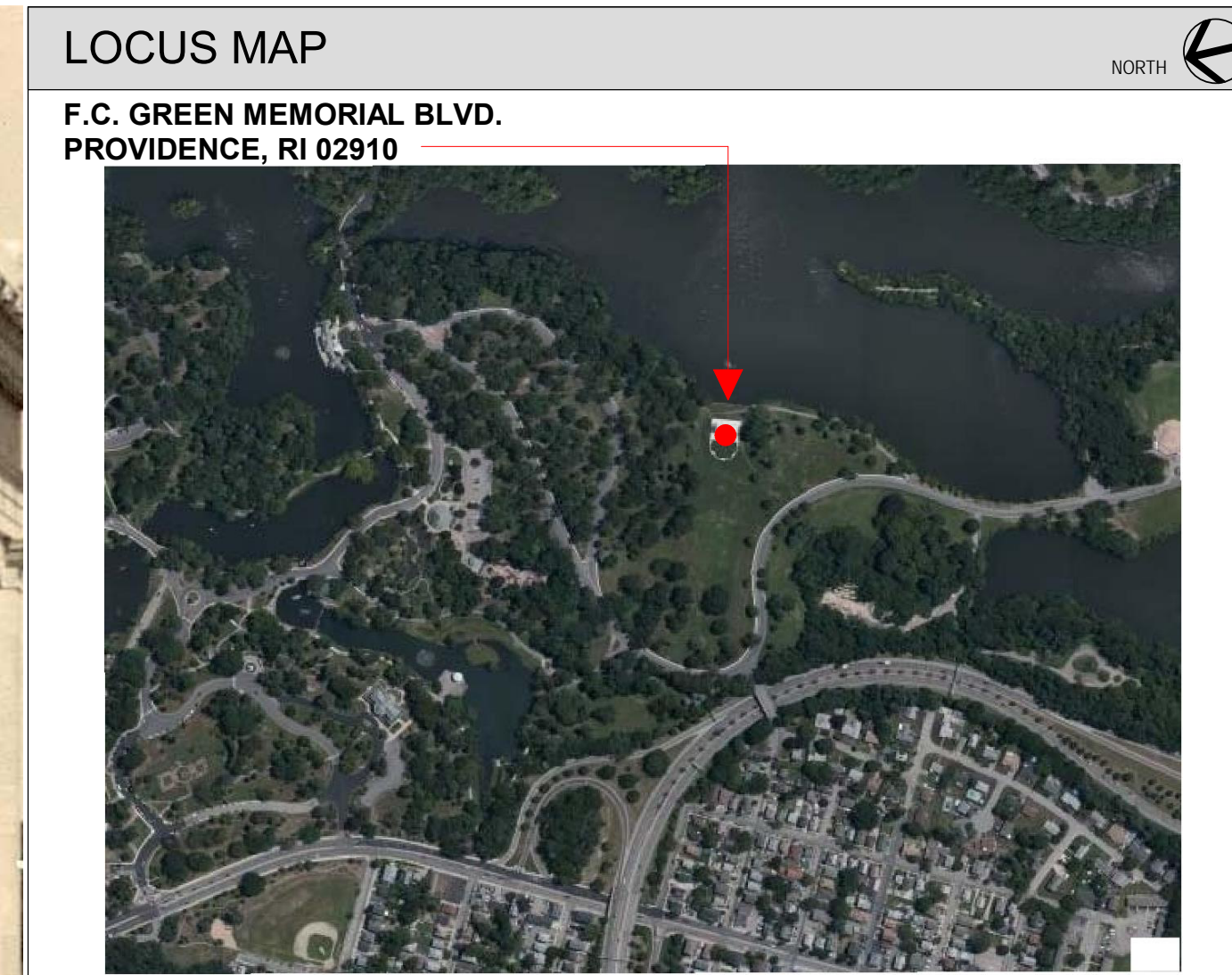
BENEDICT MEMORIAL TEMPLE TO MUSIC

ROGER WILLIAMS PARK, PROVIDENCE, RI 02907



OWNER:
CITY OF PROVIDENCE
BOARD OF PARK COMMISSIONERS
1000 ELMWOOD AVENUE
PROVIDENCE, RI 02907

ARCHITECT:
BREWSTER THORNTON GROUP
ARCHITECTS, LLP
317 IRON HORSE WAY, SUITE 202
PROVIDENCE, RI 02908



BID SET
11/29/2021
2024A

GENERAL NOTES

- 1. ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS IN EFFECT AT THE PROJECT SITE.
2. DO NOT SCALE DRAWINGS. FIELD VERIFY ALL DIMENSIONS.
3. THE CONTRACTOR SHALL REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING.
4. ALL DIMENSIONS OF NEW WORK ARE TO THE FACE OF CONCRETE AND MASONRY, AND THE CENTER OF METAL STUDS AND FRAME OPENINGS U.N.O.
5. DIMENSIONS NOTED TO EXISTING PLANES SHALL REFER TO THE FINISHED SURFACE OF THE WALL, FLOOR, OR CEILING PLANE, UNLESS NOTED OTHERWISE.
6. ALL ITEMS OF WORK ARE TO BE NEW UNLESS NOTED AS EXISTING.
7. ALL DRAWINGS ARE COMPLIMENTARY AND MUST BE USED AS A SET FOR COMPLETE CONSTRUCTION INFORMATION.
8. IT SHALL BE THE DUTY OF THE CONTRACTOR TO REQUEST FROM THE ARCHITECT ALL NECESSARY INTERPRETATION OF THE CONTRACT DOCUMENTS.
9. DRAWINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY AND MAY NOT SHOW ALL DEMOLITION WORK REQUIRED TO COMPLETE THE CONTRACT WORK.
10. DIMENSIONS AND ELEVATIONS INDICATED ON THE DRAWINGS IN REFERENCE TO EXISTING STRUCTURES ARE THE BEST AVAILABLE DATA OBTAINABLE BUT ARE NOT GUARANTEED BY THE OWNER AND THE OWNER WILL NOT BE RESPONSIBLE FOR THEIR ACCURACY.
11. OMISSION FROM THE DRAWINGS AND SPECIFICATIONS OF ITEMS WHICH OBVIOUSLY ARE NEEDED TO PROPERLY PERFORM THE WORK, SUCH AS ATTACHMENTS, BOLTS, HANGERS, ETC., SHALL NOT RELIEVE THE CONTRACTOR FROM FURNISHING AND INSTALLING THEM.
12. AFTER THE CONTRACT HAS BEEN AWARDED, THE CONTRACTOR WILL SUBMIT A FULL BAR CHART TYPE SCHEDULE THAT WILL INDICATE ALL MAJOR AND MINOR MILESTONES FOR THE WORK.
13. ALL SUBMITTALS AND SHOP DRAWINGS WILL NEED TO BE STAMPED AS HAVING BEEN REVIEWED AND APPROVED BY THE CONTRACTOR FOR CONFORMANCE WITH THE PROJECT PRIOR TO SUBMITTING TO THE ARCHITECT.
14. CHECKING OF THE SUBMITTALS AND SHOP DRAWINGS BY THE ARCHITECT IS ONLY FOR LIMITED GENERAL CONFORMANCE WITH THE INFORMATION GIVEN AND DESIGN CONCEPT EXPRESSED IN THE CONTRACT DOCUMENTS.
15. CAREFULLY REVIEW THE SPECIFICATIONS FOR REQUIREMENTS RELATED TO FIELD APPROVED "MOCKUPS".
16. IF DISCREPANCIES OCCUR BETWEEN THE DRAWINGS AND SPECIFICATIONS, CONSULT ARCHITECT FOR CLARIFICATION OF DESIRED METHOD.
17. CERTIFY AS PART OF EACH APPLICATION FOR PAYMENT THAT THE PROJECT RECORD DOCUMENTS "AS-BUILTS" ARE CURRENT AT THE TIME OF THE APPLICATION SUBMITTED.

LEGEND

Table with columns for material types and their corresponding hatch patterns. Includes BATT INSULATION, BRICK, CONCRETE, CULTURED STONE, DISTURBED EARTH, UNDISTURBED EARTH, ENGINEERED WOOD, GLASS, SPECIALTY, GLASS, VERTICAL SURFACE, GYPSUM WALLBOARD, MARBLE/ GRANITE, MILLWORK, PLASTIC/PVC, PLYWOOD, RIGID INSULATION, RUBBLE, ASPHALT SHINGLES, STEEL/METAL, WOOD SHINGLES, WOOD.

DISCLAIMER: HATCH PATTERN SCALE ADJUSTS BY DRAWING SCALE. SEE OTHER DESIGN DISCIPLINES FOR ADDITIONAL LEGEND & SCHEDULE INFORMATION.

Table with columns for symbols and their descriptions. Includes EXTERIOR ELEVATION, INTERIOR ELEVATION, SECTION, DETAIL, DETAIL KEY, DETAIL CALLOUT, BENCHMARK ELEVATION, SPOT ELEVATION, PROJECT NORTH SYMBOL, COLUMN GRID LINE NEW CONSTRUCTION, ROOM NAME AND MARK, LIMITS OF CONSTRUCTION, DOOR MARK, WALL TYPE, WINDOW TYPE, KEY NOTE, EXISTING PARTITION, NEW PARTITION, REVISION, PHOTO SYMBOL, ACCESSORY/FURNITURE / SPECIALTY EQUIPMENT MARK, FLOOR CHANGE LINE, REVISION CLOUD, FIRE EXTINGUISHER CABINET (F.E.C.)

DRAWING LIST

Table with columns SHEET and SHEET NAME. Rows include G0.0 COVER SHEET, ARCHITECTURAL, A0.1 LEGEND & GENERAL NOTES, A1.1 SITE & FLOOR PLAN, A1.2 REFLECTED CEILING PLAN & ROOF PLAN, A3.3 TYPICAL DETAILS.

