



663 ADMIRAL STREET MULTI-UNIT DEVELOPMENT

CITY PLAN COMMISSION MEETING

JULY 19, 2022

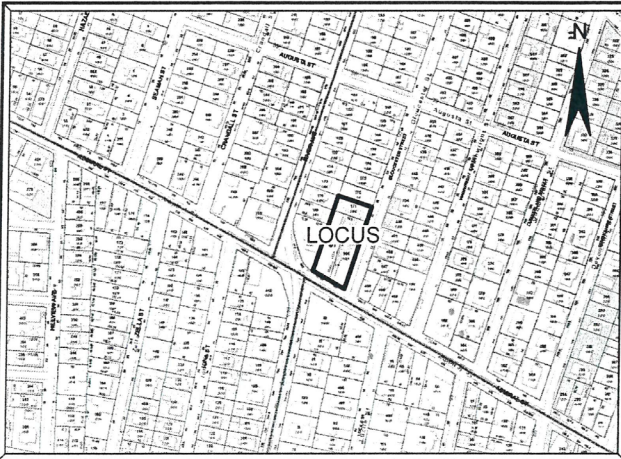
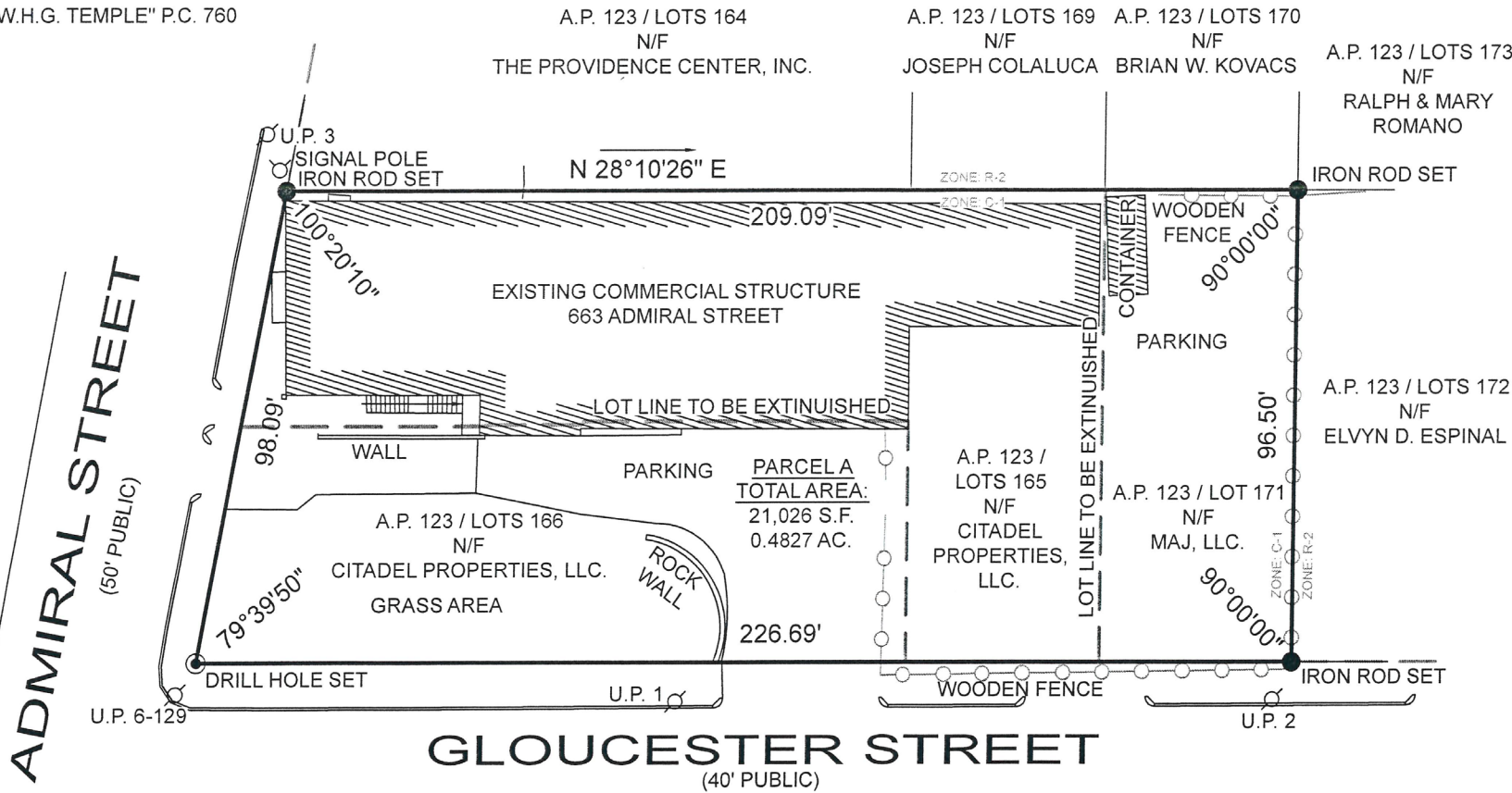


LOCATION & SITE

663 ADMIRAL STREET MULTI-UNIT DEVELOPMENT

REFERENCE:

- 1. DEED BK. 13176 PG. 151
- 2. DEED BK. 13176 PG. 158
- 3. DEED BK. 12990 PG. 204
- 4. DEED BK. 11882 PG. 14
- 5. LOTS 3, 4, 5, 6 & 9 "PLAT OF HOUSE LOTS BELONGING TO THE ESTATE OF WILLIAM M. BAILEY AS SURVEYED AND DIVIDED OCTOBER 1900, BY W.H.G. TEMPLE" P.C. 760



