

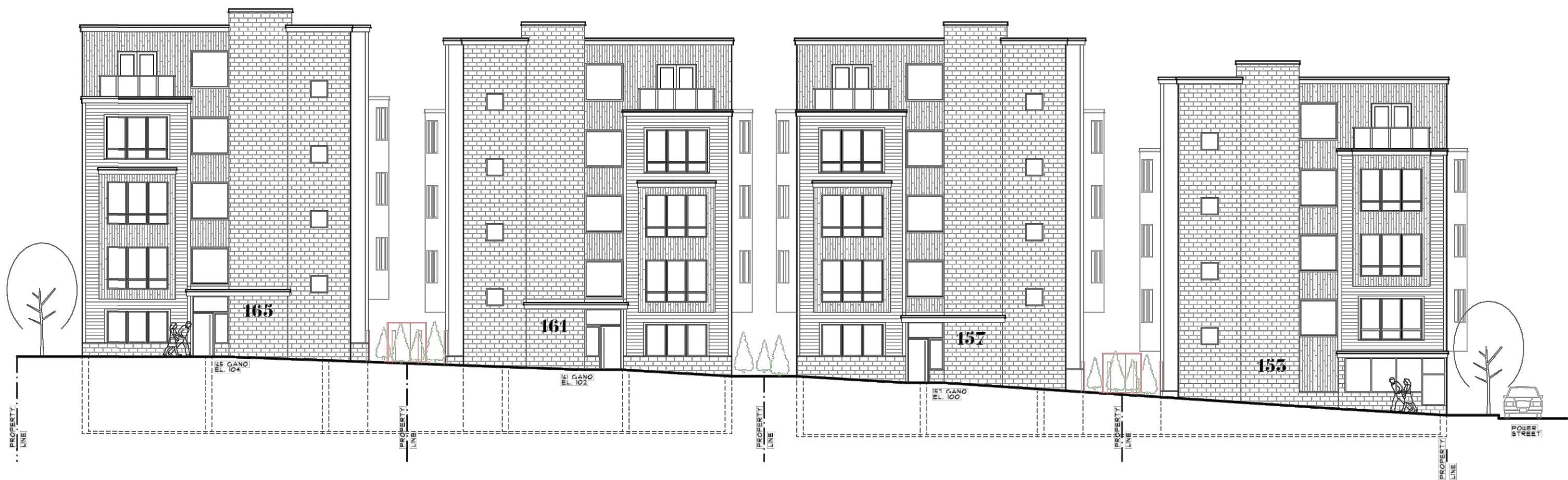
PRELIMINARY PLAN FILING of a MINOR LAND DEVELOPMENT
for a PROPOSED 133-UNIT RESIDENTIAL COMPLEX

POWER STREET APARTMENTS

157, 159 & 165 GANO STREET & 256 POWER STREET
PROVIDENCE, RHODE ISLAND
AP 14, LOTS 272, 273, 296 & 576

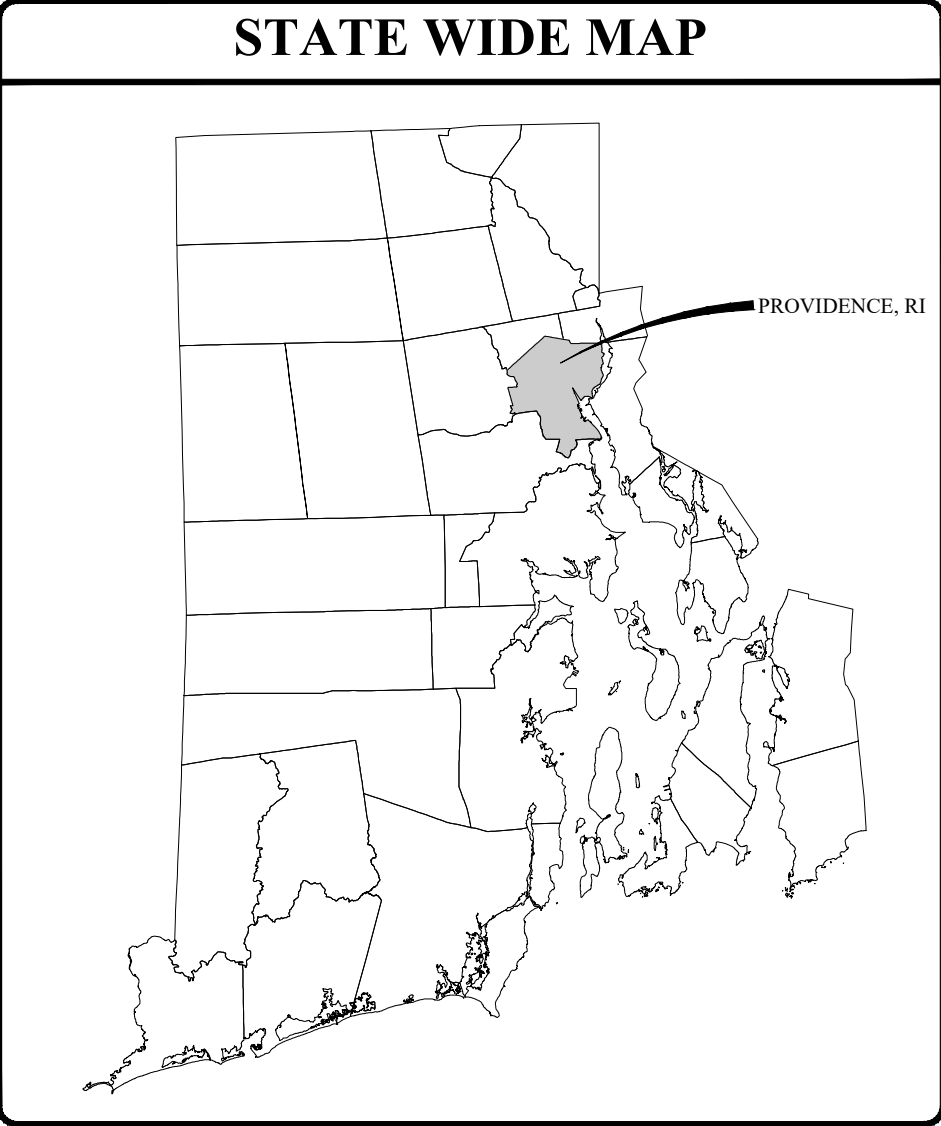
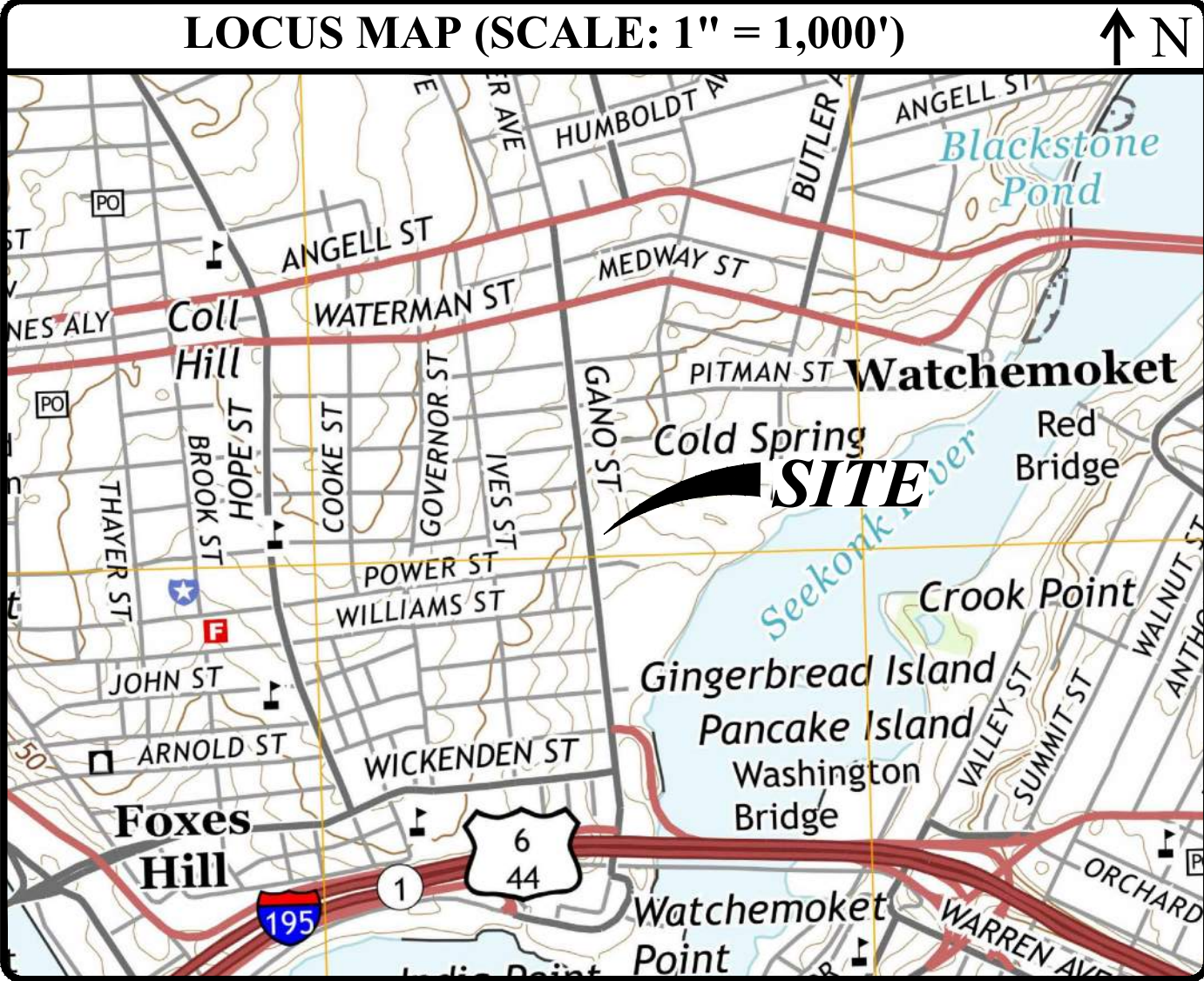
ZONING DISTRICT: C-2 (GENERAL COMMERCIAL DISTRICT)

FILINGS:
PRELIMINARY PLAN: PROVIDENCE CITY PLAN COMMISSION (CPC)
NARRAGANSETT BAY COMMISSION - SEWER CONNECTION PERMIT
PROVIDENCE WATER SUPPLY BOARD
PROVIDENCE PARKS DEPARTMENT / CITY FORESTER
PROVIDENCE ENGINEERING DIVISION
PROVIDENCE TRAFFIC DIVISION



Elevation View Courtesy of Acme Architects LLC (NTS)

PROJECT TEAM			
OWNER/ APPLICANT:	POWER 250 LLC	CIVIL:	JOE CASALI ENGINEERING, INC.
	374 WICKENDEN STREET PROVIDENCE, RI 02903		300 POST ROAD WARWICK, RI 02888 PHONE: 401-944-1300 FAX: 401-944-1313
ARCHITECT:	ACME ARCHITECT, LLC	SURVEYOR:	OCEAN STATE PLANNERS, INC.
	9 SIMMONS ROAD LITTLE COMPTON, RI 02837 PHONE: 401-465-5247		1255 OAKLAWN AVENUE CRANSTON, RI 02920 PHONE: 401-463-9696
TRAFFIC ENGINEER:	BETA GROUP, INC.		
	701 GEORGE WASHINGTON HWY LINCOLN, RI 02865 PHONE: 401-333-2382		



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7	CIVIL DETAILS
R1	BOUNDARY STAKE-OUT SURVEY & UTILITY PLANS, PREPARED BY OCEAN STATE PLANNERS, INC.

PROPOSED RESIDENTIAL DEVELOPMENT
157, 159 & 165 GANO AND 256 POWER STREET
PROVIDENCE, RHODE ISLAND
AP 14, LOTS 272, 273, 296 & 576

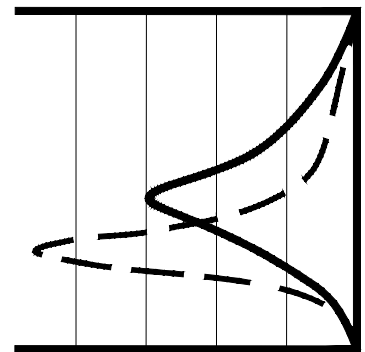
REVISIONS:	
NO.	DATE DESCRIPTION

DESIGNED BY:	DRD
DRAWN BY:	SEP/SD
CHECKED BY:	JAC
DATE:	MAY 2022
PROJECT NO:	21-80

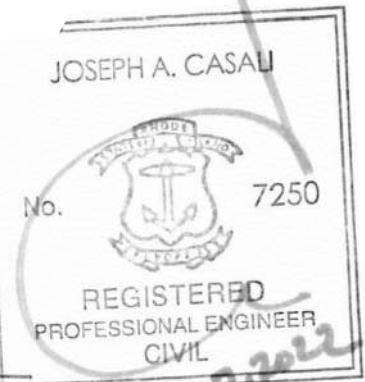
PRELIMINARY, NOT FOR CONSTRUCTION

COVER SHEET

SHEET 1 OF 7



JOE CASALI ENGINEERING, INC.
CIVIL SITE DEVELOPMENT - TRANSPORTATION
1505 WICKENDEN STREET
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Q:\21-60 Bahman Jattil\ACAD\Gano & Power Street [WORKING] R1.dwg Jun. 23, 2022 2:24pm

GENERAL NOTES:

- CONTRACTOR SHALL NOTIFY "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE EXCAVATING.
- A CLASS I BOUNDARY AND CLASS III TOPOGRAPHIC SURVEY FOR LOTS 273, 296 & 576 WAS COMPLETED IN FEBRUARY 2022 BY OCEAN STATE PLANNERS, 1255 OAKLAWN AVENUE, CRANSTON, RI 02920. AN ADDITIONAL A CLASS I BOUNDARY AND CLASS III TOPOGRAPHIC SURVEY FOR LOT 272 WAS COMPLETED IN MARCH 2022
- THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR CITY WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
- THE PROPOSED SITE IMPROVEMENTS LIE WITHIN FLOOD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON THE FIRM MAP FOR THE CITY OF PROVIDENCE MAP NUMBER 44007C0309K, EFFECTIVE DATE OCTOBER 2, 2015.
- THERE ARE NO KNOWN ACTIVE AGRICULTURAL USES ON OR ADJACENT TO THE SITE. THERE ARE NO HISTORIC CEMETERIES ON OR IMMEDIATELY ADJACENT TO THE SITE. THE SITE LIES ADJACENT TO LOCAL CONSERVATION LAND, GANO STREET PARK.
- THERE ARE NO KNOWN WETLANDS ON OR IMMEDIATELY ADJACENT TO THE SITE.
- EXISTING SOILS ON THE SITE HAVE BEEN CLASSIFIED AS URBAN LAND (Ur) AND UDORTHENTS-URBAN LAND COMPLEX (UD).
- THERE ARE NO KNOWN EASEMENTS WITHIN THE PROJECT AREA.
- WATER, SEWER, STORMWATER, GAS AND ELECTRIC SERVICES ARE AVAILABLE WITHIN GANO STREET.

SITE NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) OF ALL MATERIALS INDICATED ON THE PLANS.
- ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS, AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICAN WITH DISABILITIES ACT AND WITH ALL APPLICABLE STATE AND LOCAL LAWS AND REGULATIONS, WHICHEVER IS MORE STRINGENT.
- STOCKPILES OF EARTH MATERIALS SHALL NOT BE LOCATED ADJACENT TO DRAINAGE STRUCTURES.
- ALL DISTURBED AREAS OUTSIDE OF THE PAVED AREAS WILL RECEIVE A MINIMUM OF 6" OF LOAM AND SEED.
- THE LAYOUT SHOWN REPRESENTS A GRAPHICAL DESIGN, AND PRIOR TO THE CONSTRUCTION, THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL LAND SURVEYOR (PLS) REGISTERED IN THE STATE OF RHODE ISLAND TO SET AND VERIFY ALL LINES AND GRADES. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEMS FOUND WHICH DO NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEERS ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. NO WORK SHALL PROCEED UNTIL AUTHORIZED BY THE ENGINEER.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SURVEY LAYOUT SERVICES FOR THE WORK AND SHALL SUBMIT "AS-BUILT" DRAWINGS OF ALL WORK, WHICH SHALL BE STAMPED AND CERTIFIED BY A RHODE ISLAND REGISTERED PROFESSIONAL LAND SURVEYOR.
- ANY ITEM OF WORK NOT SPECIFICALLY INDICATED ON THE PLANS BUT IS REQUIRED FOR THE COMPLETE CONSTRUCTION OF THE PROJECT WILL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND INCLUDED IN THE CONTRACT BID PRICE. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING SITE CONDITIONS.
- REFER TO ARCHITECTURAL PLANS, STRUCTURAL PLANS, PLUMBING PLANS AND ELECTRICAL PLANS FOR ACTUAL SIZE OF THE PROPOSED BUILDINGS AND WORK WITHIN 5 FEET OF THE PROPOSED BUILDINGS.
- WHERE NECESSARY TO REMOVE CURBS, CATCH BASINS OR DRAINS TO COMPLETE WORK, THE CONTRACTOR SHALL REPLACE SUCH ITEMS TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST TO THE OWNER.
- ANY EXISTING PIPE OR UTILITY DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL RESTORE TO ITS ORIGINAL CONDITION OR REPLACE TREES, SHRUBS, FENCES, SIGNS, GUARDRAILS, DRIVEWAYS, SIDEWALKS AND ANY OTHER OBJECT AFFECTED BY THIS OPERATION, UNLESS OTHERWISE NOTED ON THE SITE PLANS.
- THE TOPS OF ALL VALVE BOXES AND CURB BOXES SHALL BE FLUSH WITH GROUND OR PAVEMENT SURFACE LEVEL AND PLUMB, UNLESS OTHERWISE DIRECTED.
- ROADWAYS SHALL BE LEFT PASSABLE AT ALL TIMES. CLOSURE OF ROADWAY IS NOT PERMITTED.
- WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES.
- IF ENCOUNTERED, ALL LEDGE TO BE REMOVED BY MECHANICAL MEANS.
- ALL CONSTRUCTION WORK SHALL BE PERFORMED IN THE DRY. THE CONTRACTOR SHALL PROVIDE, OPERATE AND MAINTAIN ALL PUMPS, DRAINS, WET POINTS, SCREENS, OR OTHER FACILITIES NECESSARY TO CONTROL, COLLECT AND DISPOSE OF ALL SURFACE AND SUBSURFACE WATER ENCOUNTERED IN THE PERFORMANCE OF THE WORK.
- ALL SITE WORK, INCLUDING BUT NOT LIMITED TO, BITUMINOUS PAVEMENT, ROADWAY CONSTRUCTION, AGGREGATE MATERIALS, DRAINAGE STRUCTURES, CURBING, SIDEWALK, LANDSCAPING, SAW CUTTING, ETC. SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, AMENDED DECEMBER 2010 (WITH LATEST ADDENDA) AND THE RIDOT STANDARD DETAILS, 1998 EDITION (WITH LATEST ADDENDA).

MAINTENANCE AND PROTECTION OF TRAFFIC NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY AND VEHICULAR SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), 2009 EDITION.
- TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
- THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS SHALL NOT BE PARKED IN THE CITY RIGHT-OF-WAY.
- ALL MAINTENANCE AND PROTECTION OF TRAFFIC CONTROL SETUPS, SIGNS CHANNELING DEVICES, ETC, SHALL BE IN ACCORDANCE WITH THE LATEST REVISIONS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, 2009 EDITION.
- SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH THE RIDOT SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.

DRAINAGE SYSTEM NOTES:

- THE PROPOSED DRAINAGE LINES SHALL BE ADS N-12 HDPE PIPE OR AN APPROVED EQUAL UNLESS OTHERWISE NOTED ON THE SITE PLANS.
- ALL RIM ELEVATIONS SHOWN ARE APPROXIMATE AND ARE TO BE SET FLUSH WITH FINAL GRADES.

SOIL EROSION AND SEDIMENTATION CONTROL NOTES:

- THE LIMITS OF CLEARING, GRADING, AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THESE LIMITS, AS DEPICTED ON THE PLAN SHALL BE TOTALLY UNDISTURBED, TO REMAIN IN NATURAL CONDITION.
- ALL CATCH BASINS SHALL BE PROTECTED WITH SILTSACK SEDIMENT TRAPS DURING CONSTRUCTION ACTIVITIES. ALL PROPOSED STORM WATER DISCHARGE AREAS SHALL BE LINED WITH A RIPRAP SPLASH PAD AND PROTECTED WITH STAKED HAYBALE OUTLET PROTECTION (R.I. STD. 9.1.0), OR STAKED HAYBALE WITH SILT FENCE (R.I. STD. 9.3.0) OUTLET PROTECTION (STAKED HAYBALE OR STAKED HAYBALE WITH SILT FENCE) SHALL ALSO BE INSTALLED AT ALL EXISTING STORMWATER DISCHARGE LOCATIONS WHERE DISTRIBUTING PIPES, CATCH BASINS, AND MANHOLES ARE TO BE CLEANED AND FLUSHED.
- ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEEDED, PROTECTED AND MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL REGULARLY CHECK ALL SEEDED AREAS TO ENSURE THAT A GOOD STANDING OF VEGETATION IS MAINTAINED.
- ALL SILT FENCE, TEMPORARY TREATMENT (HAY, STRAW, ETC.) AND TEMPORARY EROSION PROTECTION SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
- STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES OF NO GREATER THAN 2:1 AND SHALL BE TEMPORARILY SEEDED AND/OR STABILIZED PER CONTRACT SPECIFICATIONS.
- THE SILT FENCE/HAYBALES SHALL BE CHECKED BY THE CONTRACTOR ON A WEEKLY BASIS AND AFTER EACH STORM FOR UNDERMINING OR DETERIORATION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SILT FENCE/HAYBALES AS NEEDED. THE CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE HAY-BALES BECOMES FILLED WITH SEDIMENTS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL SOIL EROSION AND SEDIMENT CONTROLS ON THE PROJECT SITE FOR THE ENTIRE DURATION OF THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL FOLLOW THE DIRECTION OF THE RESIDENT ENGINEER, TOWN ENGINEER, OR OWNER WITH REGARD TO INSTALLATION, MAINTENANCE, AND REPAIR OF ALL SOIL EROSION AND SEDIMENTATION CONTROLS ON THE PROJECT SITE. TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROLS (HAYBALES, SILT FENCE, ETC.) SHALL BE MAINTAINED UNTIL ALL EXPOSED SOILS ARE SATISFACTORILY STABILIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND/OR RESEEDING ALL AREAS THAT DO NOT DEVELOP WITHIN ONE YEAR FROM THE COMPLETION OF CONSTRUCTION.
- ALL REFERENCED SOIL EROSION AND SEDIMENTATION CONTROLS INCLUDING MATERIALS USED, APPLICATION RATES AND THE INSTALLATION PROCEDURES SHALL BE PERFORMED PER THE "RHODE ISLAND EROSION AND SEDIMENTATION HANDBOOK", DATED 1993 AMENDED 2014.

MISCELLANEOUS UTILITY NOTES:

- PRIOR TO CONSTRUCTION ALL POTENTIAL UTILITY/DRAINAGE CONFLICTS MUST BE IDENTIFIED BY THE CONTRACTOR. ANY MODIFICATIONS TO THE PROPOSED UTILITIES TO AVOID CONFLICTS MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
- OVERHEAD ELECTRIC AND TELEPHONE SERVICES ARE TO BE REMOVED BY THE APPROPRIATE UTILITY COMPANY AND COORDINATED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL AT ALL TIMES PROVIDE A SUFFICIENT NUMBER OF WORKMEN AND GUARDS AS MAY BE NECESSARY TO PROPERLY SAFEGUARD THE PUBLIC FROM THEIR OPERATIONS.
- THE CONTRACTOR SHALL TAKE PRECAUTIONS AGAINST DAMAGING OF PAVING, SIDEWALKS, UTILITIES, OR PRIVATE PROPERTIES AND SHALL PROMPTLY REPAIR AT THEIR OWN EXPENSE ANY DAMAGE TO SUCH PAVING, SIDEWALKS, UTILITIES, OR PRIVATE PROPERTIES TO THE SATISFACTION OF THE OWNER OR CITY.
- EXISTING UTILITY FRAMES AND COVERS FOR SANITARY SEWER, WATER, GAS, STORM DRAINAGE AND OTHER UTILITIES SHALL BE ADJUSTED TO GRADE AS REQUIRED IN NEW PAVING AND PAVEMENT OVERLAY AREAS.
- ALL SEWER CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE NARRAGANSETT BAY COMMISSION SEWER REQUIREMENTS.
- ALL NEW SEWER PIPES AND MANHOLES SHALL BE CLEANED AND TESTED PRIOR TO ACCEPTANCE. GRAVITY SEWER PIPES SHALL BE REQUIRED TO PASS BOTH LOW PRESSURE AIR AND DEFLECTION (IE., MANDREL) TESTING. LOW PRESSURE SEWER PIPING SHALL BE REQUIRED TO PASS A LOW PRESSURE (IE., HYDROSTATIC) TEST.
- A BACKFLOW PREVENTION DEVICE MUST BE INSTALLED AT EACH SEWER SERVICE BUILDING CONNECTION THAT IS BELOW THE RIM ELEVATION OF THE NEAREST SEWER MANHOLE, AS REQUIRED BY THE INTERNATIONAL PLUMBING CODE AND THE NARRAGANSETT BAY COMMISSION.
- APPLICANT IS REQUIRED TO PROVIDE TWO SETS OF FINAL AS-BUILT PLANS TO NARRAGANSETT BAY COMMISSION AND ENGINEERING DEPARTMENT UPON COMPLETION OF CONSTRUCTION, PRIOR TO FINAL ACCEPTANCE. AS-BUILT PLANS SHALL INCLUDE FIELD MEASUREMENTS OF ALL INSTALLED PIPE AND APPURTENANCES, INCLUDING LENGTH, SLOPE, MANHOLE RIMS AND INVERTS, AS WELL AS SWING TIES/MEASUREMENTS TO ALL MANHOLES, SEWER STUBS, AND/OR LATERAL SERVICE CONNECTIONS.
- INSPECTION OF ALL SEWER CONSTRUCTION SHALL BE PERFORMED BY NARRAGANSETT BAY COMMISSION. APPLICANT SHALL PROVIDE SCHEDULE FOR CONSTRUCTION AS SOON AS POSSIBLE TO ALLOW FOR DEVELOPMENT OF INSPECTION FEE, TO BE PAID BY APPLICANT DIRECTLY TO THE NARRAGANSETT BAY COMMISSION. UPON PAYMENT OF FEE, COMMENCEMENT OF CONSTRUCTION INSPECTION REQUIRES MINIMUM NOTIFICATION OF 48-HOURS.
- APPLICANT IS RESPONSIBLE FOR SECURING ALL REQUIRED PERMITS FROM LOCAL, STATE, AND/OR FEDERAL AGENCIES WITH REGULATORY JURISDICTION OVER THE PROPOSED WORK. COPIES OF ALL PERMITS SHALL BE PROVIDED TO NARRAGANSETT BAY COMMISSION AND CITY ENGINEER PRIOR TO CONSTRUCTION. ALL SEWER CONSTRUCTION SHALL BE PERFORMED BY A DRAIN LAYER LICENSED IN THE STATE OF RHODE ISLAND AND THE CITY OF PROVIDENCE.
- NO FLOW WILL BE ACCEPTED UNTIL A COMPLETION CERTIFICATE IS ISSUED.
- THE CONTRACTOR SHALL CONFINE HIS CONSTRUCTION OPERATIONS AND ACTIVITIES TO WITHIN THE STREET LINES, EASEMENT AND/OR RIGHT-OF-WAY, AS SHOWN ON THE DRAWINGS.
- PRIOR TO CONSTRUCTION OF THE RELOCATION OF ALL WATER MAINS, THE CONTRACTOR SHALL COORDINATE WITH PROVIDENCE WATER SUPPLY BOARD FOR INSPECTION AND CHLORINATION OF NEW PIPING, FITTINGS AND VALVES.

LOAMING & SEEDING NOTES:

SEEDING ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH SECTION L.02 SEEDING OF THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, 2010 EDITION (WITH LATEST ADDENDA), AND SHALL ALSO CONFORM TO THE FOLLOWING:

- AFTER ROUGH GRADING IS COMPLETED, ALL DISTURBED AREAS AND AREAS LABELED AS 'LOAM AND SEED' ARE TO BE BROUGHT TO AN ELEVATION OF 6" BELOW THE PROPOSED FINISHED GRADE. SCARIFY THE SUBGRADE TO A DEPTH OF 12" WITH THE TEETH OF A BACKHOE OR A POWER RAKE TO RESULT IN AN UNCOMPACTED SUBSOIL. 6" OF GOOD QUALITY TOPSOIL IS TO BE APPLIED AND RAKED TO FINISHED GRADE.
- THE TOPSOIL IS TO BE GOOD QUALITY LOAM, FERTILE AND FREE OF WEEDS, STICKS AND STONES OVER 3/4" IN SIZE AND OTHERWISE COMPLYING WITH SECTION M.18.01 OF THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, 2010 EDITION (WITH LATEST ADDENDA),
- PRIOR TO SEEDING OR SODDING, FERTILIZE WITH 10-10-10 OR EQUIVALENT ANALYSIS. AT LEAST 40% OF THE FERTILIZER NITROGEN SHALL BE IN SLOW RELEASE FORM. INCORPORATE THE FERTILIZER INTO THE TOP 1-2" OF THE PLANTING SOIL. APPLY AT A RATE OF 8 LBS. PER 1000 SQUARE FEET.
- APPLY LIME AT A RATE OF ONE TON PER ACRE AND UNIFORMLY INCORPORATE INTO THE TOP 1-2" OF TOPSOIL.
- SEEDING**
AFTER THE SEED BED IS PREPARED, SEED IS TO BE BROADCAST EVENLY OVER THE SURFACE AND WORKED INTO THE TOP 1" OF SOIL. SEED SHALL BE APPROVED URI #2 OR APPROVED EQUAL. APPLY AT A RATE OF 4-5 LBS. PER 1000 SQUARE FEET OR AS OTHERWISE DIRECTED BY THE MANUFACTURER.

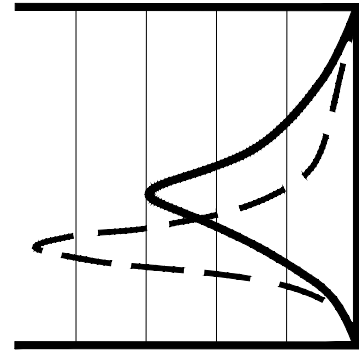
URI #2 IMPROVED SEED MIX, % BY WEIGHT:

40% CREEPING RED FESCUE
20% IMPROVED PERENNIAL RYEGRASS
20% IMPROVED KENTUCKY BLUEGRASS
20% KENTUCKY BLUEGRASS

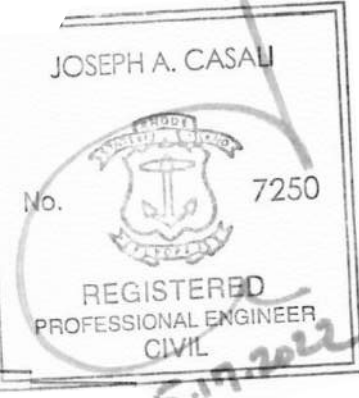
RECOMMENDED SEEDING DATES ARE APRIL 1 TO JUNE 15 AND AUGUST 15 TO OCTOBER 15. AT THE CONTRACTORS DISCRETION, SEED MAY BE APPLIED BY HYDROSEEDING RATHER THAN THE METHOD DESCRIBED ABOVE.