COMMON ABBREVIATIONS

Large table of common abbreviations used in the drawings. Columns include various abbreviations and their full names, such as ABOVE, AIR CONDITION, ACQUISITION, ACT, ADA, ADDL, ADJ., AE, A.S.F., A.F., A.F.F., AHJ, AL./ALUM., ALT., ANOD., ARCH., A.P., APP., APT., APPROX., ASI, AUTO., AUX., BAS, BD, BDRM, BFE, BITUM., BLDG, BLW, BSMT, BOIT., B.O.F., B.O., BLKG, BIT., BLUEBD, BRK, BRZ, BTWN, CAB., C.F.M.F., CG, C.L., CLL, CLO, CLOSET, CLG, CLR, C.J., CMU, CO, COL, COMP., CONC., CONST., CONT., COORD., CPT, CPR, C.T., C.U.H., DBL, DEMO, DEG, DET., D.F., DH, DIA., DIAG., DIM., DISP., DN, DR, DS, DTL, DWG, DWGS, DX, EA, EL, ELEC., ELEV., EMER., EMS, E.J., EQ, EQUIP, ETR, EV, EX, EXIST., EXG, EXT., F.A., F.A.R., F.C.U., F.D., F.E., FEC, FF&E, FIN., FIN.CLG, FIN.FLR, FIN.SCH, FIXT., FLR., FLUOR., FND., F.O., F.P., F.RATING, FR, FRP, FT, FTG, FURN., GA, GALV, GB, GL, GLAM, GLZ, GWB, HC, HDF, HM, HDW, HRW, HOR., HR, HT, IN., INCL., INFO., INSUL., INT., J.C., J-BOX, JT, K.B., KIT., LAB., LAV., LB, LCC, L.E.D., LF, L.H., LIB., LIN, LKR, LVL, LOC., LVR, LVT, MACH., MAS., MAT., MAX., MCT, MECH., MED., MEMBR, MDF, MIL, MIN., MISC., M.O., M.R., MTL, N.A., NAT., N.C., N.I.C., NKL, NOM., NO, NR, N.R.C., N.T.S., ON CENTER, OPNG, OPP, ORIG, OHD, OZ., PCC, PERP, PL, PLAM, PNL, PNT, PPL, PTD, PR, PREP, P.T, PTN, PWD, P.V., Q.T., R#, RISER, R, R.B., RCP, R&D, R.D., RE, REF, REFR, REQ., RES., REV., R.H., RM, R.O., RWB, SCHED., SD, SECT., SF, SF, S.GASKET, SGL, SHT, SHTH, SIM., SPEC., SRL, SQ., S.S., S.S.M., STC, STD, STOR., STL, STRUCT., SUSP., SYS., T, T&G, TEL., TEMP, TGL, THK, THRESH, T.O., T.O.F., T.O.S., T.O.W., TS, TSTAT, TYP., TZ, U.H., U.N.O., V.A.T., VCT, VERT., V.I.F., V.R., W, W.C., WD, WDW, WFSJ, WWF, Z.C.C., @, &

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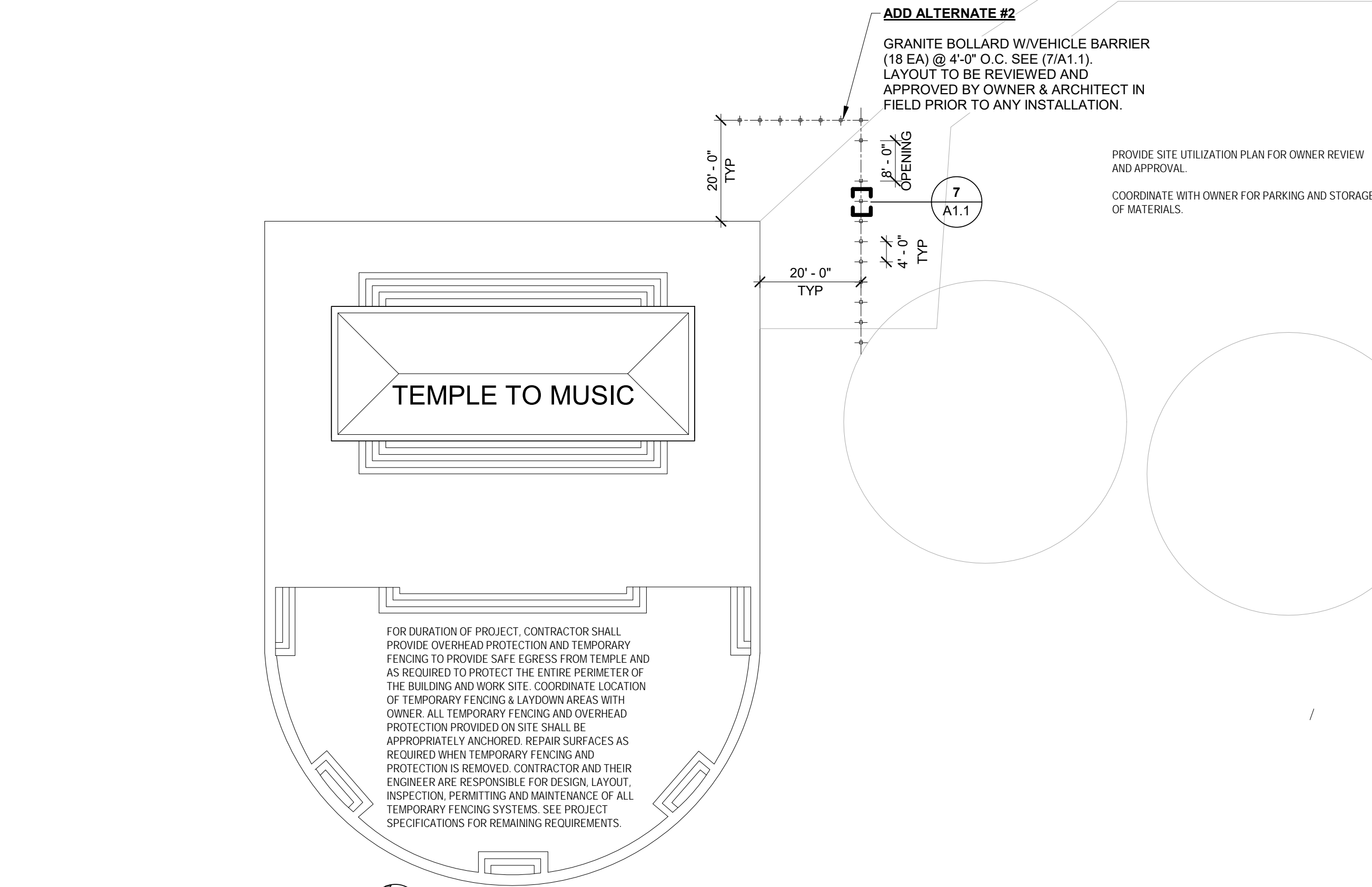
Table with columns JOB NO., DATE, ISSUE, NO., REVISION DESCRIPTION, DATE. Includes Job No 2024A, Date 11/29/2021, Issue: BID SET.

SHEET TITLE
LEGEND & GENERAL NOTES

SHEET
A0.1

CUNLIFF LAKE

CONSTRUCTION ACCESS ROAD



1 SITE PLAN
1" = 20'-0"

TEMPLE TO MUSIC

FOR DURATION OF PROJECT, CONTRACTOR SHALL PROVIDE OVERHEAD PROTECTION AND TEMPORARY FENCING TO PROVIDE SAFE EGRESS FROM TEMPLE AND AS REQUIRED TO PROTECT THE ENTIRE PERIMETER OF THE BUILDING AND WORK SITE. COORDINATE LOCATION OF TEMPORARY FENCING & LAYDOWN AREAS WITH OWNER. ALL TEMPORARY FENCING AND OVERHEAD PROTECTION PROVIDED ON SITE SHALL BE APPROPRIATELY ANCHORED. REPAIR SURFACES AS REQUIRED WHEN TEMPORARY FENCING AND PROTECTION IS REMOVED. CONTRACTOR AND THEIR ENGINEER ARE RESPONSIBLE FOR DESIGN, LAYOUT, INSPECTION, PERMITTING AND MAINTENANCE OF ALL TEMPORARY FENCING SYSTEMS. SEE PROJECT SPECIFICATIONS FOR REMAINING REQUIREMENTS.

PROVIDE SITE UTILIZATION PLAN FOR OWNER REVIEW AND APPROVAL.
COORDINATE WITH OWNER FOR PARKING AND STORAGE OF MATERIALS.



3 REPAIR CHIPPED STONE
1/16" = 1'-0"

ADD ALTERNATE #1
REPAIR CHIPPED MASONRY EDGE WITH STONE MASONRY SURFACE PATCH TO CREATE A SQUARE EDGE - MATCH GEOMETRY, COLOR & TEXTURE OF ADJOINING STONE. SEE DETAIL 8/A-3.3



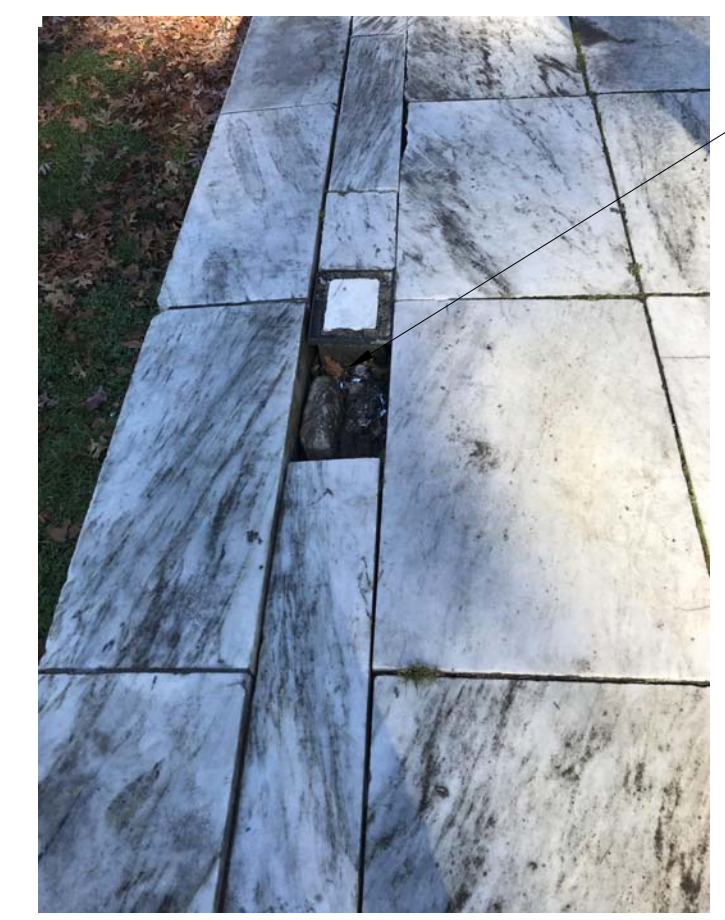
4 RESET PLAZA PAVER (WEST EDGE)
1/16" = 1'-0"

REPAIR, FILL & RESET PAVER BAND. MORTAR GAP AT BASE OF GAP STONE ALONG THIS LINE. SEE SCOPE NOTE #1.
CONTROL JOINT ALONG ENTIRE LENGTH