LOCUS MAP
NOT TO SCALE
ZONING DISTRICT C-1

MINIMUM LOT AREA:	NONE
MINIMUM LOT FRONTAGE:	NONE
MINIMUM SETBACKS: FRONT:	BUILD-TO ZONE OF 0 FT. TO 5 FT.
SIDE:	10 FT.
CORNER SIDE:	BUILD-TO ZONE OF 0 FT. TO 5 FT.
REAR:	20 FT.
MAXIMUM BUILDING & IMPERVIOUS SURFACE COVERAGE:	NONE
MAXIMUM BUILDING HEIGHT:	45 FT. NOT TO EXCEED 4 STORIES.
MINIMUM FIRST STORY HEIGHT:	RES. 9 FT.; NON-RES USE 11 FT.
MINIMUM BUILDING HEIGHT:	16 FT.

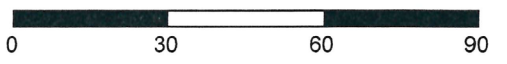
ADMINISTRATIVE SUBDIVISION

A.P. 123 / LOTS 165, 166 & 171
663 ADMIRAL STREET
PROVIDENCE, R.I. 02608
SCALE: 1"=30' DATE: SEPTEMBER 17, 2021
PREPARED FOR:
JOSEPH COLALUCA
566 SMITH STREET, PROVIDENCE, R.I. 02908
PHONE: (401) 569-2208
PREPARED BY:

OCEAN STATE PLANNERS, INC.
1255 OAKLAWN AVENUE, CRANSTON, RI 02920
PHONE: (401) 463-9696 info@osplanners.com

JOB NO. 10059 / DWG. NO. 10059 - ADMIN - (AJB)

GRAPHIC SCALE / 1" = 30'

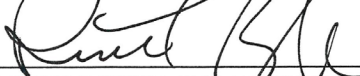


SURVEY CLASSIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY:	MEASUREMENT SPECIFICATION:
LIMITED CONTENT BOUNDARY SURVEY	CLASS I
DATA ACCUMULATION SURVEY	CLASS III

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
TO ESTABLISH AND STAKE RECORD BOUNDARY LINES.

BY:  DATE: 9/21/21
RICHARD T. BZDYRA, PLS., LICENSE #1786, COA # LS-A60

THE FOLLOWING TYPES OF EVIDENCE WERE USED TO CONSTRUCT THIS SURVEY: RECORDED FOUND MONUMENTS IF ANY, NON-RECORDED MONUMENTS, LINES OF POSSESSION, AND OTHER EVIDENCE RELATIVE TO THE DEED OR PLAT. THE BOUNDARY SOLUTION IS THE COMPILATION OF INFORMATION TO DETERMINE THE MOST PROBABLE LOCATION OF THE SURVEYED PARCEL.

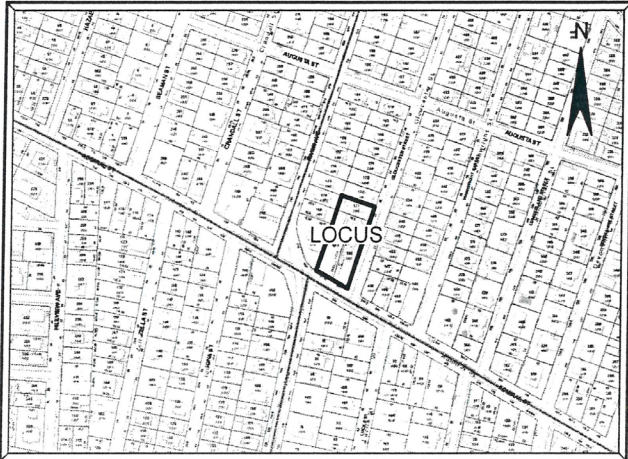
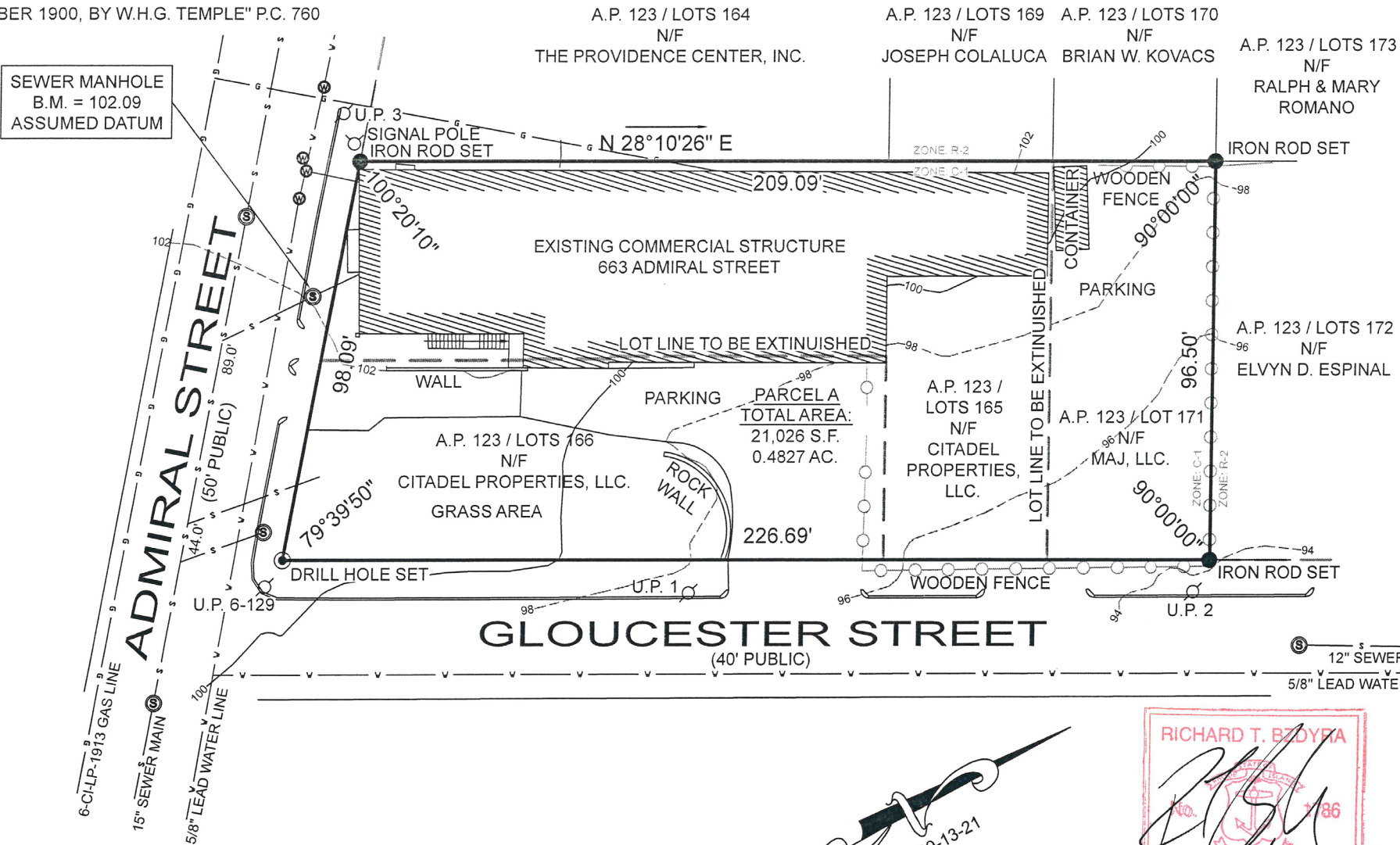