LEGEND

---	EXISTING PROPERTY LINE
---	ABUTTING PROPERTY LINE
---	BUILDING SETBACK LINE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	EXISTING STONE WALL
---	EXISTING CURB
---	PROPOSED CURB
---	EXISTING GUARD RAIL
---	EXISTING DRAIN LINE
---	PROPOSED DRAIN LINE
---	EXISTING DRAINAGE MANHOLE
---	PROPOSED DRAINAGE MANHOLE
---	EXISTING CATCH BASIN
---	PROPOSED CATCH BASIN
---	EXISTING UTILITY POLE
---	PROPOSED UTILITY POLE
---	EXISTING TELECOM DUCTBANK
---	EXISTING ELECTRIC DUCTBANK
---	RELOCATED ELECTRIC DUCTBANK
---	EXISTING GAS LINE
---	PROPOSED GAS LINE
---	EXISTING WATER LINE
---	PROPOSED WATER LINE
---	EXISTING WATER SHUT OFF VALVE
---	PROPOSED WATER SHUT OFF VALVE
---	EXISTING SEWER LINE
---	PROPOSED SEWER LINE
---	EXISTING SEWER MANHOLE
---	PROPOSED SEWER MANHOLE
---	N/F ---- NOW OR FORMERLY
---	TREELINE
---	SILT FENCE
---	LOD ---- LIMIT OF DISTURBANCE
---	(T)LOD ---- TEMPORARY LIMIT OF DISTURBANCE
---	TEST HOLE



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157, 159 & 165 GANO AND 256 POWER STREET
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REVISIONS:

NO.	DATE	DESCRIPTION

DESIGNED BY:	DRD
DRAWN BY:	SEP/SD
CHECKED BY:	JAC
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GENERAL NOTES & LEGEND

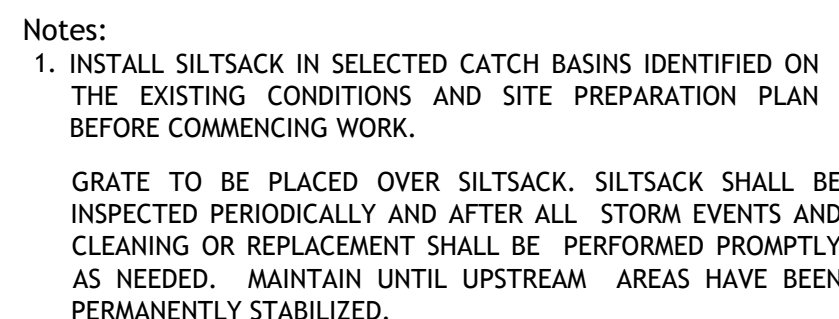
SHEET 2 OF 7



LOCATION OF EXISTING UTILITIES SHOWN ARE FROM GATE LOCATION AND EXISTING DOCUMENTATION AND MAY NOT BE ACCURATE. EXACT LOCATION TO BE DONE BY THE APPROPRIATE UTILITY COMPANY OR MUNICIPALITY PRIOR TO ANY EXCAVATION. CALL DIGSAFE AT 1-888-DIG-SAFE OR 1-888-344-7233.

The diagram shows an irregularly shaped area labeled "STOCKPILE MATERIAL" in the center. Surrounding this area is a line of small circles representing a "SILT FENCE (RI STD. 9.2.0)". An arrow points from the text "5' MAXIMUM FROM TOE OF SLOPE" to the silt fence line, indicating the required setback distance from the slope.

1 STOCKPILE DETAIL
NOT TO SCALE



2 SILT SACK SEDIMENT TRAP
NOT TO SCALE

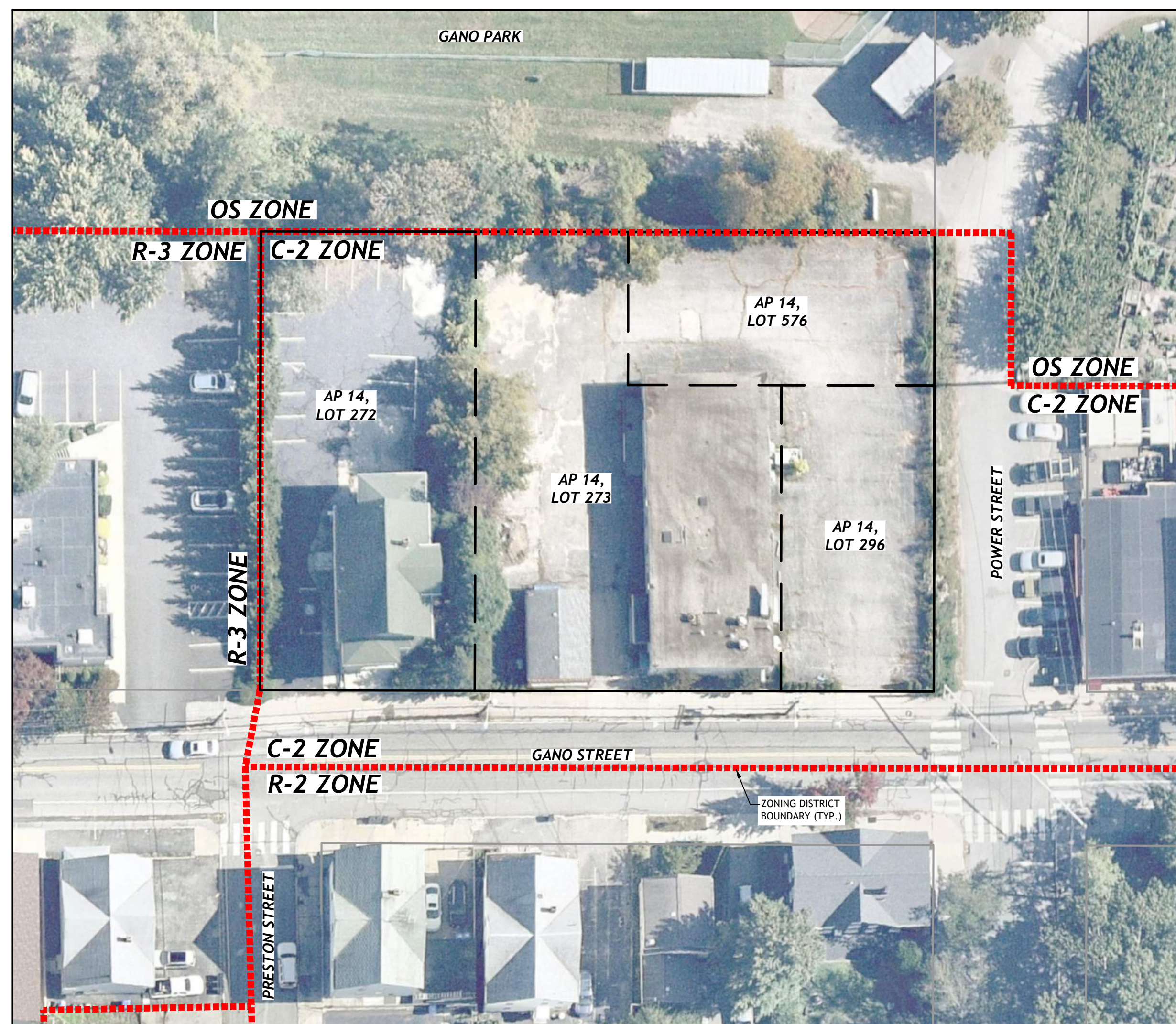
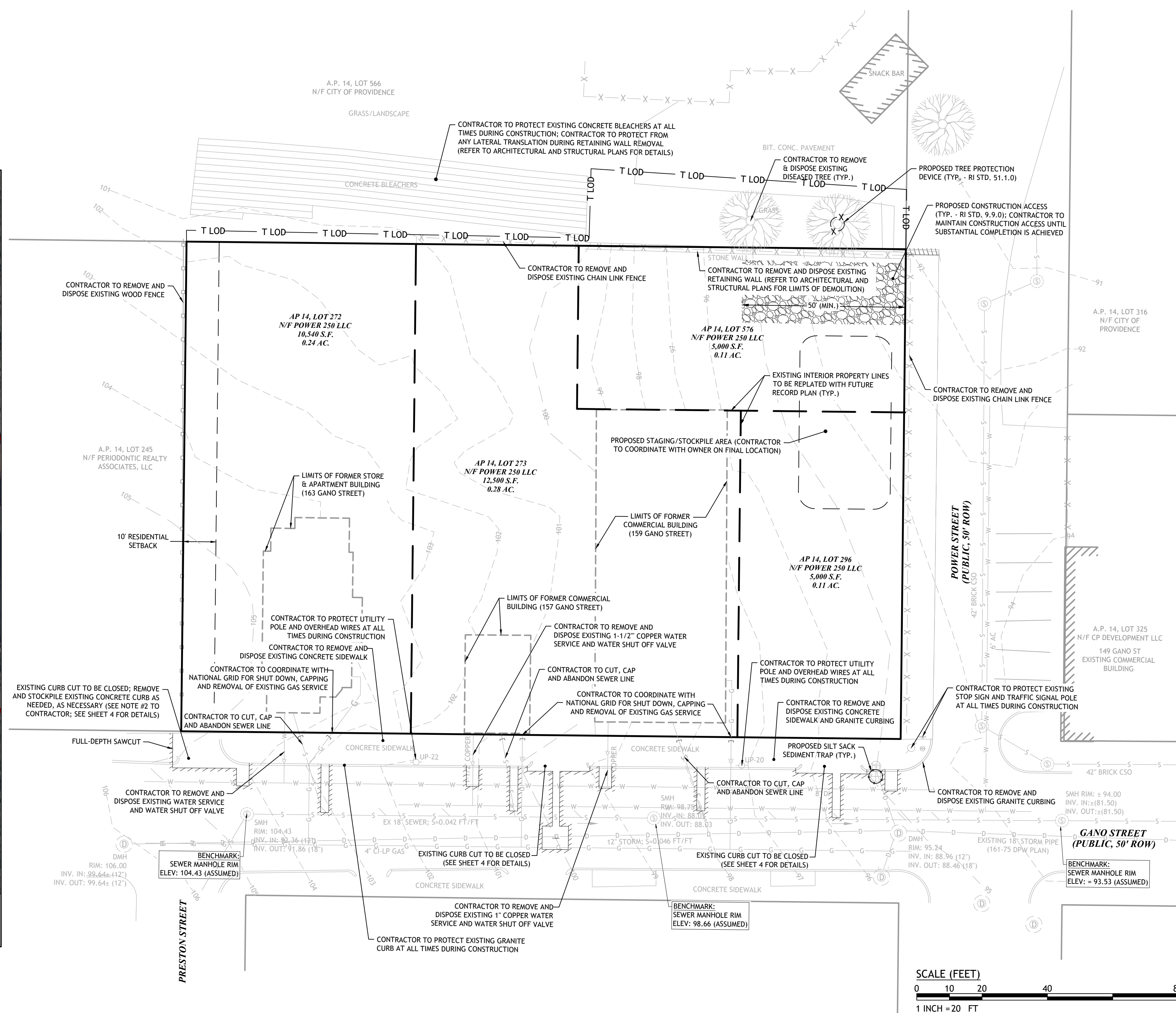
1. A PERMIT MUST BE OBTAINED FROM TRAFFIC ENGINEERING AT CITY OF PROVIDENCE DEPARTMENT OF PUBLIC WORKS (DPW) PRIOR TO THE REMOVAL OF SIDEWALK WITHIN GANO AND POWER STREETS. THE PERMIT APPLICATION MUST ADDRESS ALTERNATIVE PEDESTRIAN PATH OF TRAVEL.

2. ALL SURPLUS CURB IS THE PROPERTY OF THE CITY OF PROVIDENCE AND SHALL BE TRANSPORTED AND STOCKPILED, AS DIRECTED, AT THE DEPARTMENT OF PUBLIC WORKS (DPW) FACILITY AT ERNEST STREET, PROVIDENCE, RI .

ZONING CRITERIA	REQUIRED
ZONING DISTRICT	C2
MINIMUM LOT AREA	NONE
MINIMUM BUILDING HEIGHT	16 FT
MINIMUM FIRST STORY HEIGHT	SEE NOTE 5
MAXIMUM BUILDING HEIGHT	50 FT ²
MAXIMUM BUILDING COVERAGE	NONE
TOTAL MAX. IMPERVIOUS SURFACE COVERAGE	NONE
MINIMUM FRONT SETBACK	SEE NOTE 3
MINIMUM SIDE SETBACK	SEE NOTE 4
MINIMUM REAR SETBACK	SEE NOTE 5

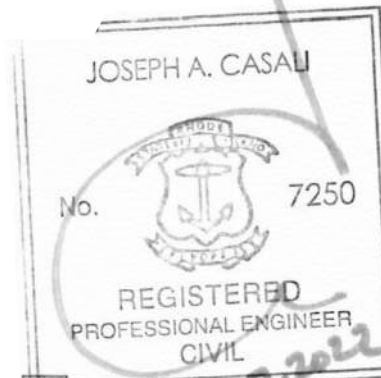
NOTES:

1. 9 FT RESIDENTIAL USE; 11' NON-RESIDENTIAL USE
2. 50 FT, NOT TO EXCEED 4 STORIES
3. BUILD TO ZONE OF 0-5 FT; THE REQUIRED BUILD-TO PERCENTAGE IS 60% ON THE FRONT LOT LINE
4. NONE, UNLESS ABUTTING A RESIDENTIAL DISTRICT, THEN 10 FT
5. NONE, UNLESS ABUTTING A RESIDENTIAL DISTRICT, THEN 20 FT



AERIAL PLAN
SCALE: 1" = 30'

JCE
JOE CASALI ENGINEERING, INC.
CIVIL · SITE DEVELOPMENT · TRANSPORTATION
DRAINAGE · WETLANDS · ISDS · TRAFFIC · FLOODPLAIN
300 POST ROAD, WARWICK, RI 02888



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PROVIDENCE, RHODE ISLAND
AP 14, LOTS 272, 273, 296 & 576

REVISIONS:		
NO.	DATE	DESCRIPTION

DESIGNED BY:	DRD
DRAWN BY:	SEP/SD
CHECKED BY:	JAC
DATE:	MAY 202
PROJECT NO:	21-80

PRELIMINARY, NOT FOR
CONSTRUCTION

**EXISTING
CONDITIONS
& SITE PREP.
PLAN**

**SHEET
3 OF 7**



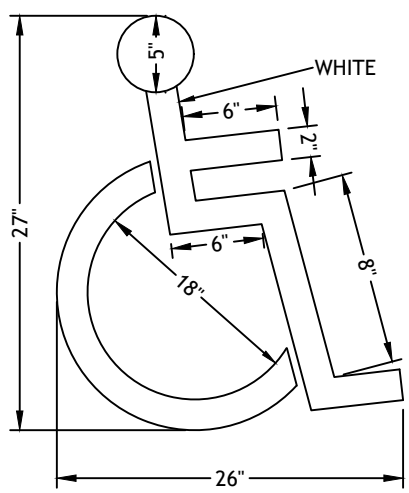
NOTE:
SIGNS ARE TO CONFORM WITH THE MOST RECENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

* VAN ACCESSIBLE SIGNS FOR SPACES ADJACENT TO THE 8' STRIPED ISLE.

- SIGN NOTES:
1. SIGN POSTS SHALL BE GALVANIZED STEEL U-CHANNEL (3 1/2" WIDE MIN) AND INSTALLED IN CONFORMANCE TO M.U.T.C.D. AND RHODE ISLAND STANDARD SPECIFICATIONS.
 2. POSTS SHALL BE DRIVEN TO A DEPTH OF 4 FEET (MIN).
 3. THE EDGE OF THE SIGN SHALL BE 18" FROM THE FACE OF THE CURB.
 4. WITHIN SIDEWALK LOCATIONS THE SIGN POST WILL BE INSTALLED WITHIN A 8'X8'X6" SQUARE BOX FORM.

3 HANDICAP PARKING SIGNS

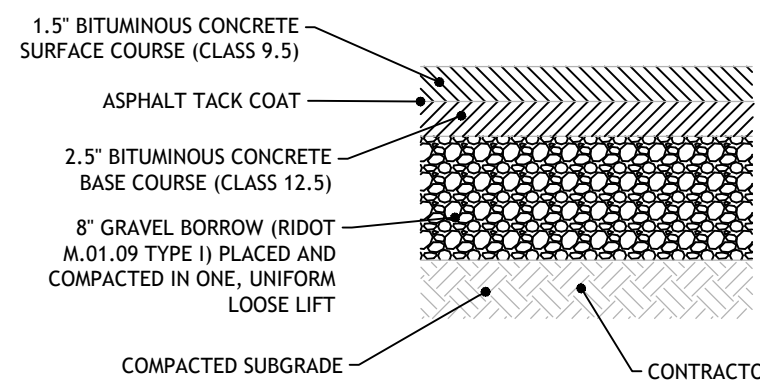
NOT TO SCALE



NOTE:
1. ALL HANDICAP PARKING AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE RHODE ISLAND STATE BUILDING CODE.

4 HANDICAP PAVEMENT MARKING

NOT TO SCALE



CONTRACTOR SHALL NOTIFY ENGINEER OF ANY UNSUITABLE MATERIAL FOUND DURING EXCAVATION. UNSUITABLE MATERIAL TO BE REMOVED AND DISPOSED TO A DEPTH DETERMINED IN THE FIELD BY THE ENGINEER.

NOTES:

1. IF UNSUITABLE MATERIALS ARE ENCOUNTERED AT SUBGRADE ELEVATION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER. THE DEPTH OF UNSUITABLE MATERIAL TO BE REMOVED WILL BE DETERMINED IN THE FIELD. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE THE UNSUITABLE MATERIALS AND REPLACE WITH SUITABLE MATERIAL APPROVED BY THE ENGINEER.
2. MINIMUM COMPACTION FOR GRAVEL BORROW SUB-BASE AND SUBGRADE: 95% MODIFIED PROCTOR.

5 BITUMINOUS CONCRETE PAVEMENT

NOT TO SCALE

VEHICLE AND BICYCLE PARKING REQUIREMENTS:

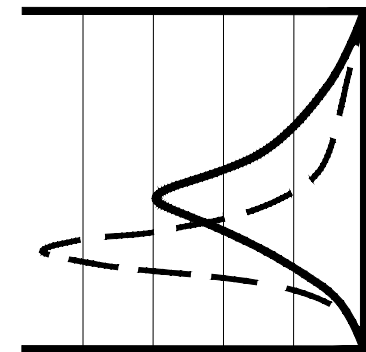
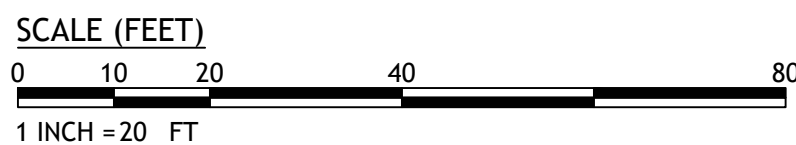
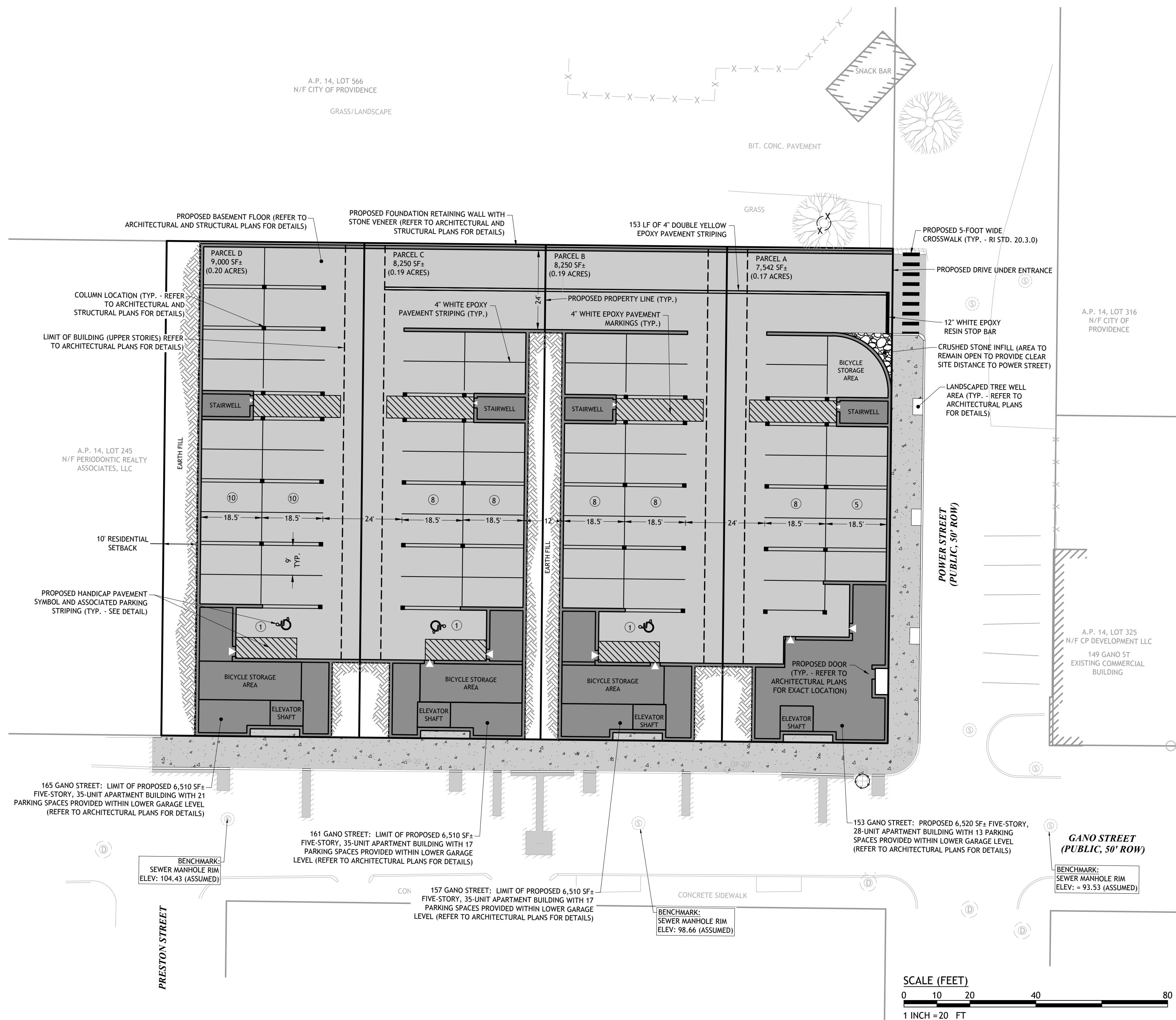
VEHICLE PARKING: PER SECTION 1410.B.7 OF THE PROVIDENCE ZONING ORDINANCE, IN THE C-1 AND C-2 DISTRICTS, ALL LOTS OF 10,000 SQ. FT. OF LESS ARE EXEMPT FROM PARKING REQUIREMENTS.

REQUIRED: 0 PARKING SPACES
PROVIDED: 68 PARKING SPACES (4 ADA)

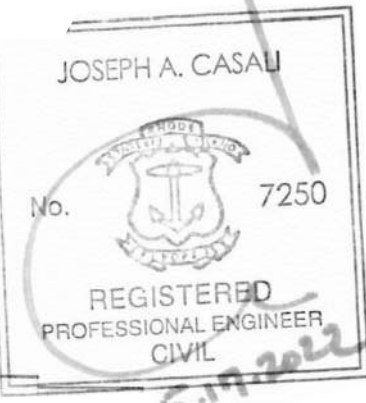
BICYCLE PARKING: PER SECTION SECTION 1402, TABLE 14-1, OF THE PROVIDENCE ZONING ORDINANCE, ONE (1) BICYCLE SPACES IS REQUIRED PER FIVE (5) DWELLINGS. 133 DWELLING UNITS ARE PROPOSED, THEREFORE 27 BICYCLE SPACES ARE REQUIRED. ALL BICYCLE SPACES ARE PROPOSED WITHIN THE BASEMENT OF THE PROPOSED STRUCTURES; REFER TO ARCHITECTURAL PLANS FOR DETAILED LOCATIONS.

ZONING CRITERIA	REQUIRED	PROPOSED	PROPOSED	PROPOSED	PROPOSED
		PARCEL A	PARCEL B	PARCEL C	PARCEL D
ZONING DISTRICT	C2	C2	C2	C2	C2
MINIMUM LOT AREA	NONE	7,542 SF	8,250 SF	8,250 SF	9,000 SF
MINIMUM BUILDING HEIGHT	16 FT.	>16 FT	>16 FT	>16 FT	>16 FT
MINIMUM FIRST STORY HEIGHT	SEE NOTE 1	>9 FT	>9 FT	>9 FT	>9 FT
MAXIMUM BUILDING HEIGHT	50 FT	<50 FT	<50 FT	<50 FT	<50 FT
MAXIMUM BUILDING COVERAGE	NONE	86.4%	78.9%	78.9%	72.3%
TOTAL MAX. IMPERVIOUS SURFACE COVERAGE	NONE	98.4%	90.8%	91.5%	81.6%
MINIMUM FRONT SETBACK	SEE NOTE 3	0 FT	0 FT	0 FT	0 FT
MINIMUM SIDE SETBACK	SEE NOTE 4	NONE REQ	NONE REQ	NONE REQ	>10 FT
MINIMUM REAR SETBACK	SEE NOTE 5	NONE REQ	NONE REQ	NONE REQ	NONE REQ

- NOTES:
1. 9 FT RESIDENTIAL USE; 11' NON-RESIDENTIAL USE
 2. 50 FT, NOT TO EXCEED 4 STORIES
 3. BUILD TO ZONE OF 0-5 FT; THE REQUIRED BUILD-TO PERCENTAGE IS 60% ON THE FRONT LOT LINE
 4. NONE, UNLESS ABUTTING A RESIDENTIAL DISTRICT, THEN 10 FT
 5. NONE, UNLESS ABUTTING A RESIDENTIAL DISTRICT, THEN 20 FT



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CIVIL SITE DEVELOPMENT - TRANSPORTATION
1000 WEST MAIN STREET, SUITE 100
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PROPOSED RESIDENTIAL DEVELOPMENT 157, 159 & 165 GANO AND 256 POWER STREET PROVIDENCE, RHODE ISLAND AP 14, LOTS 272, 273, 296 & 576

REVISIONS:

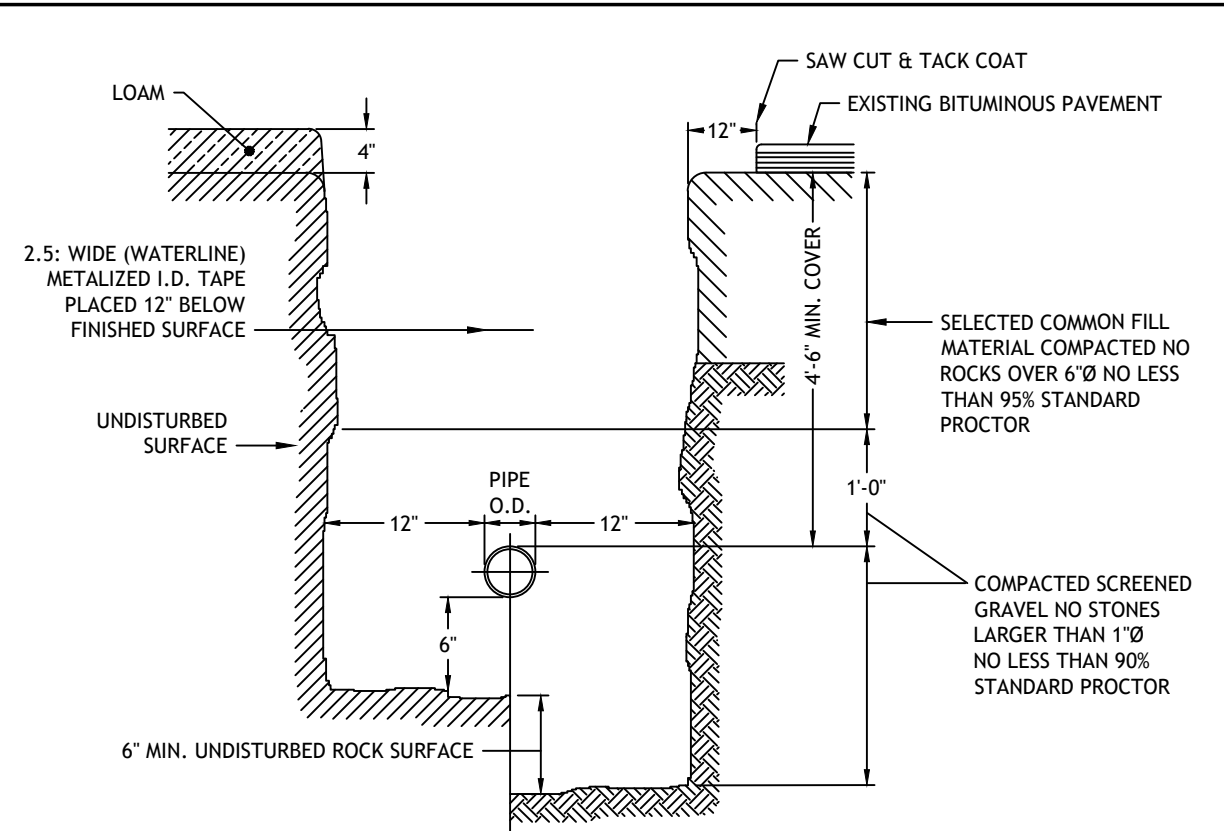
NO.	DATE	DESCRIPTION

DESIGNED BY: DRD
DRAWN BY: SEP/SD
CHECKED BY: JAC
DATE: MAY 2022
PROJECT NO: 21-80

PRELIMINARY, NOT FOR CONSTRUCTION

SITE PLAN: BASEMENT LEVEL

SHEET
4 OF 7



6 WATER TRENCH DETAIL
NOT TO SCALE

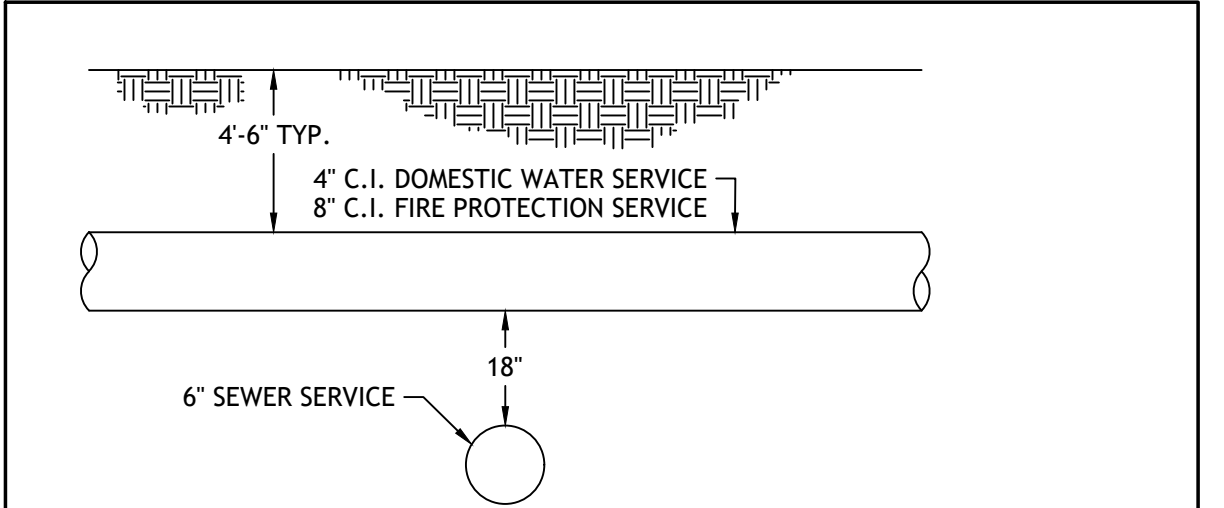
PROVIDENCE WATER SUPPLY BOARD (PWSB)
WATER SERVICE INSTALLATION/SANITARY SEWER FACILITIES SEPARATION REQUIREMENTS

PROPOSED WATER SERVICE LINES AND/OR APPURTENANCES SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING COMPONENT OF A PUBLIC SANITARY SEWER SYSTEM (PIPELINE, MANHOLE, VAULT, METER PIT, PUMP STATION WET WELL, ETC.). DISTANCE SHALL BE MEASURED PERPENDICULARLY FROM THE EDGE OF PIPE TO THE EDGE OF PIPE. NO VERTICAL SEPARATION IS REQUIRED PROVIDED THE 10 FOOT HORIZONTAL SEPARATION IS MAINTAINED. WHEN THIS CRITERIA CANNOT BE MET, THE FOLLOWING STIPULATIONS APPLY. (SEE BOTTOM OF PAGE FOR INDIVIDUAL SEWAGE DISPOSAL SYSTEMS)

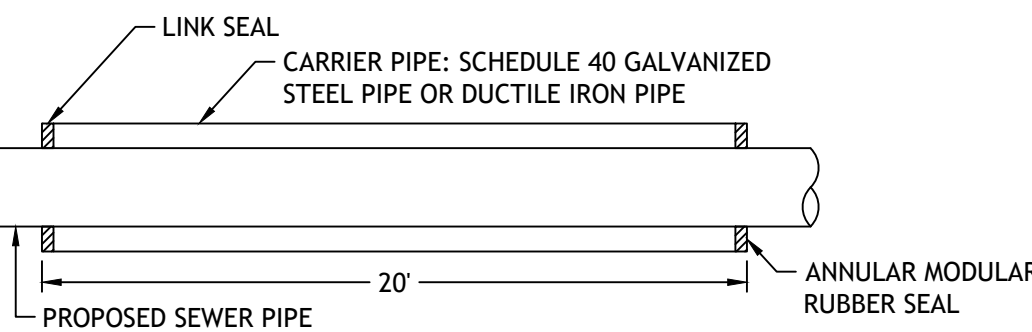
- WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, A DEVIATION MAY BE GRANTED ON A CASE-BY-CASE BASIS. SUCH DEVIATION MAY ALLOW INSTALLATION OF THE SEWER CLOSER TO WATER SERVICE, PROVIDED THAT:
 - THE SEWER LINE AND WATER SERVICE ARE LAID IN SEPARATE TRENCHES AND THE CROWN OF THE SEWER LINE SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER SERVICE.
 - OR
 - THE SEWER LINE AND WATER SERVICE MAY BE INSTALLED IN THE SAME TRENCH WITH THE WATER SERVICE PLACED ON A BENCH OF UNDISTURBED EARTH AND THE CROWN OF THE SEWER LINE SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER SERVICE.
- IN CASES WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS STIPULATED ABOVE (INCLUDES CROSSING OVER) THE FOLLOWING PROTECTION SHALL BE PROVIDED:
 - ENCASEMENT OF THE SEWER PIPE IN CONCRETE WITH A MINIMUM THICKNESS OF 6" IN ALL DIRECTIONS AROUND THE OUTSIDE OF THE PIPE EXTENDING TO A DISTANCE THAT WILL PROVIDE THE REQUIRED 10 FEET HORIZONTAL OR 18 INCH VERTICAL SEPARATION BETWEEN THE UNENCLOSED PORTIONS OF THE PIPES.
 - OR
 - PLACING EITHER THE SEWER LINE OR WATER SERVICE IN A WATERTIGHT CARRIER PIPE EXTENDING TO A DISTANCE THAT WILL PROVIDE THE REQUIRED 10 FEET HORIZONTAL OR 18 INCH VERTICAL SEPARATION BETWEEN THE UNENCLOSED PORTION OF THE PIPES.

