

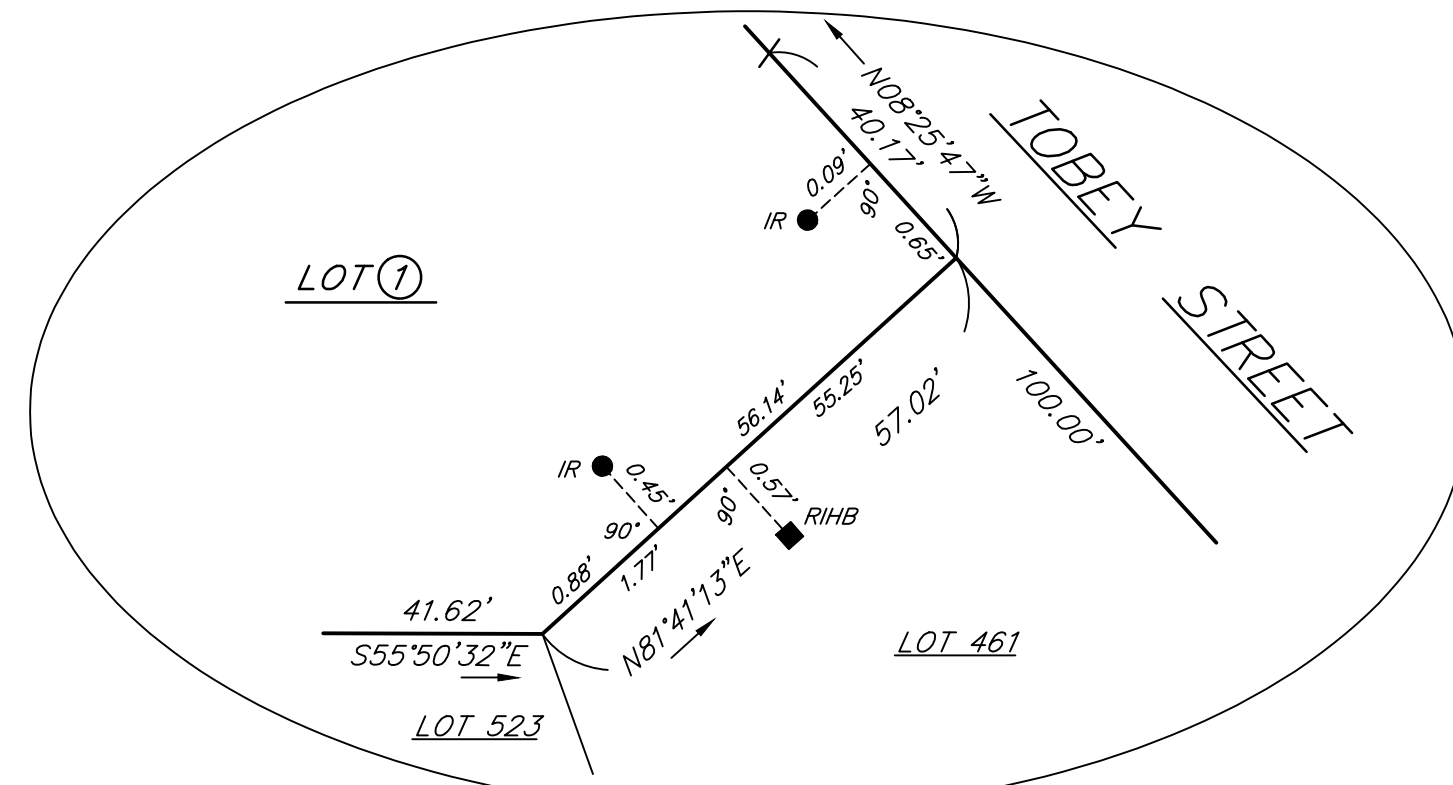
LOCATION PLAN SCALE: 1" = 800'