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663 ADMIRAL STREET MULTI-UNIT DEVELOPMENT

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SEWER MANHOLE
B.M. = 102.09
ASSUMED DATUM



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NOT TO SCALE
ZONING DISTRICT C-1

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BOUNDARY STAKE-OUT SURVEY

A.P. 123 / LOTS 165, 166 & 171
663 ADMIRAL STREET
PROVIDENCE, R.I. 02608

SCALE: 1"=30' DATE: SEPTEMBER 16, 2021

PREPARED FOR:

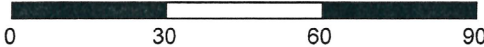
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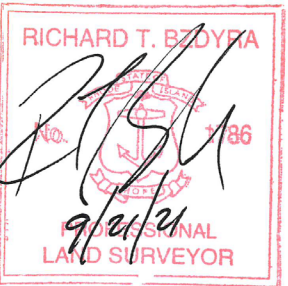
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BY: *Richard T. Bzdyra* DATE: 9/21/21
RICHARD T. BZDYRA, PLS; LICENSE #1786; COA # LS-A60

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BOUNDARY SURVEY

663 ADMIRAL STREET MULTI-UNIT DEVELOPMENT

Zoning Summary

Plat: 123 Lots: 165, 166, & 171 (merged with out zone change)
C-1 COMMERCIAL DISTRICT & R-2 RESIDENTIAL DISTRICT

DIMENSIONAL REQUIREMENTS

	C-1 ZONE	R-2 ZONE	PROPOSED RELIEF
MINIMUM BUILDING HEIGHT:	16 FEET		
MINIMUM FIRST FLOOR HEIGHT:	11 FEET NON-RES.		
MAXIMUM BUILDING HEIGHT:	45 FEET – 4-STORY MAX.		63'-3" from average grade 5-STORIES* (C-1)
FRONT SETBACK:	0-5 FEET BUILD TO ZONE (60% MIN.)		
INTERIOR SIDE SETBACK:	5 FEET FROM RES.		
CORNER SIDE SETBACK:	0-5 FEET FROM RES.		
REAR SETBACK:	10 FEET FROM RES.		
MINIMUM LOT AREA:	NONE	5,000 SF NON-RES.	
MAXIMUM BUILDING COVERAGE:	NONE		
MAXIMUM IMPERVIOUS SURFACE COVERAGE:	NONE	65%	

*PER ZONING 1904 E.1: CPC CAN ALLOW ADJUSTMENTS OF DIMENSIONAL REGULATIONS UP TO 24' AND/OR 2-STORIES WHERE STRUCTURED PARKING IS PROVIDED AND A VERTICAL MIXED-USE DEVELOPMENT IS PROVIDED, OF WHICH AT LEAST 50% IS DE VOTED TO RESIDENTIAL USE.