INDIVIDUAL SEWAGE DISPOSAL SYSTEMS (SEPTIC SYSTEMS) ARE REGULATED BY R.I. DEPARTMENT OF ENVIRONMENTAL MANAGEMENT (RIDEM). MINIMUM DISTANCES BETWEEN DRINKING WATER LINES AND SEPTIC SYSTEM COMPONENTS ARE: 25 FEET (MIN.) TO LEACHING TRENCHES, BEDS AND PITS AND 10 FEET MIN. TO SEPTIC TANKS, DISTRIBUTION BOXES, GREASE TRAPS, DOSING CHAMBERS, PUMP CHAMBERS, AND BUILDING SEWERS. WHEN THESE DISTANCES CANNOT BE MET, RIDEM REQUIRES ENCASEMENT OF WATER LINES AT LEAST TO THE POINT WHERE THE REQUIRED MINIMUM DISTANCES CAN BE MET. ENCASEMENT MUST BE APPROVED BY RIDEM AND THE APPROVED PLAN MUST BE PRESENTED AS PART OF THE APPLICATION PROCESS TO OBTAIN WATER SERVICE. PRESSURIZED SEWER LINES CANNOT CROSS WATER LINES.

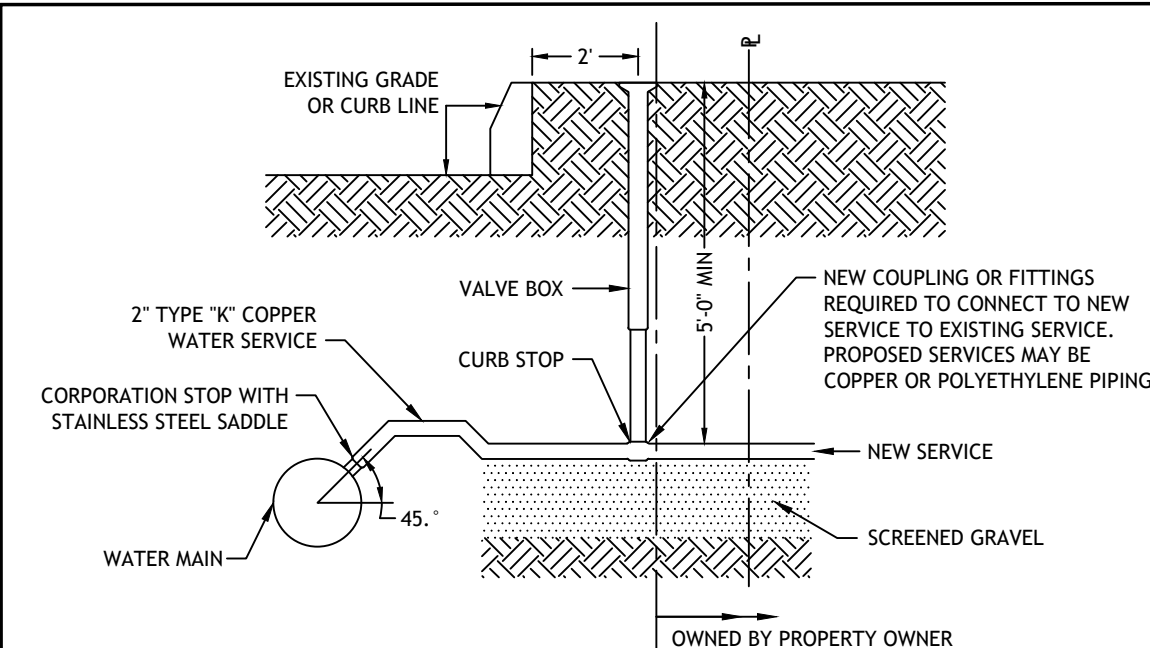
- DOMESTIC WATER SERVICE TO BE INSPECTED BY PWSB PRIOR TO BACKFILLING AND THE CONTRACTOR MUST GIVE PWSB 48 HOURS NOTIFICATION.
- CONTRACTOR SHALL ADHERE TO ALL REQUIREMENTS OF THE PWSB AS INDICATED IN SECTION 400 - CONSTRUCTION PROCEDURES.



- NOTES:**
- THE VERTICAL SEPARATION BETWEEN THE WATER MAIN AND THE PROPOSED SEWER SHALL BE A MINIMUM OF 18 INCHES.
 - THE HORIZONTAL SEPARATION BETWEEN THE WATER MAIN AND THE PROPOSED SEWER SHALL BE A MINIMUM OF 10 FEET.
 - IF 1 OR 2 CANNOT BE MAINTAINED THE PROPOSED SEWER SHALL BE INSTALLED WITHIN A CARRIER PIPE. SEWER MAIN AND SERVICES ARE NOT ALLOWED TO CROSS OVER THE TOP OF WATER MAIN.
 - SEWER PIPE SHALL BE SUPPORTED WITHIN THE CARRIER PIPE TO MAINTAIN A CONSTANT SLOPE WITHIN THE CARRIER PIPE.

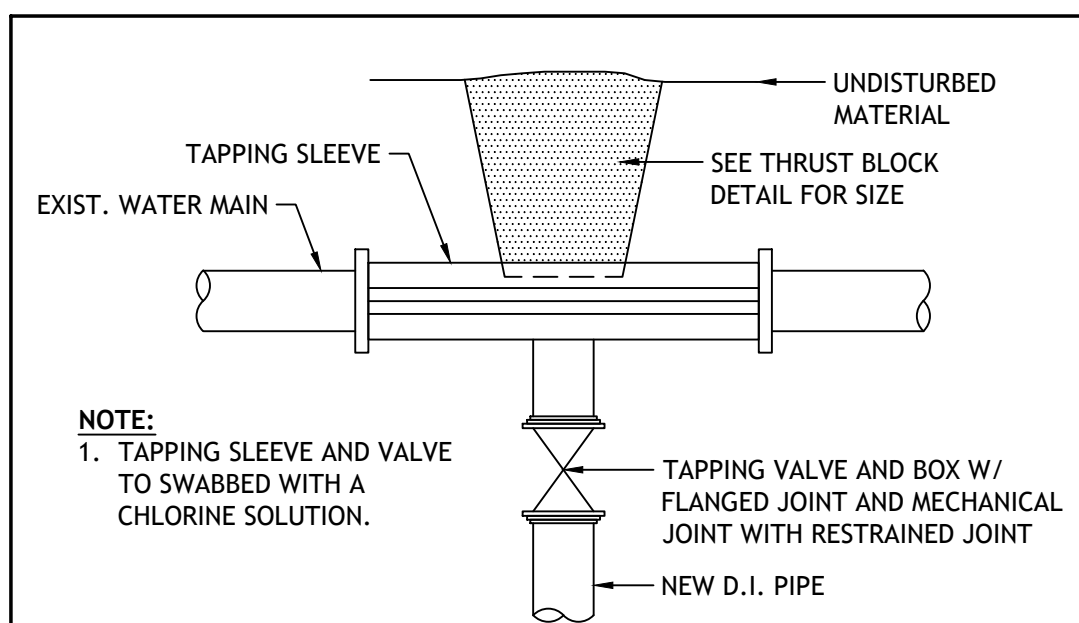


10 SEWER/WATER SEPARATION DETAIL
NOT TO SCALE



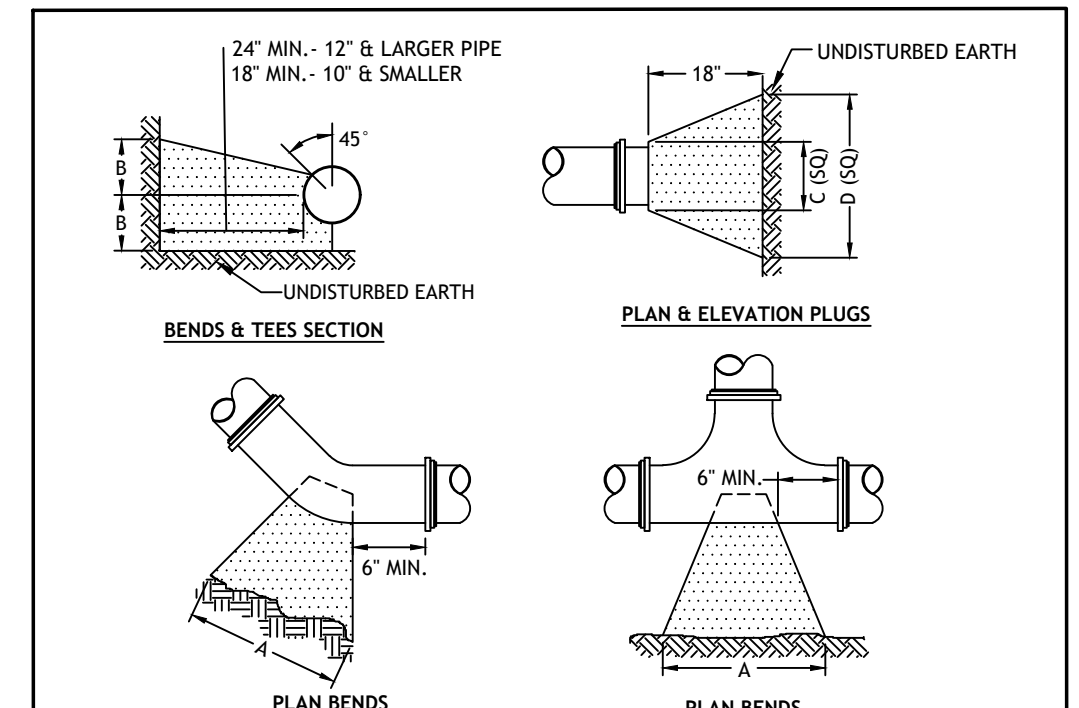
NOTE:
1. SERVICE LINE FROM CURB BOX TO BUILDING SHALL BE INSPECTED, TESTED AND APPROVED BY THE LOCAL PLUMBING INSPECTOR.

7 TYPICAL WATER SERVICE CONNECTION
NOT TO SCALE



NOTE:
1. TAPPING SLEEVE AND VALVE TO SWABBED WITH A CHLORINE SOLUTION.

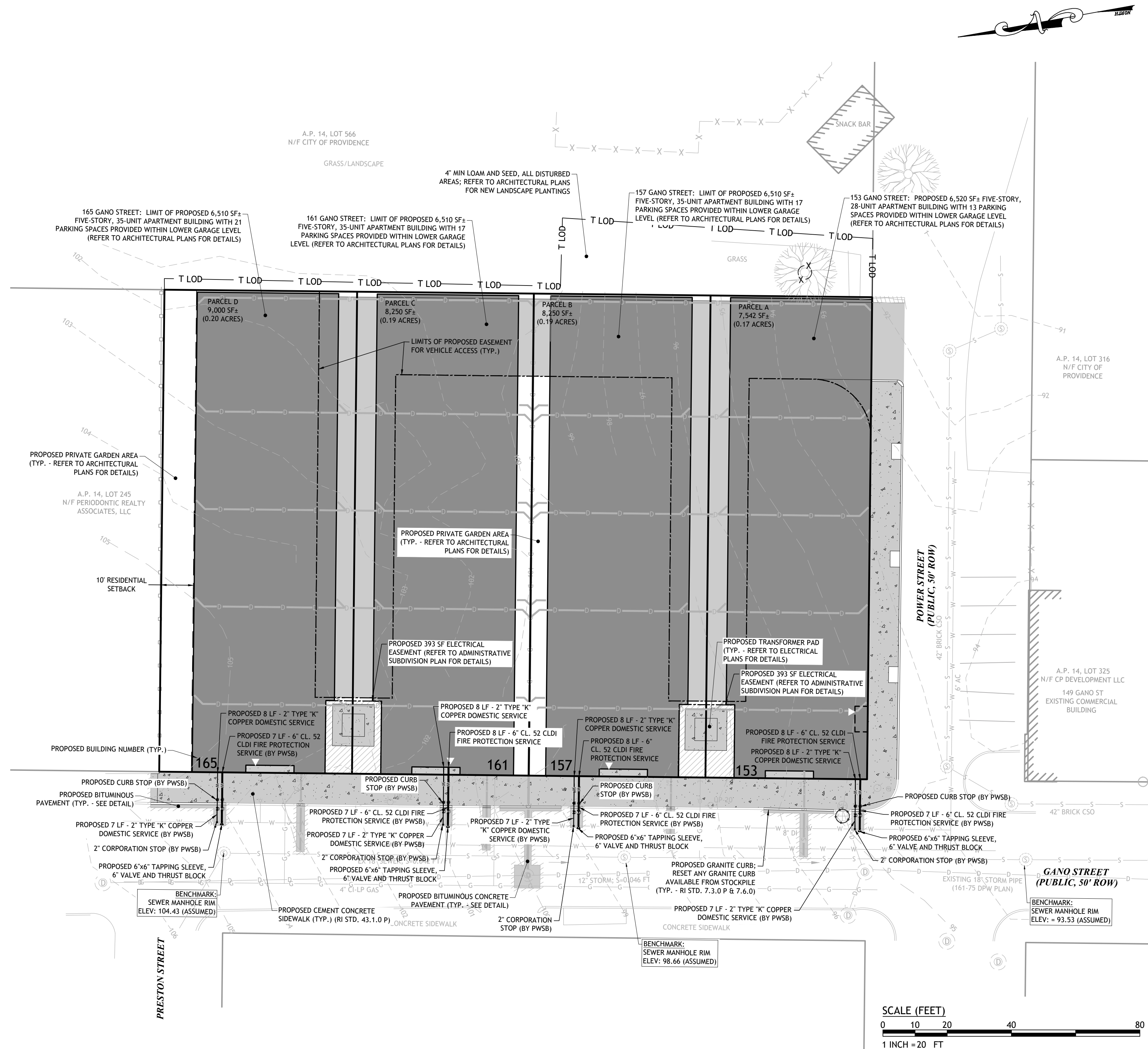
8 TAPPING SLEEVE AND VALVE
NOT TO SCALE



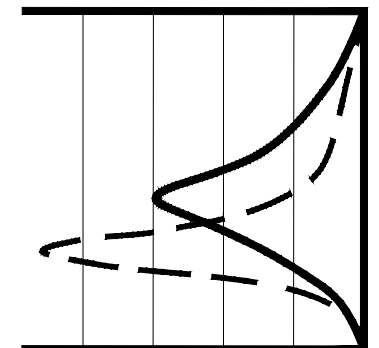
- NOTE:**
- ALL CONCRETE SHALL BE 4000 P.S.I. @ 28 DAYS.
 - CONCRETE THRUST BLOCKS SHALL BEAR AGAINST UNDISTURBED EARTH.
 - FORMS TO BE USED AS NECESSARY.
 - ALL BOLTS AND NUTS TO BE PROTECTED FROM CONCRETE AND EASILY ACCESSIBLE WHEN THRUST BLOCK INSTALLED.

SIZE	TEES				PLUGS				90° BEND				45° BEND				22 1/2° BEND				11 1/4° BEND			
	A	B	C	D	A	B	C	D	A	B	C	D	A	B	C	D	A	B	C	D	A	B	C	D
4"	22"	12"	22"	12"	24"	16"	20"	10"	14"	7"	11"	5"												
6"	30"	18"	30"	18"	35"	22"	27"	15"	19"	12"	13"	8"												
8"	38"	24"	38"	24"	46"	29"	33"	22"	25"	14"	19"	10"												
10"	41"	28"	41"	28"	48"	34"	36"	24"	27"	17"	21"	11"												

9 THRUST BLOCK DETAIL
NOT TO SCALE



SCALE (FEET)
0 10 20 40 80
1 INCH = 20 FT



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PROPOSED RESIDENTIAL DEVELOPMENT
157, 159 & 165 GANO AND 256 POWER STREET
PROVIDENCE, RHODE ISLAND
AP 14, LOTS 272, 273, 296 & 576