PLAN REFERENCES

- RHODE ISLAND HIGHWAY PLAT Nos. 1525, 2046, AND 2046A
- "ADMINISTRATIVE SUBDIVISION FOR AP 35 LOTS 533,393,395,&457 BELL STREET & BROADWAY IN PROVIDENCE, RHODE ISLAND SCALE: 1"=20" . . . DATE: 04/22/97 PROJECT No. 97011.00" BY COMMONWEALTH ENGINEERS AND CONSULTANTS, INC. RECORDED IN PLAN BOOK 55 AT PAGE 3
- "BELL ST. CHAPEL PROVIDENCE RI ADMINISTRATIVE SUBDIVISION A.P. 35 LOTS 458, 459, 550 & 578 BELL STREET PROVIDENCE, RI" BY CATALDO ASSOCIATES CIVIL ENGINEERS APPROVED BY CITY PLAN COMMISSION ON DECEMBER 15, 1999 RECORDED IN PLAN BOOK 55 AT PAGE 20
- "ADMINISTRATIVE SUBDIVISION OF LAND IN PROVIDENCE, RI FOR AMY J. WESTRICK AND BELL STREET CHAPEL TRUSTEES DESIGNATED AS TAX ASSESSOR'S LOT 35 LOT 461 AND A PORTION OF LOT 582. DRAWING NO. 20070605-01, PLAN DATE: 07/23/07 . . ." BY LOUIS FEDERICI AND ASSOCIATES, LAND SURVEYORS RECORDED MAP 93/81

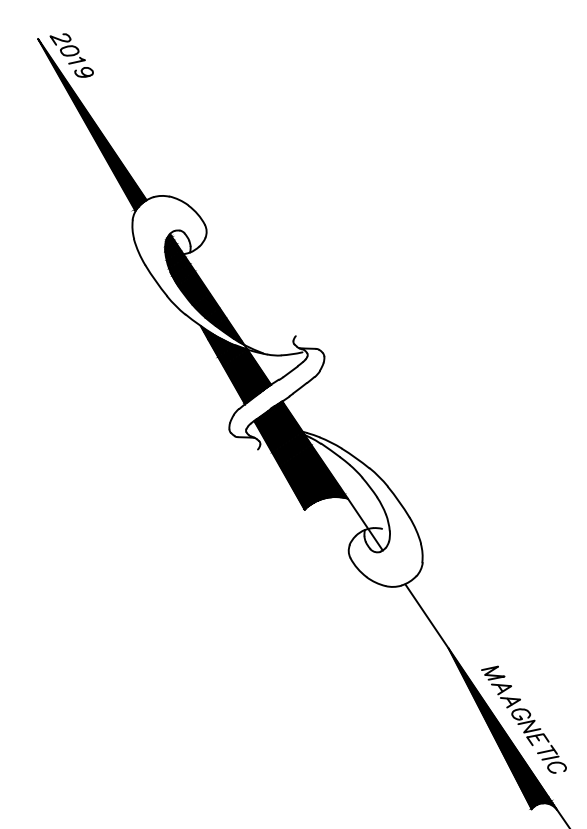
GENERAL NOTE

THIS BOUNDARY SURVEY IS A RETRACEMENT OF THE RECORDED SURVEY OF THE SUBJECT PARCEL SHOWN ON THE ADMINISTRATIVE SUBDIVISION LISTED AS PLAN REFERENCE 3 (THE "CATALDO PLAT"). THE SURVEYS DEPICTED ON PLAN REFERENCES 1, 2 AND 4 SHOW MINOR CONFLICTS WITH THE "CATALDO PLAT". THE PREPONDERANCE OF RECOVERED PHYSICAL EVIDENCE HOWEVER, IS CONSISTENT WITH THE "CATALDO" SURVEY, AND WAS HELD TO CONTROL. ON MARCH 4, 2022, SCITUATE SURVEYS, INC. MADE A SITE INSPECTION AND CONFIRMED CURRENT CONDITIONS. ALL PROPERTY CORNERS ARE IN PLACE AS DEPICTED ON THIS PLAN.