APPLICABLE ZONING SECTIONS

PER ZONING SECTION 202(B)
THE FOLLOWING BUILDING ELEMENTS SHALL BE EXEMPT FROM MAXIMUM BUILDING HEIGHT LIMITATIONS.
BUILDING APPURTENANCES SUCH AS PARAPET WALLS, SKYLIGHTS, FLAG POLES, SMOKESTACKS, COOLING TOWERS, ELEVATOR BULKHEADS, FIRE TOWERS, MONUMENTS, WATER TOWERS, STACKS, STAGE TOWERS, OR SCENERY LOFTS, TANKS, ORNAMENTAL TOWERS AND SPIRES, ROOFTOP ACCESSORY STRUCTURES, NECESSARY MECHANICAL APPURTENANCES, OR PENTHOUSES TO FHOUSE MECHANICAL APPURTENANCES.

PERMITTED ENCROACHMENTS: TABLE 13-2
EAVES – INTERIOR SIDE SETBACK
FENCE OR WALL INTERIOR SIDE AND REAR SETBACK
MECHANICAL EQUIPMENT – INTERIOR SIDE AND REAR SETBACK
SILLS, BELT COARSE, CORNICE AND ORNAMENTAL FEATURES – ALL SETBACKS

PERMITTED ENCROACHMENTS INTO PUBLIC RIGHT OF WAY: 13(B)
AN ENCROACHMENT NOT FOR HABITATION IS ANY CONSTRUCTION THAT PROJECTS FROM A BUILDING OVER, ONTO, OR UNDER A PUBLIC RIGHT-OF-WAY THAT IS NOT DESIGNED FOR AND CANNOT ACCODATE HUMAN OR OTHER HABITATION INCLUDING, BUT NOT LIMITED TO, AWNINGS, CANOPIES, MARQUEES, SIGNS, ARCHITECTURAL EMBELLISHMENTS, FOUNDATIONS, WHEELCHAIR RAMPS, STAIRS, AND THE LIKE, WHETHER SUPPORTED BY THE GROUND OR NOT. AWNINGS, CANOPIES, MARQUEES, AND SIGNS WITH 15 FEET OR MORE VERTICAL CLEARANCE ABOVE THE SIDEWALK MAY EXTEND INTO OR OCCUPY UP TO 100% OF THE WIDTH OF THE SIDEWALK.

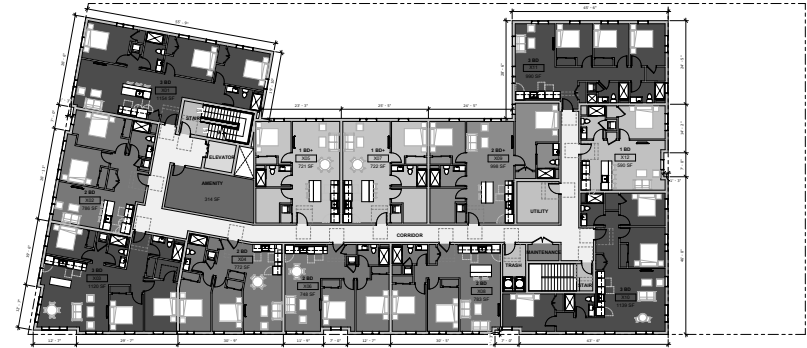
PARKING REQUIREMENTS

COMMERCIAL PARKING REQUIREMENTS:

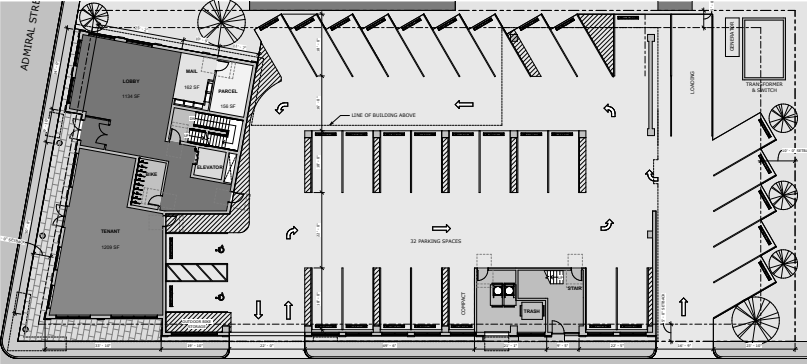
ZONING PARKING EXEMPTION 1410 (B)5 – THE FIRST 2,500 SQUARE FEET OF GROSS AREA FOR NON-RESIDENTIAL USES IN THE R-P, C-1, C-2, AND C-3 DISTRICTS ARE EXEMPT FROM ALL OFF-STREET VEHICLE AND BIKE PARKING REQUIREMENTS.

RESIDENTIAL PARKING REQUIREMENTS:	REQUIRED	PROVIDED
VEHICLE SPACES: 1 PER DWELLING UNIT:	48	31
LOADING SPACE: 1 PEPR 40,000 GFA	1	1
TOTAL BICYCLE SPACES: 1 PER 5 DWELLING UNITS	10	10
LONG TERM BICYCLE SPACES: 80%	8	8
SHORT TERM BICYCLE SPACES: REMAINDER	2	2

