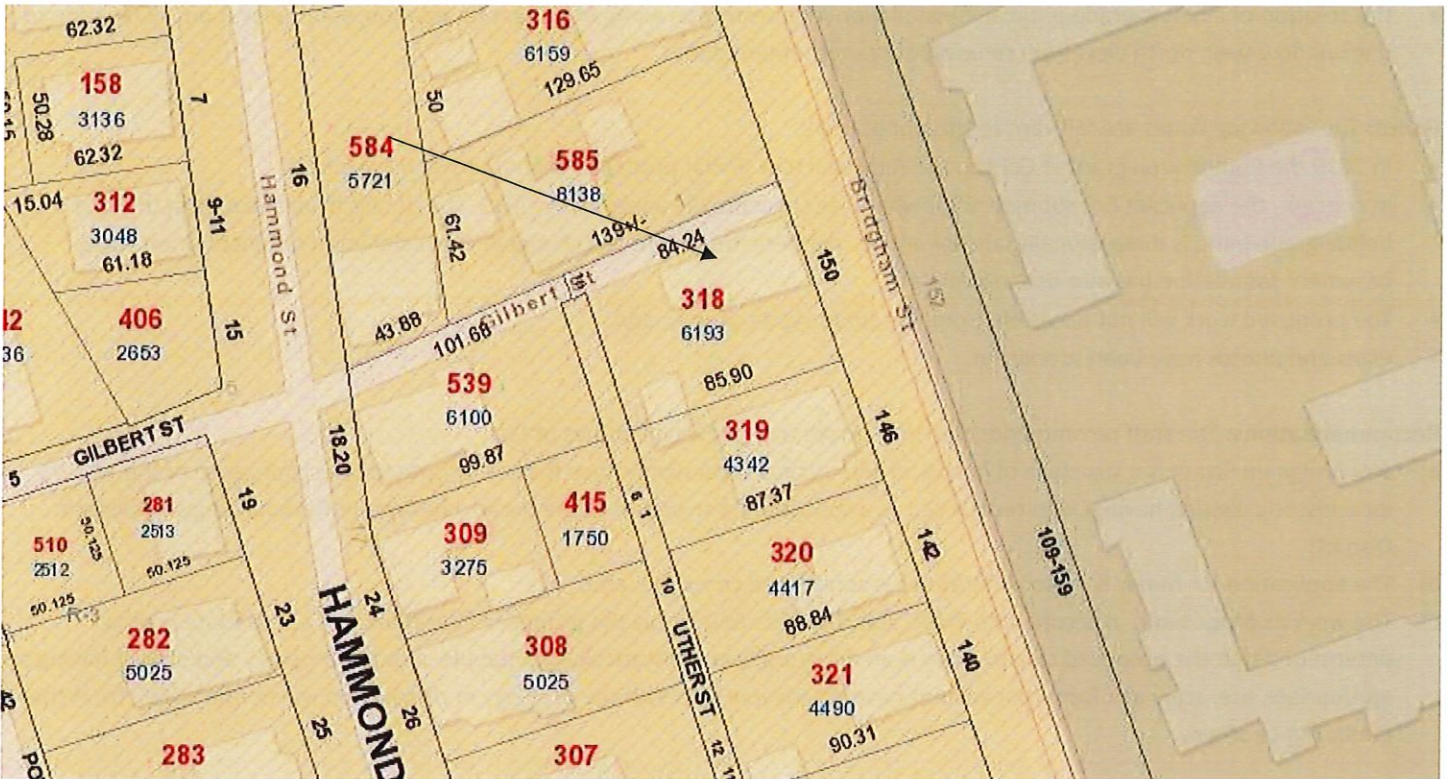
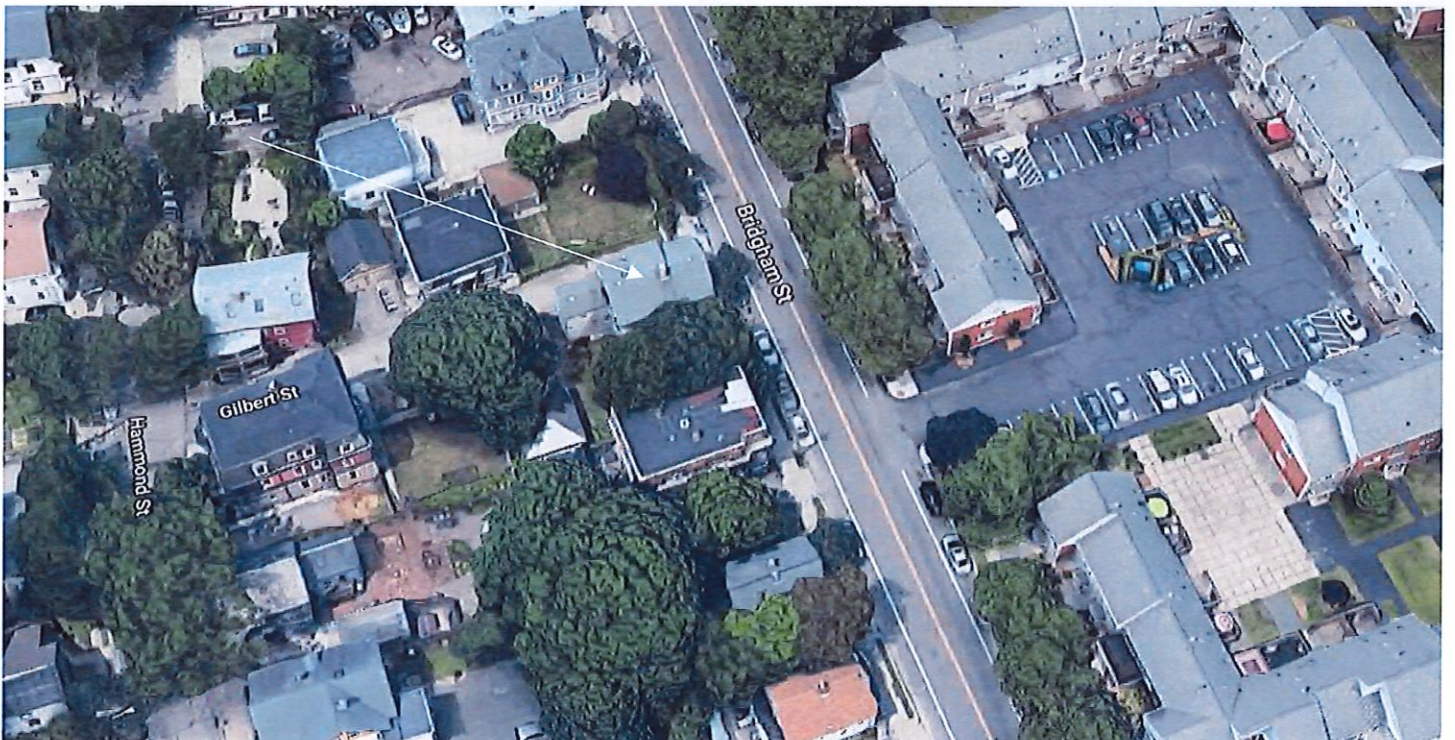


8. CASE 22. 077, 150 BRIDGHAM STREET, House, c1850 (ARMORY)

2 ½ story; end-gable; house; Greek Revival with paneled corner pilasters, bracketed hood. Clad in asbestos shingle (1972) and now covered in vinyl-siding (1998).
CONTRIBUTING



Arrow indicates 150 Bridgham Street.