DETAIL C NOT TO SCALE

FOR STREET INDEX, FILE UNDER:
BELL STREET,
TOBEY STREET, & GROVE STREET



ZONE: RESIDENTIAL PROFESSIONAL DISTRICT (RP) AND HISTORIC OVERLAY DISTRICT

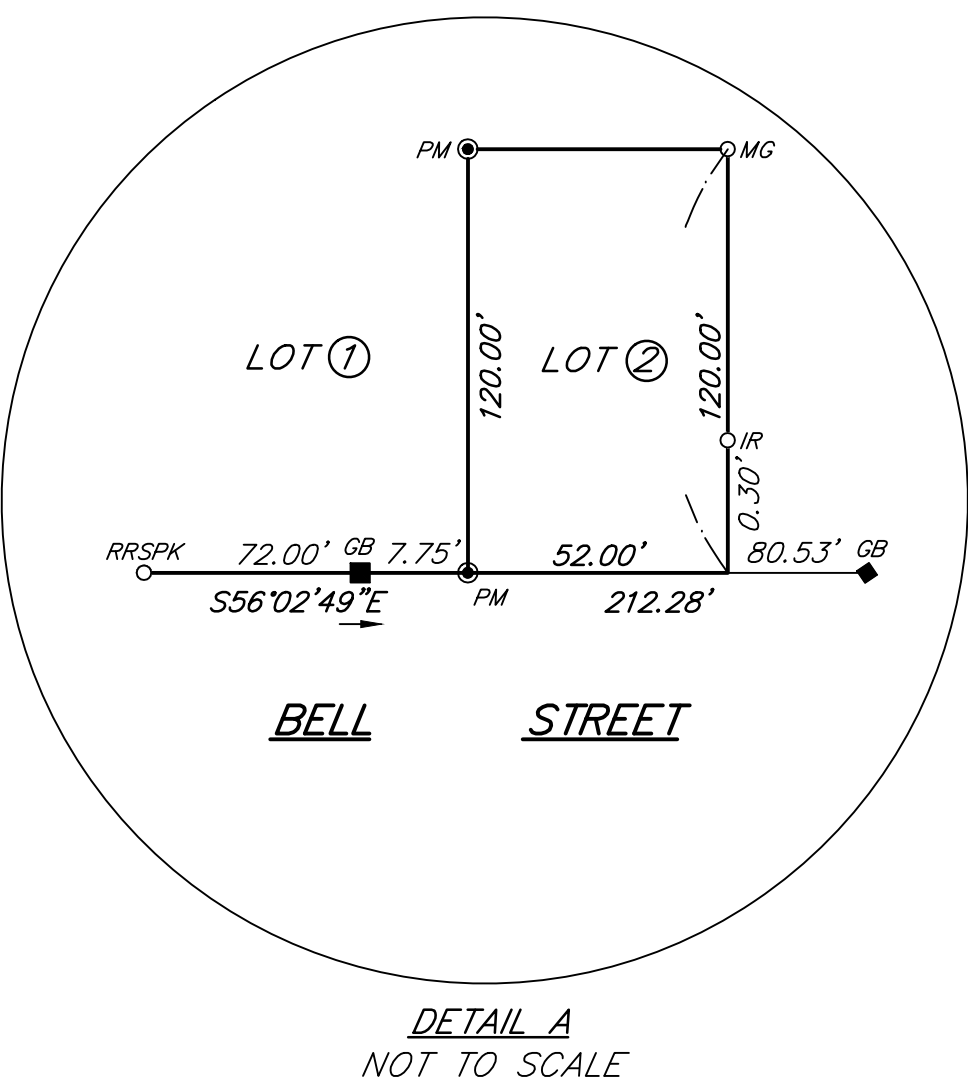
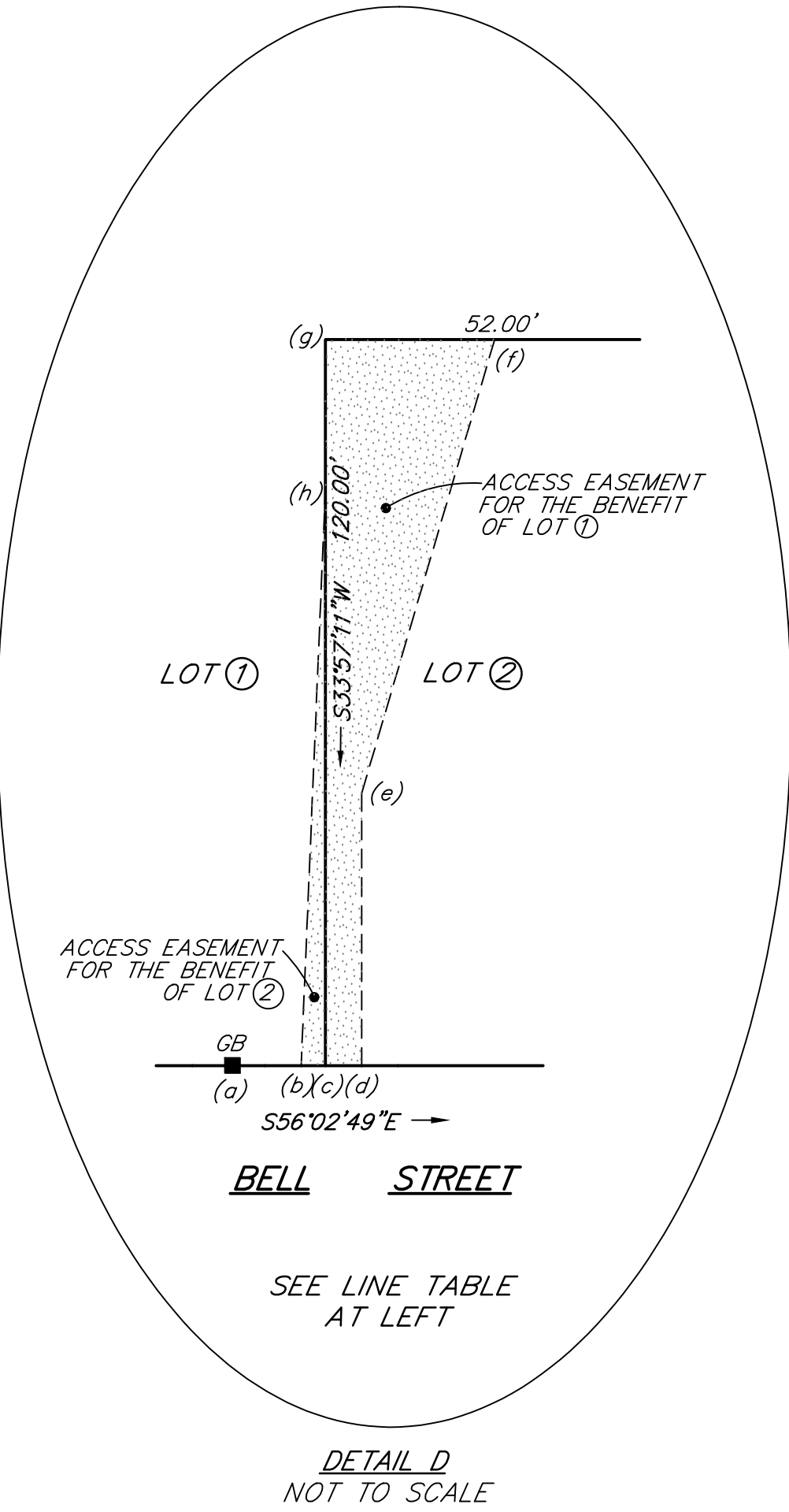
DIMENSIONAL STANDARDS (ARTICLE 4 SECTION 402)