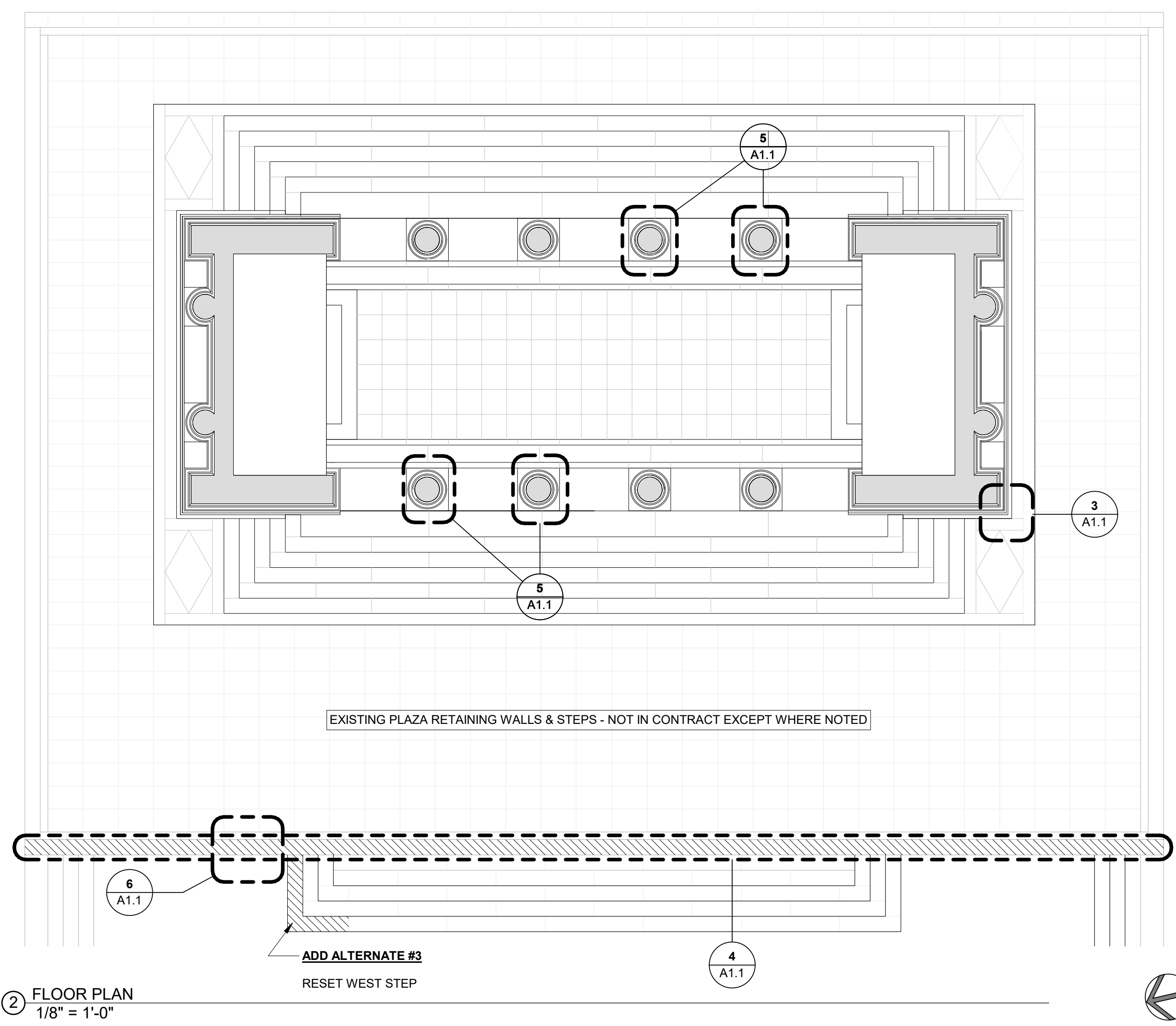
5 CLEAN COLUMN CAPITAL
1/16" = 1'-0"

REMOVE BIOLOGICAL GROWTH - REFER TO REPAIR SCOPE NOTE 4A.

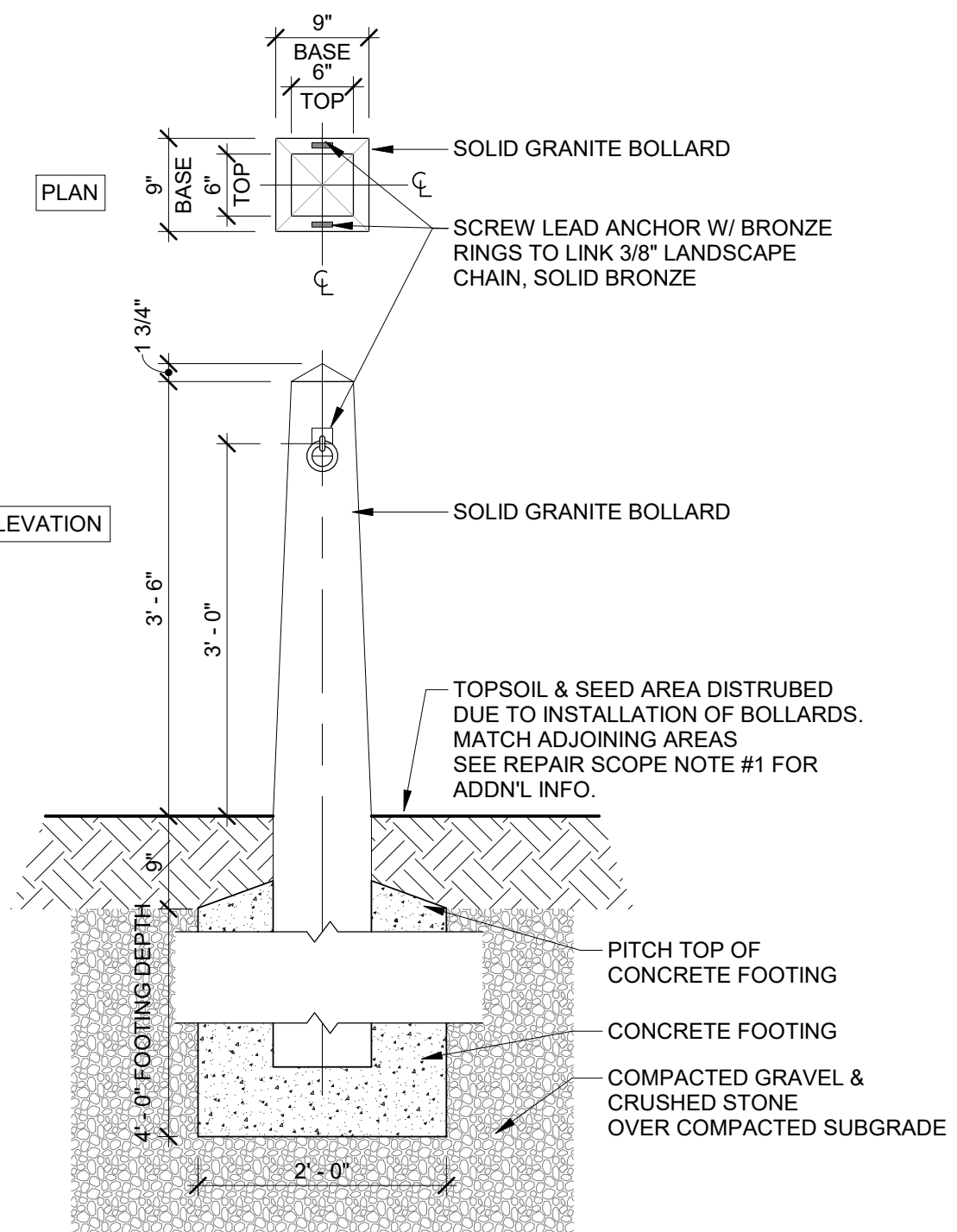


6 MISSING PLAZA PAVER
1/8" = 1'-0"

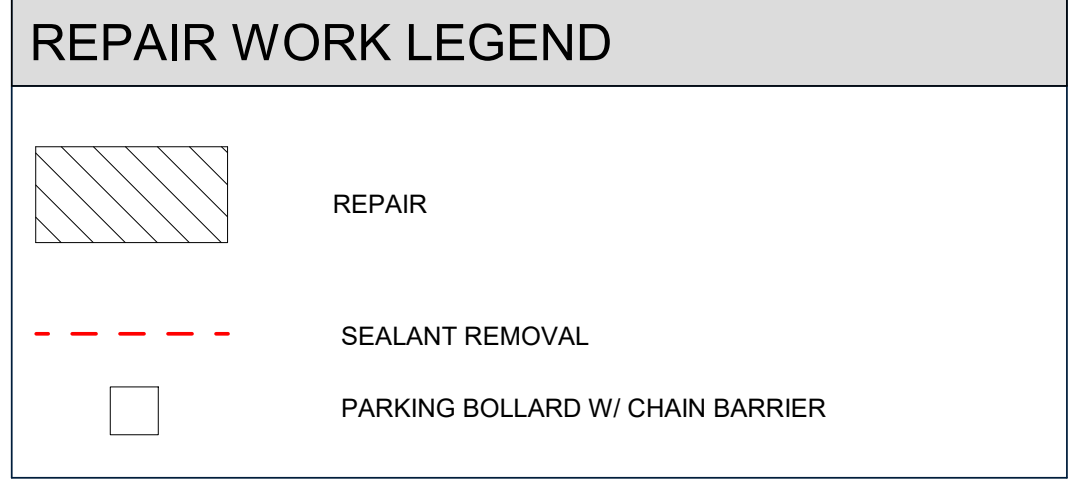
REPLACE MISSING PAVER - MATCH GEOMETRY, COLOR & TEXTURE OF ADJOINING STONE



2 FLOOR PLAN
1/8" = 1'-0"



7 BOLLARD W/VEHICLE BARRIER
3/4" = 1'-0"



REPAIR SCOPE NOTES

- SITE WORK:**
 - VEHICLE BARRIERS & BOLLARDS**
CLEAR DESIGNATED AREA AS NEEDED FOR INSTALLATION OF BOLLARD FOOTING. DISPOSE OF DEBRIS. EXCAVATE FOR BOLLARD FOOTINGS. AFTER PLACEMENT OF FOUNDATION, BACKFILL AND COMPACT EXCAVATED AREA UTILIZING ORIGINAL SOIL. LOAM & SEED DISTURBED AREAS.
 - RESET PLAZA PAVERS & REPLACE MISSING - WEST EDGE**
REMOVE (2) OUTSIDE MARBLE PAVER BANDS. RESET IN NEW BED AS REQUIRED TO CREATE A LEVEL PLANE WITH ADJOINING PAVING. REPLACE ALL MISSING & BROKEN PAVERS TO MATCH EXISTING. CAUTION SHALL BE TAKEN IN REMOVING THE EXISTING PAVERS. EXTENT AS IDENTIFIED ON DRAWINGS. SO AS TO AVOID BREAKAGE. THIS OPERATION MUST BE PERFORMED SUCH THAT THE INTEGRITY OF THE PAVER IS MAINTAINED. THE PAVERS SHOULD BE STORED AT A LOCATION THAT IS SAFE FROM DAMAGE. THE PAVERS SHOULD BE PLACED ON LEVEL GROUND WHICH WILL PROVIDE EVEN BEARING ACROSS THE PAVER SURFACE. CONTROL JOINT ALONG ENTIRE LENGTH OF INTERFACE WITH EXISTING MARBLE PAVERS. SUBBASE PREP & MORTAR INFO. PER PROJECT SPECIFICATIONS.
- ROOF & GUTTER REPAIR:**
 - REOPEN GUTTER DRAINAGE**
CLEAN & REMOVE DEBRIS (LEAF DETRITUS) AT GUTTER, ALL SIDES. INSPECT & REMOVE ANY BLOCKAGE, BIRD NESTS ETC. AT ATTIC VENTS, NORTH AND SOUTH LOCATION. GUTTERS ARE DRAINED BY RODS SOLDERED WITHIN THREE LION MOUNTAIN GARGOYLE AT EACH GUTTER END - SIX PER SIDE. 24 TOTAL. ROD OUT & CLEAN DRAINAGE TUBES TO REMOVE ANY BLOCKAGES. INSTALL BASKET STRAINER AT DRAINAGE INLET. 6 PER SIDE.
 - INSTALL DRIP EDGE AT VERTICAL MARBLE SIDEWALL**
INSTALL DRIP AT ROOF TILE TO SIDEWALL TRANSITION. REPAIR BED JOINT AT ROOF TILE. AS REQ'D TO INSTALL DRIP EDGE.
- CEILING REPAIR:**
 - SEALANT REMOVAL**
NEATLY CUT AND REMOVE EXISTING SEALANT BETWEEN EXTERIOR MARBLE SIDEWALLS & PLASTER CEILING PERIMETER. USE CUTTING METHODS LEAST LIKELY TO DAMAGE CONSTRUCTION TO REMAIN OR ADJOINING CONSTRUCTION. MONITOR DRYING OF EXISTING PERIMETER CEILING CONDITION ONCE REMOVAL IS COMPLETE. NOTIFY OWNER & ARCHITECT PRIOR TO REMOVAL OF PLASTERED FINISH AT BEAM SYSTEM.
 - REPLACE PLASTERED FINISH WITH FIBERGLASS BANDING AT INTERIOR & PERIMETER BEAMS**
DOCUMENT EXISTING DIMENSIONS, PROFILE AND INSET RELIEF PRIOR TO DEMO. ORNAMENTAL RELIEF AND RAISED DESIGN TO BE REPLICATED. SECTIONS OF EXISTING PLASTER BANDING TO BE USED AS A MOLD TO FABRICATE FIBERGLASS DUPLICATES.
REMOVE EXISTING PLASTER FINISH AT INTERIOR AND PERIMETER BEAM SYSTEM IN ITS ENTIRETY. COORDINATE REMOVAL OF PLASTER AS WELL AS INSTALLATION OF FIBERGLASS BANDING WITH EXISTING INTERIOR FIBERGLASS PANELS. SCRAPE & PREPARE EXISTING SUBSTRATE. MINIMIZE DISTURBANCE TO ADJACENT SURFACES. RESTORE AS REQUIRED. DO NOT ALLOW RUBBLE TO FREE FALL ONTO ANY PART OF EXISTING STRUCTURE BELOW THE WORK AREA. IN CONFORMANCE WITH EXISTING DIMENSIONS & PROFILE. INSTALL WOOD BLOCKING, NAILING STRIPS OR PLYWOOD TO PROVIDE A LEVEL SUBSTRATE FOR ATTACHMENT OF FIBERGLASS.
- PAINT**
PAINT ALL NEWLY INSTALLED FIBERGLASS BANDING TO MATCH EXISTING. REPAIR ANY DAMAGED AND MISSING PAINT AT INTERIOR CEILING AREAS. PREPARE SURFACES TO BE PAINTED ACCORDING TO THE SURFACE PREPARATION SCHEDULE AND WITH MANUFACTURER'S WRITTEN INSTRUCTIONS FOR EACH SUBSTRATE CONDITION. CLEANING AND REPAIRED SURFACES ARE TO HAVE A UNIFORM APPEARANCE. SO SURFACE BLENDS SMOOTHLY INTO SURROUNDING AREAS.
- MASONRY REPAIR:**
 - REMOVAL ORGANIC GROWTH AT COLUMN CAPITALS - (4) LOCATIONS**
EXECUTE A TEST SAMPLE OF THE PROPOSED CLEANING MATERIALS AS PER PROJECT SPECIFICATIONS AND PROPOSED PROTECTION METHODS AS REQUIRED FOR IN-PLACE CLEANING OF STONE. AREA WHERE CLEANING TEST SAMPLE IS TO BE PERFORMED SHALL BE SELECTED BY THE ARCHITECT IN CONSULTATION WITH THE CONTRACTOR.
SEQUENCE OF WORK:
a. REMOVE PLANT / BIOLOGICAL GROWTH.
b. INSPECT FOR OPEN MORTAR JOINTS AND REPAIR BEFORE CLEANING TO PREVENT THE INTRUSION OF WATER AND OTHER CLEANING MATERIALS INTO THE COLUMNS.
c. CLEAN STONE SURFACES.
d. AFTER REPAIRS AND REPOINTING HAVE BEEN COMPLETED AND CURED, PERFORM A FINAL CLEANING TO REMOVE RESIDUES FROM THIS WORK.