Arrow indicates project location, looking north.

Applicant/Owner: Peter Friedrichs, 150 Bridgham Street, Providence, RI 02909
Architect: Providence Architecture, 269 Wickenden Street, Providence, RI 02906

Proposal: The scope of work proposed consists of Major Alterations and includes:

- the creation of a below-grade patio and installation of fenestration along basement foundation, south elevation; installation of one window-well, north elevation; removal of rear basement door.

Issues: The following issues are relevant to this application:

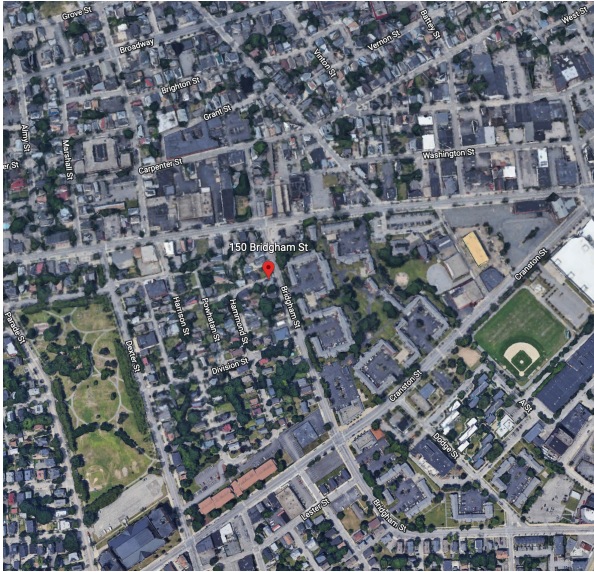
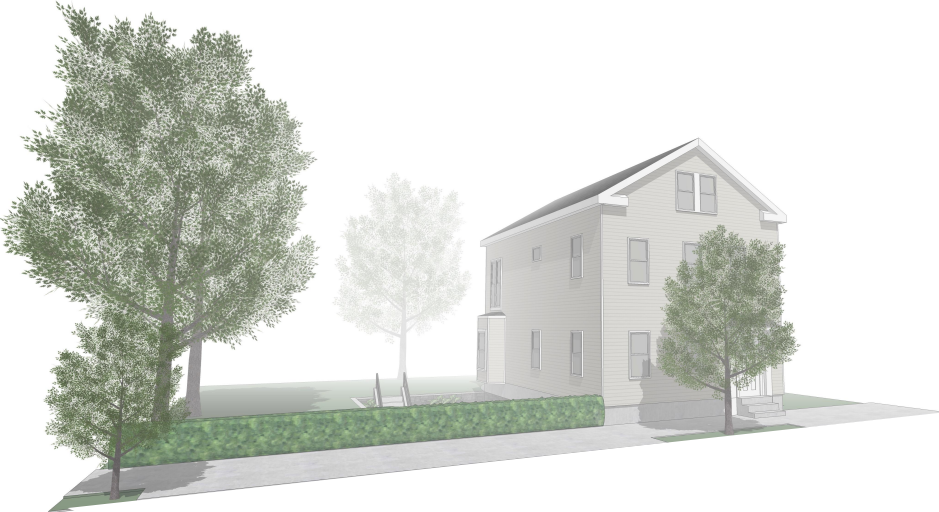
- In 2019 the Commission granted Conceptual Approval to a similar proposal. That approval has expired.
- In concept, the applicant has submitted for what was conceptually approved in 2019. The details have changed in that the below-grade patio is dimensionally smaller and its aesthetic treatment has changed. The installation of fenestration along basement foundation has also been simplified;
- The proposed work will not be visible from the public rights-of-way; and,
- Plans and photos have been submitted.

Recommendations: The staff recommends the PHDC make the following findings of fact:

- a) 150 Bridgham Street is a structure of historical and architectural significance that contribute to the significance of the Armory local historic district, having been recognized as a contributing structure to the Broadway/Armory National Register Historic District;
- b) The application for Minor & Major Alterations is considered complete; and,
- c) The work as proposed is in accord with PHDC Standard 8 as follows: as the proposed alterations are appropriate having determined that the proposed construction is architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district and will not be visible from the public rights-of-way.

Staff recommends a motion be made stating that: The application is considered complete. 150 Bridgham Street is a structure of historical and architectural significance that contribute to the significance of the Armory local historic district, having been recognized as a contributing structure to the Broadway/Armory National Register Historic District. The Commission grants Final Approval of the proposal as submitted having determined that the proposed alterations are appropriate as the proposed alterations are architecturally and historically compatible with the property and district having an appropriate size, scale and form that will not have an adverse effect on the property or district, and will not be visible from the public rights-of-way, citing and agreeing to the recommendations in the staff report, with staff to review any additional required details.

150 Bridgham Street Providence, Rhode Island



Parcel Information	
Street Address: 150 Bridgham St Providence, RI	Existing Square Footage: +/- 2340 SQFT
Lot Size: 0.14 Acres	Zoned: R-3
Neighborhood: West End	Underlay Zoning: Historic District
	Lot/Plat: 318/32

Project Scope:
Finish basement to create a one bedroom / one bathroom apartment. Excavate site to create means of egress and a patio space.