	REQUIRED BY ORDINANCE	PROPOSED/ ACTUAL	LOT 1	LOT 2
FOR NEW SUBDIVISIONS:				
MINIMUM LOT AREA:	5,000 SQ. FT. 50.0'		25,721 SQ. FT. 79.7'	6,240 SQ. FT. 52.0'
MINIMUM LOT WIDTH:				
MAXIMUM BUILDING HEIGHT	45.0'		46.5'	33.9'
MAXIMUM COVERAGE				
BUILDING COVERAGE (NON-RESIDENTIAL)	55%		19%	22%
IMPERVIOUS SURFACE (FRONT YARD)	33%		30%	30%
IMPERVIOUS SURFACE (REAR YARD)	50%		53%	58%
TOTAL IMPERVIOUS COVERAGE	65%		57%	59%
SETBACK REQUIREMENTS				
FRONT SETBACK ZONE	12.3**		0	11.6'
FRONT SETBACK ZONE	6.5**		10.3'	7.1'
MINIMUM INTERIOR SIDE				
MINIMUM REAR	25'		88.4'	65.2'

* EXISTING BUILDING IS LOCATED AT STREET LINE, BY DEFINITION THERE IS NO FRONT YARD
** AVERAGE SETBACK OF EXISTING BUILDINGS WITHIN 100'

LINE TABLE

a-b	S56°02'49"E	3.75'
b-c	S56°02'49"E	4.00'
c-d	S56°02'49"E	6.00'
d-e	N33°57'11"E	45.00'
e-f	N50°18'04"E	78.16'
f-g	N56°02'49"W	28.00'
g-h	S33°57'11"W	25.00'
h-c	S33°57'11"W	95.00'
h-b	S36°21'51"W	95.08'