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BENEDICT MEMORIAL TEMPLE TO MUSIC
ROGER WILLIAMS PARK, PROVIDENCE, RI 02907



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JOB NO.	DATE	
2024A	11/29/2021	
ISSUE :	BID SET	
NO.	REVISION DESCRIPTION	DATE

SHEET TITLE
SITE & FLOOR PLAN

SHEET
A1.1

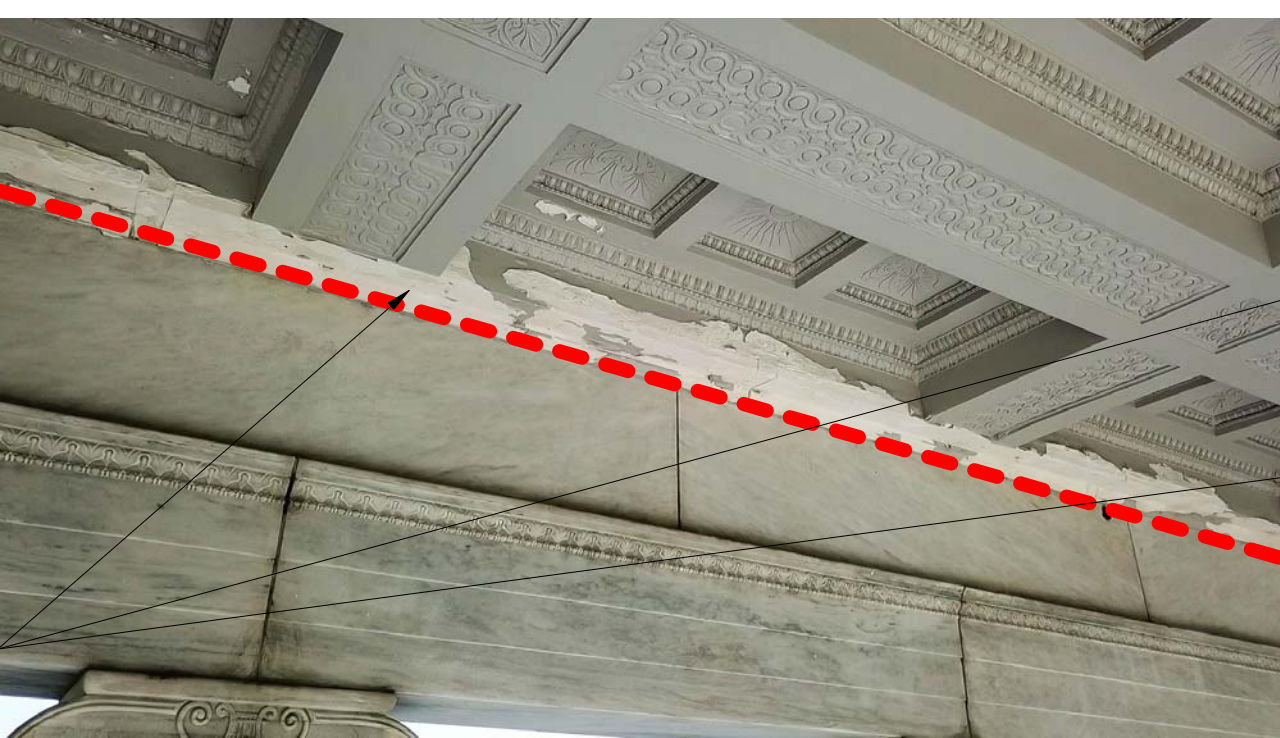
JOB NO. 2024A	DATE 11/29/2021	
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SHEET TITLE
REFLECTED CEILING PLAN & ROOF PLAN

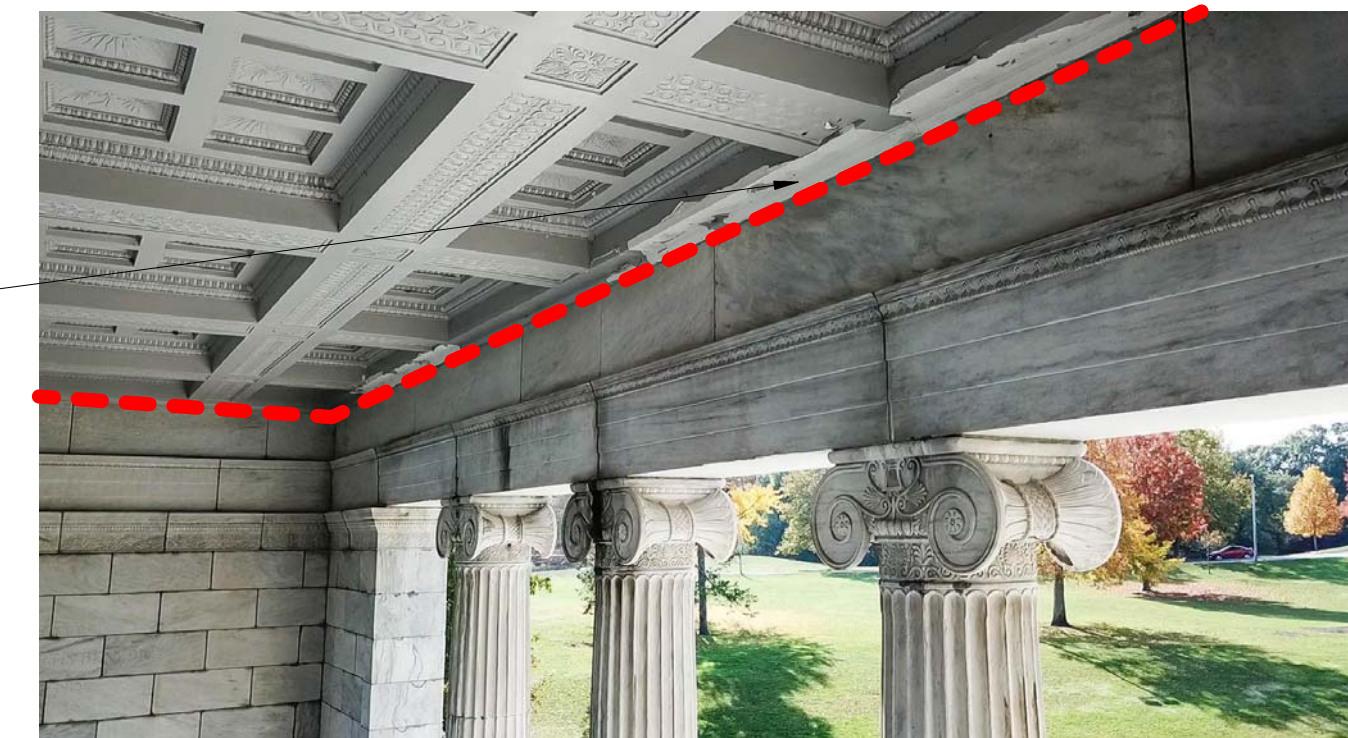
SHEET
A1.2



REMOVE PERIMETER SEALANT
 REPLACE PLASTER COFFER BANDING WITH FIBERGLASS MOLD TO REPLICATE EXISTING. REPAINT INTERIOR PAINT MISSING OR DAMAGED BEYOND PERIMETER - SEE REPAIR SCOPE NOTE #3 FOR ADDNL INFO.
 REMOVE BIRD NEST