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Cover Sheet

A001

SHEET 1

OF 42

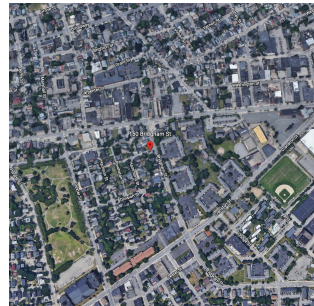
GENERAL NOTES

- Contractor shall be responsible to visit the site prior to bid submittal to better familiarize themselves with conditions at the site affecting performance of contract work.
- All work to comply with all governing state and local codes. All accessible spaces/work to comply with ANSI 117A.
- Unless otherwise agreed to in writing with the owner, the contractor shall be responsible for securing all permits (building, occupancy, etc.) and fees for same, as required by state and local rules and regulations.
- Contractor shall be responsible for laying out the work and shall inform the architect's office of any discrepancies affecting proper completion of contract work.
- Do not scale drawings to determine locations and layout of the work.
- Discrepancies between portions of the contract documents are not intended. The contractor is to clarify any such discrepancies with the architect prior to completing the work in question.
- All dimensions are from face of foundation wall, face of concrete block, face of exterior sheathing, and centerline of partitions unless noted otherwise on drawings.
- All wood in contact with concrete or steel to be pressure treated.
- Combustible materials are not allowed in concealed spaces.
- All structure shall be rated as noted on code drawings. Maintain ratings of all fire-rated assemblies.
- The contractor shall comply with all published federal, state, and local recommendations and requirements for safety and accident prevention, including those of the A.G.C., A.S.A., OSHA, etc. contractor shall take all necessary precautions to ensure the safety of the occupants and workers at all times.
- Painting, varnishing or the use of any other noxious substances must be isolated from adjoining spaces.
- All damages to the building property due to contract operations must be reported immediately to the building owner.
- Any alterations/deviation from the approved plans must be submitted to the architect for review and written approval prior to proceeding with the work.
- The owner reserves the right to preform additional work that is not part of this contract with his own forces, under separate contracts and/or with other contractors or vendors. The contractor shall cooperate with the owner and other contractors and coordinate his work with the owner so that work by others can be incorporated in a timely manner.
- The contractor shall be responsible for and shall replace or remedy any faulty, improper, or inferior materials or workmanship with shall appear within one (1) year or as otherwise specified for a specific component after completion and acceptance of the work under their contract.
- It shall be the responsibility of the contractor to locate all existing utilities whether shown herein or not and to protect them from damage. Contractor shall bear all expense of repair or replacement of utilities or other property damaged by operations in conjunction with performance of the work.
- Provide back-blocking as required to achieve firm attachment of all items of architectural woodwork and all other wall and/or ceiling mounted finishes, equipment and accessories, fixtures, etc. coordinate with owner.
- All materials used in the construction of this space must be asbestos free.
- Contractor shall provide rough-ins and wiring for data and phone outlets where required by owner. Owner's vendor shall provide terminal devices.
- All materials shall be furnished and installed in strict accordance with the manufacturers written instructions and recommendations. Materials and methods of installation shall also conform with the appropriate trade handbooks i.e. Architectural Woodwork Institute's Quality Standards, United States Gypsum's, Gypsum Construction Handbook, etc.

ABBREVIATIONS

ACOUST	ACOUSTICAL	GLAV	GALVANIZED	PLY/PPLYWD	PLYWOOD
ACC	ACCESSIBLE	GC	GENERAL CONTRACTOR	PRR	PBR
ACS	ARCHITECTURAL CAST STONE	GL	GLASS/GLAZING	PSI	POUNDS/SQUARE INCH
ACT	ACOUSTIC CEILING TILE	GU	GUEST	PT	PRESSURE TREATED
ADJ	ADJUSTABLE	GWB	GYPSPUM WALL BOARD	PVC	POLYVINYL CHLORIDE
AFF	ABOVE FINISHED FLOOR	GYP	GYPSPUM	RAD	RADIUS
ALUM	ALUMINUM	HB	HOSE BIB	RD	ROOF DRAIN
ANOD	ANODIZED	HC	HOLLOW CORE	REF	REFRIGERATOR
ARCH	ARCHITECTURAL	HDWR	HARDWARE	REFR	REFRIGERATOR
ALTO	AUTOMATIC	HH	HEAD HEIGHT	REIN	REINFORCE
BD	BOARD	HM	HOLLOW METAL	REQ	REQUIRED
BLDG	BUILDING	HR	HOUR	RH	RIGHT HAND
BLKG	BLOCKING	HT	HEIGHT	ROOM	ROOM
CFCJ	CONTRACTOR FINISHED & INSTALLED	HVAC	HEAT/VENT/AMB CONDITION	ROW	RIGHT OF WAY
CJ	CONTROL JOINT	ID	INSIDE DIAMETER	R&S	ROD & SHELF
CL	CENTER LINE	INCL	INCLUDED	S	SOLID CORE WOOD
CLG	CEILING	INT	INTERIOR	SCHED	SCHEDULE
CLO	CLOSE	INT	INTERIOR	SECT	SECTION
CLR	CLEARANCE	JT	JOINT	SHT	SHEET
CMU	CONCRETE MASONRY UNIT	KD	KNOCK DOWN	SHT	SHEET
COL	COLUMN	KP	KICK PLATE	SIM	SIMILAR
CONC	CONCRETE	LAM	LAMINATE	SPEC	SPECIFICATION
CONST	CONSTRUCTION	LAV	LAVATORY	SQ	SQUARE
CONT	CONTINUE/CONTINUOUS	LH	LEFT HAND	SS	STAINLESS STEEL
CPT	CARPET	LHR	LEFT HAND REVERSE	STD	STANDARD
CT	CERAMIC TILE	MAS	MASONRY	STL	STEEL
CTR	CENTER	MAT	MATERIAL	STO	STORAGE
DBL	DOUBLE	MAX	MAXIMUM	STO	STRUCTURAL
DIA	DIAMETER	MDO	MEDIUM DENSITY OVERLAY	SUSP	SUSPENDED
DM	DIMENSION	MECH	MECHANICAL	SYM	SYMMETRICAL
DS	DOWN SPOUT	MANF	MANUFACTURER	SYS	SYSTEM
DTL	DETAIL	MIN	MINIMUM	TELE	TELEPHONE
DWGS	DRAWINGS	MISC	MISCELLANEOUS	TEMP	TEMPERED
E	EAST	MDO	MASONRY OPENING	T&G	TONGUE & GROOVE
EA	EACH	MR	MOISTURE RESISTANT	TC	TOP OF CURB
EJ	EXPANSION JOINT	MTL	METAL	TLT	TOILET
ELEC	ELECTRICAL	N	NORTH	TP	TOP OF PAVEMENT
ELEV	ELEVATION	NA	NOT APPLICABLE	TV	TELEVISION
ELEV	ELEVATOR	NC	NOT IN CONTRACT	TYP	TYPICAL
EQ	EQUAL	NGM	UNLESS NOTED OTHERWISE	VCT	VINYL COMPOSITION TILE
EQUIP	EQUIPMENT	NTS	NOT TO SCALE	OC	ON CENTER
EXT	EXTERIOR OR EXTENDED	OD	OUTSIDE DIAMETER	OWF	OWNER FURNISHED-CONTRACTOR INSTALLED
FD	FLOOR DRAIN	OPN	OPENING	OH	OPPOSITE HAND
FE	FIRE EXTINGUISHER	OPP	OPPOSITE	PTD	PARTITION
FEC	FIRE EXTINGUISHER CABINET	PNT/PTD	PARTITION	PL	PLATE
FIN	FINISH	PLAM	PLASTIC LAMINATE	PLUM	PLUMBING
FFE	FURNITURE, FIXTURE & EQUIPMENT	PLM	PLUMBING		
FT	FOOT				
FR	FIRE RATED				
FR	FIRE RESISTANT TREATED WOOD				
FRR	FIBERGLASS REINFORCED PANEL				
GA	GAUGE				