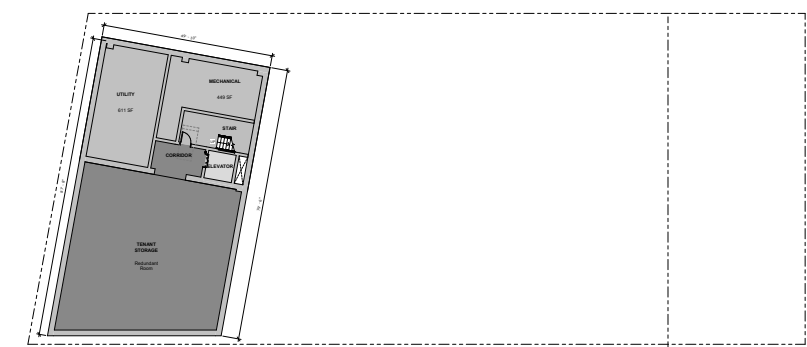
1404 (B) – 10% OF THE REQUIRED SPACES MAY BE COMPACT (3 SPACES PERMITTED)
FIGURE 14-1 STANDARD PARKING SPACE DIMENSIONAL REQUIREMENT – 8.5 FEET WIDE X 18 FEET DEEP
FIGURE 14-1 COMPACT PARKING SPACE DIMENSIONAL REQUIEMENT – 7.5 FEET WIDE X 15 FEET DEEP
1405 (B) – BICYCLE PARKING SPACE DIMENSIONAL REQUIREMENT – 2 FEET X 6 FEET
1405 (A) – SHORT TERM BICYCLE SPACES TO BE LOCATED WITHIN 50FT OF THE PRINCIPAL BUILDING ENTRANCE.



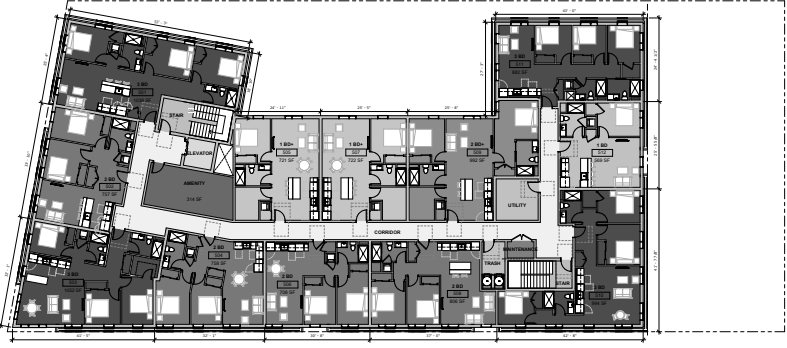
SECOND LEVEL (TYPICAL)



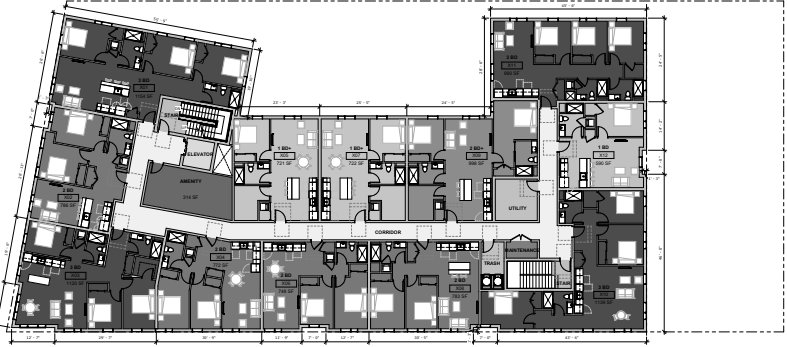
GROUND LEVEL



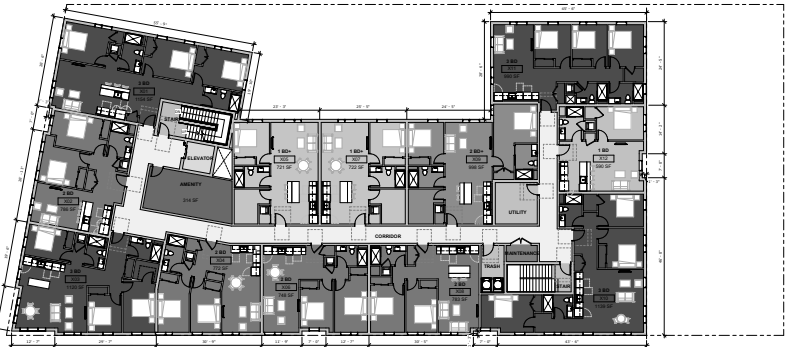
BASEMENT LEVEL



FIFTH LEVEL



FOURTH LEVEL (TYPICAL)



THIRD LEVEL (TYPICAL)

GROSS SQUARE FOOTAGE

FIFTH LEVEL AREA:	13,400 GSF +/-
FOURTH LEVEL AREA:	14,040 GSF +/-
THIRD LEVEL AREA:	14,040 GSF +/-
SECOND LEVEL AREA:	14,040 GSF +/-
GROUND LEVEL AREA:	4,435 GSF +/-
BASEMENT LEVEL AREA:	4,200 GSF +/-
GROSS AREA:	64,155 GSF +/-