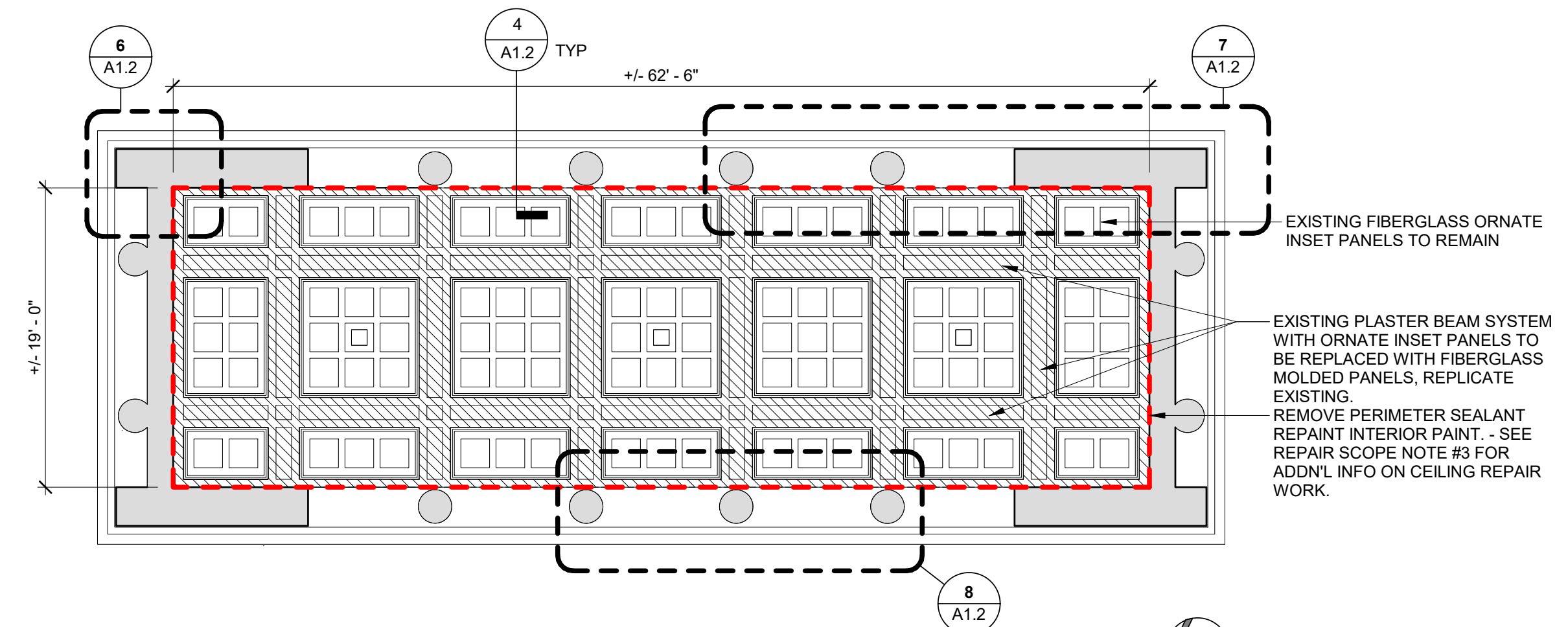


7 TYPICAL PERIMETER CONDITION
 1/16" = 1'-0"

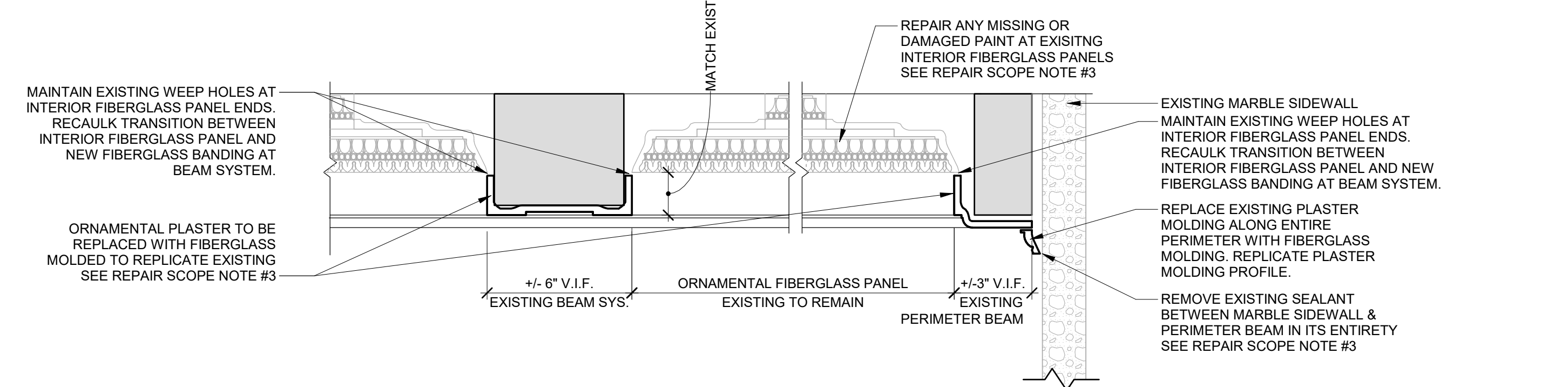


8 TYPICAL PERIMETER CONDITION 2
 1/16" = 1'-0"

6 EXISTING BIRD NEST
 1/16" = 1'-0"



1 REFLECTED CEILING PLAN
 1/8" = 1'-0"



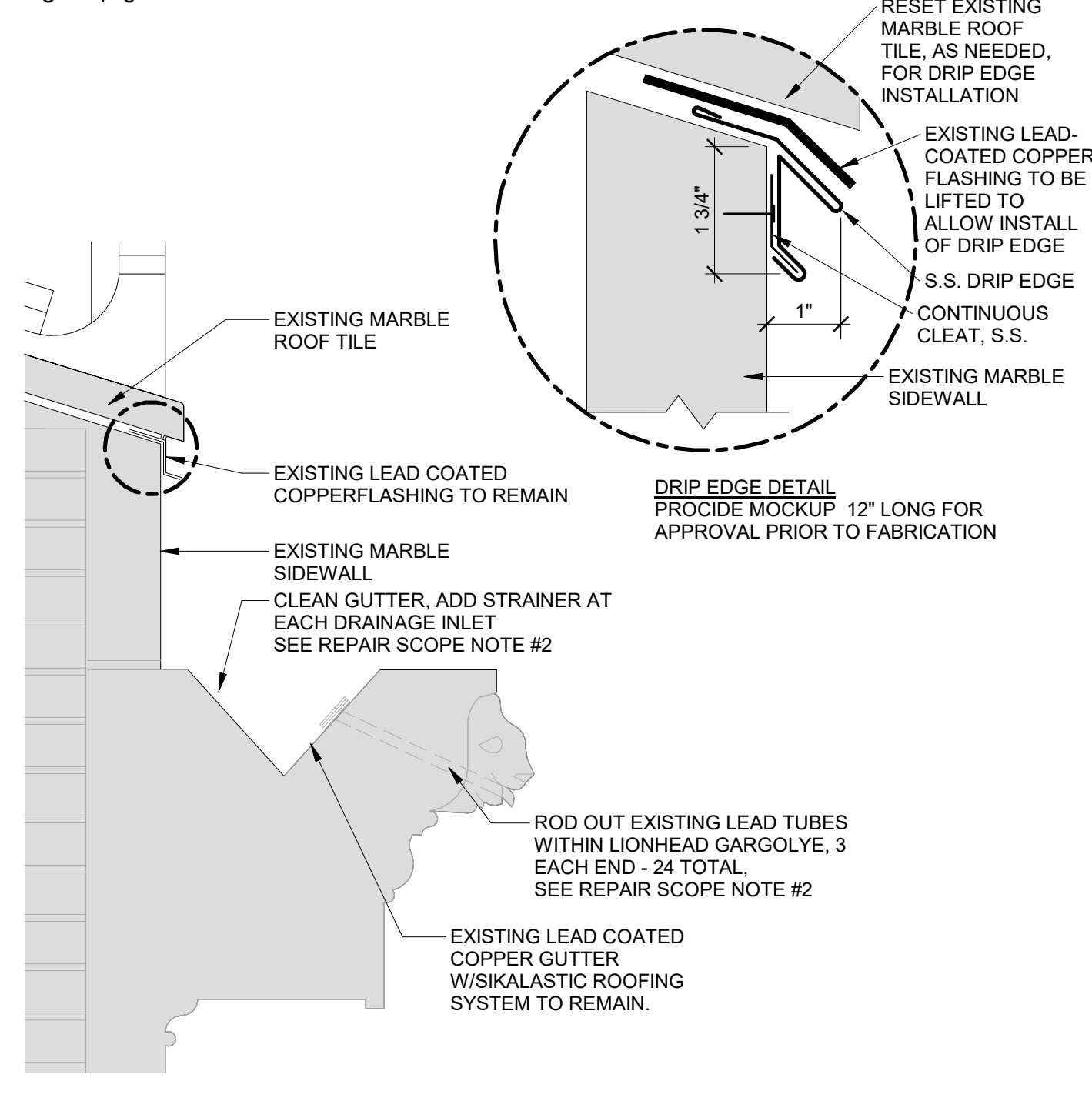
4 COFFER DETAIL, TYPICAL
 3" = 1'-0"



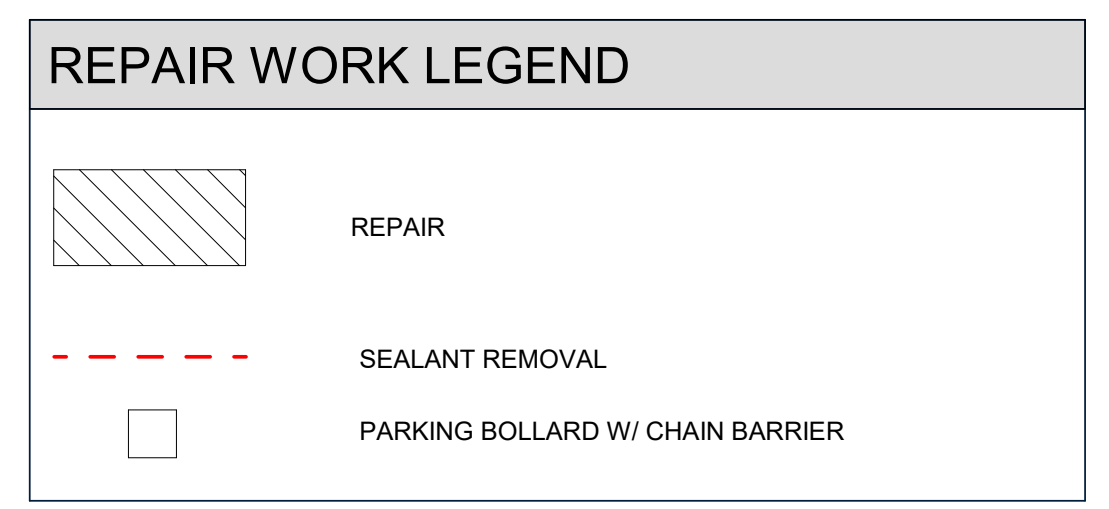
CLEAN GUTTER SEE REPAIR NOTE #2
 DRIP EDGE TO BE INSTALLED SEE REPAIR NOTE #2
 EXISTING ATTIC VENT TO BE CLEANED