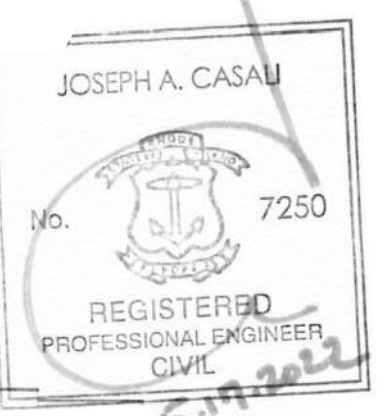
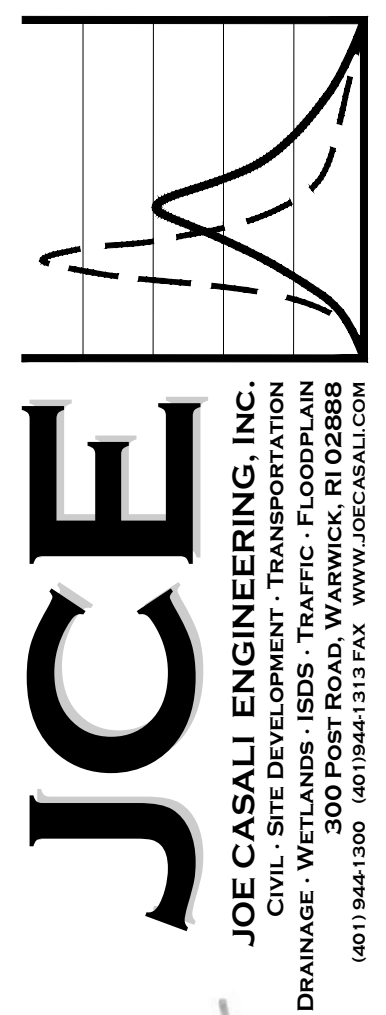
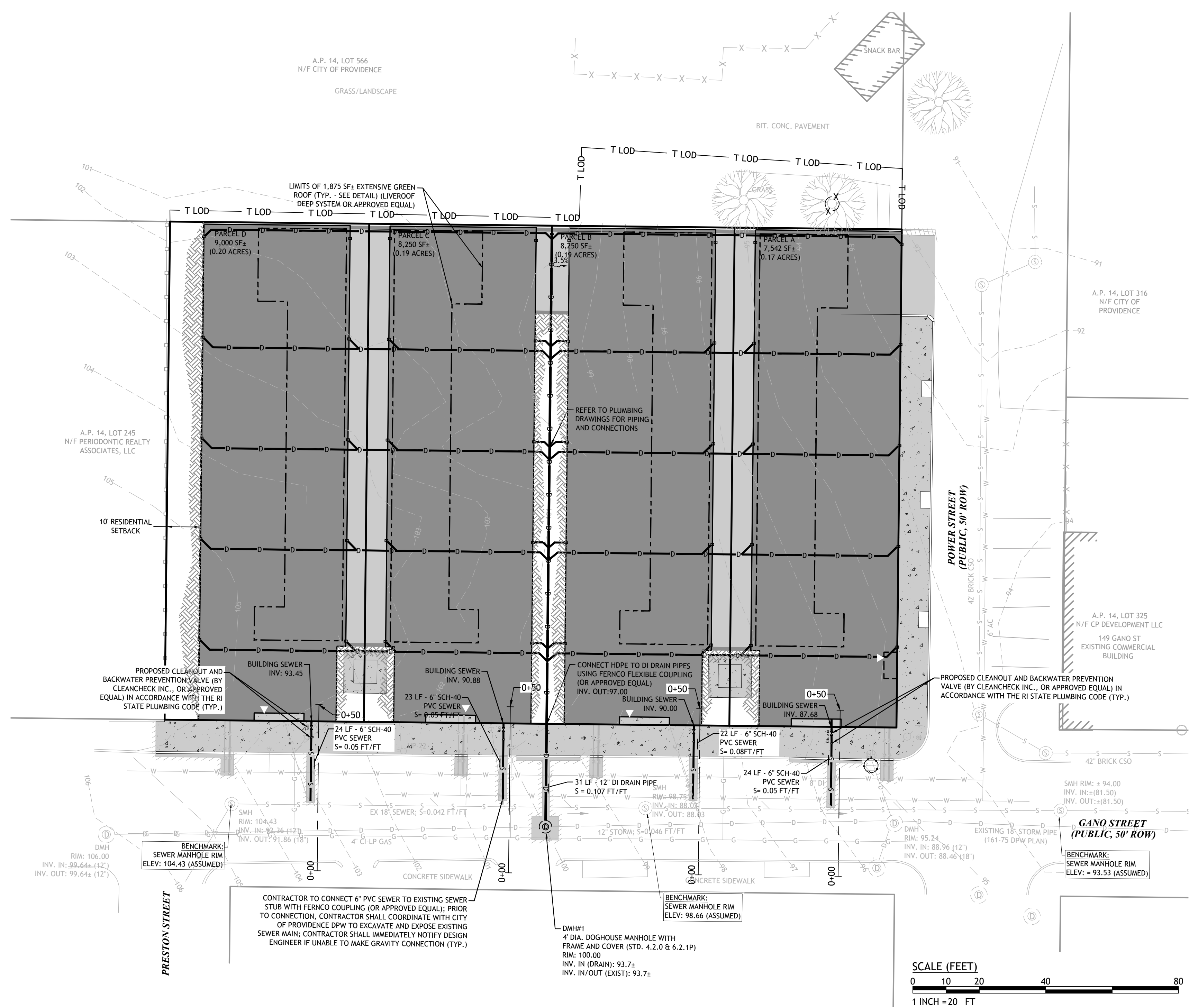
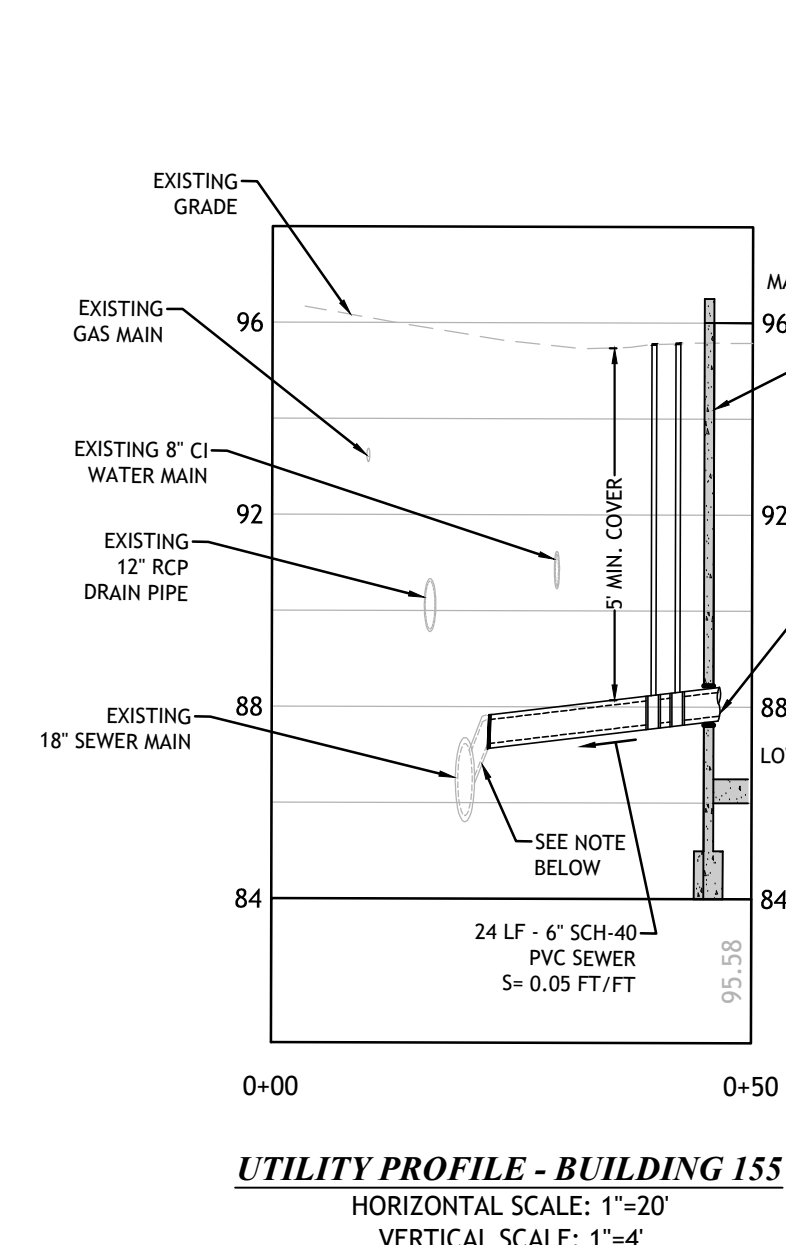
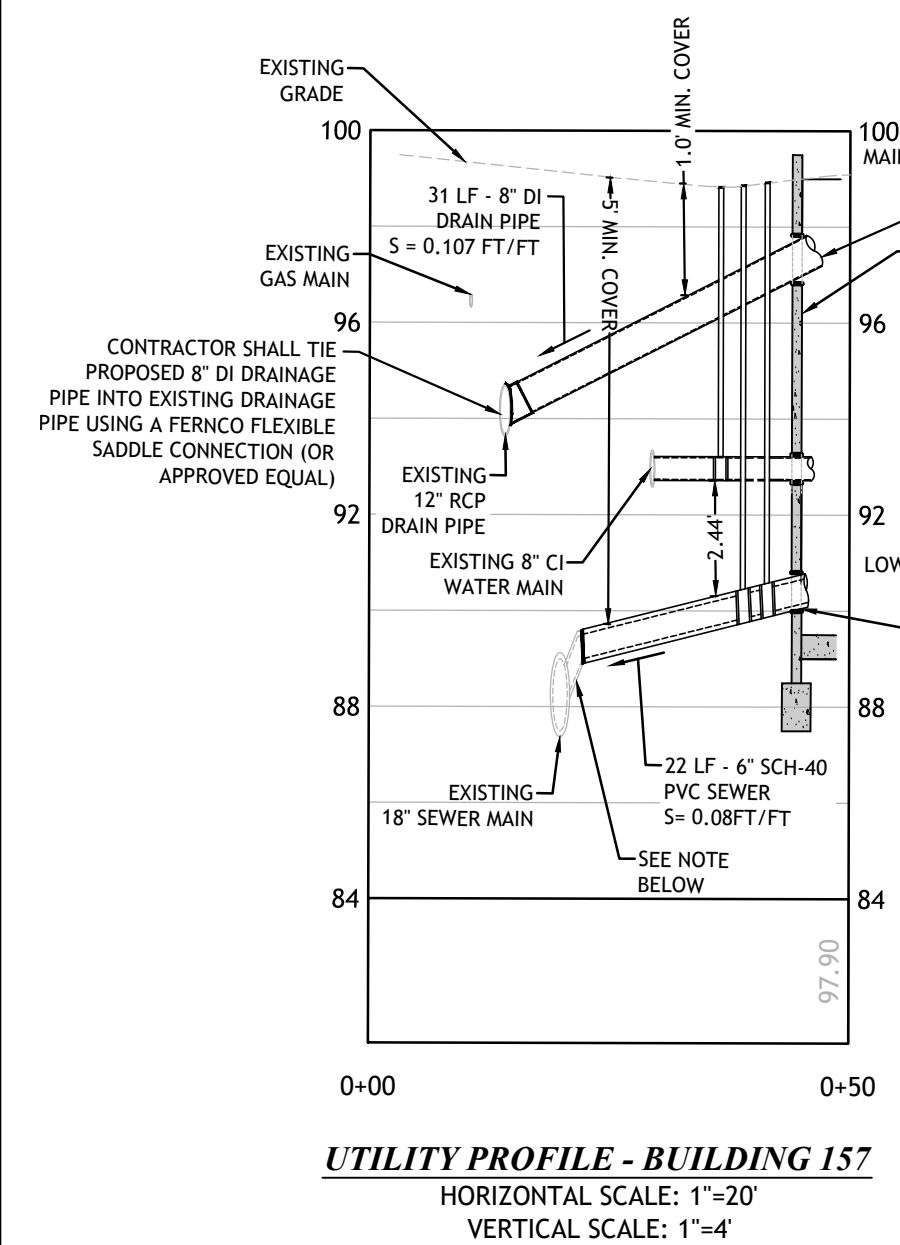
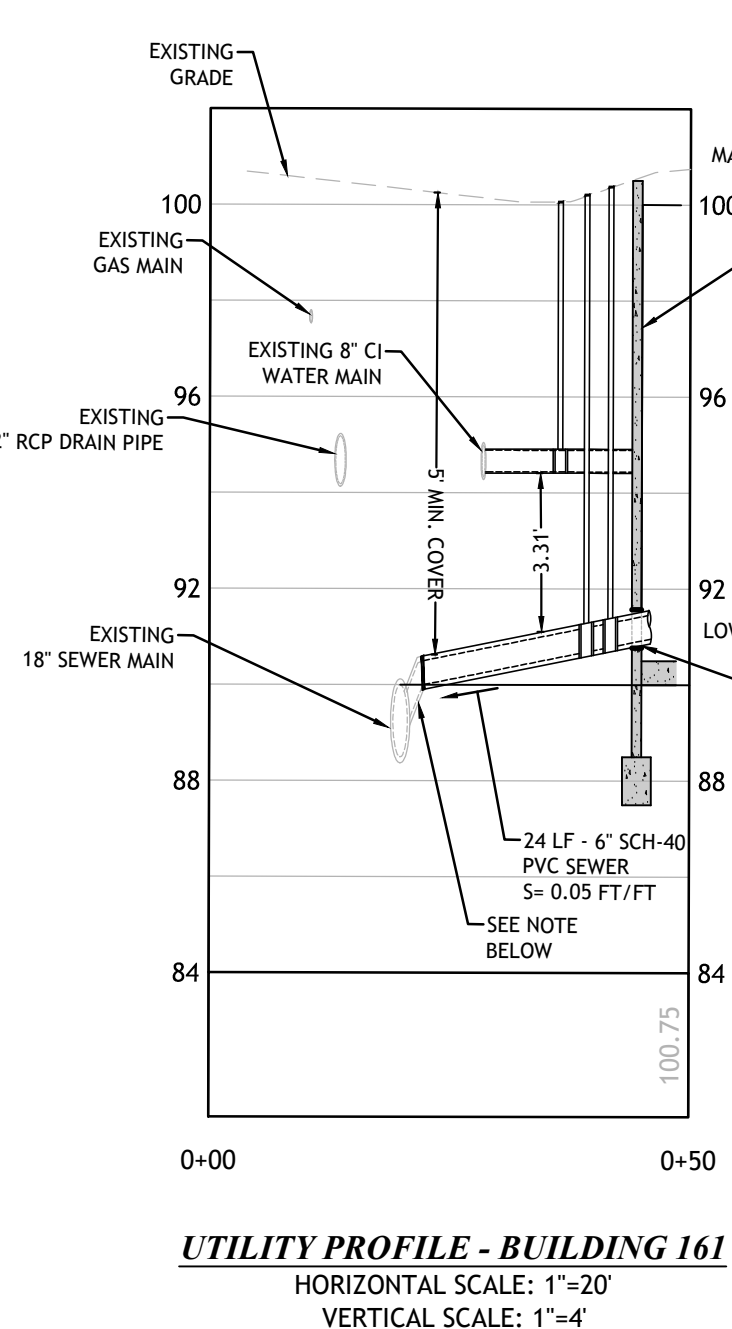
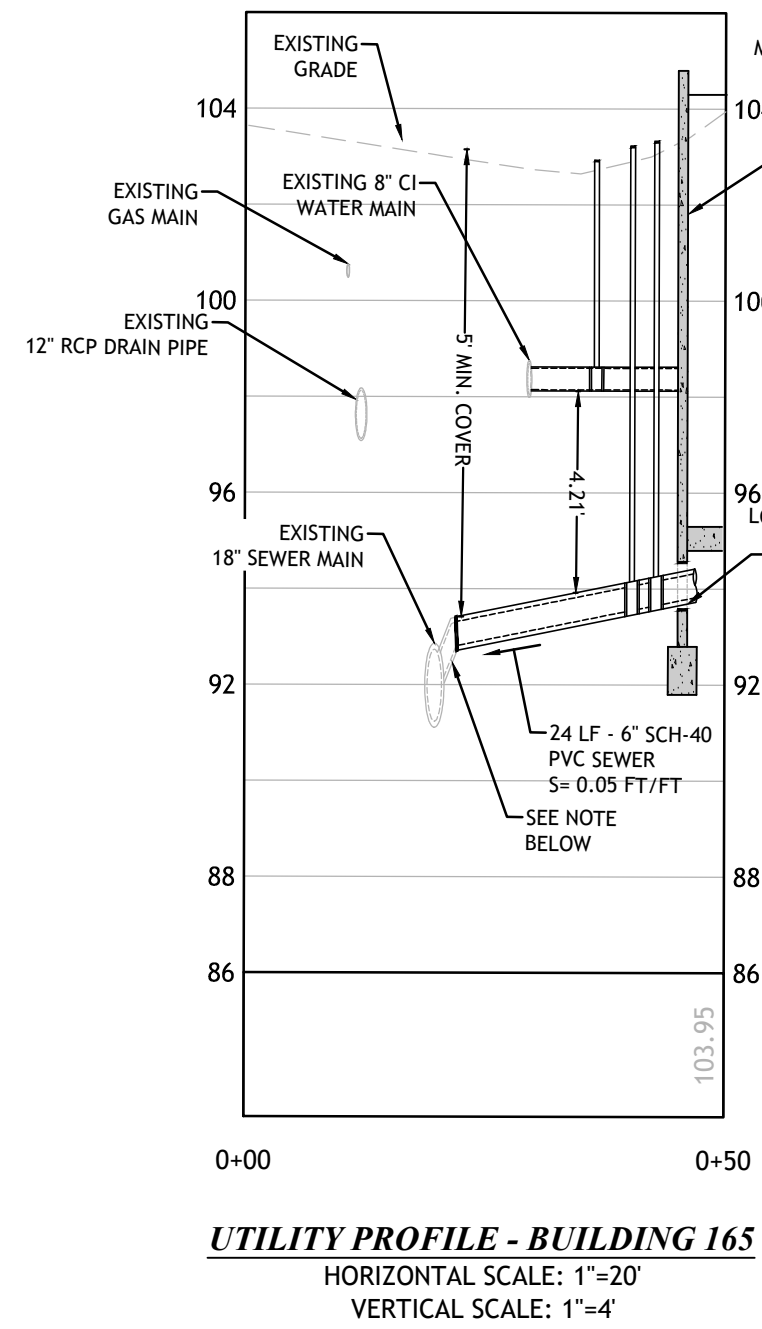
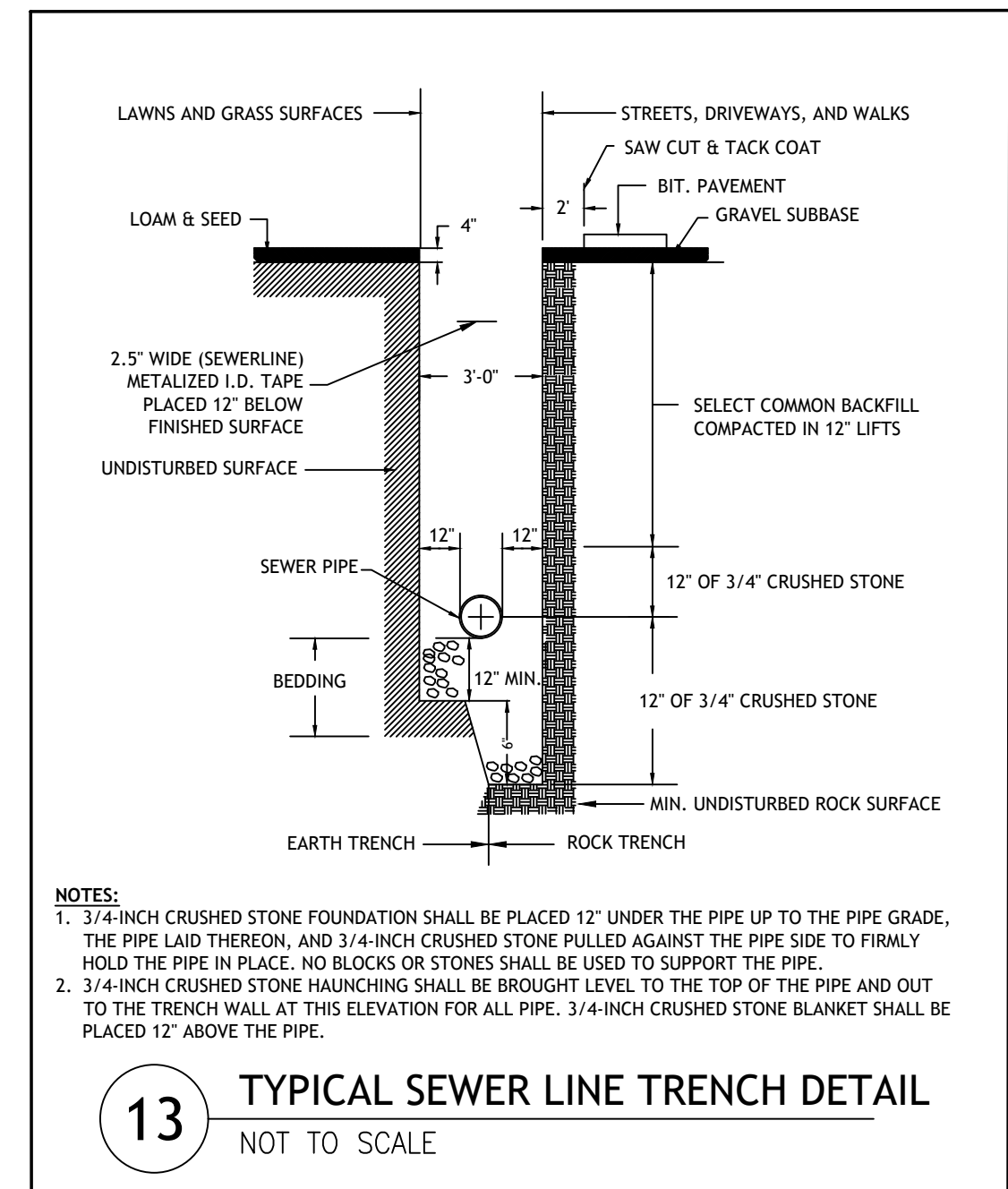
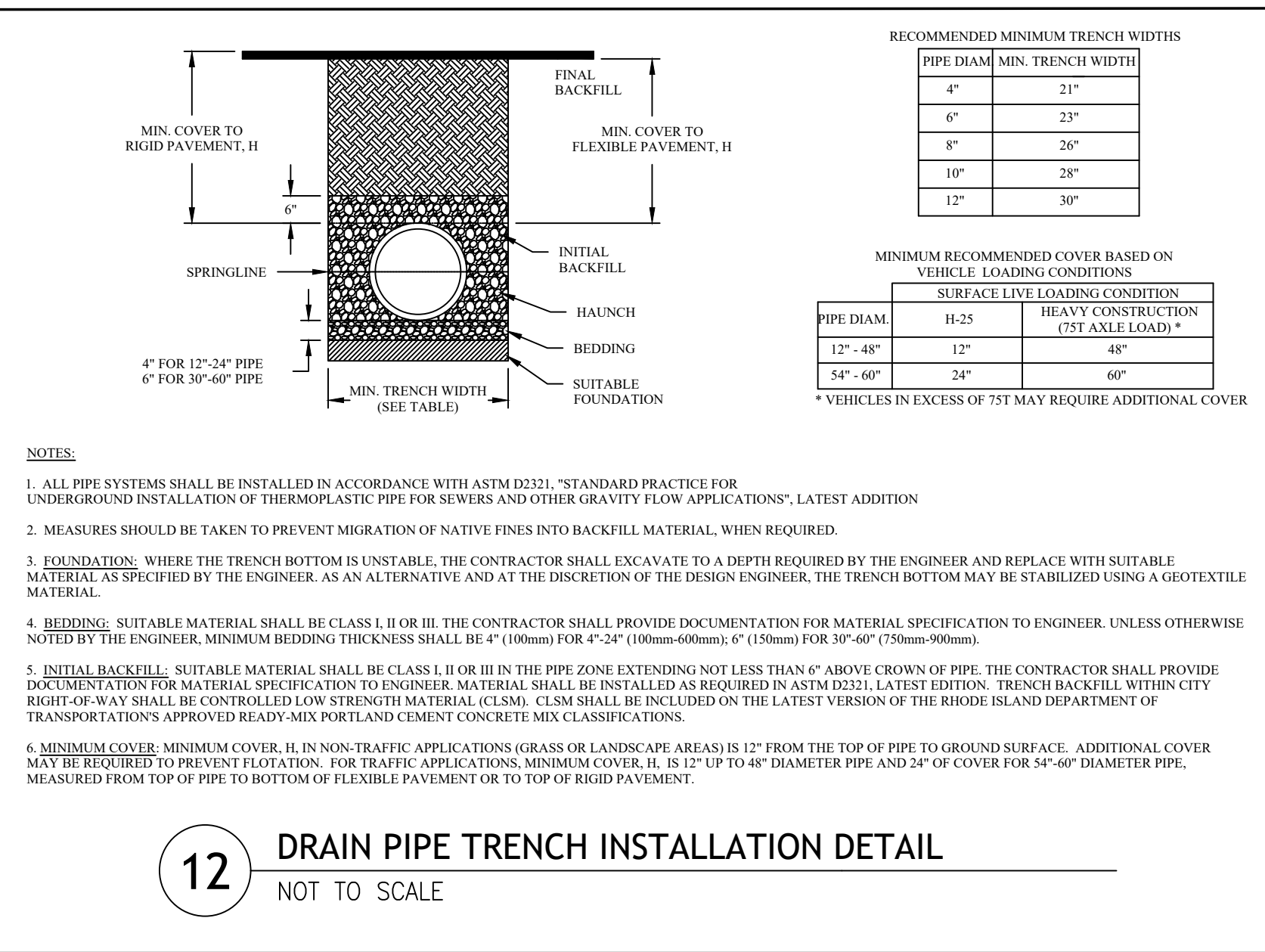
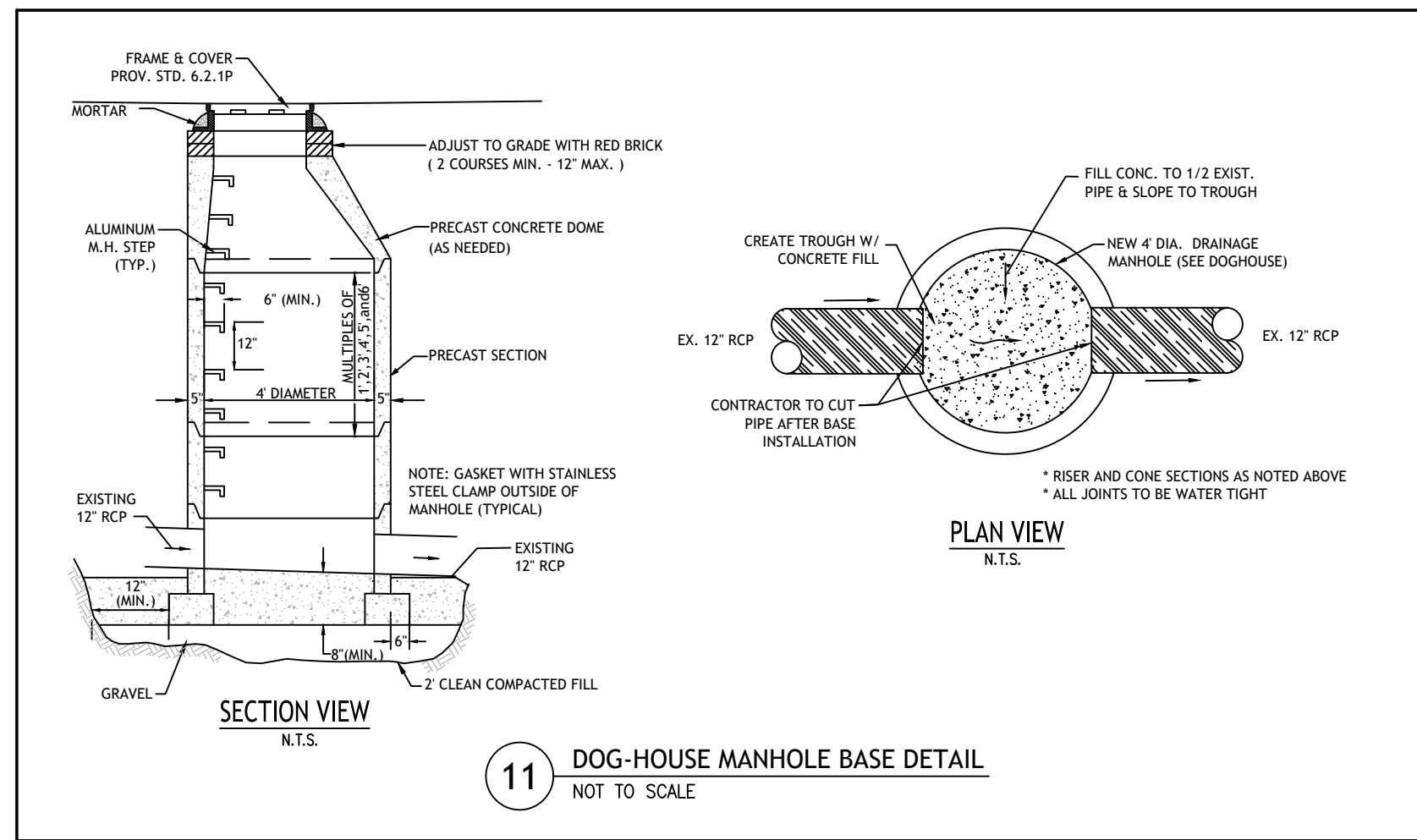
NO.	DATE	DESCRIPTION

DESIGNED BY: DRD
DRAWN BY: SEP/SD
CHECKED BY: JAC
DATE: MAY 2022
PROJECT NO: 21-80

PRELIMINARY, NOT FOR CONSTRUCTION

SITE PLAN:
MAIN LEVEL

SHEET
5 OF 7



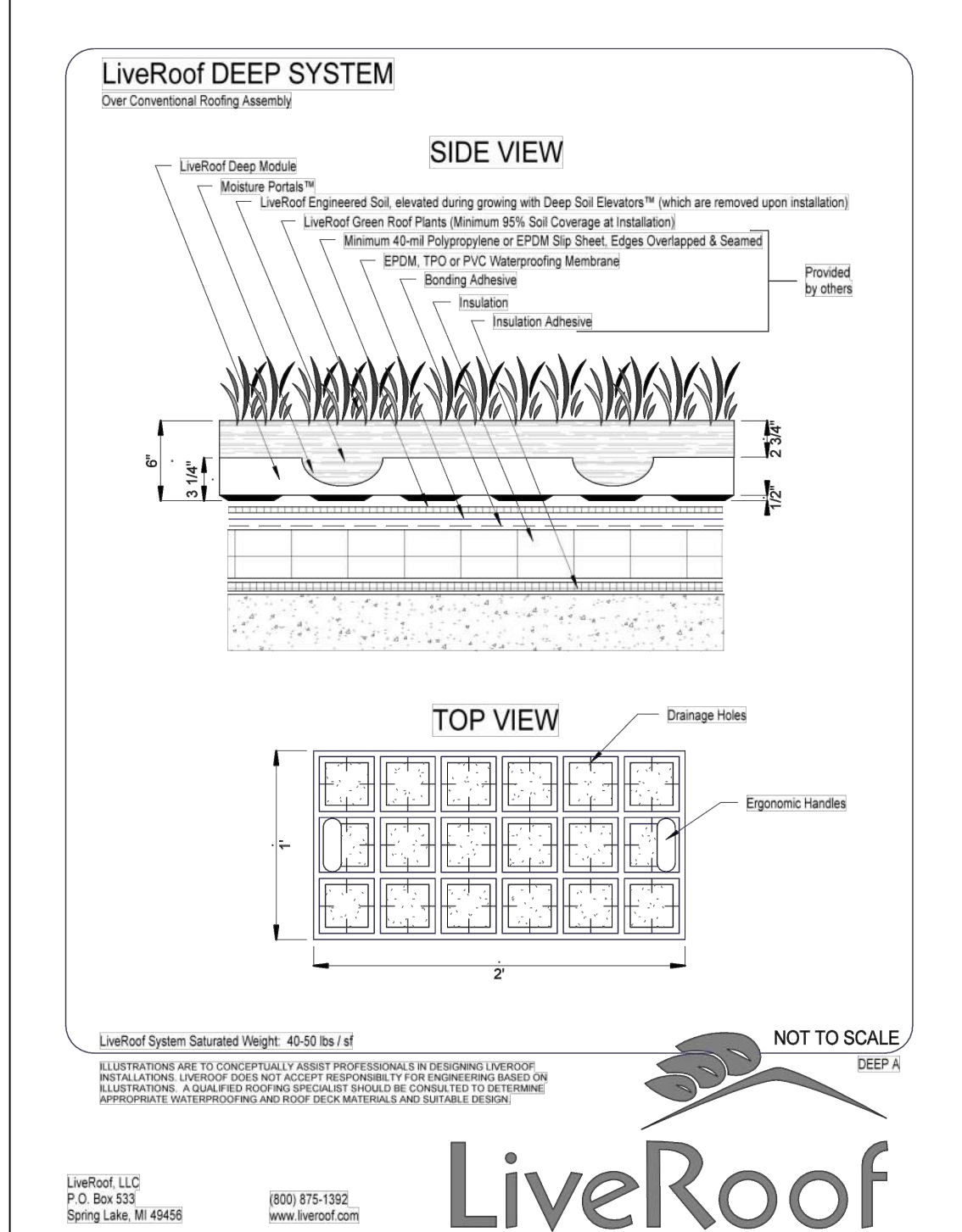
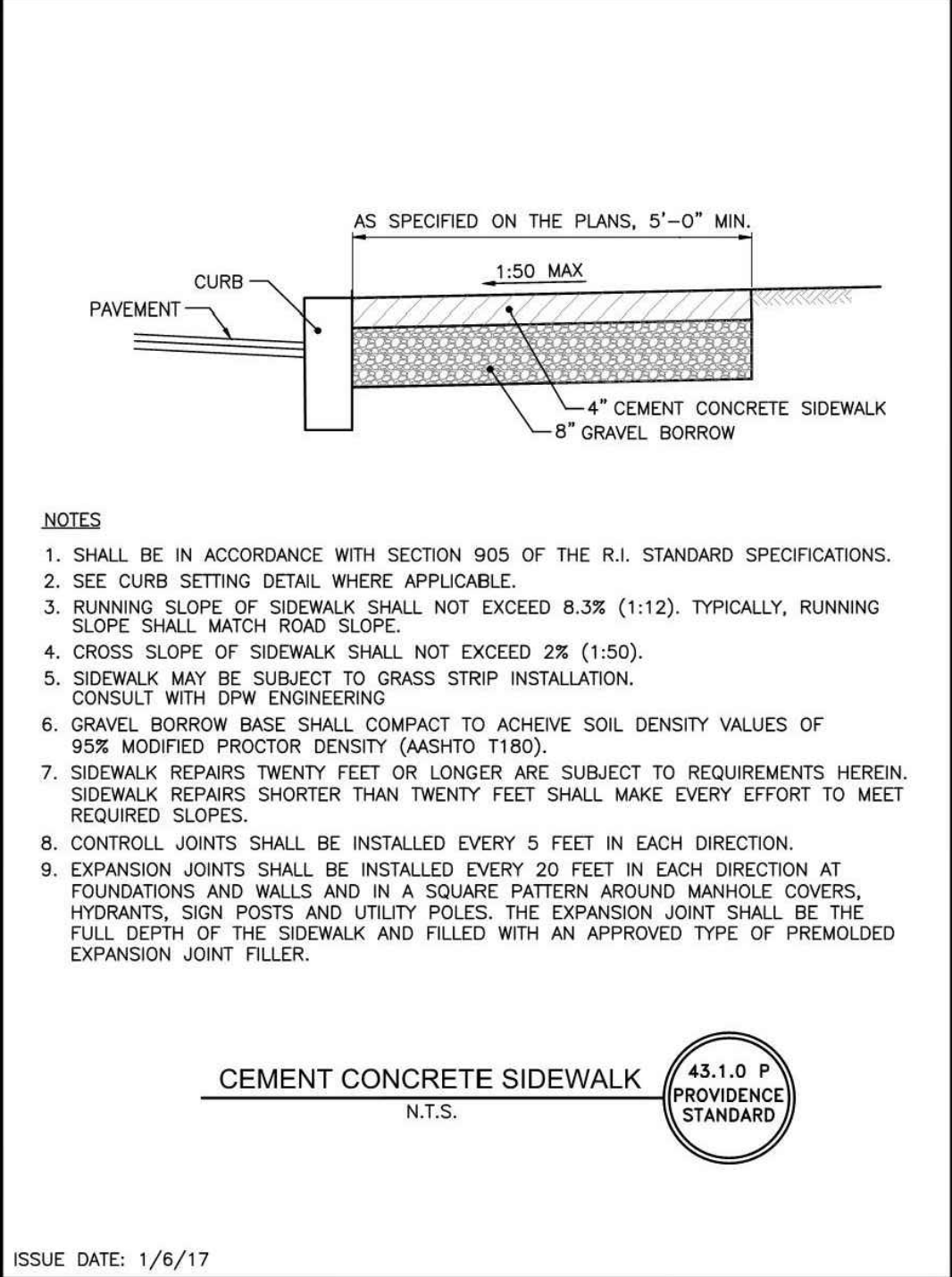
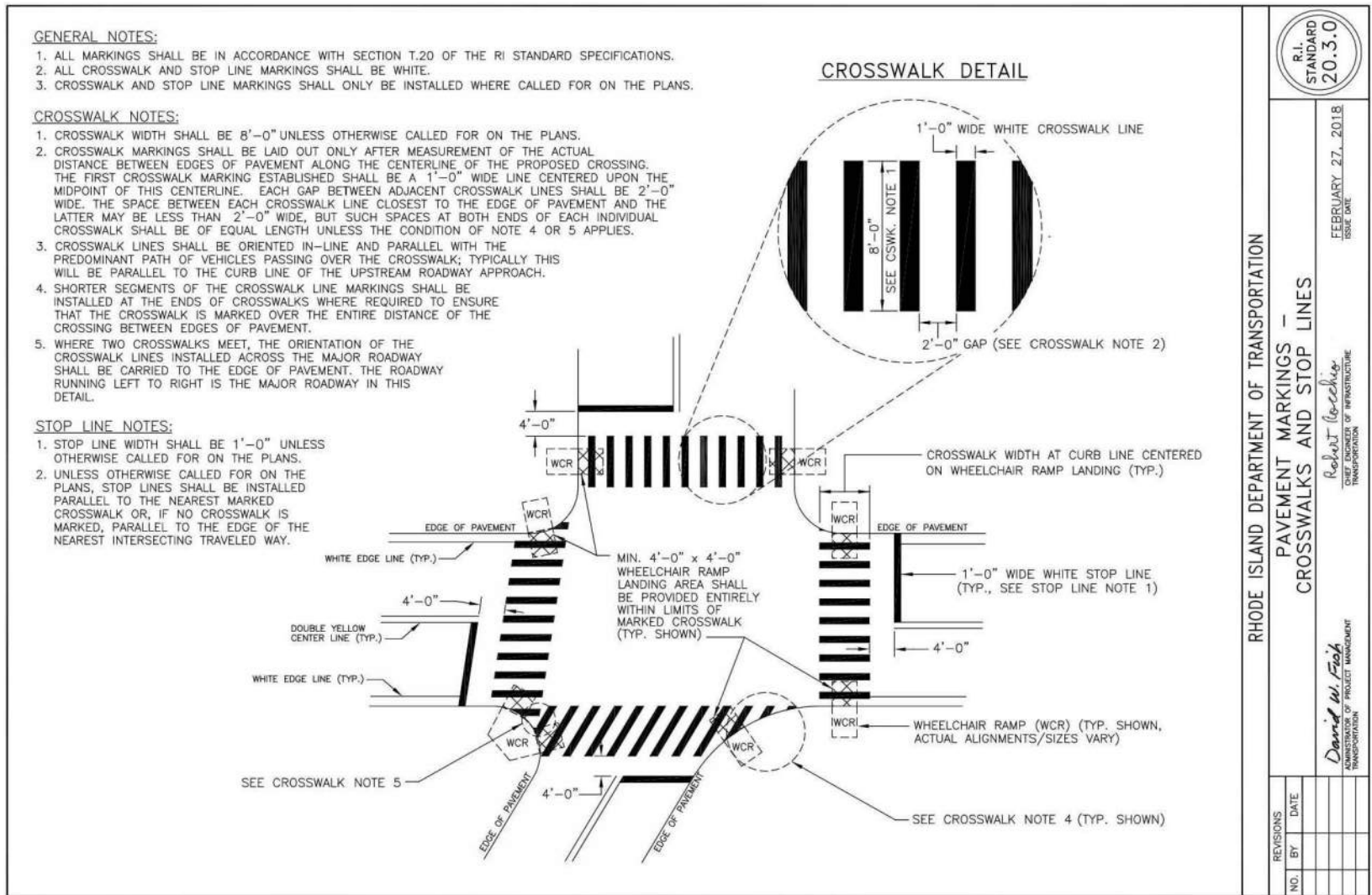
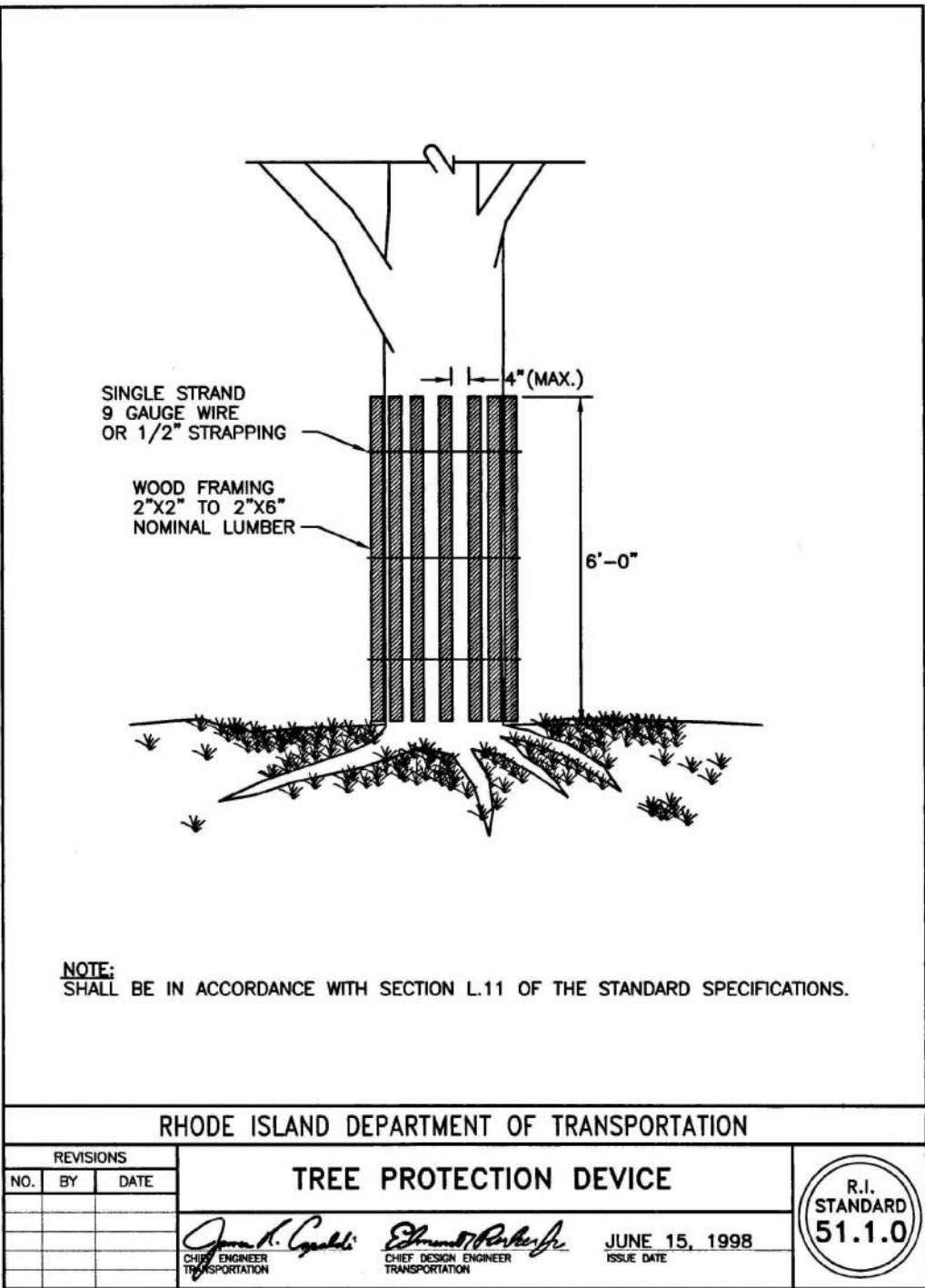
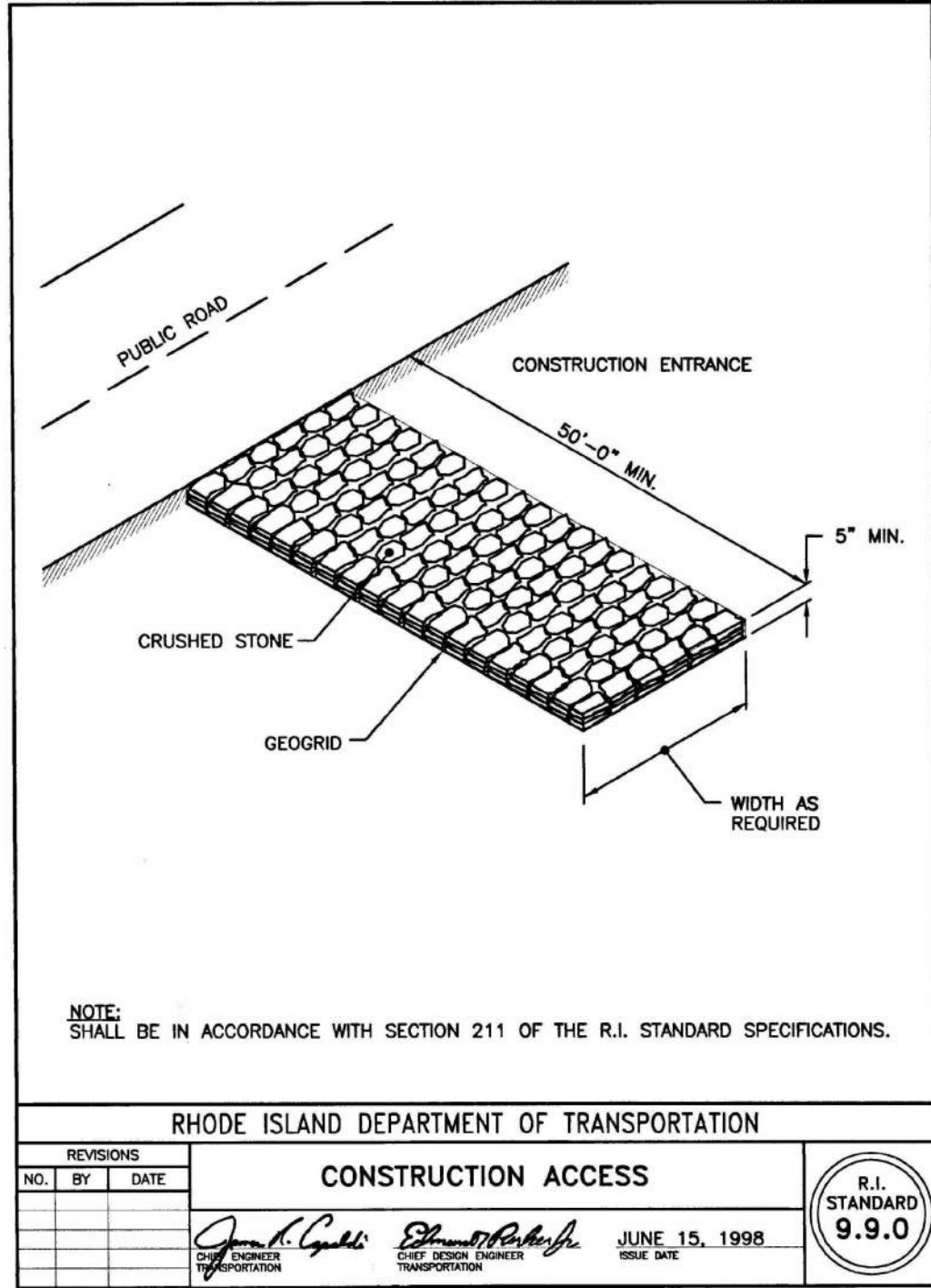
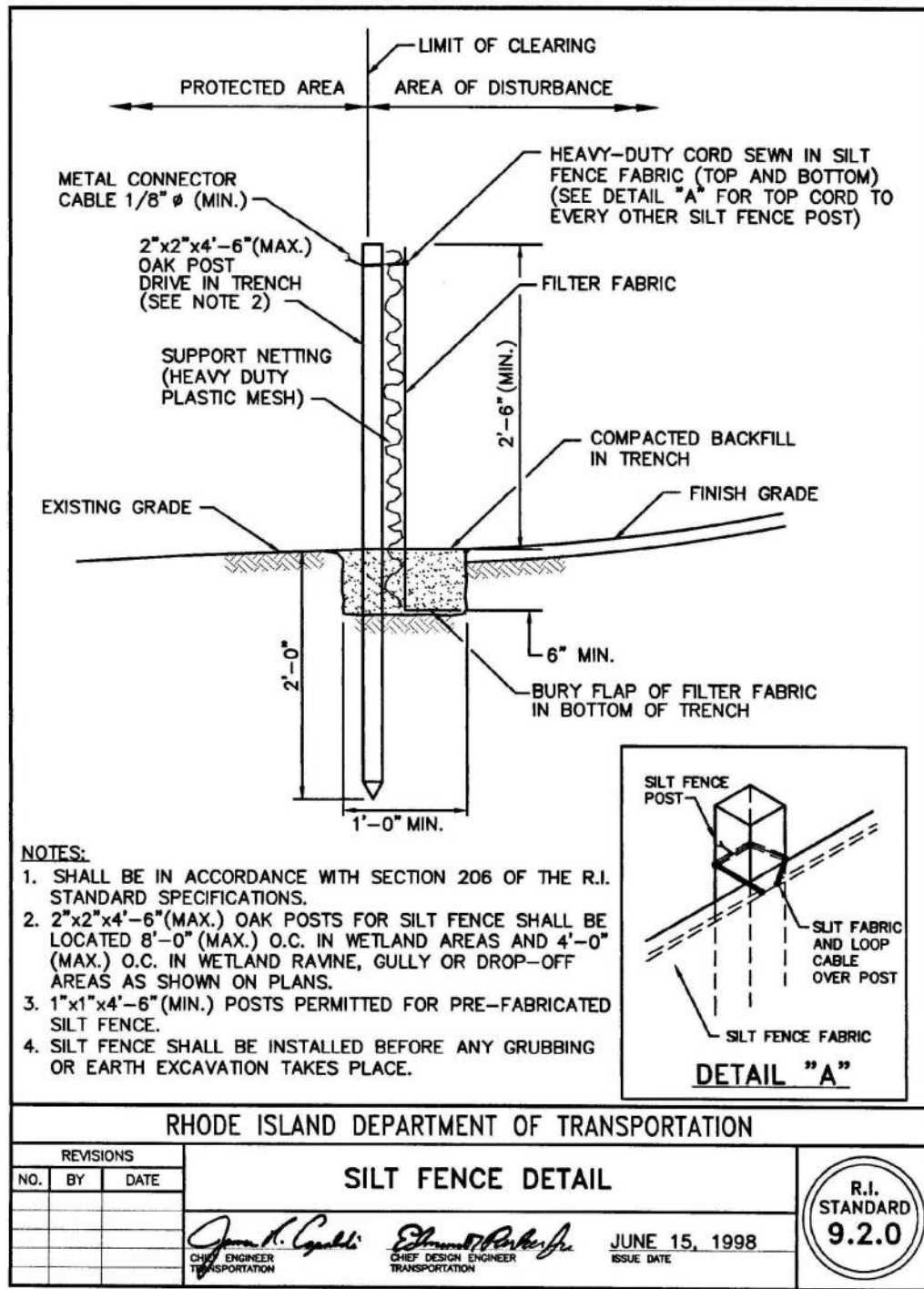
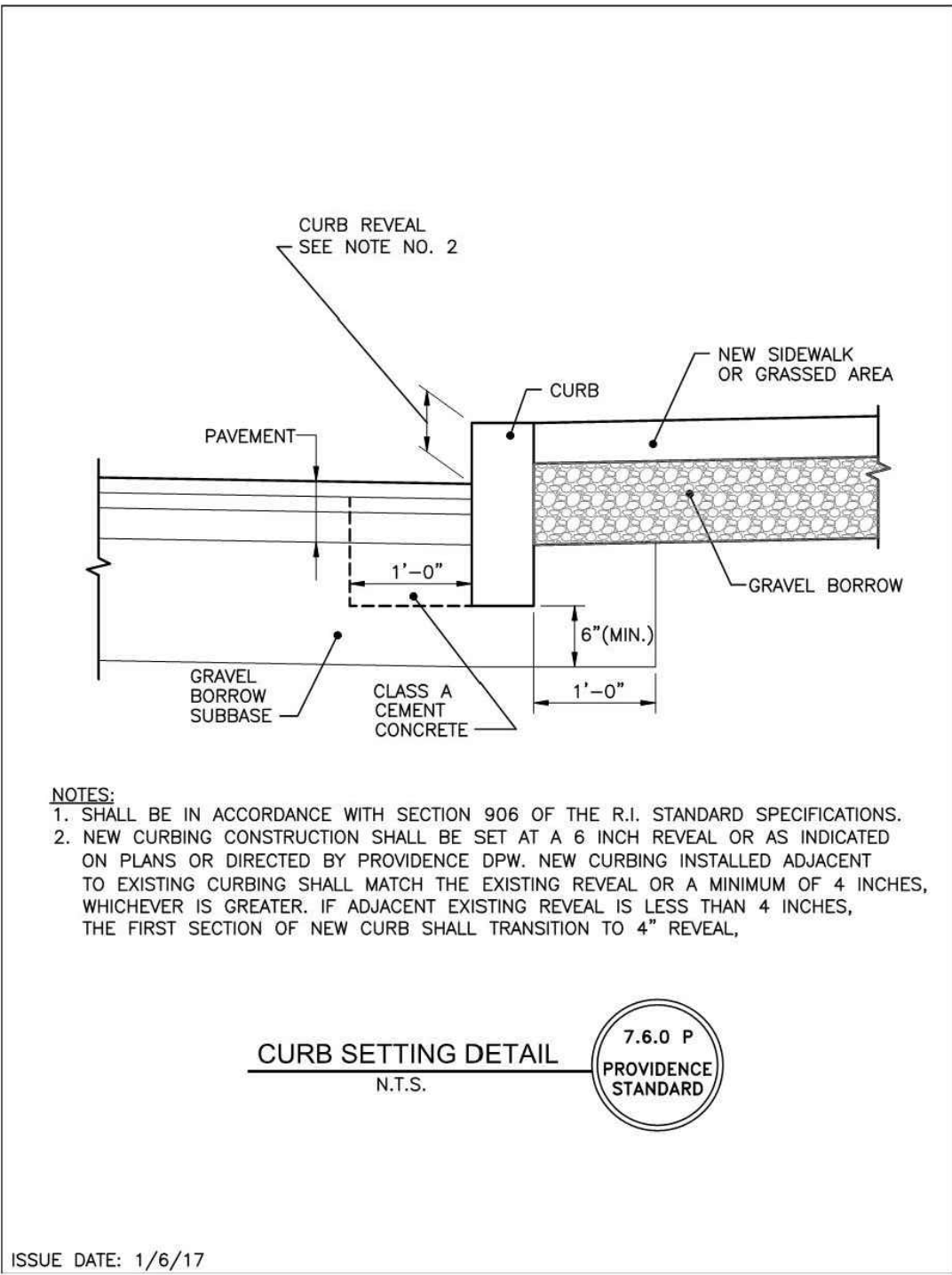
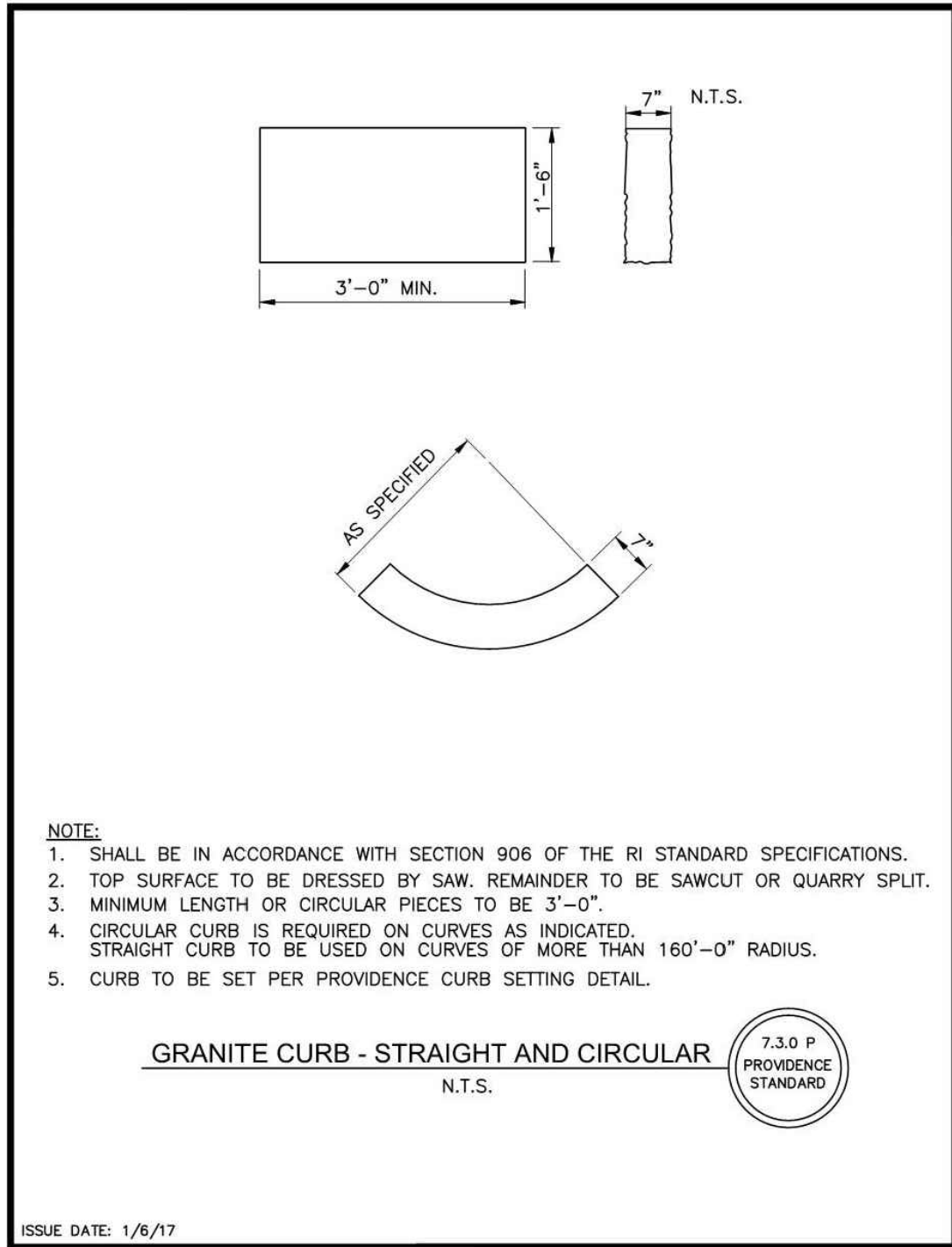
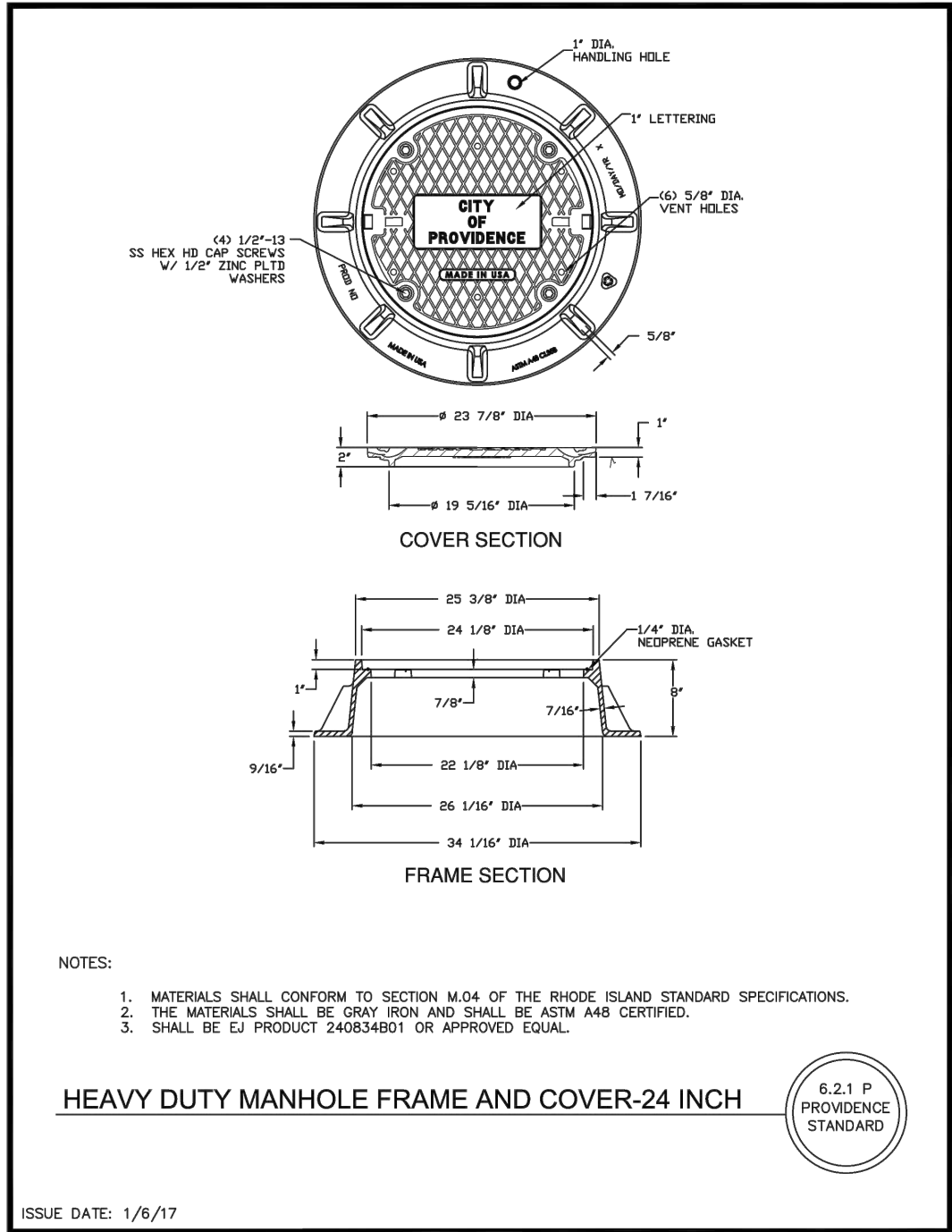
PROPOSED RESIDENTIAL DEVELOPMENT
157, 159 & 165 GANO AND 256 POWER STREET
PROVIDENCE, RHODE ISLAND
AP 14, LOTS 272, 273, 296 & 576