PROJECT LOCATION



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- A-703 3D Views
- A-704 3D Views
- A-705 3D Views

MATERIALS LEGEND

- Batting Insulation
- Gypsum Board
- Concrete
- Plywood
- Concrete Block
- Brick

SYMBOLS LEGEND

- Detail Marker
- Section Marker
- Door Tag
- Window Tag
- Wall Tag

FINISH TAG LEGEND

- HARD FINISH CODES**
- BP Bathroom/Plumbing Fixture or Accessory
 - DL Decorative Lighting
 - E Equipment
 - L Laminate
 - M Metal
 - MA Masonry
 - G Glass
 - SP Speciality Product/System
 - P Paint/Grain
 - R Resilient Flooring
 - S Stone
 - SS Solid Surface
 - T Tile
 - VF Wall Covering
 - WD Wood
- FREE CODES**
- AC Accessory
 - AR Artwork
 - C Carpet
 - CH Seating
 - F Fabric/Upholstery
 - FLAM Fabric/Laminate
 - TC Tables/Case Goods
 - WT Window Treatment

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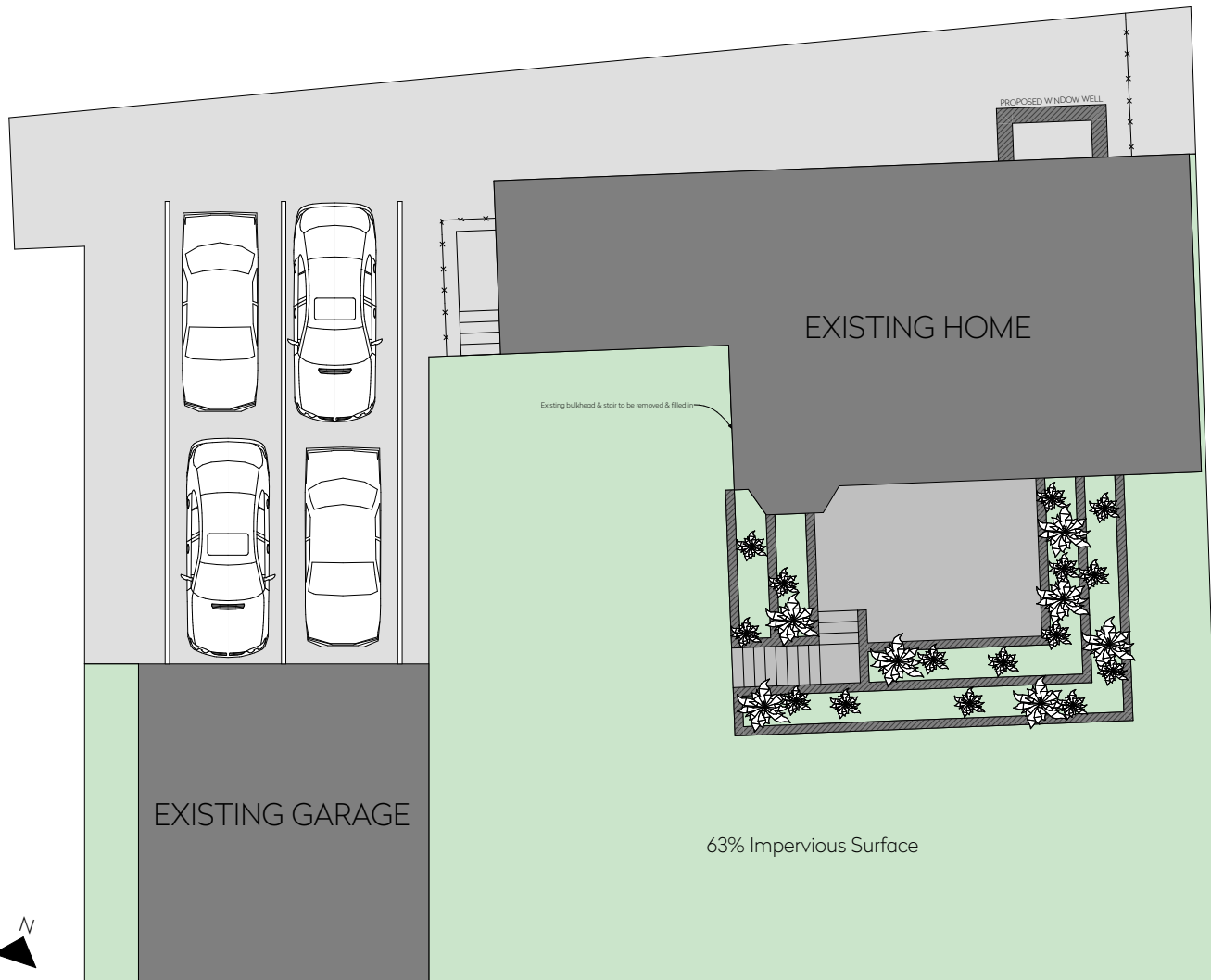
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Notes & Legends

A002

SHEET 2

OF 42



1 Site Plan
A003 SCALE: 1/4" = 1'-0"

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Site Plan

A003

SHEET 3 OF 42

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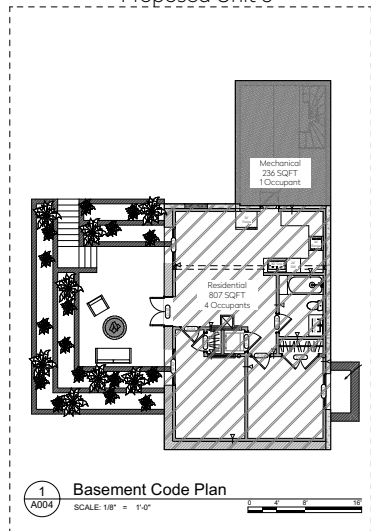
Code Plans

A004

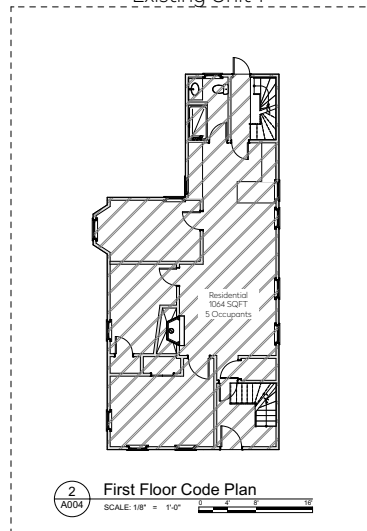
SHEET 4

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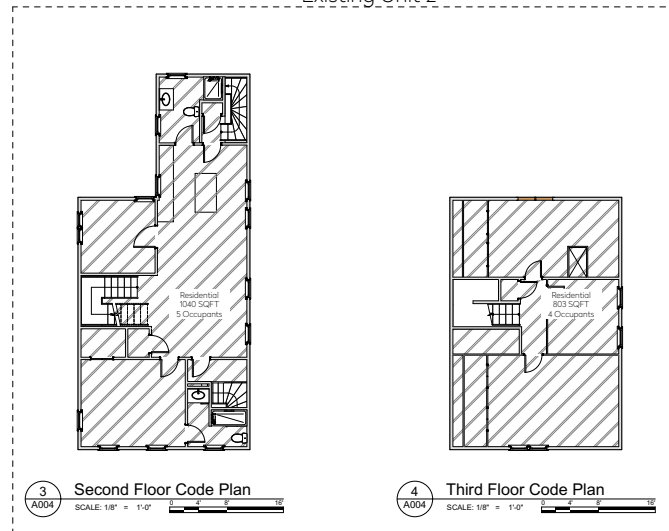
Proposed Unit 3