9 GUTTER TOP & SIDE VIEW, TYPICAL
 1/16" = 1'-0"



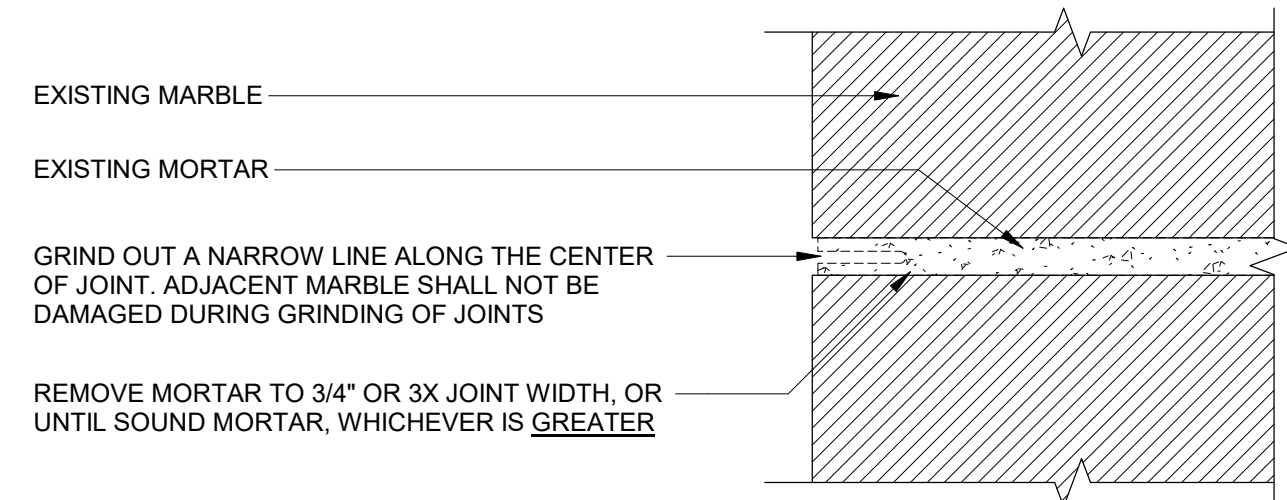
3 GUTTER DETAIL
 1 1/2" = 1'-0"



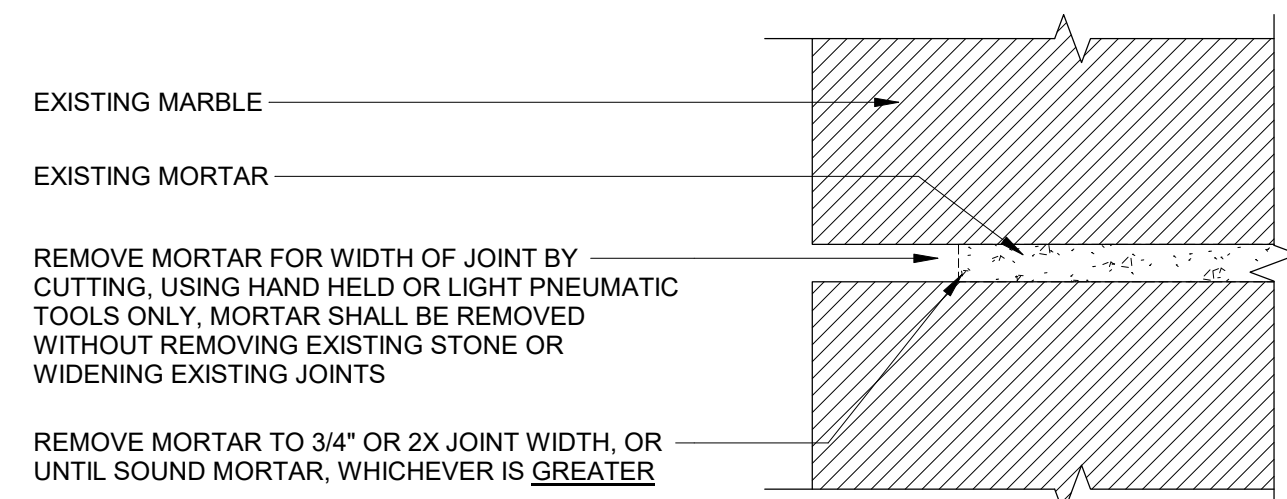
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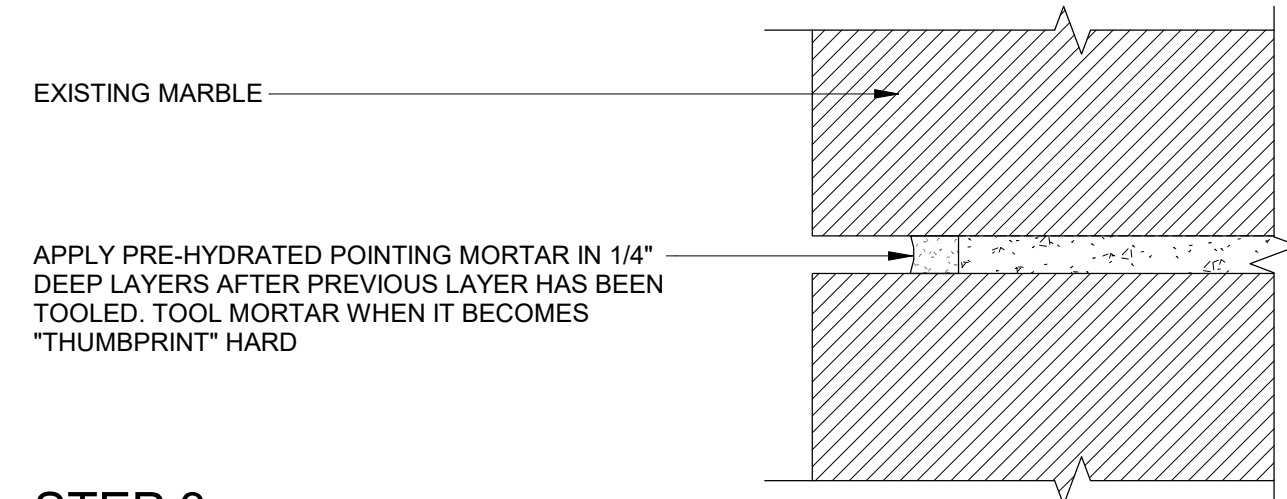
2 ROOF PLAN
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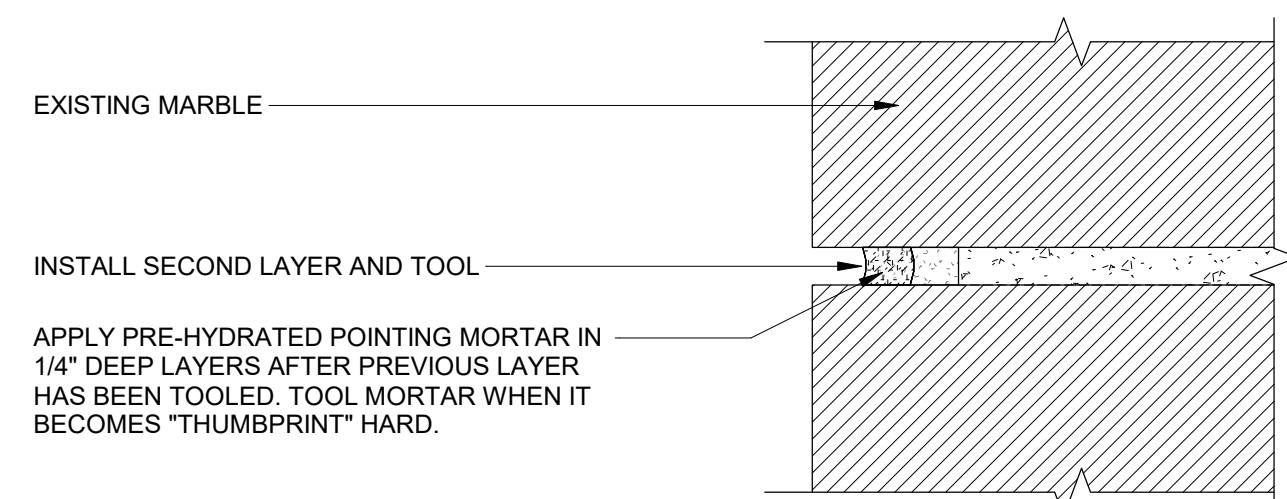
STEP 1



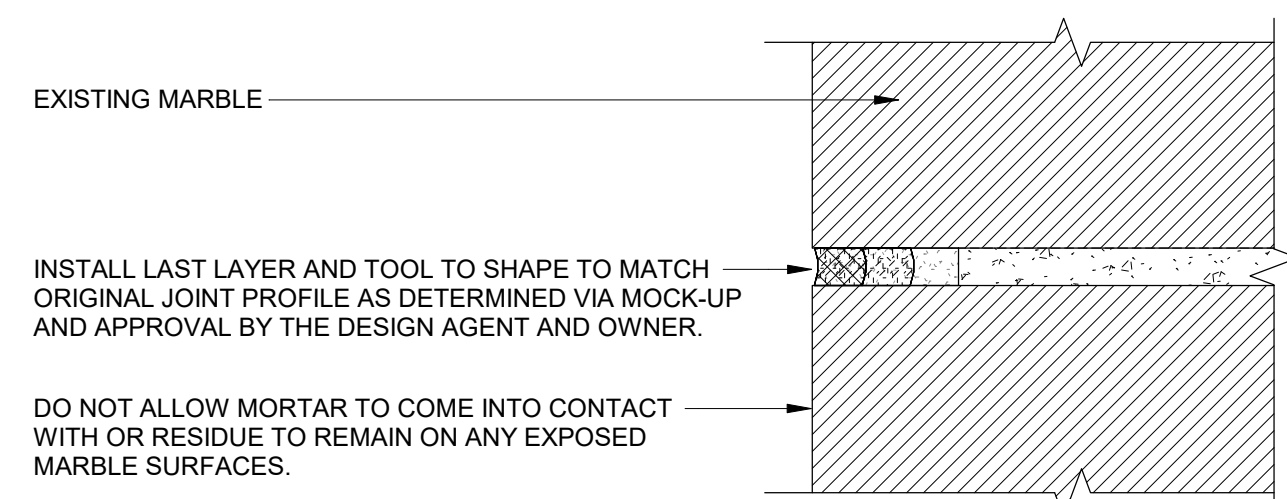
STEP 2



STEP 3



STEP 4



STEP 5

REPOINTING SCHEDULE

REMOVE EXISTING MORTAR TO A DEPTH OF 3/4", 2X JOINT WIDTH, OR TO SOUND ORIGINAL MORTAR (WHICHEVER IS GREATER).

FLUSH OUT LOOSE MATERIAL WITH AIR SPRAY.

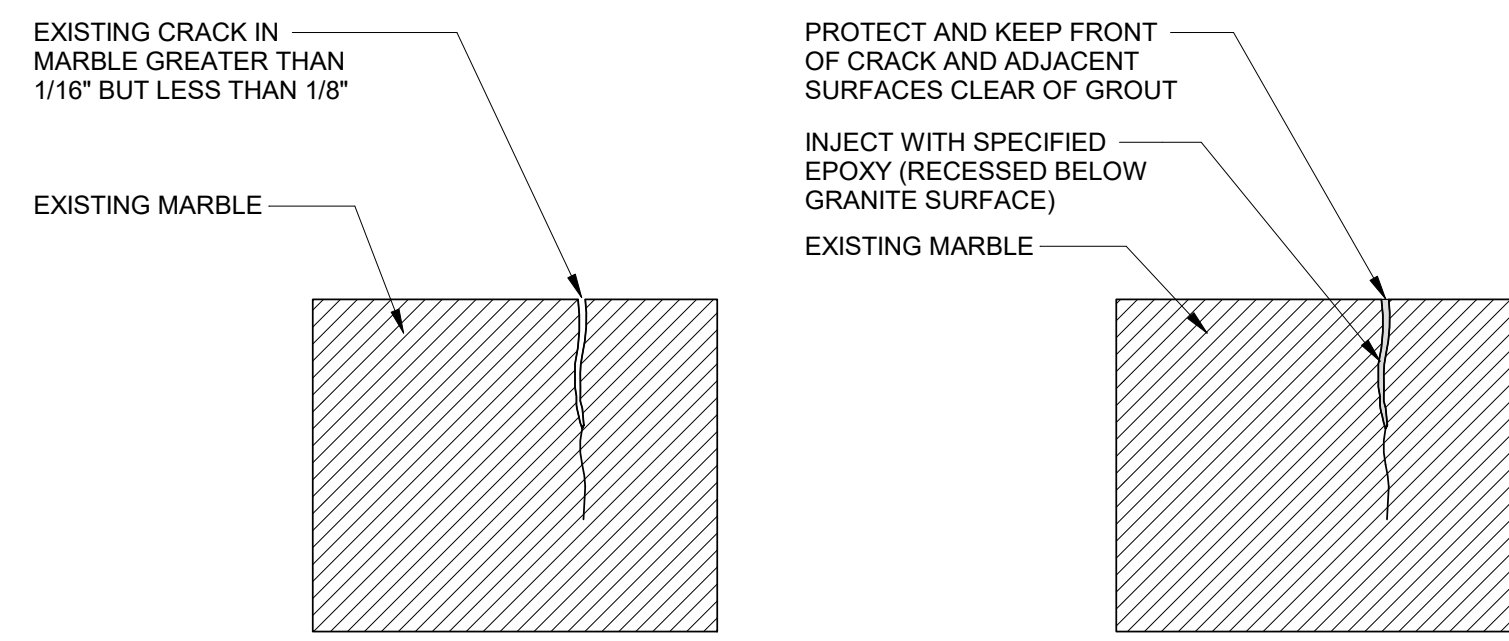
INSTALL MORTAR IN 1/4" LIFTS UNTIL JOINT IS FILLED AND TOOL TO A SMOOTH FINISH, MATCHING EXISTING SHAPE. INSTALL A MINIMUM OF THREE LIFTS WITH EACH LIFT BEING NO MORE THAN 1/4" DEEP.