REVISIONS:	NO.	DATE	DESCRIPTION
DESIGNED BY:	DRD		
DRAWN BY:	SEP/SD		
CHECKED BY:	JAC		
DATE:	MAY 2022		
PROJECT NO:	21-80		

PRELIMINARY, NOT FOR CONSTRUCTION

DRAINAGE & SEWER PLAN

SHEET 6 OF 7



PROPOSED RESIDENTIAL DEVELOPMENT
157, 159 & 165 GANO AND 256 POWER STREET
PROVIDENCE, RHODE ISLAND
AP 14, LOTS 272, 273, 296 & 576

REVISIONS:	
NO.	DESCRIPTION

DESIGNED BY:	DRD
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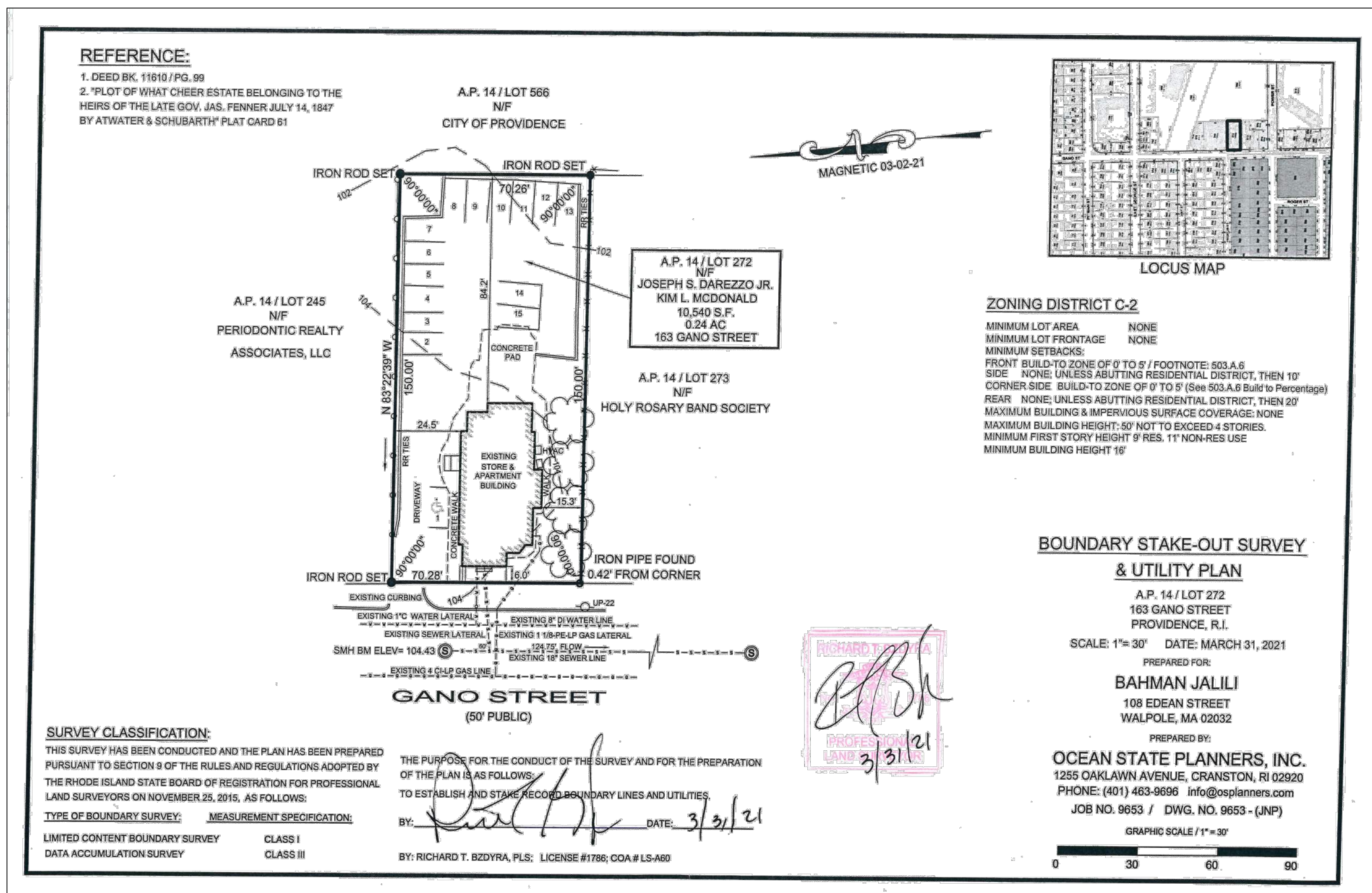
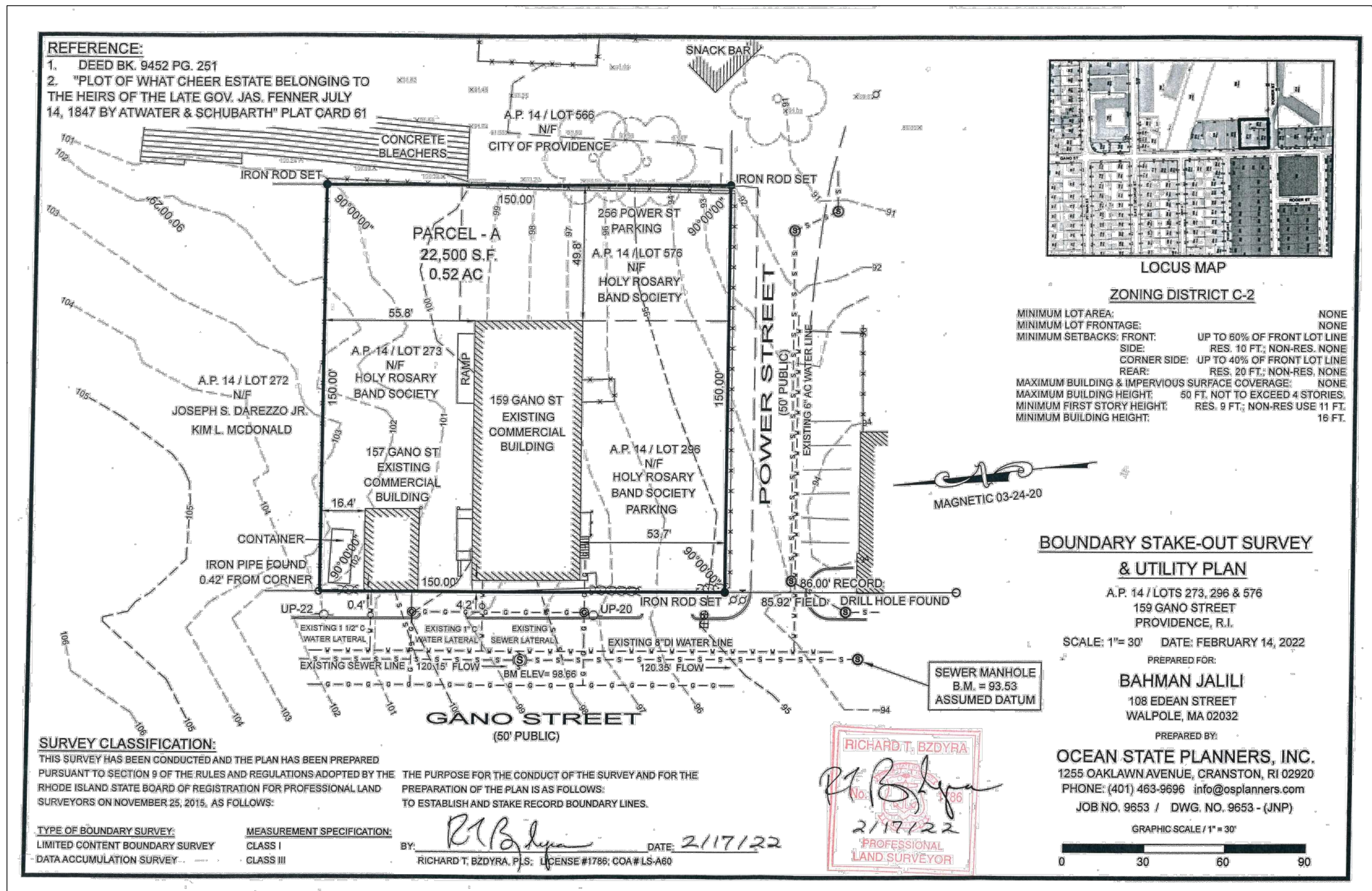
CIVIL DETAILS

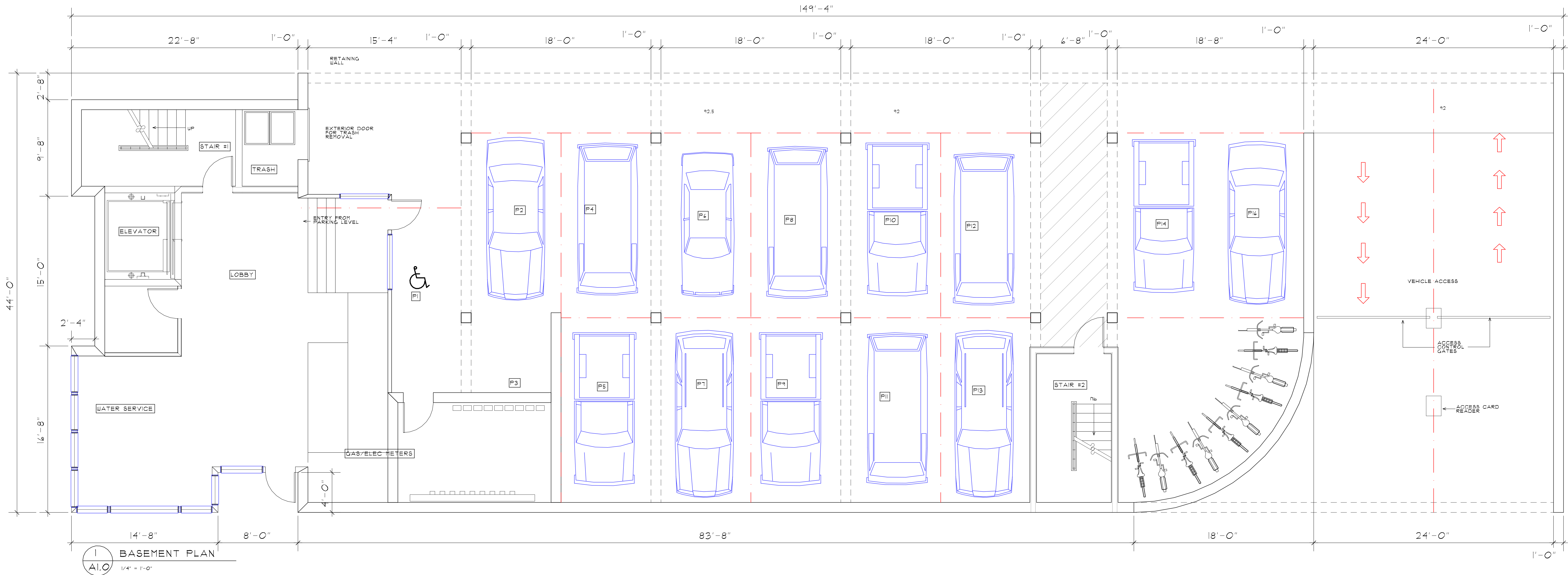
SHEET 7 OF 7

JCE

JOE CASALI ENGINEERING, INC.
CIVIL SITE DEVELOPMENT - TRANSPORTATION
1000 STATE STREET, SUITE 100
PROVIDENCE, RHODE ISLAND 02908
DRAINAGE: 300 POST ROAD, WARWICK, RI 02886
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JOSEPH A. CASALI
No. 7250
REGISTERED
PROFESSIONAL ENGINEER
CIVIL
5-11-2022





NEW APARTMENT BUILDING
COASTWAY MANAGEMENT
153 GANO STREET
PROVIDENCE, RHODE ISLAND 02906

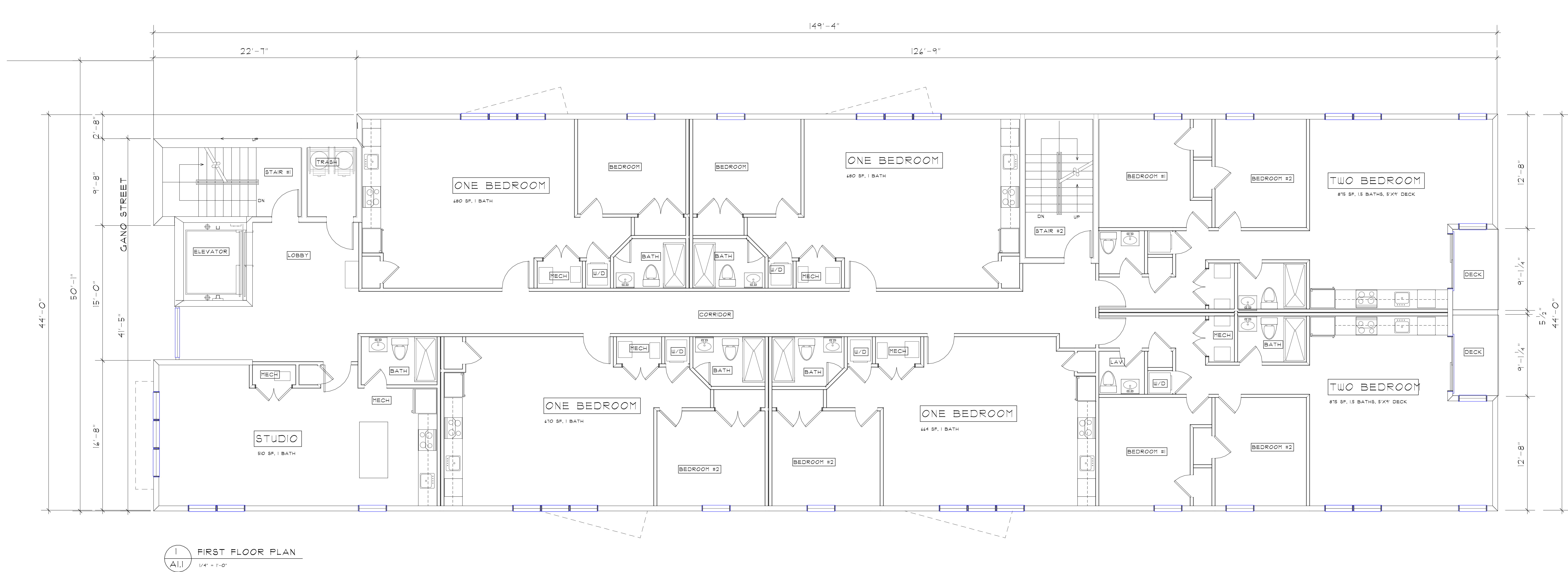
ACME
ARCHITECT
L.L.C.
9 SIMMONS ROAD
LITTLE COMPTON
RHODE ISLAND 02837
T. 401 465 5247
F. 401 635 8662
MarkRappArchitect.com

BASEMENT PLAN

DATE: 4/18/22
SCALE: 1/4" = 1'-0"

REVISIONS:

SHEET
A1.0
21-15 - 153



NEW APARTMENT BUILDING

COASTWAY MANAGEMENT

153 GANO STREET
PROVIDENCE, RHODE ISLAND 02904

ACME
ARCHITECT
L.L.C.