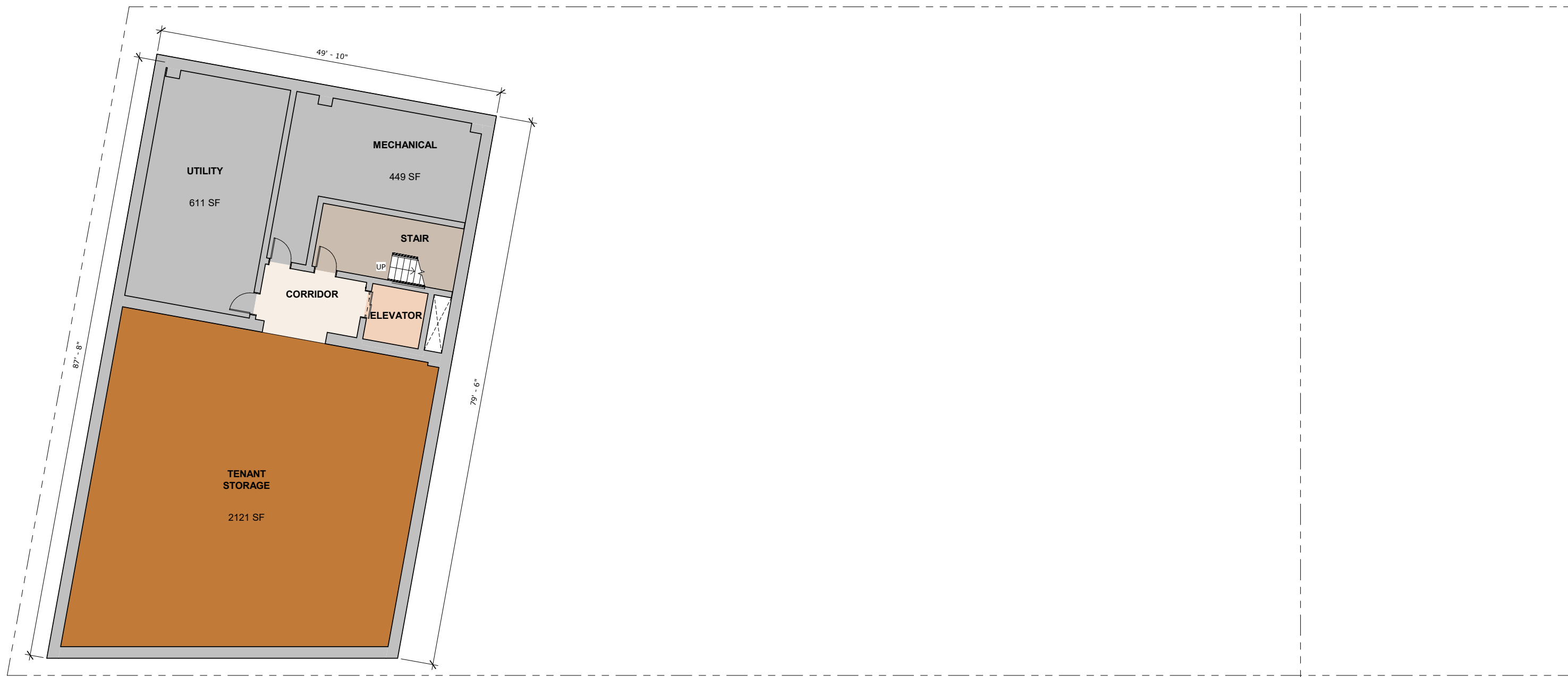
UNIT MATRIX

1 BED:	4 UNITS	(585 SF)
1 BED+:	8 UNITS	(690 SF)
2 BED:	16 UNITS	(690-860 SF)
2 BED+:	4 UNITS	(960 SF)
3 BED:	16 UNITS	(900-1070 SF)
TOTAL:	48 UNITS	