DISCARD ANY UNUSED MORTAR NOT USED WITHIN 2-1/2 HOURS AFTER INITIAL ADDITION OF WATER.

DO NOT DAMAGE FACE OF MARBLE UNITS. ALL MASONRY UNITS DAMAGED DURING MORTAR REMOVAL AND REPOINTING ACTIVITIES SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.

SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

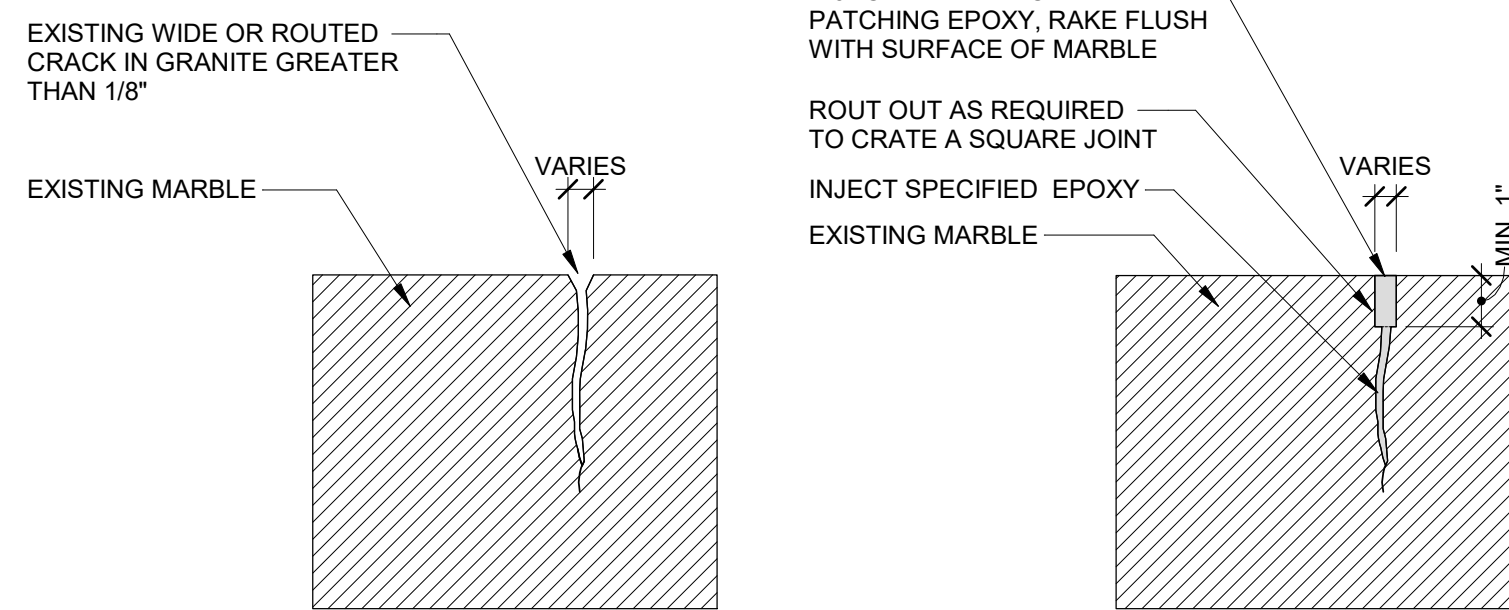
1 TYPICAL REPOINTING DETAILS
3" = 1'-0"



PLAN DETAIL THROUGH CRACK PRIOR TO REPAIR

PLAN DETAIL THROUGH CRACK AFTER REPAIR

2 TYPICAL VIRGIN CRACK REPAIR AT MARBLE
3" = 1'-0"



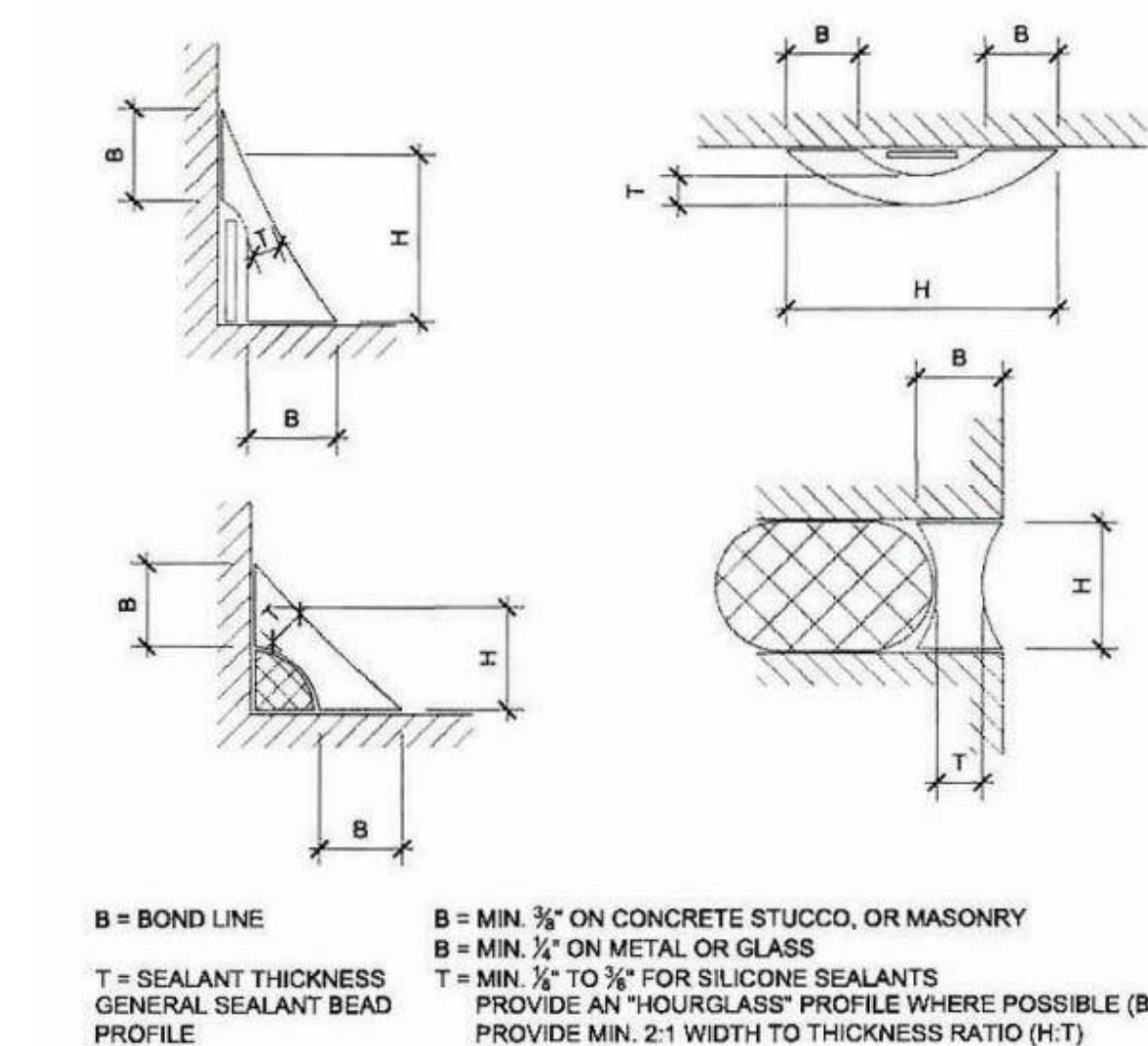
PLAN DETAIL THROUGH CRACK PRIOR TO REPAIR

PLAN DETAIL THROUGH CRACK AFTER REPAIR

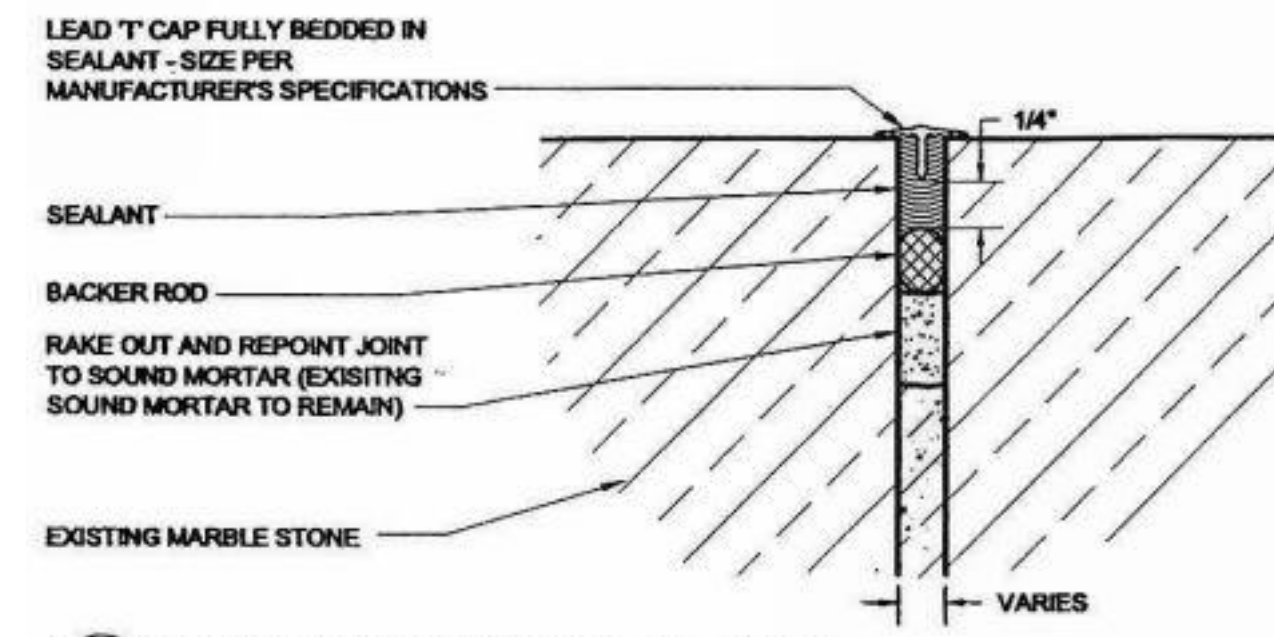
3 TYPICAL WIDE OR ROUTED CRACK REPAIR AT MARBLE - OUTER SURFACES
3" = 1'-0"