9 SIMMONS ROAD
LITTLE COMPTON
RHODE ISLAND 02837
T. 401 465 5247
F. 401 635 8662
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FIRST FLOOR PLAN

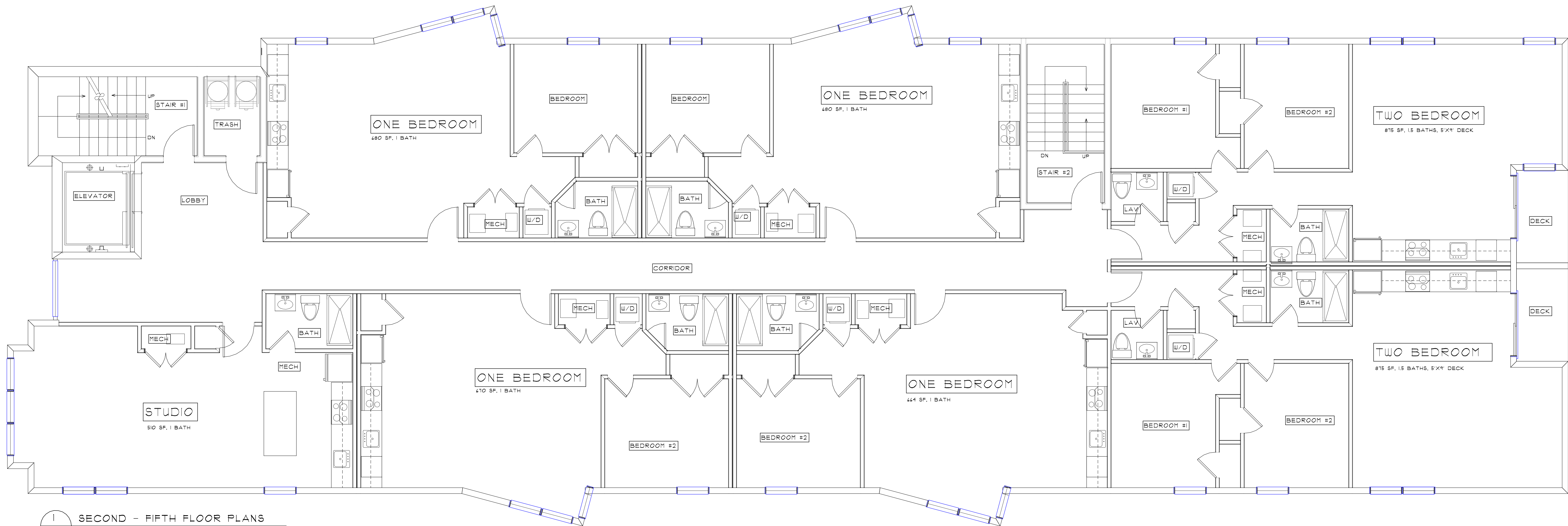
DATE: 4/18/22
SCALE: 1/4" = 1'-0"

REVISIONS:

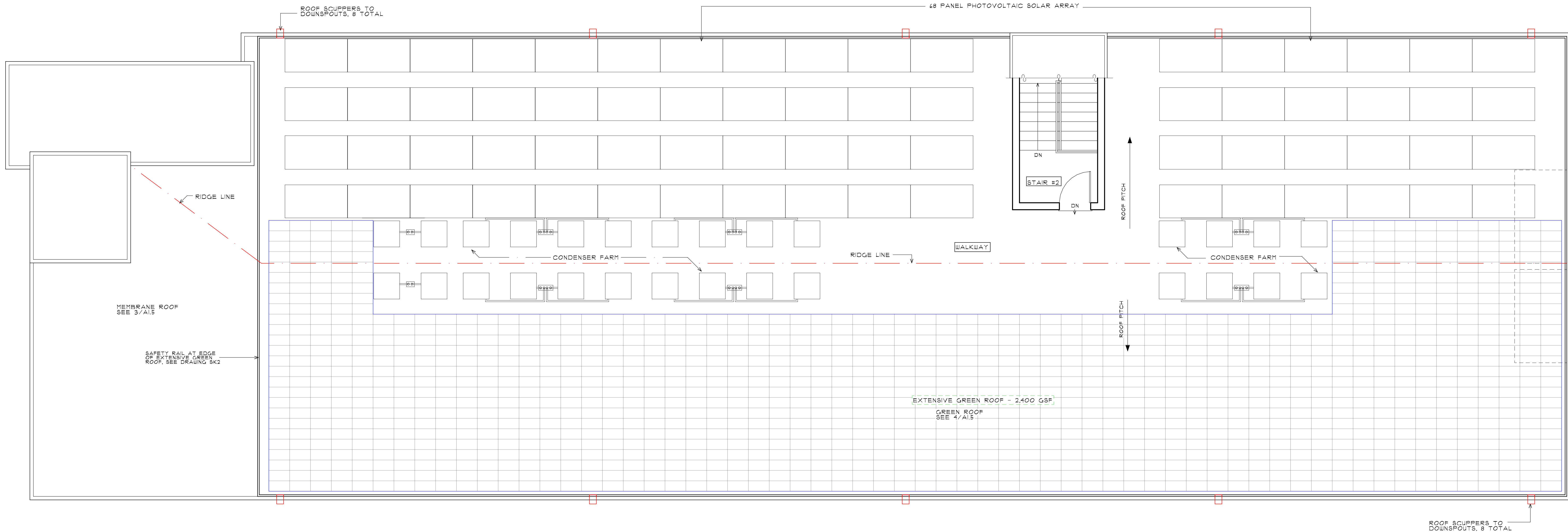
SHEET

A1.1

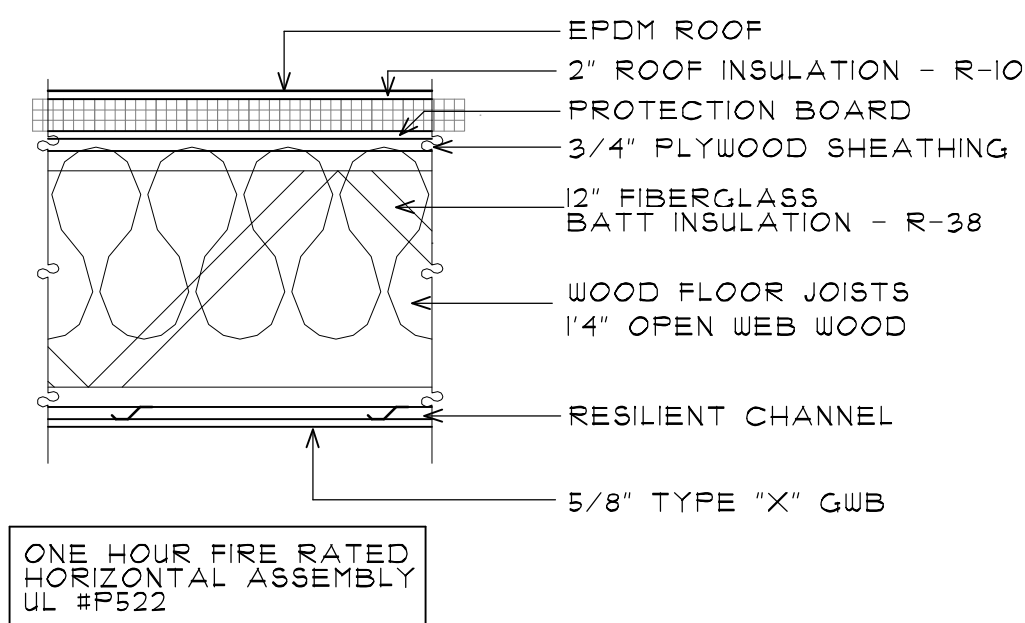
21-15 - 153



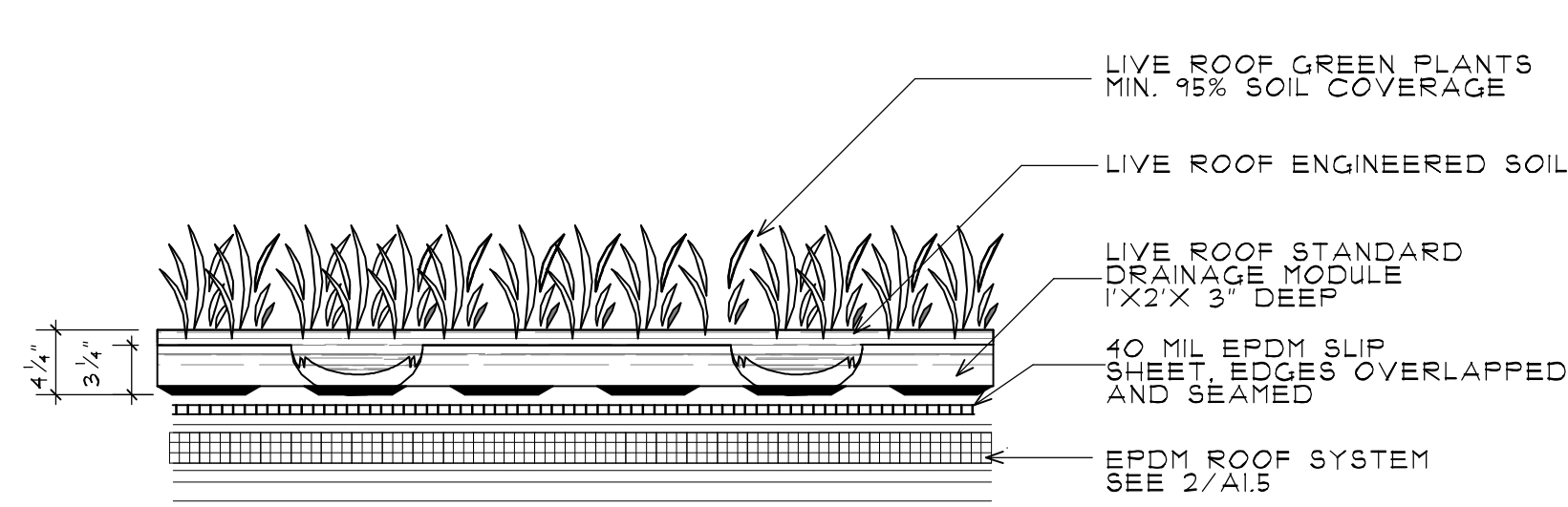
1 SECOND - FIFTH FLOOR PLANS
A1.2 1/4" = 1'-0"



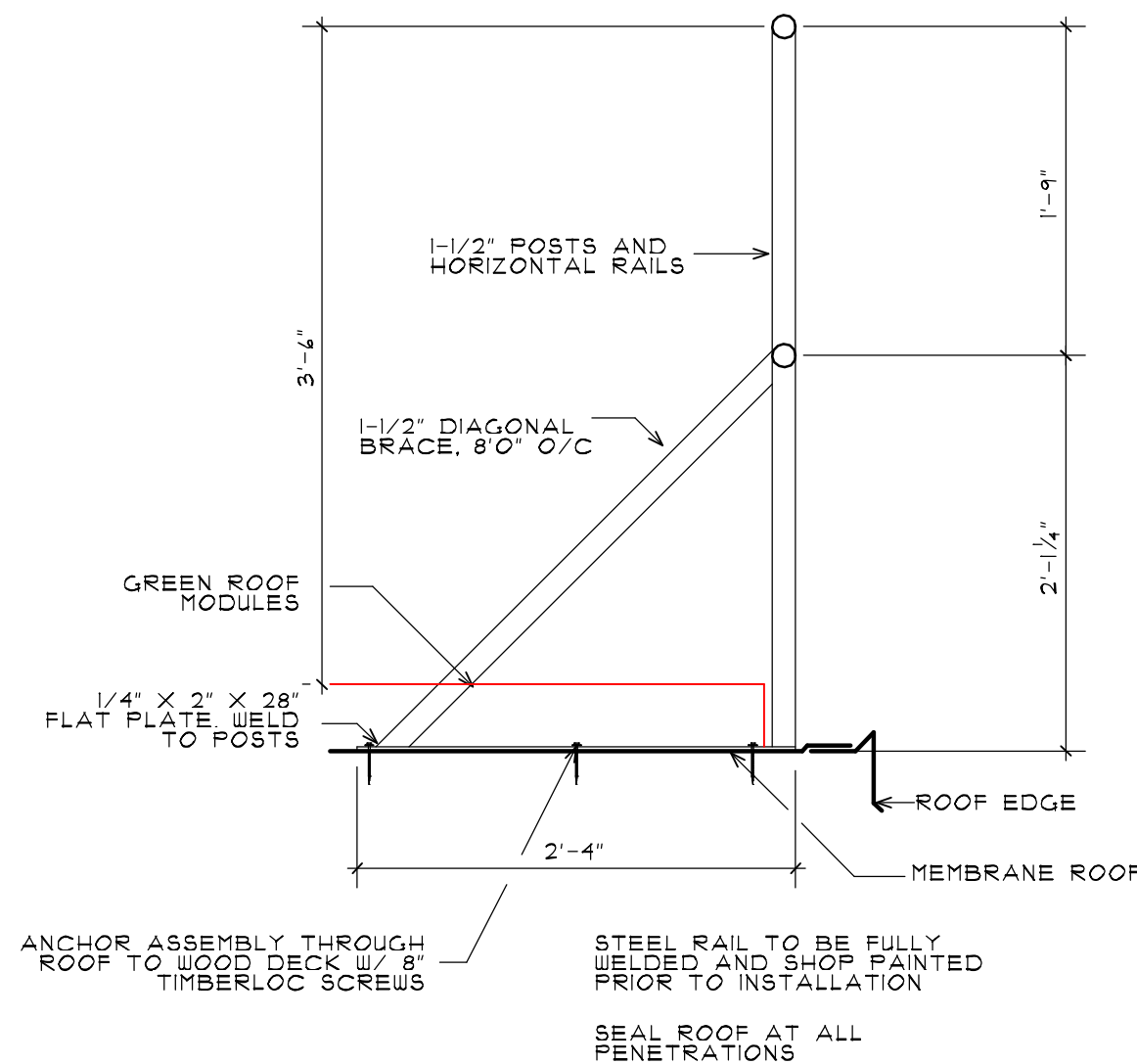
1 ROOF PLAN
1/4" = 1'-0"



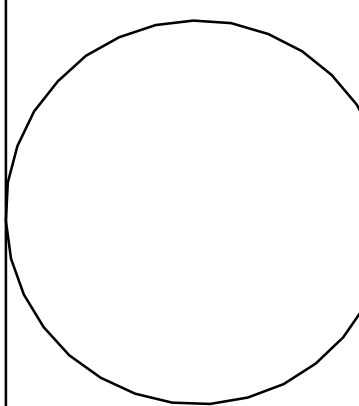
2 ROOF DETAIL
1" = 1'-0"



3 EXTENSIVE GREEN ROOF DETAIL
1" = 1'-0"

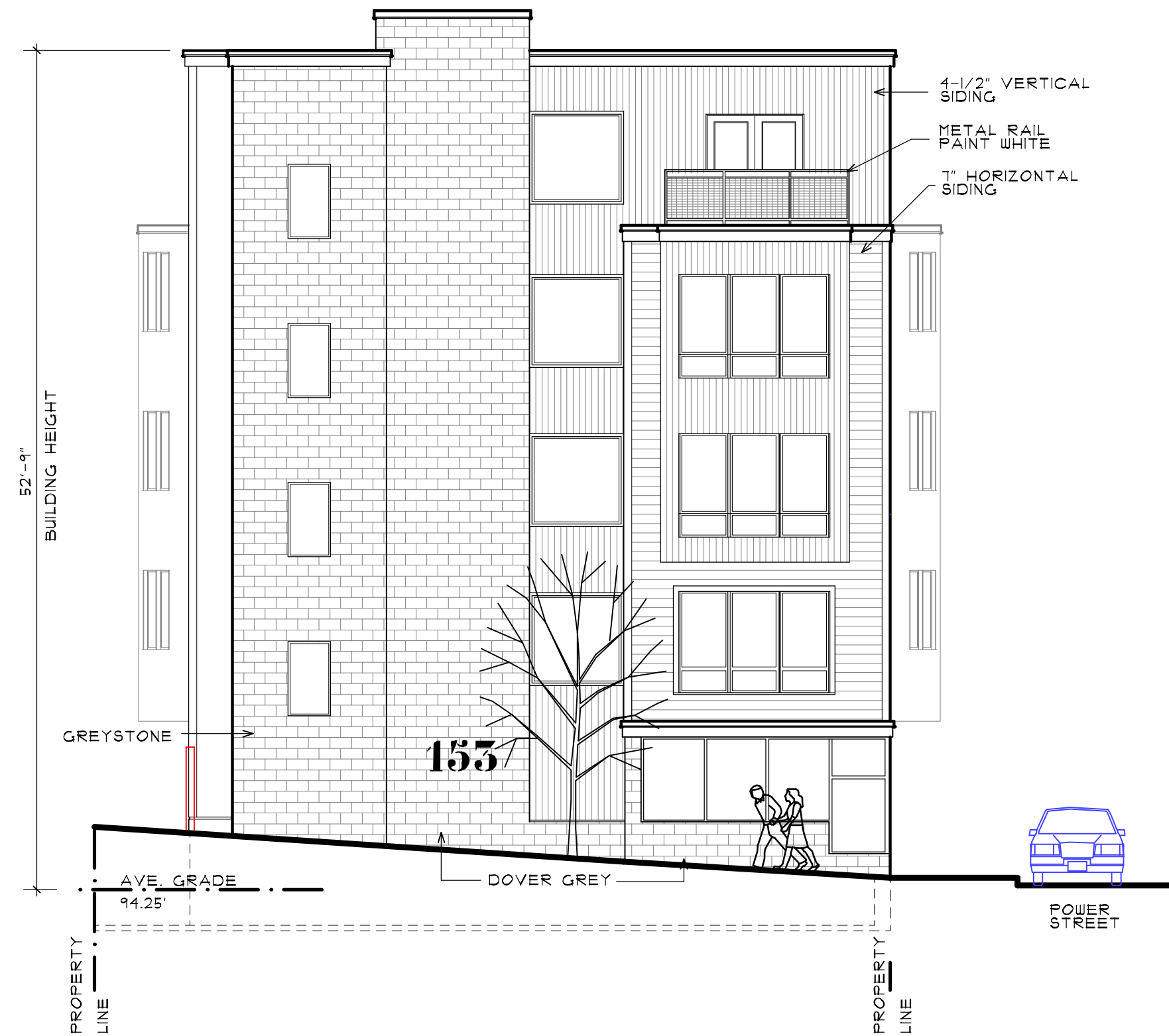


4 SAFETY RAIL DETAIL
1" = 1'-0"





1 NORTH ELEVATION
A2.1 1/8" = 1'-0"



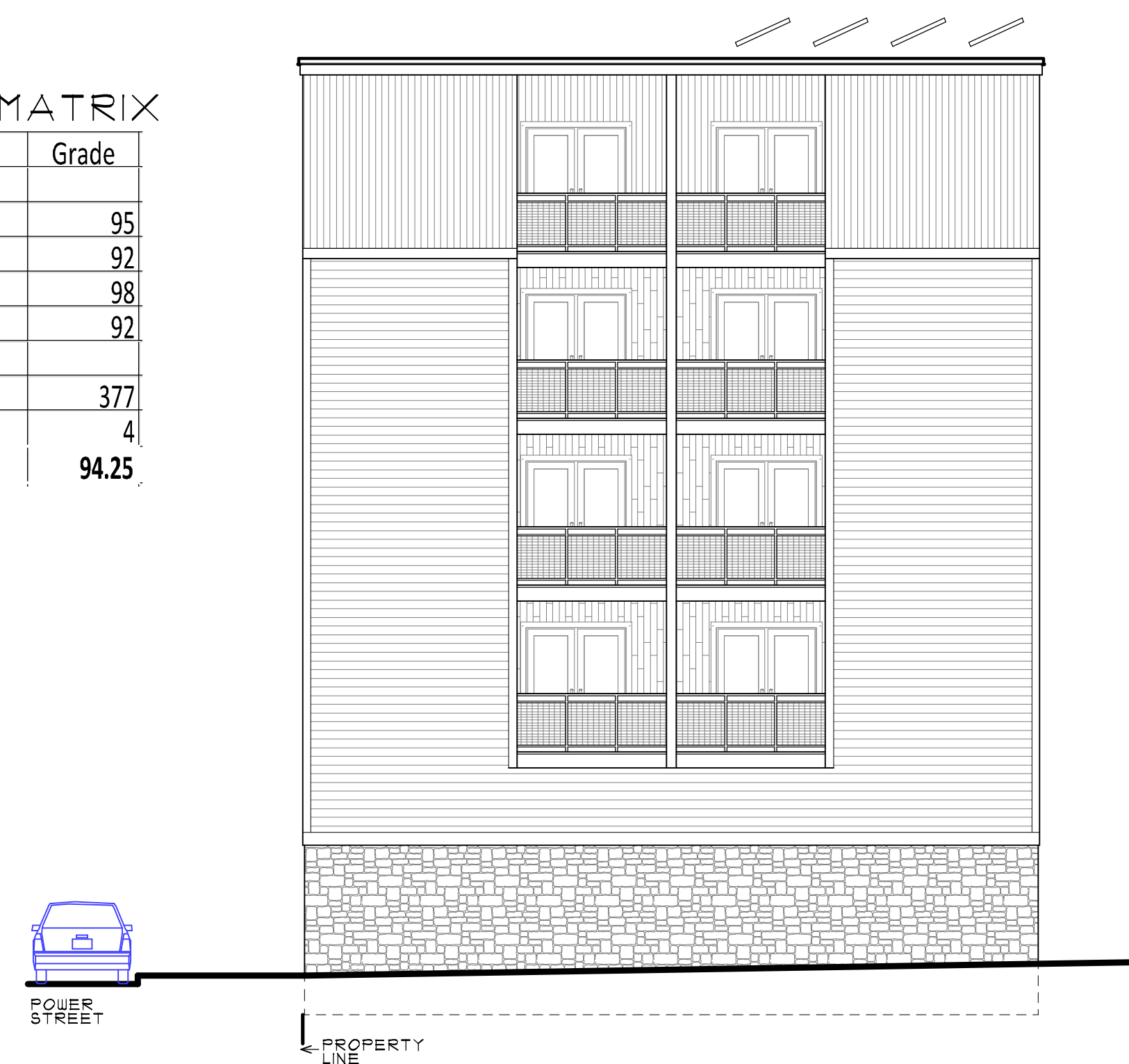
2 WEST (GANO STREET) ELEVATION
A2.1 1/8" = 1'-0"



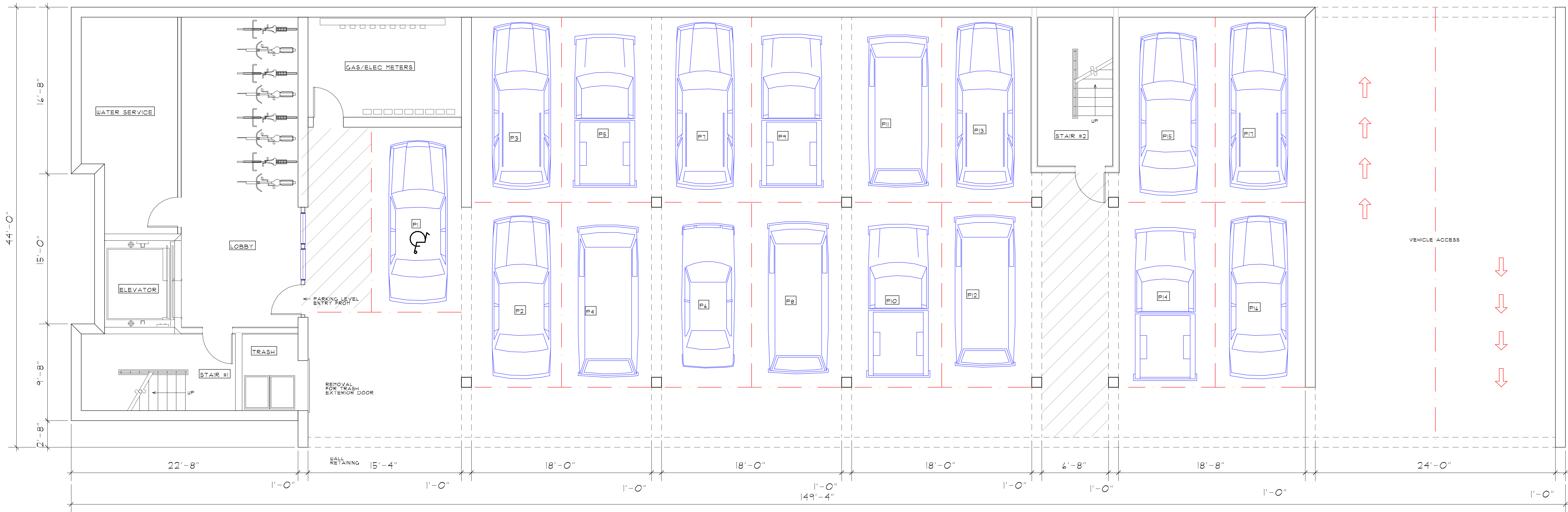
3 SOUTH (POWER STREET) ELEVATION
A2.1 1/8" = 1'-0"

GRADE MATRIX

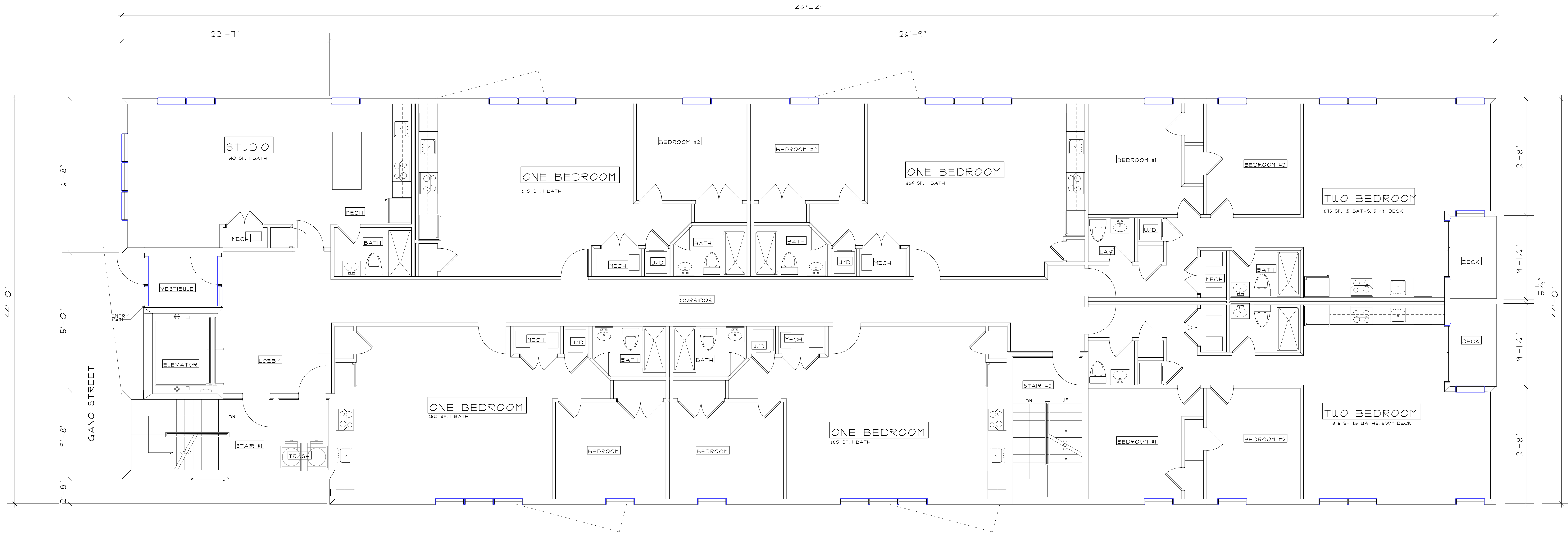
Elevation Points	Grade
SW	95
SE	92
NW	98
NE	92
Total	377
	4
Average Grade	94.25



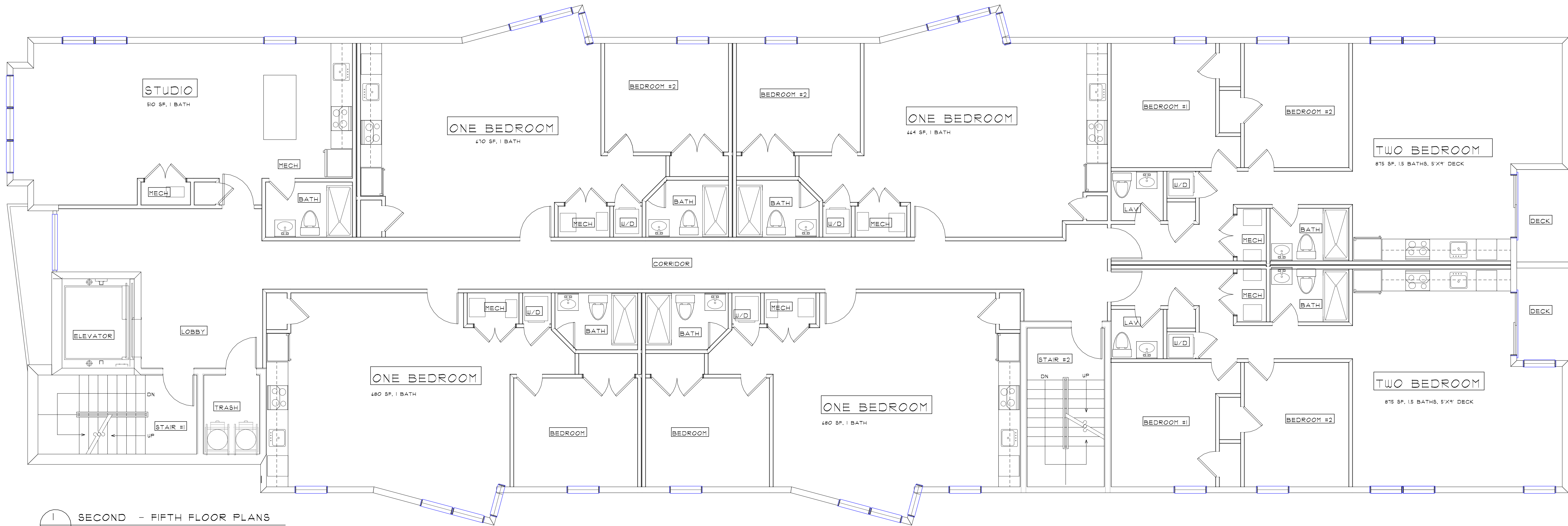
4 EAST ELEVATION
A2.1 1/8" = 1'-0"



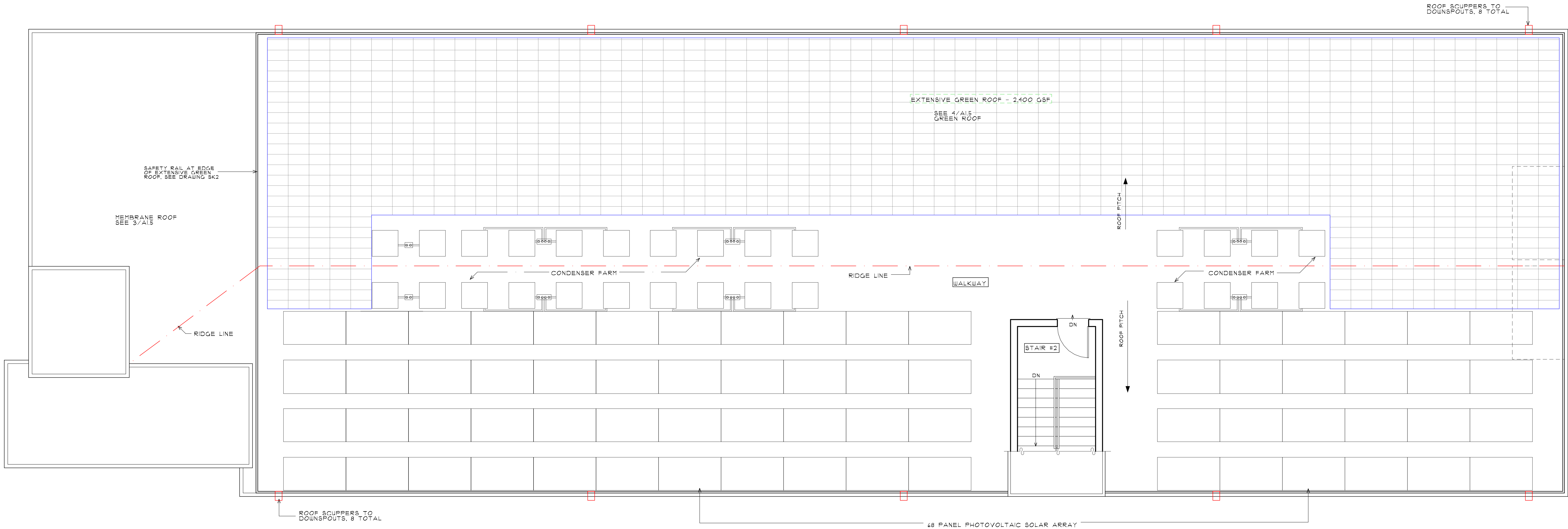
1 BASEMENT PLAN
A1.0 1/4" = 1'-0"