Existing Unit 1



Existing Unit 2



Code Summary		
Authority Having Jurisdiction: City of Providence, Department of Building, Planning & Zoning		
Applicable Codes		
- IBC 2018 - Fire And Life Safety Code - RI State Building Code (RI SBC-1 2019) - Plumbing Code (RI SBC-3-2019) - Mechanical Code (RI SBC-4-2019) - Electrical Code (RI SBC-5-2019) - Accessibility Code	NFPA 1 And 101 Life Safety Code 2018 w/ RI Amendments International Building Code 2018 International Plumbing Code 2018 International Mechanical Code 2018 National Electrical Code 2018 National Energy Conservation Code 2018 ANSI A117 2017	
Code Description	Notes	Code Section
Proposed Use Group	R-2	IBC 3.310
Building Areas	Basement: 878 NET SQFT Level 1: 1001 NET SQFT Level 2: 971 NET SQFT Level 3: 723 NET SQFT Total NET SQFT in Building: 3,573 SQFT	Basement: 1042 GROSS SQFT Level 1: 1064 GROSS SQFT Level 2: 1040 GROSS SQFT Level 3: 803 GROSS SQFT Total GSF in Building: 3,949 GROSS SQFT
Overall Max Dimensions:	57'-0" x 24'-0"	
Proposed Building Type:	Proposed Construction Type: 5A	IBC 6.601
General Building Height & Area	Allowable Height: 70' Above Grade Plane Allowable Area: 36,000 SF Allowable Number of Stories: 4	Existing to Remain - = 33'-0" Proposed: 6,983 SF Existing to Remain - 3 Stories IBC 5.504.3 IBC 5.504.4 IBC 5.506.2

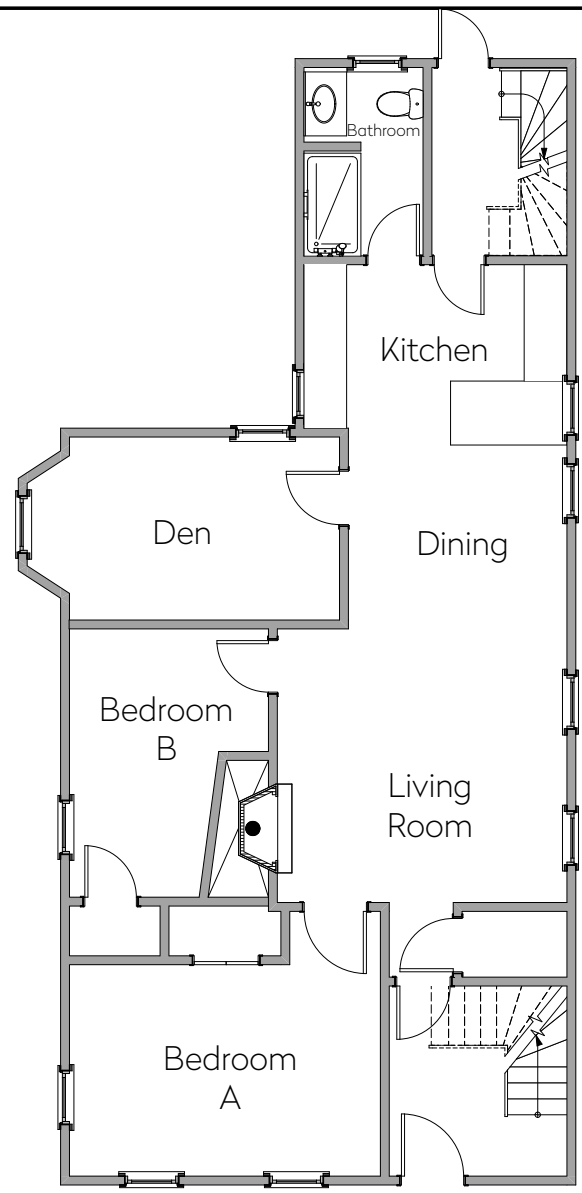
Egress Requirements	RI-LSC Required	Provided	Section
Number of exits required			
Minimum Egress Door Width	0.21/OCC	36" min	733.1 LSC
Minimum Egress Ceiling Height	7'-6"	N/A	715.1 LSC
Maximum Dead End	50'-0"	N/A	30.2.5 LSC
Maximum Common Path of Travel	50'-0"	N/A	30.2.5 LSC

Egress Code & Use Group Symbols	
	1/2 Hour Rated Fire Wall
	1 Hour Rated Fire Wall
	2 Hour Rated Fire Wall
	Common Path of Travel
	Maximum Travel Distance
	Fire Extinguisher
	Exit
	Number of Occupants
	Occupant Capacity

Total number of units: 3	Total number of full bathrooms: 4
Total bedroom count: 2	Total number of kitchens: 3



1
A101
Basement
SCALE: 3/8" = 1'-0"



2
A101
First Floor
SCALE: 3/8" = 1'-0"



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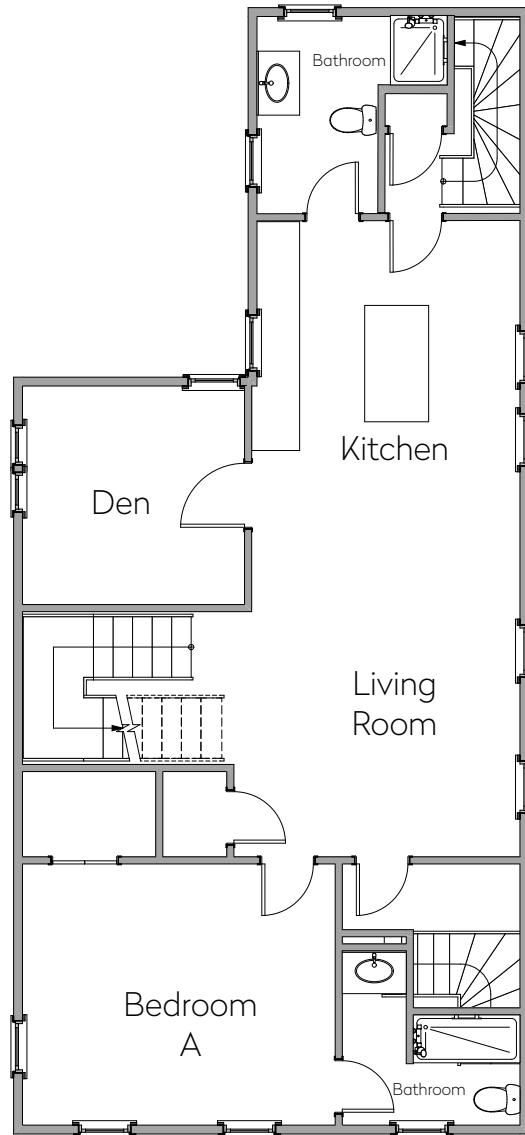
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Existing Basement & First
Floor