SEALANT CHART	
H	B
1/4 IN.	1/4 IN.
1/4 TO 1/2 IN.	1/4 IN.
1/2 TO 1 IN.	1/2
> 1 IN.	1/2

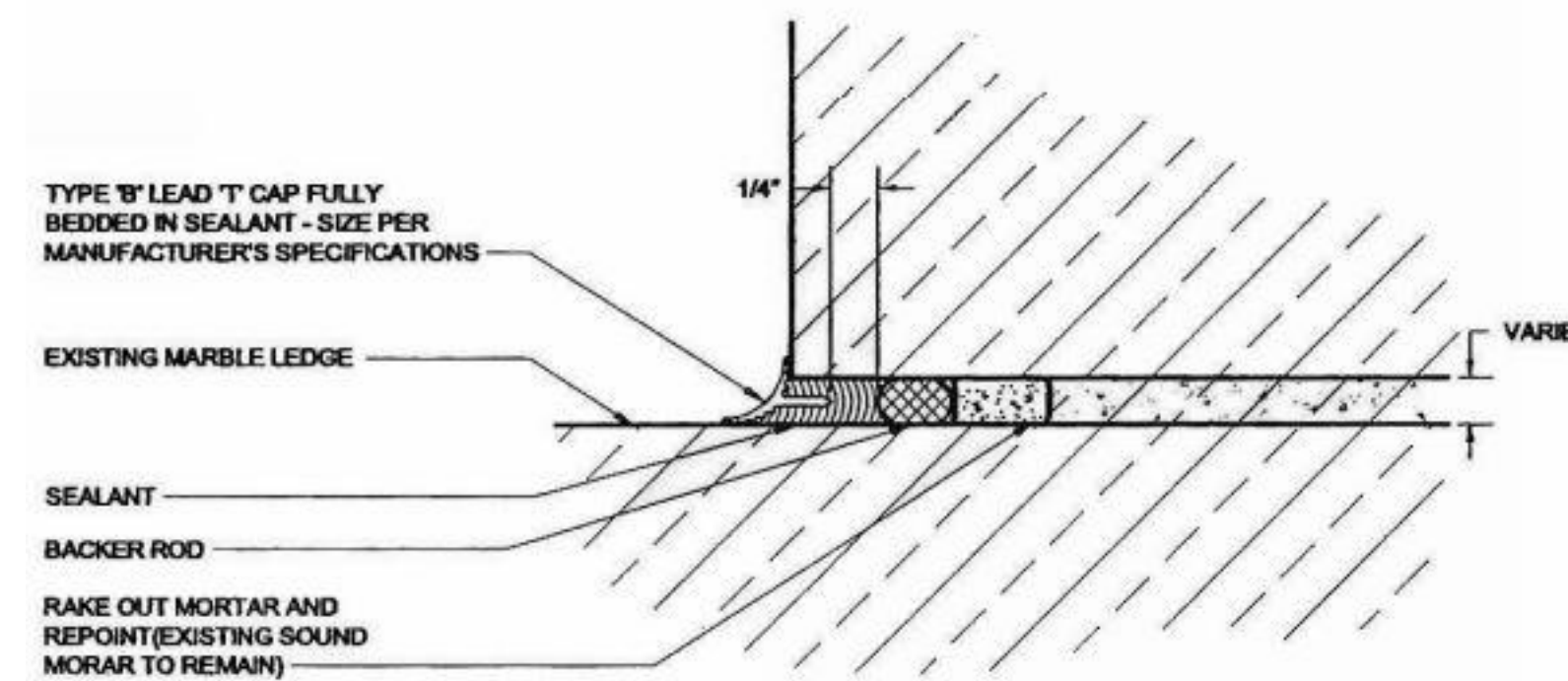
4 TYPICAL SEALANT CHART
NTS



5 TYPICAL SEALANT PROFILES
NTS



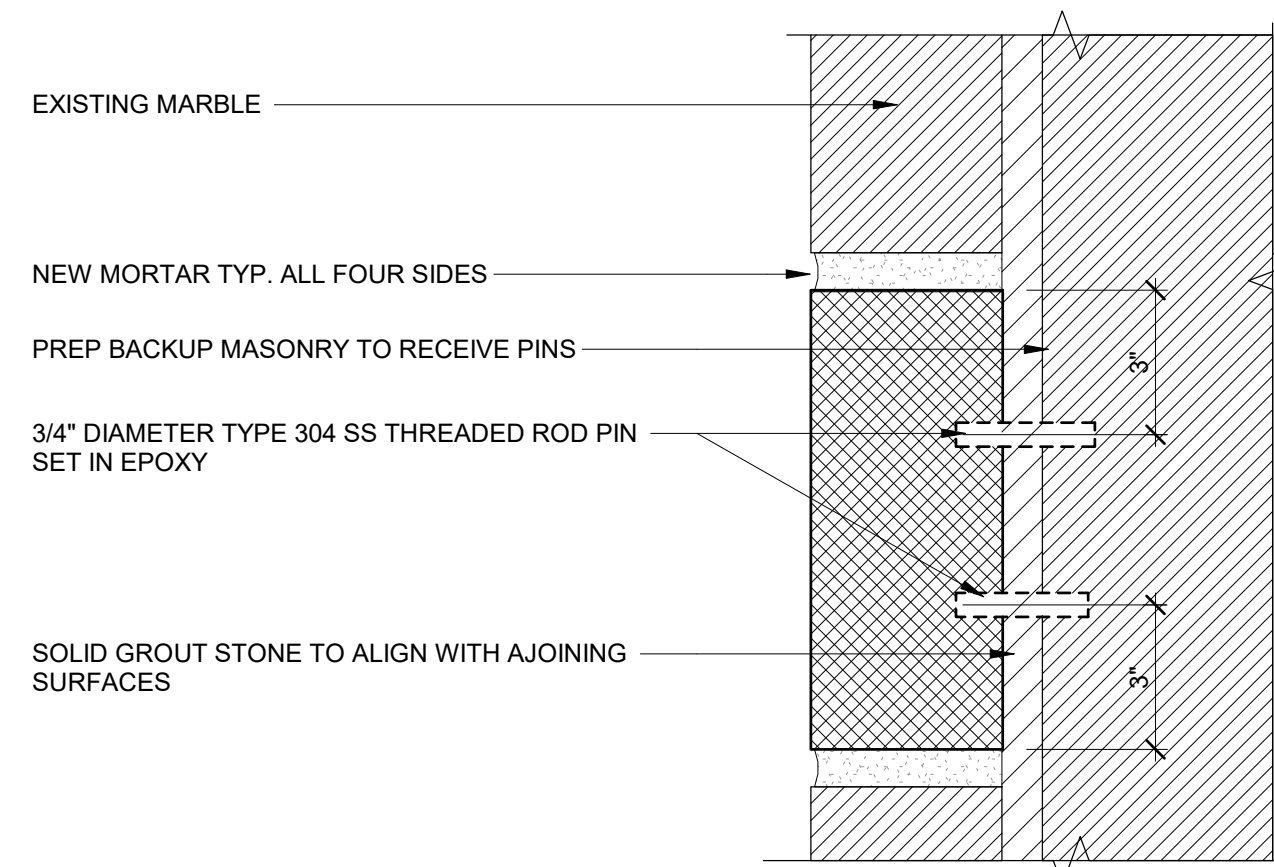
A LEAD CAP AT UPFACING HEAD JOINT



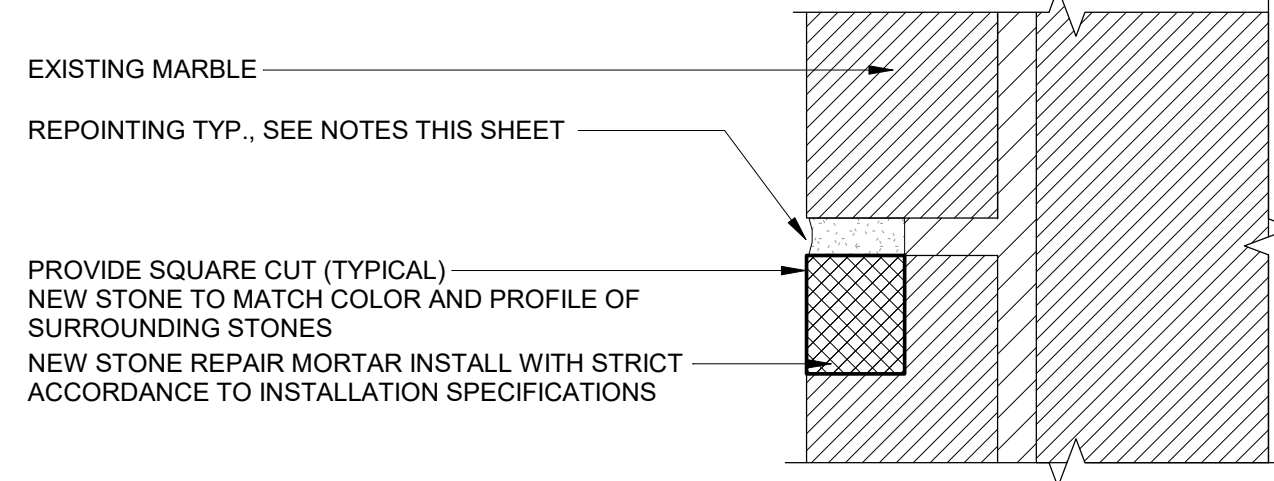
B LEAD CAP AT WEATHERING BED JOINT

6 LEAD "T" CAP JOINTS - SECTION DETAILS
NTS

CONTRACTOR IS TO PROVIDE TEMPORARY SUPPORT FOR ADJOINING STONE PRIOR TO ANY STONE REMOVAL FOR RESETTING PURPOSES.



7 TYPICAL STONE RESET DETAIL
3" = 1'-0"



8 TYPICAL DUTCHMAN DETAIL (SMALL)
3" = 1'-0"

- SEQUENCE OF WORK**
- SQUARE UP THE CIPPED AREA INTO A REGULAR SLOT.
 - VERIFY CONTACT SURFACES OF THE REPAIR STONE WILL FIT THE SLOT CREATED.
 - APPLY EPOXY MIX ONTO THE PREP'D SURFACES AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 - INSTALL REPAIR STONE PIECE INTO THE SLOT, PRESS AND HOLD PER MANUFACTURER'S RECOMMENDATIONS.
 - CLEAN EXPOSED SURFACES OF STONE OR ANY OVERRUN OR RESIDUE WITH DAMP RAG PROMPTLY.

RESTORATION OF
BENEDICT MEMORIAL TEMPLE TO MUSIC
ROGER WILLIAMS PARK, PROVIDENCE, RI 02907

BREWSTER THORNTON GROUP ARCHITECTS LLP

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JOB NO. 2024A DATE 11/29/2021

ISSUE : BID SET

NO.	REVISION DESCRIPTION	DATE

SHEET TITLE
TYPICAL DETAILS

SHEET
A3.3