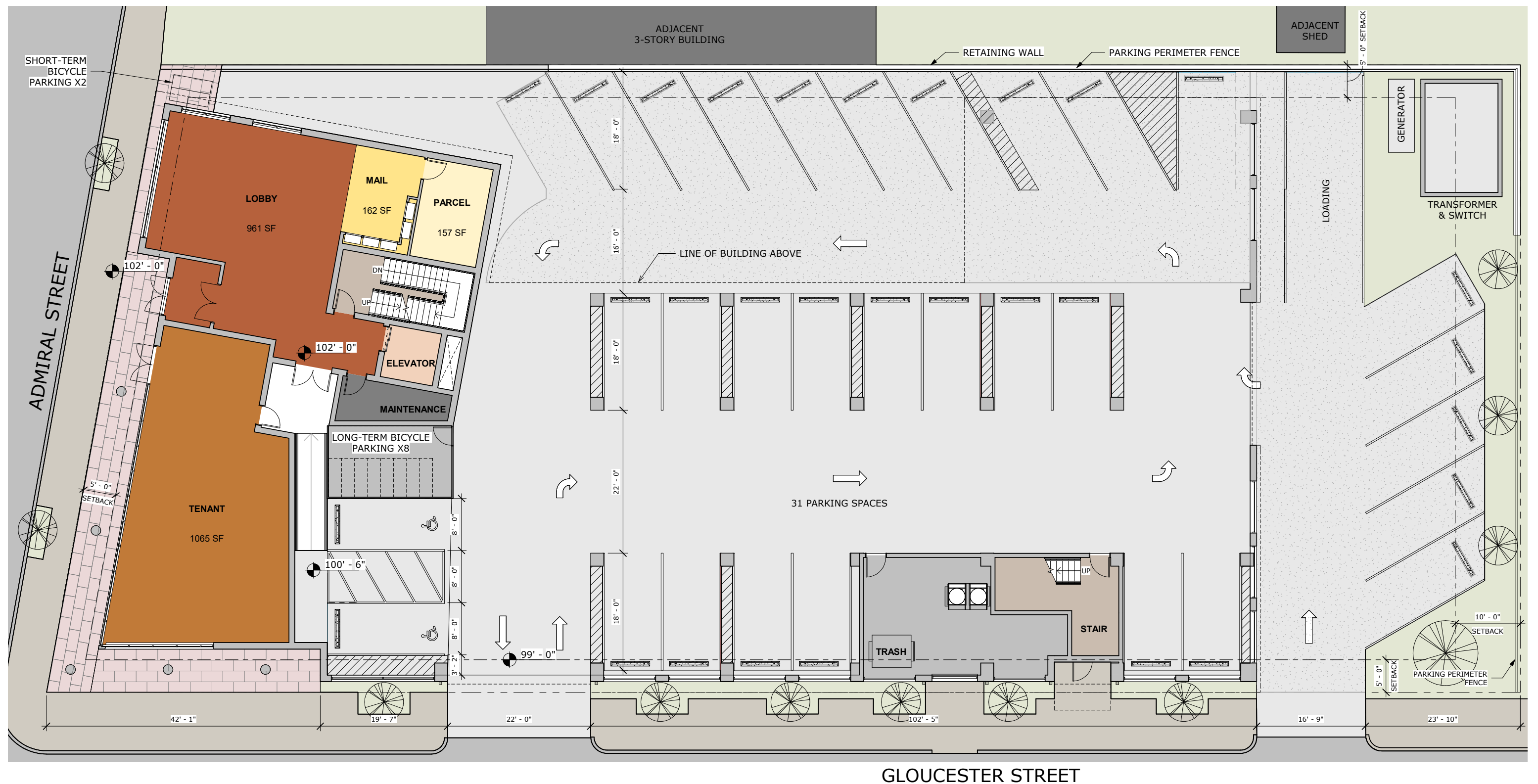
ZONING SUMMARY

663 ADMIRAL STREET MULTI-UNIT DEVELOPMENT





BASEMENT LEVEL FLOOR PLAN
663 ADMIRAL STREET MULTI-UNIT DEVELOPMENT



GROUND LEVEL FLOOR PLAN

GROUND LEVEL FLOOR PLAN

663 ADMIRAL STREET MULTI-UNIT DEVELOPMENT



TYPICAL LEVEL FLOOR PLAN (2-4)