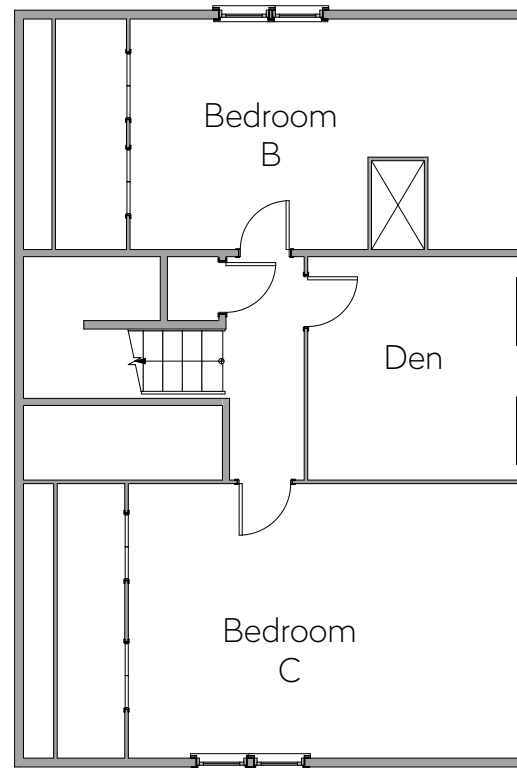
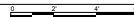
A101

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1
A102
Second Floor
SCALE: 3/8" = 1'-0"



2
A102
Third Floor
SCALE: 3/8" = 1'-0"



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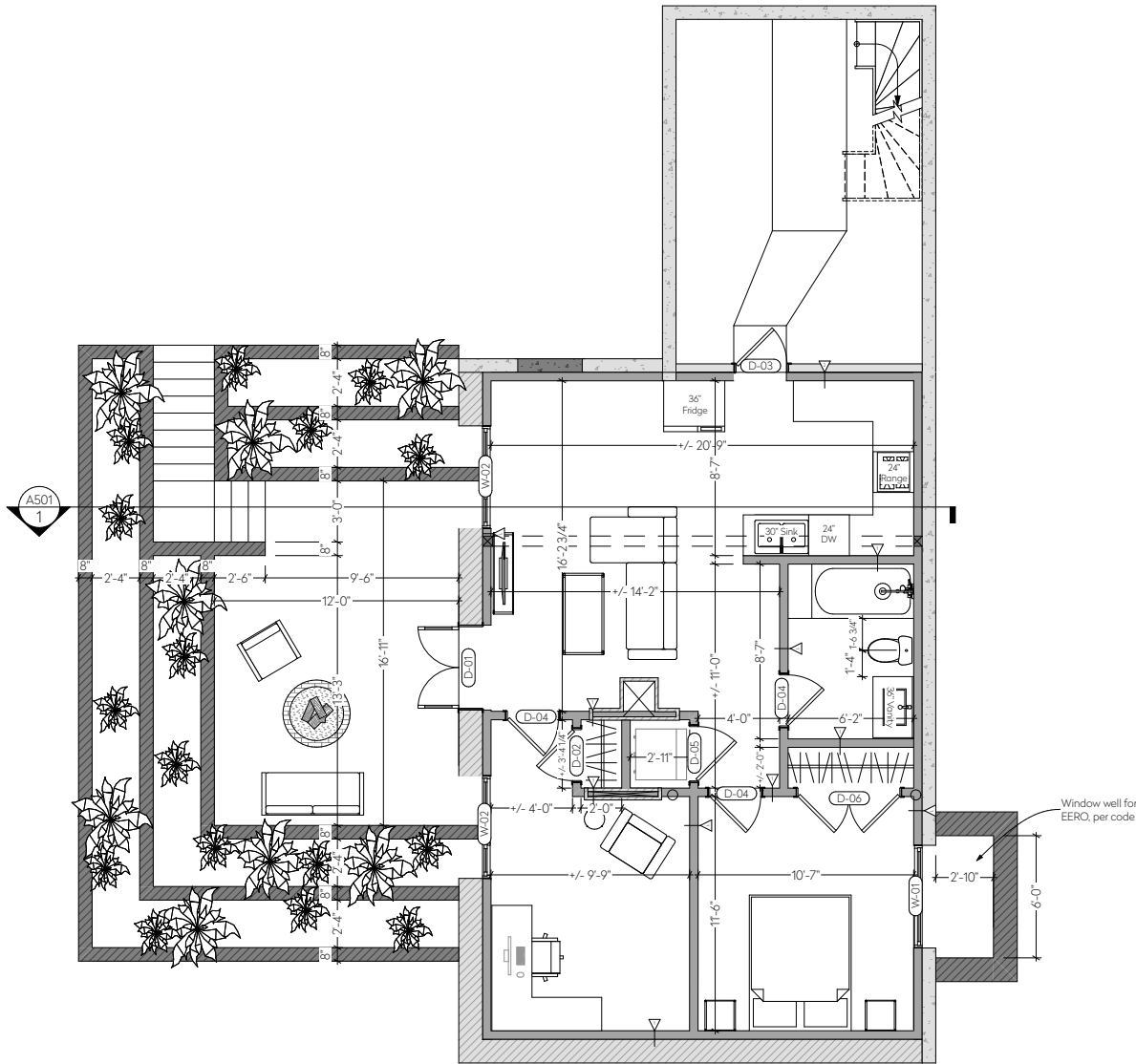
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Existing Second & Third
Floor Plan

A102

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1 Proposed Basement
SCALE: 3/8" = 1'-0"



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Proposed Basement Floor
Plan