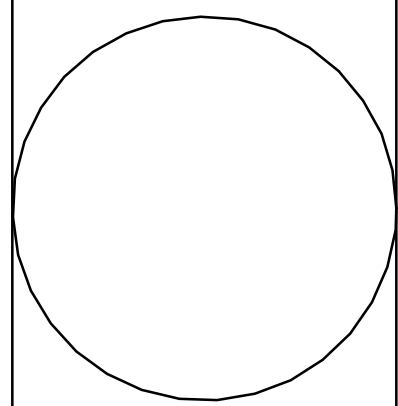
1
A1.1 FIRST FLOOR PLAN
1/4" = 1'-0"



1
A1.2 SECOND - FIFTH FLOOR PLANS
1/4" = 1'-0"

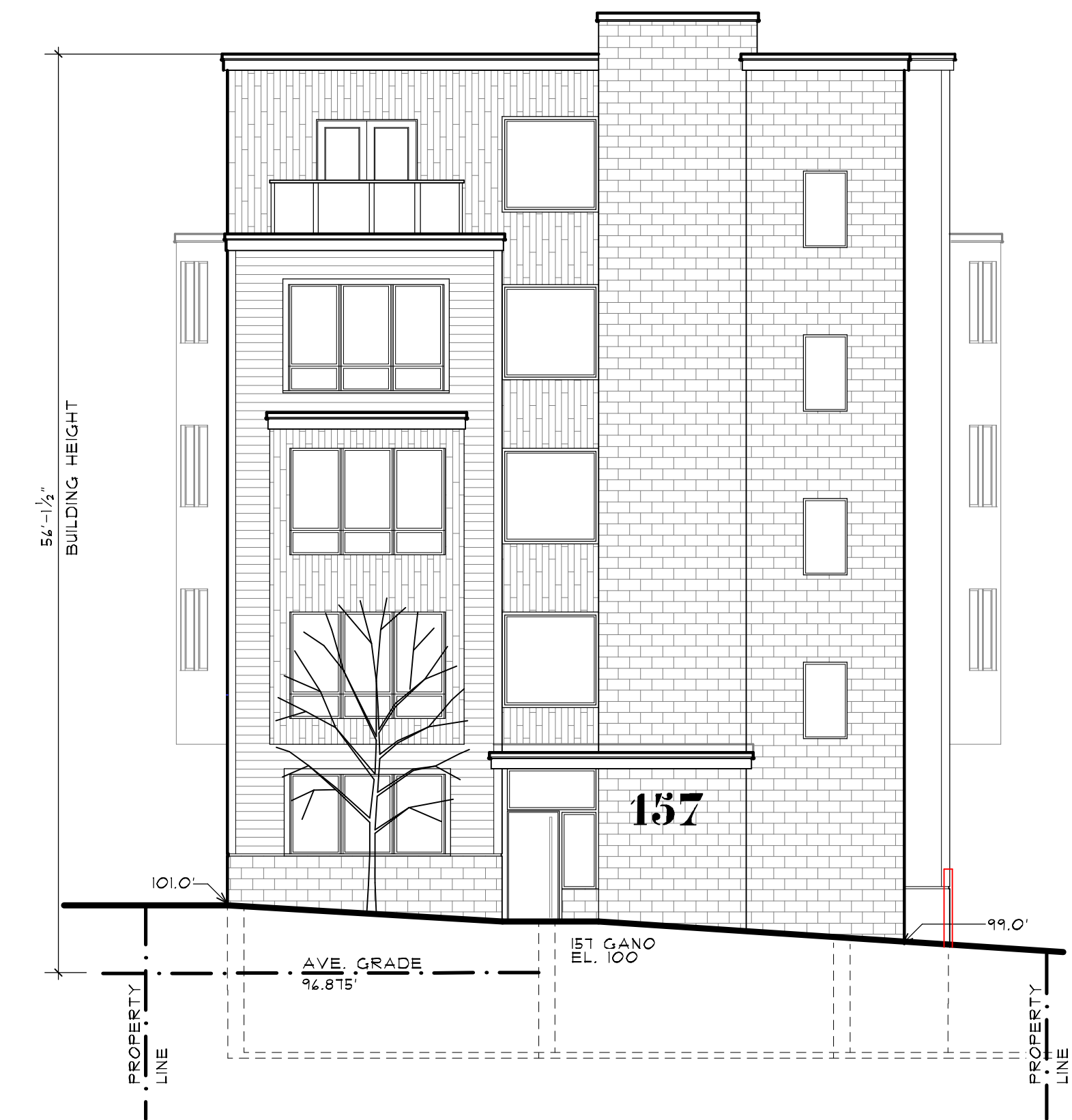


1
A1.5 ROOF PLAN
1/4" = 1'-0"





1 NORTH ELEVATION
A2.1 1/8" = 1'-0"



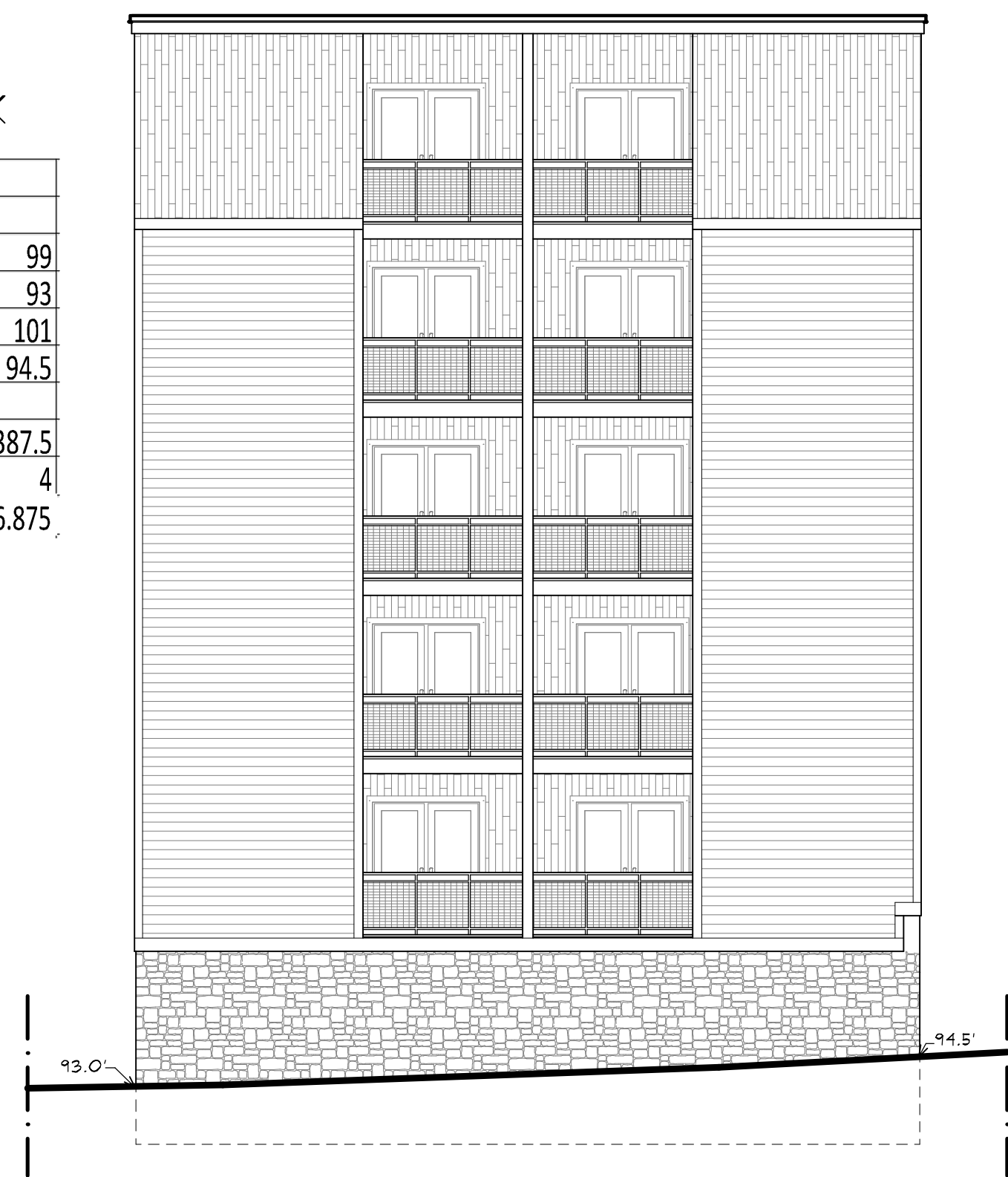
2 WEST (GANO STREET) ELEVATION
A2.1 1/8" = 1'-0"



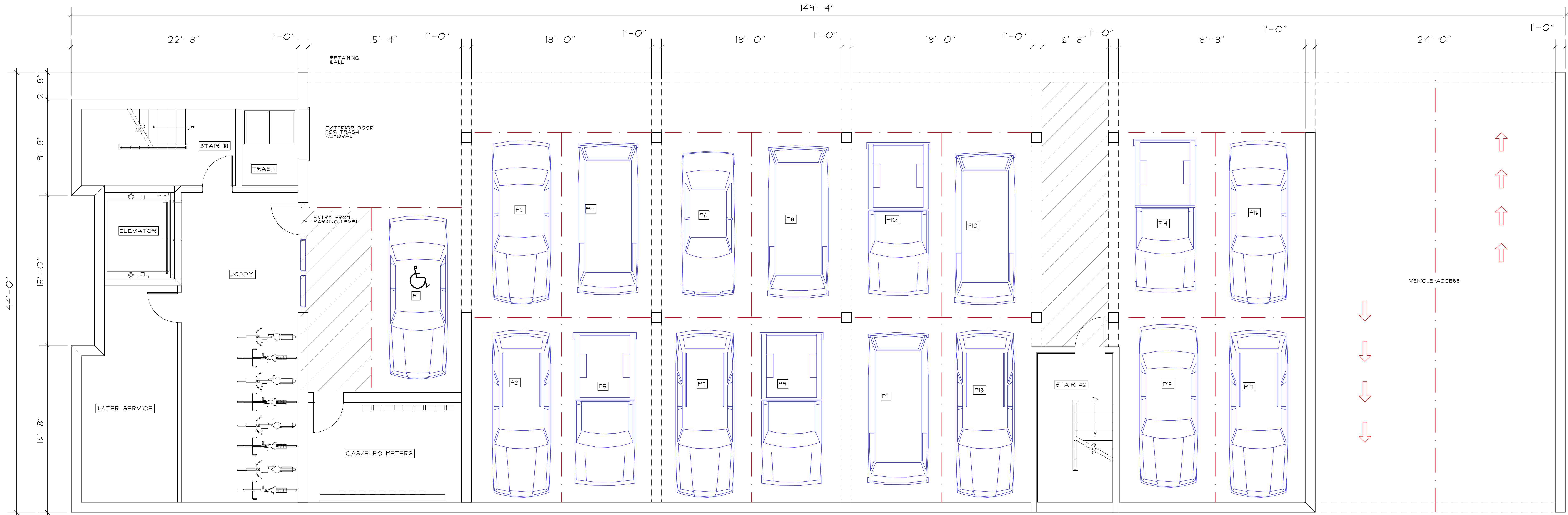
3 SOUTH ELEVATION
A2.1 1/8" = 1'-0"

GRADE MATRIX

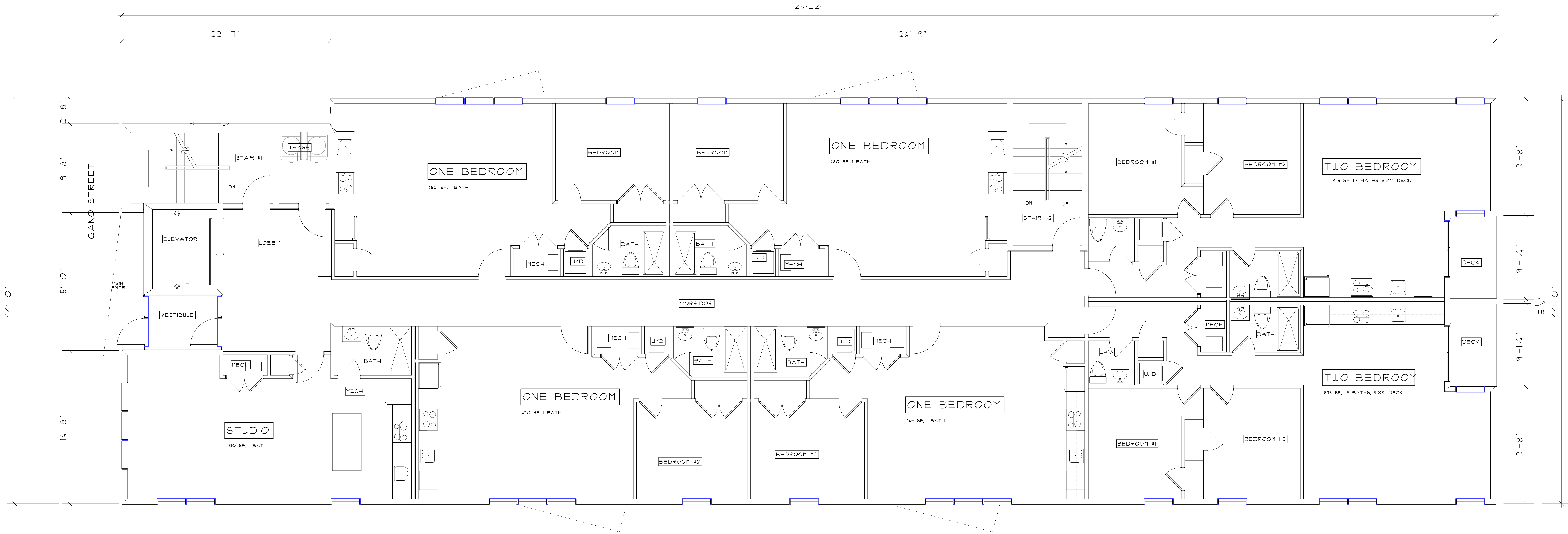
Elevation Points	Grade
SW	99
SE	93
NW	101
NE	94.5
Total	387.5
Average Grade	96.875



4 EAST ELEVATION
A2.1 1/8" = 1'-0"



1 BASEMENT PLAN
A1.0 1/4" = 1'-0"



NEW APARTMENT BUILDING

COASTWAY MANAGEMENT

141 GANO STREET
PROVIDENCE, RHODE ISLAND 02906

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FIRST FLOOR PLAN

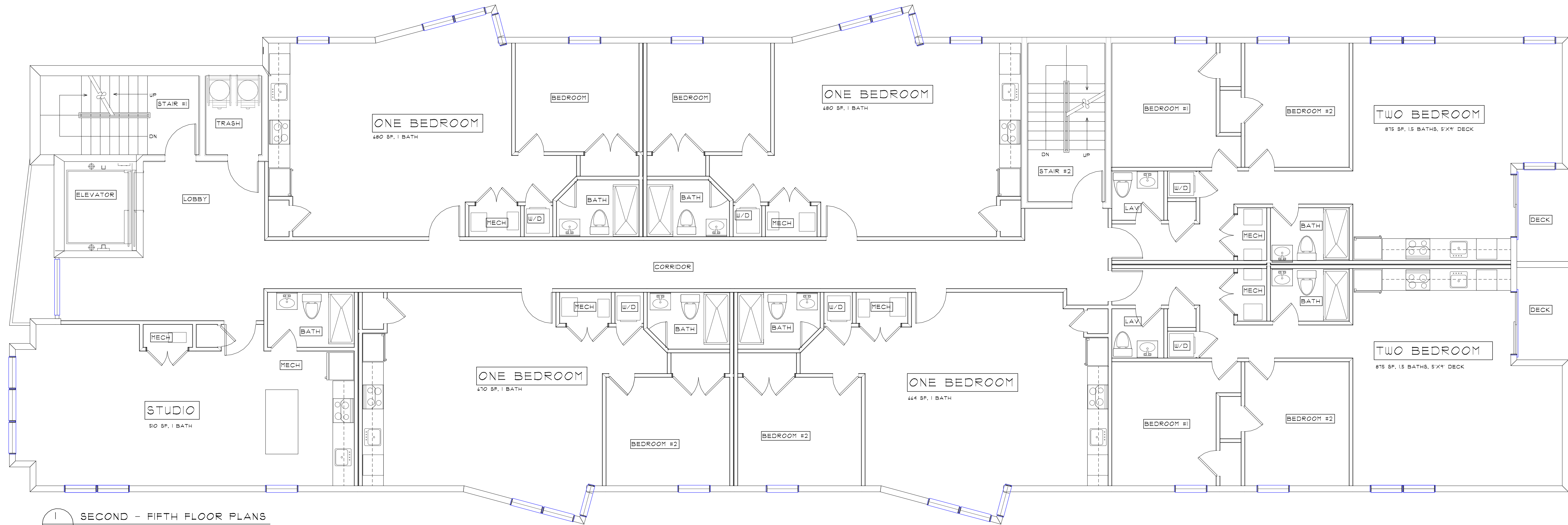
DATE: 6/18/22
SCALE: 1/4" = 1'-0"

REVISIONS:

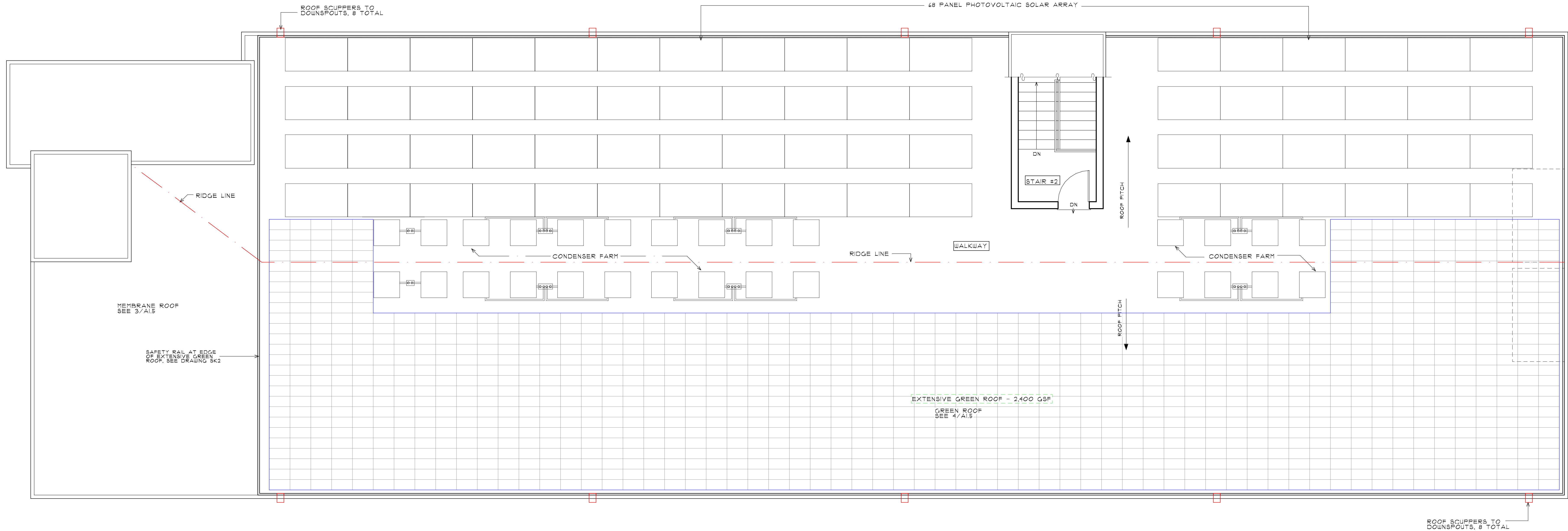
SHEET

A1.1

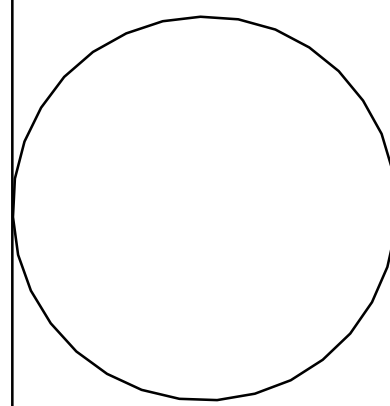
21-15 - 141



1 SECOND - FIFTH FLOOR PLANS
A1.2 1/4" = 1'-0"

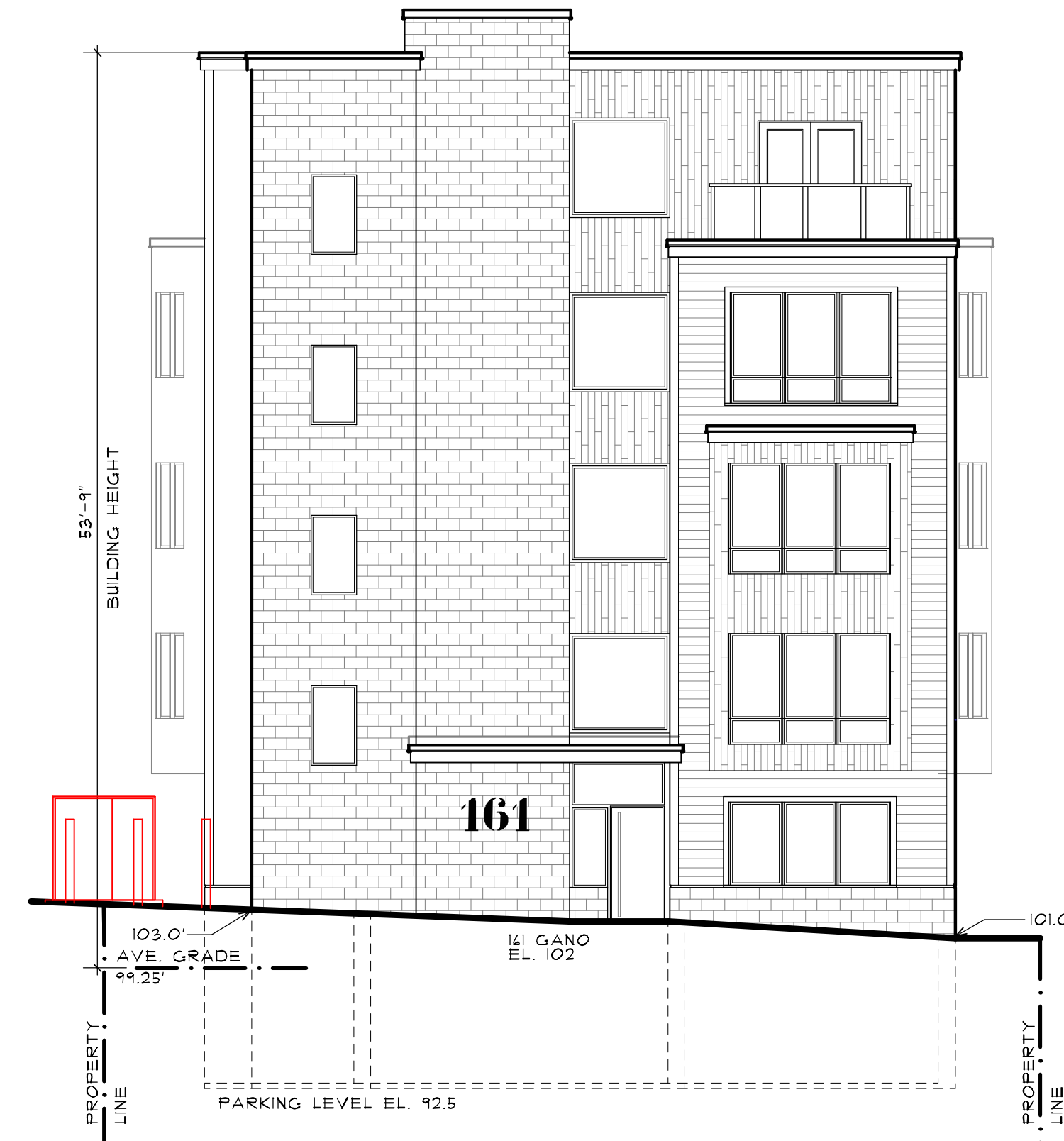


1
A1.5 ROOF PLAN
1/4" = 1'-0"

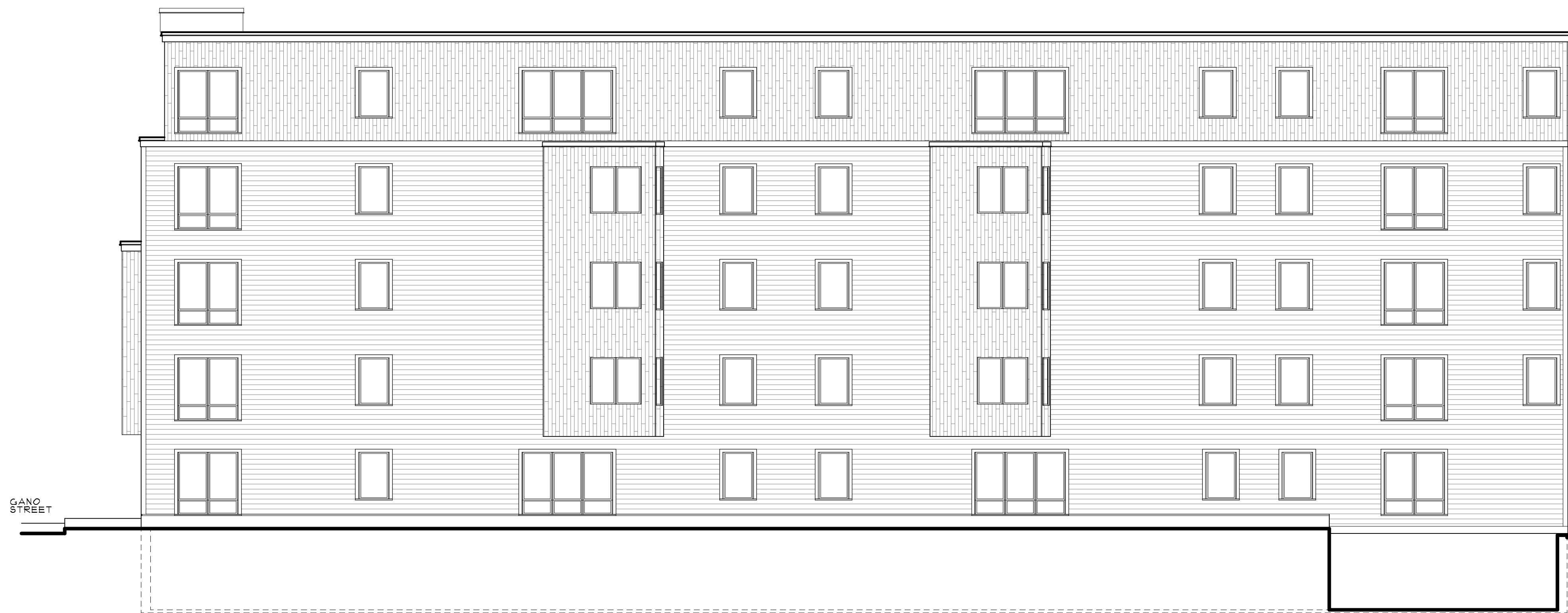




1 NORTH ELEVATION
A2.1 1/8" = 1'-0"



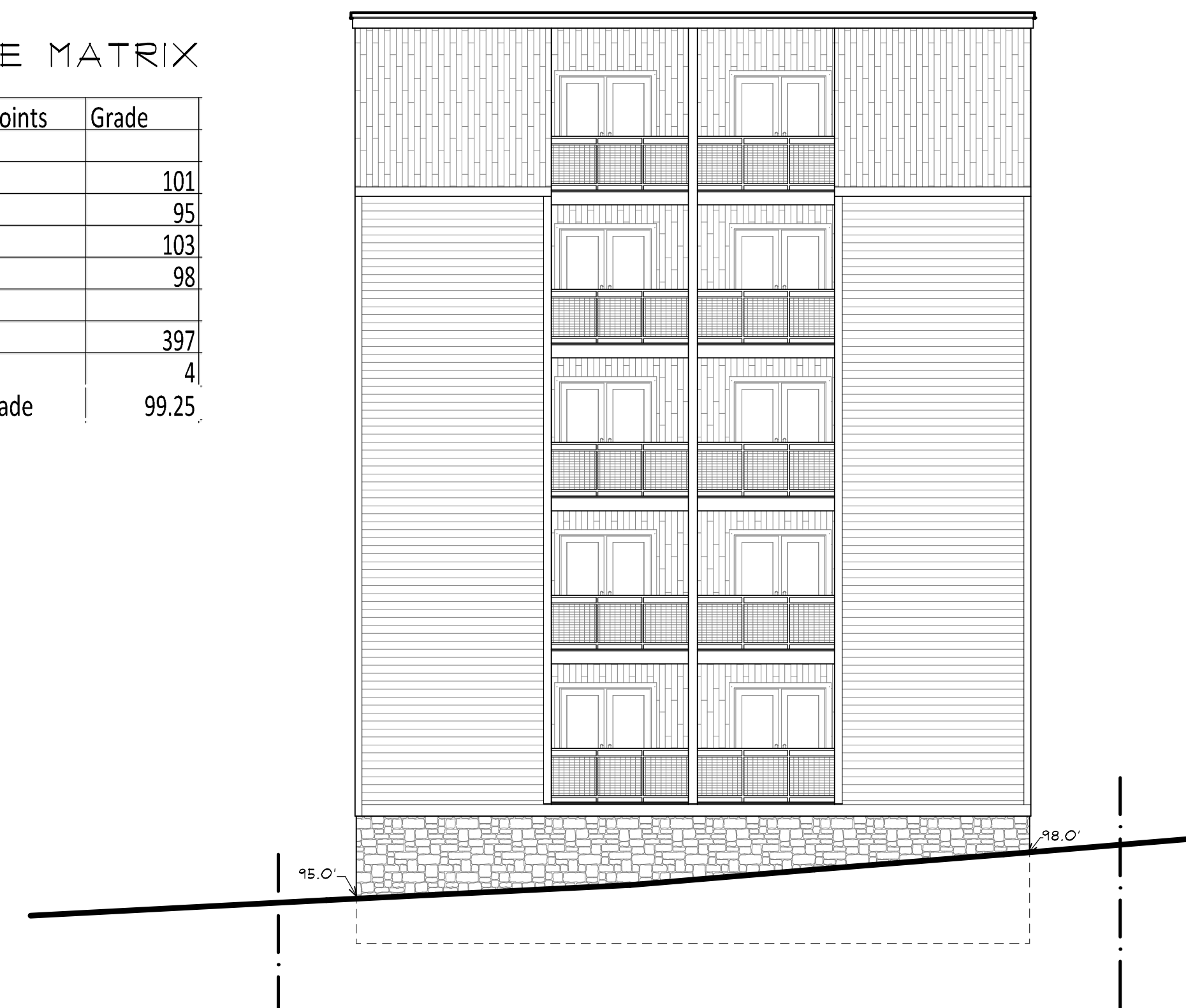
2 WEST (GANO STREET) ELEVATION
A2.1 1/8" = 1'-0"