663 ADMIRAL STREET MULTI-UNIT DEVELOPMENT



FIFTH LEVEL FLOOR PLAN

663 ADMIRAL STREET MULTI-UNIT DEVELOPMENT

EXTERIOR FINISHES



FIBER CEMENT



FULL BRICK



METAL PANELS



WOOD SIDING



SOUTHWEST ELEVATION - ADMIRAL STREET
663 ADMIRAL STREET MULTI-UNIT DEVELOPMENT

EXTERIOR FINISHES



FIBER CEMENT



FULL BRICK



METAL PANELS



WOOD SIDING



SOUTHEAST ELEVATION - GLOUCESTER STREET
663 ADMIRAL STREET MULTI-UNIT DEVELOPMENT

EXTERIOR FINISHES



FIBER CEMENT



FULL BRICK



METAL PANELS



WOOD SIDING



NORTHEAST ELEVATION - REAR
663 ADMIRAL STREET MULTI-UNIT DEVELOPMENT

EXTERIOR FINISHES



FIBER CEMENT



FULL BRICK



METAL PANELS



WOOD SIDING



NORTHWEST ELEVATION - SIDE
663 ADMIRAL STREET MULTI-UNIT DEVELOPMENT

EXTERIOR FINISHES



FIBER CEMENT



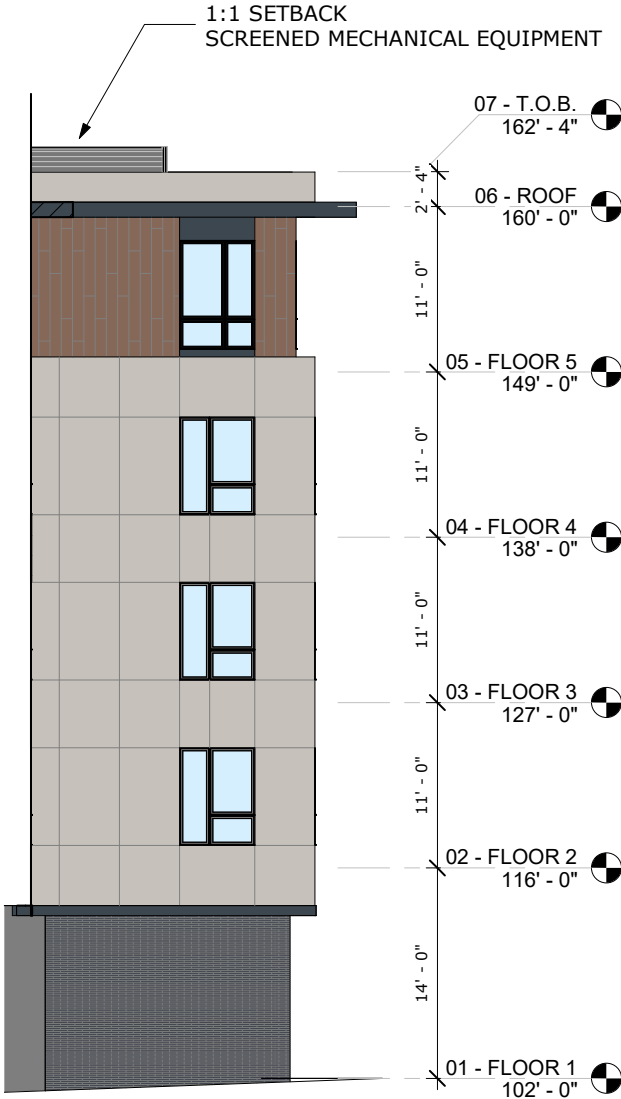
FULL BRICK



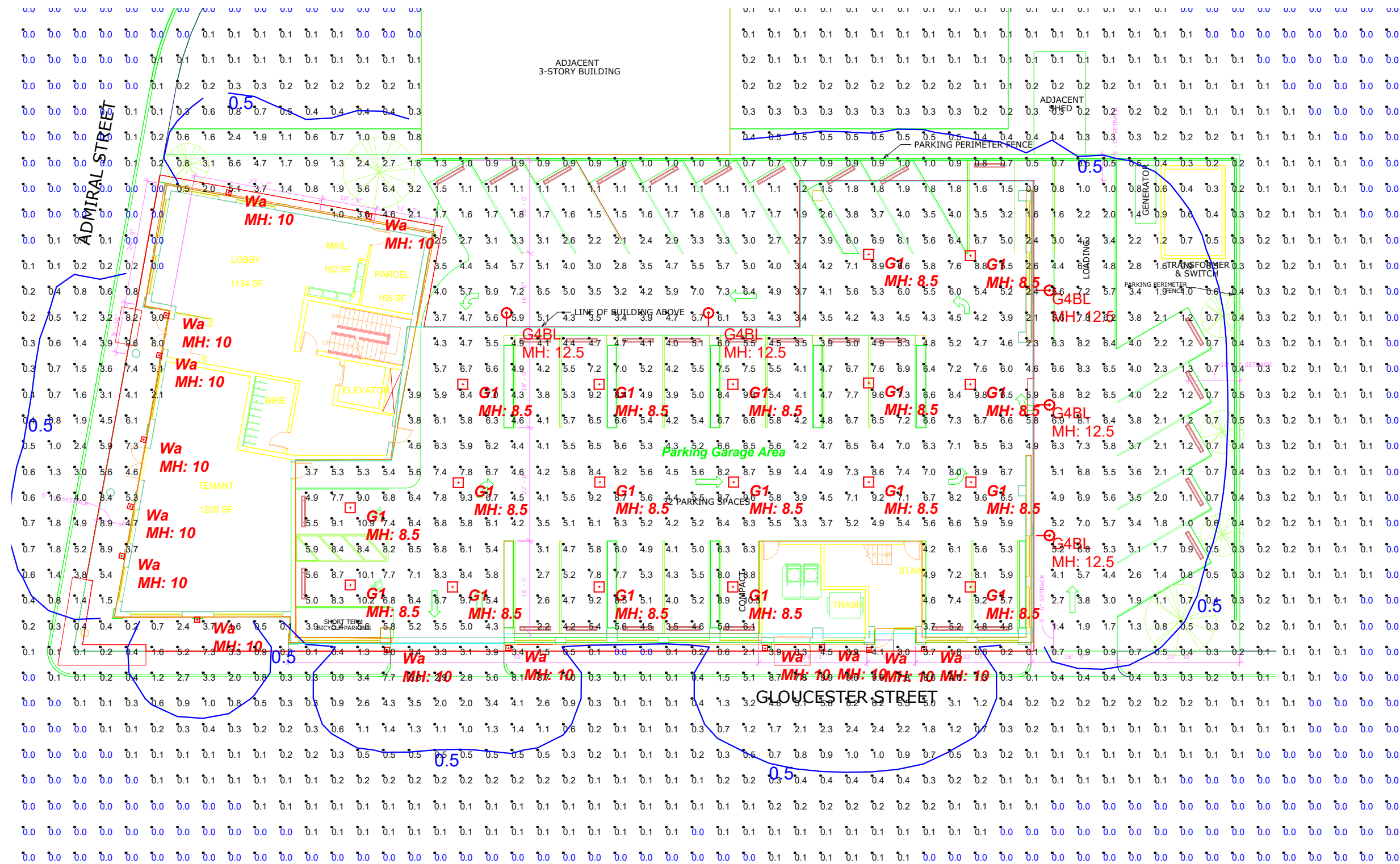
METAL PANELS






WOOD SIDING





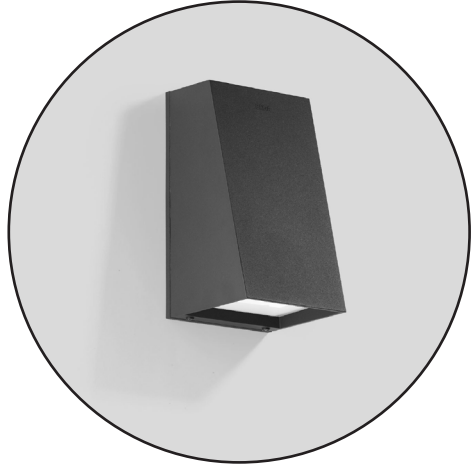


Outdoor Luminaire Schedule						
Symbol	Qty	Label	Description	Arm	Lum. Lumens	LLF
	5	G4BL	GL1960-16L40T4-MDL012-SV1-BLOC	1.25	4449	0.900
	18	G1	IG-NM-5S-A-40K-UL-WH CONF	0	3910	0.900
	14	Wa	33817K3_BEGA	0	1389	0.900

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	1.81	10.9	0.0	N.A.	N.A.
Parking Garage Area	Illuminance	Fc	5.77	10.9	0.9	6.41	12.11



G4BL



WA



G1

PHOTOMETRIC PLAN

663 ADMIRAL STREET MULTI-UNIT DEVELOPMENT