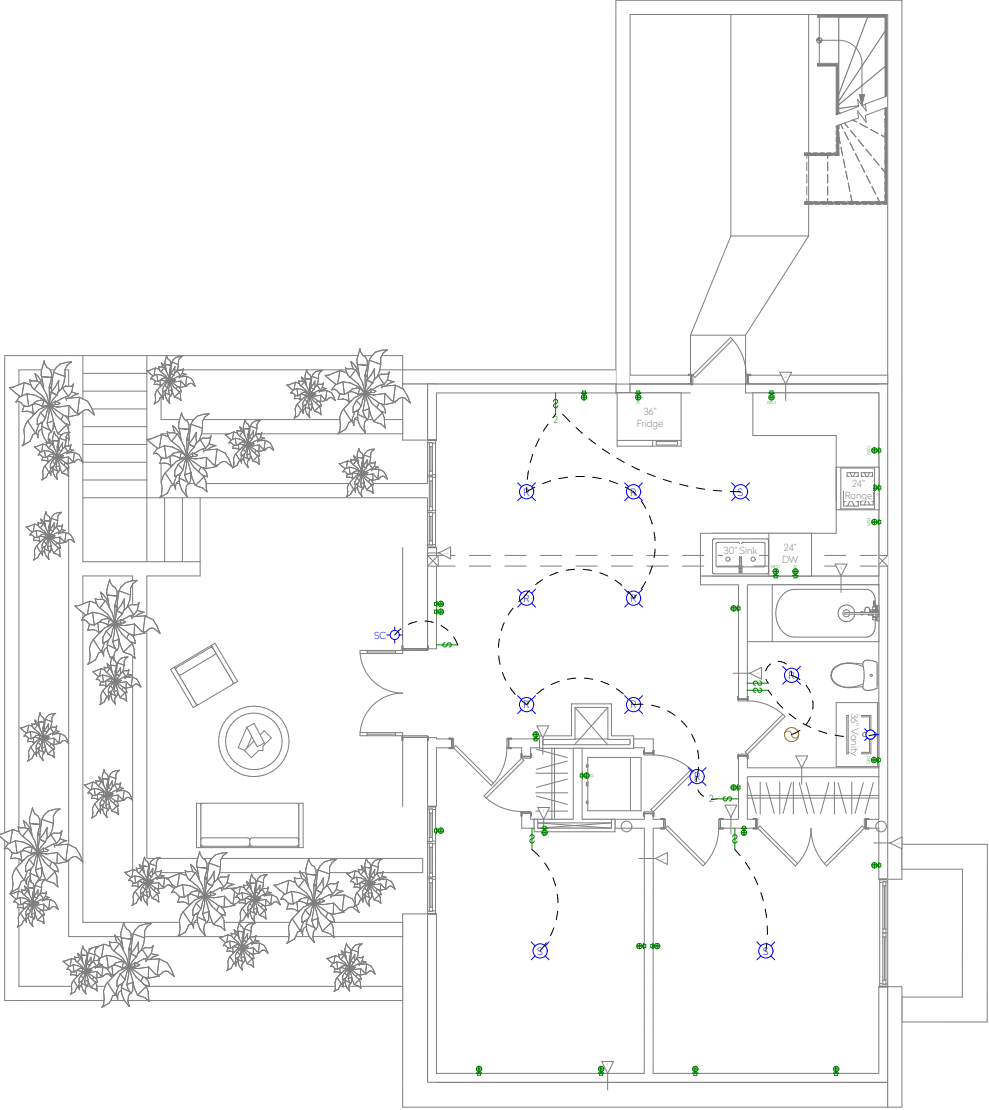
A103

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Electrical Legend

	Outdoor Sconce
	Vanity Light
	Semi-Flush Light
	Puck Light
	Two-Way Switch
	Switch
	GFCI Outlet
	Direct Outlet
	Outlet
	Vent Fan - Min 150 CFM



1 Basement RCP
SCALE: 3/8" = 1'-0"

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Proposed Basement RCP

A104

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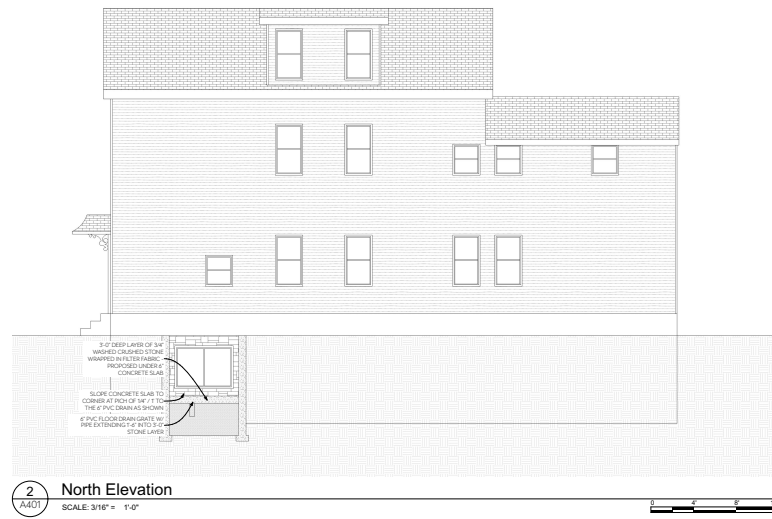
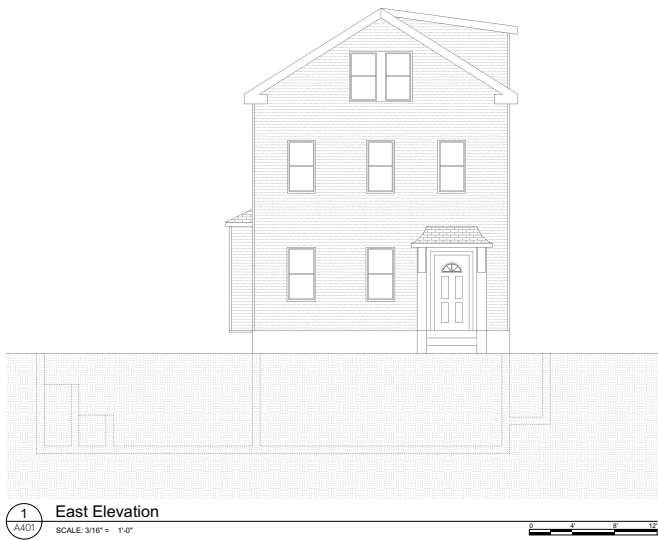
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North & East Elevations

A401

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South & West Elevations

A402

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1 West Elevation
A402 SCALE: 3/16" = 1'-0"