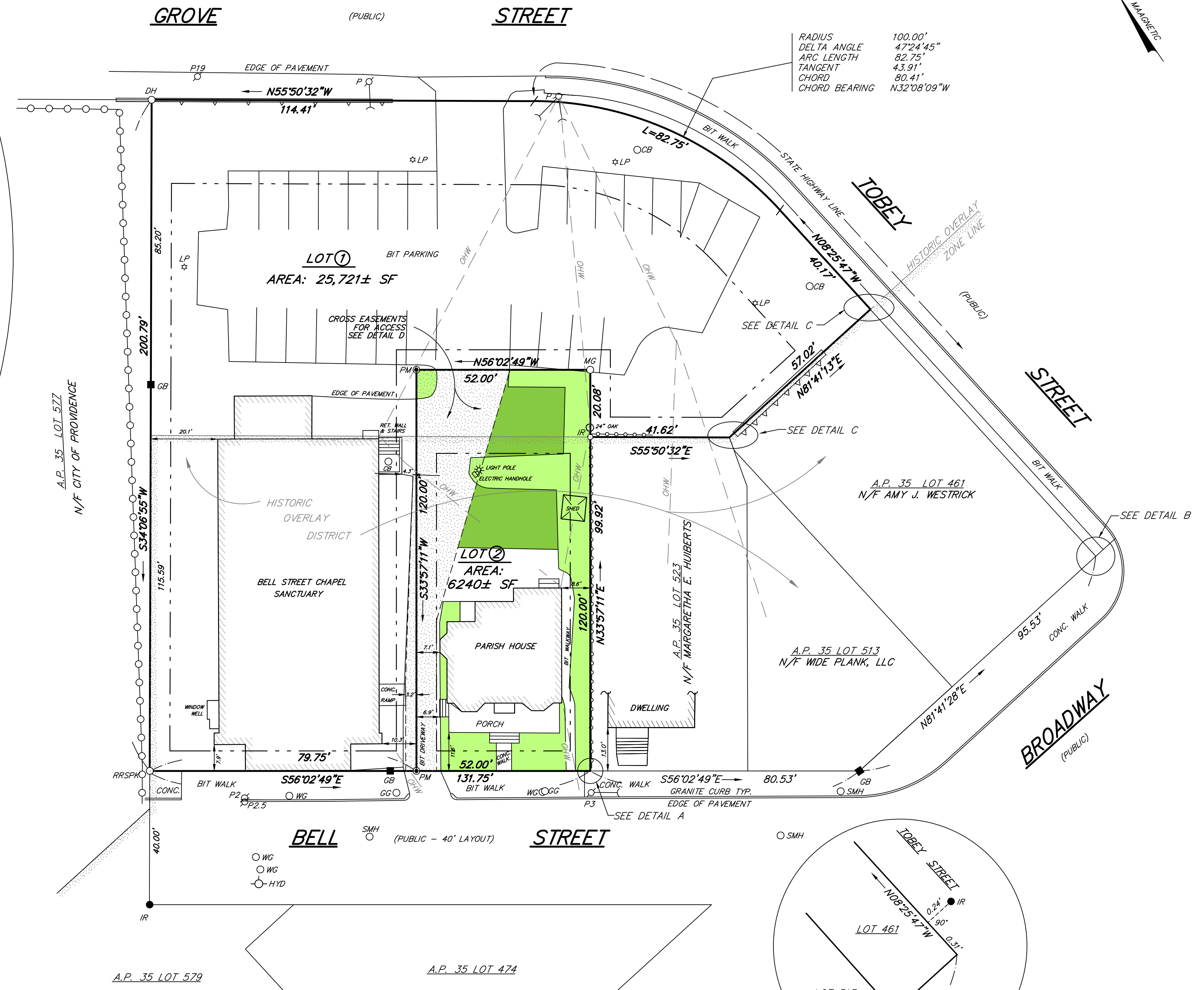


LEGEND

- A.P. ASSESSOR'S PLAT
- N/F NOW OR FORMERLY
- SF SQUARE FEET
- BIT BITUMINOUS
- CONC CONCRETE
- OMG MAGNETIC NAIL SET
- IR IRON ROD FOUND
- GB GRANITE BOUND FOUND
- ODH DRILL HOLE SET
- OIR IRON ROD SET
- RRSPK RAILROAD SPIKE SET
- PM PERMANENT MONUMENT TO BE SET
- P19 UTILITY POLE WITH GUY ANCHOR
- HYD FIRE HYDRANT
- GG GAS GATE VALVE
- WG WATER GATE VALVE
- SMH SEWER MAN HOLE
- LP LIGHT POST
- CB CATCH BASIN
- 24" OAK TREE
- CHAIN LINK FENCE
- RETAINING WALL
- OHV OVERHEAD WIRES
- RP DIMENSIONAL STANDARDS SETBACK LINES

COLOR LEGEND

- PROPOSED GREEN SPACE LOT 2
- EXISTING GREEN SPACE LOT 2



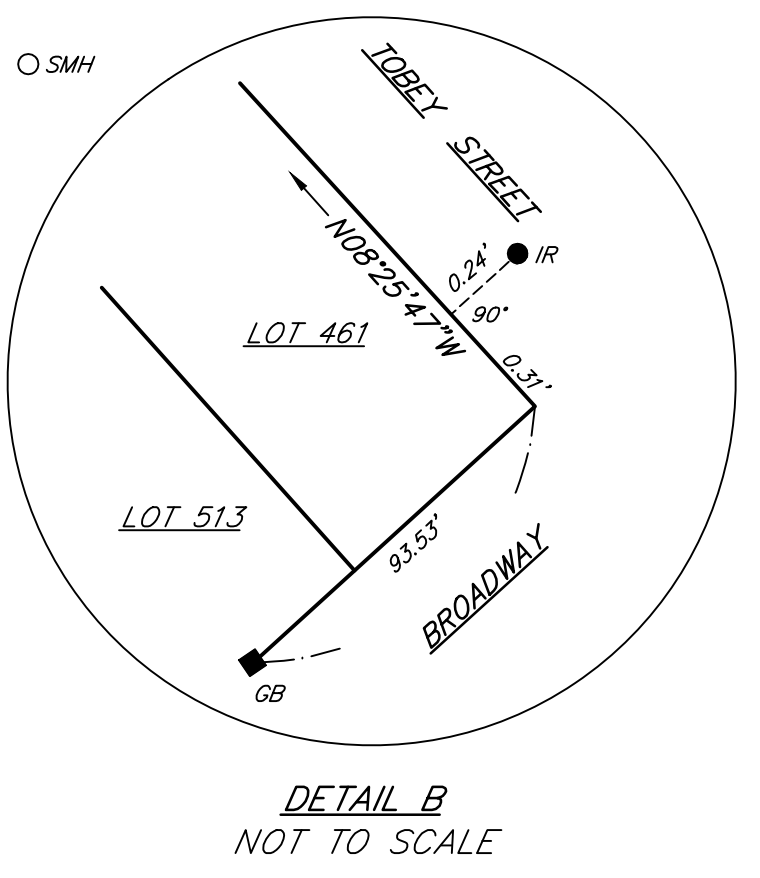
RADIUS 100.00'
DELTA ANGLE 47°24'45"
ARC LENGTH 82.75'
TANGENT 43.91'
CHORD 80.41'
CHORD BEARING N32°08'09"W

A.P. 35 LOT 461
N/F AMY J. WESTRICK

A.P. 35 LOT 513
N/F WIDE PLANK, LLC

A.P. 35 LOT 579

A.P. 35 LOT 474



DETAIL B NOT TO SCALE

SCITUATE SURVEYS, INC.
410 TIOGUE AVENUE
COVENTRY, RHODE ISLAND 02816
401.821.8101
LAND SURVEYING/MAPPING/SITE PLANNING

ANGELO M. RAIMONDI
No. 1762
PROFESSIONAL LAND SURVEYOR

MINOR SUBDIVISION OF LAND OF TRUSTEES OF THE BELL STREET CHAPEL ASSESSOR'S PLAT 35 LOT 590 BELL STREET, TOBEY STREET, & GROVE STREET PROVIDENCE, RHODE ISLAND

PROJECT NO.: SS2897 SHEET 1 OF 1
DRAWING NO.: SS4607

SCALE IN FEET: 0 20 40 60

DATE: JANUARY 11, 2021 REVISION: 05/20/2022