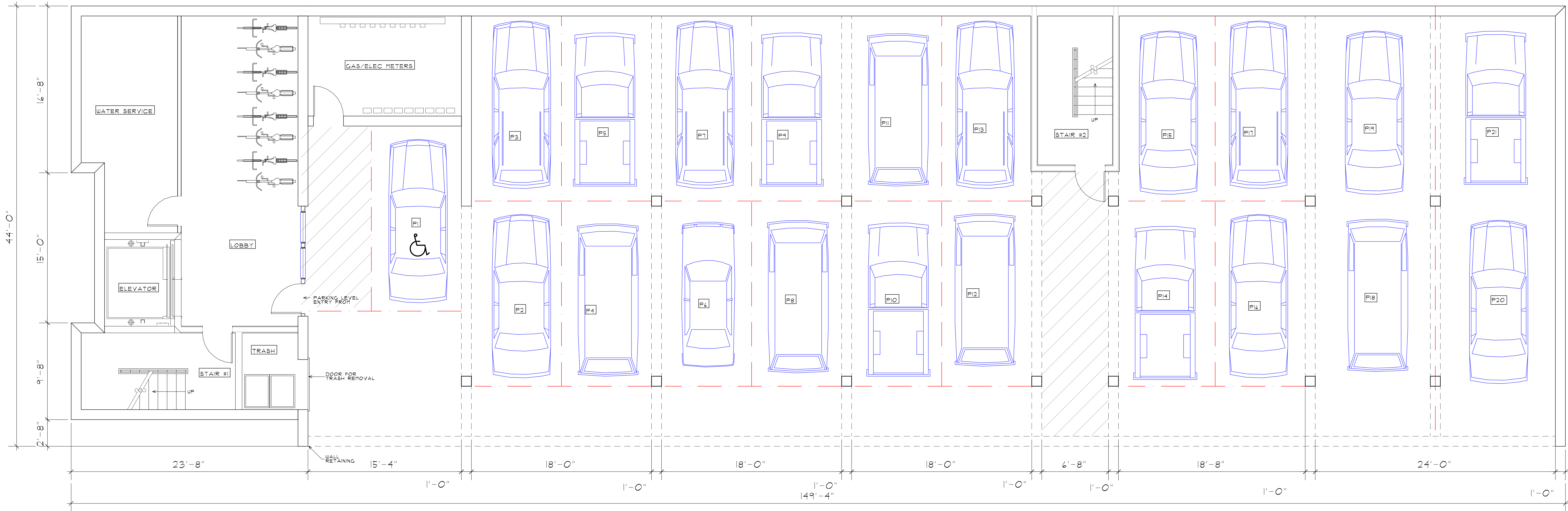
3 SOUTH ELEVATION
A2.1 1/8" = 1'-0"

GRADE MATRIX

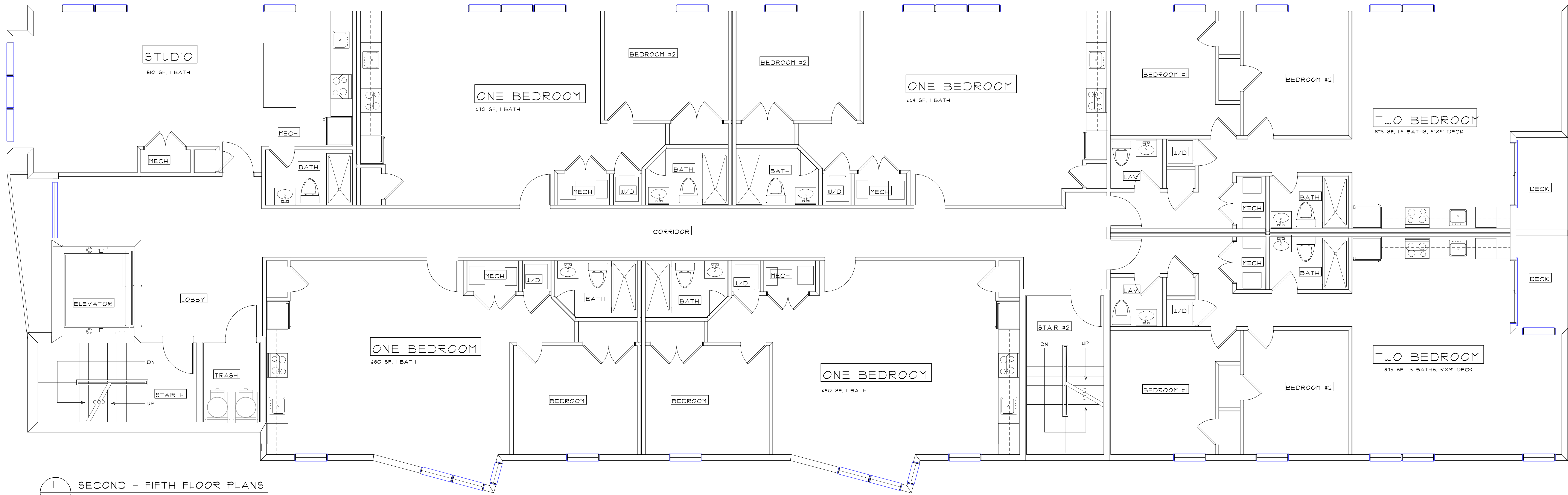
Elevation Points	Grade
SW	101
SE	95
NW	103
NE	98
Total	397
Average Grade	99.25



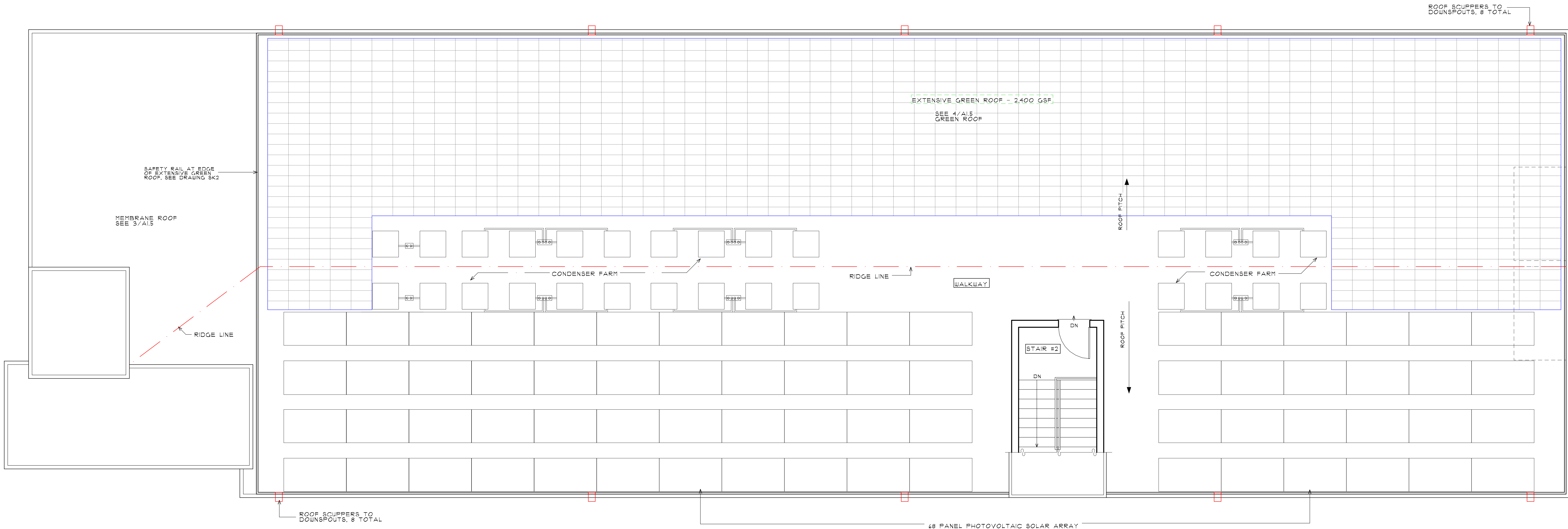
4 EAST ELEVATION
A2.1 1/8" = 1'-0"



1 BASEMENT PLAN
A1.0 1/4" = 1'-0"



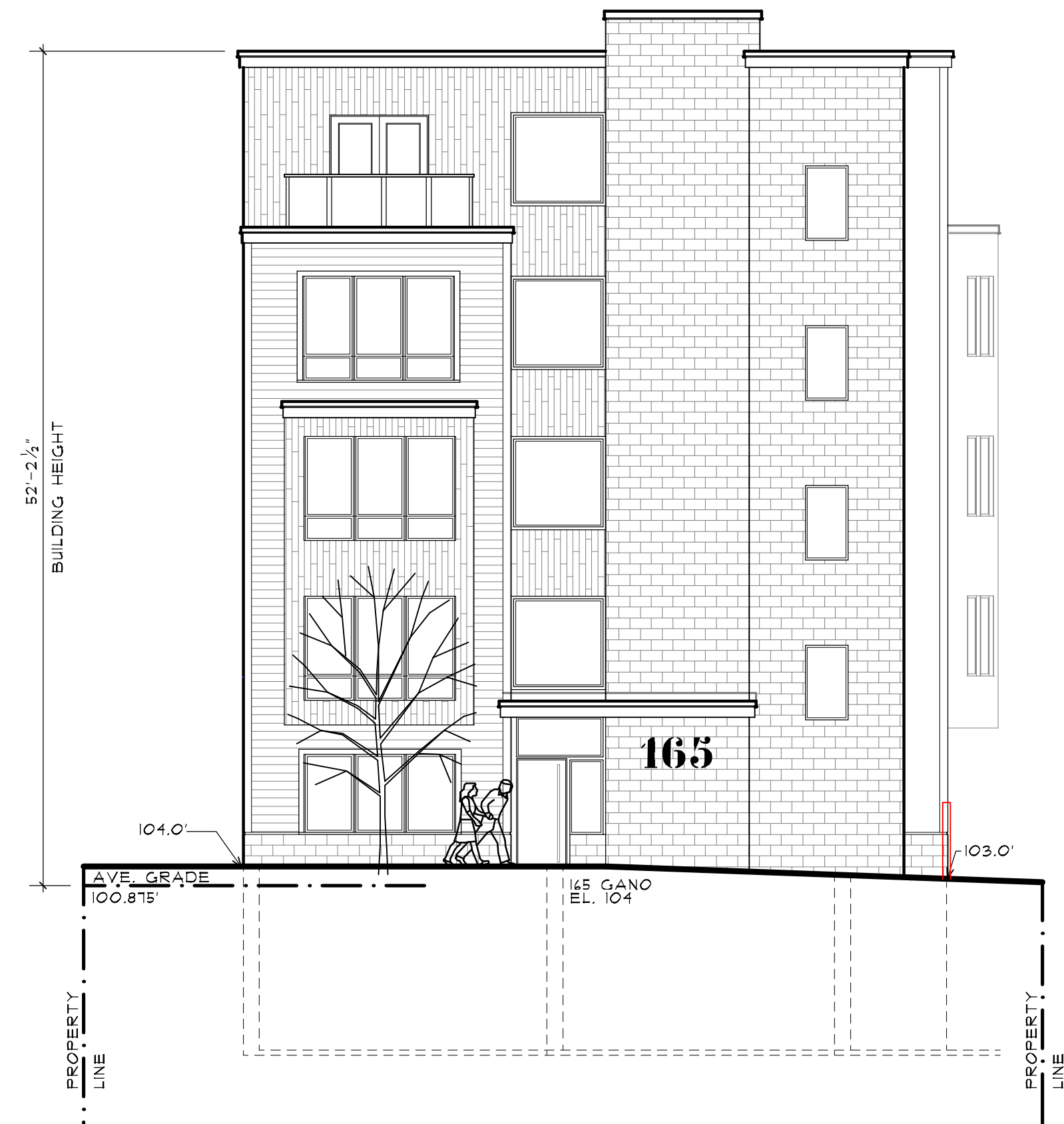
1 SECOND - FIFTH FLOOR PLANS
A1.2 1/4" = 1'-0"



1
A1.5
ROOF PLAN
1/4" = 1'-0"



1 NORTH ELEVATION
A2.1 1/8" = 1'-0"



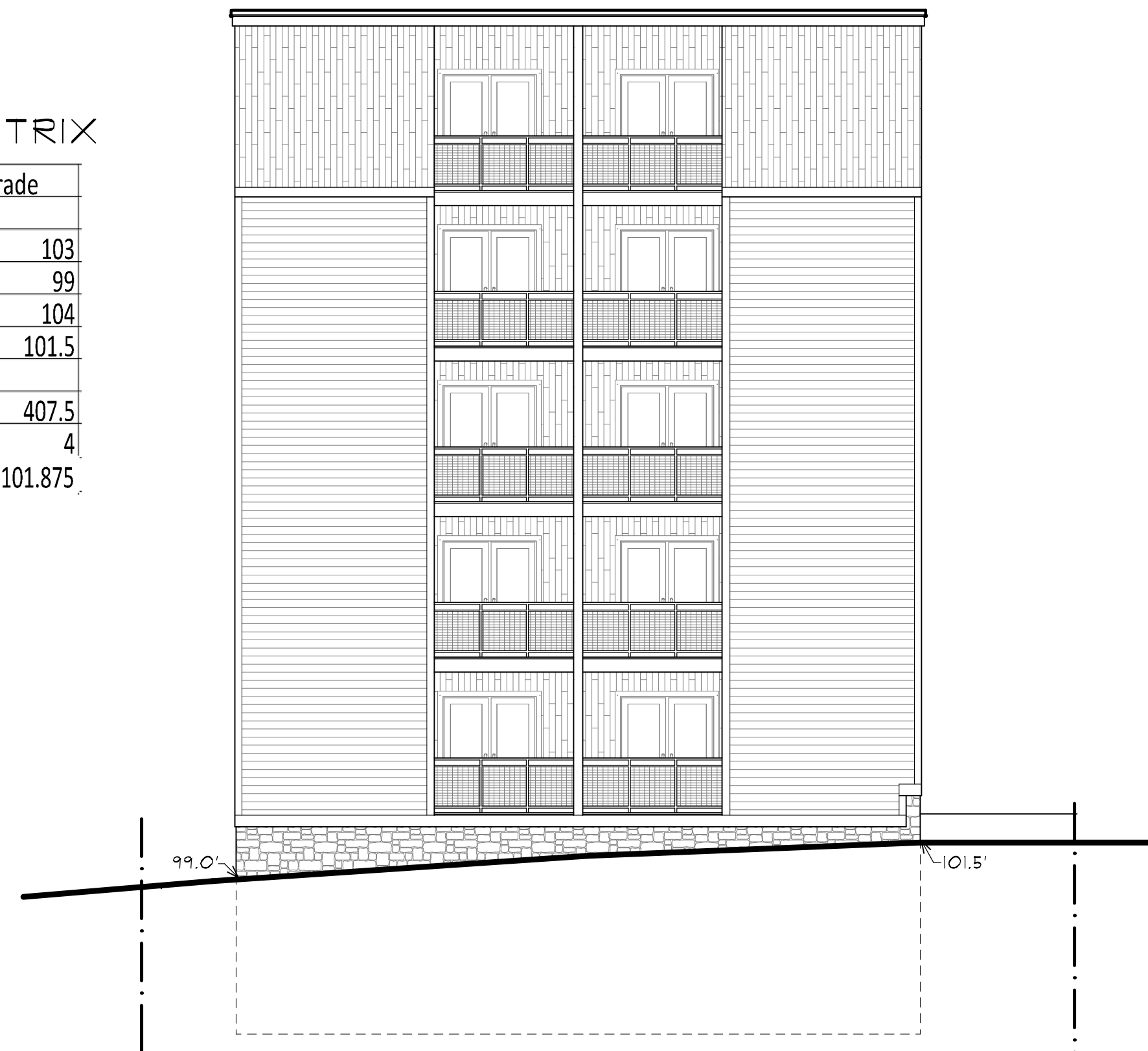
2 WEST (GANO STREET) ELEVATION
A2.1 1/8" = 1'-0"



3 SOUTH ELEVATION
A2.1 1/8" = 1'-0"

GRADE MATRIX

Elevation Points	Grade
SW	103
SE	99
NW	104
NE	101.5
Total	407.5
Average Grade	101.875



4 EAST ELEVATION
A2.1 1/8" = 1'-0"

NEW APARTMENT BUILDING
COASTWAY MANAGEMENT
165 GANO STREET
PROVIDENCE, RHODE ISLAND 02906

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EXTERIOR ELEVATIONS

REVISIONS:

DATE: 6/18/22
SCALE: 1/4" = 1'-0"

SHEET

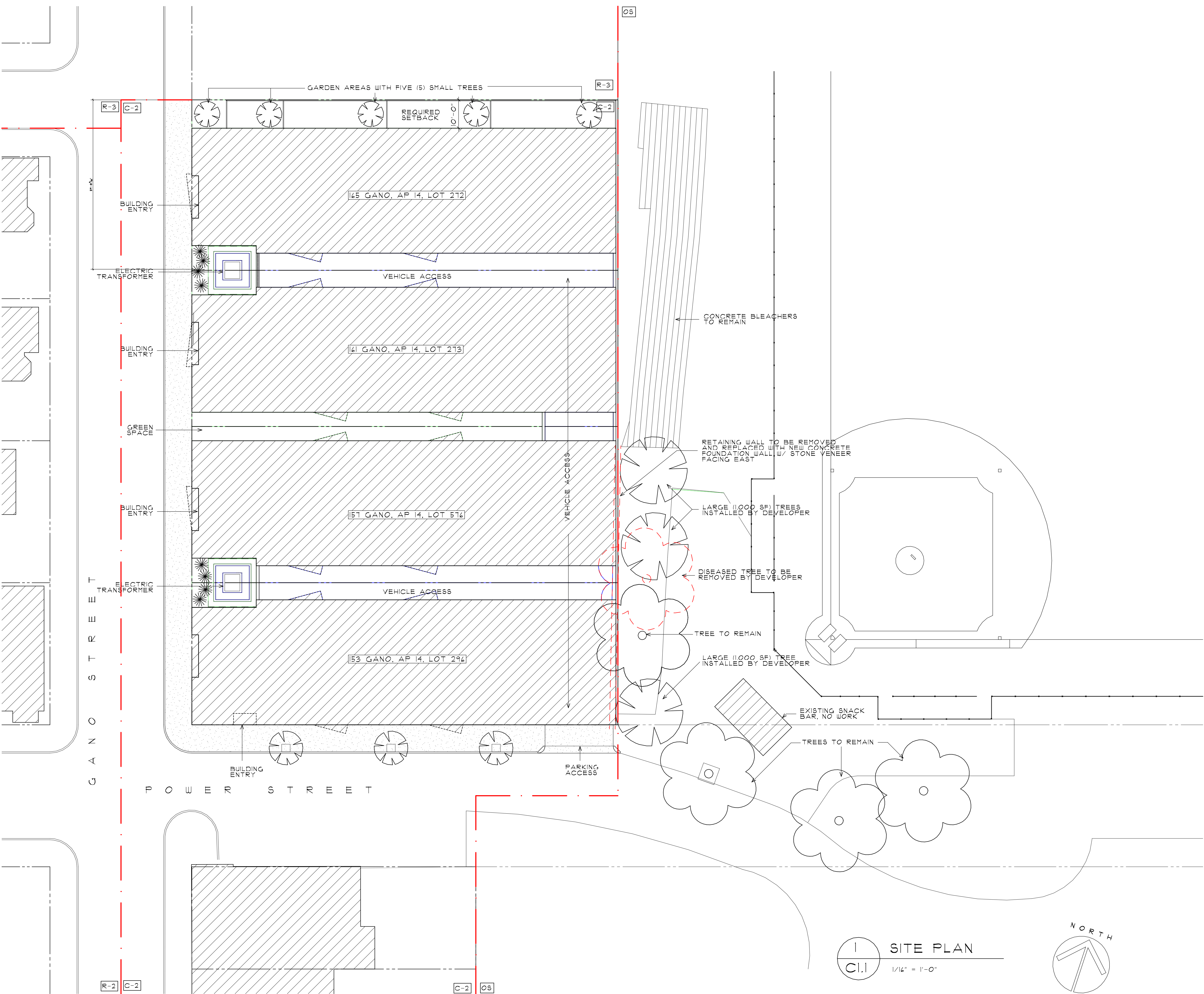
A2.1

Zoning Matrix	165 Gano Street	AP 14, Lot 272
Zone C-2	Allowed/Required	Proposed
Bulk Standards		
Lot Area	None	9,000 SF
Building Height		
First Story	9' Res, 13' Comm	11'6"
Overall	50'4 stories	52'2 1/5 stories
Coverages		
Building	100%	6,610 SF (73%)
Impervious	100%	6,632 SF (74%)
Setbacks		
Front	0' - 5'	0'-0"
Interior Side	0', 10' abutting R zone	10'-0", 3'0"
Corner Side	0' - 5'	0'-0"
Rear	0', 20' abutting R zone	0'-0"
Design Standards		
Facade		
Entry	Entry to sidewalk	Entry to sidewalk
	Entry max 6' recess	Entry recess 2'6"
Fenestration		
Upper Floors	10% of wall/story	Gano 24%
Roof		
	Green, blue & white roofs encouraged	Green Roof 2,500 SF
		Solar Panels 2,500 SF
Build to Percentage		
Front	60%	Gano 68.3%
Parking	None as per 1410.B.7	21 spaces
Tree Canopy	15%	1,350 SF
		5 small trees 1,300 SF

Zoning Matrix	161 Gano Street	AP 14, Lot 273
Zone C-2	Allowed/Required	Proposed
Bulk Standards		
Lot Area	None	8,250 SF
Building Height		
First Story	9' Res, 13' Comm	11'6"
Overall	50'4 stories	53'9 1/5 stories
Coverages		
Building	100%	6,610 SF (80%)
Impervious	100%	6,632 SF (80%)
Setbacks		
Front	0' - 5'	0'-0"
Interior Side	0', 10' abutting R zone	10'-0", 3'0"
Corner Side	0' - 5'	0'-0"
Rear	0', 20' abutting R zone	0'-0"
Design Standards		
Facade		
Entry	Entry to sidewalk	Entry to sidewalk
	Entry max 6' recess	Entry recess 2'6"
Fenestration		
Upper Floors	10% of wall/story	Gano 24%
Roof		
	Green, blue & white roofs encouraged	Green Roof 2,500 SF
		Solar Panels 2,500 SF
Build to Percentage		
Front	60%	Gano 68.3%
Parking	None as per 1410.B.7	17 spaces
Tree Canopy	15%	1,238 SF
		1.5 large trees - 1,500 SF
		Set on lot 566, City Park

Zoning Matrix	157 Gano Street	AP 14, Lot 576
Zone C-2	Allowed/Required	Proposed
Bulk Standards		
Lot Area	None	8,250 SF
Building Height		
First Story	9' Res, 13' Comm	11'6"
Overall	50'4 stories	56'1 1/5 stories
Coverages		
Building	100%	6,610 SF (80%)
Impervious	100%	6,632 SF (80%)
Setbacks		
Front	0' - 5'	0'-0"
Interior Side	0', 10' abutting R zone	10'-0", 3'0"
Corner Side	0' - 5'	0'-0"
Rear	0', 20' abutting R zone	0'-0"
Design Standards		
Facade		
Entry	Entry to sidewalk	Entry to sidewalk
	Entry max 6' recess	Entry recess 2'6"
Fenestration		
Upper Floors	10% of wall/story	Gano 24%
Roof		
	Green, blue & white roofs encouraged	Green Roof 2,500 SF
		Solar Panels 2,500 SF
Build to Percentage		
Front	60%	Gano 68.3%
Parking	None as per 1410.B.7	17 spaces
Tree Canopy	15%	1,238 SF
		1.5 large trees - 1,500 SF
		Set on lot 566, City Park

Zoning Matrix	153 Gano Street	AP 14, Lot 296
Zone C-2	Allowed/Required	Proposed
Bulk Standards		
Lot Area	None	7,500 SF
Building Height		
First Story	9' Res, 13' Comm	11'6"
Overall	50'4 stories	52'9 1/5 stories
Coverages		
Building	100%	6,516 SF (87%)
Impervious	100%	6,548 SF (87%)
Setbacks		
Front	0' - 5'	0'-0"
Interior Side	0', 10' abutting R zone	3'-0"
Corner Side	0' - 5'	0'-0"
Rear	0', 20' abutting R zone	0'-0"
Design Standards		
Facade		
Entry	Entry to sidewalk	Entry to sidewalk
	Entry max 6' recess	Entry recess 4'0"
Fenestration		
Upper Floors	10% of wall/story	Gano 24%, Power 14%
Roof		
	Green, blue & white roofs encouraged	Green Roof 2,500 SF
		Solar Panels 2,500 SF
Build to Percentage		
Front	60%	Gano 82.5%
Corner side	40%	Power 78.6%
Parking	None as per 1410.B.7	13 spaces
Tree Canopy	15%	1,125 SF
		3 medium street trees 2,100 SF



NEW APARTMENT BUILDING

COASTWAY MANAGEMENT

POWER & GANO STREETS
PROVIDENCE, RHODE ISLAND 02906

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SITE PLAN

REVISIONS:

DATE: 4/18/22
SCALE: 1" = 20'-0"

SHEET

C1.1

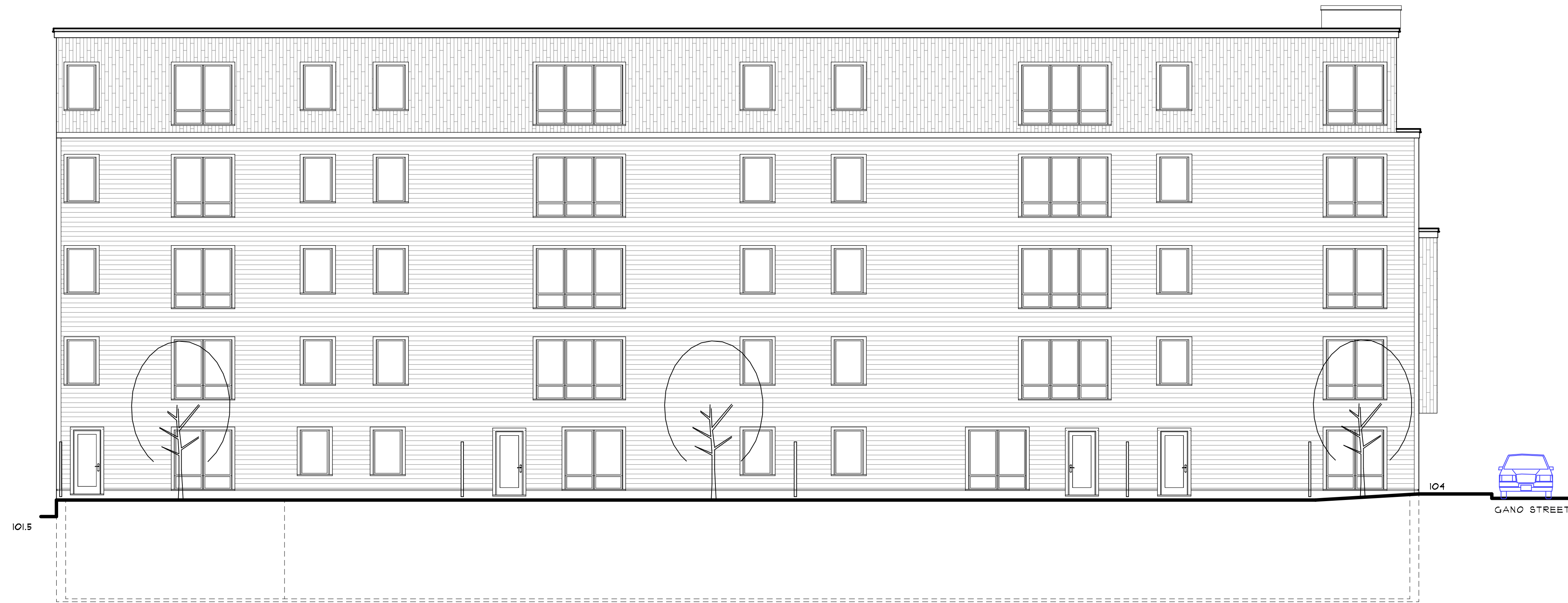
21-15



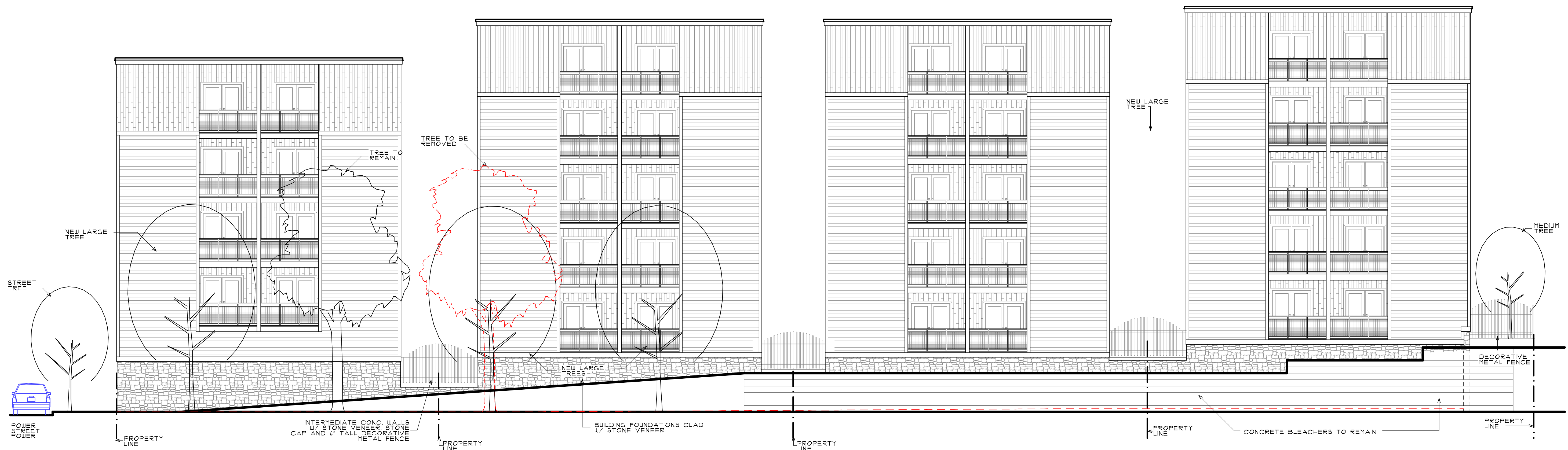
1 WEST (GANO STREET) ELEVATION
A2.1 1/8" = 1'-0"



2 SOUTH (POWER STREET) ELEVATION
A2.1 1/8" = 1'-0"



1 NORTH ELEVATION
A2.2 1/8" = 1'-0"



2 EAST ELEVATION
A2.2 1/8" = 1'-0"

NEW APARTMENT BUILDING
COASTWAY MANAGEMENT
POWELL & GANO STREETS
PROVIDENCE, RHODE ISLAND 02906

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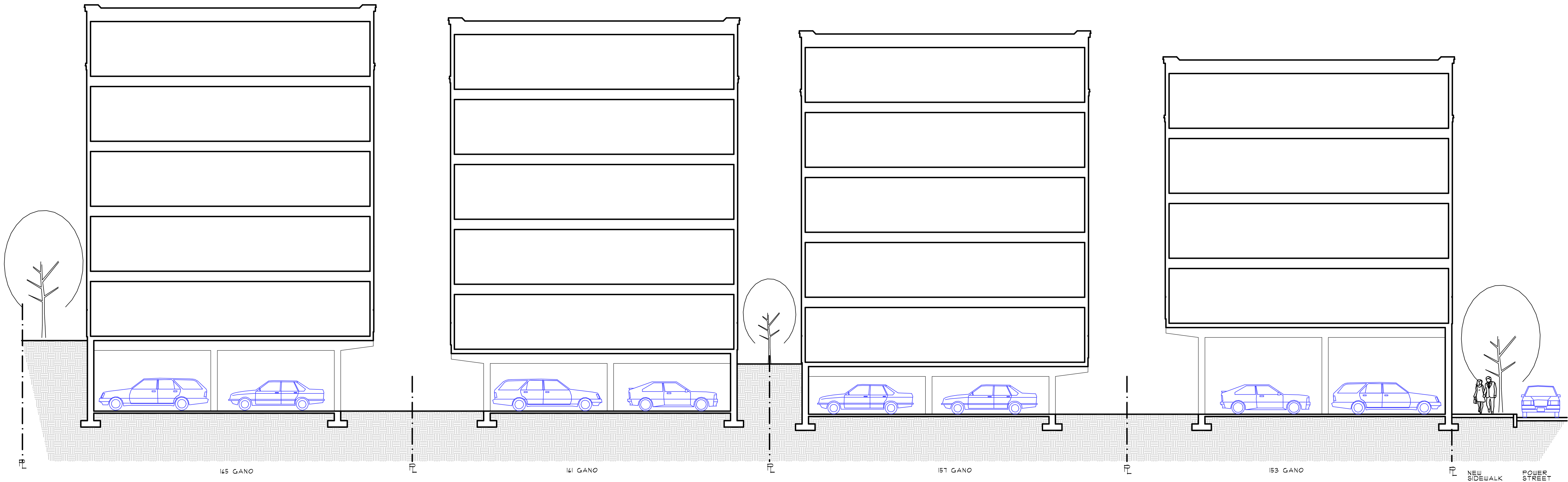
NORTH & EAST ELEVATIONS

REVISIONS:

DATE: 4/18/22
SCALE: 1/4" = 1'-0"

SHEET

A2.2



1 SITE SECTION LOOKING EAST
A3.1 1/8" = 1'-0"

NEW APARTMENT BUILDING
COASTWAY MANAGEMENT
POWER & GANO STREETS
PROVIDENCE, RHODE ISLAND 02906

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SITE SECTION

REVISIONS:

DATE: 4/18/22

SCALE: 1/8" = 1'-0"

SHEET

A3.1