2 South Elevation
A402 SCALE: 3/16" = 1'-0"

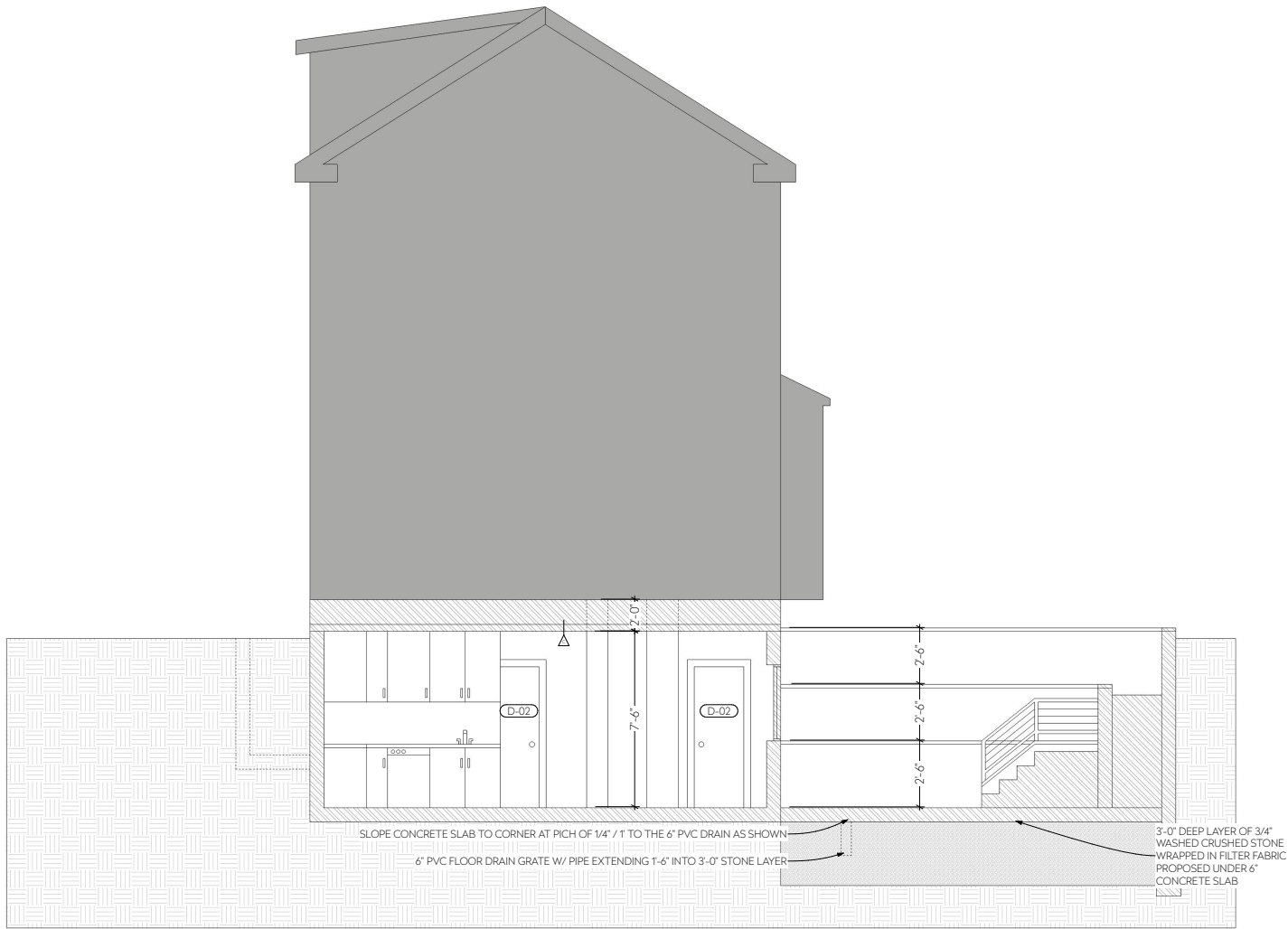
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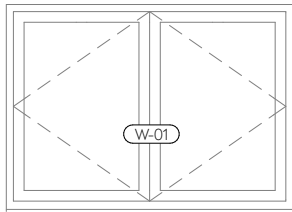
Sections

A501

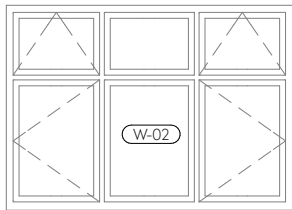


1 Section
AS01 SCALE: 3/8" = 1'-0"

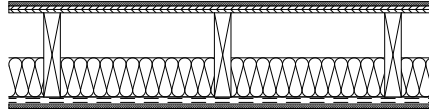




2 Window W-01
SCALE: 1" = 1'-0"



3 Window W-02
SCALE: 1" = 1'-0"



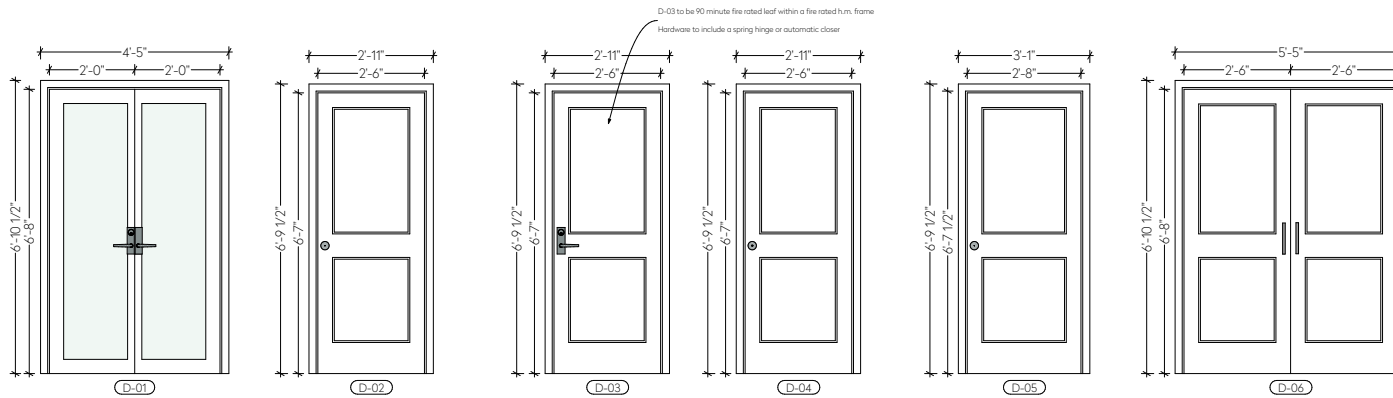
Ceiling/Floor Assembly (1 HR) (L520 2)
 SUBFLOORING: Existing to remain, TYP.
 STRUCTURAL WOOD MEMBERS: Existing to remain, TYP
 INSULATION: 6" Rock Wool R-30
 7/8" 20 GA. Metal Hat Channel @ 16" O.C.
 GYPSUM BOARD: One layer 5/8" Type X GWB
 Fire tape all seams and screws, TYP.



Typical Interior Partition Wall
 2"x4" metal studs @ 16" OC
 1 layer of 5/8" GWB on both sides



Rated Partition Wall (1 HR) (UL419)
 2"x4" metal studs @ 16" OC
 3 1/2" sound batt insulation
 1 layer of 5/8" Type X GWB on both sides
 Bring tight to floor and ceiling, fire caulk all penetrations and fire tape all seams



3 Door Elevations
SCALE: 3/4" = 1'-0"



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3D Views

A702

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3D Views

A703

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3D Views

A704

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3D Views

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